



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Replace existing wood deck with new larger wood deck at grade

Initial Submittal Revised Preliminary

Street Location: 8 Colonial Court, Armonk, NY 10504

Zoning District: R-2A Property Acreage: 2.208 Tax Map Parcel ID: 101.04-1-7

Date: 8 Colonial Court

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

2,362

On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 8 Colonial Court Date: 10-15-20


Tax Map Designation or Proposed Lot No.: 101.04-1-7

Gross Lot Coverage

- | | | |
|-----|---|------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>96,180.48</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>12,280.22</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback
<u>45' +/-</u> x 10 = <u> </u> | <u>450</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>12,730.22</u> |
| 5. | Amount of lot area covered by principal building:
<u>2,362</u> existing + <u>0</u> proposed = | <u>2,362</u> |
| 6. | Amount of lot area covered by accessory buildings:
<u>458</u> existing + <u>0</u> proposed = | <u>458</u> |
| 7. | Amount of lot area covered by decks:
<u>338</u> existing + <u>270</u> proposed = | <u>608</u> |
| 8. | Amount of lot area covered by porches:
<u>45</u> existing + <u>0</u> proposed = | <u>45</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways:
<u>7,149</u> existing + <u>0</u> proposed = | <u>7,063</u> |
| 10. | Amount of lot area covered by terraces:
<u> </u> existing + <u> </u> proposed = | <u>N/A</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:
<u>647</u> existing + <u>0</u> proposed = | <u>647</u> |
| 12. | Amount of lot area covered by all other structures:
<u> </u> existing + <u> </u> proposed = | <u>N/A</u> |
| 13. | Proposed gross land coverage: Total of Lines 5 – 12 = | <u>11,183</u> |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Raul Bello
 Signature and Seal of Professional Preparing Worksheet



October 15, 2020
 Date

Project Architect:

Raul Bello

Bello Architecture, PLLC

36 New Street
Rye, New York 10580

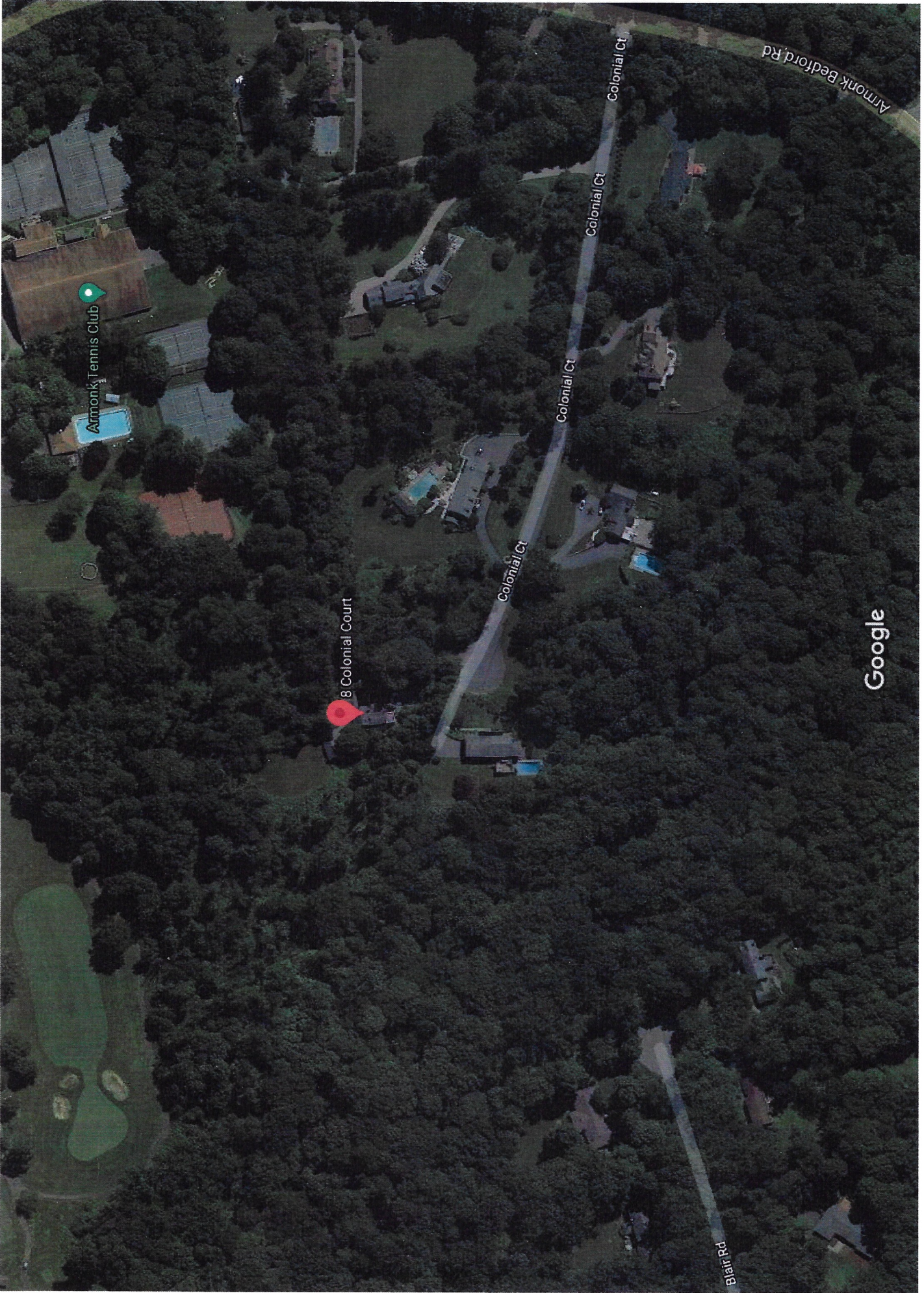
P: 914 690 0870

C: 914 645 9236

rbjr1@verizon.net

Owner:

Andrew Keith Solow and Sasha Oxman Solow
8 Colonial Court
Armonk, New York 10504

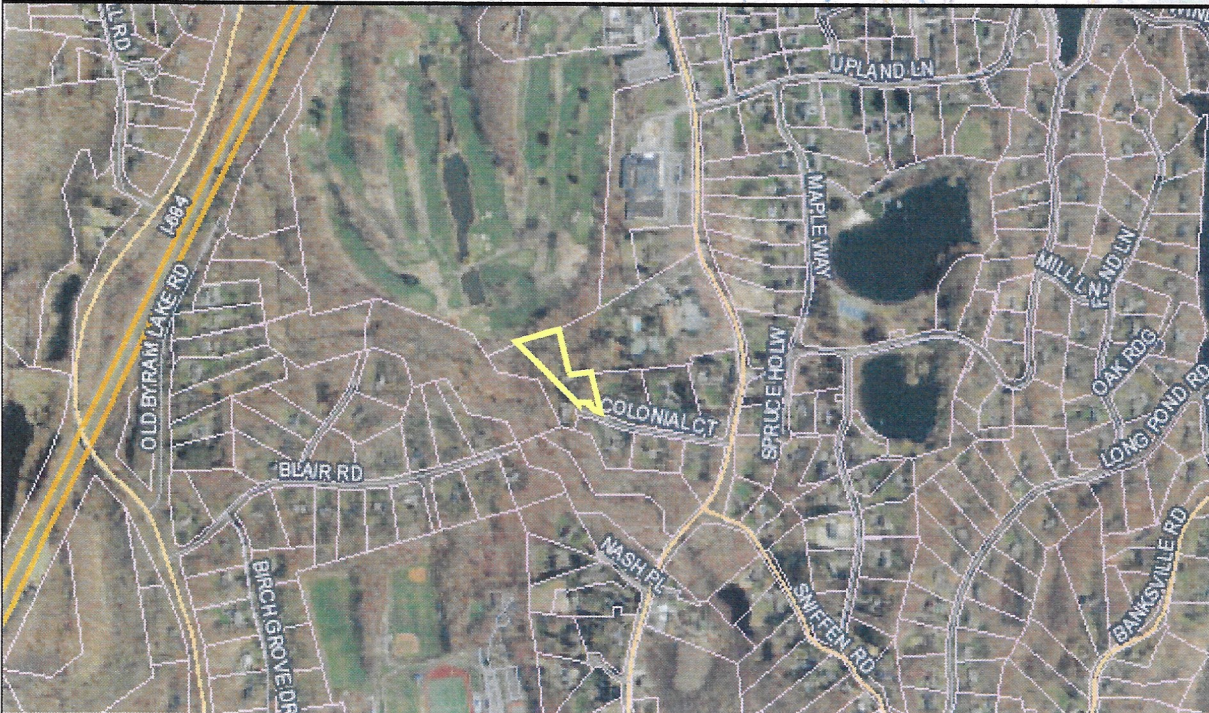


Tax Parcel Maps

Address: 8 COLONIAL CT

Print Key: 101.04-1-7

SBL: 10100400010070000000



Disclaimer:

This tax parcel map is provided as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should **NOT** be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact the assessor's office of the municipality.

NORTH CASTLE LEISURE
ENTERPRISES INC.
2-08-7.C1A
(101.02 - 1 - 28)

286.00'

N 71°01'09" E

W/L #9

50.00'

RICHARD B. GERSTEN
&
ANNEMIEK D. GERSTEN
2-08-7.A02
(101.04 - 1 - 7)
AREA: 2.208 ACRES

SRS ARMONK ASSOCIATES LLC
C/O RABIN & PANERO
2-08-7-B
(101.04 - 1 - 3)

FILED MAP NO. 14124

ALLEN J. DOZOR
&
DONNA Z. DOZOR
2-08-7.A03-2
(101.04 - 1 - 8)

14124

WETLAND DELINEATION LINE

100.00'

WETLAND BUFFER

W/L #7

W/L #6

W/L #5

W/L #4

W/L #3

W/L #2

W/L #1

551.50'

25.20'

30.00'

47.71'

S 39°27'50" E 66.59
S 55°25'30" E 15.02
N 87°40'50" E 11.83

110.00'

CHAIN LINK FENCE

ASPHALT DRIVEWAY

TURN-AROUND AREA

1-1/2 STY. FRAME 2 CAR GARAGE

PARKING AREA

STONE WALKWAY

POOL

WOOD DECK

STAIRS

CONC. PAD

WELL

4' POST & RAIL FENCE W/WIRE MESH

UTIL. SVC. U/G TO HOUSE

0/4" UTIL. SVC.

30" MAPLE

22" SPRUCE

24" SPRUCE

UTIL. POLE

FILED MAP NO. 14124

FILED MAP NO. 14124

1

SHELDON J. GANIS
&
SUSAN D. GANIS
2-08-7.A03-1
(101.04 - 1 - 6)

SURVEY MAP SHOWING LANDS
TO BE CONVEYED TO
ANDREW KEITH SOLOW & SASHA OXMAN SOLOW
SITUATE AT
8 COLONIAL COURT
IN THE
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY NEW YORK
SCALE: 1 INCH = 30 FEET
JUNE 9, 2009
SECTION 2, BLOCK 8, LOT 7.A-2

ZONING
DISTRICT R-2A
MIN. LOT SIZE 2 ACRE
MIN. FRONTAGE 150 FT.
MIN. DEPTH 150 FT.
MIN. WIDTH 150 FT.
MIN. YARDS
FRONT 50 FT.
SIDE 30 FT.
REAR 50 FT.

THIS MAP SUBJECT TO ANY STATE OF FACTS THAT AN ACCURATE, UP-TO-DATE ABSTRACT OF TITLE MAY SHOW
SUBSURFACE UTILITIES, IF ANY, NOT LOCATED BY FIELD SURVEY
WETLANDS SHOWN AS DELINEATED BY MARY JAEHNIG, CERTIFIED SOIL SCIENTIST
UNAUTHORIZED ALTERATION OR ADDITION TO THIS MAP IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW
PRINTS NOT VALID WITHOUT SIGNATURE & SEAL

SITE CONDITIONS VERIFIED BY FIELD INSPECTION AND MEASUREMENTS COMPLETED ON JUNE 8, 2009, AND THIS MAP UPDATED ON JUNE 9, 2009

I HEREBY CERTIFY THAT THIS MAP IS BASED ON ACTUAL FIELD SURVEYS COMPLETED ON DECEMBER 15, 2004, & THAT THIS MAP WAS COMPLETED ON DECEMBER 30, 2004 IN ACCORDANCE WITH THE CURRENT STANDARDS FOR SURVEYING AND MAPPING OF THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

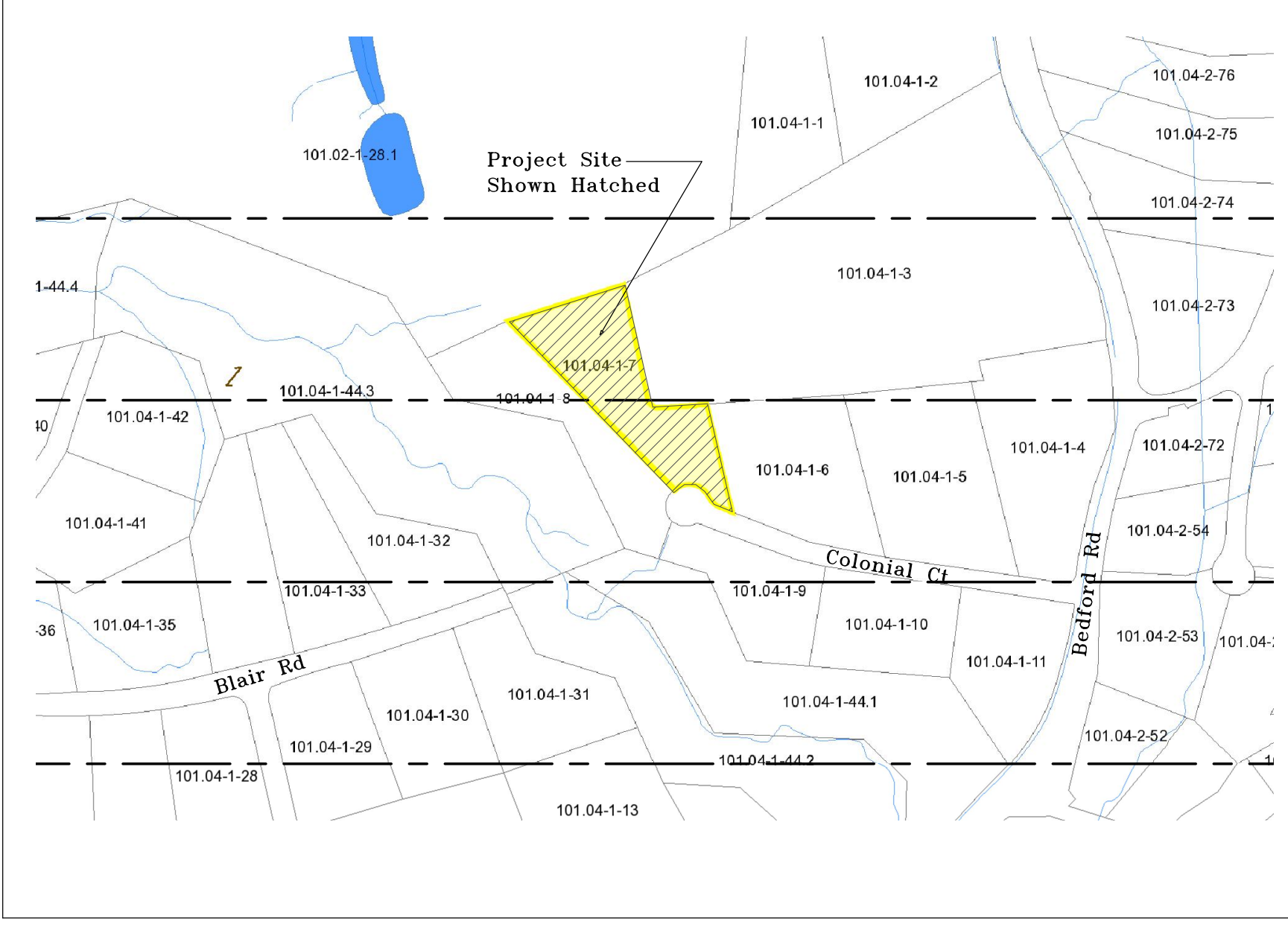
DENNIS M. LOWES, L.S.
N.Y. STATE LICENSE NO. 49094

CERTIFIED, JUNE 9, 2009 TO:
ANDREW KEITH SOLOW
SASHA OXMAN SOLOW
RICHARD B. GERSTEN
ANNEMIEK D. GERSTEN
THOROUGHRED TITLE SERVICES, LTD.
OLD REPUBLIC NATIONAL TITLE
INSURANCE COMPANY
WELLS FARGO HOME MORTGAGE

EXISTING SITE PLAN - SCALE: 1" = 30'-0"



Location Map - Not to Scale



Title

SOLOW RESIDENCE

8 COLONIAL COURT

ARMONK, NY 10504

FOR BUILDING PERMIT

SEPTEMBER 30, 2020

Drawing Index

Dwg. #	Title	Scale
C-101	Title Sheet & Existing Site Plan	1" = 30'-0"
C-102	Proposed Site Plan & General Notes	1" = 30'-0"
EX-101	Existing Conditions	1/4" = 1'-0"
A-101	Construction Plans	1/4" = 1'-0"
A-102	Elevations, Sections & Details	As Noted

Zoning Tabulation

	REQUIRED	EXISTING	PROPOSED
ZONE: R-2A			
SECTION: 101.04			
BLOCK: 1			
LOT: 7			
ACRE: 2.210			
MIN. LOT ZIZE - AREA	2 ACRES	96,180.48 SQ.FT	96,180.48 SQ.FT
FRONTAGE	150.0 FT	145.0 FT +/-	145.0 FT +/-
WIDTH	150.0 FT	160.0 FT +/-	160.0 FT +/-
DEPTH	150.0 FT	500.0 FT +/-	500.0 FT +/-
FRONT YARD	50.0 FT	87.0 FT +/-	87.0 FT +/-
SIDE YARD	30.0 FT	26.0 FT	26.0 FT
REAR YARD	50.0 FT	340.0 FT +/-	340.0 FT +/-
BUILDING HT. FEET	30.0 FT	28.0 FT +/-	28.0 FT +/-
STORIES	-	-	-
MAX. BUILDING COVERAGE	8%	2.9% +/-	2.9% +/-

N.Y.S. ENERGY CONSERVATION CONSTRUCTION CODE

BUILDING TYPE:	SINGLE FAMILY RESIDENTIAL	
ZONE:	4A	
DESIGN DEGREE DAYS:	5500 - 5999	
DESIGN TEMPERATURE:	6 DEGREES F. / 83 DEGREES F.	
ENVELOPE COMPONENT	R VALUE REQUIRED	R VALUE PROVIDED
FENESTRATION	U0.35	N/A
SKYLIGHT	U0.55	N/A
CEILING	38	N/A
WOOD FRAME WALL	20	N/A
FLOOR	19	N/A
BASEMENT WALL	10/13	N/A
SLAB R-VALUE & DEPTH	10,2 FT	N/A
CRAWL SPACE WALL R-VALUE	10/13	N/A

BELLO ARCHITECTURE (N.Y.S. LIC. NO. 027735) CERTIFIES THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS CONFORM WITH THE APPLICABLE SECTIONS OF THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.

Climatic and Geographic Design Criteria

GROUND SNOW LOAD	WIND SPEED MPH FOR 3 SEC. WIND GUST	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX
			WEATHERING	FROST DEPTH LINE	TERMITE	DECAY				
30	120	C	SEVERE	42"	MOD/HVY	SL/MOD	7	YES	FIRM 9-28-07	618

SITE PLAN NOTES

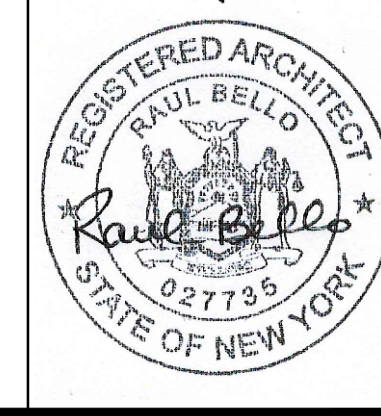
1. INFORMATION ON SITE PLANS TAKEN FROM A SURVEY PREPARED BY RALPH L. MACDONALD CO., ENGINEERS & SURVEYORS 80 BUSINESS PARK DRIVE ARMONK, NEW YORK 10504. TEL.: 914 273 4094 DENNIS M. LOWES, L.S. NEW YORK STATE LICENSE No. 49094 THE SURVEY IS DATED JUNE 9, 2009.
2. PLANS ARE NOT TO BE SCALED.

Drawing Issue

No.	Date	Description	By
1	9-30-20	For Building Permit	RB

Drawing Revisions

No.	Date	Description	By
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Bello Architecture, PLLC

36 New Street
Rye, New York 10580
Tel: 914-690-0870
Fax: 914-937-1968

Project:

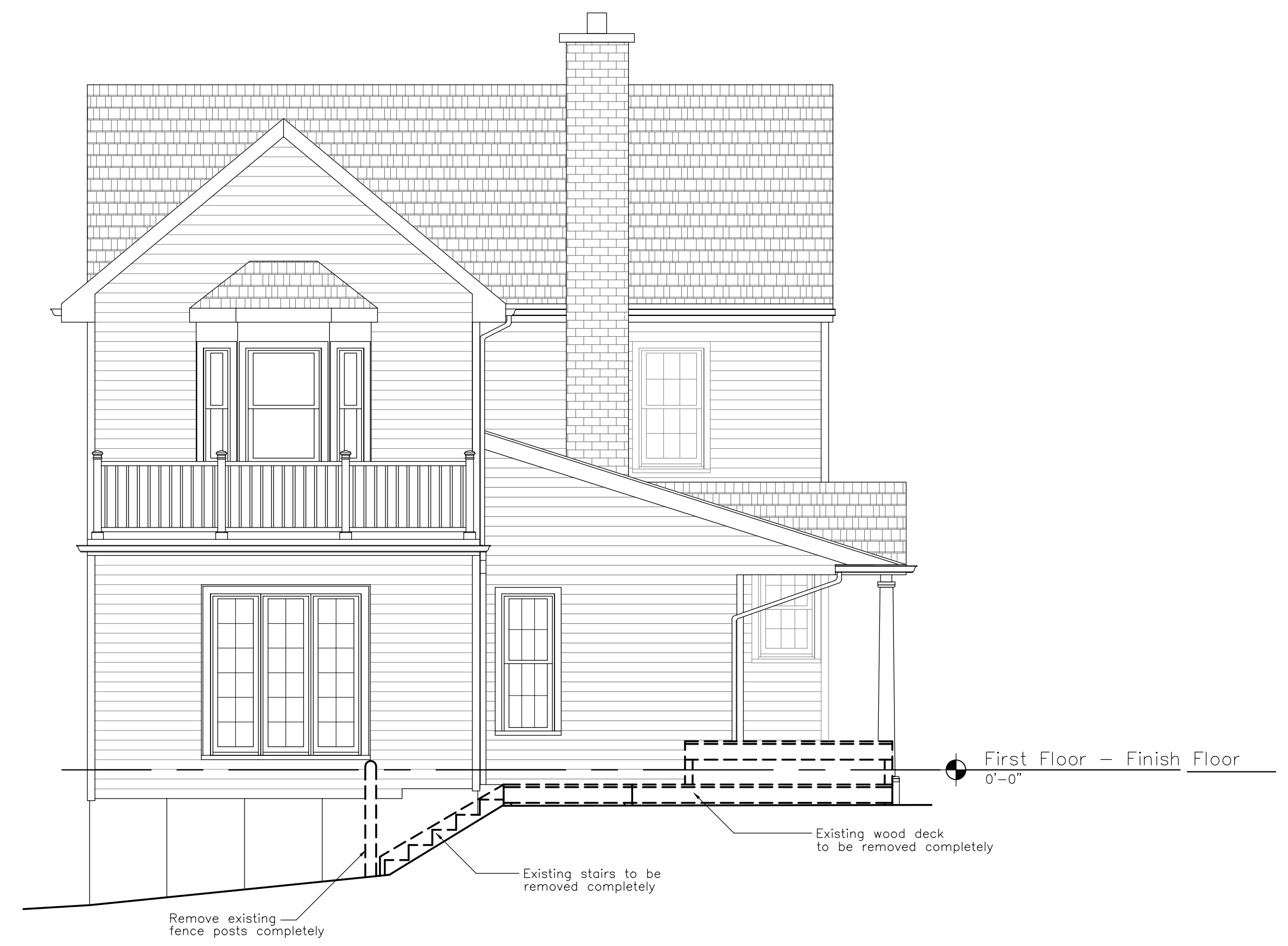
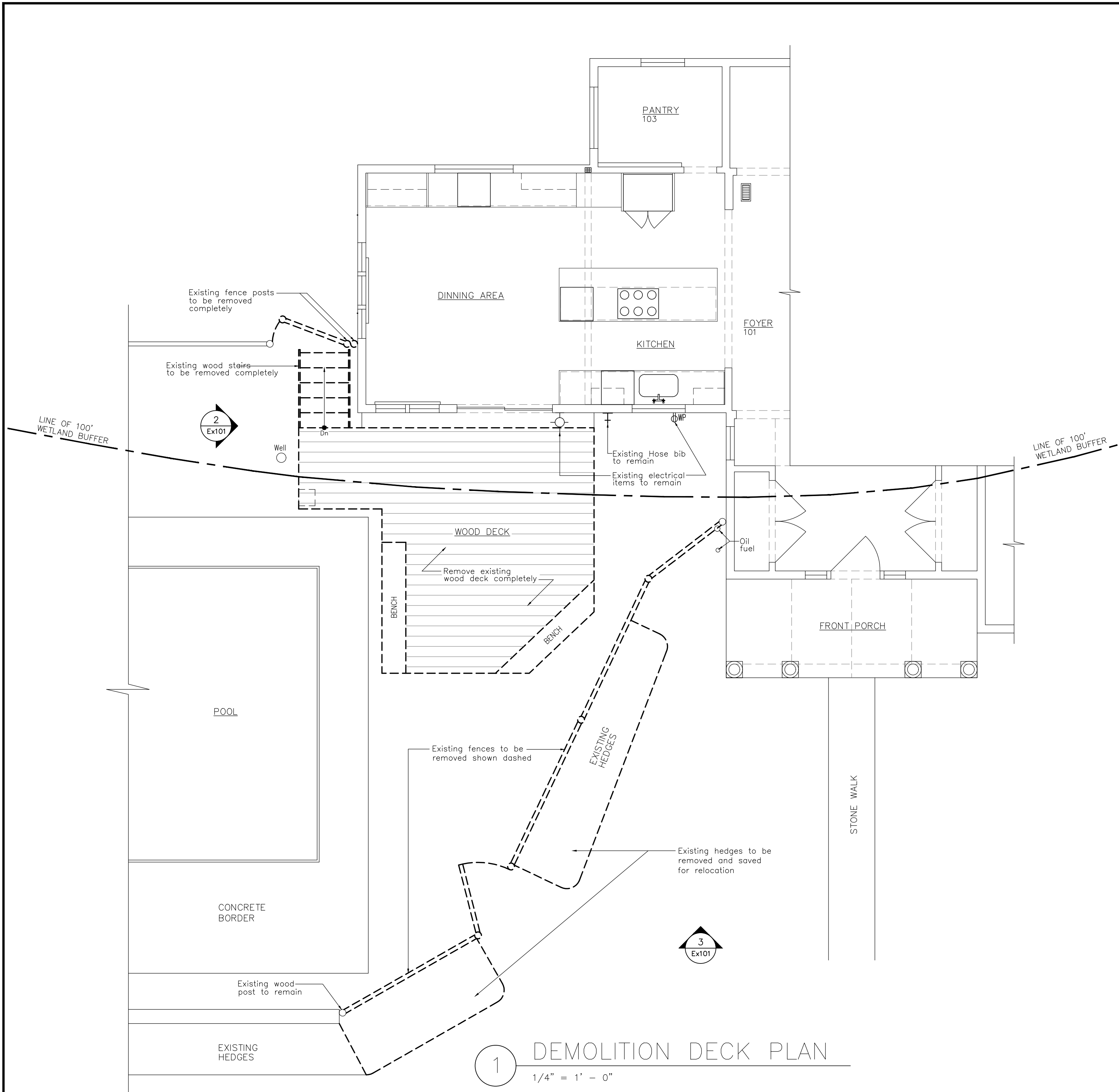
Solow Residence

8 Colonial Court
Armonk, New York 10504

Sheet Title:

Existing Site Plan

Scale	1" = 30'-0"	Project No.	20115
Date	9/30/20	Sheet No.	C-101
Drawn By	RB		



ELECTRICAL LEGEND

	Weather proof duplex electrical outlet
	Surface mounted incandescent sconce

DEMOLITION - WALL TYPES

	EXIST WALLS / ITEMS TO BE DEMOLISHED
	EXISTING WALLS / ITEMS TO REMAIN

DEMOLITION NOTES

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS, AND STATUTES AS REQUIRED.
- REVIEW DEMO PLANS WITH ARCHITECT IN FIELD PRIOR TO INITIATING CONSTRUCTION.
- IN AREAS TO BE DEMOLISHED, PROVIDE ADEQUATE STRUCTURAL SUPPORT FOR ADJACENT AREAS TO PREVENT SETTLEMENT OR SHIFTING OF EXISTING WALLS.
- PROTECT AREAS ADJACENT TO DEMOLITION FROM DAMAGE AND FROM NATURAL ELEMENTS.
- IN ADDITION TO INFORMATION SHOWN ON THIS DRAWING CONTRACTOR TO PROVIDE ALL DEMOLITION AS REQUIRED BY NEW PLANS AND ELEVATIONS.
- CONTRACTOR SHALL PROVIDE FOR REMOVAL AND DISPOSAL OF ALL DEMOLITION AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS PROJECT.

Drawing Issue

No.	Date	For Building Permit	By
1	9-30-20		RB

Drawing Revisions

No.	Date	By



Bello Architecture, PLLC

36 New Street
Rye, New York 10580
Tel: 914-690-0870
Fax: 914-937-1968

Project:

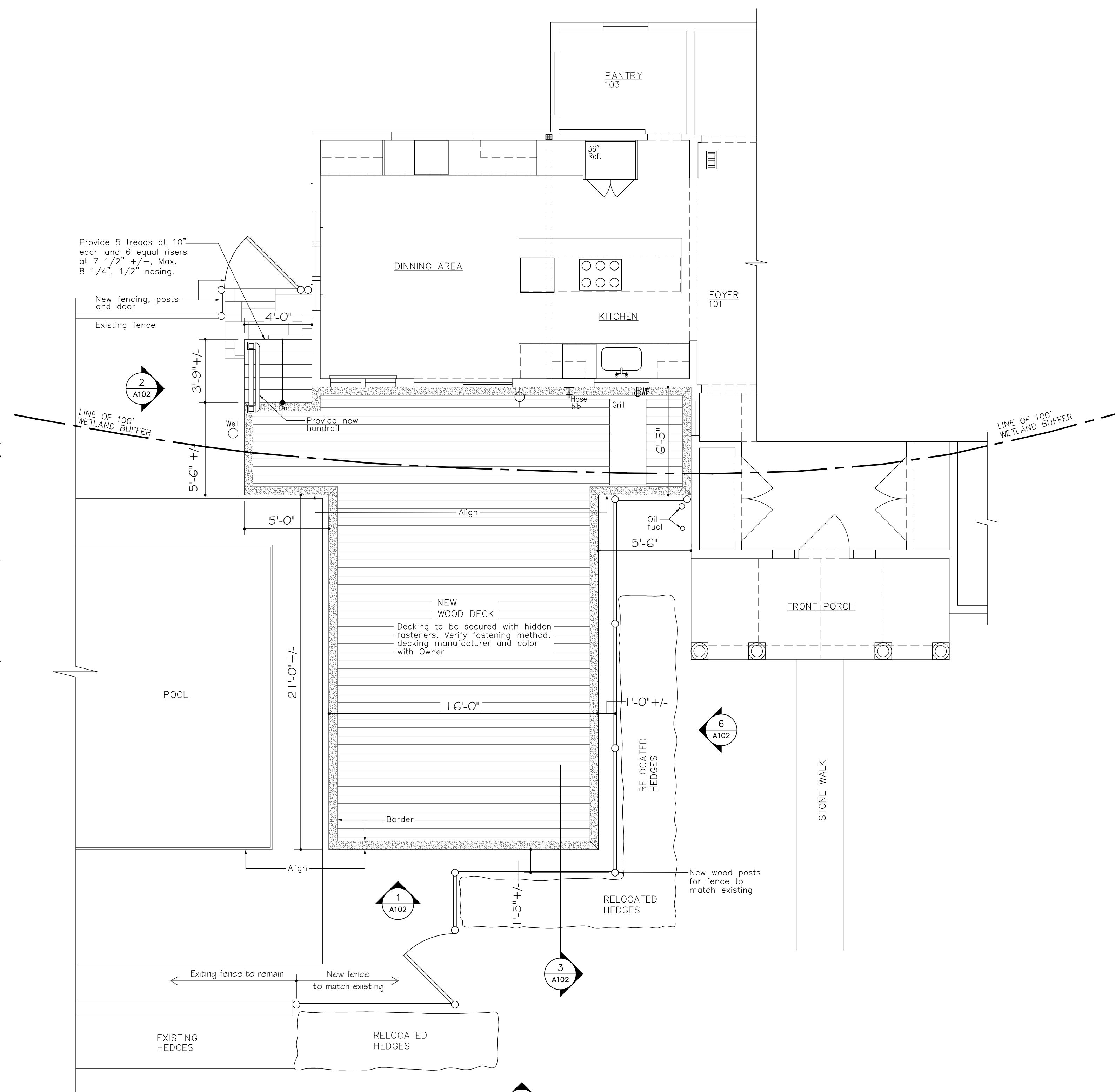
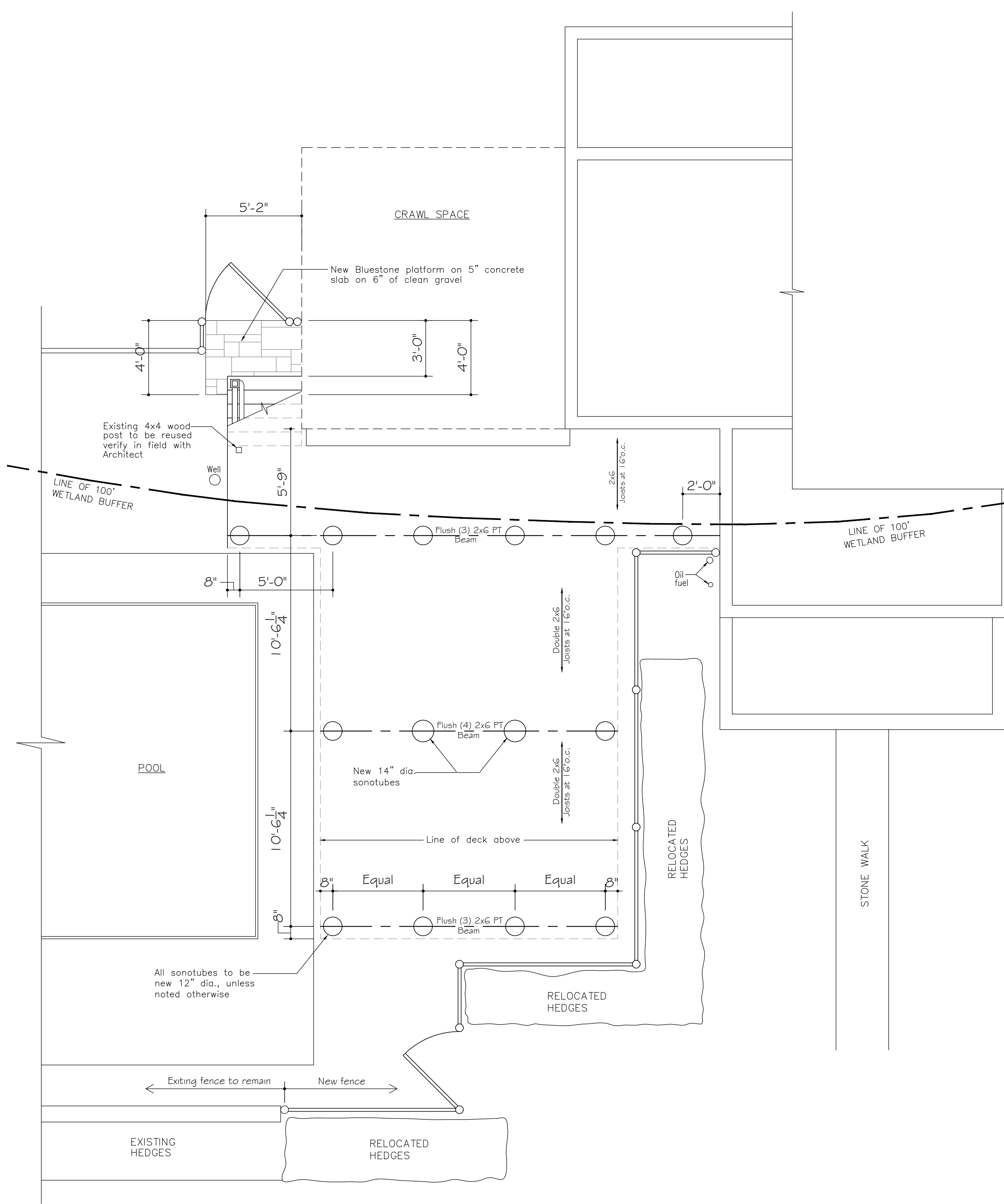
Solow Residence

8 Colonial Court
Armonk, NY 10504

Sheet Title:

Existing Plan & Elevations

Scale 1/4" = 1'-0"	Project No. 20115
Date 9/30/20	Sheet No. EX-101
Drawn By RB	



ELECTRICAL LEGEND

	Weather proof duplex electrical outlet
	Surface mounted incandescent sconce

Drawing Issue

No.	Date	For Building Permit	By
1	9-30-20		RB

Drawing Revisions

No.	Date	By



Bello Architecture, PLLC

36 New Street
 Rye, New York 10580
 Tel: 914-690-0870
 Fax: 914-937-1968

Project:

Solow Residence

8 Colonial Court
 Armonk, NY 10504

Sheet Title:

Foundation &
 Construction Plans

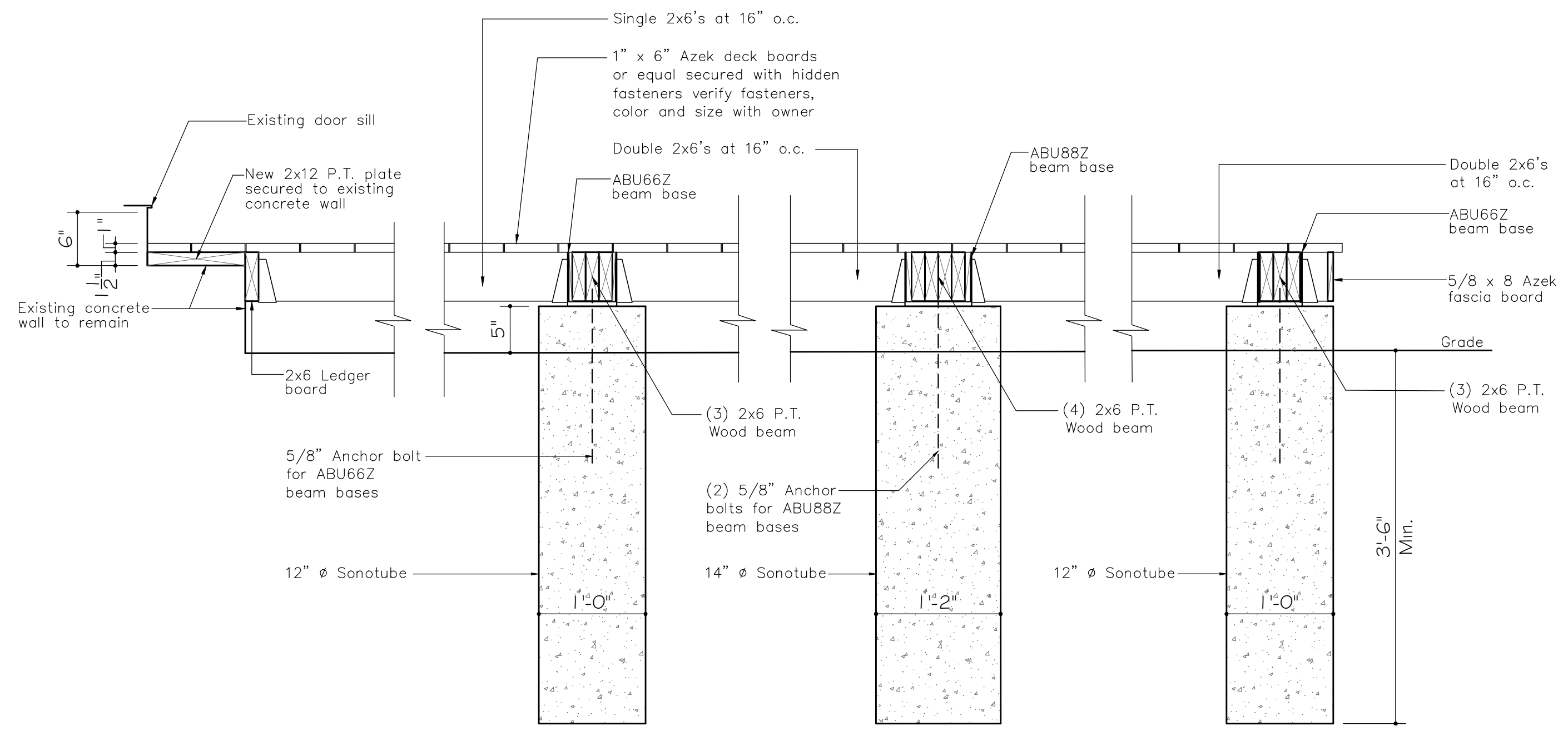
Scale 1/4" = 1'-0"	Project No. 20115
Date 9/30/20	Sheet No. A-101
Drawn By RB	



1 FRONT ELEVATION
1/4" = 1' - 0"

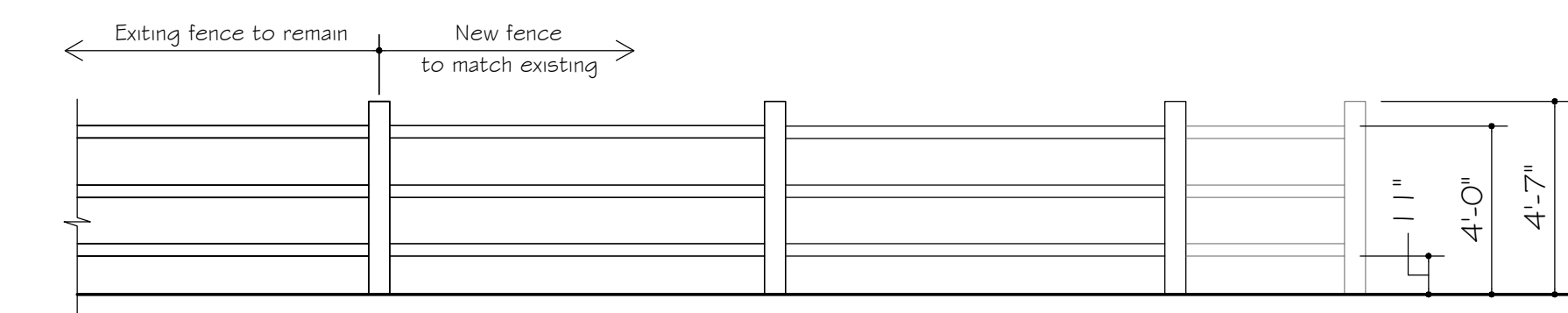


2 SIDE ELEVATION
1/4" = 1' - 0"

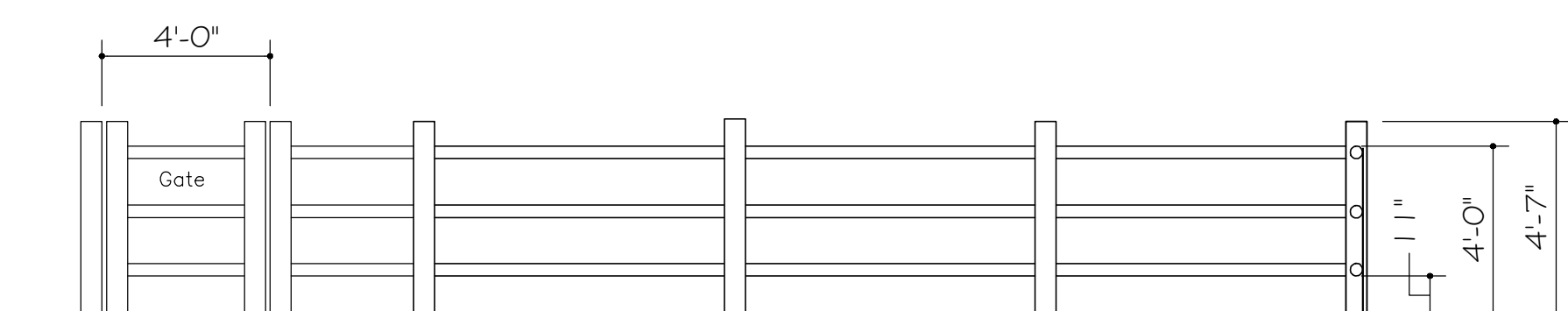


3 SECTION THRU DECK
1" = 1' - 0"

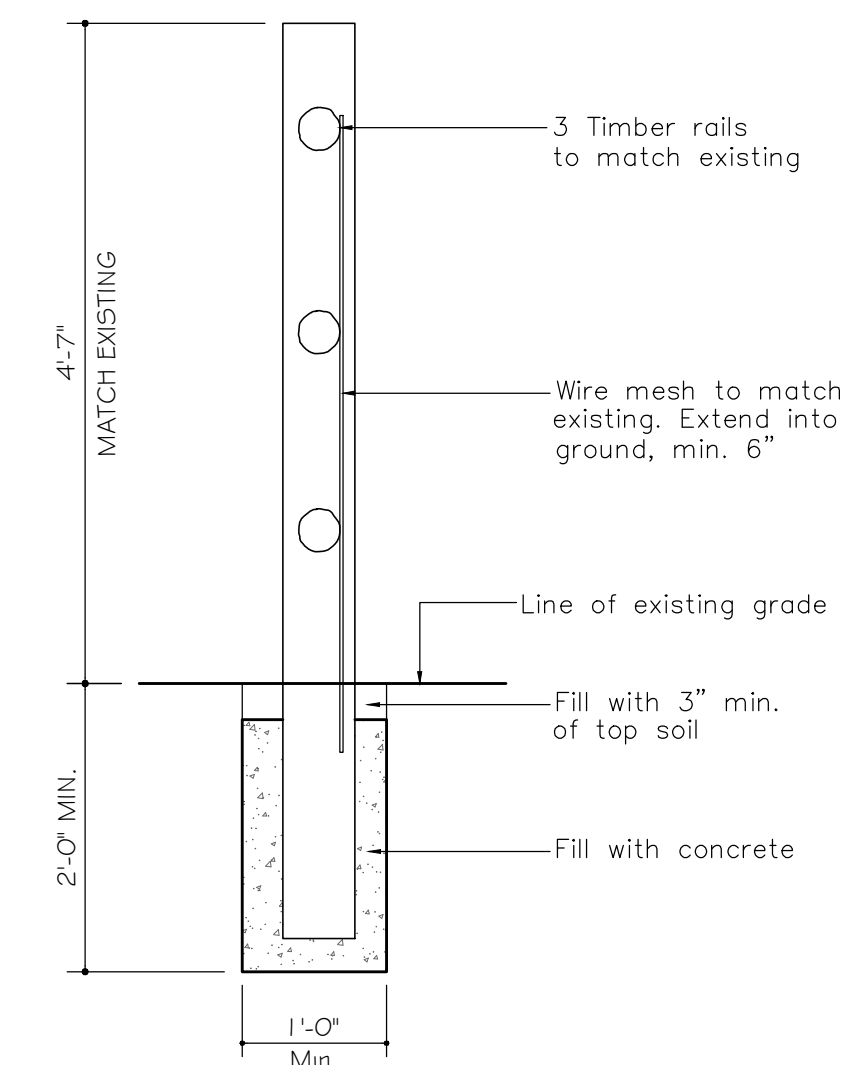
JOISTS HANGERS BY SIMPSON STRONG TIE
LUS26 FOR SINGLE 2x6 JOISTS
LUS26-2 FOR DOUBLE 2x6 JOISTS
BEAM BASE CONNECTORS BY SIMPSON STRONG TIE AS SHOWN ON PLANS
ABU66Z FOR (3) 2x6 BEAMS
ABU88Z FOR (4) 2x6 BEAM



5 FENCE ELEVATION
1/4" = 1' - 0"



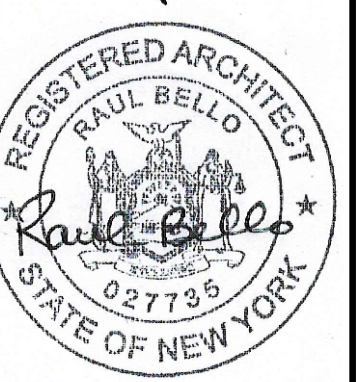
6 FENCE ELEVATION
1/4" = 1' - 0"



4 FENCE DETAIL
3/4" = 1' - 0"

Drawing Issue			
No.	Date	Description	By
1	9-30-20	For Building Permit	RB

Drawing Revisions			
No.	Date	Description	By



Bello Architecture, PLLC

36 New Street
Rye, New York 10580
Tel: 914-690-0870
Fax: 914-937-1968

Project:
Solow Residence
8 Colonial Court
Armonk, NY 10504

Sheet Title:
Elevations, Sections & Details

Scale As Noted	Project No. 20115
Date 9/30/20	Sheet No. A-102
Drawn By RB	