

Town of North Castle Residential Project Review Committee

17 Bedford Road Armonk, New York 10504 (914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Replace existing wood deck with new larger wood deck at grade				
■Initial Submittal □Revised Preliminary				
Street Location: 8 Colonial Court, Armonk, NY 10504				
Zoning District: R-2A Property Acreage: 2.208 Tax Map Parcel ID: 101.04-1-7				
Date: 8 Colonial Court				
DEPARTMENTAL USE ONLY				
Date Filed: Staff Name:				
Preliminary Plan Completeness Review Checklist Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.				
1. Plan prepared by a registered architect or professional engineer				
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets				
3. Map showing the applicant's entire property and adjacent properties and streets				
1. A locator map at a convenient scale				
The proposed location, use and design of all buildings and structures				
3. Existing topography and proposed grade elevations				
7. Location of drives				
B. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences				

RPRC COMPLETENESS REVIEW FORM

Page 2

Description of method of water supply and sewage disposal and location of such facilities
10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.
More information about the items are included in the included

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: http://www.northcastleny.com/townhall.html

2,362

On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Applic	ation Name or Identifying Title:	8 Colonial Court	Date	10-15-20
Tax M	ap Designation or Proposed Lot No.:	101.04-1-7		
Gross 1	Lot Coverage			
1.	Total lot Area (Net Lot Area for Lo	ots Created After 12/13/06):		96,180.48
2.	Maximum permitted gross land co	verage (per Section 355-26.C(1))(b)):	12,280.22
3.	BONUS maximum gross land cove	er (per Section 355-26.C(1)(b)):		
	Distance principal home is beyond 45' +/- x 10 =	minimum front yard setback		450
4.	TOTAL Maximum Permitted gro	oss land coverage = Sum of lin	nes 2 and 3	12,730.22
5.	Amount of lot area covered by prin 2,362 existing + 0			2,362
6.	Amount of lot area covered by acceded 458 existing + 0			458
7.	Amount of lot area covered by decl			608
8.	Amount of lot area covered by por			45
9.	Amount of lot area covered by driv 7,149 existing + 0	veway, parking areas and walk _ proposed =	xways:	7,063
10.	Amount of lot area covered by terrexisting +			N/A
11.	Amount of lot area covered by tenne 647 existing + 0	nis court, pool and mechanical _ proposed =	equip:	647
12.	Amount of lot area covered by all o	other structures: _ proposed =		N/A
13. Pro	posed gross land coverage: To	otal of Lines $5 - 12 =$		11,183
does no	13 is less than or eq ual to Line 4, you ject may proceed to the Residential Rot comply with the Town's regulations of the Residential Rot comply with the Town's regulations of the Residential Rot comply with the Town's regulations of the Residential Rot comply with the Town's regulations of the Residential Rot comply with the Town's regulations of the Residential Rot comply with the Town's regulations of the Residential Rot comply with the Town's regulations of the Residential Rot comply with the Town's regulations of the Residential Rot comply with the Town's regulations of the Residential Rot comply with the Town's regulations of the Residential Rot comply with the Town's regulations of the Residential Rot comply with the Town's regulations of the Residential Rot comply with the Town's regulations of the Residential Rot comply with the Town's regulations of the Residential Rot comply with the Town's regulations of the Residential Rot comply with the Town's regulations of the Rot comply with t	reject Nevidow Committee for re	Cown's maximum gross eview. If Line 13 is greated to the series of the s	land coverage regulatio ter than Line 4 your pr

Project Architect:

Raul Bello

Bello Architecture, PLLC 36 New Street

Rye, New York 10580

P: 914 690 0870 C: 914 645 9236

rbjr1@verizon.net

Owner:

Andrew Keith Solow and Sasha Oxman Solow 8 Colonial Court Armonk, New York 10504 8 Colonial Ct - Google Maps

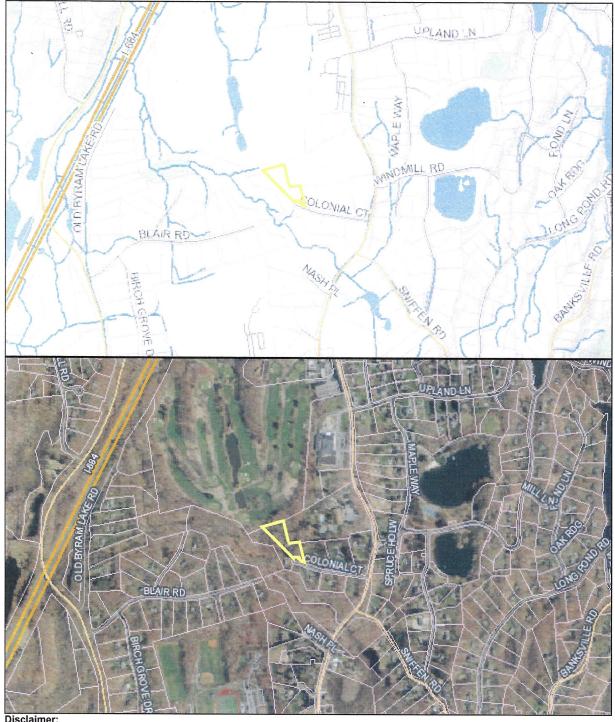
10/14/2020

100 pies Imágenes © 2020 Maxar Technologies, New York GIS, USDA Farm Service Agency, Datos del mapa © 2020

Tax Parcel Maps

Address: 8 COLONIAL CT

Print Key: 101.04-1-7 SBL: 10100400010070000000



Disclaimer:

This tax parcel map is provided as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should **NOT** be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact the assessor's office of the municipality.

NORTH CASTLE LEISURE ZONING ENTERPRISES INC. 2-08-7.C1A **DISTRICT R-2A** (101.02 - 1 - 28)MIN. LOT SIZE 2 ACRE MIN. FRONTAGE 150 FT. MIN. DEPTH 150 FT. MIN. WIDTH 150 FT. MIN. YARDS RICHARD B. GERSTEN FRONT 50 FT. SRS ARMONK ASSOCIATES LLC ANNEMIEK D. GERSTEN SIDE 30 FT. C/O RABIN & PANERO 2-08-7.A02 REAR 50 FT. 2-08-7-B (101.04 - 1 - 7)(101.04 - 1 - 3)AREA: 2.208 ACRES W/L #7 b THIS MAP SUBJECT TO ANY STATE OF FACTS THAT AN ACCURATE, UP-TO-DATE ABSTRACT OF TITLE MAY SHOW SUBSURFACE UTILITIES, IF ANY, NOT LOCATED BY FIELD SURVEY ∕- S 39°27′50″ E6.59 ALLEN J. DOZOR CHAIN LINK FENCE _ S 55°25'30" E15.02 WETLANDS SHOWN AS DELINEATED BY MARY JAEHNIG, CERTIFIED SOIL SCIENTIST N 87°40'50" E11.83 UNAUTHORIZED ALTERATION OR ADDITION TO THIS MAP IS A VIOLATION OF SECTION 110.00 7209(2) OF THE NEW YORK STATE EDUCATION LAW DONNA Z. DOZOR ′ N 84°19'20" PRINTS NOT VALID WITHOUT SIGNATURE & SEAL \$12" SPRUCE 2-08-7.A03-2 STN. RET. (101.04 - 1 - 8)W/L #5 ⟨ TURN-AROUND 6 DRIVEWAY APPROX. LOC SAN. DISPOSAL SYSTEM W/L #3 o W/L #2 0 RAIL FENCE W/WIRE MESH 20° MAPLE W/L #1 6 FILED MAP NO. 14124 SHELDON J. GANIS SURVEY MAP SHOWING LANDS TO BE CONVEYED TO SUSAN D. GANIS ANDREW KEITH SOLOW & SASHA OXMAN SOLOW 2-08-7.A03-1 (101.04 - 1 - 6)SITUATE AT 8 COLONIAL COURT IN THE TOWN OF NORTH CASTLE SITE CONDITIONS VERIFIED BY FIELD INSPECTION AND MEASUREMENTS COMPLETED ON JUNE 8, 2009, AND THIS MAP UPDATED ON JUNE 9, 2009 WESTCHESTER COUNTY NEW YORK CERTIFIED, JUNE 9, 2009 TO: I HEREBY CERTIFY THAT THIS MAP IS BASED ON ACTUAL FIELD SURVEYS COMPLETED ON DECEMBER 15, 2004, & THAT THIS MAP WAS COMPLETED ON DECEMBER 30, 2004 IN ACCORDANCE WITH THE CURRENT STANDARDS FOR SURVEYING AND MAPPING OF THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. ANDREW KEITH SOLOW SASHA OXMAN SOLOW SCALE: 1 INCH = 30 FEET RICHARD B. GERSTEN ANNEMIEK D. GERSTEN
THOROUGHBRED TITLE SERVICES, LTD.
OLD REPUBLIC NATIONAL TITLE JUNE 9, 2009 DENNIS M. LOWES, L.S. N.Y. STATE LICENSE NO. 49094 INSURANCE COMPANY WELLS FARGO HOME MORTGAGE SECTION 2, BLOCK 8, LOT 7.A-2 E:\SHARED\ARMONK\2390GERSTEN.DWG LDT SYSTEM 1

FILE NO. 2390





- 1. All footings shall rest on undisturbed soil of minimum bearing capacity of 2.0 tons per square foot.
- 2. Backfill with approved material. Backfilling under the slab, around piers and on each side of foundation walls shall be done in layers, not to exceed 10": compaction shall be 95 percent of maximum density at optimum moisture content, when tested in accordance with ASTM D 1557.
- 3. Excavation shall be protected from frost in cold weather. All frozen soil shall be removed before footings are poured. Footings shall be protected from freezing of underlying soil before final backfill.

- 1. All concrete construction shall conform to building code requirements for reinforced concrete, ACI 318 (latest edition), and shall be in accordance with the manual of standard practice for detailing of reinforced concrete.
- 2. All cast—in—place concrete shall be controlled stone concrete having a minimum compressive design strength, Fc of 3,000 lbs. per square inch at 28 days, with minimum cement factor 5.75 bags per cubic yard of concrete. Contractor shall supply concrete having a 28 day strength 25 percent greater than the design strength specified.
- 3. Accelguard—80, non-chloride accelerating admixtures as manufactured by the Euclid Chemical Company, or approved equal, shall be used in all concrete slabs placed at temperatures below 50 degrees F. Admixture shall conform with ASTM C-494 requirements, and contain no more chloride ions than are present in municipal drinking water.
- 4. Air entraining admixture conforming to ASTM C260, such as liquid air-mix as manufactured by the Euclid Chemical Co... or approved equal, shall be used in all concrete.
- 5. Horizontal placement stops interrupting the vertical thickness of concrete being placed are not permitted.
- 6. All slabs on earth shall be reinforced with welded wire mesh as called for on drawings, placed 2" from top and over any pipes or conduits in slab.
- 7. All reinforcing bars shall be new billet steel, deformed type, (ASTM A-615 GRADE 40) and shall comply with ACI code requirements.
- 8. All welded wire mesh (WWM) shall conform to the requirements of ASTM A-185.
- 9. Honeycombed, spalled or otherwise defective surfaces shall be patched with an adhesive base cementitious compound. The adhesive shall be a non water sensitive acrylic.
- 10. Concrete shall be cured for a period of seven (7) days. Immediately after placement, concrete shall be protected from premature drying extremes in temperatures, rapid temperature change, mechanical injury and injury from rain and flowing water. Air and forms in contact with concrete shall be maintained at a temperature above 50 degrees F for the first 3 days and at a temperature above 32 degrees F for the remainder of the specified curing period.

STRUCTURAL LUMBER:

- 1. All framing to be No. 1 & No.2 Doug Fir Larch (North) DESIGN VALUES:
- Fb Single Member = 825 psi Fb - Repetitive Member = 1150 psi
- Fv 75 psi
- Fc 405 psi perpendicular to grain Fc — 2400 psi parallel to grain
- E 1,400,000 psi
- 2. All L.V.L.'s to be laminated veneer lumber as manufactured by TrusJoist, type 2800 F—2.0 or equal, with design values:
- Fv 285 psi
- Fc 750 psi perpendicular to grain Fc 2510 psi parallel to grain
- E 1.9 x 10 (6) psi
- 3. All framing indicated "LVL" on plan shall be laminated veneer lumber equal to TrusJoist LVL as manufactured by TrusJoist, A Weyerhaeuser Business, 1 800 678 8787 or approved equal. All TJI's and Parallam PSL's shall be by TrusJoist or
- approved equal.
- 4. For dimensions see architectural drawings.
- 5. All joists or beams framing into (not bearing over) beams, headers or girders shall be supported with galvanized steel joist or beam hangers by Simpson Strong—Tie Co. (914 279 2037) or approved equal. End nailing of joists is not permitted. All post to beam, beam to post and post to footing connections to be made with Simpson post or column cap and base connectors as detailed. Use nailing as recommended by manufacturer.

- 6. Block solid between joists and rafters at bearing walls or girders. Provide bridging at 8'-0" o.c. maximum.
- . All plywood sheathing shall be 5/8" exterior grade, C-D, species group 1 or 2. Install roof, floor, wall sheathing
- with face grain perpendicular to supports. Stagger joints. Provide double floor joists under all walls parallel to
- 9. Provide ledgers, blocking, nailers and rough framing hardware as required.
- 10. Set all framing with natural crown up.
- 11. Frame with double headers and trimmers around openings larger than spacing between joists, studs or rafters, unless larger is shown on plans
- 12. All framing shall be done in accordance with the latest edition of "National Design Specifications for Stress Graded Lumber and its Fastenings" as published by the National Lumber Manufacturers Association
- 13. All workmanship including minimum nailing, blocking, bridging, etc., shall conform to the New York State Building Code.
- 14. All lumber materials used in the construction shall be new, sound and dry materials, free from rot, large and loose knots, shakes and other imperfections whereby strength may be impaired. Sizes shall be as indicated on the drawings.
- 15. Provide special heavy duty metal hangers and / or steel fabrications where shown and as may be required to transfer all loads.
- 16. Contractor shall supply all temporary bracing of the structure, as required, until all exterior sheathing has been installed.
- 17. Built—up girders and headers shall be fastened together as
- A). For up to 3 plies, use 2 rows of nails staggered at 12" centers; use 10 d nails on 1-1/2" members and 16 d nails on 1-3/4" members.
- B) For more than 3 plies, use 2 rows of 1/2" diameter through bolts at 12" centers staggered.
- 18. Ceiling joists must be lapped against and attached directly to rafters with 3 — 16 d common nails. Do not use blockina.
- 19. Toe nail all joists and rafters to top plate of stud bearing walls or partitions with a minimum of 3 - 16 d common
- 20. Precautions shall be taken to minimize air borne saw dust created from cutting CCA treated members. Dust masks shall be worn by anyone working in the immediate area where treated members are being cut.
- 21. Provide minimum 3-1/2" deep bearing full width of headers and girders.
- 22. Notching of members is not permitted. This applies to all framing members, trusses and structural lumber.
- 23. Ceiling joists shall be connected to each other to create
- continuous members to tie opposite roof rafters together. 24. Collar ties shall be one continuous member to tie opposite
- 25. Install all collar ties and ceiling joists simultaneously with

LOADING SCHEDULE:

roof rafters.

roof rafters together.

SOIL BEARING ASSUMED TO BE 4,000 P.S.F.

ROOF LOADING SNOW LOAD 30 P.S.F. DEAD LOAD 15 P.S.F. 45 P.S.F. TOTAL LOAD

FLOOR LOADING LIVE LOAD

ATTIC 30 P.S.F. 1st and 2nd FLOOR 40 P.S.F. DEAD LOAD 15 P.S.F. 15 P.S.F. 1st and 2nd FLOOR

STRUCTURAL STEEL TO BE A-36, Fb = 24,000

ELECTRICAL NOTES:

- 1. Unless dimensioned all electrical layouts are schematic. Exact location to be determined by field coordination with owner's approval.
- 2. Electrical contractor shall obtain all inspections and approvals required by local, state and national codes and shall be responsible that all electrical work called for on drawings and specifications and other requirements of codes are met.
- 3. Electrical contractor shall verify total electrical load for existing and proposed work and shall notify architect on service requirements, and additional service shall be installed in conformance with local codes.
- 4. All light fixtures by owner installed by contractor unless specified otherwise.
- 5. Electrical contractor to do all necessary wiring and
- connections for all mechanical equipment as required. 6. Thermostats to be supplied by HVAC contractor and installed by electrical contractor.
- 7. All telephone and T.V. outlets shall be located and installed by others. Contractor shall coordinate with owner and installer during construction to insure all wires are hidden in construction prior to installation of final
- 8. All new switches to be silent switches.
- 9. Wiring shall be "Rome X" cable.
- 10. Minimum service shall be 120/240 V, 3 wire, single phase with min, 50 amp spare capacity.
- 11. Distribution shall be circuit breakers type w/ min. 2 extra circuits.
- 12. Dedicated circuits shall be provided for high-draw equipment and appliances.
- 13. All electrical receptacles shall be duplex type, 15 amp minimum.
- 14. Smoke detecting alarm devices shall be single-station type, either photo-electric or ionization shall be directly connected to a lighting circuit with no intervening wall switch. Provide detectors to protect each separate sleeping area adequately.

SITE PLAN NOTES

1. INFORMATION ON SITE PLANS TAKEN FROM A SURVEY PREPARED BY

RALPH L. MACDONALD CO., ENGINEERS & SURVEYORS 80 BUSINESS PARK DRIVE ARMONK, NEW YORK 10504. TEL.: 914 273 4094

DENNIS M. LOWES, L.S. NEW YORK STATE LICENSE No. 49094

THE SURVEY IS DATED JUNE 9, 2009.

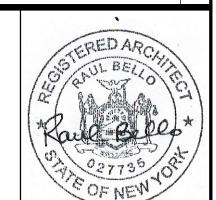
2. PLANS ARE NOT TO BE SCALED.

Drawing Issue

No.	Date			B
1		9-30-20 For B	uilding Permit	R

Drawing Revisions

Date



Bello Architecture, PLLC

36 New Street Rye, New York 10580 Tel: 914-690-0870 Fax: 914-937-1968

Project:

Solow Residence

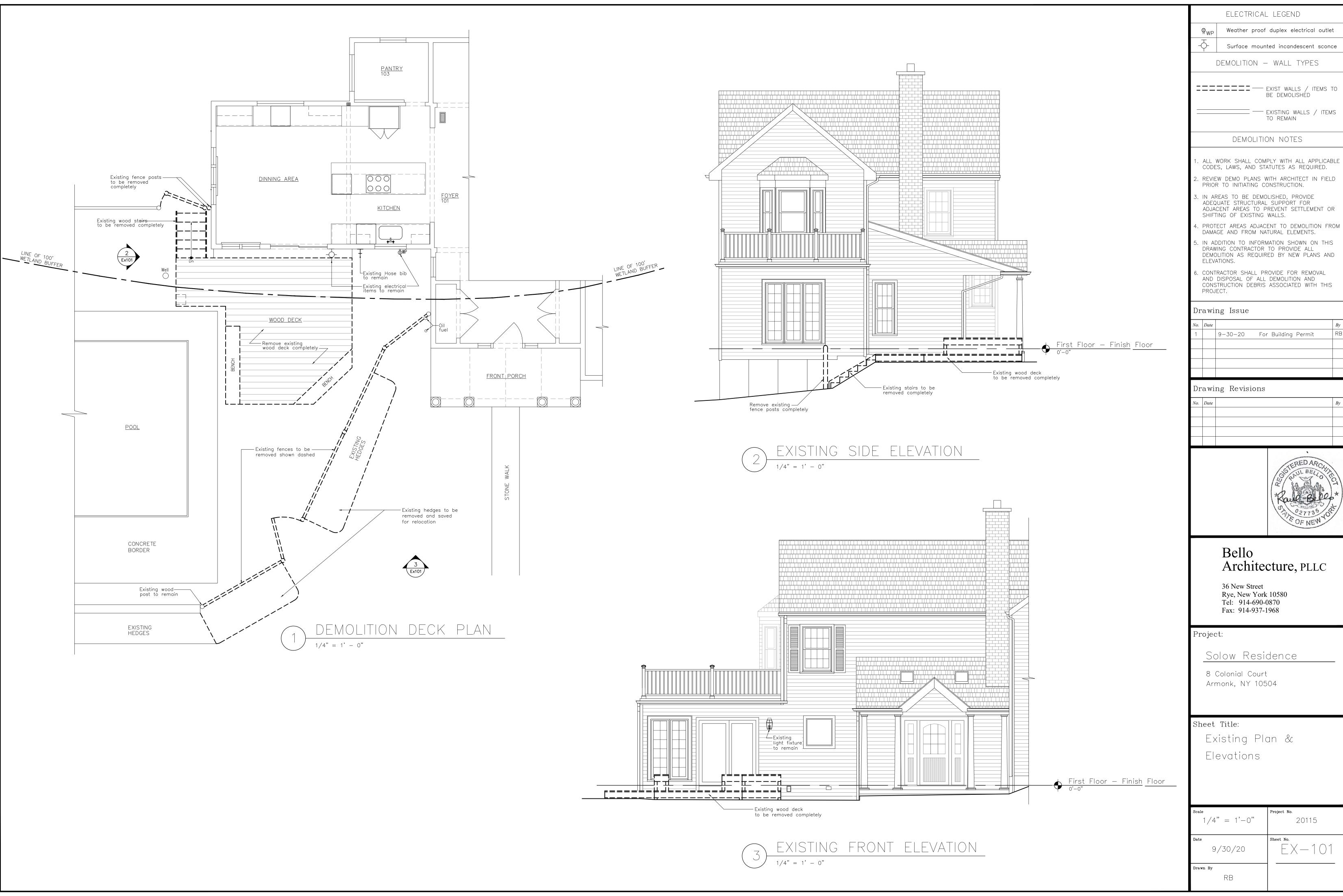
8 Colonial Court Armonk, New York 10504

Sheet Title:

Proposed Site Plan & General Notes

= 30'-0"	Project No. 20115
/30/20	Sheet No

Orawn By RB



Weather proof duplex electrical outlet Surface mounted incandescent sconce

DEMOLITION - WALL TYPES

— EXISTING WALLS / ITEMS

ALL WORK SHALL COMPLY WITH ALL APPLICABLE

REVIEW DEMO PLANS WITH ARCHITECT IN FIELD

ADEQUATE STRUCTURAL SUPPORT FOR

IN ADDITION TO INFORMATION SHOWN ON THIS DRAWING CONTRACTOR TO PROVIDE ALL DEMOLITION AS REQUIRED BY NEW PLANS AND

. CONTRACTOR SHALL PROVIDE FOR REMOVAL AND DISPOSAL OF ALL DEMOLITION AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS

No.	Date		Ву
1		9-30-20 For Building Permit	RB

No.	Date	Ву



Architecture, PLLC

Scale $1/4$ " = $1'-0$ "	Project No. 20115
Date 9/30/20	Sheet No.
Drawn By	
■ RB	

