

SITE LOCATION

**DEMOLITION NOTES**

DEMOLITION OF STRUCTURE TO BE FILED SEPARATELY

1. THE GENERAL CONTRACTOR SHALL FURNISH LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION, AND REMOVAL OF ALL ITEMS AS INDICATED ON THE DRAWINGS OR REQUIRED.
2. THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF THE TOWN OF NORTH CASTLE BUILDING DEPARTMENT FOR DEMOLITION
3. THE GENERAL CONTRACTOR SHALL PROTECT THE PROPERTY OF THE BUILDING OWNER AT ALL TIMES, INCLUDING BUT NOT LIMITED TO WINDOWS, FLOORS, CEILING, ELECTRICAL SERVICE, TELEPHONE SERVICE, PLUMBING, COMPUTER SYSTEMS AND AIR CONDITIONING AND HEATING EQUIPMENT.
4. DUST SHALL BE CONTROLLED BY EITHER USING GREEN DUST, NO SPRAYING/HOSING. NEED TO LAY DOWN DUST WITH WATER. PROVIDE WATER TRUCK AS REQUIRED AND ETC.
5. DUMPSTERS ARE NOT TO BE LEFT OUTSIDE OF BLDG GATE.

**BEFORE DEMOLITION**  
GENERAL CONTRACTOR IS RESPONSIBLE TO HAVE ELECTRICAL & PLUMBING SUBS FILE FOR THE REMOVAL OF OR ANY DISCONNECTIONS OR RELOCATION OF ALL UTILITIES, GAS, PLUMBING, ELECTRICAL SERVICE ETC. GC IS RESPONSIBLE TO CONTACT ALL AUTHORITIES HAVING JURISDICTION AND TO TAKE OUT THE NECESSARY PERMITS AS REQUIRED BY THE TOWN OF NORTH CASTLE

**ASBESTOS**  
THERE SHALL BE AN INSPECTION PERFORMED BEFORE REMOVAL OF ANY MATERIAL AND FILED WITH ENGINEER AND THE DEPARTMENT OF BUILDINGS.

ALL ASBESTOS IF FOUND POSITIVE SHALL BE REMOVED BY THE RULES AND REGULATIONS OF THE HEALTH DEPARTMENT AND NEW YORK STATE.

ASBESTOS REMOVAL SHALL COMPLY WITH THE NEW YORK STATE ASBESTOS LAW AND PROVIDED WITH CERTIFICATION OF REMOVAL

**SITE CONDITIONS:**

1. APPROVED STAMPED SET OF BUILDING PLANS MUST BE PRESENT ON SITE AT ALL TIMES.
2. PROTECTION OF ADJOINING PROPERTY  
PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, REMODELING AND DEMOLITIONWORK. PROTECTION MUST BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUN-OFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. THE PERSON MAKING OR CAUSING AN EXCAVATION TO BE MADE SHALL PROVIDE WRITTEN NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE AND THAT THE ADJOINING BUILDINGS SHOULD BE PROTECTED. SAID NOTIFICATION SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION.
3. CONTRACTOR SHALL CALL "DIG SAFELY, NEW YORK" AS PER NYS LAW: 1-800-962-7962

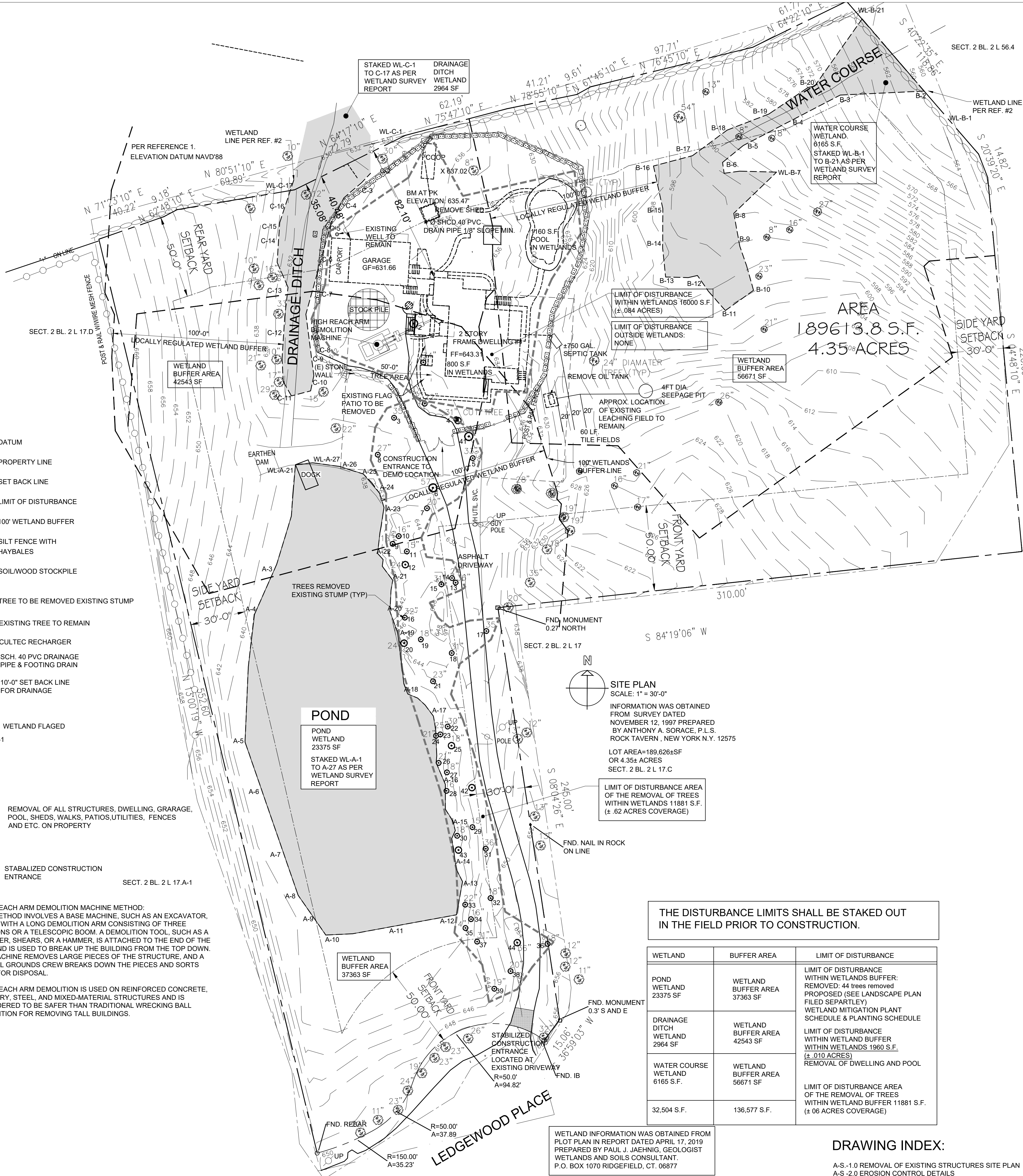
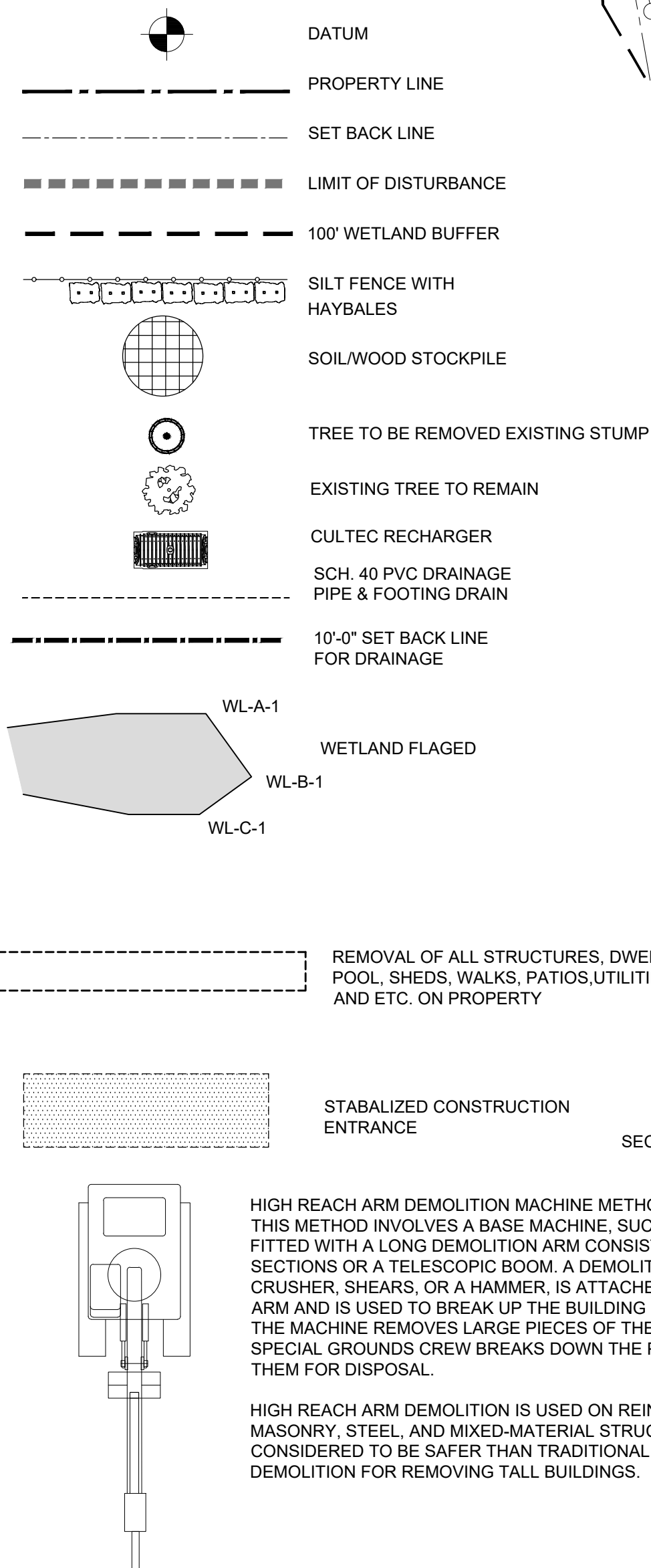
**MUNICIPAL / CONSTRUCTION INSPECTION SCHEDULE:**

- 1) PLUMBING INSPECTION DISCONNECT AND CERTIFICATION LETTER
- 2) FINAL ELECTRICAL INSPECTION DISCONNECT AND CERTIFICATION LETTER
- 3) FINAL DEMOLITION INSPECTION

**APPENDIX J EXISTING BUILDINGS AND STRUCTURES**  
A102.6 LEAD-BASED PAINT

IN ADDITION TO REQUIREMENTS OF THIS CODE, 40 CFR 745 (TITLED "LEAD-BASED PAINT POISONING PREVENTION IN CERTAIN RESIDENTIAL STRUCTURES"), A REGULATION ISSUED AND ENFORCED BY THE FEDERAL ENVIRONMENTAL PROTECTION AGENCY, APPLIES TO CERTAIN ACTIVITIES IN BUILDINGS THAT MAY CONTAIN LEAD-BASED PAINT, INCLUDING RENOVATIONS PERFORMED FOR COMPENSATION IN "TARGET HOUSING" AND "CHILD OCCUPIED FACILITIES," "ABATEMENT" OF LEAD-BASED PAINT HAZARDS AND OTHER "LEAD-BASED PAINT ACTIVITIES" (AS THOSE TERMS ARE DEFINED IN 40 CFR PART 745). CONTRACTOR SHALL PROVIDE CERTIFICATION FOR LEAD REMOVAL

**LEGEND**



THE DISTURBANCE LIMITS SHALL BE STAKED OUT IN THE FIELD PRIOR TO CONSTRUCTION.

WETLAND	BUFFER AREA	LIMIT OF DISTURBANCE
POND WETLAND 23375 SF	WETLAND BUFFER AREA 37363 SF	LIMIT OF DISTURBANCE WITHIN WETLANDS BUFFER: REMOVED: 44 trees removed PROPOSED (SEE LANDSCAPE PLAN FILED SEPARATELY) WETLAND MITIGATION PLANT SCHEDULE & PLANTING SCHEDULE
DRAINAGE DITCH WETLAND 2964 SF	WETLAND BUFFER AREA 42543 SF	LIMIT OF DISTURBANCE WITHIN WETLAND BUFFER WITHIN WETLANDS 1960 S.F. (± .010 ACRES) REMOVAL OF DWELLING AND POOL
WATER COURSE WETLAND 6165 S.F.	WETLAND BUFFER AREA 56671 SF	LIMIT OF DISTURBANCE AREA OF THE REMOVAL OF TREES WITHIN WETLAND BUFFER 11881 S.F. (± .06 ACRES COVERAGE)
32,504 S.F.	136,577 S.F.	

WETLAND INFORMATION WAS OBTAINED FROM PLOT PLAN IN REPORT DATED APRIL 17, 2019 PREPARED BY PAUL J. JAEHNIG, GEOLOGIST WETLANDS AND SOILS CONSULTANT. P.O. BOX 1070 RIDGEFIELD, CT. 06877

**DRAWING INDEX:**

A-S-1.0 REMOVAL OF EXISTING STRUCTURES SITE PLAN  
A-S-2.0 EROSION CONTROL DETAILS



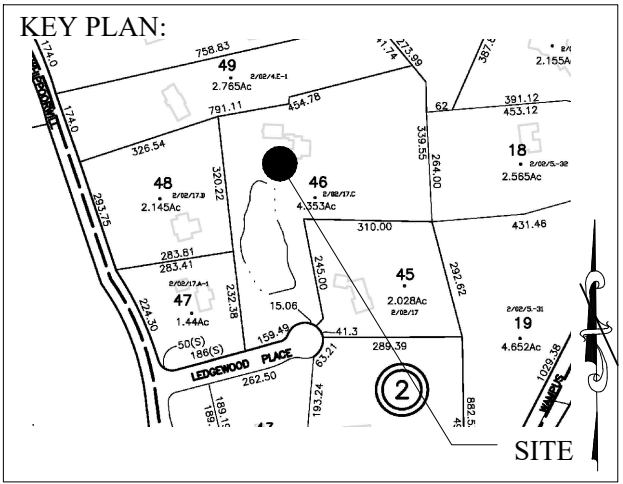
**ROLLANO ENGINEERING, P.C.**  
411 THEODORE FREMONT AVE.  
SUITE 206 1/2 RYE, NY 10580  
phone: 914.925.3584 fax: 914.925.3434  
RollanoEngineers@aol.com

**NOTE:**  
PLANS ARE NOT TO BE SCALED. CONTRACTOR IS TO MAKE NO ASSUMPTIONS WITH REGARD TO THESE DRAWINGS. ANY ADDITIONAL INFORMATION OR DIMENSIONS REQUIRED TO PROPERLY ESTIMATE OR ERECT THIS PROJECT WILL BE SUPPLIED BY THE ENGINEER UPON REQUEST. CONTRACTOR SHALL VERIFY IN THE FIELD ALL DIMENSIONS AND CONDITIONS INDICATED ON THIS DRAWING AND BE RESPONSIBLE FOR SAME. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THESE DRAWINGS SHALL NOT BE ALTERED WITHOUT THE CONSENT AND KNOWLEDGE OF THE ENGINEER. ALL REPRODUCTION RIGHTS RESERVED. REPRODUCTION WITHOUT PERMISSION IS PROHIBITED.

**MUNICIPALITY:**  
TOWN OF NORTH CASTLE  
**PROPERTY INDEX:**  
SECTION: 107.02  
BLOCK: 02  
LOT: 46  
ZONE: R-2A

NO.	DESCRIPTION	DATE
1	D.O.B. REVIEW	10/13/20
	ISSUED FOR	

**REVISIONS**



**SCOPE OF WORK:**  
THE PROPOSED REMOVAL OF THE EXISTING ONE FAMILY DWELLING, GARAGE, IN-GROUND POOL, WALKS, PORCHES, SHEDS AND ETC.

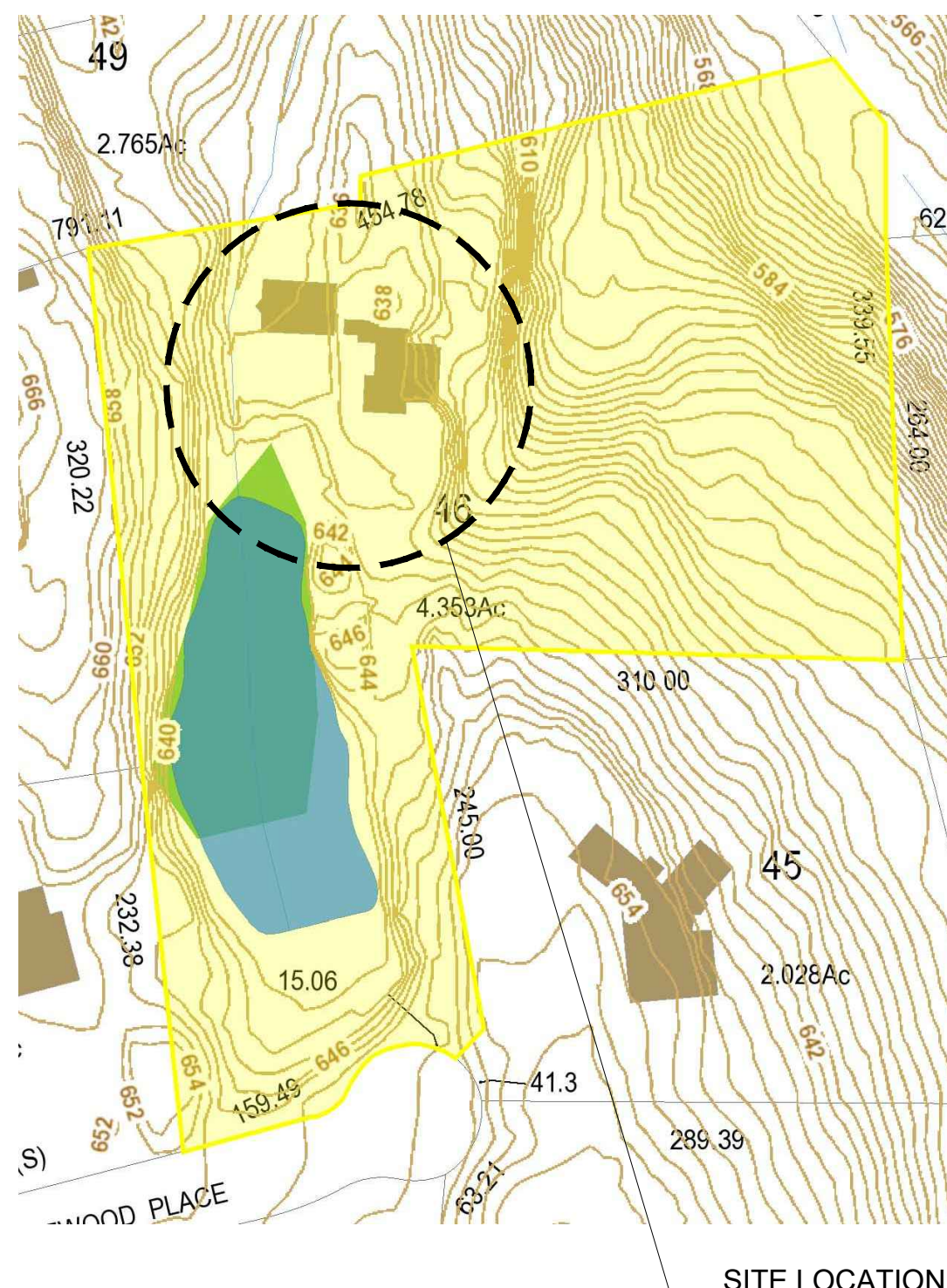
**PROJECT LOCATION:**  
4 LEDGEWOOD PLACE  
ARMONK, NEW YORK

**SHEET TITLE:**  
REMOVAL OF EXISTING STRUCTURES SITE PLAN

**PROJECT #:** 20-101320  
**SCALE:** AS NOTED  
**DATE:** 10/13/20  
**DRAWN BY:** JOSEPH PATERNO, LEED AP  
**REVIEWED BY:** LOUIS E. ROLLANO, P.E.

**SEAL:** **SHEET NO.:**

**S-1.0**



**EROSION CONTROL NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
- THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SET FORTH IN THIS MANUAL.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITH 14 DAYS.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
- THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT EDITION OF "WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES MANUAL FOR EROSION AND SEDIMENT CONTROL".
- ALL DESIGNATED TREES SHALL BE PROTECTED DURING THE CONSTRUCTION PERIOD, EXCEPT THOSE DESIGNATED TO BE REMOVED. TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES MANUAL.

**EROSION AND SEDIMENT CONTROL INSPECTIONS:**

- AN INITIAL INSPECTION PRIOR TO THE PLAN APPROVAL.
- AN EROSION AND SEDIMENT CONTROL INSPECTION TO ENSURE THAT EROSION AND SEDIMENT CONTROL PRACTICES ARE IN ACCORD WITH THE APPROVED PLAN.
- AN INSPECTION PRIOR TO BACKFILLING ANY UNDERGROUND DRAINAGE OR STORMWATER CONVEYANCE STRUCTURES.
- A FINAL INSPECTION WHEN ALL WORK, INCLUDING CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES AND PERMANENT SOIL STABILIZATION, HAS BEEN COMPLETED.

**CONSTRUCTION INSPECTION SCHEDULE:**

- PRE INSPECTION OF THE LAND AREA TO BE AFFECTIVE.
- INSPECTION OF THE HAYBALES, SILT FENCE AND ETC.
- FOOTING INSPECTION
- STOCKPILE INSPECTION
- FINAL GRADE & VEGETATION INSPECTION

**SPECIFICATIONS:**

**CONDITIONS:**

- ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE TOWN OF NORTH CASTLE BUILDING CODE, & THE NEW YORK STATE UFPBC AND ALL OTHER APPLICABLE ORDINANCES, REGULATIONS, AND STANDARDS REQUIRED.
- ALL MANUFACTURED ITEMS SHALL BE INSTALLED OR APPLIED AS DIRECTED BY THE MANUFACTURERS RECOMMENDATIONS.
- CONTRACTOR TO INCLUDE ALL MATERIALS, LABOR, INCIDENTALS AND SERVICES FOR SATISFACTORY COMPLETION OF THE WORK.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING THE WORK.
- CONTRACTOR SHALL PERFORM ALL WORK REQUIRED FOR THE TOTAL COMPLETION OF THE PROJECT, WHETHER OR NOT INDICATED ON THE DRAWINGS. THE INTENTION OF THE DRAWINGS IS FOR A COMPLETE AND PROPER FUNCTIONING OF THE ENTIRE PROJECT.

**INSURANCE:**

- CONTRACTOR, AND HIS SUBCONTRACTORS, SHALL MAINTAIN WORKMEN'S COMPENSATION INSURANCE AS WELL AS ADEQUATE LIABILITY INSURANCE DURING THE ENTIRE LENGTH OF THE JOB.
- OWNER SHALL PROVIDE ADEQUATE PROPERTY INSURANCE ON VALUE OF THE CONSTRUCTION, INCLUDING FIRE & VANDALISM.

**PERMITS & SURVEYS**

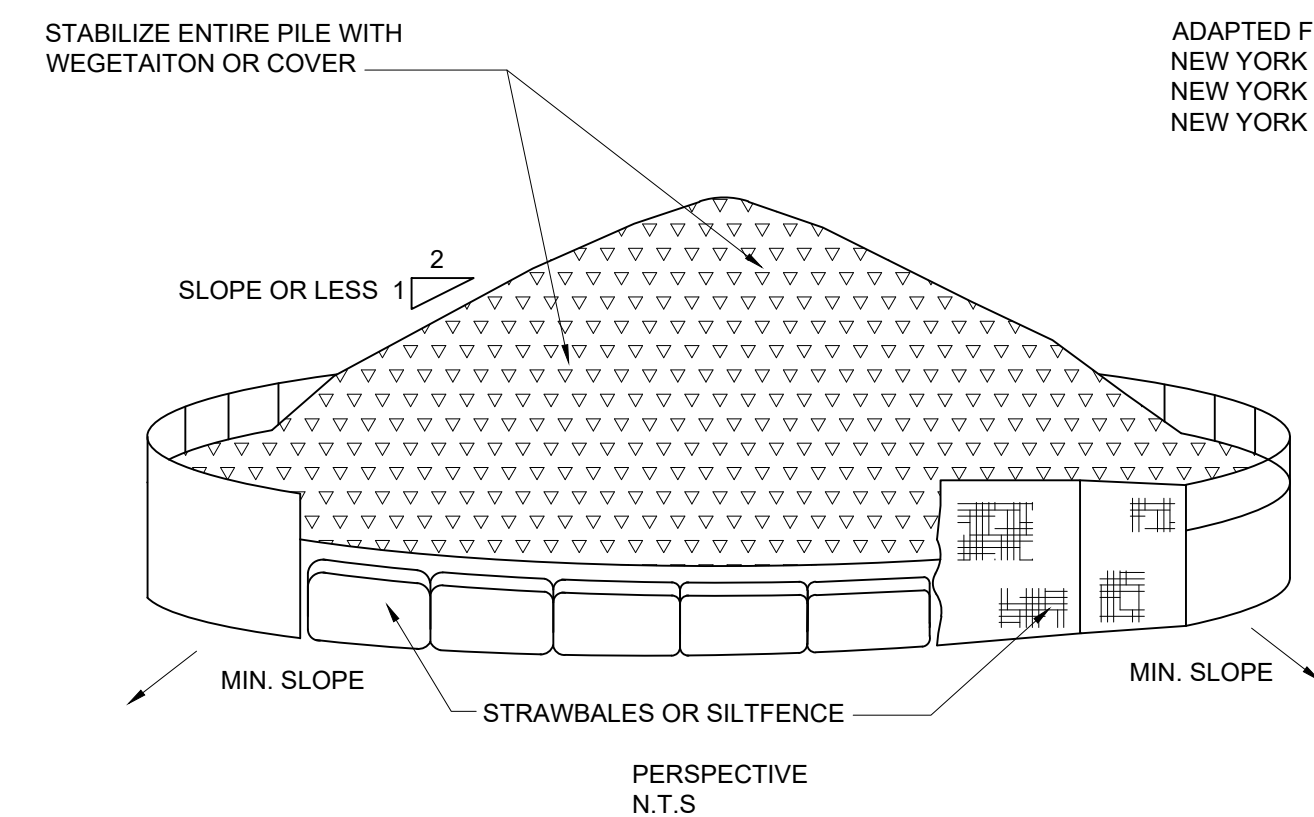
- CONTRACTOR SHALL FURNISH ALL PERMITS, LICENSES AND APPROVALS NECESSARY TO COMPLETE THE WORK.
- BUILDING SHALL BE STAKED OUT BY A LICENSED SURVEYOR WHO SHALL FILE A FINAL SURVEY AT THE COMPLETION OF WORK.
- CONTRACTOR SHALL PROVIDE THE OWNER WITH A CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK.

**SITE MAINTENANCE:**

- JOB SITE TO BE KEPT CLEAN AT ALL TIMES, TRASH TO BE REMOVED FROM THE SITE WEEKLY OR STORED IN APPROVED DUMPSTER UNTIL FULL, THEN Hauled AWAY FROM THE SITE.
- CARE SHALL BE TAKEN TO PROTECT THE TREES ON THE PROPERTY FROM THE METHODS AND MANNERS OF CONSTRUCTION. TRAFFICKING AND STORAGE OF MATERIALS. RETURN THOSE AREAS DAMAGED BY SUCH TO THEIR ORIGINAL CONDITION.

**EXCAVATION:**

- STOCKPILE ALL EXCAVATED SOIL FOR FUTURE REUSE AS FILL MATERIAL OR REMOVE AND DISPOSE OF AS REQUIRED.

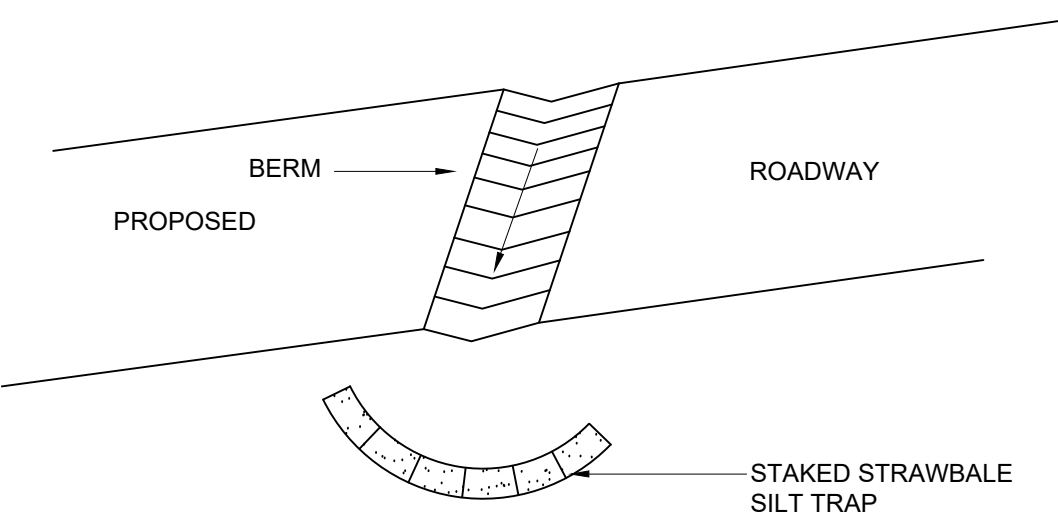


**INSTALLATION NOTES:**

- AREA CHOSEN FOR STOCKPILE OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
- SEE SPECIFICATIONS (THE MANUAL) FOR INSTALLATION OF SILTFENCE.

**SOIL STOCKPILE DETAIL**

SCALE: 1/4" = 1'-0"



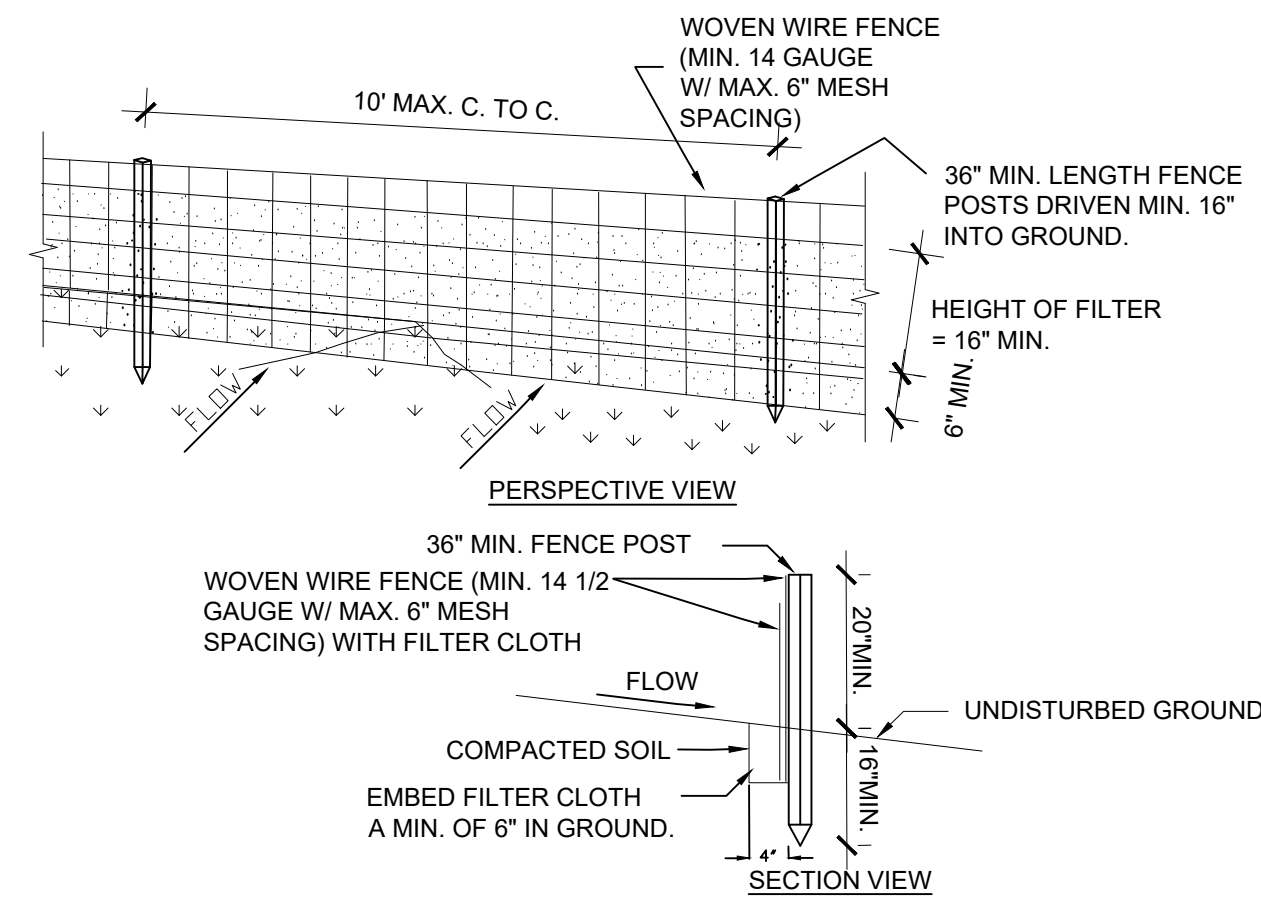
**INSTALLATION NOTES:**

- WATER BARRIERS SHOULD BE INSTALLED AT ABOUT A 30 DEGREE ANGLE DOWN SLOPE.
- THE CUT FLOW END OF THE WATER BARRIER SHOULD BE OPEN TO KEEP WATER FROM ACCUMULATING, AND BE PROTECTED BY A BUFFER OR FILTER ZONE TO CLEAR THE WATER OF SEDIMENT AND PREVENT EROSION.
- ALL WATER BARRIERS SHALL EXTEND BEYOND ANY CUT/FILL AREAS ONTO UNDISTURBED GROUND AND SHALL TERMINATE IN SILT TRAPS MAINTAINED WITH STRAWBALES OR OTHER APPROVED FILTER DAMS.

**DRIVEWAY DIVERSION**

SCALE: N.T.S.

ROAD GRADE PERCENT	APPROX. DISTANCE (FT.) BETWEEN WATER BARRIERS
1	400
2	245
5	125
10	80
15	60



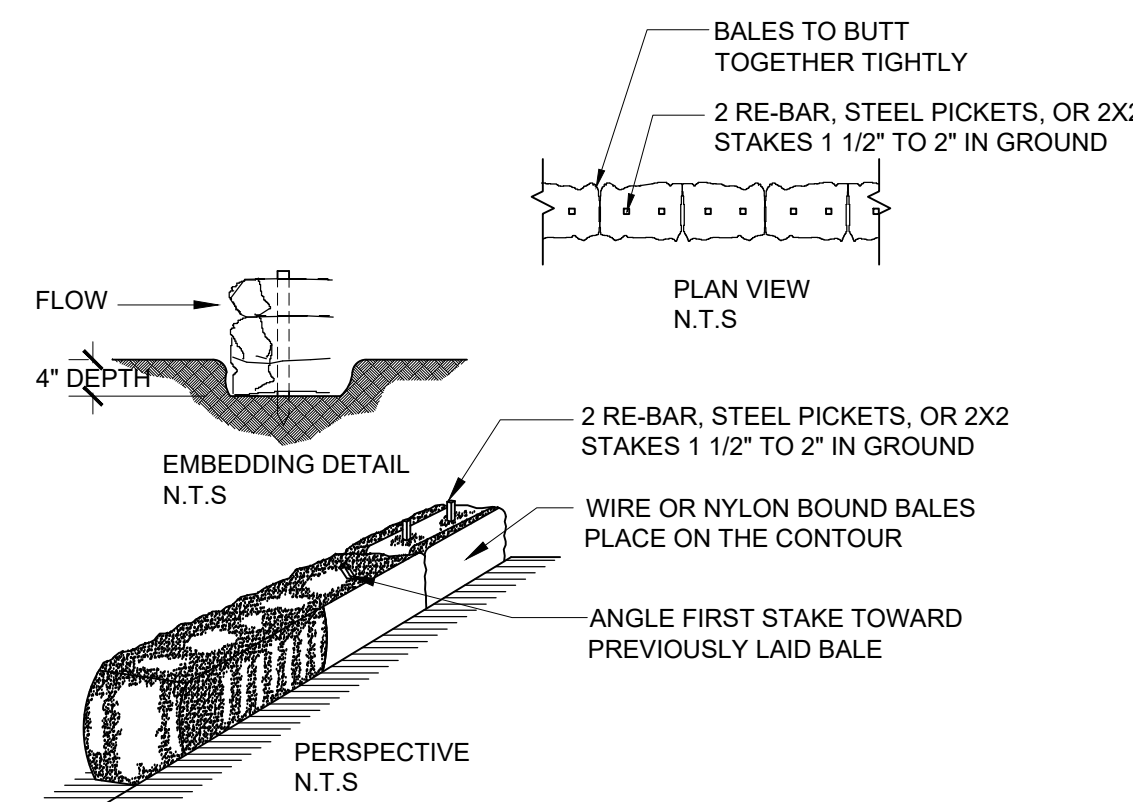
**SILT FENCE DETAIL**

SCALE: 1/4" = 1'-0"

**CONSTRUCTION SPECIFICATIONS**

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE



**INSTALLATION NOTES:**

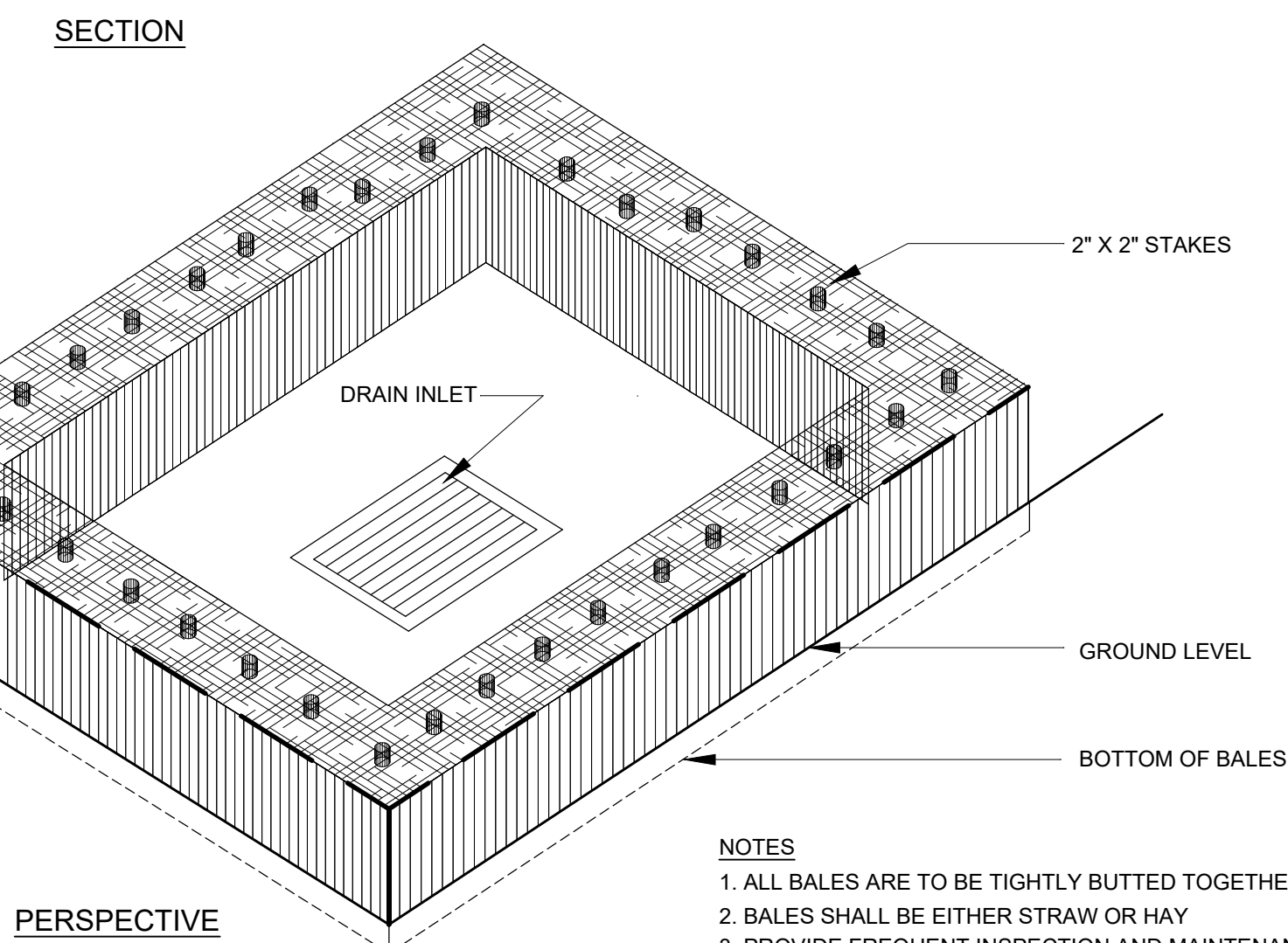
- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BAR DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

**SEDIMENT CONTROL NOTE:**

SEDIMENT CONTROL AT INDICATE PROPERTY LINES SHALL BE PERFORMED DURING PROPERTY EXCAVATION AND GRADING AND SHALL REMAIN UNTIL PROPER FINAL CURBING, DRAINAGE AND GRADING IS COMPLETED.

**HAYBALE BARRIER**

SCALE: N.T.S.

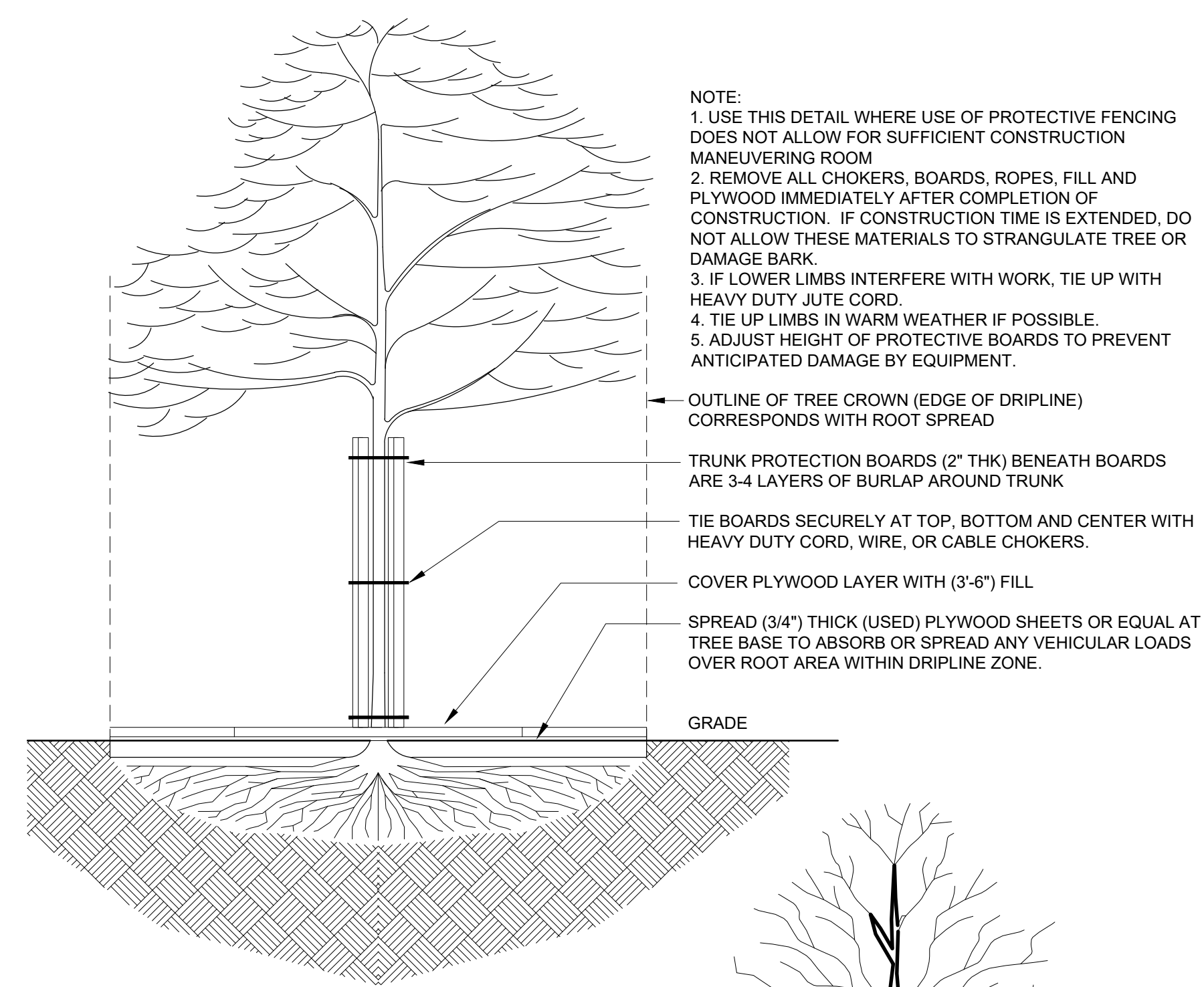


**INSTALLATION NOTES:**

- ALL BALES ARE TO BE TIGHTLY BUTTED TOGETHER
- BALES SHALL BE EITHER STRAW OR HAY
- PROVIDE FREQUENT INSPECTION AND MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AND REPLACE CLOGGED BALES TO MAINTAIN EFFECTIVENESS OF INSTALLATION.

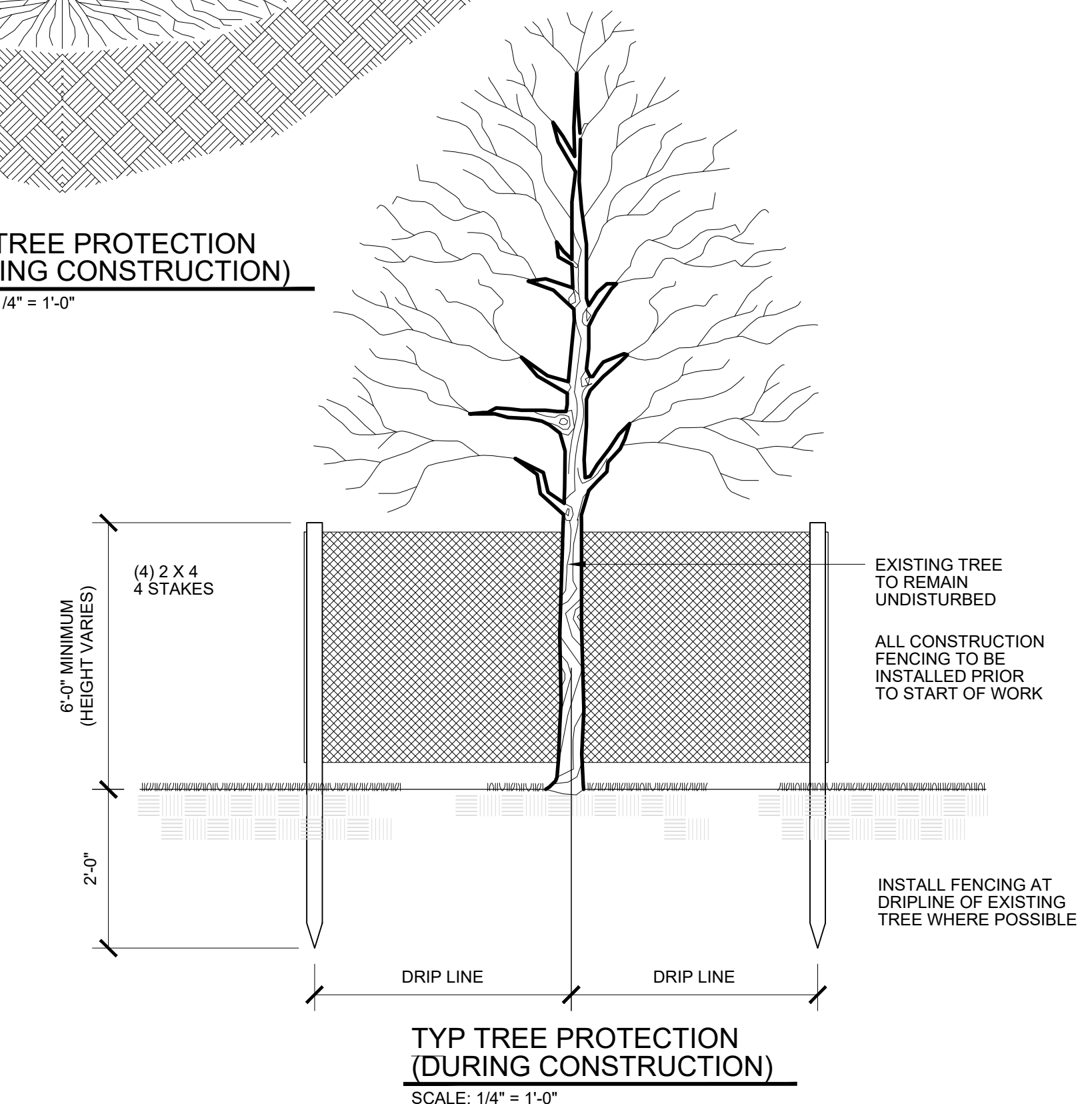
**INLET PROTECTION**

SCALE: N.T.S.



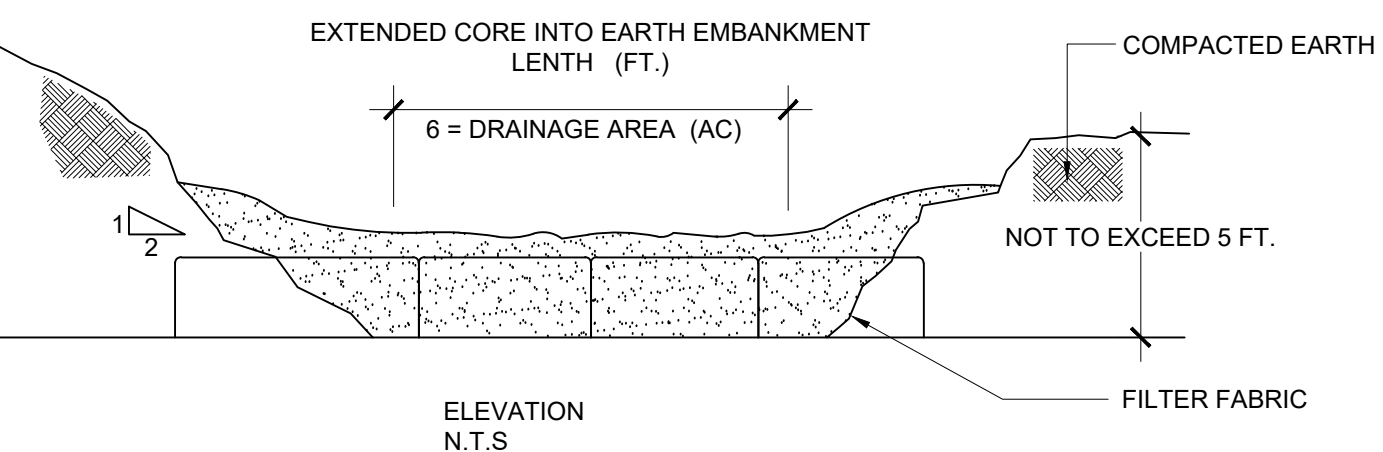
**TYP TREE PROTECTION (DURING CONSTRUCTION)**

SCALE: 1/4" = 1'-0"



**TYP TREE PROTECTION (DURING CONSTRUCTION)**

SCALE: 1/4" = 1'-0"



**INSTALLATION NOTES:**

- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED AS WELL.
- THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVER SIZED STONES, ROCKS, ORGANIC MATERIAL AND OTHER QUESTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
- THE STRUCTURE SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN REPAIRS MADE AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED.
- THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- ALL CUT AND FILL SLOPES SHALL BE 1:2 OR FLATTER.

**TEMPORARY SEDIMENT BASIN**

SCALE: N.T.S.

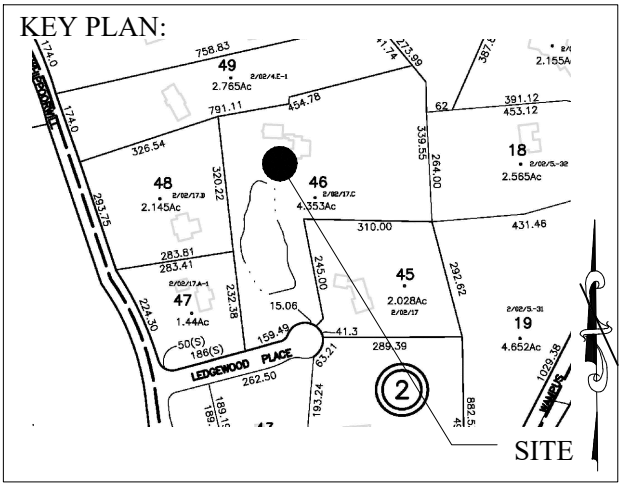
**ROLLANO ENGINEERING, P.C.**  
411 THEODORE FREMD AVE.  
SUITE 206 RYE, NY 10580  
phone: 914.925.3584 fax: 914.925.3434  
RollanoEngineers@aol.com

**NOTE:**  
PLANS ARE NOT TO BE SCALED. CONTRACTOR IS TO MAKE NO ASSUMPTIONS WITH REGARD TO THESE DRAWINGS. ANY ADDITIONAL INFORMATION OR DIMENSIONS REQUIRED TO PROPERLY ESTIMATE OR ERECT THIS PROJECT WILL BE SUPPLIED BY THE ENGINEER UPON REQUEST. CONTRACTOR SHALL VERIFY IN THE FIELD ALL DIMENSIONS AND CONDITIONS INDICATED ON THIS DRAWING AND BE RESPONSIBLE FOR SAME. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THESE DRAWINGS SHALL NOT BE ALTERED WITHOUT THE CONSENT AND KNOWLEDGE OF THE ENGINEER. ALL REPRODUCTION RIGHTS RESERVED. REPRODUCTION WITHOUT PERMISSION IS PROHIBITED.

**MUNICIPALITY:**  
TOWN OF NORTH CASTLE  
**PROPERTY INDEX:**  
SECTION: 107.02  
BLOCK: 02  
LOT: 46  
ZONE: R-2A

1	D.O.B. REVIEW	10/13/20
NO.	ISSUED FOR	DATE

**REVISIONS**



**SCOPE OF WORK:**  
THE PROPOSED REMOVAL OF THE EXISTING ONE FAMILY DWELLING, GARAGE, IN-GROUND POOL, WALKS, PORCHES, SHEDS AND ETC.

**PROJECT LOCATION:**  
4 LEDGEWOOD PLACE  
ARMONK, NEW YORK

**SHEET TITLE:**  
EROSION CONTROL DETAILS

**PROJECT #:** 20-101320  
**SCALE:** AS NOTED  
**DATE:** 10/13/20  
**DRAWN BY:** JOSEPH PATERNO, LEED AP  
**REVIEWED BY:** LOUIS E. ROLLANO, P.E.

**SEAL:** SHEET NO.:  
**S-2.0**

*Paul J. Jaehnig*

*Wetlands and Soils Consulting*

**Wetlands Survey**  
***The 4 LedgeWood Place, LLC Site***  
**4 LedgeWood Place**

**North Castle, NY**  
**Approx. 4.35 Acres Total Study Area**

*Prepared for*  
**4 LedgeWood Place, LLC**

April 17, 2019



19ledgeWoodplacellc.4ledgeWoodplace.northcastlewrep

*P.O. Box 1071*

*Ridgefield, CT 06877*

*tel. (203) 438-9993*

### Introduction

A wetland investigation was completed on property identified as 4 Ledgewood Place in the Town of North Castle on April 17, 2019 by Paul J. Jaehnig, Certified Professional Geologist, Soil Scientist, and Wetland Scientist. The work consisted of the taking of soil borings to identify the presence of wetland or hydric soils, and the marking or flagging of the wetlands boundary. The work was conducted in accordance with the Town of North Castle Wetland Law. The work was done at the request of the client and property owner 4 Ledgewood Place, LLC.

### Site Description

The site is a 4.35 Acres, "L-shaped" property situated on the north side of the cul de sac of Ledgewood Place. The site is in a very low-density residential area where residences are commonly screened from neighbors by large woodland buffers. The site consists of: a residence in disrepair; a detached garage; in-ground swimming pool; small sheds and animal coops; some surrounding lawn; a meadow; woodlands; and wetlands (see enclosed *Wetland and Soils Map* and *photos 1-14* in Appendix I).

Slopes across the site vary from nearly level and gently sloping to steep sloping. The western edge of the site slopes down to the east. The southern edge of the site slopes down to the north; the southeast edge of the site, just off of Ledgewood Place, slopes down to the west and north. The central-northern portion of the site slopes down to the north and northeast. The eastern portion of the site slopes down to the northeast. Nearly level to gently sloping areas are on the southern, central and central-northern, and a few northeastern portions of the site. Steep sloped areas are on the some of the western edges of the site, as well as, some southeastern edges of the site near Edgewood Place. Steep slopes are also on many eastern portions of the site. Topography on the southern edge of the site, along the southeast edge of the site, as well as, the central, central-northern, and some northeast portions of the site, has been modified by past man-made activity carried-out in the development of the site.

A long paved driveway comes off of the cul de sac of Ledgewood Place and into the southern corner of the site (see *photo 1* in Appendix I). The driveway continues northerly along the southeast property line, and continues then to a point in front of the residence, located on the central and central-northern portion of the site (see *photo 2* in Appendix I). The driveway then turns northwest in front of the residence, widening to form a parking area located to the west of the residence and south of the detached garage, which is located near the central-northern property line (see *photo 2* in Appendix I. The residence and detached garage are in disrepair.

An in-ground swimming is located to the northeast of the residence (see *photo 3* in Appendix I).

A collection of small sheds and animal coops are located behind the residence and detached garage (see *photos 4 & 5* in Appendix I).

A somewhat patchy lawn area is around the residence, part of the in-ground swimming pool, behind detached garage, and to the south of the parking area.

Areas of meadow are located on the southwest end of the site, and a few eastern portions of the site. The meadow has a vegetative cover of meadow grasses, bedstraw, goldenrod, and Japanese stilt grass. Lands covering meadow areas are mainly areas of previously disturbed fill soil.

Non-wetland woodlands cover the western edges of the site, some southern and southeast portions of the site, and much of the eastern portion of the site. Woodlands have a tree canopy of northern red oak, black birch, sugar maple, and a few beech. The woodlands are generally open except for a few minor barberry shrubs, as well as, mountain laurel. A few Christmas ferns dot the woodland floor. Twig and leaf litter covers the woodland floor.

Rock outcrops are commonly noted along western edges of the site, the southeast edge of the site, the central portion of the site, and many eastern portions of the site.

### Wetlands / Watercourses / Water-body

#### Introduction

The wetlands boundary was flagged in the field with consecutively numbered flagging (WL-A-1, WL-A-2, etc.) and plotted on the enclosed *Wetland and Soils Map*. Wetlands are located on the central-southern, central-western, northwestern, and northeast portions of the site. Three distinct wetland areas, labelled wetland WL-"A" to "C", are on the site. The wetlands consist of: Wetland WL-"A" - a man-made pond with fringe wetlands; Wetland WL-"B" - disturbed wet meadow with and associated brook; and Wetland WL-"C" - a small brook with associated swampland and poorly drained lands. Wetland areas WL-"A" and "B" are hydrologically connected.

#### Wetland WL-"A"

##### *Pond*

A man-made pond is located on the southern and central-western portions of the site (see *photos 6 & 7* in Appendix I). The pond is approx. 100 ft. wide and 290 ft. long. The pond depth is not known. Two bubblers operate in the pond to promote good circulation of waters. There is a dock at the northwest end of the pond. The pond has no surface drainage course flowing into it. Excess drainage build-up from the pond is directed north via a drainage pipe. Approx. 40 ft. north of the pond the drainage pipe daylights, continuing as an open channel. The pond water quality is visually good, as it is possible to see Koi fish swimming in the shallows at the south end of the pond (see *photo 8* in Appendix I).

##### *Fringe Wetlands Adjacent to the Pond*

Nearly level wet meadow borders the south end of the pond (see *photo 6* in Appendix I). The wet meadow covers approx. 80 ft. along the shore and 20 ft. wide perpendicular to the shore. The wet meadow is poorly drained and has no micro-topography development. The wet meadow has been previously disturbed, likely during the construction of the

pond. The vegetative cover consists of: Japanese stilt grass, soft rush, small tussock sedges, and daffodils.

Along the north end of the pond is a small area of wetland lawn. The wetland lawn is approx. 20 ft. long along the shore and less than 15 ft. wide perpendicular to the shore. The wetland lawn is poorly drained and lack micro-topography. The vegetative cover is close-cropped grass.

#### *Buffer*

Wetland WL-"A" is buffered on the east and west side by moderate to steep sloped woodlands with rock outcrops. To the south of wetland WL-"A" is gently sloped non-wetland meadow, followed by the paved roadway of Ledgewood Place. To the north of wetland WL-"A" is gently sloped non-wetland lawn, followed by a paved parking area.

#### *Functions*

Wetland WL-"A" provides a number of functions.

The pond functions as an important local wildlife area enjoyed by fish (Koi), snapping turtles, waterfowl, and bull frogs. The pond also provides drainage discharge function, contributing to the hydrology of wetlands to the north of the site. The pond is an important aesthetic and recreational function for the property owner, who can use the pond for canoeing and swimming.

Wetland lawn and wet meadow function as ground-water discharge areas, providing contributing shallow groundwater discharge to support the pond hydrology. The wetland lawn on the north end of the pond provides little in the way of important wildlife habitat area due to exposure to residential lands. The wet meadow provides some habitat opportunities for waterfowl and amphibians.

#### *Wetland WL-"B"*

##### *Disturbed Wet Meadow*

A small area of very gently sloped to locally nearly level wet meadow is located on the northeast portion of the site (see *photo 9* in Appendix I). The wet meadow is approx. 40 ft. by 60 ft. The wet meadow is poorly drained. The wetland drains in a north to northeast direction. The wet meadow has micro-topography developed by uneven ground due to man-made disturbances. The disturbances are both recent and some time ago, however, recent disturbances are quite extensive. The main recent disturbances include machine digging of six deep test pits, placement of excavated fill soil, and scarification of natural vegetative cover (see *photo 10* in Appendix I). The deep test pits are filled at or near the surface with ground-water. Many of the more upslope deep test pits drain northerly to lower elevation positions of the wet meadow. Diffuse seeps and springs flow on the ground between some of the deep test pits. In the vicinity of the deep test pits the ground is generally un-vegetated, but on the less disturbed western side of the wetland is a dense stand of phragmites, as well as, scattered skunk cabbage plants (see *photo 11* in Appendix I). Some multiflora rose shrubs grow in and amongst the phragmites. Excess surface

drainage build-up is discharged to the northeast along a steep sloped, very rocky drainage course.

#### *Brook*

Drainage from the disturbed wet meadow is conveyed northeast along a steep sloped and rocky brook channel, and down to a level small swampland situated in a narrow wooded valley located at the very northeast corner of the site (see photo 12 in Appendix I). The brook channel is approx. 1 to 2 ft. wide and less than 0.5 ft. deep. Approx. 1/2 inch deep water flows in the channel at this time. The brook is un-vegetated. Many overturned trees have fallen in and along brook channel.

#### *Swampland*

The brook drains to a level swampland is located at the northeast corner of the site. The swampland extends to the east, north, and south of site. The swampland is nestled in a narrow steep-sided wooded valley. The swampland has a dense and tall tree canopy of red maples.

#### *Buffer*

Wetland WL-"B" is buffered by: a steep escarpment of rock outcrop to the west; steep sloped meadow to the southwest; and steep sloped woodlands to the north, south, and east.

#### *Functions*

Wetland WL-"B" on the site functions primarily as a small groundwater discharge area, conveying excess drainage to the level swampland area portion located at a much lower elevation point near the northeast corner of the site. The sparse vegetative cover in the disturbed wet meadow area limits its potential as an important wildlife habitat. Small songbirds may use some of the cover in and around the phragmites stand from time to time. Deer, coyote, and raccoon traverse the wet meadow from time to time.

#### *Wetland WL-"C"*

##### *Brook*

Excess drainage from the pond, located to the south, is piped north and forms the brook (see photos 13 & 14 in Appendix I). The brook has a linear course due to past excavation work designed to control the flow of drainage through the site. The brook has a very gentle gradient. The brook channel is approx. 3 ft. wide and 1 ft. deep. Approx. 1 inch deep water sluggishly flows in the channel at this time. The brook continues northerly and away from the site. Daffodils and Japanese stilt grass grows along the brook. Floating duckweed is noted in some of the standing areas of water along the brook. Leaf litter clogs the brook channel.

##### *Swampland*

Level swampland borders the brook near the northwest property line. The swampland continues north and beyond the site. The swampland area forms a narrow corridor flanking the brook. The swampland is very poorly drained and has weak micro-topography in local areas. The swampland vegetative cover consists of: tree canopy of

red maples with very shallow roots; thin shrub understory of few spicebush and barberry; herbaceous cover of skunk cabbage; groundcover of invasive pachysandra.

#### *Level and Poorly Drained Disturbed Land*

A small area of poorly drained, disturbed wetland area borders the non-wetland lands just behind the detached garage. This is an area with a thin cover of fill soil placed over a natural wetland soil profile. The area is approx. 10 ft. across. The area is covered with leaf litter, gravel, and bark strips.

#### *Buffer*

Wetland WL-"C" is buffered by: gently sloped woodlands on the northern portion; on the southern portion by moderately sloped woodlands to the west and paved parking and lawn area to the east.

#### *Functions*

Wetland WL-"C" functions primarily as a local groundwater discharge area, conveying excess surface drainage to other wetland systems in the watershed. Butterflies and Dragonflies likely utilize areas along the brook for some habitat opportunities from time to time. The exposure of the brook to residential properties does significantly limit the importance of this area as an important wildlife habitat area. Deer, coyote, and raccoon likely traverse the wetland from time to time.

#### *NYSDEC Jurisdiction*

Wetlands on the site are not New York State Dept. of Environmental Conservation (NYSDEC) regulated wetlands according to the agency's published maps (see *NYSDEC Wetland Map* in Appendix II).

#### *Regional Drainage*

Drainage on the site is directed north and northeast, away from the site (see *Regional Drainage Map* in Appendix III). Drainage ultimately reaches the Wampus River at a point near Armonk center.

#### *Soils*

Soil borings were taken across the site in order to identify wetland soils. Soil boring locations (SS-1, SS-2, etc.) were plotted approx. on the enclosed *Wetland and Soils Map*. Soil borings were logged noting soil profile color, texture, redoximorphic (wetland soil) indicators, and water table. Detailed descriptions of soil borings are provided in Appendix IV.

Soils encountered on the study area include: non-wetland, well drained Charlton-Chatfield complex, rolling, very rocky (CrC), slopes 2 to 15%, in the undisturbed, gently sloped woodlands of the site; non-wetland, well drained Chatfield-Charlton complex, hilly, very rocky (CsD), slopes 15 to 35 %, in the undisturbed, steep sloped woodlands of the site; non-wetland, well drained Hollis-Rock outcrop complex (HrF), slopes 35 to 60 %, in the undisturbed steep sloped woodland areas with rock outcrop; non-wetland, moderately well drained Sutton loam (SuB), slopes 3 to 8%, in the undisturbed, gently



sloped lands adjacent to some wetlands; non-wetland, well-drained Udorthents, cut, fill, & graded soil (Ud1), slopes varied, to describe areas around the residence, yard, and along the driveway, where man-made disturbances have been carried-out as part of the development of the property; non-wetland, moderately well drained Udorthents, cut, fill, & graded soil (Ud2), slopes varied, to describe portions of the site where past man-made disturbances have been carried-out adjacent to wetlands; wetland, poorly drained Aquents soils (Aq), slopes 0 to 1 %, to describe wetland soil profiles mixed or disturbed by man-made activity; wetland, poorly and very poorly drained Fluvaquents soils (Ff), slopes varied, to describe young wetland soils formed along the brook; wetland, poorly drained Leicester loam (LcA), slopes 0 to 3 %, in the undisturbed, nearly level to very gently sloped wetland areas; wetland, poorly drained Leicester loam (LcB), slopes 3 to 8 %, in the undisturbed, gently sloped wetland areas; wetland, very poorly drained Sun silt loam (Sh), slopes 0 to 2 %, in the undisturbed, nearly level wetlands areas; and wetland, poorly drained Udorthents, wet substratum (Uc), slopes 0 to 3 %, to describe disturbed wetland areas where a thin cover of fill soil has been placed and spread over a natural wetland soil profile. The distribution of these soil-types is depicted on the enclosed *Wetland and Soils Map*.

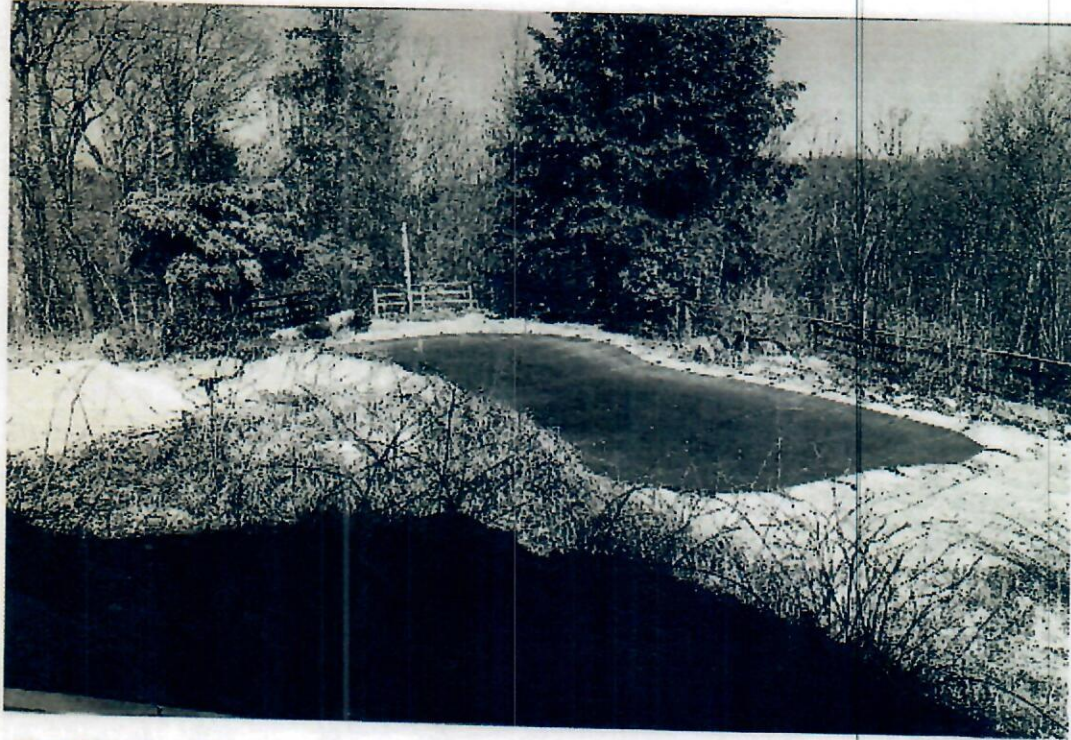
**Appendix I**  
Selected Site Photos



*Photo 1 Looking north along the driveway from cul de sac of Ledgewood Place.*



*Photo 2 Looking north along driveway and toward residence and detached garage.  
April 2019- The 4 Ledgewood Place, LLC Site, 4 Ledgewood Place, North Castle, NY*

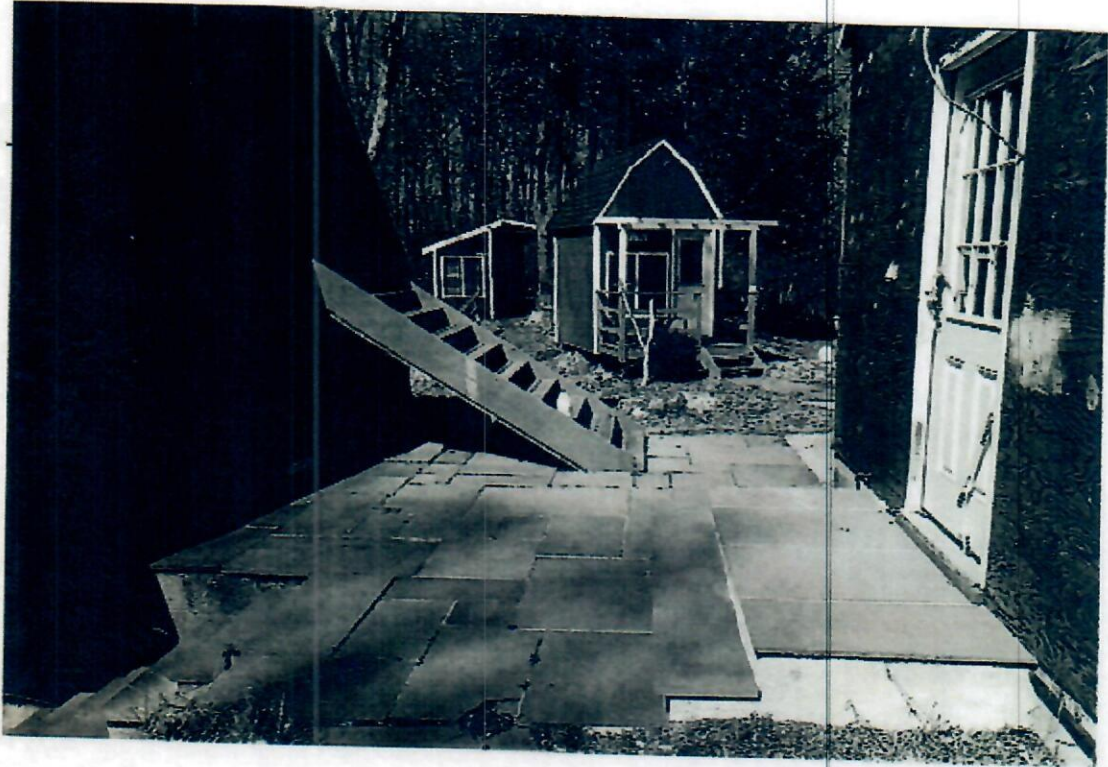


*Photo 3 Looking northeast toward in-ground swimming pool.*

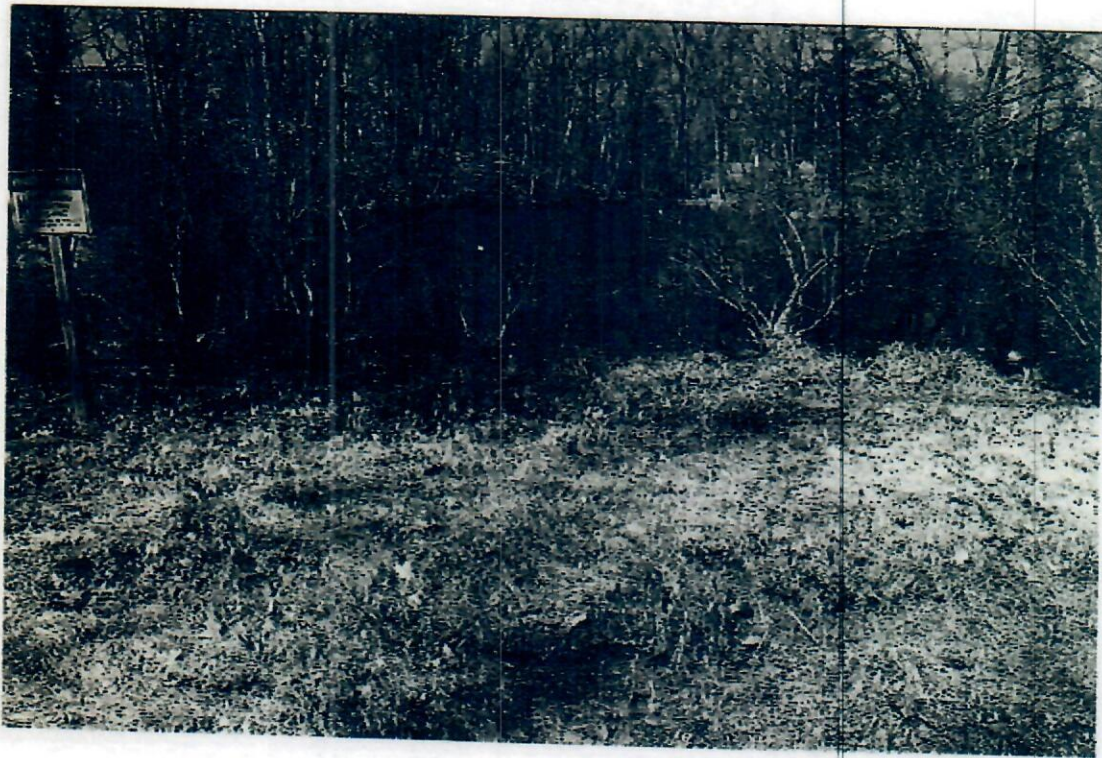


*Photo 4 Looking west toward sheds and coops to the north of the residence.*

*April 2019- The 4 Ledgewood Place, LLC Site, 4 Ledgewood Place, North Castle, NY*



*Photo 5 Looking north between residence and detached garage and toward sheds.*



*Photo 6 Looking north across pond associated with wetland WL-"A". Note wet meadow in foreground of photo.  
April 2019- The 4 Ledgewood Place, LLC Site, 4 Ledgewood Place, North Castle, NY*



*Photo 7 Looking south across pond associated with wetland WL-"A". Note dock in foreground.*



*Photo 8 Looking toward Koi fish in shallows in southeast corner of pond associated with wetland WL-"A".  
April 2019- The 4 LedgeWood Place LLC Site, 4 LedgeWood Place, North Castle, NY*



*Photo 9 Looking northeast and downslope along travel-way meadow and toward wetland WL-"B". Wetland in center of photo.*



*Photo 10 Looking north across wetland WL-"B". Note deep test pits filled with ground-water; phragmites stand in background.*

*April 2019- The 4 Ledgewood Place LLC Site, 4 Ledgewood Place, North Castle, NY*



*Photo 11 Looking north across wetland WL-"B". Note phragmites and skunk cabbage plants: deep test pit fill with ground-water.*



*Photo 12 Looking southwest and upslope along brook conveying drainage from disturbed wet meadow portion of wetland WL-"B".*

*April 2019- The Ledgewood Place LLC Site, 4 Ledgewood Place, North Castle, NY*





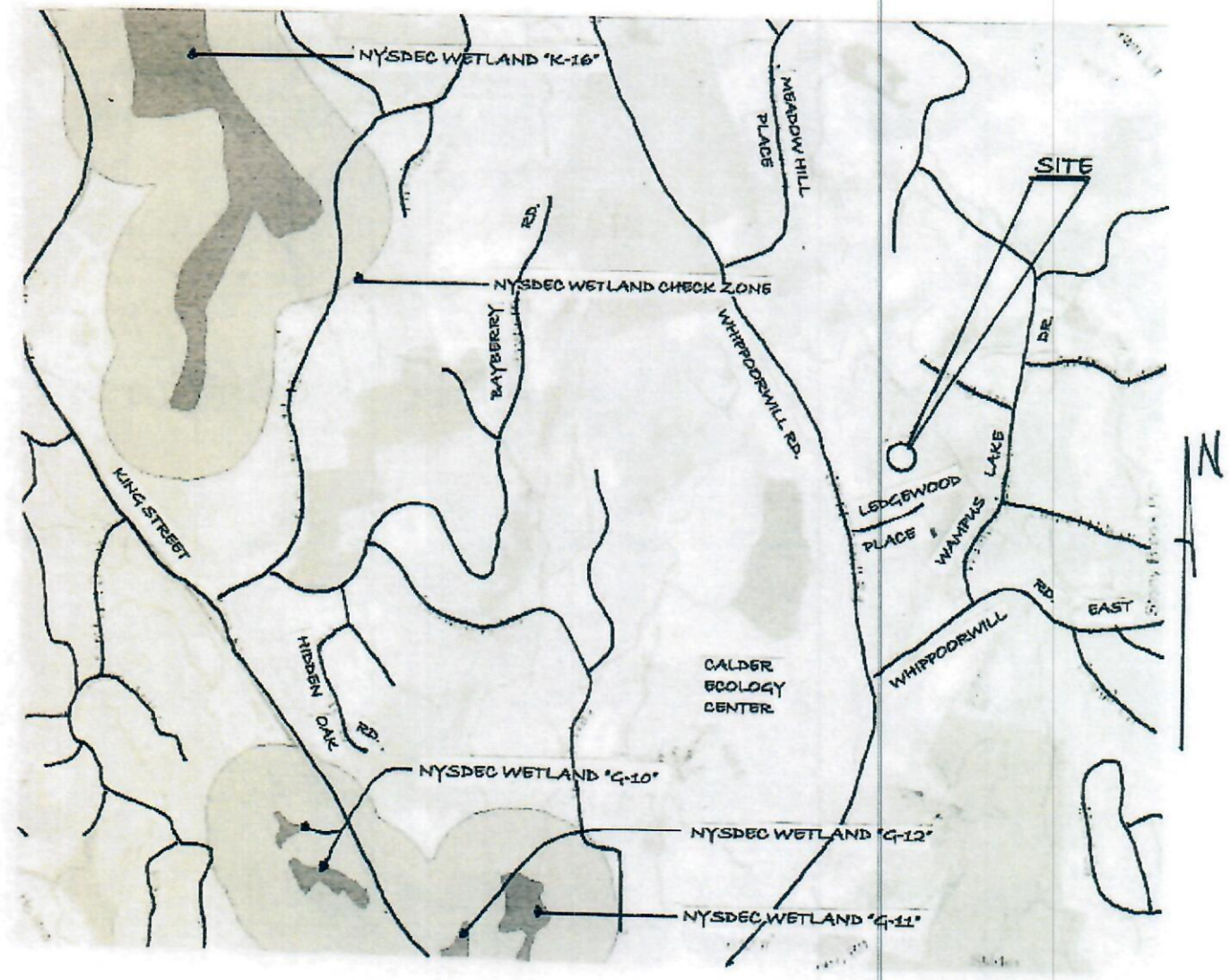
*Photo 13 Looking southerly across wetland WL-"C". Note brook in center of photo; detached garage in background of photo.*



*Photo 14 Looking north and downstream along brook flowing through flanking swampland in wetland WL-"C".  
April 2019- 4 Ledgewood Place LLC Site, 4 Ledgewood Place, North Castle, NY*

**Appendix II**

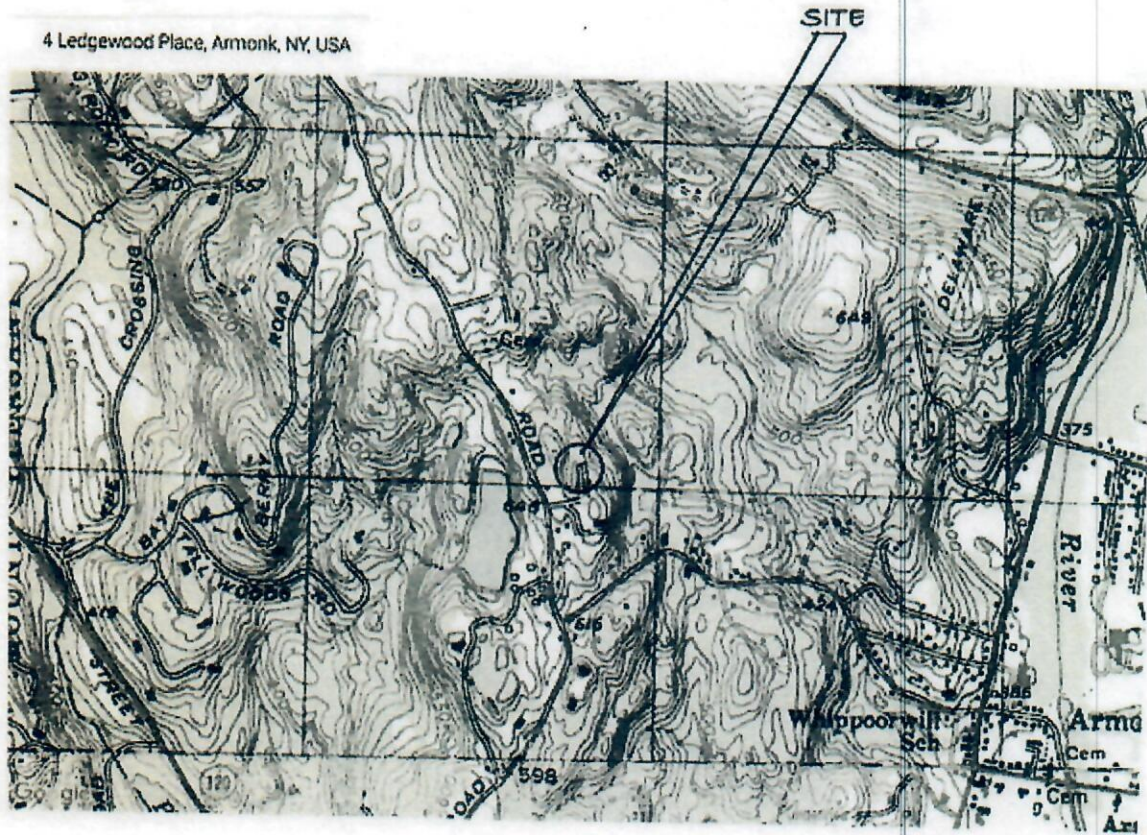
NYSDEC Wetland Map



NYSDEC WETLAND MAP  
N.T.S.

**Appendix III**  
Regional Drainage Map

4 Ledgewood Place, Armonk, NY, USA



REGIONAL DRAINAGE MAP  
N.T.S.

**Appendix IV**  
Soil Boring Logs

**KEY TO BORING LOGS**

SS-1	SOIL BORING
0-4''	DEPTH IN INCHES FROM THE GROUND SURFACE
COLOR	MUNSELL COLOR NOTATION
VERY DARK GRAY	HUE      VALUE/ CHROMA 10YR     3 / 1

SOILS INFORMATION

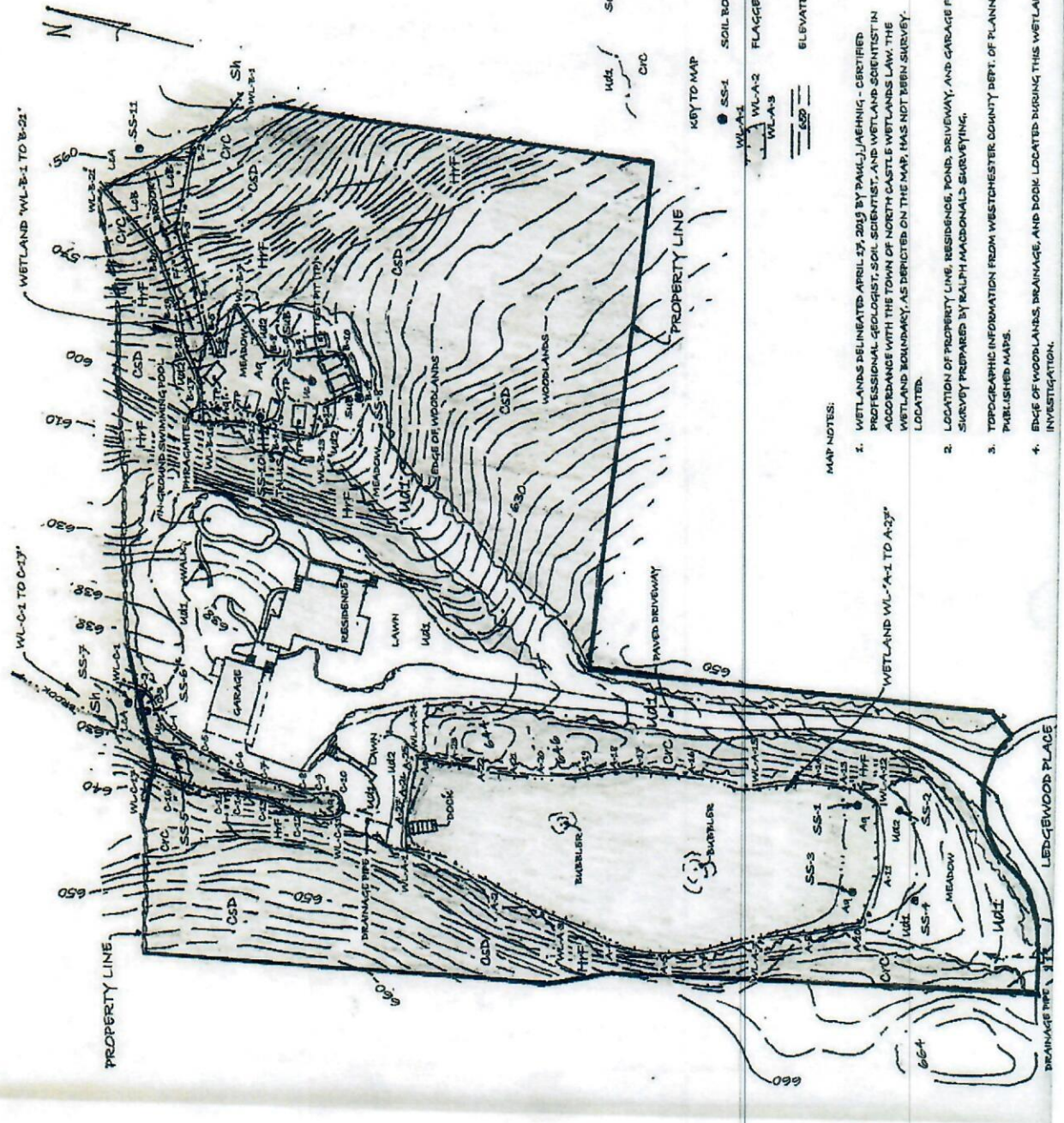
NON-WETLAND SOILS

- CDC Chenoweth-Chiefeld complex, very rocky well drained, slopes 2 to 25%
- C3B Chiefeld-Chenoweth complex, very rocky well drained, slopes 15 to 25%
- HVF Hallsie-Rozek extensy complex well drained, slopes 35 to 60%
- SURB Sutton-Lawn moderately well drained, slopes 3 to 8%
- UDC Udentshite soils wet drained, slopes varied
- UDC Udentshite soils moderately well drained, slopes varied

WETLAND SOILS

- Aq Aquents soils poorly and very poorly drained, slopes 0 to 1%
- Ff Fluvipluvis soils poorly and very drained, slopes varied
- LEA Lössetz lawn poorly drained, slopes 0 to 3%
- LEB Lössetz lawn poorly drained, slopes 3 to 8%
- Sk Silt loam very poorly drained, slopes 0 to 2%
- US Udentshite, wet substratum poorly drained, slopes 0 to 3%

**Wetland & Soils Map**  
The 4 Ledgerwood Place, LLC Site



4 Ledgerwood Place

North Castle NY

Approx. 4.35 Acres Total Area Site

Prepared for

4 Ledgerwood Place, LLC

April 17, 2019

Prepared By  
Paul Jaehning - Wetlands and Soils Consulting  
P.O. Box 2079 Ridgefield, CT 06877

Map Scale: 1 inch = 60 ft.

- KEY TO MAP
- SS-1 SOIL BORING LOCATION
  - WL-A1 FLAGGED WETLAND BOUNDARY
  - WL-A2
  - WL-A3
  - 650 ELEVATION CONTOUR IN FEET.

MAP NOTES:

1. WETLANDS DELINEATED APRIL 17, 2019 BY PAUL J. JAENING - CERTIFIED PROFESSIONAL GEOLOGIST, SOIL SCIENTIST, AND WETLAND SCIENTIST IN ACCORDANCE WITH THE TOWN OF NORTH CASTLE WETLANDS LAW. THE WETLAND BOUNDARY, AS DEPICTED ON THE MAP, HAS NOT BEEN SURVEY LOCATED.
2. LOCATION OF PROPERTY LINE, RESIDENCE, POND, DRIVEWAY, AND GARAGE FROM SURVEY PREPARED BY RAULPH MACDONALD SURVEYING.
3. TOPOGRAPHIC INFORMATION FROM WESTCHESTER COUNTY DEPT. OF PLANNING PUBLISHED MAPS.
4. EDGE OF WOODLANDS DRAINAGE AND DOCK LOCATED DURING THIS WETLAND INVESTIGATION.

SS-1

SITE: VERY GENTLY SLOPED WET MEADOW ADJACENT TO POND; POORLY DRAINED; NO MICRO-TOPOGRAPHY; VEGETATIVE COVER OF JAPANESE STILT GRASS, TUSSOCK SEDGE, FEW DAFFODILLS, AND SOFT RUSH.

0-24" MIXED VERY DARK GRAY 10YR 3/1, DARK GRAY 10YR 4/1, AND GRAY 10YR 5/1 SILT LOAM AND GRAY BROWN 10YR 5/2 SANDY LOAM.

24-30" MIXED GRAY BROWN 10YR 5/2 SANDY LOAM WITH GRAY 10YR 5/1 SILT LOAM INCLUSIONS.

WATER TABLE AT 4".

SS-2

SITE: VERY GENTLY SLOPED MEADOW; VEGETATIVE COVER OF JAPANESE STILT GRASS.

0-38" MIXED DARK GRAY 10YR 4/1 SILT LOAM WITH INCLUSIONS OF GRAY BROWN 10YR 5/2 FINE SANDY LOAM.

WATER TABLE AT 34".

SS-3

SITE: VERY GENTLY SLOPED WET MEADOW; POORLY DRAINED; NO MICRO-TOPOGRAPHY; VEGETATIVE COVER OF JAPANESE STILT GRASS AND TUSSOCK SEDGE.

0-29" MIXED DARK GRAY 10YR 4/1 AND VERY DARK GRAY 10YR 3/1 SILT LOAM WITH LIGHT BROWN GRAY 2.5Y 6/2 LOAM WITH 20 % DARK YELLOW BROWN 10YR 4/6 MOTTLES (REDOX CONCENTRATIONS).

WATER TABLE AT 4".

SS-4

SITE: VERY GENTLY SLOPED MEADOW; VEGETATIVE COVER OF JAPANESE STILT GRASS AND SPARSE ONION GRASS.

0-8" MIXED VERY DARK GRAY 10YR 3/1 SILT LOAM.

8-19" MIXED VERY DARK GRAY 10YR 3/1 SILT LOAM WITH INCLUSIONS OF YELLOW BROWN 10YR 5/6 LOAM.



(SS-4 cont.)

19-22" MIXED YELLOW BROWN 10YR 5/6 FINE SANDY LOAM WITH VERY DARK GRAY 10YR 3/1 SILT LOAM.

WATER TABLE NOT ENCOUNTERED.

SS-5

SITE: CENTERLINE OF VERY GENTLY SLOPED, LEAF-CLOGGED BROOK WITH CHANNEL 1.5 TO 2.0 FT. WIDE AND 1 TO 0.5 FT. DEEP WITH APPROX. 1 INCH DEEP WATER; SIDE BANKS VEGETATED WITH JAPANESE STILT GRASS AND DAFFODILLS; SURFACE OF WATER HAS VENEER OF DUCKWEED.

0-6" BLACK 2.5Y 2.5/1 MUCK.

6-28" GRAY BROWN 10YR 5/2 SANDY LOAM,

WATER TABLE AT 0".

SS-6

SITE: LEVEL LAND WITH COVER OF LEAF LITTE AND BARK STRIPS.

0-12" MIXED VERY DARK GRAY 10YR 3/1 LOAM AND LIGHT BROWN GRAY 2.5Y 6/2 LOAM; 10% ROCK FRAGMENTS.

12-28" DARK GRAY 10YR 4/1 SILT LOAM.

WATER TABLE AT 5".

SS-7

SITE: LEVEL WETLAND AREA ADJACENT TO BROOK; POORLY DRAINED; NO MICRO-TOPOGRAPHY; VERY THIN TREE CANOPY OF FEW RED MAPLES WITH SHALLOW ROOTS; THIN UNDERSTORY OF FEW BARBERRY SHRUBS; HERBACEOUS GROWTH OF SKUNK CABBAGE AND BLANKET OF PACHYSANDRA; MATTED LEAVES IN UN-VEGETATED AREAS.

0-2" VERY DARK GRAY 10YR 3/1 MUCK.

2-8" DARK GRAY 10YR 4/1 SILT LOAM WITH 10% BROWN 7.5YR 4/4 MOTTLES (REDOX CONCENTRATIONS).

(SS-7 cont.).

8-28" LIGHT BROWN GRAY 2.5Y 6/2 LOAM WITH 20% DARK YELLOW BROWN 10YR 4/6 MOTTLES (REDOX CONCENTRATIONS).

WATER TABLE AT 0".

SS-8

SITE: VERY GENTLY SLOPED, UNDISTURBED MEADOW JUST UPSLOPE OF TEST PITS; GROUND IS STONY; PATCHY COVER OF GRASSES AND ADJACENT SPARSE COVER OF PHRAGMITES AND GOLDENROD.

0-8" MIXED DARK GRAY 10YR 4/1 LOAM.

8-19" YELLOW BROWN 10YR 5/4 LOAM.

19-28" YELLOW BROWN 10YR 5/4 WITH 2% DARK YELLOW BROWN 10YR 4/6 MOTTLES (REDOX CONCENTRATIONS).

WATER TABLE AT 18".

SS-9

SITE: VERY GENTLY SLOPED LAND WITH UNEVEN GROUND; ADJACENT RECENT TEST PITS FILLED WITH WATER; SOIL EXCAVATED FROM TEST PITS SPREAD OVER AREA.

0-2" PALE BROWN 10YR 6/3 SANDY LOAM WITH 5% GRAVEL.

2-8" DARK GRAY 10YR 4/1 LOAM WITH 10% BROWN 7.5YR 4/4 MOTTLES (REDOX CONCENTRATIONS).

8-28" LIGHT BROWN GRAY 2.5Y 6/2 LOAM WITH 20% DARK YELLOW BROWN (REDOX CONCENTRATIONS).

WATER TABLE AT 0".

SS-10

SITE: LEVEL LAND ADJACENT TO TEST PIT FILLED WITH WATER; UNEVEN AND SOGGY GROUND; VEGETATIVE COVER OF PHRAGMITES WITH FEW SKUNK CABBAGE PLANTS.

0-3" DARK GRAY 10YR 4/1 MUCK.

3-8" GRAY 10YR 6/1 SILT LOAM WITH 10% BROWN 7.5YR 4/4 MOTTLES (REDOX CONCENTRATIONS).

(SS-10 cont.)

8-12" GRAY 10YR 6/1 LOAM WITH 20% DARK YELLOW BROWN 10YR 4/6 MOTTLES (REDOX CONCENTRATIONS).

12-28" LIGHT BLUISH GRAY 5B 7/1 LOAM WITH 20% DARK YELLOW BROWN 10YR 4/6 MOTTLES (REDOX CONCENTRATIONS).

WATER TABLE AT 0".

SS-11

SITE: VERY GENTLY SLOPED WETLAND LOCATED IN WOODED VALLEY; ADJACENT TO BROOK FLOWING FROM MEADOW AREA WITH TEST PITS; BROOK HAS A ROCKY CHANNEL 1.5 FT. WIDE AND LESS THAN 0.5 FT. DEEP WITH 1/2 INCH DEEP FLOWING WATER; WETLAND IS POORLY DRAINED; NO MICRO-TOPOGRAPHY; TALL AND SHADY CANOPY OF RED MAPLE TREES WITH SHALLOW ROOTS; OPEN UNDERSTORY EXCEPT FOR FEW BARBERRY SHRUBS; MATTED LEAVES COVER UN-VEGETATED FLOOR.

0-7" DARK GRAY 10YR 4/1 LOAM WITH 10% BROWN 7.5YR 4/4 MOTTLES (REDOX CONCENTRATIONS).

7-28" LIGHT BROWN GRAY 2.5Y 6/2 LOAM WITH 20 % DARK YELLOW BROWN 10YR 4/6 MOTTLES (REDOX CONCENTRATIONS).

WATER TABLE AT 0".



# EXCLUSIVE TESTING LABS INC.

## Limited Asbestos Sampling Report

**Prepared for:**

4 LedgeWood Place LLC  
121 Montgomery Avenue  
Scarsdale, NY 10583

**Performed at:**

4 LedgeWood Place  
Armonk, NY 10504

**Asbestos Sampling Date:**

September 10, 2020

*ETLINC Job #37221*

## Limited Asbestos Survey Overview

*Project Location: 4 Ledgewood Pl, Armonk, NY 10504*

*File: 37221*

Exclusive Testing Labs Inc. (ETL) was retained by 4 Ledgewood Place LLC to perform a limited asbestos survey at the cited project location. Anthony Rendo, NYS Asbestos Inspector (Certification #17-40062) collected samples at the address referenced above.

Site sampling was conducted on September 10, 2020 by Exclusive Testing Labs Inc. This firm abides by all guidelines and regulations as set forth by the Environmental Protection Agency (EPA), the New York State Department of Labor (NYS-DOL) Code Rule 56, the Department of Environmental Protection (DEP), the Asbestos Hazard Emergency Response Act (AHERA), as well as all Federal, State, Local, and Municipal rules and regulations.

Exclusive Testing Labs Inc. forwarded samples to be tested for the presence of Asbestos Containing Materials (ACM) to Atlas Environmental NYSDOH ELAP #11999.

## Asbestos Sampling Results

### *Identified Asbestos Containing Materials*

The following materials were identified as containing greater than 1% asbestos and are considered to be asbestos-containing materials. Quantities are approximations, Abatement Contractors should verify exact measurements.

Location	Materials	Quantity	Condition
<b>1st Floor - Bathroom Floor</b>	<b>9x9 Vinyl Tile + Black Mastic Composite</b>	<b>65 sq ft</b>	<b>Damaged</b>
<b>2nd Floor - Bedroom 1 Window - Elevation A</b>	<b>Glazing</b>	<b>45 sq ft</b>	<b>Damaged</b>
<b>Roof</b>	<b>Flashing</b>	<b>45 sq ft</b>	<b>Good</b>

### *Trace Amounts of Asbestos Found*

The following identified materials were found to contain 1% or less of asbestos. According to the governing rules and regulations, these materials are considered non-asbestos containing materials.

**None.**

### *Presumed Asbestos Containing Materials (PACM)*

The following identified materials were not sampled, and are assumed to be asbestos-containing materials.

**None.**

Materials that are not accessible to be tested or are not included in the scope of work are to be assumed to be asbestos until they are sampled and analyzed. If and when materials become accessible and/or the scope of work changes all untested materials must be analyzed for the presence of asbestos.

## Site-Specific Information:

- The house was mostly gutted out.
- There was a section on the second floor inside the house where there were roof shingles.
- There was an elevator shaft, but the inspector was unable to gain access to the inside.
- The house and garage had one layer of homogeneous architectural shingles.
- From the outside access of the second floor deck, there were wall shingles under the architectural shingles that were tested separately at Elevation A.
- The in-ground pool was completely filled with water to the top.
- The first floor garage had concrete flooring throughout the whole area, including the bathroom. The bathroom did not have any ceramic wall tile.
- The house and garage windows did not have any caulking, except for two windows in main house that only had glazing.
- The rear of the house at Elevation C had an active wasp nest. The inspector was unable to accurately take pictures and measurements, but did not observe any material that needed to be tested.
- All of the siding was removed on the outside of the house. Some cedar shake siding that was left over was observed.
- Most of the windows were removed already.
- A good portion of house was built over bedrock that was above ground. There was no real basement.
- The flooring and floor joists in the living room were removed, leaving only dirt and rubble.

## Scope of Work:

As explained to ETL, the scope of work pertaining to 4 Ledgewood Pl, Armonk, NY 10504 was to test the property for asbestos-containing materials.

## Closing Affidavit:

All data collection and results reporting was made without bias. Contact this office for clarification of any section of this report as needed.

I certify that the contents of this report are true to the best of my knowledge and reflect conditions at the time of testing/data collection.

If you should require additional information, please do not hesitate to contact us at (718) 239-2347.

Thank you for allowing Exclusive Testing Labs Inc. to assist you in your environmental management needs.

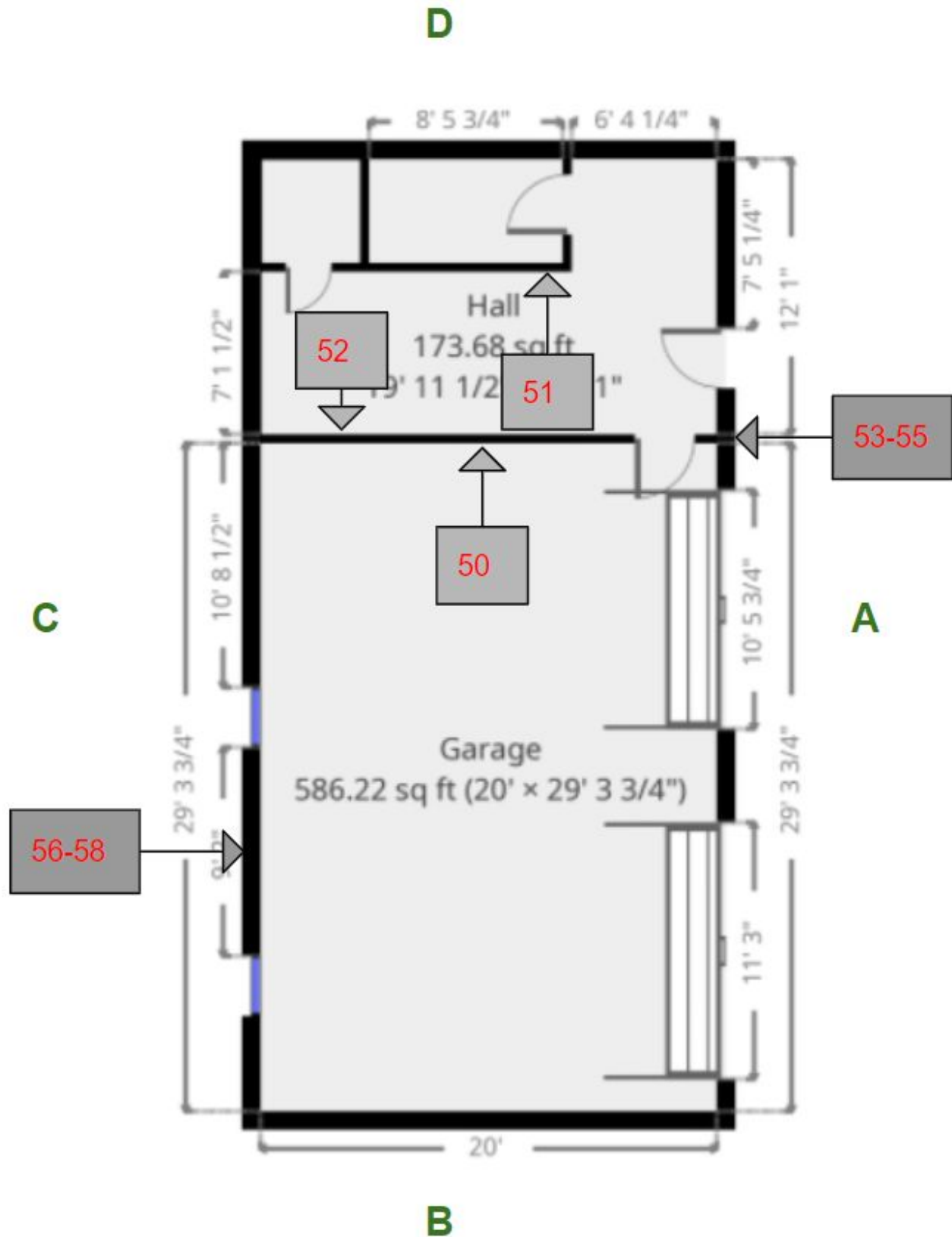
Sincerely,



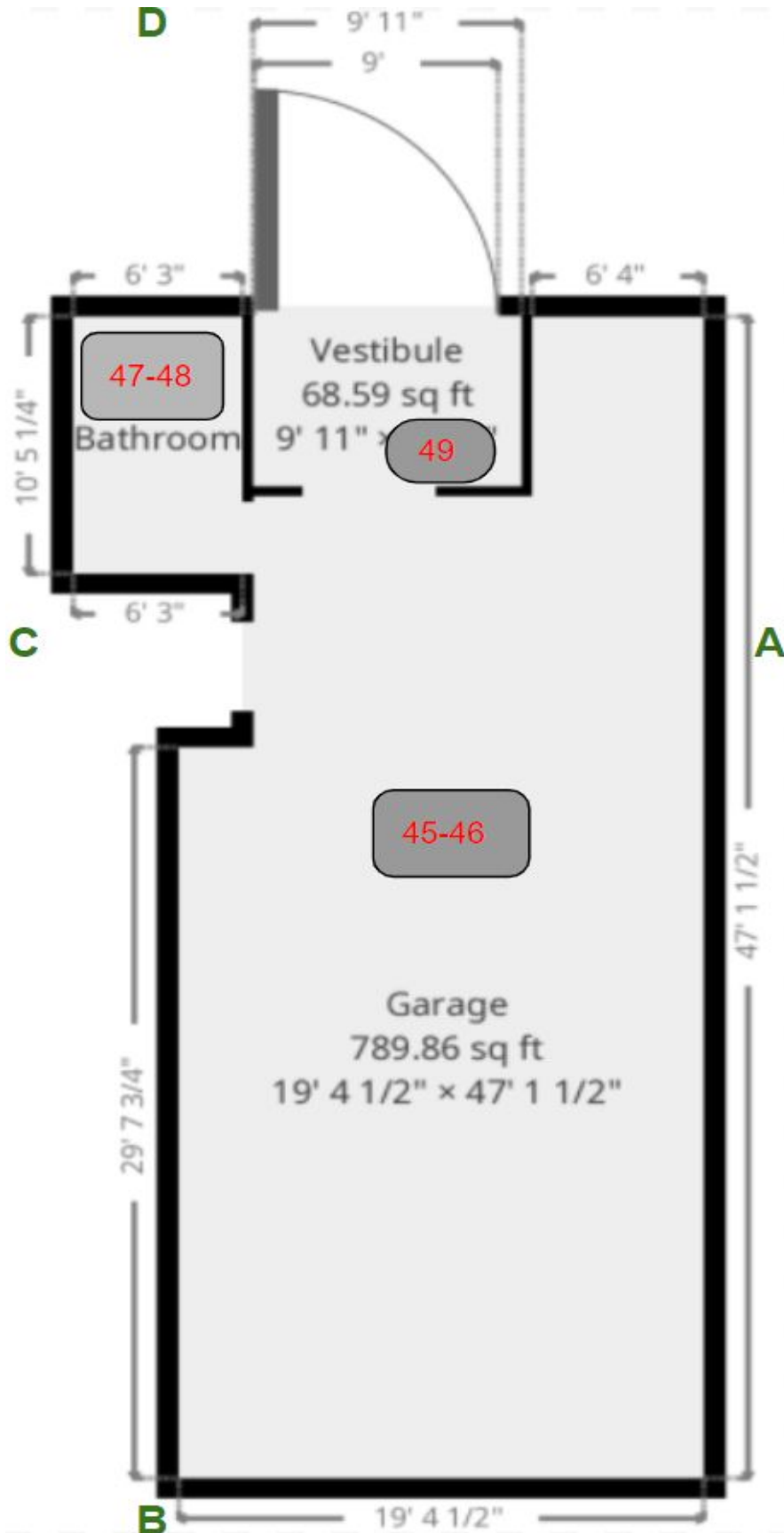
Anthony Spina  
President  
Exclusive Testing Labs Inc.

# Site Sketches

## First Floor - Garage

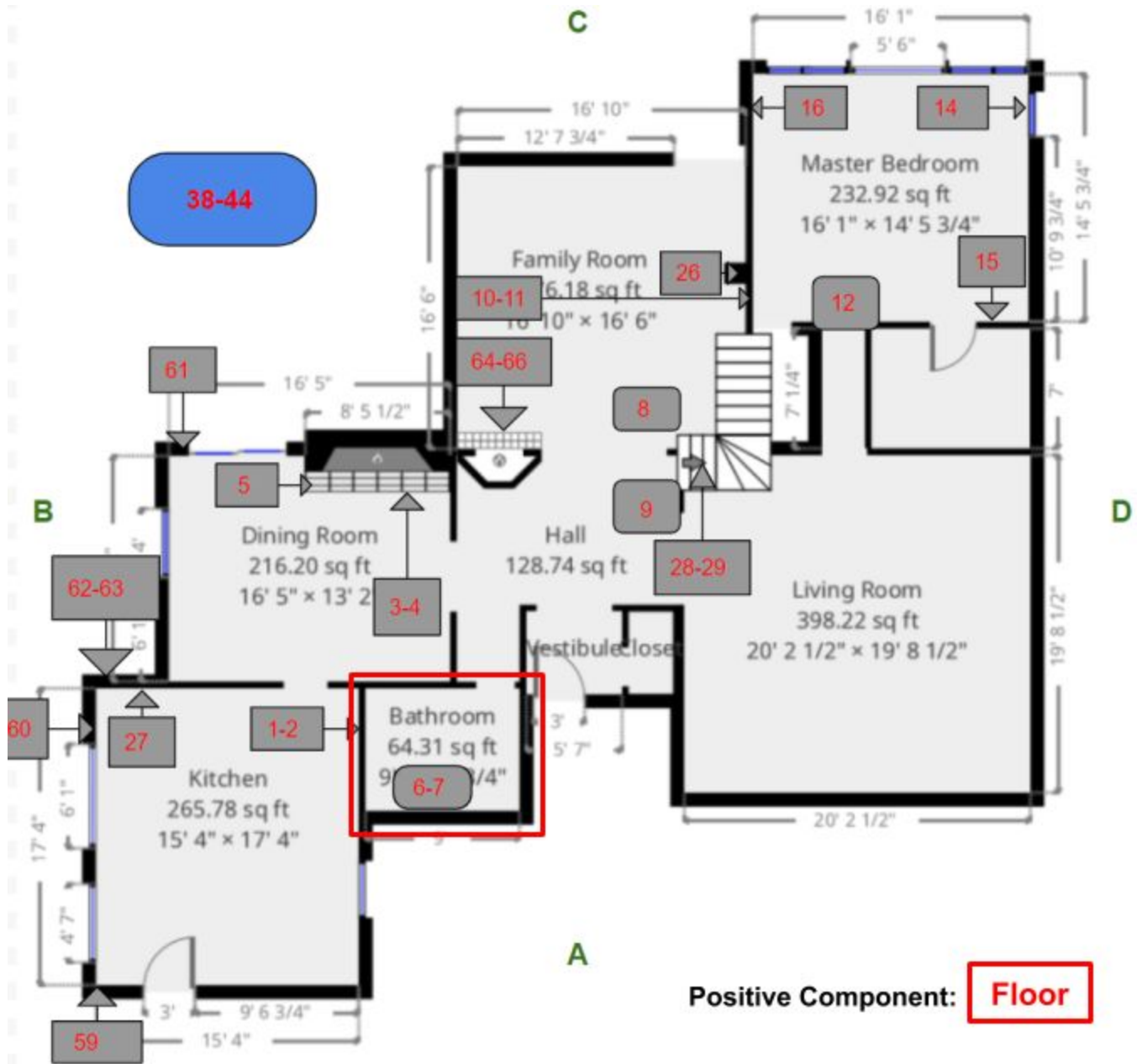


## Second Floor - Garage

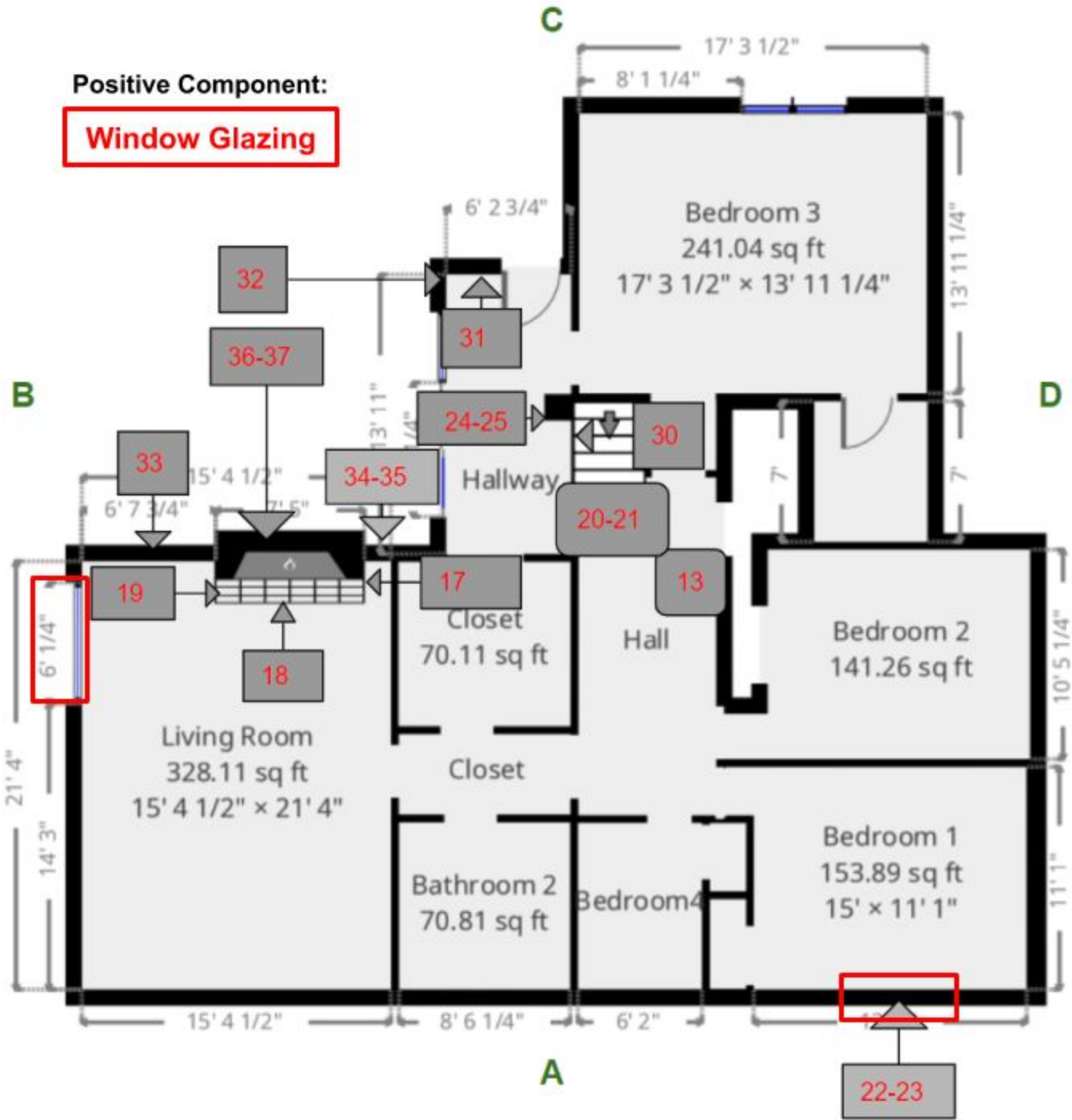




First Floor - Main House



Second Floor - Main House



# Analytical Results & Chain of Custody



### Bulk Asbestos Report by PLM-TEM

**Client:** Exclusive Testing Labs Inc.  
**Collected by:** Client  
**Project Name/No.:** 37221  
**Project Address:** 4 Ledgewood Place, Armonk, NY 10504  
**Work Area:**

**Lab ID:** BK0920151  
**Date Received:** 9/14/2020  
**PLM Date Analyzed:** 9/15/2020  
**TEM Date Analyzed:** 9/15/2020  
**Report Date:** 9/15/2020

Client ID#	Lab ID#	Description/ Location	Analyst Description	ORG%	All%	ASI%	PLM			TEM
							Fibrous%	Non Fibrous%	Asbestos% &Type	Asbestos% &Type
A1	BK0920151-1	1st Floor Kitchen Wall D / Vaper Barrier	Black, Homogeneous, Non-Fibrous	53.1	21.2	25.7	0%	100%	NAD Inconclusive	NAD
A2	BK0920151-2	1st Floor Kitchen Wall D / Vaper Barrier	Black, Homogeneous, Non-Fibrous	58.8	8.9	32.3	0%	100%	NAD Inconclusive	NAD
B3	BK0920151-3	Dining Room Brick Fireplace Wall C / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
B4	BK0920151-4	Dining Room Brick Fireplace Wall C / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
B5	BK0920151-5	Dining Room Brick Fireplace Wall D / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
C6	BK0920151-6	1st Floor Bathroom Floor / 9x9 Vinyl Tile + Black Mastic Composite	Black, Homogeneous, Non-Fibrous	34.8	21.0	44.2	0%	89%	11%CHRY	Not Analyzed
C7	BK0920151-7	1st Floor Bathroom Floor / 9x9 Vinyl Tile + Black Mastic Composite	Black, Homogeneous, Non-Fibrous	35.7	30.1	34.2	0%	88%	12%CHRY	Not Analyzed
D8	BK0920151-8	1st Floor Family Room Floor / Debris	Grey, Homogeneous, Friable	Not Applicable			20%CELL 20%FBGL	60%	NAD	
D9	BK0920151-9	1st Floor Main Hall Floor / Debris	Grey, Homogeneous, Friable	Not Applicable			20%CELL 20%FBGL	60%	NAD	
E10	BK0920151-10	1st Floor Family Room Wall D Behind Cinder Block Vent Stack / Vapor Barrier	Black, Homogeneous, Non-Fibrous	42.6	3.2	54.2	0%	100%	NAD Inconclusive	NAD



**Bulk Asbestos Report by PLM-TEM**

**Client:** Exclusive Testing Labs Inc.  
**Collected by:** Client  
**Project Name/No.:** 37221  
**Project Address:** 4 LedgeWood Place, Armonk, NY 10504  
**Work Area:**

**Lab ID:** BK0920151  
**Date Received:** 9/14/2020  
**PLM Date Analyzed:** 9/15/2020  
**TEM Date Analyzed:** 9/15/2020  
**Report Date:** 9/15/2020

Client ID#	Lab ID#	Description/ Location	Analyst Description	ORG%	All%	ASI%	PLM			TEM
							Fibrous%	Non Fibrous%	Asbestos% &Type	Asbestos% &Type
E11	BK0920151-11	1st Floor Family Room Wall D Behind Cinder Block Vent Stack / Vapor Barrier	Black, Homogeneous, Non-Fibrous	67.6	4.4	28.1	0%	100%	NAD Inconclusive	NAD
F12	BK0920151-12	1st Floor Master Bedroom Hall Under Wood Flooring / Vapor Barrier	Black, Homogeneous, Non-Fibrous	51.4	15.0	33.6	0%	100%	NAD Inconclusive	NAD
F13	BK0920151-13	2nd Floor Hall Under Wood Flooring / Vapor Barrier	Black, Homogeneous, Non-Fibrous	94.4	3.2	2.4	0%	100%	NAD Inconclusive	NAD
G14	BK0920151-14	1st Floor Master Bedroom Wall D / Plaster Composite	White/Brown, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
G15	BK0920151-15	1st Floor Master Bedroom Wall A / Plaster Composite	White/Brown, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
G16	BK0920151-16	1st Floor Master Bedroom Wall B / Plaster Composite	White/Brown, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
H17	BK0920151-17	2nd Floor Living Room Fireplace Wall B / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
H18	BK0920151-18	2nd Floor Living Room Fireplace Wall C / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
H19	BK0920151-19	2nd Floor Living Room Wall D / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
I20	BK0920151-20	2nd Floor Over Stairs Roof Shingle / Asphalt Shingle Vapor Barrier Composite	Black, Homogeneous, Non-Fibrous	96.8	2.4	0.8	0%	100%	NAD Inconclusive	NAD



### Bulk Asbestos Report by PLM-TEM

**Client:** Exclusive Testing Labs Inc.  
**Collected by:** Client  
**Project Name/No.:** 37221  
**Project Address:** 4 LedgeWood Place, Armonk, NY 10504  
**Work Area:**

**Lab ID:** BK0920151  
**Date Received:** 9/14/2020  
**PLM Date Analyzed:** 9/15/2020  
**TEM Date Analyzed:** 9/15/2020  
**Report Date:** 9/15/2020

Client ID#	Lab ID#	Description/ Location	Analyst Description	ORG%	All%	ASI%	PLM			TEM
							Fibrous%	Non Fibrous%	Asbestos% &Type	Asbestos% &Type
I21	BK0920151-21	2nd Floor Over Stairs Roof Shingle / Asphalt Shingle Vapor Barrier Composite	Black, Homogeneous, Non-Fibrous	57.9	8.1	34.0	0%	100%	NAD Inconclusive	NAD
J22	BK0920151-22	2nd Floor Window Elevation A Bedroom 1 / Glazing	Grey, Homogeneous, Non-Fibrous	15.5	8.9	75.6	0%	100%	NAD Inconclusive	1.3%CHRY
J23	BK0920151-23	2nd Floor Window Elevation A Bedroom 1 / Glazing	Grey, Homogeneous, Non-Fibrous	17.6	12.5	69.9	0%	100%	NAD Inconclusive	Not Analyzed
K24	BK0920151-24	2nd Floor Cinder Block Vent Stack / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
K25	BK0920151-25	2nd Floor Cinder Block Vent Stack / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
K26	BK0920151-26	1st Floor Cinder Block Vent Stack / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
L27	BK0920151-27	1st Floor Kitchen Wall C / Sheetrock	White, Homogeneous, Friable	Not Applicable			10%CELL	90%	NAD	
L28	BK0920151-28	1st Floor Entry Hall Wall C / Sheetrock	White, Homogeneous, Friable	Not Applicable			10%CELL	90%	NAD	
M29	BK0920151-29	1st Floor Entry Hall Wall C / Joint Compound	White, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
M30	BK0920151-30	2nd Floor Hall Wall B / Joint Compound	White, Homogeneous, Friable	Not Applicable			0%	100%	NAD	



### Bulk Asbestos Report by PLM-TEM

**Client:** Exclusive Testing Labs Inc.  
**Collected by:** Client  
**Project Name/No.:** 37221  
**Project Address:** 4 LedgeWood Place, Armonk, NY 10504  
**Work Area:**

**Lab ID:** BK0920151  
**Date Received:** 9/14/2020  
**PLM Date Analyzed:** 9/15/2020  
**TEM Date Analyzed:** 9/15/2020  
**Report Date:** 9/15/2020

Client ID#	Lab ID#	Description/ Location	Analyst Description	ORG%	All%	ASI%	PLM			TEM
							Fibrous%	Non Fibrous%	Asbestos% &Type	Asbestos% &Type
M31	BK0920151-31	2nd Floor Hall Elevator Shaft Wall C / Joint Compound	White, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
N32	BK0920151-32	Roof / Asphalt Shingle Tile Shield Composite	Black, Homogeneous, Non-Fibrous	21.8	16.3	61.9	0%	100%	NAD Inconclusive	NAD
N33	BK0920151-33	Roof / Asphalt Shingle Tile Shield Composite	Black, Homogeneous, Non-Fibrous	56.9	36.9	6.3	0%	100%	NAD Inconclusive	NAD
O34	BK0920151-34	Elevation C Under Architectural Shingles / Asphalt Shingle + Vapor Barrier Composite	Black, Homogeneous, Non-Fibrous	54.7	25.0	20.3	0%	100%	NAD Inconclusive	NAD
O35	BK0920151-35	Elevation C Under Architectural Shingles / Asphalt Shingle + Vapor Barrier Composite	Black, Homogeneous, Non-Fibrous	54.6	43.6	1.7	0%	100%	NAD Inconclusive	NAD
P36	BK0920151-36	Roof / Flashing	Black, Homogeneous, Non-Fibrous	68.4	25.9	5.7	0%	90%	10%CHRY	Not Analyzed
P37	BK0920151-37	Roof / Flashing	Black, Homogeneous, Non-Fibrous	68.1	24.1	7.8	0%	90.4%	9.6%CHRY	Not Analyzed
Q38	BK0920151-38	Inground Pool Under Tile And Stone / Concrete Pool Liner	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
Q39	BK0920151-39	Inground Pool Under Tile And Stone / Concrete Pool Liner	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
Q40	BK0920151-40	Inground Pool Under Tile And Stone / Concrete Pool Liner	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	



**Bulk Asbestos Report by PLM-TEM**

**Client:** Exclusive Testing Labs Inc.  
**Collected by:** Client  
**Project Name/No.:** 37221  
**Project Address:** 4 LedgeWood Place, Armonk, NY 10504  
**Work Area:**

**Lab ID:** BK0920151  
**Date Received:** 9/14/2020  
**PLM Date Analyzed:** 9/15/2020  
**TEM Date Analyzed:** 9/15/2020  
**Report Date:** 9/15/2020

Client ID#	Lab ID#	Description/ Location	Analyst Description	ORG%	All%	ASI%	PLM			TEM
							Fibrous%	Non Fibrous%	Asbestos% &Type	Asbestos% &Type
Q41	BK0920151-41	Inground Pool Under Tile And Stone / Concrete Pool Liner	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
Q42	BK0920151-42	Inground Pool Under Tile And Stone / Concrete Pool Liner	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
R43	BK0920151-43	Between Stone Around Inground Pool Stone / Caulk	Grey, Homogeneous, Non-Fibrous	72.8	9.1	18.0	0%	100%	NAD Inconclusive	NAD
R44	BK0920151-44	Between Stone Around Inground Pool Stone / Caulk	Grey, Homogeneous, Non-Fibrous	69.4	7.1	23.4	0%	100%	NAD Inconclusive	NAD
S45	BK0920151-45	Garage Gray Floor 2nd Floor / 12x12 Gray Vinyl Tile + Yellow Mastic Composite	Grey, Homogeneous, Non-Fibrous	18.3	1.2	80.5	0%	100%	NAD Inconclusive	NAD
S46	BK0920151-46	Garage Gray Floor 2nd Floor / 12x12 Gray Vinyl Tile + Yellow Mastic Composite	Grey, Homogeneous, Non-Fibrous	17.0	1.5	81.5	0%	100%	NAD Inconclusive	NAD
T47	BK0920151-47	Garage 2nd Floor Bathroom Floor / Thin Set	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
T48	BK0920151-48	Garage 2nd Floor Bathroom Floor / Thin Set	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
T49	BK0920151-49	Garage 2nd Floor Vestibule Floor / Thin Set	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
U50	BK0920151-50	Garage 1st Floor Cinder Block Foundation Wall D / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	





**Bulk Asbestos Report by PLM-TEM**

**Client:** Exclusive Testing Labs Inc.  
**Collected by:** Client  
**Project Name/No.:** 37221  
**Project Address:** 4 LedgeWood Place, Armonk, NY 10504  
**Work Area:**

**Lab ID:** BK0920151  
**Date Received:** 9/14/2020  
**PLM Date Analyzed:** 9/15/2020  
**TEM Date Analyzed:** 9/15/2020  
**Report Date:** 9/15/2020

Client ID#	Lab ID#	Description/ Location	Analyst Description	ORG%	All%	ASI%	PLM			TEM
							Fibrous%	Non Fibrous%	Asbestos% &Type	Asbestos% &Type
U51	BK0920151-51	Garage 1st Floor Cinder Block Foundation Wall D / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
U52	BK0920151-52	Garage 1st Floor Cinder Block Foundation Wall B / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
V53	BK0920151-53	Garage 1st Floor Elevation A Stone Wall/ Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
V54	BK0920151-54	Garage 1st Floor Elevation A Stone Wall/ Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
V55	BK0920151-55	Garage 1st Floor Elevation A Stone Wall/ Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
W56	BK0920151-56	Garage 1st Floor Elevation C / Stucco	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
W7	BK0920151-57	Garage 1st Floor Elevation C / Stucco	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
W58	BK0920151-58	Garage 1st Floor Elevation C / Stucco	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
X59	BK0920151-59	Main House Elevation A Cinder Block Foundation / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
X60	BK0920151-60	Main House Elevation B Cinder Block Foundation / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	



**Bulk Asbestos Report by PLM-TEM**

**Client:** Exclusive Testing Labs Inc.  
**Collected by:** Client  
**Project Name/No.:** 37221  
**Project Address:** 4 Ledgewood Place, Armonk, NY 10504  
**Work Area:**

**Lab ID:** BK0920151  
**Date Received:** 9/14/2020  
**PLM Date Analyzed:** 9/15/2020  
**TEM Date Analyzed:** 9/15/2020  
**Report Date:** 9/15/2020

Client ID#	Lab ID#	Description/ Location	Analyst Description	ORG%	All%	ASI%	PLM			TEM
							Fibrous%	Non Fibrous%	Asbestos% &Type	Asbestos% &Type
X61	BK0920151-61	Main House Cinder Block Foundation / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
Y62	BK0920151-62	Main House Elevation A / Fibrous Membrane	Black, Homogeneous, Non-Fibrous	96.2	3.1	0.7	0%	100%	NAD Inconclusive	NAD
Y63	BK0920151-63	Main House Elevation A / Fibrous Membrane	Black, Homogeneous, Non-Fibrous	67.7	3.0	29.3	0%	100%	NAD Inconclusive	NAD
Z64	BK0920151-64	Family Room Stone Fireplace Wall A / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
Z65	BK0920151-65	Family Room Stone Fireplace Wall A / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	
Z66	BK0920151-66	Family Room Stone Fireplace Wall A / Mortar	Grey, Homogeneous, Friable	Not Applicable			0%	100%	NAD	

MG

Quantitative Analysis (Semi/Full):Bulk Asbestos Analysis-PLM by EPA 600/M4-82-020 per 40 CFR or ELAP198.1 (friable) and 198.6 (NOB) samples for New York.

NAD=no asbestos detected, NA/PS=Not Analyzed/Positive Stop, Trace=<1%,FBGL=Fiberglass, CELL=Cellulose,CHRY=Chrysotile,Amo=Amosite,CRO=Crocidolite,ANTH=Anthophyllite, TRE=Tremolite, ACT=Actinolite, NA=not applicable.

PLM is not consistently reliable in detecting Asbestos in floor coverings and similar non friable organically bound materials. NAD or Trace results by PLM are inconclusive.

TEM is currently the only method that can be used to determine if this material can be considered or treated as non asbestos containing in NY State.

All samples were prepared and analyzed in accordance with the EPA "TEM Method for Identifying and Quantifying Asbestos in Non-Fibrous Organically Bound Bulk Samples" ELAP 198.4".

ORG%=Ashed Organic%, All= Acid Insoluble Inorganic%, ASI= Acid Soluble Inorganic%

This "Summary of Analytical Results "shall not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST, ELAP or any agency of the U.S Government. The results relate only to the items tested. This report may not be reproduced, except in full, without the written approval of AEL .Atlas Environmental lab did not collect the analyzed samples and thus accepts no liability with regard to their collection and/or maintenance . AEL relies on client's data. The liability of Atlas Environmental Lab corp with respect to the services charged, shall in no event exceed the amount of the invoice.

NYS-ELAP#11999, NVLAP Lab Code: 500092-0, NJ ID: NY034, PA ID: 68-05662, CT Reg. ID: PH-0154

PLM Analyst: MF

TEM Analyst: VR

Approved by:

**ETL INC** Exclusive Testing Labs Inc.  
 60 Brook Street  
 Croton-On-Hudson, NY 10520  
 Phone: 718-239-2347  
 Fax: 718-239-2348

**- Chain of Custody - Asbestos Bulk Sampling Form -**

BK0920151

DATE: 9/10/20	JOB#: 37221	CLIENT: 4 LEDGEWOOD LLC	OWNER:	START: 9:30 AM
INSPECTOR: ANTHONY RIZZO		SITE: 4 LEDGEWOOD PL ARMONK, NY 10504	OWNER: 4 LEDGEWOOD PL ADDRESS: ARMONK, NY 10504	END: 3:45 PM

HOMOGENOUS AREA	SAMPLE NUMBER	SAMPLE LOCATION	MATERIAL CONDITION	MATERIAL SAMPLED	FRIABLE (Y/N)	SQUARE FEET / LINEAR FEET	LABORATORY ANALYSIS
A	1	1ST FLOOR KITCHEN WALL D	GOOD	VAPOR BARRIER	N	65 sq ft	
	2	" "		" "		" "	
B	3	DINING ROOM BRICK FIREPLACE WALL C	↓	MORTAR		160 sq ft	
	4	" "		" "		" "	
	5	DINING ROOM BRICK FIREPLACE WALL D		" "		" "	
C	6	1ST FLOOR BATHROOM FLOOR	DAMAGED	9x9 VINYL TILE + BRICKMASTIC COMPOSITE		65 sq ft	
	7	" "		" "		" "	
D	8	1ST FLOOR FAMILY ROOM FLOOR	↓	DEBRIS		100 sq ft	
	9	1ST FLOOR MAIN HALL FLOOR		" "		" "	" "
E	10	1ST FLOOR FAMILY ROOM WALL D BEHIND CEMENT BLOCK VENT STACK	↓	VAPOR BARRIER		60 sq ft	
	11	" "		" "		" "	" "
F	12	1ST FLOOR MASTER BED ROOM WALL UNDER WOOD FLOORING	↓	VAPOR BARRIER		400 sq ft	

NOTES:	PACM:
--------	-------

CHAIN OF CUSTODY RECORD				ANALYSIS TAT:	
RELINQUISHED BY: Anthony Rizzo	DATE: 9/10/2020	TIME: 5:00 PM	<input type="checkbox"/> RUSH	<input type="checkbox"/> 24 HRS	
RECEIVED BY: Anthony C. Rizzo	DATE: 9/14/20	TIME: 11 AM	<input checked="" type="checkbox"/> 48 HRS	<input type="checkbox"/> OTHER	
ANALYST: Anthony Rizzo	DATE: 09/15/20	TIME:	PAGE 1 OF		

**ETL INC** Exclusive Testing Labs Inc.  
 60 Brook Street  
 Croton-On-Hudson, NY 10520  
 Phone: 718-239-2347  
 Fax: 718-239-2348

**- Chain of Custody - Asbestos Bulk Sampling Form -**

BK0920151

DATE: 9/10/20	JOB#: 37221	CLIENT: 4 LEDGEWOOD LLC	OWNER:	START: 9:30 AM
INSPECTOR:	SITE: 4 LEDGEWOOD PL ARMONK, NY. 10564	OWNER: 4 LEDGEWOOD PL ADDRESS: ARMONK, NY. 10564	END: 3:45 PM	

HOMOGENEOUS AREA	SAMPLE NUMBER	SAMPLE LOCATION	MATERIAL CONDITION	MATERIAL SAMPLED	FRIABLE (Y/N)	SQUARE FEET / LINEAR FEET	LABORATORY ANALYSIS
F	13	2nd FLOOR HALL UNDER WOOD FLOORING	DAMAGED	VAPOR BARRIER	N	400 Sq Ft	
G	14	1ST FLOOR MASTER BED ROOM WALL		PLASTER COMPOSITE	Y	100 Sq Ft	
	15	1ST FLOOR MASTER BED ROOM WALL A		" "	" "	" "	
	16	1ST FLOOR MASTER BED ROOM WALL B		" "	" "	" "	
H	17	2nd FLOOR CENTER ROOM FIREPLACE WALL B		GOOD	MORTAR	N	100 Sq Ft
	18	2nd FLOOR CENTER ROOM FIREPLACE WALL C		" "	" "	" "	
	19	2nd FLOOR CENTER ROOM WALL D		" "	" "	" "	
I	20	2nd FLOOR OVAL STAIRS FOOT SINKS			ASPHALT SINKS VAPOR BARRIER COMPOSITE	" "	100 Sq Ft
	21	" "	" "		" "	" "	
J	22	2nd FLOOR WINDOW ELEVATION A BED ROOM	DAMAGED	GLAZING		45 Sq Ft	
	23	" "	" "	" "		" "	
K	24	2nd FLOOR CENTER BLOCK VENT STACK	" "	MORTAR		150 Sq Ft	

NOTES:	PACM:
--------	-------

CHAIN OF CUSTODY RECORD				ANALYSIS TAT:	
RELINQUISHED BY:	<i>[Signature]</i>	DATE:	9/10/2020	TIME:	5:00 PM.
RECEIVED BY:	<i>[Signature]</i>	DATE:	9/14/20	TIME:	11 AM
ANALYST:	<i>[Signature]</i>	DATE:	9/15/20	TIME:	
				<input type="checkbox"/> RUSH	<input type="checkbox"/> 24 HRS
				<input checked="" type="checkbox"/> 48 HRS	<input type="checkbox"/> OTHER
PAGE 2 OF _____					

**ETC** Exclusive Testing Labs Inc.  
 60 Brook Street  
 Croton-On-Hudson, NY 10520  
 Phone: 718-239-2347  
 Fax: 718-239-2348

**- Chain of Custody - Asbestos Bulk Sampling Form -**

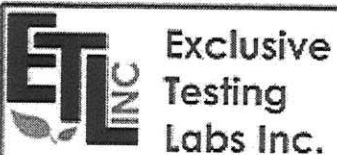
BK0920151

DATE: 9/16/20	JOB#: 37221	CLIENT: 4 LEDGEWOOD LLC	OWNER:	START: 9:30 AM.
INSPECTOR: ANTHONY RENDO		SITE: 4 LEDGEWOOD PL ARMONK, NY. 10564	OWNER 4 LEDGEWOOD PC ADDRESS: ARMONK, NY. 10564	END: 3:45 PM.

HOMOGENOUS AREA	SAMPLE NUMBER	SAMPLE LOCATION	MATERIAL CONDITION	MATERIAL SAMPLED	FRIABLE (Y/N)	SQUARE FEET / LINEAR FEET	LABORATORY ANALYSIS
K	25	2nd floor UNDER BLOCK VENT STACK	DAMAGED	MORTAR	N	150 Sq Ft	
	26	1st floor UNDER BLOCK VENT STACK	" "	" "	I	" "	
L	27	1st FLOOR INTERIOR WALL C	" "	SH/HEET ROCK	Y	600 Sq Ft	
	28	1st FLOOR ENTRY HALL WALL C	" "	" "		" "	
M	29	1st FLOOR ENTRY HALL WALL C	" "	JOINT COMPOUND		" "	
	30	2nd FLOOR HALL WALL B	" "	" "		" "	
	31	2nd FLOOR HALL ELEVATOR SHAFT WALL C	" "	" "		" "	
N	32	ROOF	GOOD	ASPHALT SHINGLE + IN S/HEET COMPOSITE	N	6000 Sq Ft	
	33	ROOF	" "	" "		" "	
O	34	ELEVATION C UNDER ARCHITECTURAL SHINGLES	" "	ASPHALT SHINGLE + VAPOR BARRIER COMPOSITE		80 Sq Ft	
	35	" "	" "	" "		" "	
P	36	Roof	" "	FLASHING		45 Sq Ft	

NOTES:	PACM:
--------	-------

CHAIN OF CUSTODY RECORD				ANALYSIS TAT:	
RELINQUISHED BY: Anthony Rendo	DATE: 9/16/2020	TIME: 5:00 PM.		<input type="checkbox"/> RUSH	<input type="checkbox"/> 24 HRS
RECEIVED BY: Tiffany C.	DATE: 9/17/20	TIME: 11 AM		<input checked="" type="checkbox"/> 48 HRS	<input type="checkbox"/> OTHER
ANALYST: [Signature]	DATE: 09/15/20	TIME:		PAGE 3 OF	



60 Brook Street  
Croton-On-Hudson, NY 10520  
Phone: 718-239-2347  
Fax: 718-239-2348

# - Chain of Custody - Asbestos Bulk Sampling Form -

BK0920151

DATE: 9/10/20	JOB#: 372H	CLIENT: 4 LEOWOOD LLC	OWNER:	START: 9:30 AM
INSPECTOR: ANTHONY RENOU	SITE: 4 LEOWOOD PL ARMONK, NY. 10504	OWNER: 4 LEOWOOD PL ADDRESS: ARMONK, NY. 10504		END: 3:45 PM

HOMOGENOUS AREA	SAMPLE NUMBER	SAMPLE LOCATION	MATERIAL CONDITION	MATERIAL SAMPLED	FRIABLE (Y/N)	SQUARE FEET / LINEAR FEET	LABORATORY ANALYSIS
P	37	ROOF	GOOD	FLASHING	N	50 Sq Ft	
Q	38	INGROUND POOL UNDER TILE AND STONE	" "	CONCRETE POOL LINER		4500 Sq Ft	
	39	" "	" "	" "		" "	
	40	" "	" "	" "		" "	
	41	" "	" "	" "		" "	
	42	" "	" "	" "		" "	
R	43	BETWEEN STONE AROUND INGROUND POOL STONE	" "	CAULK		70 Sq Ft	
	44	" "	" "	" "		" "	
S	45	GARAGE GRAY FLOOR 2nd FLOOR	DAMAGED	12x12 GRAY VINYL TILE + YELLOW WASTE W/PSITE		800 Sq Ft	
	46	" "	" "	" "		" "	
T	47	GARAGE 2nd FLOOR BATHROOM FLOOR	" "	TILE SET		140 Sq Ft	
	48	" "	" "	" "		" "	

NOTES:	PACM:
--------	-------

### CHAIN OF CUSTODY RECORD

### ANALYSIS TAT:

RELINQUISHED BY: <i>Anthony Renou</i>	DATE: 9/10/2020	TIME: 5:00 PM.	<input type="checkbox"/> RUSH	<input type="checkbox"/> 24 HRS
RECEIVED BY: <i>T. P. C.</i>	DATE: 9/14/20	TIME: 11 AM	<input type="checkbox"/> 48 HRS	<input type="checkbox"/> OTHER
ANALYST: <i>[Signature]</i>	DATE: 9/15/20	TIME:	PAGE 4 OF	

**ETL** INC Exclusive Testing Labs Inc.  
 60 Brook Street  
 Croton-On-Hudson, NY 10520  
 Phone: 718-239-2347  
 Fax: 718-239-2348

**- Chain of Custody - Asbestos Bulk Sampling Form -**

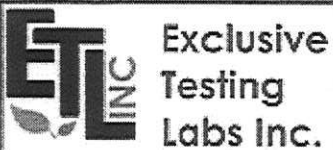
BK0920151

DATE: 9/10/20	JOB#: 37221	CLIENT: 4 LEDGE WOOD LLC	OWNER:	START: 9:30AM.
INSPECTOR: ANTHONY NERO		SITE: 4 LEDGE WOOD PL ARMONK, NY. 10504	OWNER 4 LEDGE WOOD PL ADDRESS: ARMONK NY. 10504	END: 3:45PM.

HOMOGENOUS AREA	SAMPLE NUMBER	SAMPLE LOCATION	MATERIAL CONDITION	MATERIAL SAMPLED	FRIABLE (Y/N)	SQUARE FEET / LINEAR FEET	LABORATORY ANALYSIS
T	49	GARAGE 2nd floor VESTIBULE floor	DAMAGED	THIN SET	N	140 Sq Ft	
U	50	GARAGE 1ST FLOOR CONCRETE BLOCK FOUNDATION WALL D	GOOD	MORTAR		700 Sq Ft	
	51	" " "	" "	" "		" "	
	52	GARAGE 1ST FLOOR CONCRETE BLOCK FOUNDATION WALL B	" "	" "		" "	
V	53	GARAGE 1ST FLOOR ELEVATION A STONE WALL	" "	" "		250 Sq Ft	
	54	" " "	" "	" "		" "	
	55	" " "	" "	" "		" "	
W	56	GARAGE 1ST FLOOR ELEVATION C	" "	STUCCO		500 Sq Ft	
	57	" " "	" "	" "		" "	
	58	" " "	" "	" "		" "	
X	59	MAIN HOUSE ELEVATION A CONCRETE BLOCK FOUNDATION	" "	MORTAR		500 Sq Ft	
	60	MAIN HOUSE ELEVATION B CONCRETE BLOCK FOUNDATION	" "	" "		" "	

NOTES:	PACM:
--------	-------

CHAIN OF CUSTODY RECORD				ANALYSIS TAT:	
RELINQUISHED BY: Anthony Nero	DATE: 9/10/2020	TIME: 5:00PM		<input type="checkbox"/> RUSH	<input type="checkbox"/> 24 HRS
RECEIVED BY: T. Adams C.	DATE: 9/14/20	TIME: 11AM		<input checked="" type="checkbox"/> 48 HRS	<input type="checkbox"/> OTHER
ANALYST: [Signature]	DATE: 9/15/20	TIME:		PAGE 5 OF _____	



60 Brook Street  
Croton-On-Hudson, NY 10520  
Phone: 718-239-2347  
Fax: 718-239-2348

**- Chain of Custody - Asbestos Bulk Sampling Form -**

BK0920151

DATE: 9/10/20	JOB#: 37221	CLIENT: 4 LEDGEWOOD LLC	OWNER:	START: 9:30 AM.
INSPECTOR: ANTHONY LEADS		SITE: 4 LEDGEWOOD PC ARMONK, NY. 10504	OWNER: 4 LEDGEWOOD PC ADDRESS: ARMONK, NY. 10504	END: 3:45 PM.

HOMOGENOUS AREA	SAMPLE NUMBER	SAMPLE LOCATION	MATERIAL CONDITION	MATERIAL SAMPLED	FRIABLE (Y/N)	SQUARE FEET / LINEAR FEET	LABORATORY ANALYSIS
X	61	MAIN HOUSE CINDER BLOCK FOUNDATION	GOOD	MORTAR	N	500 Sqft	
Y	62	MAIN HOUSE ELEVATION A	GOOD	FIBERGLASS MEMBRANE		100 Sqft	
	63	" " " "	" "	" "		" "	
Z	64	FAMILY ROOM STONE FIREPLACE WALL A	" "	MORTAR		120 Sqft	
	65	" " " "	" "	" "		" "	
	66	" " " "	" "	" "		" "	

NOTES:	PACM:
--------	-------

CHAIN OF CUSTODY RECORD				ANALYSIS TAT:	
RELINQUISHED BY: Anthony Leads	DATE: 9/10/2020	TIME: 5:00 PM.		<input type="checkbox"/> RUSH	<input type="checkbox"/> 24 HRS
RECEIVED BY: Tiffany S.	DATE: 9/14/20	TIME: 11 AM		<input type="checkbox"/> 48 HRS	<input type="checkbox"/> OTHER
ANALYST: [Signature]	DATE: 08/15/20	TIME:		PAGE 6 OF _____	



# Asbestos Handling License

**New York State – Department of Labor**  
Division of Safety and Health  
License and Certificate Unit  
State Campus, Building 12  
Albany, NY 12240


**ASBESTOS HANDLING LICENSE**

<p>Exclusive Testing Labs Inc. 60 Brook St. Croton On Hudson, NY 10520</p>	<p>FILE NUMBER: 05-0110 LICENSE NUMBER: 28992 LICENSE CLASS: RESTRICTED DATE OF ISSUE: 04/01/2020 EXPIRATION DATE: 04/30/2021</p>
--	---

Duly Authorized Representative – Anthony Spina:

This license has been issued in accordance with applicable provisions of Article 30 of the Labor Law of New York State and of the New York State Codes, Rules and Regulations (12 NYCRR Part 56). It is subject to suspension or revocation for a (1) serious violation of state, federal or local laws with regard to the conduct of an asbestos project, or (2) demonstrated lack of responsibility in the conduct of any job involving asbestos or asbestos material.

This license is valid only for the contractor named above and this license or a photocopy must be prominently displayed at the asbestos project worksite. This license verifies that all persons employed by the licensee on an asbestos project in New York State have been issued an Asbestos Certificate, appropriate for the type of work they perform, by the New York State Department of Labor.



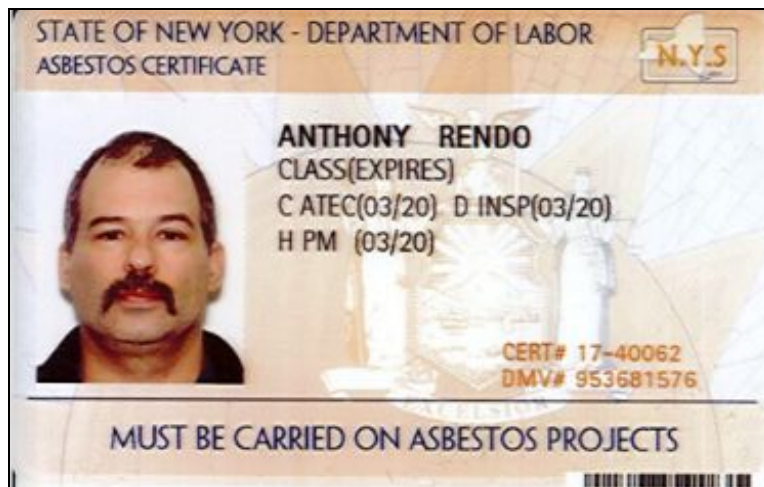
Eileen M. Franko, Director  
For the Commissioner of Labor

SH 432 (8/12)

## Laboratory & Technician Certifications

### Asbestos Licenses

#### STATE OF NEW YORK DOL ASBESTOS CERTIFICATE



- ★ Due to COVID-19, the New York State Department of Labor (NYSDOL) has not yet issued an updated hard copy of the above license. Please see Certification #861321 (Exp.03/10/2021) below.



Quality Environmental Solutions & Technologies, Inc.  
1376 Route 9, Wappingers Falls, NY 12590  
Phone (845) 298-6031 Fax (845) 298-6251

HEREBY CERTIFIES THAT

**ANTHONY RENDO**

HAS SUCCESSFULLY COMPLETED A TRAINING SEMINAR IN:

**NYS/EPA INSPECTOR REFRESHER**

MEETING THE REQUIREMENTS OF NYSDOH 10 NYCRR, PART 73 AND  
TSCA TITLE II AND HAS BEEN AWARDED THIS CERTIFICATE BY:

**PAUL A. RODRIGUEZ**  
TRAINING DIRECTOR

NOTE: Official record of successful completion is DOH 2832 Certificate of Completion of Asbestos Safety Training


NOTE: DOH 2832 - A \$20 fee shall be charged for replacement of Certificate of Completion DOH 2832  
ON THIS DATE: 3/10/2020

CERTIFICATE NUMBER: 861321

EXPIRATION DATE: 3/10/2021

# Laboratory License / Certification

**NEW YORK STATE DEPARTMENT OF HEALTH  
WADSWORTH CENTER**



Expires 12:01 AM April 01, 2021  
Issued April 01, 2020

**CERTIFICATE OF APPROVAL FOR LABORATORY SERVICE**  
*Issued in accordance with and pursuant to section 502 Public Health Law of New York State*

**MS. JACKIE DARVISH**  
**ATLAS ENVIRONMENTAL LABS CORP**  
**255 W 36TH STREET SUITE #1503**  
**NEW YORK, NY 10018**

**NY Lab Id No: 11999**

*is hereby APPROVED as an Environmental Laboratory for the category  
**ENVIRONMENTAL ANALYSES SOLID AND HAZARDOUS WASTE**  
All approved subcategories and/or analytes are listed below:*

<b>Miscellaneous</b>	
Asbestos in Friable Material	Item 198.1 of Manual EPA 600/M4/82/020
Asbestos in Non-Friable Material-PLM	Item 198.6 of Manual (NOB by PLM)
Asbestos in Non-Friable Material-TEM	Item 198.4 of Manual
Asbestos-Vermiculite-Containing Material	Item 198.8 of Manual
Lead in Dust Wipes	EPA 7000B
Lead in Paint	EPA 7000B
<b>Sample Preparation Methods</b>	
	EPA 3050B

**Serial No.: 61667**

Property of the New York State Department of Health. Certificates are valid only at the address shown, must be conspicuously posted, and are printed on secure paper. Continued accreditation depends on successful ongoing participation in the Program. Consumers are urged to call (518) 485-5570 to verify the laboratory's accreditation status.

Page 1 of 1



*on budget ... on time ...*

***Letter of Certification***

*September 25, 2020*

*To Whom It May Concern,*

*This is to certify that Asbestos Floor tiles and mastic from 1<sup>st</sup> bathroom and 2<sup>nd</sup> floor bedroom 1, Flashing from roof of main building, and window glaze from window at elevation A, removed from building located at 4 Ledgewood Place Armonk, NY 10504 done by Buxton Contracting Service, LLC. located at 24 West Sanford Blvd. Mount Vernon, NY 10550, New York State Department of Labor License # 104463 on September 24, 2020 was done in accordance with Federal, State and Local Regulations.*

*New York State Department of Labor notification was not required as removal was considered a small project (Less than 160 Sq. Ft.).*

*Waste was collected and disposed of by Tri-State Transfer Assoc. 1199 Randall Ave. Bronx NY 10474 NYS Dec. # 2A-456.*

*Respectfully,*

***BUXTON CONTRACTING SERVICES, LLC.***

  
*Norman W. Carter - President*

**New York State – Department of Labor**

Division of Safety and Health  
License and Certificate Unit  
State Campus, Building 12  
Albany, NY 12240

**ASBESTOS HANDLING LICENSE**

Buxton Contracting Services, LLC

24 West Sandford Blvd.

Mt. Vernon, NY 10550

FILE NUMBER: 17-104463  
LICENSE NUMBER: 104463  
LICENSE CLASS: FULL  
DATE OF ISSUE: 02/06/2020  
EXPIRATION DATE: 02/28/2021

Duly Authorized Representative – Norman W Carter:

This license has been issued in accordance with applicable provisions of Article 30 of the Labor Law of New York State and of the New York State Codes, Rules and Regulations (12 NYCRR Part 56). It is subject to suspension or revocation for a (1) serious violation of state, federal or local laws with regard to the conduct of an asbestos project, or (2) demonstrated lack of responsibility in the conduct of any job involving asbestos or asbestos material.

This license is valid only for the contractor named above and this license or a photocopy must be prominently displayed at the asbestos project worksite. This license verifies that all persons employed by the licensee on an asbestos project in New York State have been issued an Asbestos Certificate, appropriate for the type of work they perform, by the New York State Department of Labor.



Eileen M. Franko, Director  
For the Commissioner of Labor

SH 432 (8/12)

COPY



**Certificate of Attestation of Exemption  
from New York State Workers' Compensation and/or  
Disability and Paid Family Leave Benefits Insurance Coverage**

**\*\*This form cannot be used to waive the workers' compensation rights or obligations of any party.\*\***

The applicant may use this Certificate of Attestation of Exemption **ONLY** to show a government entity that New York State specific workers' compensation and/or disability and paid family leave benefits insurance is not required. The applicant may **NOT** use this form to show another business or that business's insurance carrier that such insurance is not required. **Please provide this form to the government entity from which you are requesting a permit, license or contract. This Certificate will not be accepted by government officials one year after the date printed on the form.**

<b>In the Application of (Legal Entity Name and Address):</b> M. GAGLIARDI AND SONS LLC 3 Barnard Rd Armonk, NY 10504-2302 PHONE: 914-843-7074 FEIN: XXXXX4507
--

<b>Business Applying For: Building Permit</b>
<b>From: TOWN OF NORTH CASTLE</b>  The location of where work will be performed is <b>LEDGEWOOD DRIVE, ARMONK, NY 10504.</b>  Estimated dates necessary to complete work associated with the building permit are from <b>October 1, 2020 to October 30, 2020.</b> The estimated dollar amount of project is <b>\$0 - \$10,000</b>

<p><b><u>Workers' Compensation Exemption Statement:</u></b></p> <p>The above named business is certifying that it is <b>NOT REQUIRED TO OBTAIN NEW YORK STATE SPECIFIC WORKERS' COMPENSATION INSURANCE COVERAGE</b> for the following reason:  The business is a LLC, LLP, PLLP or a RLLP; OR is a partnership under the laws of New York State and is not a corporation. Other than the partners or members, there are no employees, day labor, leased employees, borrowed employees, part-time employees, unpaid volunteers (including family members) or subcontractors.</p> <p><b>Partners / Members:</b> Nicholas P GAGLIARDI</p>
--

<p><b><u>Disability and Paid Family Leave Benefits Exemption Statement:</u></b></p> <p>The above named business is certifying that it is <b>NOT REQUIRED TO OBTAIN NEW YORK STATE STATUTORY DISABILITY AND PAID FAMILY LEAVE BENEFITS INSURANCE COVERAGE</b> for the following reason:  The business MUST be either: 1) owned by one individual; OR 2) is a partnership (including LLC, LLP, PLLP, RLLP, or LP) under the laws of New York State and is not a corporation; OR 3) is a one or two person owned corporation, with those individuals owning all of the stock and holding all offices of the corporation (in a two person owned corporation each individual must be an officer and own at least one share of stock); OR 4) is a business with no NYS location. In addition, the business does not require disability and paid family leave benefits coverage at this time since it has not employed one or more individuals on at least 30 days in any calendar year in New York State. (Independent contractors are not considered to be employees under the Disability and Paid Family Leave Benefits Law.)</p>
---

I, Nicholas P. GAGLIARDI, am the Member with the above-named legal entity. I affirm that due to my position with the above-named business I have the knowledge, information and authority to make this Certificate of Attestation of Exemption. I hereby affirm that the statements made herein are true, that I have not made any materially false statements and I make this Certificate of Attestation of Exemption under the penalties of perjury. I further affirm that I understand that any false statement, representation or concealment will subject me to felony criminal prosecution, including jail and civil liability in accordance with the Workers' Compensation Law and all other New York State laws. By submitting this Certificate of Attestation of Exemption to the government entity listed above I also hereby affirm that if circumstances change so that workers' compensation insurance and/or disability and paid family leave benefits coverage is required, the above-named legal entity will immediately acquire appropriate New York State specific workers' compensation insurance and/or disability and paid family leave benefits coverage and also immediately furnish proof of that coverage on forms approved by the Chair of the Workers' Compensation Board to the government entity listed above.

<b>SIGN HERE</b>	<b>Signature:</b>  	<b>Date:</b>  
<b>Exemption Certificate Number 2020-050481</b>		<b>Received September 14, 2020 NYS Workers' Compensation Board</b>



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

09/10/2020

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER <b>Bunt Insurance Agency PO Box 1048 New Milford, CT 06776</b>	CONTACT NAME: <b>Jon E. Bunt</b>	FAX (A/C, No): <b>(914)747-0692</b>	
	PHONE (A/C, No, Ext): <b>(914)747-0662</b>	E-MAIL ADDRESS: <b>jonny@buntinsurance.com</b>	
INSURED <b>M Gagliardi Construction Co &amp; M Gagliardi &amp; Sons Co 3 Barnard Rd Armonk, NY 10504-2302</b>	INSURER(S) AFFORDING COVERAGE		NAIC #
	INSURER A: <b>Main Street America</b>		<b>29939</b>
	INSURER B: <b>Main Street America</b>		<b>14788</b>
	INSURER C:		
	INSURER D:		
	INSURER E:		

COVERAGES CERTIFICATE NUMBER: 00000127-229270 REVISION NUMBER: 4

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	Y	MPV11871	03/01/2020	03/01/2021	EACH OCCURRENCE \$ <b>1,000,000</b> DAMAGE TO RENTED PREMISES (Ea occurrence) \$ <b>500,000</b> MED EXP (Any one person) \$ <b>10,000</b> PERSONAL & ADV INJURY \$ <b>1,000,000</b> GENERAL AGGREGATE \$ <b>2,000,000</b> PRODUCTS - COMP/OP AGG \$ <b>2,000,000</b>
B	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input checked="" type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY		B1V11871	03/01/2020	03/01/2021	COMBINED SINGLE LIMIT (Ea accident) \$ <b>500,000</b> BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB DED RETENTION \$		CUV11871	03/01/2020	03/01/2021	EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input type="checkbox"/>	N/A			PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)  
Includes certificate holder as an additional insured re permits.

## CERTIFICATE HOLDER

## CANCELLATION

Town of North Castle 15 Bedford Road Armonk, NY 10504	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE <i>Thomas A. Dietsch</i> (JEB)

© 1988-2015 ACORD CORPORATION. All rights reserved.



Gleason Plumbing And Heating LLC  
332 Kelly St Hawthorne NY 10532  
914-960-6536  
Westchester county License # 1389

To whom it may concern,

After carefully inspecting the property at 4 Ledgewood, there is no live propane lines in the house or in the garage. There are 2 empty 100 gallon propane tanks outside that have been disconnected from the propane lines.

Sincerely,

Ryan Gleason -  
Owner of Gleason Plumbing and Heating LLC



# EAST PARK EXTERMINATING CO.

September 9, 2020

Contractor:

East Park Exterminating

P.O. Box 629

Bronx, N.Y. 10462

Telephone: (718) 931-1112

Fax: (718) 931 1143

E-Mail: [EPPC@eastparkpestcontrol.com](mailto:EPPC@eastparkpestcontrol.com)

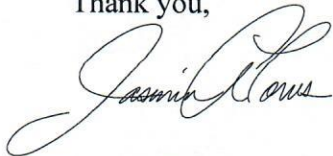
Pest Control Services: 4 Ledgewood Place, Armonk, NY 10504

To Whom It May Concern:

Please be advised that we have inspected and serviced the premises located at 4 Ledgewood Place, Armonk, NY 10504 for the control of rodents. There are no visible signs of any rodent activity or rat burrows and the outside of said location appeared to be clean and clear of any garbage/debris were rodents could build nests.

Should you have any further questions, please feel free to contact our office at (718) 931-1112.

Thank you,



Jasmin Torres

Manager

East Park Exterminating Co.



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-8625  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

The RPRC conducts internal meetings on the first and third Tuesday of the month from 3:30 - 4:30 p.m.

To get on an RPRC agenda you must submit the following to the Building Department:

1. Complete all items on the RPRC checklist
2. Completed Building Permit application form.
3. Building Permit Application fee of \$100. Check made payable to: Town of North Castle
4. RPRC Application fee. Check made payable to: Town of North Castle.
5. Floor Area and Gross Land Coverage work sheets (with backup information)
6. Plans for your project according the RPRC Checklist
7. Submit three individual sets of everything listed above to the Building Dept.

Once your application has been submitted to the Building Department, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)



**Town of North Castle  
Residential Project Review Committee**  
17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan: 4 Ledgewood Pl LLC  
 Initial Submittal  Revised Preliminary

Street Location: 4 Ledgewood Place Armonk NY

Zoning District: \_\_\_\_\_ Property Acreage: \_\_\_\_\_ Tax Map Parcel ID: \_\_\_\_\_

Date: 9/4/20

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



**Town of North Castle Building Department**

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

[www.northcastleny.com](http://www.northcastleny.com)

**Residential Building Permit Application**

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

**Section I-** PROJECT ADDRESS: 4 Ledgewood Place Armonk DATE: 9.4.20

**Section II-** CONTACT INFORMATION: (Please print clearly. All information must be current.)

APPLICANT: Rino Monteforte

ADDRESS: 3 52 Wnghts Mill Rd Armonk NY 10504

PHONE: 646 261 6111 MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

PROPERTY OWNER: 4 Ledgewood Place LLC

ADDRESS: 121 A Montgomery Ave Scarsdale NY 10583

PHONE: 914 703 2378 MOBILE: \_\_\_\_\_ EMAIL: jami@spectrumpaintingnyc.co

**Section III-** DESCRIPTION OF WORK: (Any work conducted outside of the house requires approval from the RPRC unless the proposed action is minor in nature and complies with 355-26 C (3) of the Town of North Castle code.)

demo existing house, garage and pool

**Section IV-** USE AND OCCUPANCY:

EXISTING/ CURRENT USE: Single family residence vacant

PROPOSED RESIDENTIAL:

- One Family Dwelling     Two Family Dwelling     Townhouse     Detached Accessory Structure

**Section V-** PERMIT FEES: (\$100 app fee plus \$14 per \$1000, cost of construction and a \$75 CO fee.)

ESTIMATED COST OF CONSTRUCTION (Based on fair market value labor & material) \$ 4,000

AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is \$20,000 or more.

# Town of North Castle Building Department

## Section V- (Continued)

I \_\_\_\_\_ do hereby affirm and certify as follows: (i) I am the architect/engineer (circle one) licensed by the State of New York; (ii) I have reviewed the plans, drawings and specifications for this application and am fully familiar with the proposed construction; (iii) based on my experience, I estimate the total cost of construction including all labor, all materials, all professional fees and all associated costs to be approximately \$ \_\_\_\_\_, and (iv) pursuant to Penal Law 210.45, I acknowledge that a false statement made knowingly is a Class A misdemeanor.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Sign and Affix Seal Here

## Section VI- CONTACT INFORMATION: (Please print clearly. All information must be current)

**ARCHITECT/ ENG:** \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

**CONTRACTOR:** M. Gagliardi and Sons LLC

ADDRESS: 3 Barnard Rd Armonk NY 10504

PHONE: 914 843-7074 MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

**PLUMBER:** \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

**ELECTRICIAN:** \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

## Section VII- APPLICANT CERTIFICATION

I hereby certify that I have read the instructions & examined this application and know the same to be true & correct. All provisions of laws & ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature:  Date: 9.4.20

Town of North Castle Building Department

Section VIII- AFFIDAVIT OF OWNER AUTHORIZATION IF APPLICABLE: (To be notarized)

STATE OF NEW YORK }
COUNTY OF WESTCHESTER } SS:

The applicant \_\_\_\_\_ has proper consent from said owner to make this application as submitted and said owner agrees to all terms and conditions placed upon same.

Owner's Name (PRINT) Rino Monteforte Owner's Signature [Signature]

Sworn to before me this 4 day of Sept, 20 20

Notary Signature [Signature]

DEIRDREA MCGOWAN
NOTARY PUBLIC-STATE OF NEW YORK
No. 01MC6339680
Qualified in Westchester County

My Commission Expires Here 4/4/27

OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Zone: \_\_\_\_\_ Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot: \_\_\_\_\_

Building Department Checklist:

- Does this permit require RPRC approval? [ ] Yes [ ] No
[ ] GC License [ ] Work. Comp. [ ] Liability. Ins. [ ] Disability
[ ] Permit Fee \_\_\_\_\_ Payment: [ ] Check #: \_\_\_\_\_
[ ] Two sets of documents
[ ] Cash [ ] Credit Card

Received By: \_\_\_\_\_ Application No.: \_\_\_\_\_

BUILDING INSPECTOR APPROVAL

- Has all the conditions of the RPRC been met? [ ] Yes [ ] NA
Is a Flood Development permit required? [ ] Yes [ ] No

Reviewed By: \_\_\_\_\_ Date: \_\_\_\_\_

Building Inspector Approval: \_\_\_\_\_ Date: \_\_\_\_\_

Conditions: \_\_\_\_\_





TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: 4 Ledgewood Place  
 Tax Map Designation or Proposed Lot No.: 107.02-2-46

Date: 9-17-20

Gross Lot Coverage

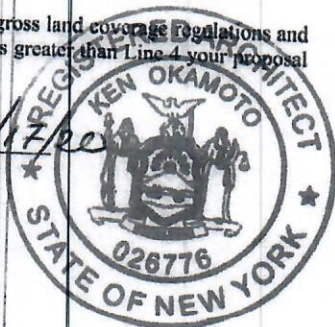
- |  |                    |
|--|--------------------|
| 1. Total lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>189,614 SF.</u> |
| 2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):   | <u>13,270 SF.</u>  |
| 3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):  | <u>7,677 SF.</u>   |
| Distance principal home is beyond minimum front yard setback<br><u>327</u> x 10 =  | <u>3,270 SF.</u>   |
| 4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3  | <u>24,217 SF.</u>  |
| 5. Amount of lot area covered by principal building:<br><u>1962</u> existing + <u>-1962</u> proposed =                           | <u>0 SF.</u>       |
| 6. Amount of lot area covered by accessory buildings:<br><u>1182</u> existing + <u>1182</u> proposed =                           | <u>0 SF.</u>       |
| 7. Amount of lot area covered by decks:<br><u>339 SF</u> existing + <u>-339</u> proposed =                                       | <u>0 SF.</u>       |
| 8. Amount of lot area covered by porches:<br><u>153 SF.</u> existing + <u>-153</u> proposed =                                    | <u>0 SF.</u>       |
| 9. Amount of lot area covered by driveway, parking areas and walkways:<br><u>7,540</u> existing + <u>0</u> proposed =            | <u>7,540 SF.</u>   |
| 10. Amount of lot area covered by terraces:<br><u>771 SF</u> existing + <u>0</u> proposed =                                      | <u>0 SF.</u>       |
| 11. Amount of lot area covered by tennis court, pool and mechanical equip:<br><u>682 SF</u> existing + <u>-682 SF</u> proposed = | <u>0 SF.</u>       |
| 12. Amount of lot area covered by all other structures:<br>existing + proposed =   | <u>0 SF.</u>       |
| 13. Proposed gross land coverage: Total of Lines 5 - 12 =  | <u>7,540 SF.</u>   |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

*[Handwritten Signature]*

Date 9/17/20





TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

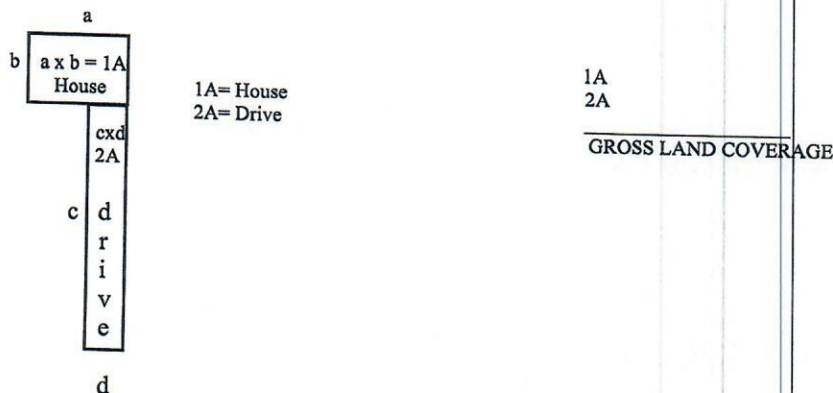
PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

### GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots <sup>1</sup> (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

\*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

January 29, 2019  
 Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)


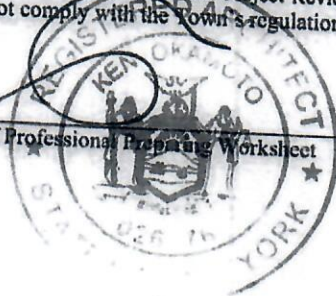
**FLOOR AREA CALCULATIONS WORKSHEET**

Application Name or Identifying Title: 4 LEDGEWOOD PLACE Date: 9-18-20  
 Tax Map Designation or Proposed Lot No.: 107.02-2-46

Floor Area

1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>189,614 SF</u>
2.	Maximum permitted floor area (per Section 355-26.B(4)):	<u>13,607 + 461 SF</u>
3.	Amount of floor area contained within first floor: <u>1962</u> existing + <u>-1962</u> proposed =	<u>0</u>
4.	Amount of floor area contained within second floor: <u>1573</u> existing + <u>-1573</u> proposed =	<u>0</u>
5.	Amount of floor area contained within garage: <u>900</u> existing + <u>-900</u> proposed =	<u>0</u>
6.	Amount of floor area contained within porches capable of being enclosed: <u>434</u> existing + <u>-434</u> proposed =	<u>0</u>
7.	Amount of floor area contained within basement (if applicable - see definition): <u>725</u> existing + <u>-725</u> proposed =	<u>0</u>
8.	Amount of floor area contained within attic (if applicable - see definition): <u>0</u> existing + <u>0</u> proposed =	<u>0</u>
9.	Amount of floor area contained within all accessory buildings: <u>218</u> existing + <u>-218</u> proposed =	<u>0</u>
10.	Proposed floor area: Total of Lines 3 - 9 =	<u>0</u>

If Line 10 is less than or equal to Line 2, your proposal complies with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

  
 Signature and Seal of Professional Preparing Worksheet  


Date 9-18/20



TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

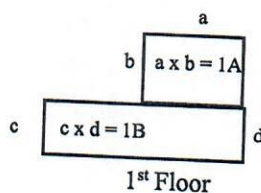
PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

## GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



1A=  
1B=  
-----  
1st Floor Total=

BASEMENT =  
1st FLOOR =  
2nd FLOOR =  
-----  
GROSS FLOOR AREA

LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings <sup>1</sup> (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

\*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.



Town of North Castle Building Department

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

www.northcastleny.com

Administrative Wetland Permit Application

NOTE: TWO (3) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

Section I- PROJECT ADDRESS: 4 Ledgewood Place Armonk DATE: 9.4.20

Section II- CONTACT INFORMATION: (Please print clearly. All information must be current.)

APPLICANT: Rino Monteforte

ADDRESS: 52 Wrights Mill Rd Armonk NY 10504

PHONE: 646 261 6111 MOBILE: EMAIL:

PROPERTY OWNER: 4 Ledgewood Pl. LLC

ADDRESS: 121A Montgomery Ave Scarsdale NY 10583

PHONE: 914 703 2318 MOBILE: EMAIL: jani@spectrumpaintingnyc.com

Section III- DESCRIPTION OF WORK: (Identify the improvements proposed within the wetland buffer.)

demo existing house, garage & pool

Section IV- Questioner:

1. Is the project located within the NYCDEP watershed? Yes No

2. What is the total area of proposed disturbance? < 5,000 s.f. 5,000 s.f. - < 1 acre > 1 acre

3. Total area of wetland: 33,210 sq. ft and/or wetland buffer disturbance:

4. Total area of mitigation: Plantings Invasive species removed/ monitoring No-mow Zone Prohibition of pesticides/ herbicides Other

6. Does the proposed action require any other permit/ approvals from other agencies/ Departments? (Check all that apply)

Planning Board Town Board Zoning Board of appeals Building Department Highway Department Tree Removal Sediment & Erosion Control Flood Development Permit WCDH NYS DOT NYCDEP NYSDEC Wetland NYSDEC SWPPP/ NOI



# Town of North Castle Building Department

## Section IV- Questioner: (Continued)

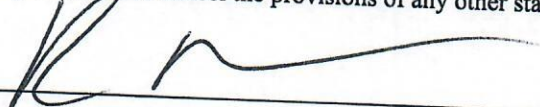
7. Requested waivers: \_\_\_\_\_

## Section V- Fees: (Please see Master Fee Schedule on line)

## Section VI- APPLICANT CERTIFICATION

Note: Initially, all applications shall be submitted with three sets of plans that illustrate the existing conditions (2' contours, well, SSDS, structures, etc.) and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). Mitigation for proposed impacts within the regulated area must be provided. The Town Wetland Consultant may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. Application materials outlined under §209-6 of the Town Code must be submitted, unless waived. Pursuant to §209-6D, the applicant shall be responsible for the reimbursement of consultant services related to the issuance and review of Wetland Permit Applications.

I hereby certify that I have read the instructions & examined this application and know the same to be true & correct. All provisions of laws & ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature:  Date: 9.4.20

---

### OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Permit Fee \_\_\_\_\_ Payment:  Check #: \_\_\_\_\_  Cash  Credit Card

Name on check: \_\_\_\_\_

Received By: \_\_\_\_\_

### BUILDING INSPECTOR APPROVAL

Has all the conditions of the RPRC been met?  Yes  NA

Is a Flood Development permit required?  Yes  No

Reviewed By: \_\_\_\_\_ Date: \_\_\_\_\_

Building Inspector Approval: \_\_\_\_\_ Date: \_\_\_\_\_