

2750

MICHAELSOKOLOFF D.D.S.

ORTHODONTICS FOR CHILDREN & ADULTS

MICHAEL SOKOLOFF DDS, PLLC

20 OLD MAMARONECK RD, STE 1C
WHITE PLAINS, NEW YORK 10605

citibank[®]

CITIBANK, N.A.

1-8/210

10/12/2020

PAY TO THE
ORDER OF town of north Castle

\$4,205.50

Four Thousand Two Hundred Five and 50/100*****

DOLLARS

town of north Castle

MEMO



AUTHORIZED SIGNATURE

⑈0000 2750⑈ ⑆021000089⑆ 4969430723⑈

Security features. Details on back.



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 15 Briggs Lane Armonk NY 10504

Section III- DESCRIPTION OF WORK:

Addition to Expand entry foyer and Mudroom within footprint of existing covered porch. Construct new 1/2 bath at mudroom and relocate existing powder room. New addition at Family Room and Kitchen. Remove and replace existing deck.

Section III- CONTACT INFORMATION:

APPLICANT: Michael Sokoloff

ADDRESS: 15 Briggs Lane Armonk NY 10504

PHONE: _____ MOBILE: 516-909-7727 EMAIL: Mdent99@aol.com

PROPERTY OWNER:

Michael Sokoloff

ADDRESS: 15 Briggs Lane Armonk NY 10504

PHONE: _____ MOBILE: 516-909-7727 EMAIL: Mdent99@aol.com

PROFESSIONAL: Scott Hirschson

ADDRESS: 409 Main Street Armonk NY 10504

PHONE: 914-273-2001 MOBILE: _____

EMAIL: Scott@Hirschsondesign.com

Section IV- PROPERTY INFORMATION:

Zone: R-3/4A Tax ID (lot designation) 107.02-4-66.2



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Sokoloff Residence

Initial Submittal Revised Preliminary

Street Location:

15 Briggs Lane Armonk NY 10504

Zoning District: R-3/4A Property Acreage: 2.282 Tax Map Parcel ID: 107.02-4-66.2

Date: 10/13/2020

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Sokoloff Residence Date: 10/09/2020

Tax Map Designation or Proposed Lot No.: 2-11-3G18.1

Gross Lot Coverage

- | | | |
|-----|--|---------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>99,404</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>14,191</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback
<u>165</u> x 10 = <u> </u> | <u>1650</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>15841</u> |
| 5. | Amount of lot area covered by principal building :
<u>2866</u> existing + <u>815</u> proposed = | <u>3681</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of lot area covered by decks :
<u>333</u> existing + <u>33</u> proposed = | <u>363</u> |
| 8. | Amount of lot area covered by porches :
<u>407</u> existing + <u>-198</u> proposed = | <u>209</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u>5385</u> existing + <u>0</u> proposed = | <u>5385</u> |
| 10. | Amount of lot area covered by terraces :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u>1228</u> existing + <u>0</u> proposed = | <u>1228</u> |
| 12. | Amount of lot area covered by all other structures :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>10866</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Planning Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the town's regulations.

Signature and Seal of Professional Submitting Worksheet



10/09/2020

Date



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Sokoloff Residence Date: 10/09/2020

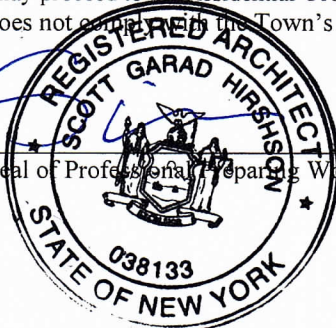
Tax Map Designation or Proposed Lot No.: 2-11-3G18.1

Floor Area

- | | | |
|-----|--|---------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>99,404</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>14,191</u> |
| 3. | Amount of floor area contained within first floor:
<u>2097</u> existing + <u>815</u> proposed = | <u>2912</u> |
| 4. | Amount of floor area contained within second floor:
<u>3034</u> existing + <u>0</u> proposed = | <u>3034</u> |
| 5. | Amount of floor area contained within garage:
<u>782</u> existing + <u>0</u> proposed = | <u>782</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>363</u> existing + <u>0</u> proposed = | <u>363</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>2097</u> existing + <u>0</u> proposed = | <u>2097</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>9188</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



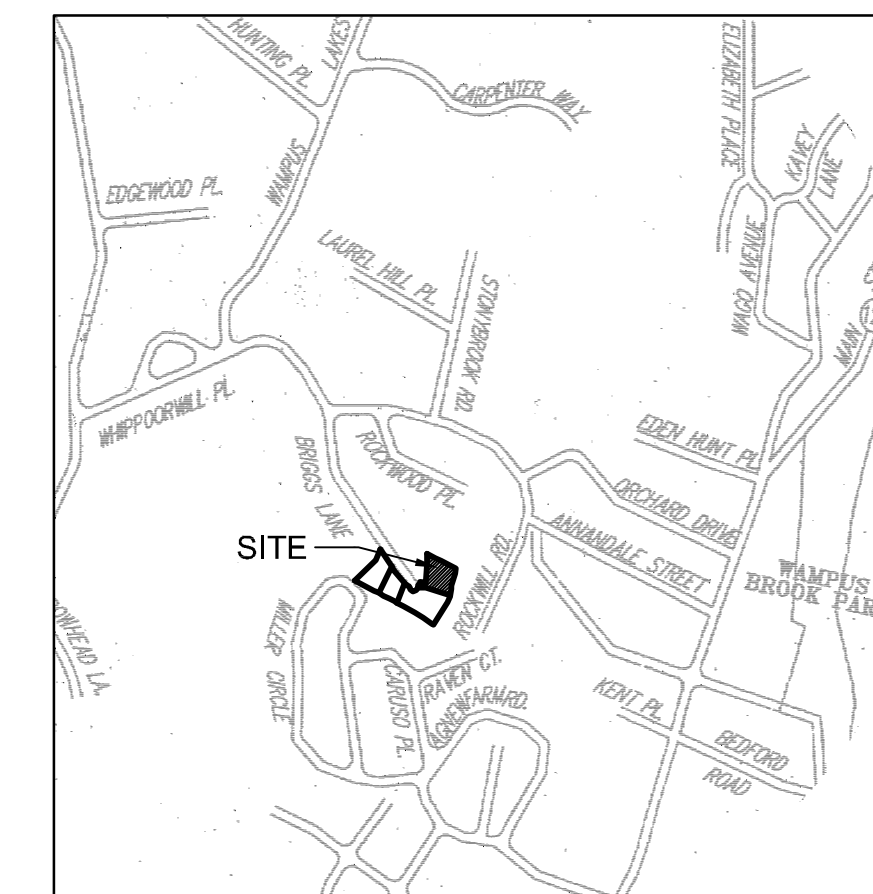
10/09/2020
 Date

TOWN NOTES:

AN AS-BUILT FOUNDATION LOCATION, WITH THE ELEVATION AT THE TOP OF THE FOUNDATION WALL OF THE GARAGE AND FIRST FLOOR IS REQUIRED. IN ADDITION, A DRIVEWAY PROFILE OF THE ROUGH GRADE SHALL BE PROVIDED AT THE SAME TIME, DRAWN ON THE APPROVED SITE PLAN AND CERTIFIED BY A LAND SURVEYOR PRIOR TO THE FOUNDATION AND WATERPROOFING INSPECTION.

UPON RECEIPT OF THE AS-BUILT SURVEY, THE TOWN ENGINEER WILL DETERMINE CONFORMANCE TO THE APPROVED SITE PLANS. ANY DEVIATION FROM THE APPROVED SITE PLAN MUST BE APPROVED BY THE TOWN ENGINEER, THE BUILDING INSPECTOR AND THE HIGHWAY DEPARTMENT. IF IT IS DETERMINED THAT A NEW SITE PLAN IS WARRANTED, NO WORK SHALL PROGRESS UNTIL THE REVISED SITE PLAN IS APPROVED

A PROFILE MUST BE SUBMITTED BEFORE FINAL PAVING AND APPROVAL OBTAINED BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED.



LOCATION MAP
SCALE: 1" = 200'

ZONING CONFORMANCE TABLE		
TAX MAP DESIGNATION: SECTION 2, BLOCK 11, LOT 3G18-1		
ZONING DISTRICT: R-3/4A RESIDENTIAL		
	REQUIREMENTS	PROPOSED
LOT AREA (ACRES)	0.75	2.282
WIDTH (FT)	125	305
DEPTH (FT)	150	312
FRONT YARD (FT)	40	192.8
SIDE YARD (FT)	25	32.3
REAR YARD (FT)	40	81.3
MAXIMUM BUILDING COVERAGE (%)	15	3.3
MAXIMUM BUILDING HEIGHT (FT)	30	27.1
EXTERIOR WALL HEIGHT (FT)(*)	34	33.6

(*) EXTERIOR WALL HEIGHT IS MEASURED AS THE DISTANCE FROM THE GRADE ELEVATION ALONG ANY POINT ON THE EXTERIOR WALL TO THE POINT ON THE ROOF FROM WHICH THE BUILDING HEIGHT IS MEASURED

DRAINAGE STRUCTURE SCHEDULE		
STRUCTURE	RIM EL	INVERTS
YD-3	494.0	491.0
DMH #1	490.0	INV IN = 486.35 INV OUT = 485.0

LEGEND:	
	EXISTING 2' CONTOUR
	EXISTING 10' CONTOUR
	NEWLY GRADED AREA AS PART OF 2013 SITE DEVELOPMENT
	PROPOSED CONTOUR
	SILT FENCING
	BUILDING SETBACK LINE
	EXISTING TREE
	TREE TO BE PROTECTED
	SUBDIVISION APPROVED GRADING & CLEARING LIMIT LINE
	PROPOSED UTILITY LINES

GROSS LAND COVERAGE / FLOOR AREA TABLE		
	MAXIMUM PERMITTED	PROPOSED
GROSS LAND COVERAGE (S.F.)	15,841	13,900
FLOOR AREA (S.F.)	10,613	-

(*) SPECIAL USE PERMIT REQUIRED

STEEP SLOPES TABLE	
	AREA (S.F.)
SLOPES IN EXCESS OF 25%	17,959
DISTURBANCE TO SLOPES IN EXCESS OF 25%	0

APPROVED BY THE TOWN OF NORTH CASTLE
PLANNING BOARD RESOLUTION, DATED: MARCH 9, 2015

ENGINEERING DRAWING PLANS REVIEWED BY TOWN ENGINEER
REVIEWED BY TOWN ENGINEER

DATE: _____
JOSEPH M. CERMELE, P.E.
KELLARD SESSIONS CONSULTING, P.C.
CONSULTING TOWN ENGINEERS

DATE: _____
ART ADELMAN, CHAIR
TOWN OF NORTH CASTLE PLANNING BOARD

SEC NO: 2 BLOCK NO: 11 LOT NO: 3G18-1

REVISIONS:	DATE:	DESCRIPTION:	BY/CK:	DATE:	DESCRIPTION:	BY/CK:
	5-8-15	NEW DRIVEWAY LOCATION			NG/TA	
	3-23-15	NEW EQUIP. PAD LOCATION			NG/TA	
	2-20-15	TOWN COMMENTS			NG/TA	

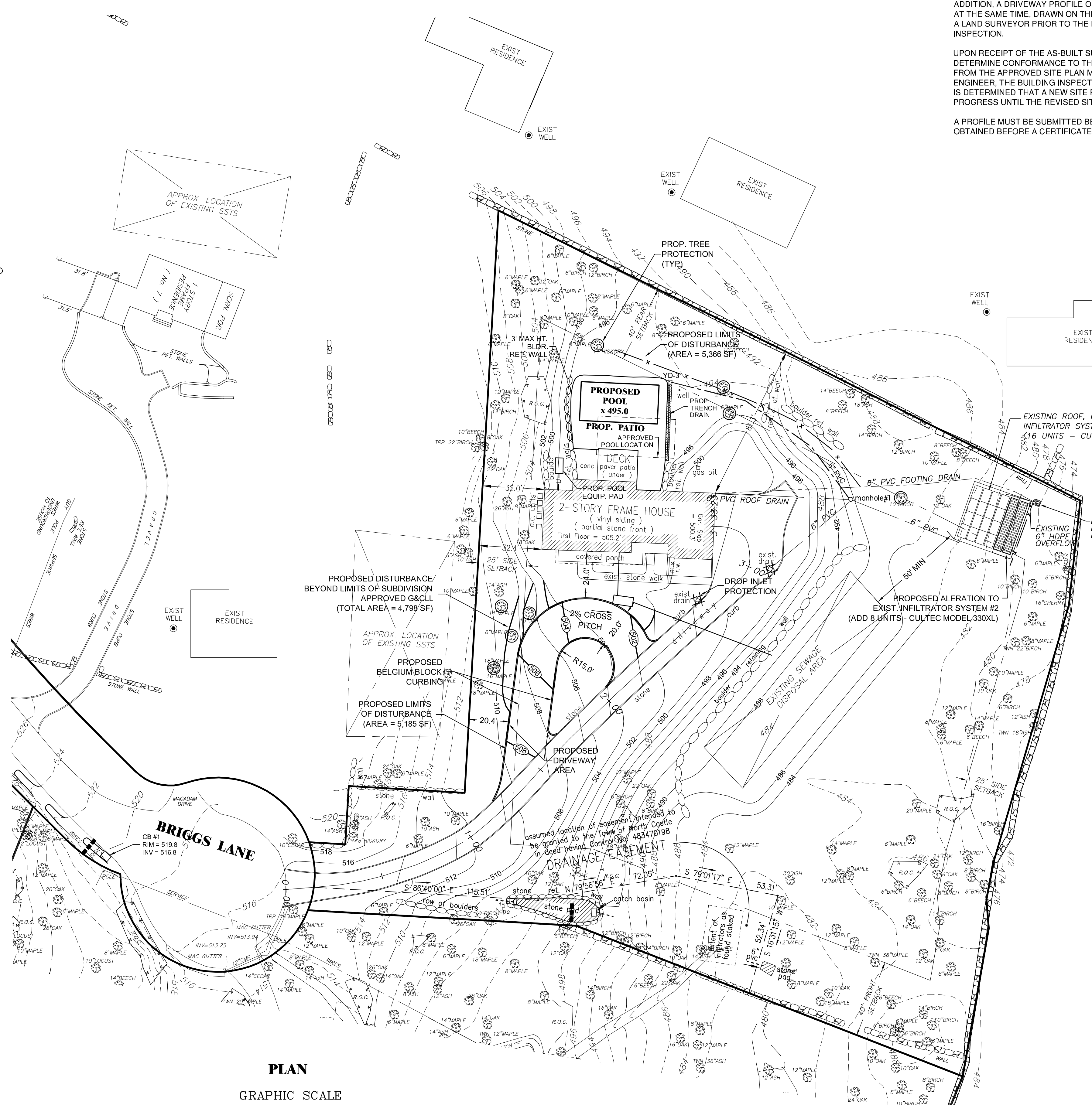
TIMOTHY S. ALLEN, P.E.

SITE PLAN

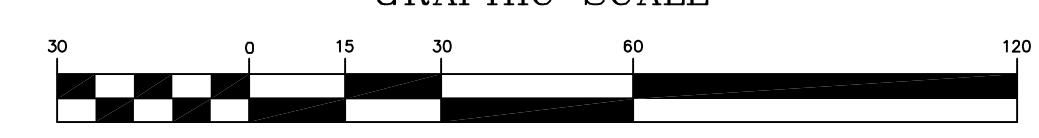
MICHAEL SOKOLOFF
15 BRIGGS LANE
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NY

BIBBO ASSOCIATES, LLP
293 ROUTE 100 SUITE 203
SOMERS, NEW YORK 10589
TEL. 914 277 5805

DATE: NOV. 10, 2014
SCALE: 1" = 30'
FILE: JJ-9
DSGN / CHK: TSA
DRN. BY: NG
SHT NO. 2 OF 3
DWG NO. **SP-1**



PLAN
GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 2019 (2) OF THE NEW YORK STATE EDUCATION LAW.
COPYRIGHT © 2015 BIBBO ASSOCIATES, LLP
ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION IS A VIOLATION OF APPLICABLE LAW.

CALL BEFORE YOU DIG 1-800-962-7962
UNDER THE NY STATE LAW PROTECTING UNDERGROUND FACILITIES, THE FOLLOWING RULES AND REGULATIONS ARE IN EFFECT FOR ALL EXCAVATORS:

- THEY MUST CALL FOR A UTILITY STAKE-OUT (2) TWO FULL WORKING DAYS PRIOR TO AN EXCAVATION.
- THEY MUST CONFIRM PRECISE LOCATIONS OF UNDERGROUND FACILITIES.
- THEY MUST PRESERVE STAKES AND MARKINGS UNTIL NO LONGER NEEDED AT SITE.
- THEY MUST CONTACT NON-IPPO MEMBER UTILITY OWNERS FOR STAKE-OUTS.

CONSTRUCTION SEQUENCE:

1. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN ENGINEER, TOWN BUILDING DEPARTMENT, SITE CONTRACTOR, AND PROJECT ENGINEER PRIOR TO CONSTRUCTION.
2. INSTALL SILT FENCE WHERE INDICATED ON PLANS. INSTALL DROP INLET PROTECTION FOR EXISTING YARD DRAIN.
3. STAKE LIMITS OF DISTURBANCE FOR THE PROPOSED IMPROVEMENTS.
4. CLEAR TREES WITHIN LIMITS OF DISTURBANCE.
5. INSTALL NEW CONSTRUCTION ENTRANCE.
6. GRUB LOT AND STRIP TOPSOIL. STOCKPILE TOPSOIL WHERE INDICATED ON PLANS, AND STABILIZED TOPSOIL AS INDICATED ON TOPSOIL STOCKPILE DETAIL.
7. ROUGH GRADE NEW DRIVEWAY AND BEGIN POOL EXCAVATION.
8. INSTALL NEW INFILTRATOR CHAMBERS FOR THE EXISTING INFILTRATOR SYSTEM AS SHOWN ON THE PLANS. DO NOT CONNECT STORMWATER PIPING TO INFILTRATOR SYSTEMS UNTIL THE TRIBUTARY AREAS HAVE BEEN STABILIZED.
9. FINAL GRADE DRIVEWAY AND LAWN AREAS.
10. SEED AND MULCH LAWN AREAS, REMOVE CONSTRUCTION ENTRANCE, AND PAVE DRIVEWAY.
11. REMOVE SILT FENCE WHEN FINAL STABILIZATION IS ACHIEVED.

SINGLE FAMILY RESIDENTIAL ADDITION/ALTERATION

15 BRIGGS LANE

ARMONK, NEW YORK 10504

GENERAL NOTES

I. GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE RESIDENTIAL CODE OF N.Y.S. (RCNY), ALL OTHER APPLICABLE CODES, AND ALL OTHER GOVERNING AUTHORITIES HAVING JURISDICTION.
- GENERAL CONTRACTOR SHALL VERIFY AND ENSURE THAT EXIT EGRESS IS MAINTAINED THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PERFORM THE WORK IN A MANNER THAT ALLOWS ANY OPERATING FACILITY TO MAINTAIN A 100% LEVEL OF OPERATION AND CLEANLINESS.
- ALL RUBBISH AND DEBRIS RESULTING FROM DEMOLITION AND/OR NEW WORK SHALL BE DISPOSED OF OFFSITE AND SHALL NOT BE ALLOWED TO ACCUMULATE. ALL AREAS IN FACILITY ARE TO BE KEPT FREE AND CLEAR OF MISCELLANEOUS CONSTRUCTION EQUIPMENT, MATERIAL, DEBRIS, ETC. WORK AREAS SHALL BE CLEANED AND PICKED UP DAILY.

II. PROCEDURES

- ALL CONTRACTORS SHALL VISIT JOB-SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE SUBMITTING BIDS AND / OR PROCEEDING WITH ANY WORK. SUBMISSION OF BID INDICATES THAT THE CONTRACTOR HAS VERIFIED EXISTING CONDITIONS. GENERAL CONTRACTOR TO OBTAIN MULTIPLE BID SUBCONTRACTORS AND VENDOR PRICING.
- IN NO CASE SHALL DIMENSIONS BE SCALED FROM DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE PROCEEDING WITH SUBSEQUENT WORK. ANY DISCREPANCIES OR CONFLICTS WITH DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION OR CORRECTIVE ACTION PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL PROVIDE A COMPLETE SCHEDULE OF PROPOSED WORK TO THE OWNER AND THE ARCHITECT.
- COORDINATE INSTALLATION OF FURNITURE AND APPLIANCES AS REQUIRED TO ALLOW FOR PROPER APPLICATION OF ALL FINISHES.

III. INSURANCE AND WARRANTIES

- ALL WORK SHALL BE GUARANTEED AGAINST DEFECT FOR ONE YEAR
- ALL CONTRACTORS SHALL TAKE OUT ALL NECESSARY INSURANCES TO INDEMNIFY AND HOLD HARMLESS THE OWNER ARCHITECT AND AGENTS THEREOF FROM ANY DAMAGES RESULTING FROM CONTRACTORS EXECUTION OF WORK.

IV. FILING AND APPROVAL

- NO WORK CAN BEGIN WITHOUT PROPER PERMITS AND INSURANCE CERTIFICATES.
- THE CONTRACTOR WILL CONFIRM COMPLIANCE WITH ALL CURRENT FEDERAL (RRP) AND STATE REGULATIONS FOR RENOVATION SAFETY. THE CONTRACTOR MUST PROVIDE THE OWNER WITH THEIR EPA CERTIFICATION.
- BUILDING PERMITS
 - GENERAL CONTRACTOR SHALL OBTAIN AND PAY ALL REQUIRED PERMITS AND FEES.
 - THE PROPOSED WORK WILL REQUIRE THE REVIEW AND APPROVAL OF THE BUILDING DEPARTMENT.

BUILDING DEPARTMENT NOTES

GENERAL NOTES:

SCOPE OF WORK:

- DEMOLITION OF EXISTING DECK AND LOWER SUPPORTS. INTERIOR DEMOLITION TO INCLUDE MUDROOM, KITCHEN, LIVING AND ROOM, GAS FIRE BOX AND FRONT ENTRY DOOR.
 - REMOVAL OF NON-STRUCTURAL PARTITIONS, INTERIOR DOORS, MILLWORK, PLUMBING FIXTURES, AND EXTERIOR WINDOWS/DOORS PER DEMOLITION PLANS. REMOVAL OF EXISTING POWDER ROOM AND CLOSET.
 - CONSTRUCT A NEW ADDITION OFF REAR OF HOME. NEW ADDITION TO HAVE CATHEDRAL CEILING
 - INSTALLATION NEW PARTITIONS, EXTERIOR FRAMING MEMBERS AND EXTERIOR FINISHES AND TRIM TO MATCH EXISTING.
 - INSTALLATION OF NEW WINDOWS AND EXTERIOR DOORS. SEE DOOR SCHEDULE ON SHEET A-500 FOR MORE INFORMATION.
 - INSTALLATION OF NEW WOOD FLOORING AND TILE FLOORING. PATCH SELECTIVELY.
 - INSTALLATION OF NEW KITCHEN APPLIANCES AND CABINETRY. INSTALLATION CABINETRY IN MUDROOM AND GREAT ROOM. NEW POWDER ROOM NEAR SIDE ENTRY.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE RESIDENTIAL CODE OF N.Y.S. (RCNY), FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
 - BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED INSURANCE CERTIFICATES WITH THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.
 - MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ALL DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF WORK.
 - THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING, ELECTRICAL, ETC.

- CONTRACTOR TO KEEP AN APPROVED SET OF DRAWINGS WILL BE AVAILABLE ON THE CONSTRUCTION SITE AT ALL TIMES. ALL APPROPRIATE AND NECESSARY PERMITS MUST BE POSTED AT ALL TIMES.
- THE CONTRACTOR SHALL NOT CUT, CHOP OR CHANNEL ANY STRUCTURAL MEMBERS INCLUDING SLABS, FOR ANY REASON WHATSOEVER. THE CONTRACTOR SHALL BRACE ALL EXISTING STRUCTURES OR STRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION AND CONSTRUCTION
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE EXISTING CONSTRUCTION AS INDICATED ON THE DRAWINGS OR AS REQUIRED TO INSTALL NEW WORK AS SHOWN ON DRAWINGS. TYPICAL WALL REMOVAL INCLUDES FINISHES, MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE CEILING FINISH MATERIAL AND FINISH FLOOR COVERING AS REQUIRED TO INSTALL NEW WORK AS SHOWN ON DRAWINGS. REMOVE DOORS, WINDOWS, CASEWORK, FRAMES, AND OTHER FIXTURES AS REQUIRED. AFTER REMOVAL OF PIPE CHASES, PATCH HOLES IN EXISTING FLOORS AND/OR WALLS TO REMAIN TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PATCH ADJOINING WALLS, FLOOR AND DECK. PREPARE SURFACES TO RECEIVE NEW FINISH PER OWNER SELECTION.

V. DEMOLITION

- A TOILET FOR THE WORKERS SHALL BE MAINTAINED WITHIN THE AREA.
- THE CONTRACTOR SHALL NOT CUT, CHOP OR CHANNEL ANY STRUCTURAL MEMBERS INCLUDING SLABS, FOR ANY REASON WHATSOEVER. THE CONTRACTOR SHALL BRACE ALL EXISTING STRUCTURES OR STRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION AND CONSTRUCTION
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE EXISTING CONSTRUCTION AS INDICATED ON THE DRAWINGS OR AS REQUIRED TO INSTALL NEW WORK AS SHOWN ON DRAWINGS. TYPICAL WALL REMOVAL INCLUDES FINISHES, MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE CEILING FINISH MATERIAL AND FINISH FLOOR COVERING AS REQUIRED TO INSTALL NEW WORK AS SHOWN ON DRAWINGS. REMOVE DOORS, WINDOWS, CASEWORK, FRAMES, AND OTHER FIXTURES AS REQUIRED. AFTER REMOVAL OF PIPE CHASES, PATCH HOLES IN EXISTING FLOORS AND/OR WALLS TO REMAIN TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PATCH ADJOINING WALLS, FLOOR AND DECK. PREPARE SURFACES TO RECEIVE NEW FINISH PER OWNER SELECTION.

VI. SITE CONDITION

- CONTRACTOR TO INSTALL SILT FENCING IN ACCORDANCE WITH NEW CASTLE CONSERVATION AROUND NEW ADDITION. ANY STOCKPILE MUST BE SILT FENCED AS WELL. SEED AND HAY MAY BE REQUIRED UNLESS TARPED.

VII. CONCRETE AND MASONRY

- CONTRACTOR TO INSTALL NEW 24" X 24" X 12" HAUNCH CONCRETE FOOTING W/ (3) #5 BARS EQUALLY SPACED, EACH WAY, 3" CLEARANCE FROM BOTTOM AND SIDES. FOOTING MUST REST ON UNDISTURBED SOIL. IF SOIL IS DISTURBED OR MUST BE RAISED FOR ANY REASON PROPER COMPACTION AT 12" LIFTS MUST OCCUR.
- POOL PATIO TO MATCH EXISTING STONE.
- NEW STAIR LANDING AT THE BASE OF DECK STAIR. LANDING TO MATCH EXISTING STONE.

VIII. FRAMING

- PROVIDE DOUBLE STUDS AT ALL DOORS AND WINDOWS FRAME OPENINGS THROUGH PARTITIONS. TYP. DOUBLE 2X10 HEADER AT ALL STANDARD DOOR OPENING UNLESS NOTED OTHERWISE.
- WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASEMENT (IF APPLICABLE), THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. ALL FINISHED WALL SURFACES SHALL BE FLUSH.

VII. INTERIOR WATERPROOFING

- CONTRACTOR TO VERIFY CONDITION OF EXISTING WATERPROOF MEMBRANE IN POWDER ROOM PRIOR TO NEW TILE INSTALL.

VIII. FINISHES

- EXISTING WOOD FLOORS SHALL REMAIN. NEW WOOD FLOORING SHALL BE INSTALLED IN ACCORDING TO THESE PLANS.

IX. MECHANICAL

- HVAC CONTRACTOR TO MODIFY EXISTING DUCT WORK AS PER NEW PLAN.
- HVAC CONTRACTOR SHALL VERIFY CONDITION AND COMPATIBILITY OF EXISTING MECHANICAL EQUIPMENT PRIOR TO START OF ANY WORK.
- NEW MAKE-UP AIR KIT TO SUPPORT HOOD CFM. SEE HOOD SPECIFICATIONS FOR INSTALLATION DETAILS.

X. ELECTRICAL

- ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE NEW YORK STATE ELECTRICAL CODES, WITH CURRENT BUILDING CODE, LATEST EDITION OR CURRENT EDITION OF CODE ENFORCED BY THE GOVERNING AUTHORITIES.
- CONTRACTOR TO VERIFY CONDITION OF EXISTING ELECTRICAL PANEL. NEW SUB PANEL TO BE INSTALLED IN CELLAR.

XI. MILLWORK

- MILLWORK AND MILLWORK MANUFACTURER SHALL BE DESIGNED AND SELECTED BY THE OWNERS AND ARCHITECT. ALL TRADES SHALL COORDINATE WITH MILLWORK MANUFACTURER TO ENSURE PROPER LOCATIONS OF LIGHTING, ELECTRICAL OUTLETS, HVAC, ETC.

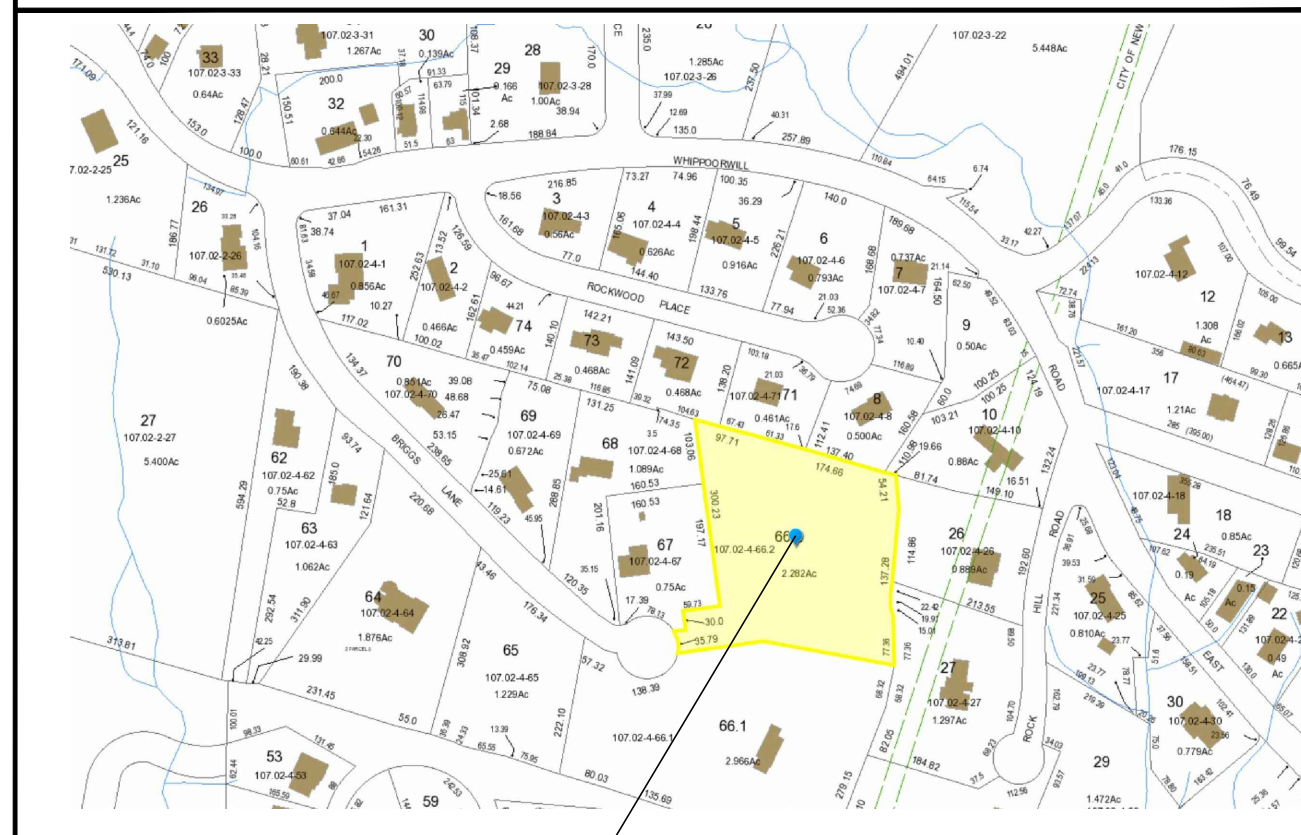
XIII. FINAL CLEAN-UP

- THE CONTRACTOR SHALL COORDINATE TO MAKE CERTAIN THAT ALL HOUSEKEEPING CLEAN-UP ITEMS ARE DONE PRIOR TO COMPLETION. THIS WOULD INCLUDE WIPING DOWN, CLEANING GLASS, WASHING, WAXING, VACUUMING, OR ANY OTHER SERVICES WHICH WOULD BE PERFORMED UNDER THE CONTRACTOR'S MAINTENANCE CLEANING PROGRAMS. UPON COMPLETION OF WORK, ALL WASTE MATERIAL, RUBBISH, TOOLS, CONSTRUCTION EQUIPMENT MACHINERY, AND OTHER SURPLUS MATERIALS SHALL BE REMOVED FROM THE SITE.
- THOROUGHLY CLEAN ALL LAMPS, AIR DIFFUSERS AND HEATING ELEMENTS AFTER CONSTRUCTION WORK IS COMPLETE.

LIST OF DRAWINGS

DWG #	DESCRIPTION
T-100.00	COVER SHEET, GENERAL NOTES, BUILDING DEPT. NOTES, LOCATION PLAN, CODE INFORMATION
T-101.00	SITE DIAGRAM, ZONING CHART
T-102.00	AERIAL IMAGES + NEIGHBORING HOMES
DM-100.00	DEMOLITION PLAN - BASEMENT FLOOR
DM-101.00	DEMOLITION PLAN - FIRST FLOOR
A-100.00	CONSTRUCTION PLAN - BASEMENT FLOOR
A-101.00	CONSTRUCTION PLAN - FIRST FLOOR
A-102.00	CONSTRUCTION PLAN - ROOF FLOOR
A-200.00	RCP - BASEMENT FLOOR
A-202.00	RCP - FIRST FLOOR
A-300.00	EXTERIOR ELEVATIONS: LEFT AND RIGHT SIDE
A-301.00	EXTERIOR ELEVATIONS: REAR AND LEFT SIDE
A-400.00	BUILDING SECTION
A-401.00	WALL SECTION

LOCATION PLAN



15 BRIGGS LANE
(UP IS NORTH)

RES-CHECK

Generated by REScheck-Web Software
Compliance Certificate

Project: Sokoloff Residence

Energy Code: 2015 IECC
Location: Armonk, New York
Construction Type: Single-family Addition
Climate Zone: 4 (5832 HDD)
Permit Number: [blank]

Construction Site: 15 Briggs Lane, Armonk, New York 10504
Owner/Agent: [blank]
Designer/Contractor: [blank]

Compliance: Passes using UA tradeoff
Compliance: **12.7% Better Than Code** Maximum UA: 173 Year UA: 151 Maximum SHGC: 0.40 Year SHGC: 0.26

Envelope Assemblies	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
New Addition Ceiling: Cathedral Ceiling (no attic)	635	49.0	0.0	0.022	14
New Great Room Addition: Wood Frame, 16" o.c.	564	21.0	0.0	0.057	19
New Great Room Addition Door: Glass Door (over 50% glazing) SHGC: 0.21	60			0.320	19
Window 2: Wood Frame SHGC: 0.28	163			0.310	51
New Kitchen Addition: Wood Frame, 16" o.c.	282	21.0	0.0	0.057	13
New Kitchen Addition Door: Glass Door (over 50% glazing) SHGC: 0.21	21			0.320	7
New Kitchen Addition Windows: Wood Frame SHGC: 0.28	27			0.310	8
New Great Room Addition Floor: All-Wood Joist/Truss	477	30.0	0.0	0.033	16
New Kitchen Addition Floor: All-Wood Joist/Truss	136	30.0	0.0	0.033	4

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2015 IECC requirements in REScheck Version 1 - REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name: Title Signature Date

EXPOSURE CRITERIA

POTENTIAL FOR DAMAGE FROM:						SEISMIC ZONE	WINTER DESIGN TEMP.	ICE SHIELD REQUIRED	FLOOD ZONE
GROUND SNOW LOAD	WIND SPEED (MPH)	WEATHERING	FROSTLINE (DEPTH)	TERMITE	DECAY				
30	90-100 SPECIAL	SEVERE	3' - 6'	MODERATE TO HEAVY	SLIGHT	C	7 (F)	YES	

CODE INFORMATION

PLANS MEET ALL NYS BUILDING CODES AND ENERGY CODES

- BUILDING: NEW YORK STATE BUILDING CODE COMMENCED 2020
- ELECTRICAL: NATIONAL ELECTRIC CODE
- MECHANICAL: NEW YORK STATE BUILDING CODE COMMENCED 2020
- PLUMBING: NEW YORK STATE BUILDING CODE COMMENCED 2020
- FIRE: NEW YORK STATE BUILDING CODE COMMENCED 2020
- HANDICAP: FEDERAL ADA ACCESSIBILITY GUIDELINES
- ENERGY: INTERNATIONAL ENERGY CONSERVATION CODE 2015

No.	ISSUE	DATE
1	ISSUED FOR RPRC REVIEW	09/23/2020

LEGEND

- EXISTING PARTITION TO REMAIN
- HEADERS AND OBJECTS ABOVE
- NEW FULL-HEIGHT PARTITION
- WALLS TO BE REMOVED
- 1-1/ A-5.01** SECTION/ DRAWING NUMBER
- DOOR TYPE TAG
- PARTITION TYPE TAG
- N.I.C.

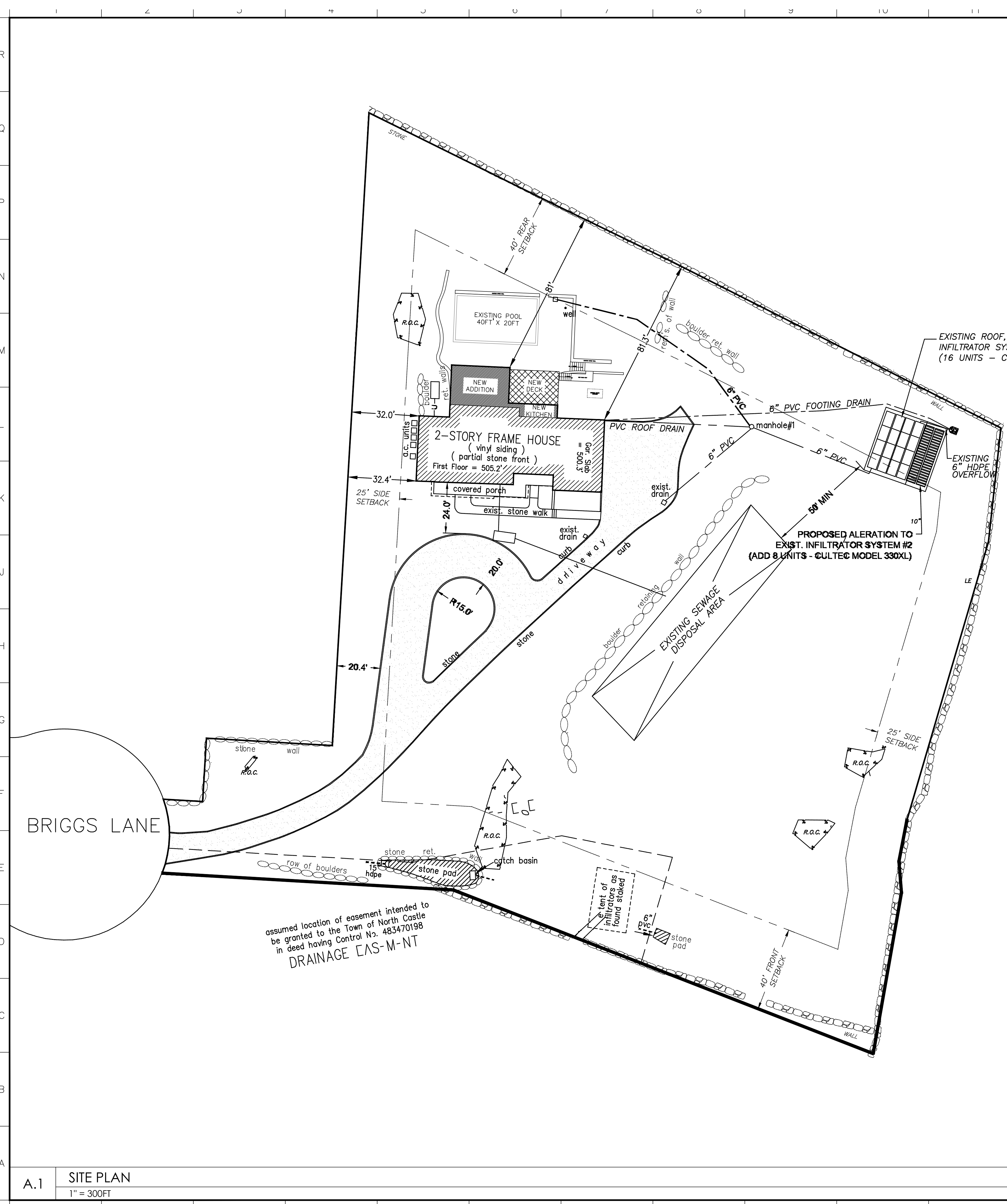
SOKOLOFF RESIDENCE
15 BRIGGS LN,
Armonk, NY 10504

Hirshson | ARCHITECTURE + DESIGN
FOUR HUNDRED NINE MAIN STREET
ARMONK, NEW YORK 10504
(914) 273-2001 | www.hirshsondesign.com

Scott Garad Hirshson, AIA
NY LICENSE# 038133

TITLE SHEET, LIST OF DRAWINGS,
BUILDING DATA, LOCATION MAP,
GENERAL NOTES, & BUILDING
DEPARTMENT NOTES

DATE CREATED: 11/26/2019
DRAWN BY: KB
CHECKED BY: SH
Project No:
A-1907
DWG. No:
A-100.00
DRAWING # 07 OF 12



A.1 SITE PLAN
1" = 300FT

PROJECT DATA

PARCEL:	4	BLOCK:	66.2
LOCATION:	15 BRIGGS LANE, ARMONK, NEW YORK		
ZONING DISTRICT:	R-3/4A		
TAX MAP SECTION DESIGNATION:	107.02-4-66.2		
CONSTRUCTION CLASS:	5B		
USE GROUP:	RESIDENTIAL / SINGLE FAMILY ADDITION		

TABLE OF AREA, YARD AND BUILDING REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED	VARIANCE
MINIMUM LOT REQUIREMENTS				
LOT AREA:	.75 ACRE	2.28 ACRE	NO CHANGE	-
	32,670 SQ.FT.	99,404 SQ.FT.	EXIST.	-
SETBACK REQUIREMENTS				
	MINIMUM	EXISTING	PROPOSED	VARIANCE
FRONT YARD:	40 FT	192.8 FT	NO CHANGE	NO
RIGHT SIDE YARD:	25 FT	32.3 FT	NO CHANGE	NO
LEFT SIDE YARD:	25 FT	182.5 FT	NO CHANGE	NO
REAR YARD:	40 FT	81 FT	NO CHANGE	NO

	MAXIMUM	EXISTING	PROPOSED	VARIANCE
BULK REQUIREMENTS				
HEIGHT OF MAIN BUILDING (STORIES)	30 FT	27 FT	NO CHANGE	NO
	2-1/2	2-1/2	NO CHANGE	-
HEIGHT OF ACCESSORY BUILDING (STORIES)	15 FT	N/A	NO CHANGE	NO
	1	N/A	N/A	-

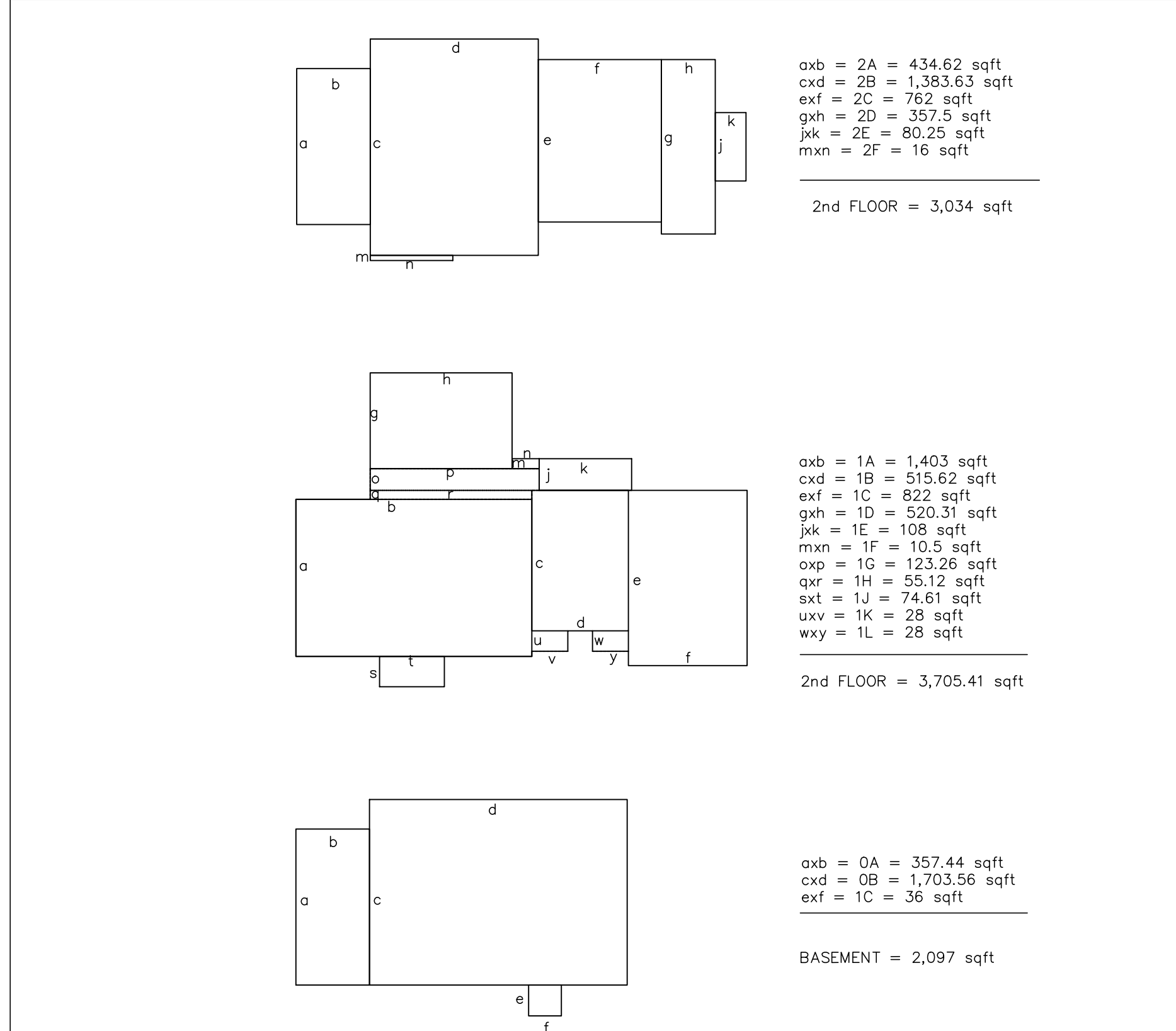
MAXIMUM FLOOR AREA CALCULATION: 14,191 sq.ft.

BUILDING STATISTICS	EXISTING	NEW	TOTAL	VARIANCE
BASEMENT AREA:	2,097 sq.ft.	NO CHANGE	2,097 sq.ft.	
1ST FLOOR AREA:	2,097 sq.ft.	815 sq.ft.	2,912 sq.ft.	-
2ND FLOOR AREA:	3,034 sq.ft.	NO CHANGE	3,034 sq.ft.	-
GARAGE FLOOR AREA:	782 sq.ft.	NO CHANGE	782 sq.ft.	-
PORCH FLOOR AREA:	363 sq.ft.	NO CHANGE	363 sq.ft.	-
TOTAL FLOOR AREA CALCULATION:	8,373 sq.ft.	815 sq.ft.	9,188 sq.ft.	NO

NOTES:

- SITE SURVEY INFORMATION OBTAINED FROM SURVEY PREPARED BY BIBBO ASSOCIATES, LLP. PREPARED ON NOVEMBER 10, 2014
- ALL PLANTINGS SHOULD HAVE A MINIMUM ONE YEAR GUARANTEE FROM ISSUANCE OF CERTIFICATE OF OCCUPANCY. ANY PLANTINGS WHICH THE APPROVING AUTHORITY DETERMINES TO BE DECEASED, DEAD OR DYING BEFORE OR DURING THE GUARANTEED YEAR SHALL BE REPLACED DURING THE NEXT PLANTING SEASON AFTER SUCH DETERMINATION IS MADE.

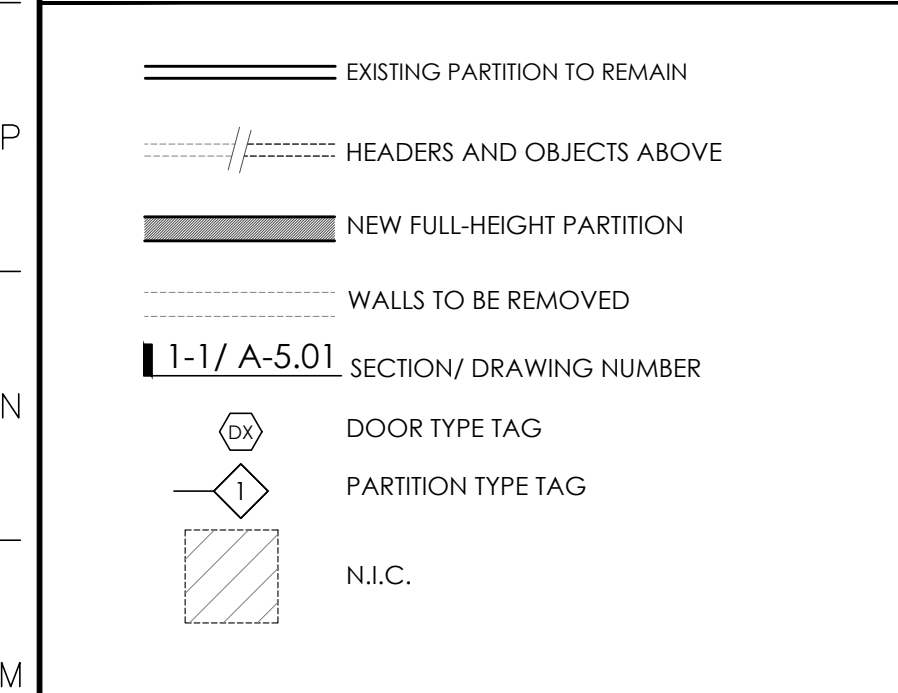
E.12 ZONING CHART
N/A



A.12 GROSS FLOOR AREA ILLUSTRATION
N.T.S.

No.	ISSUE	DATE
1	ISSUED FOR RPRC REVIEW	09/23/2020

LEGEND



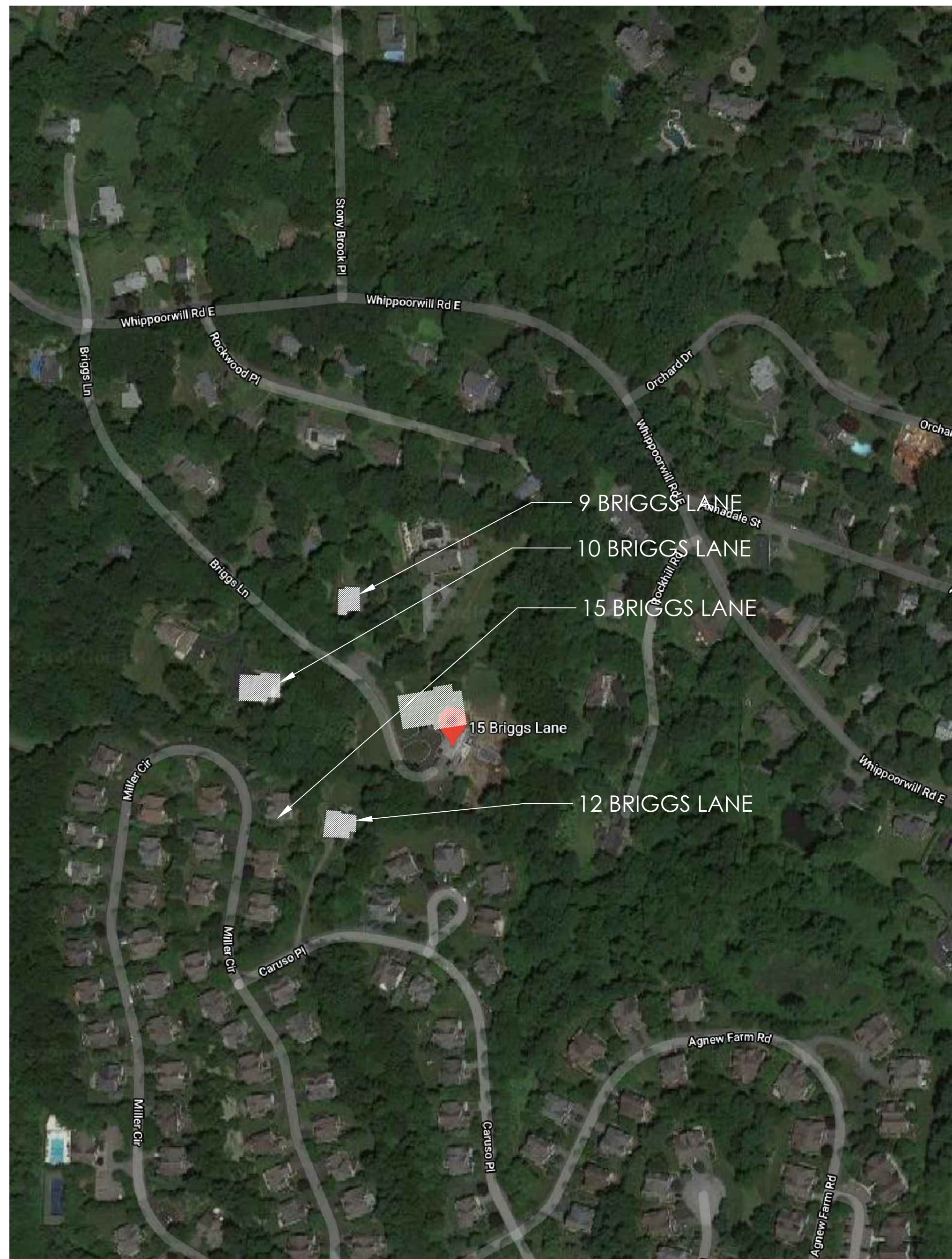
SOKOLOFF RESIDENCE
15 BRIGGS LN,
Armonk, NY 10504

Hirshson | ARCHITECTURE + DESIGN
FOUR HUNDRED NINE MAIN STREET
ARMONK, NEW YORK 10504
(914) 273-2001 | www.hirshsondesign.com

Scott Garad Hirshson, AIA
NY LICENSE# 038133

SITE PLAN
ZONING INFORMATION

DATE CREATED: 11/26/2019
DRAWN BY: KB
CHECKED BY: SH
Project No: A-1907
DWG. No: A-100.00
DRAWING # 07 OF 12



F.8 GOOGLE EARTH MAP IMAGE
N.T.S.



L.8 EXISTING FRONT (SOUTH) ELEVATION
N.T.S.



L.13 EXISTING SIDE (EAST) ELEVATION
N.T.S.



F.8 EXISTING REAR (NORTH) ELEVATION
N.T.S.

F.13 EXISTING SIDE (WEST) ELEVATION
N.T.S.



A.1 9 BRIGGS LANE
N.T.S.



A.8 10 BRIGGS LANE
N.T.S.



A.13 12 BRIGGS LANE
N.T.S.

No.	ISSUE	DATE
1	ISSUED FOR RPRC REVIEW	09/23/2020

LEGEND

- EXISTING PARTITION TO REMAIN
- HEADERS AND OBJECTS ABOVE
- NEW FULL-HEIGHT PARTITION
- WALLS TO BE REMOVED
- 1-1/ A-5.01** SECTION/ DRAWING NUMBER
- DOOR TYPE TAG
- PARTITION TYPE TAG
- N.I.C.

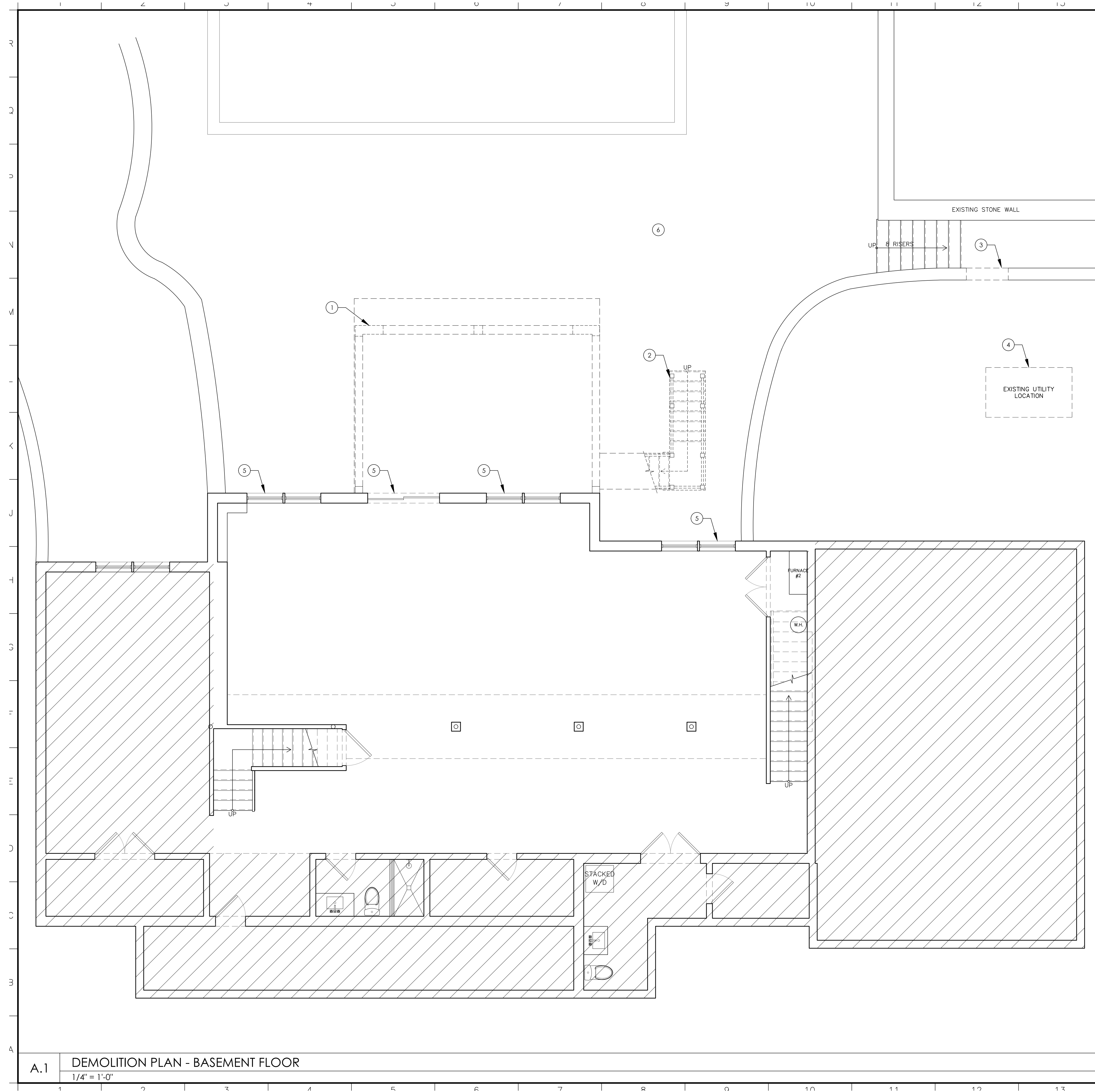
SOKOLOFF RESIDENCE
15 BRIGGS LN,
Armonk, NY 10504

Hirshson | ARCHITECTURE + DESIGN
FOUR HUNDRED NINE MAIN STREET
ARMONK, NEW YORK 10504
(914) 273-2001 | www.hirshsondesign.com

Scott Garad Hirshson, AIA
NY LICENSE# 038133

ARCHITECTURE REVIEW
ZONING DEPARTMENT

DATE CREATED: 11/26/2019
DRAWN BY: SH
CHECKED BY: SH
Project No: A-1907
DWG. No: A-100.00
DRAWING # 07 OF 12



DEMOLITION PLAN NOTES:

1. DEMOLITION OF EXISTING COLUMNS. CAREFULLY REMOVE THE SURROUNDING PATIO VENEER FOR FUTURE INSTALLATION.
2. DEMOLITION OF EXISTING STAIRCASE.
3. REMOVE PORTION OF EXISTING RETAINING WALL FOR NEW WALK-WAY ACCESS.
4. IDENTIFY THE EXISTING GAS LINES INTO HOME PRIOR TO ANY DEMOLITION. CALL BEFORE YOU DIG.
5. VERIFY CONDITION OF EXISTING DOOR AND WINDOW HEADERS PERTAINING TO NEW ADDITION.
6. PROTECT EXISTING PATIO SURFACE THROUGHOUT CONSTRUCTION.

No.	ISSUE	DATE
1	ISSUED FOR RPRC REVIEW	09/23/2020

LEGEND

- EXISTING PARTITION TO REMAIN
- HEADERS AND OBJECTS ABOVE
- NEW FULL-HEIGHT PARTITION
- WALLS TO BE REMOVED
- 1-1/ A-5.01** SECTION/ DRAWING NUMBER
- DOOR TYPE TAG
- PARTITION TYPE TAG
- N.I.C.

SOKOLOFF RESIDENCE
 15 BRIGGS LN,
 Armonk, NY 10504

Hirshson | ARCHITECTURE + DESIGN
 FOUR HUNDRED NINE MAIN STREET
 ARMONK, NEW YORK 10504
 (914) 273-2001 | www.hirshsondesign.com

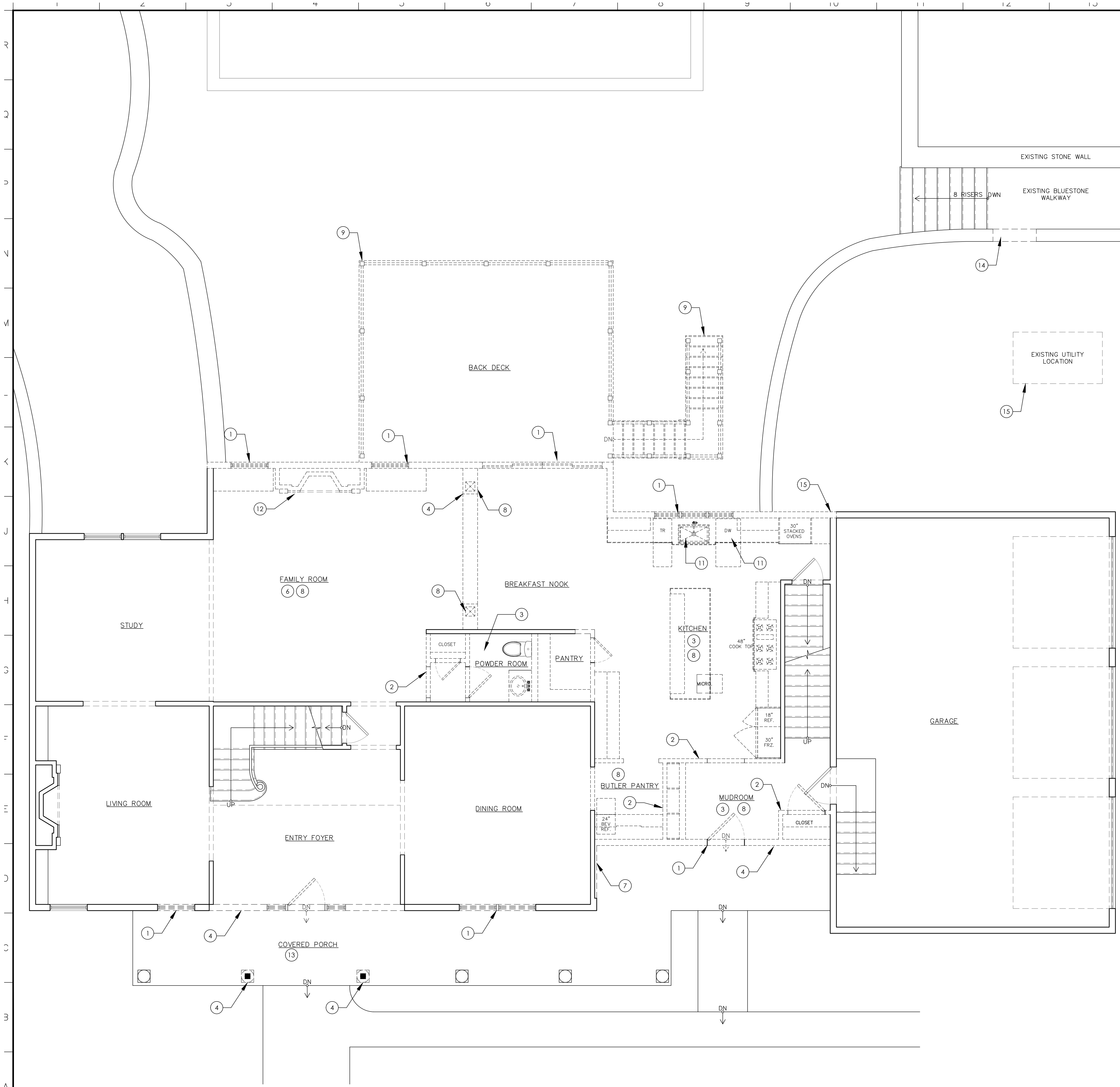
Scott Garad Hirshson, AIA
 NY LICENSE# 038133

**DEMOLITION PLAN
 AT BASEMENT FLOOR**

A.1 DEMOLITION PLAN - BASEMENT FLOOR
 1/4" = 1'-0"

A.14 DEMOLITION PLAN NOTES
 NOT TO SCALE

DATE CREATED: 11/26/2019
DRAWN BY: KB
CHECKED BY: SH
Project No: A-1907
DWG. No: DM-100.00
DRAWING # 03 OF 12



DEMOLITION PLAN NOTES AT FIRST FLOOR:

1. REMOVE EXISTING WINDOW, DOOR AND/OR PORTION OF EXTERIOR WALL AS NOTED. SEE CONSTRUCTION PLANS FOR MORE INFO. G.C. TO IDENTIFY ANY STRUCTURAL ELEMENTS AND MAINTAIN THEM DURING DEMOLITION.
2. REMOVE EXISTING INTERIOR WALLS AND DOORS AS NOTED. SEE CONSTRUCTION PLANS FOR MORE INFO. G.C. TO IDENTIFY STRUCTURAL ELEMENTS AND MAINTAIN THEM DURING DEMOLITION. SALVAGE AND PROTECT EXISTING DOORS AND HARDWARE FOR POTENTIAL REUSE.
3. REMOVE EXISTING LIGHTING, WIRING, OUTLETS AS REQUIRED. PREPARE FOR NEW LAYOUT / RELOCATION. RELOCATE ELECTRICAL DEVICES AS NEEDED. CONFER WITH ARCHITECT FOR LOCATION OF ANY POTENTIAL REQUIRED SPICE BOXES OR ACCESS PANELS.
4. PROBE FOR POTENTIAL STRUCTURE POST AND SUPPLY PIPES PRIOR TO DEMOLITION OF WALL. NEW OPENING WILL BE RELOCATED IF POST EXISTS.
5. REMOVE PORTION OF EXTERIOR WALL TO ALLOW FOR INSTALLATION OF NEW WINDOW. SEE CONSTRUCTION PLAN AND WINDOW SCHEDULE FOR ROUGH OPENING SIZE.
6. SELECTIVELY REMOVE EXISTING HARDWOOD FLOORING. PREPARE TO RECEIVE NEW HARDWOOD. LEVEL FLOOR WHERE FLOORING IS BEING INSTALLED OVER EXISTING JOISTS.
7. PROBE TO DETERMINE MINIMAL FURRING. REMOVAL OF MATERIAL, TO OBTAIN A FLUSH WALL. REMOVE EXCESS CLADDING AS NECESSARY.
8. RELOCATE HVAC RETURNS AS REQUIRED. PATCH AND REPAIR ALIGN FINISHES. PLEASE SEE CONSTRUCTION PLAN FOR REGISTER THAT REMAIN.
9. REMOVE EXISTING DECK AND LEDGER BOARD. REMOVE EXISTING DECK STAIRCASE
10. CONTRACTOR SHALL REMOVE EXISTING KITCHEN CABINERY. PROTECT ALL SURROUNDING SURFACES. RETAIN HARDWARE.
11. REMOVE ALL EXISTING PLUMBING FIXTURES AND ASSOCIATED CABINERY / SHOWER DOORS. REMOVE ABANDONED PLUMBING LINES. CAP ALL PIPING AS REQUIRED. IDENTIFY RISER LOCATION FOR LOCATION OF LOCAL SHUT-OFF. DISCONNECT ALL GAS CONNECTIONS AS PER CODE.
12. EXISTING CHIMNEY TO BE REMOVED. VERIFY STRUCTURAL INTEGRITY PRIOR TO DEMOLITION.
13. REMOVE, PROTECT AND SALVAGE EXISTING TOP STONES.
14. REMOVE PORTION OF RETAINING WALL. EXISTING DRIVE-WAY TO BE SHORED AND PROTECTED THROUGHOUT CONSTRUCTION.
15. VERIFY UTILITIES PRIOR TO DIGGING. CALL-BEFORE YOU DIG..
16. EXISTING DRIVE-WAY TO BE PROTECTED THROUGHOUT CONSTRUCTION.
17. REMOVE EXISTING MILLWORK.

ANY ASBESTOS REMEDIATION SHALL BE DONE BY LICENSED ASBESTOS CONSULTANT.

No.	ISSUE	DATE
1	ISSUED FOR RPRC REVIEW	09/23/2020

LEGEND

- EXISTING PARTITION TO REMAIN
- HEADERS AND OBJECTS ABOVE
- NEW FULL-HEIGHT PARTITION
- WALLS TO BE REMOVED
- 1-1 / A-5.01** SECTION/ DRAWING NUMBER
- DOOR TYPE TAG
- PARTITION TYPE TAG
- N.I.C.

SOKOLOFF RESIDENCE
 15 BRIGGS LN.
 Armonk, NY 10504

Hirshson | ARCHITECTURE + DESIGN
 FOUR HUNDRED NINE MAIN STREET
 ARMONK, NEW YORK 10504
 (914) 273-2001 | www.hirshsondesign.com

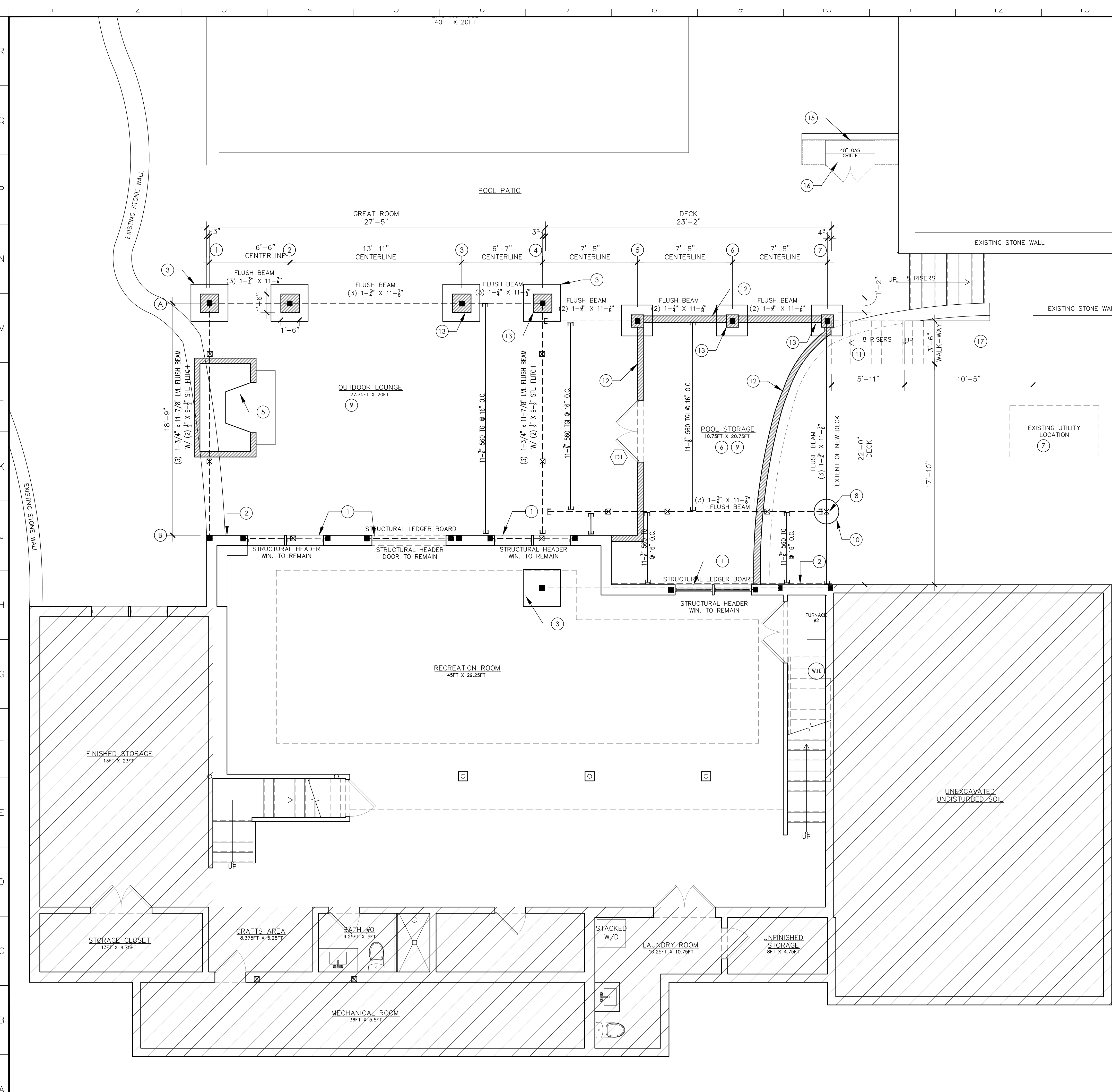
Scott Garad Hirshson, AIA
 NY LICENSE# 038133

**DEMOLITION PLAN
 AT FIRST FLOOR**

DATE CREATED: 11/26/2019
DRAWN BY: KB
CHECKED BY: SH
Project No: A-1907
DWG. No: DM-101.00
DRAWING # 07 OF 12

A.1 DEMOLITION PLAN - FIRST FLOOR
 1/4" = 1'-0"

A.14 DEMOLITION PLAN NOTES
 NOT TO SCALE



CONSTRUCTION PLAN NOTES:

1. EXISTING WINDOWS AND DOOR TO REMAIN. STRUCTURAL PROBING REQUIRED TO VERIFY EXISTING HEADER.
2. INSTALL NEW STRUCTURAL LEDGER BOARD. INSTALL (2) SIMPSON STRONG TIE DTT27 TENSION HOLD DOWN @ 24" O.C. STAGGERED.
3. NEW 36" X 36" X 12" STRUCTURAL FOOTING W/ (3) #5 BARS EACH WAY 3" CLEARANCE FROM BOTTOM AND SIDES TYPICAL. RUN CONTINUOUS REBAR FROM FOOTING TO COLUMN SPLICED AT 24."
4. INSTALL NEW STRUCTURAL LEDGER BOARD. INSTALL (2) SIMPSON STRONG TIE DTT27 TENSION HOLD DOWN @ 24" O.C. STAGGERED
5. NEW 48" RAISED WOOD BURNING FIRE BOX. SEE MANUFACTURES SPECIFICATIONS FOR CLEARANCES.
6. NEW UNDER-DECK DRAINAGE SYSTEM. INSTALL (1) NEW DOWN SPOUT AND CONNECT TO EXISTING DRAIN TO DAYLIGHT.
7. CALL BEFORE YOU DIG PRIOR TO ANY EXCAVATION IN THIS SPECIFIC AREA. EXISTING UTILITIES TO REMAIN.
8. VERIFY LOCATION AND RUN OF EXISTING GAS LINE FOR OUTDOOR GRILLE. EXISTING GAS LINE TO BE RELOCATED.
9. EXISTING STONE PATIO TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. PATCH AND REPAIR TO MATCH EXISTING.
10. 12" DIA. CONCRETE FILLED SONOTUBE PIER W/24" DIA. HAUNCH FOOTING TO MIN. 42" BELOW GRADE. CAST 1/2" ANCHOR THREADED ROD, DWN. 1'-6" SIMPSON ABU STAINLESS STEEL 8x8 POST BASE BRACKET. 8x8 PT WOOD POST ABOVE. REBAR DESIGN BY ENGINEER.
11. NEW DECK STAIRS. 1X4 IPE DECKING MATERIAL W/ 3/8" SPACING, SCREWED AND PLUGGED TO MATCH GRAIN.
12. SHIPLAP WALL CONSTRUCTION
13. NEW EXTERIOR POST TO BE WRAPPED IN AZEK. SEE EXTERIOR ELEVATION FOR DETAIL.
14. NEW OUTDOOR SERVING COUNTER WITH BBQ.
15. NEW GAS GRILLE CONNECTION. SEE GRILLE SPECIFICATIONS FOR DETAIL.
16. NEW MASONRY GRILLE ASSEMBLY. STONE TOPS TO MATCH EXISTING.
17. NEW STONE WALK-WAY TO MATCH EXISTING.

GENERAL NOTES:

JOINTS, PENETRATIONS, AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE SEALED.

NEW INTERIOR PARTITIONS SHALL BE 2x4 WOOD STUDS @ 16" O/C WITH 5/8" THICK GYP. BD. EACH SIDE AND PRESSURE TREATED SOLE PLATES. EACH VISIBLE SIDE & PAINTED FINISH, TYPE, PAINT COLOR TO BE SELECTED BY OWNER.

NEW EXTERIOR WALL FRAMING SHALL BE 2 X 6 WOOD STUDS @ 16" O/C WITH 5/8" THICK GYP. BD. AND R-21 OR BETTER INSULATION - TO MATCH EXISTING EXTERIOR WALL CONSTRUCTION. NEW SIDING TO MATCH EXISTING.

REFER TO FINISH SCHEDULE FOR FINISHES AND WALLCOVERING. CONTRACTOR TO INSTALL FINISHES AND WALLCOVERINGS AND PAINT ALL SURFACES AS NOTED. SEE FINISH SCHEDULE FOR MATERIALS THAT WILL BE SUPPLIED BY OWNER.

ALL MATERIALS, PROCUREMENT AND INSTALLATIONS SHALL BE INSTALLED IN ACCORDANCE WITH HIGHEST BUILDING STANDARDS AS CALLED OUT BY PROFESSIONAL TRADE ORGANIZATIONS INCLUDING BUT NOT LIMITED TO AWI, NOFMA, ATIOA, ETC. UNLESS SPECIFICALLY NOTED OTHERWISE. WARRANTED CRACK SUPPRESSION SHALL BE INSTALLED AT ALL STONE AND TILED FLOOR SURFACES.

No.	ISSUE	DATE
1	ISSUED FOR RPRC REVIEW	09/23/2020

LEGEND

- EXISTING PARTITION TO REMAIN
- HEADERS AND OBJECTS ABOVE
- NEW FULL-HEIGHT PARTITION
- WALLS TO BE REMOVED
- 1-1/ A-5.01** SECTION/ DRAWING NUMBER
- DOOR TYPE TAG
- PARTITION TYPE TAG
- N.I.C.

A.1 CONSTRUCTION PLAN - BASEMENT FLOOR
1/4" = 1'-0"

A.14 CONSTRUCTION PLAN NOTES
NOT TO SCALE

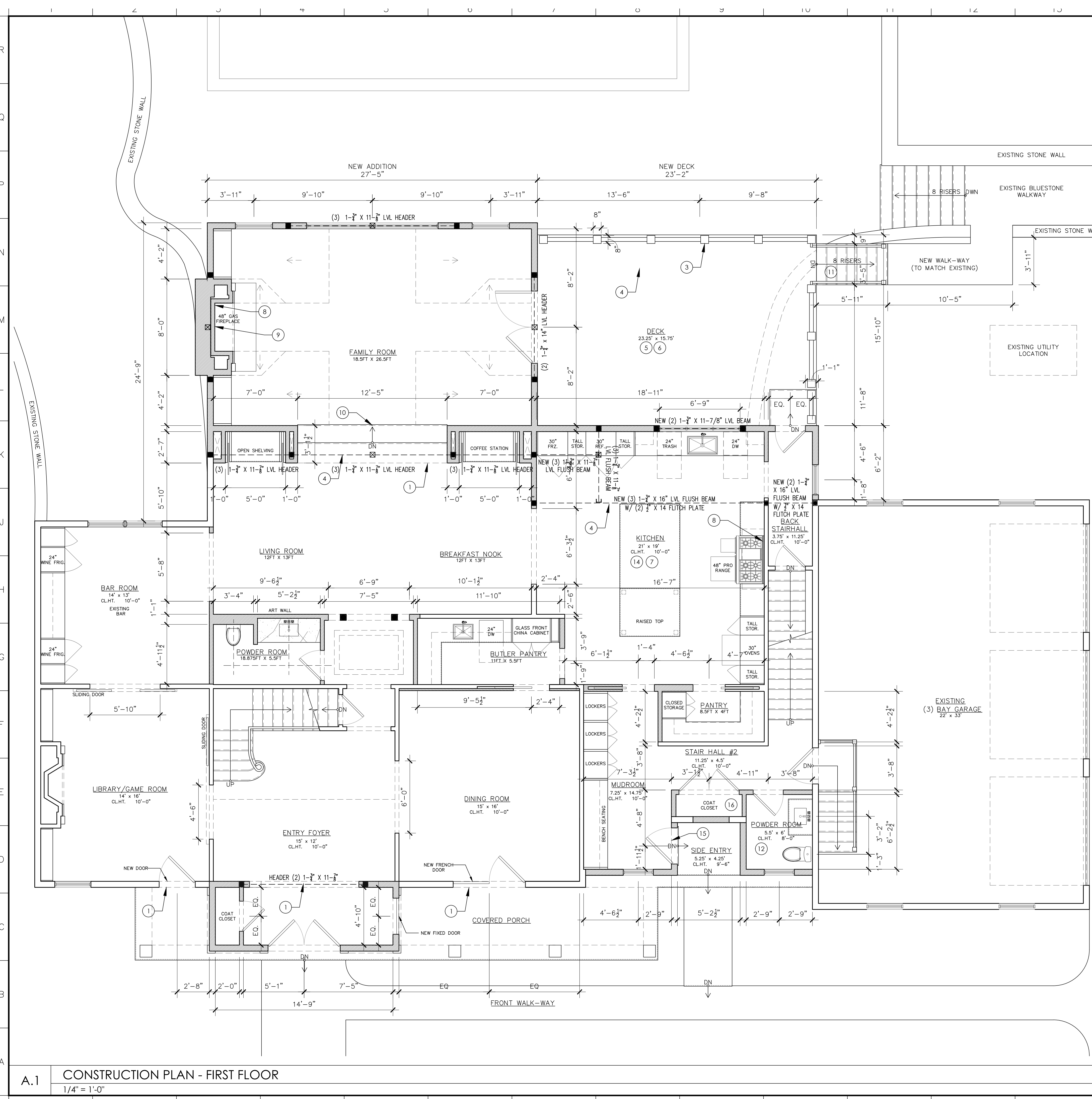
SOKOLOFF RESIDENCE
15 BRIGGS LN,
Armonk, NY 10504

Hirshson | ARCHITECTURE + DESIGN
FOUR HUNDRED NINE MAIN STREET
ARMONK, NEW YORK 10504
(914) 273-2001 | www.hirshsondesign.com

Scott Garad Hirshson, AIA
NY LICENSE# 038133

CONSTRUCTION PLAN AT BASEMENT FLOOR

DATE CREATED: 11/26/2019
DRAWN BY: KB
CHECKED BY: SH
Project No: A-1907
DWG. No: A-100.00
DRAWING # 07 OF 12



CONSTRUCTION PLAN NOTES:

- EXISTING WINDOWS AND DOOR TO REMAIN. STRUCTURAL PROBING REQUIRED TO VERIFY EXISTING HEADER.
- NOT USED.
- NEW DECK RAIL CABLE SYSTEM BETWEEN 8X8 POST WRAPPED IN AZEK W/ CANTED GALVANIZED METAL CAP AND IPE HANDRAIL.
- NEW FLUSH STRUCTURAL BEAM.
- NEW 4" IPE DECKING. CONCEAL SCREW HEADS
- NEW UNDER-DECK DRAINAGE SYSTEM. INSTALL (1) NEW DOWN SPOUT AND CONNECT TO EXISTING DRAIN TO DAYLIGHT.
- SEE MANUFACTURERS SPECIFICATIONS FOR ALL APPLIANCE POWER CONNECTIONS. VERIFY CONDITION OF EXISTING ELECTRICAL PANEL.
- VERIFY LOCATION AND RUN OF EXISTING GAS LINE FOR KITCHEN RANGE AND EXISTING FIRE BOX. EXISTING GAS LINE TO BE RELOCATED.
- NEW 48" GAS BURNING FIRE BOX. SEE MANUFACTURERS SPECIFICATIONS FOR INSTALLATION INSTRUCTIONS.
- NEW (2) RISER STAIRCASE BETWEEN LIVING ROOM AND GREAT ROOM.
- NEW DECK STAIRS. 1X4 IPE DECKING MATERIAL W/ 1/2" SPACING, SCREWED AND PLUGGED TO MATCH GRAIN.
- NEW BATHROOM INSTALLATION TO INCLUDE PLUMBING FIXTURES, LAVATORY(S) AND FITTINGS IN NEW LOCATION. INSTALL NEW FINISHES (REFER TO INTERIOR AND ELEVATIONS)
- NEW EXTERIOR POST TO BE WRAPPED IN AZEK. SEE EXTERIOR ELEVATION FOR DETAIL.
- NEW KITCHEN UPPER AND LOWER CABINETS, PROVIDED AND INSTALLED BY OTHERS. NEW KITCHEN ISLAND. SHOP DRAWINGS WILL SUPERSEDE INTERIOR ELEVATIONS.
- INSTALL NEW SIDE ENTRY DOOR. SEE DOOR SCHEDULE FOR DETAILS.
- ADD ALTERNATE FOR CLOSETS FIT OUTS. G.C. COORDINATE ALL TRADES. ALLOW FOR HANGING BAR WITH ADDITIONAL 3/4" PTD. SHELVING ABOVE WITH 1.5" FRONT SHELF FACE UNLESS OTHERWISE NOTED.
- NEW STONE WALK-WAY TO MATCH EXISTING.

GENERAL NOTES:
 JOINTS, PENETRATIONS, AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE SEALED.
 NEW INTERIOR PARTITIONS SHALL BE 2x4 WOOD STUDS @ 16" O/C WITH 5/8" THICK GYP. BD. EACH SIDE AND PRESSURE TREATED SOLE PLATES. EACH VISIBLE SIDE & PAINTED FINISH, TYPE. PAINT COLOR TO BE SELECTED BY OWNER.
 NEW EXTERIOR WALL FRAMING SHALL BE 2 X 6 WOOD STUDS @ 16" O/C WITH 5/8" THICK GYP. BD. AND R-21 OR BETTER INSULATION - TO MATCH EXISTING EXTERIOR WALL CONSTRUCTION. NEW SIDING TO MATCH EXISTING.

REFER TO FINISH SCHEDULE FOR FINISHES AND WALLCOVERING. CONTRACTOR TO INSTALL FINISHES AND WALLCOVERINGS AND PAINT ALL SURFACES AS NOTED. SEE FINISH SCHEDULE FOR MATERIALS THAT WILL BE SUPPLIED BY OWNER.
 ALL MATERIALS, PROCUREMENT AND INSTALLATIONS SHALL BE INSTALLED IN ACCORDANCE WITH HIGHEST BUILDING STANDARDS AS CALLED OUT BY PROFESSIONAL TRADE ORGANIZATIONS INCLUDING BUT NOT LIMITED TO AWI, NIFMA, ATIOA, ETC. UNLESS SPECIFICALLY NOTED OTHERWISE. WARRANTED CRACK SUPPRESSION SHALL BE INSTALLED AT ALL STONE AND TILED FLOOR SURFACES.

No.	ISSUE	DATE
1	ISSUED FOR RPRC REVIEW	09/23/2020

LEGEND

- EXISTING PARTITION TO REMAIN
- HEADERS AND OBJECTS ABOVE
- NEW FULL-HEIGHT PARTITION
- WALLS TO BE REMOVED
- 1-1/ A-5.01 SECTION/ DRAWING NUMBER
- DOOR TYPE TAG
- PARTITION TYPE TAG
- N.I.C.

SOKOLOFF RESIDENCE
 15 BRIGGS LN,
 Armonk, NY 10504

Hirshson | ARCHITECTURE + DESIGN
 FOUR HUNDRED NINE MAIN STREET
 ARMONK, NEW YORK 10504
 (914) 273-2001 | www.hirshsondesign.com

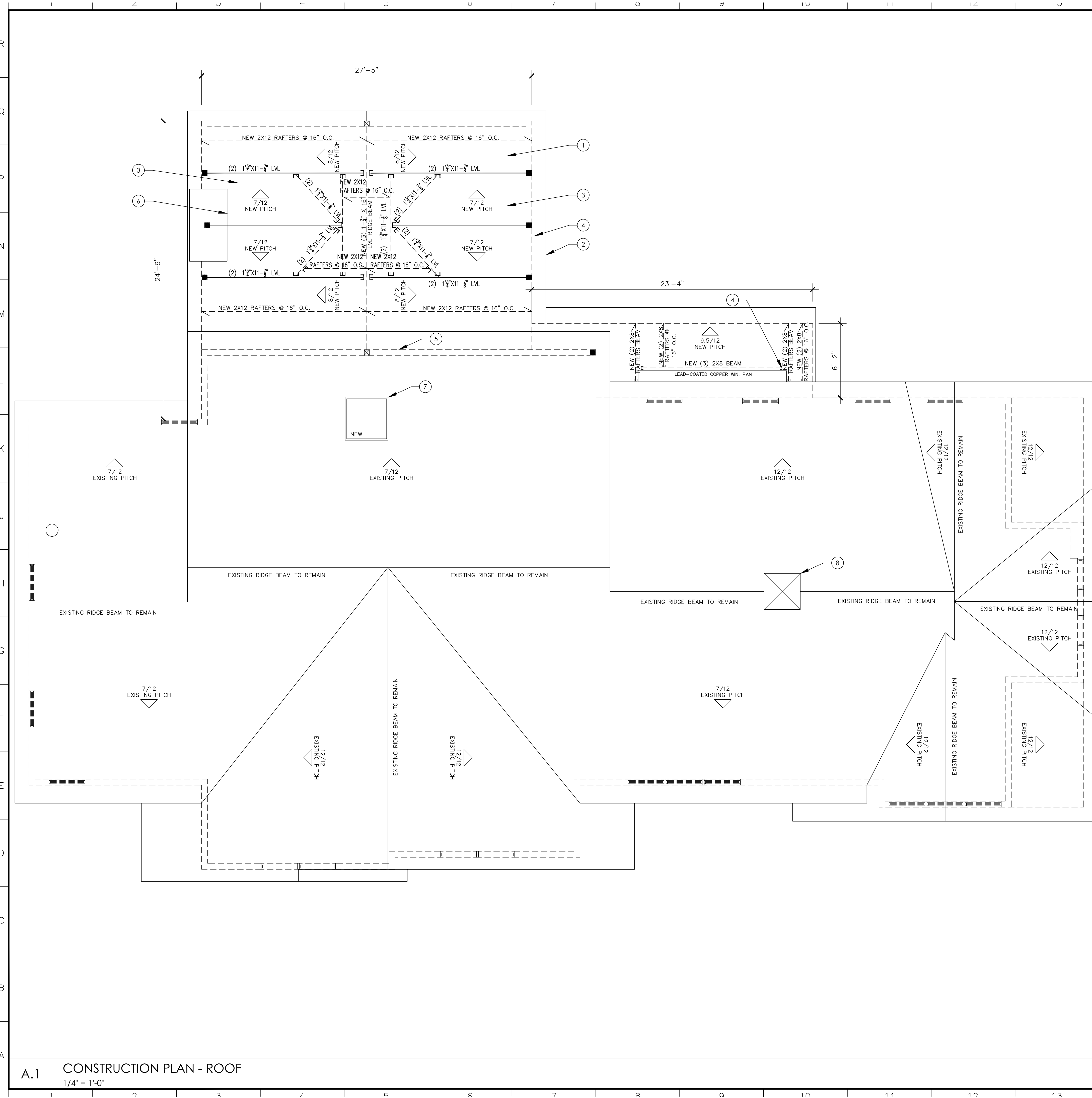
Scott Garad Hirshson, AIA
 NY LICENSE# 038133

**CONSTRUCTION PLAN
 AT FIRST FLOOR**

DATE CREATED: 11/26/2019
DRAWN BY: KB
CHECKED BY: SH
Project No: A-1907
DWG. No: A-101.00
DRAWING # 07 OF 12

A.1 CONSTRUCTION PLAN - FIRST FLOOR
 1/4" = 1'-0"

A.14 CONSTRUCTION PLAN NOTES
 NOT TO SCALE



CONSTRUCTION PLAN NOTES:

1. NEW ROOF SHINGLES TO MATCH EXISTING.
2. ALL LEAVE TRIM TO MATCH EXISTING.
3. NEW 1" STANDING SEAM ALUMINUM ROOF ON DORMERS. GC. TO PROVIDE FINISH SAMPLES PRIOR TO ORDER.
4. NEW LEADED COATED COPPER WINDOW PAN.
5. FLASH W/ MIN. 8" UP EXISTING WALL WHERE NEW ROOF TIES IN. FLASHING TO MATCH EXISTING.
6. NEW CHIMNEY SHROUD. SEE EXTERIOR ELEVATIONS FOR MORE DETAIL.
7. NEW SKYLIGHT TO BE INSTALLED IN MASTER BATHROOM CEILING.
8. NEW LEADED COATED COPPER ROOF TO MATCH WINDOW PANS.

GENERAL NOTES:

JOINTS, PENETRATIONS, AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE SEALED.

NEW INTERIOR PARTITIONS SHALL BE 2x4 WOOD STUDS @ 16" O/C WITH WITH 5/8" THICK GYP. BD. EACH SIDE AND PRESSURE TREATED SILL PLATES. EACH VISIBLE SIDE & PAINTED FINISH. TYP. PAINT COLOR TO BE SELECTED BY OWNER.

NEW EXTERIOR WALL FRAMING SHALL BE 2 X 6 WOOD STUDS @ 16" O/C WITH 5/8" THICK GYP. BD. AND R-21 OR BETTER INSULATION - TO MATCH EXISTING EXTERIOR WALL CONSTRUCTION. NEW SIDING TO MATCH EXISTING.

REFER TO FINISH SCHEDULE FOR FINISHES AND WALLCOVERING. CONTRACTOR TO INSTALL FINISHES AND WALLCOVERINGS AND PAINT ALL SURFACES AS NOTED. SEE FINISH SCHEDULE FOR MATERIALS THAT WILL BE SUPPLIED BY OWNER.

ALL MATERIALS, PROCUREMENT AND INSTALLATIONS SHALL BE INSTALLED IN ACCORDANCE WITH HIGHEST BUILDING STANDARDS AS CALLED OUT BY PROFESSIONAL TRADE ORGANIZATIONS INCLUDING BUT NOT LIMITED TO AWI, NOFMA, ATIOA, ETC. UNLESS SPECIFICALLY NOTED OTHERWISE. WARRANTED CRACK SUPPRESSION SHALL BE INSTALLED AT ALL STONE AND TILED FLOOR SURFACES.

No.	ISSUE	DATE
1	ISSUED FOR RPRC REVIEW	09/23/2020

LEGEND

- EXISTING PARTITION TO REMAIN
- HEADERS AND OBJECTS ABOVE
- NEW FULL-HEIGHT PARTITION
- WALLS TO BE REMOVED
- 1-1/ A-5.01** SECTION/ DRAWING NUMBER
- DOOR TYPE TAG
- PARTITION TYPE TAG
- N.I.C.

A.1 CONSTRUCTION PLAN - ROOF
1/4" = 1'-0"

A.14 CONSTRUCTION KEY NOTES
N.T.S.

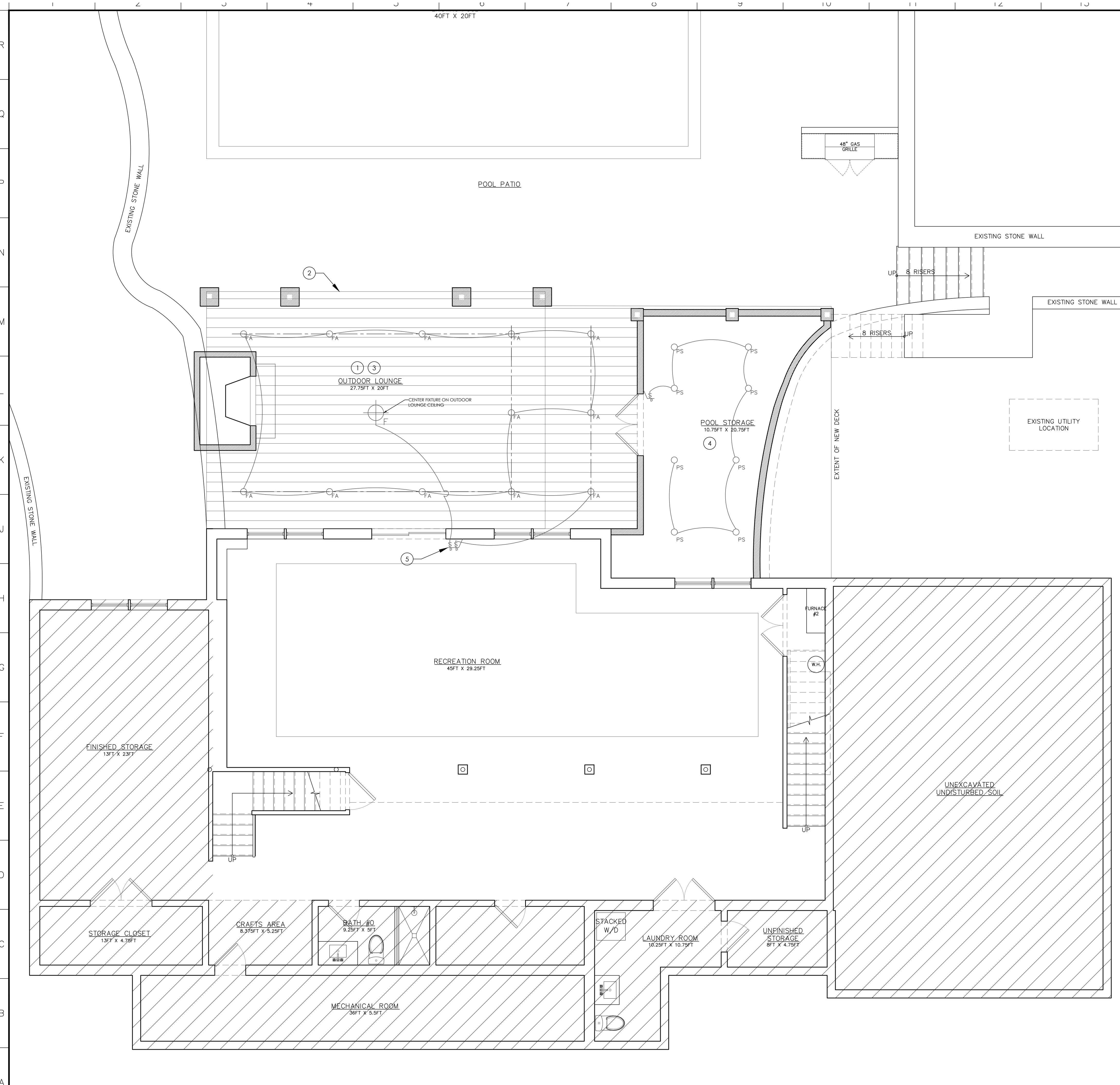
SOKOLOFF RESIDENCE
15 BRIGGS LN.
Armonk, NY 10504

Hirshson | ARCHITECTURE + DESIGN
FOUR HUNDRED NINE MAIN STREET
ARMONK, NEW YORK 10504
(914) 273-2001 | www.hirshsondesign.com

Scott Garad Hirshson, AIA
NY LICENSE# 038133

CONSTRUCTION PLAN AT ROOF PLAN

DATE CREATED: 11/26/2019
DRAWN BY: KB
CHECKED BY: SH
Project No: A-1907
DWG. No: A-102.00
DRAWING # 07 OF 12



REFLECTED CEILING PLAN NOTES:

1. NEW V-GROOVE CEILING ABOVE OUTDOOR LOUNGE.
2. NEW CARRYING BEAM SUPPORTING GREAT ROOM. NEW FLOOR JOISTS TO BE HUNG.
3. NEW RECESSED LIGHTING FIXTURES. RECESSED CANS TO BE IC RATED.
4. NEW PORCELAIN SOCKET LIGHT FIXTURES TO BE INSTALLED IN POOL STORAGE ONLY.
5. TIE NEW EXTERIOR LIGHT FIXTURES TO EXISTING SWITCH BANK.

GENERAL NOTES:

JOINTS, PENETRATIONS, AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE SEALED.

NEW INTERIOR PARTITIONS SHALL BE 2x4 WOOD STUDS @ 16" O/C WITH 5/8" THICK GYP. BD. EACH SIDE AND PRESSURE TREATED SILL PLATES. EACH VISIBLE SIDE & PAINTED FINISH, TYP. PAINT COLOR TO BE SELECTED BY OWNER.

NEW EXTERIOR WALL FRAMING SHALL BE 2 X 6 WOOD STUDS @ 16" O/C WITH 5/8" THICK GYP. BD. AND R-21 OR BETTER INSULATION - TO MATCH EXISTING EXTERIOR WALL CONSTRUCTION. NEW SIDING TO MATCH EXISTING.

REFER TO FINISH SCHEDULE FOR FINISHES AND WALLCOVERING. CONTRACTOR TO INSTALL FINISHES AND WALLCOVERINGS AND PAINT ALL SURFACES AS NOTED. SEE FINISH SCHEDULE FOR MATERIALS THAT WILL BE SUPPLIED BY OWNER.

ALL MATERIALS, PROCUREMENT AND INSTALLATIONS SHALL BE INSTALLED IN ACCORDANCE WITH HIGHEST BUILDING STANDARDS AS CALLED OUT BY PROFESSIONAL TRADE ORGANIZATIONS INCLUDING BUT NOT LIMITED TO AWI, NOFMA, AIOA, ETC. UNLESS SPECIFICALLY NOTED OTHERWISE. WARRANTED CRACK SUPPRESSION SHALL BE INSTALLED AT ALL STONE AND TILED FLOOR SURFACES.

No.	ISSUE	DATE
1	ISSUED FOR RPRC REVIEW	09/23/2020

LEGEND

- EXISTING PARTITION TO REMAIN
- HEADERS AND OBJECTS ABOVE
- NEW FULL-HEIGHT PARTITION
- WALLS TO BE REMOVED
- 1-1/ A-5.01 SECTION/ DRAWING NUMBER
- DOOR TYPE TAG
- PARTITION TYPE TAG
- N.I.C.

KEY TO ELECTRICAL SYMBOLS

- EXISTING DUPLEX OUTLET TO REMAIN
- NEW DUPLEX OUTLET INSTALLED HEIGHT TO MATCH EXISTING
- NEW GROUND FAULT INTERRUPTOR OUTLET, MTD. AT 44" AFF
- NEW SPECIAL EQUIPMENT OUTLET - SEE MANUFACTURERS SPEC.
- EXISTING FLOOR OUTLET TO REMAIN
- NEW FLOOR OUTLET
- NEW TELEPHONE JACK, MTD. HEIGHT TO MATCH EXISTING
- NEW CEILING JUNCTION BOX

KEY TO REFLECTED CEILING SYMBOLS

- OWNER SUPPLIED CHANDELIER
- OWNER SUPPLIED PENDANT
- OWNER SUPPLIED FLUSHMOUNT
- TECH LIGHT 3-3" ROUND RECESSED DOWNLIGHT
- SOCKET PORCELAIN SOCKET
- WAC TOE LIGHT FIXTURE
- XENFLEX 6W LED UNDERCABINET LIGHT
- WHITE PORCELAIN SOCKET COMPACT FLUORESCENT
- EXISTING WALL JUNCTION BOX, NEW SCOFF BY OWNER
- NEW WALL SCOFF IN NEW WALL JUNCTION BOX
- EXISTING POLE SWITCH TO REMAIN, REPLACE COVER PLATE
- NEW LUTRON POLE SWITCH, WITH DECORA COVERPLATE
- NEW LUTRON DIVA DIMMER SWITCH WITH DECORA COVERPLATE
- NEW LUTRON THREE WAY SWITCH (ONE LEGDIMMED) IN NEW LOCATION
- NEW CEILING EXHAUST FAN
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

SOKOLOFF RESIDENCE
 15 BRIGGS LN,
 Armonk, NY 10504

Hirshson | ARCHITECTURE + DESIGN
 FOUR HUNDRED NINE MAIN STREET
 ARMONK, NEW YORK 10504
 (914) 273-2001 | www.hirshsondesign.com

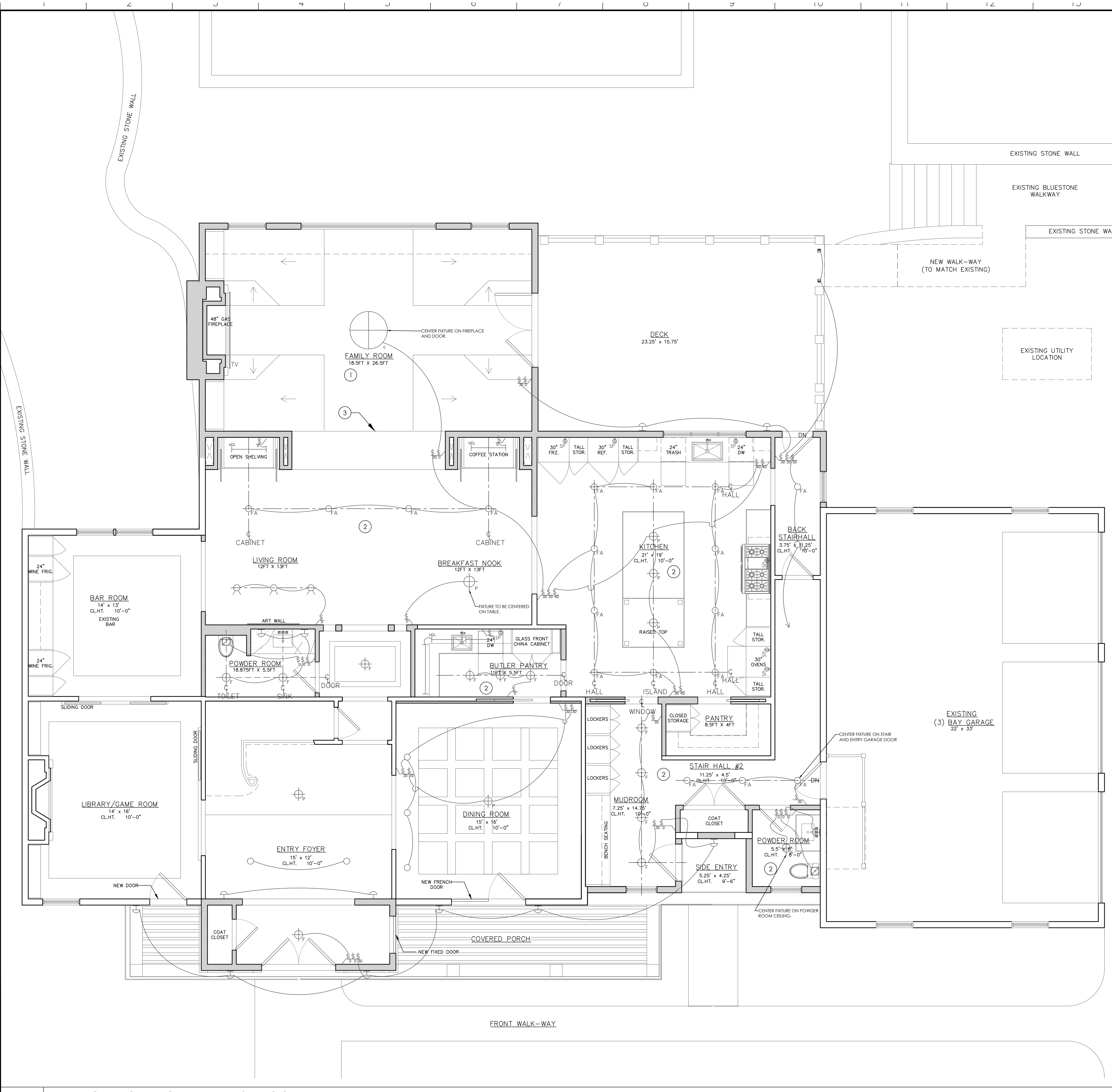
Scott Garad Hirshson, AIA
 NY LICENSE# 038133

REFLECTED CEILING PLAN AT BASEMENT FLOOR

DATE CREATED: 11/26/2019
DRAWN BY: KB
CHECKED BY: SH
Project No: A-1907
DWG. No: A-200.00
DRAWING # 07 OF 12

A.1 REFLECTED CEILING PLAN - BASEMENT FLOOR
 1/4" = 1'-0"

A.14 REFLECTED CEILING PLAN NOTES
 NOT TO SCALE



REFLECTED CEILING PLAN NOTES:

- 1. NEW CATHEDRAL CEILING IN GREAT ROOM. EXPOSED DORMERS ABOVE.
- 2. NEW LIGHTING GRID AND SWITCH BANK LOCATION.
- 3. NEW OPENING INTO GREAT ROOM. SEE INTERIOR ELEVATIONS FOR DETAIL.
- 4. NEW PORCELAIN SOCKET LIGHT FIXTURES TO BE INSTALLED IN POOL STORAGE ONLY.
- 5. TIE NEW EXTERIOR LIGHT FIXTURES TO EXISTING SWITCH BANK.

GENERAL NOTES:
JOINTS, PENETRATIONS, AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE SEALED.
NEW INTERIOR PARTITIONS SHALL BE 2x4 WOOD STUDS @ 16" O/C WITH WITH 5/8" THICK GYP. BD. EACH SIDE AND PRESSURE TREATED SILL PLATES. EACH VISIBLE SIDE & PAINTED FINISH, TYP. PAINT COLOR TO BE SELECTED BY OWNER.
NEW EXTERIOR WALL FRAMING SHALL BE 2 X 6 WOOD STUDS @ 16" O/C WITH 5/8" THICK GYP. BD. AND R-21 OR BETTER INSULATION - TO MATCH EXISTING EXTERIOR WALL CONSTRUCTION. NEW SIDING TO MATCH EXISTING.
REFER TO FINISH SCHEDULE FOR FINISHES AND WALLCOVERING. CONTRACTOR TO INSTALL FINISHES AND WALLCOVERINGS AND PAINT ALL SURFACES AS NOTED. SEE FINISH SCHEDULE FOR MATERIALS THAT WILL BE SUPPLIED BY OWNER.
ALL MATERIALS, PROCUREMENT AND INSTALLATIONS SHALL BE INSTALLED IN ACCORDANCE WITH HIGHEST BUILDING STANDARDS AS CALLED OUT BY PROFESSIONAL TRADE ORGANIZATIONS INCLUDING BUT NOT LIMITED TO AWI, NIFMA, AIOA, ETC. UNLESS SPECIFICALLY NOTED OTHERWISE. WARRANTED CRACK SUPPRESSION SHALL BE INSTALLED AT ALL STONE AND TILED FLOOR SURFACES.

No.	ISSUE	DATE
1	ISSUED FOR RPRC REVIEW	09/23/2020

LEGEND

- EXISTING PARTITION TO REMAIN
- HEADERS AND OBJECTS ABOVE
- NEW FULL-HEIGHT PARTITION
- WALLS TO BE REMOVED
- 1-1/ A-5.01 SECTION/ DRAWING NUMBER
- DOOR TYPE TAG
- PARTITION TYPE TAG
- N.I.C.

KEY TO ELECTRICAL SYMBOLS

⊕	EXISTING DUPLEX OUTLET TO REMAIN
⊕	NEW DUPLEX OUTLET INSTALLED HEIGHT TO MATCH EXISTING
⊕	NEW GROUND FAULT INTERRUPTOR OUTLET, MTD. AT 44" AFF
⊕	NEW SPECIAL EQUIPMENT OUTLET - SEE MANUFACTURERS SPEC.
⊕	EXISTING FLOOR OUTLET TO REMAIN
⊕	NEW FLOOR OUTLET
⊕	NEW TELEPHONE JACK, MTD. HEIGHT TO MATCH EXISTING
⊕	NEW CEILING JUNCTION BOX

KEY TO REFLECTED CEILING SYMBOLS

⊕	OWNER SUPPLIED CHANDELIER
⊕	OWNER SUPPLIED PENDANT
⊕	OWNER SUPPLIED FLUSHMOUNT
⊕	TECH LIGHT 3-3/8" ROUND RECESSED DOWNLIGHT
⊕	SOCKET PORCELAIN SOCKET
⊕	WAC TOE LIGHT FIXTURE
⊕	XENFLEX 6W LED UNDERCABINET LIGHT
⊕	WHITE PORCELAIN SOCKET COMPACT FLUORESCENT
⊕	EXISTING WALL JUNCTION BOX, NEW SCONCE BY OWER
⊕	NEW WALL SCONCE IN NEW WALL JUNCTION BOX
⊕	EXISTING POLE SWITCH TO REMAIN, REPLACE COVER PLATE
⊕	NEW LUTRON POLE SWITCH, WITH DECORA COVERPLATE
⊕	NEW LUTRON DIVA DIMMER SWITCH WITH DECORA COVERPLATE
⊕	NEW LUTRON THREE WAY SWITCH (ONE LEGDIMMED) IN NEW LOCATION
⊕	NEW CEILING EXHAUST FAN
⊕	SMOKE DETECTOR
⊕	CARBON MONOXIDE DETECTOR

SOKOLOFF RESIDENCE
15 BRIGGS LN,
Armonk, NY 10504

Hirshson | ARCHITECTURE + DESIGN
FOUR HUNDRED NINE MAIN STREET
ARMONK, NEW YORK 10504
(914) 273-2001 | www.hirshsondesign.com

Scott Garad Hirshson, AIA
NY LICENSE# 038133

REFLECTED CEILING PLAN AT FIRST FLOOR

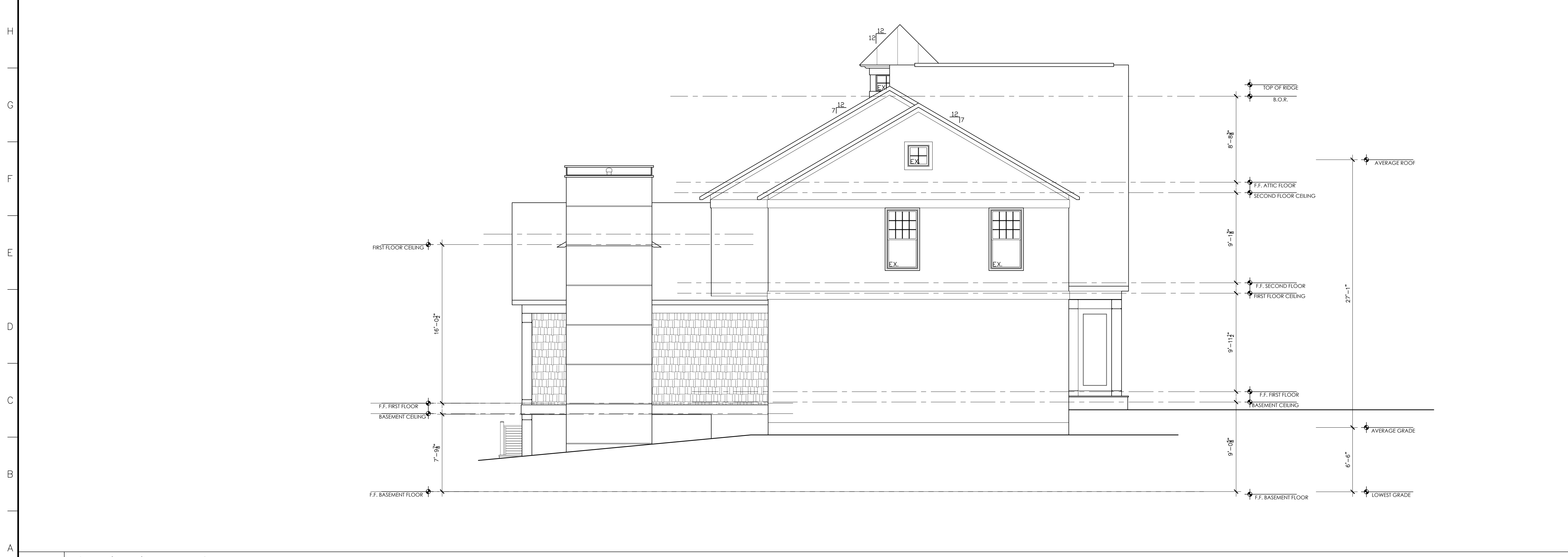
DATE CREATED: 11/26/2019
DRAWN BY: KB
CHECKED BY: SH
Project No: A-1907
DWG. No: A-201.00
DRAWING # 07 OF 12

A.1 REFLECTED CEILING PLAN - FIRST FLOOR
1/4" = 1'-0"

A.14 REFLECTED CEILING PLAN NOTES
NOT TO SCALE



J.1 FRONT ELEVATION
 3/16" = 1'-0"



A.1 SIDE (LEFT) ELEVATION
 3/16" = 1'-0"

No.	ISSUE	DATE
1	ISSUED FOR RPRC REVIEW	09/23/2020

LEGEND

SOKOLOFF RESIDENCE
 15 BRIGGS LN.
 Armonk, NY 10504

Hirshson | ARCHITECTURE + DESIGN
 FOUR HUNDRED NINE MAIN STREET
 ARMONK, NEW YORK 10504
 (914) 273-2001 | www.hirshsondesign.com

Scott Garad Hirshson, AIA
 NY LICENSE# 038133

EXTERIOR ELEVATIONS

	DATE CREATED: 11/26/2019
	DRAWN BY: KB
	CHECKED BY: SH
	Project No: A-1907
	DWG. No: A-300.00
	DRAWING # 09 OF 12



J.1 SIDE ELEVATION
3/16" = 1'-0"



A.1 SIDE (RIGHT) ELEVATION
3/16" = 1'-0"

No.	ISSUE	DATE
1	ISSUED FOR RPRC REVIEW	09/23/2020

LEGEND

SOKOLOFF RESIDENCE
15 BRIGGS LN.
Armonk, NY 10504

Hirshson | ARCHITECTURE + DESIGN
FOUR HUNDRED NINE MAIN STREET
ARMONK, NEW YORK 10504
(914) 273-2001 | www.hirshsondesign.com

Scott Garad Hirshson, AIA
NY LICENSE# 038133

EXTERIOR ELEVATIONS

DATE CREATED: 11/26/2019
DRAWN BY: KB
CHECKED BY: SH
Project No: A-1907
DWG. No: A-301.00
DRAWING # 09 OF 12

No.	ISSUE	DATE
1	ISSUED FOR RPRC REVIEW	09/23/2020

LEGEND

- EXISTING PARTITION TO REMAIN
- HEADERS AND OBJECTS ABOVE
- NEW FULL-HEIGHT PARTITION
- WALLS TO BE REMOVED
- 1-1/ A-5.01** SECTION/ DRAWING NUMBER
- DOOR TYPE TAG
- PARTITION TYPE TAG
- N.I.C.



SOKOLOFF RESIDENCE
 15 BRIGGS LN.
 Armonk, NY 10504

Hirshson | ARCHITECTURE + DESIGN
 FOUR HUNDRED NINE MAIN STREET
 ARMONK, NEW YORK 10504
 (914) 273-2001 | www.hirshsondesign.com

Scott Garad Hirshson, AIA
 NY LICENSE# 038133

BUILDING SECTION

A.1 BUILDING SECTION - NEW ADDITION (LONG)
 1/4" = 1'-0"

DATE CREATED: 11/26/2019
DRAWN BY: KB
CHECKED BY: SH
Project No:
A-1907
DWG. No:
A-400.00
DRAWING # 07 OF 12

No.	ISSUE	DATE
1	ISSUED FOR RPRC REVIEW	09/23/2020

LEGEND

- EXISTING PARTITION TO REMAIN
- HEADERS AND OBJECTS ABOVE
- NEW FULL-HEIGHT PARTITION
- WALLS TO BE REMOVED
- 1-1/ A-5.01** SECTION/ DRAWING NUMBER
- DOOR TYPE TAG
- PARTITION TYPE TAG
- N.I.C.

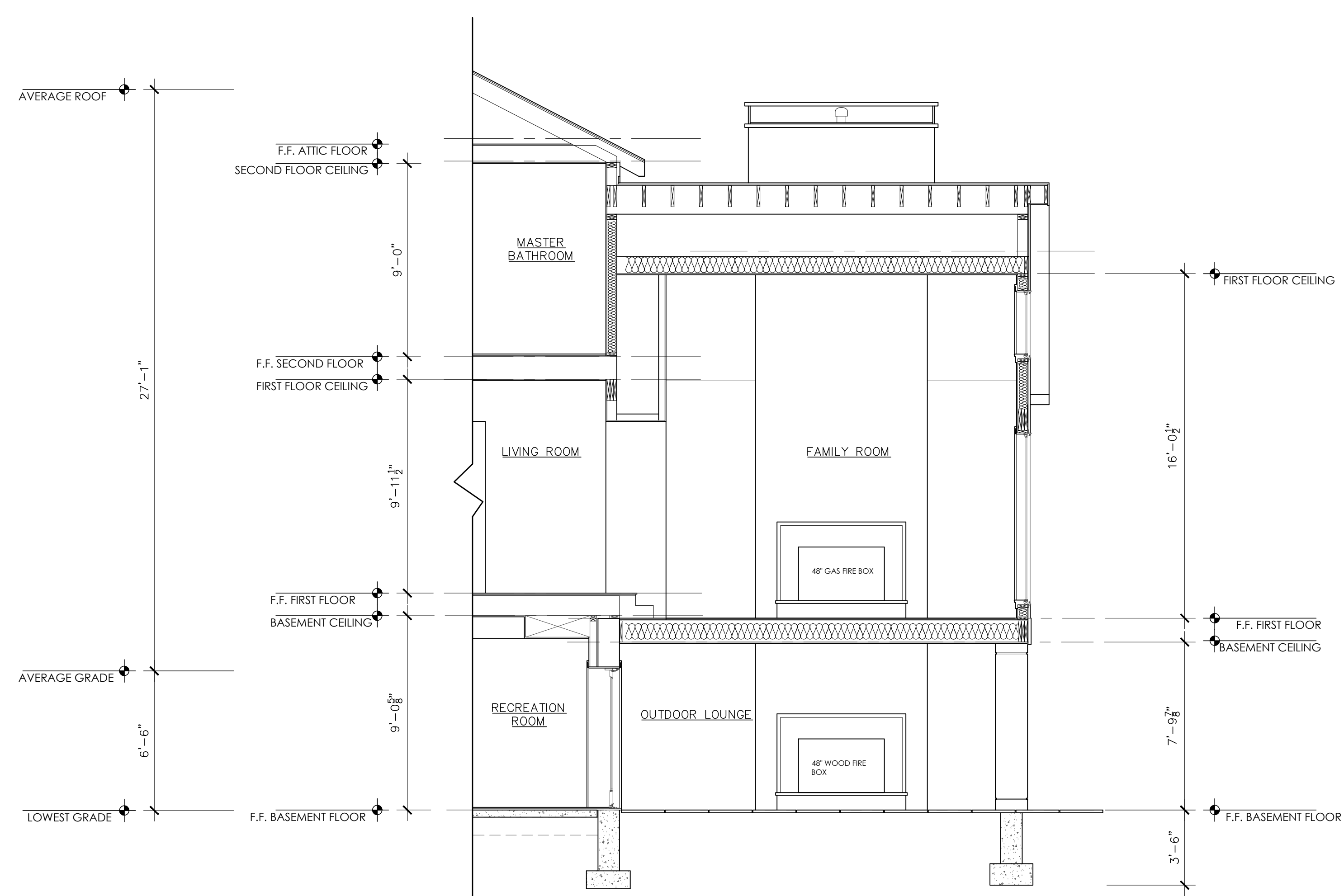
SOKOLOFF RESIDENCE
 15 BRIGGS LN,
 Armonk, NY 10504

Hirshson | ARCHITECTURE + DESIGN
 FOUR HUNDRED NINE MAIN STREET
 ARMONK, NEW YORK 10504
 (914) 273-2001 | www.hirshsondesign.com

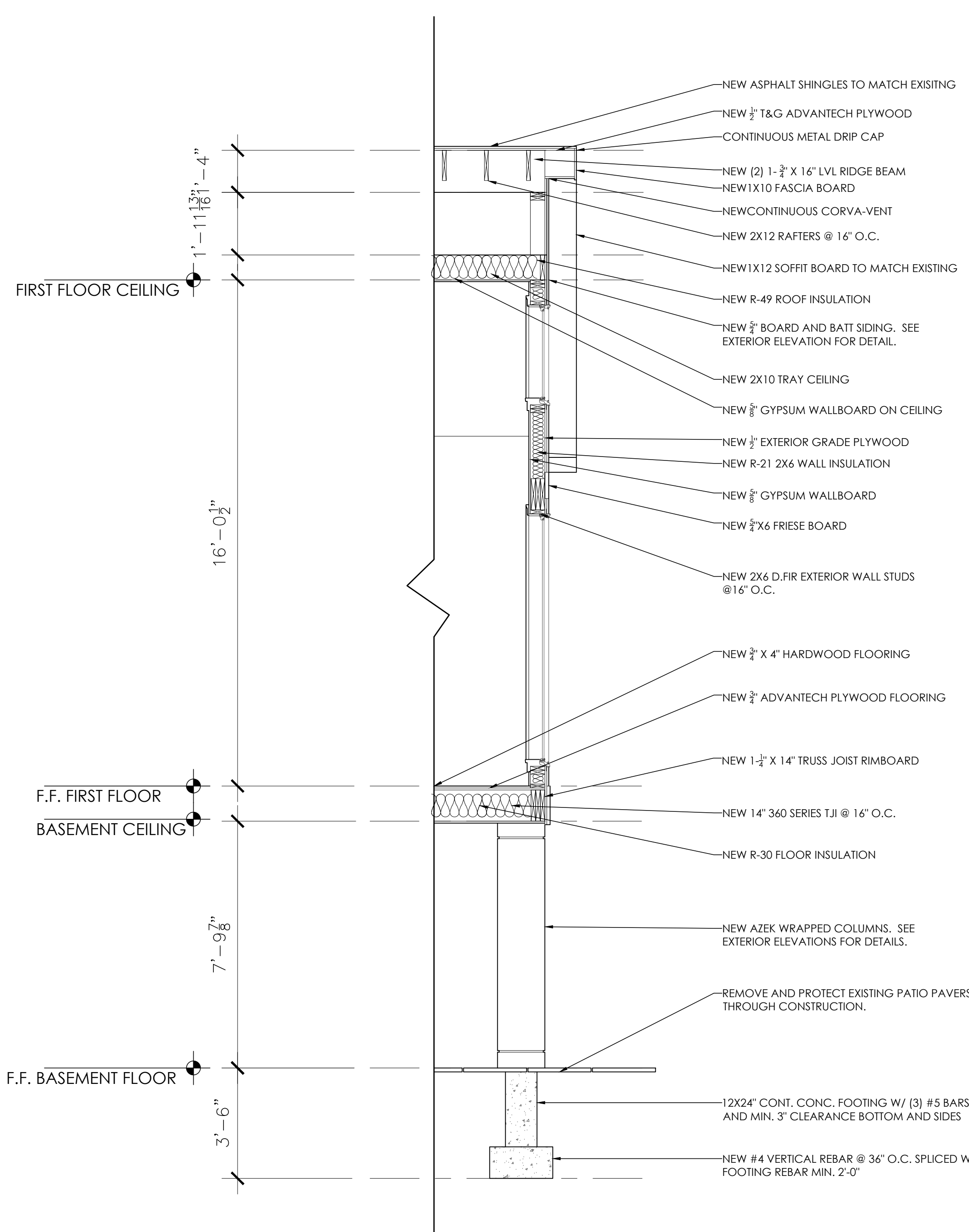
Scott Garad Hirshson, AIA
 NY LICENSE# 038133

**BUILDING SECTION &
 WALL SECTION**

DATE CREATED: 11/26/2019
DRAWN BY: KB
CHECKED BY: SH
Project No: A-1907
DWG. No: A-401.00
DRAWING # 07 OF 12



A.1 BUILDING SECTION - NEW ADDITION (SHORT)
 1/4" = 1'-0"



A.11 WALL SECTION - NEW ADDITION
 3/8" = 1'-0"



Town of North Castle Building Department

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

www.northcastleny.com

Residential Building Permit Application

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

Section I- PROJECT ADDRESS: 15 Briggs Lane Armonk NY 10504 DATE: 10/13/2020

Section II- CONTACT INFORMATION: (Please print clearly. All information must be current.)

APPLICANT: Alyssa Sokoloff
Michael Sokoloff

ADDRESS: 15 Briggs Lane Armonk NY 10504

PHONE: _____ MOBILE: 516-909-7727 EMAIL: Mdent99@aol.com

PROPERTY OWNER: Michael Sokoloff and Alyssa Sokoloff

ADDRESS: 15 Briggs Lane Armonk NY 10504

PHONE: 917-5389425 MOBILE: 516-909-7727 EMAIL: Mdent99@aol.com
AlyssaSokoloff@gmail.com

Section III- DESCRIPTION OF WORK: (Any work conducted outside of the house requires approval from the RPRC unless the proposed action is minor in nature and complies with 355-26 C (3) of the Town of North Castle code.)

Expand Entry Foyer and Mudroom within footprint of existing covered porch.
Construct new 1/2 bath at mudroom and relocate existing powder room.
New addition at Family Room and Kitchen. Remove and replace existing deck.

Section IV- USE AND OCCUPANCY:

EXISTING/ CURRENT USE: Residential

PROPOSED RESIDENTIAL:

- One Family Dwelling Two Family Dwelling Townhouse Detached Accessory Structure

Section V- PERMIT FEES: (\$100 app fee plus \$14 per \$1000, cost of construction and a \$75 CO fee.)

ESTIMATED COST OF CONSTRUCTION (Based on fair market value labor & material) \$ _____

AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is \$20,000 or more.

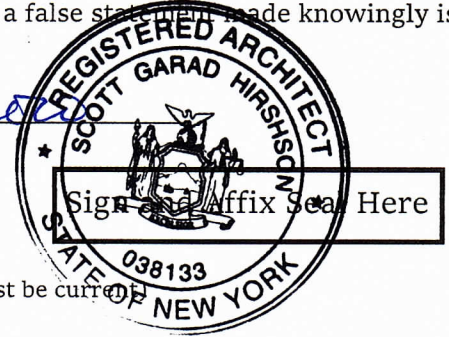
Town of North Castle Building Department

Section V- (Continued)

I Scott Hirshson do hereby affirm and certify as follows: (i) I am the architect/engineer (circle one) licensed by the State of New York; (ii) I have reviewed the plans, drawings and specifications for this application and am fully familiar with the proposed construction; (iii) based on my experience, I estimate the total cost of construction including all labor, all materials, all professional fees and all associated costs to be approximately \$ 280,750, and (iv) pursuant to Penal Law 210.45, I acknowledge that a false statement made knowingly is a Class A misdemeanor.

Signature: SC Lin

Date: 10/13/2020



Section VI- CONTACT INFORMATION: (Please print clearly. All information must be current)

ARCHITECT/ ENG: Scott Hirshson - Hirshson Architecture + Design

ADDRESS: 409 main street Armonk NY 10504

PHONE: 914-273-2001 MOBILE: _____

EMAIL: Scott@Hirshsondesign.com

CONTRACTOR: Dominik Imrich - New Dimension custom Homes

ADDRESS: 239 Elmwood Rd. South Salem NY 10590

PHONE: _____ MOBILE: _____ EMAIL: nd.customhomes@optonline.net

PLUMBER: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

ELECTRICIAN: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

Section VII- APPLICANT CERTIFICATION

I hereby certify that I have read the instructions & examined this application and know the same to be true & correct. All provisions of laws & ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature: Alyson [Signature]

Date: 10-13-20