

KLEIN POOL HOUSE

2 DOUGLAS LANE . ARMONK . NEW YORK

PERMIT SET
OCTOBER 20, 2020

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CLIENT:

MR. & MRS. KLEIN
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DRAWING LIST

- ARCHITECTURAL:**
- TITLE SHEET
SITE PLAN SHEET 1
SITE PLAN SHEET 2
- A100 POOL HOUSE FOUNDATION & ROOF PLANS PLANS
A101 POOL HOUSE FLOOR PLAN
A200 POOL HOUSE EXTERIOR ELEVATIONS
A300 POOL HOUSE SECTIONS
- ELECTRICAL:**
- E100 ELECTRICAL/ LIGHTING FLOOR PLAN

CONTRACTOR

MEADOWBROOK CONTRACTING INC.
8 WEST FARM LANE
NEW FAIRFIELD, CT 06812
JOSEPH A. INGARO

CONSULTANTS

STRUCTURAL ENGINEER
GNCB CONSULTING ENGINEERS, PC
130 ELM ST., OLD SAYBROOK, CT 06475
860-388-1224
brown@gncengineers.com

STRUCTURAL

S1 STRUCTURAL

GENERAL NOTES

- VERIFY ALL DIMENSIONS IN FIELD. ALL DIMENSIONS SHOULD BE READ OR CALCULATED NEVER SCALED (DO NOT SCALE DRAWINGS.) CONTRACTOR SHALL INSPECT SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO STARTING WORK. THE CONTRACTOR TO FURNISH ALL ITEMS REQUIRED FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK.
- WORK SHALL BE IN COMPLIANCE PER R602.10 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE, THE NATIONAL ELECTRIC CODE (LATEST EDITIONS) AND ANY LOCAL CODES AND ORDINANCES HAVING JURISDICTION.
- CONTRACTOR SHALL SECURE SITE AT NIGHT AND TAKE NECESSARY PRECAUTIONARY MEASURES.
- CONTRACTOR TO COORDINATE ALL TRADES AND IS RESPONSIBLE FOR REMOVAL OF CONSTRUCTION DEBRIS OFF SITE.
- CONTRACTOR OR OWNER SHALL OBTAIN, FILE AND PAY FOR ALL NECESSARY PERMITS.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT. ON THIS BASIS, THE CONTRACTOR SHALL CONFIRM ALL FINISHES WITH THE OWNER BEFORE SUBMITTING ANY BIDS OR STARTING CONSTRUCTION.
- ALL WOOD TRIM SHALL BE NO. 2 OR BETTER. CONTRACTOR SHALL FILL ALL HOLES AND PREPARE FOR PAINTING.
- PROVIDE METAL FLASHING AT WINDOW AND DOOR HEADS, JAMBS AND SILLS.
- ALL GLASS WITHIN 18" OF FINISH FLOOR, 60" OFF FINISH FLOOR AT STAIR LOCATIONS, OR ABOVE BATHTUBS TO BE TEMPERED.
- DRAWINGS PREPARED FOR THIS PROJECT ARE AND SHALL REMAIN THE PROPERTY OF SANIEE ARCHITECTS AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE OR PROJECT WITHOUT PRIOR WRITTEN PERMISSION.
- ALL FINISHES, HARDWARE, EQUIPMENT AND MATERIALS NOT INDICATED HEREIN ARE TO BE AS PER THE OWNERS SPECIFICATION BUT NOT LESS IN STRENGTH OR QUALITY THAN THAT REQUIRED BY CODE.
- SITE ENGINEERING AND ALL MECHANICAL, PLUMBING AND ELECTRICAL ENGINEERING NEED TO MEET ALL NATIONAL AND LOCAL CODES AS REQUIRED.
- PROVIDE INSULATION PER 2015 INTERNATIONAL RESIDENTIAL CODE FOR MIN. R-VALUES, PROVIDE SPRAY FOAM INSULATION. USE FOAM INSULATION AND SEAL AROUND ALL WINDOWS AND DOORS.
- ALL WINDOWS, DOORS, & SKYLIGHTS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND MEET ALL APPLICABLE BUILDING CODES.
- ALL CHANGES OR DEVIATIONS MADE TO THE PLAN WITH OR WITHOUT THE OWNERS APPROVAL SHALL BE DONE AS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER.
- THESE NOTES ARE SUPPLEMENTARY TO THOSE FOUND ON OTHER DRAWINGS.
- G.C. SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS.
- G.C. SHALL CONFIRM COMPATIBILITY OF SITE TO CONSTRUCTION DOCUMENTS AND FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION.
- ALL WOOD, CONCRETE, & STEEL SHALL BE OF GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES.
- APPLICABLE CODES TAKE PRECEDENCE OVER DESIGN DRAWINGS.
- ALL DIMENSIONS REFERENCE OUTSIDE FACE OF FOUNDATION WALL AND/OR FROM FRAMING CORE, UNLESS OTHERWISE NOTED ON DOCUMENTS.

ALL WORK IS IN COMPLIANCE WITH ALL REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND ALL REQUIREMENTS OF THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE. RES check Compliance Certificate Attached.

DESIGN REQUIREMENTS FOR THE 2015 INTERNATIONAL RESIDENTIAL CODE AND THE 2016 NEW YORK STATE SUPPLEMENT VILLAGE OF SCARSDALE CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA PER Table R301.2(1)

GROUND SNOW LOAD	WIND DESIGN			SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	
	SPEED (MPH)	TOPO-GRAPHIC EFFECTS	SPECIAL WIND REGION		WEATHERING	FROST LINE DEPTH	TERMITE		
30 PSF	115-120 MPH	NO	YES	ZONE 1	C	SERVERE	42"	MODERATE/HEAVY	00.100
ICE BARRIER UNDERLAYMENT REQ'D		FLOOD HAZARDS		AIR FREEZING INDEX		MEAN ANNUAL TEMP			
YES		NO		1500 OR LESS		52.2 F			

INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT PER 2015 INTERNATIONAL ENERGY CONSERVATION CODE Table N1102.1.2 (402.1.2)

CLIMATE ZONE	FENEST-RATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED-FENEST-RATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB WALL & DEPTH	CRAWL SPACE WALL R-VALUE
4A	0.35	0.55	0.40	49	20 or 13+5	8/13"	19	10/13"	10, 2 ft	10/13"

Notes: R-value are minimums
* The first R-value applies to continuous insulation, the second to framing cavity insulation; either meets the requirements

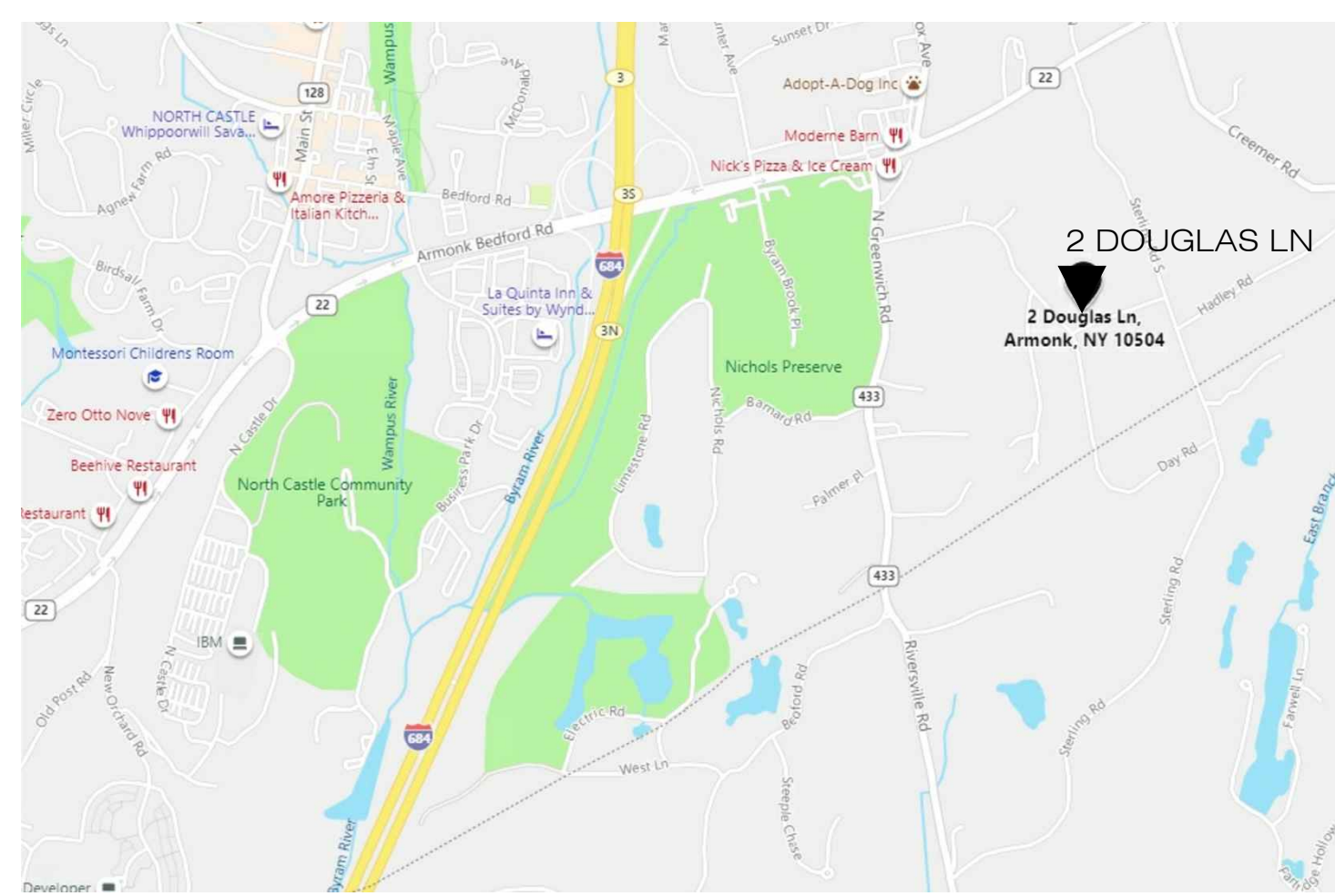
GENERAL NOTES (CONT. 1)

- COMPLIANCE WITH REQUIRED EMERGENCY ESCAPES AND RESCUE OPENINGS PER SECTION R310 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE. NET CLEAR OPENING NOT LESS THAN 5.7 SQ. FT. NET CLEAR OPENING NOT LESS THAN 5.0 SQ. FT. (GRADE FLOOR OR BELOW GRADE OPENINGS). THE NET CLEAR HEIGHT OF OPENING NOT LESS THAN 24 INCH AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES.
- COMPLIANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE SECTION R314.1 REQUIREMENTS FOR PROPER INSTALLATION OF SMOKE DETECTORS/ALARMS. NOTE: WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R314.3, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. SMOKE DETECTORS REQUIRED INSIDE ALL SLEEPING ROOMS AND OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH STORY OF THE DWELLING.
- COMPLIANCE WITH THE 2016 INTERNATIONAL RESIDENTIAL CODE SECTION R315.1 REQUIREMENTS FOR PROPER INSTALLATION OF CARBON MONOXIDE DETECTORS.
- CONCERNING PROPER FIRE SEPARATION BETWEEN MECHANICAL EQUIPMENT ROOM AND PROPOSED HABITABLE SPACE. THE EXISTING MECHANICAL ROOM IS TO ESSENTIALLY REMAIN AS-IS WITH THE EXISTING DOOR. HABITABLE SPACE (PLAYROOM) IS ONE ROOM REMOVED FROM THE MECHANICAL ROOM. HOWEVER, CONTRACTOR TO VERIFY THAT THERE IS PROPER VENTILATION AND COMBUSTION AIR FOR EXISTING MECHANICAL SPACE PER SECTION RM 1703 OF THE NYS RESIDENTIAL CODE AND PROVIDE INFORMATION ON TYPE OF EQUIPMENT, LOCATION AND EXISTING FLUE TO BE USED.
- PROVIDE DESIGN SOIL BEARING CAPACITY USED FOR FOOTING DESIGN PER SECTION R401 AND TABLE R401.4.1 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.
- MINIMUM FROST DEPTH OF FOOTING PER SECTION R403 (R403.1.4) AND TABLE R301.2(1) OF THE 2015 NYS RESIDENTIAL CODE IS 3'-6". THIS IS NOTED THROUGHOUT THE DOCUMENTS.
- DRAINAGE TO FOUNDATION WALLS SHALL BE PROVIDED AS PER REQUIREMENTS OF SECTION R405.1 OF THE NYS RESIDENTIAL CODE. THERE ARE EXISTING DRYWELLS ON THE PROPERTY, SEE SURVEY. REAR DRAINAGE RUNS TO DAYLIGHT AS PER R405.2.3 DRAINAGE SYSTEM.
- PROVIDE FOOTING REINFORCEMENT PER R403 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE
- WATERPROOFING TO BE PROVIDED TO FOUNDATION WALLS PER R408.1 OF THE NYS RESIDENTIAL CODE FROM TOP OF FOOTING TO FINISH GRADE, 3/8" MIN. W.P. PARING.
- PROVIDE MINIMUM 3,000 PSI CONCRETE COMPRESSIVE STRENGTH TO BE USED FOR BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER PER TABLE R402.2 FOR SEVERE WEATHERING POTENTIAL.
- PROVIDE MINIMUM 3,500 PSI CONCRETE COMPRESSIVE STRENGTH TO BE USED FOR PORCHES, CARPORTS SLABS AND STEPS EXPOSED TO THE WEATHER AND GARAGE FLOOR SLABS FOR COMPLIANCE WITH TABLE R402.2 FOR SEVERE WEATHERING POTENTIAL.
- PROVIDE HIGH WIND CONNECTIONS FOR ROOF FRAMING SYSTEM PER THE 2015 INTERNATIONAL RESIDENTIAL CODE.
- ALL CONNECTORS TO BE USED FOR PRESSURE TREATED LUMBER SHALL BE APPROVED FOR USE WITH ACO PRESSURE TREATED LUMBER.
- PROVIDE PROTECTION OF ADJOINING PROPERTY PER B3307.1 OF THE INTERNATIONAL BUILDING CODE THE STATE OF NEW YORK
- COMPLIANCE WITH THE 2015 INTERNATIONAL CODE R303.3 FOR BATHROOM VENTILATION.
- PROVIDE WINDOW FALL PROTECTION PER R312.2.1 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AS REQUIRED.
- FIREBLOCKING REQUIRED BETWEEN STORIES AT BALLOON FRAME CONSTRUCTION FROM FIRST TO THIRD FLOOR PER R302.11 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.
- COMPLIANCE WITH THE 2016 INTERNATIONAL RESIDENTIAL CODE REQUIREMENTS FOR PROPER COMBUSTION AIR AND DILUTION AIR FOR FIRE PLACES, FIREPLACE STOVES AND DIRECT VENT APPLIANCES SHALL BE IN ACCORDANCE WITH G2407.1.
- COMPLIANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE REQUIREMENTS FOR PROPER COMBUSTION AIR FOR MECHANICAL EQUIPMENT PER SECTION R308.1 OF THE 2015 I.R.C.
- PROVIDE HIGH WIND CONNECTIONS FOR ROOF FRAMING SYSTEMS PER THE 2015 IRC.

ABBREVIATIONS:

AC	AIR CONDITION	L	LENGTH
ACT	ACOUSTIC CEILING TILE	LOC	LEAD COATED COPPER
ADJ	ADJUSTABLE	LF	LINEAR FOOT
AF	ABOVE FINISHED FLOOR	LH	LEFT HAND
AL	ALTERNATE	LL	LINE LOAD
ALUM	ALUMINUM	LT	LEFT
AND	AND/ODD	MAX	MAXIMUM
APPROX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MFR	MANUFACTURER
AUTO	AUTOMATIC	MIN	MINIMUM
BD	BOARD	MISC	MISCELLANEOUS
BIT	BITUMINOUS	MO	MASONRY OPENING
BULK	BLOCKING	N	NORTH
BN	BENCHMARK	NAT	NATURAL
BTM	BOTTOM	NC	NOT IN CONTRACT
BRG	BRACING	NOM	NOW
BTWN	BETWEEN	NTS	NOT TO SCALE
CF	CUBIC FOOT	OA	OVERALL
CH	CAST-IN-PLACE	O.C.	ON CENTER
CM	CERAMIC Mosaic TILE	O.D.	OUTSIDE DIAMETER
CJT	CONTROL JOINT	OH	OVERHEAD
CL	CENTERLINE	OPP	OPPOSITE
CLG	CEILING	PERF	PERFORATED
CMU	CONCRETE MASONRY UNIT	PERIM	PERIMETER
CO	CASED OPENING	PL	PLATE
COL	COLUMN	PNL	PANTEE
CONC	CONCRETE	PT	PRESSURE TREATED
CONSTR	CONSTRUCTION	PNT	PAINT
CONTR	CONTRACTOR	PND	PRINTED
CONTR	CONTRACTOR	PTN	PARTITION
PVC	CERAMIC TILE	PVC	POLYVINYL CHLORIDE
CY	CUBIC YARD	PVG	PAVING
		PWD	PLYWOOD
		PLYWD	PLYWOOD
DA	DIAMETER	R	RISER
DWG	DRAWING	RD	ROOF DRAIN
DM	DIMENSION	REF	REFERENCE
DWG	DRAWING	REFL	REFLECT(ED), (VE), (OR)
E	EAST	REIN	REINFORCED(ED), (ING)
EACH	EACH	REQD	REQUIRED
EXT	EXT. INSULATION FINISH SYSTEM	REV	REVISION
EF	EXHAUST FAN	RH	RIGHT HAND
EJ	EXPANSION JOINT	RM	ROOM
EL	ELEVATION	RO	ROUGH OPENING
ELEC	ELECTRICAL	RV	ROUGH OPENING
ENCL	ENCLOSURE	RWL	RAINWATER LEADER
EQ	EQUAL	S	SOUTH
EQUIP	EQUIPMENT	SCHD	SCHEDULE
EXD	EXISTING	SD	STORM DRAIN
EXP	EXPOSED	SECT	SECTION
EXT	EXTERIOR	SF	SQUARE FOOT
FA	FIRE ALARM	SHTHG	SHEDDING
FD	FLOOR DRAIN	SM	SIMILAR
FE	FIRE EXTINGUISHER	SPEC(S)	SPECIFICATION(S)
FF	FINISH FLOOR	SPEC	SPECIFICATION
FL	FLOOR	SQ	SQUARE
FLX	FLEXIBLE	SS	STAINLESS STEEL
FR	FR	STD	STANDARD
FR	FIREPLACE	STR	STEEL
FR	FIREPROOFING	STRUC	STRUCTURE, STRUCTURAL
FRM	FRAME	SYM	SYMMETRICAL
FT	FOOT, FEET	T	TREAD
FX	FIXED	TBD	TO BE DETERMINED
GA	GAUGE	T&G	TOP AND BOTTOM
GALV	GALVANIZED	T&G	TONGUE AND GROOVE
GC	GENERAL CONTRACTOR	TEL	TELEPHONE
GL	GLASS, GLAZING	TEMP	TEMPERED
GYP	GYP-SUM WALLBOARD	THK	THICK(NESS)
GYP	GYP-SUM	THR	THRESHOLD
HB	HOSE BIBB	TOL	TOLERANCE
HW	HARDWOOD	TV	TELEVISION
HW	HOLLOW METAL	TYP	TYPICAL
HORIZ	HORIZONTAL	UC	UNDER COUNTER
HOUR	HOUR	UNFN	UNFINISHED
HT	HEIGHT	VERT	VERTICAL
HTC	HEATING	VF	VERIFY IN FIELD
HVAC	HEATING/VENTILATION&AIR COND.	VR	VAPOR RETARDER
ID	INSIDE DIAMETER	W	WEST
INCL	INCLUDED, INCLUDING	W/O	WITHOUT
INS	INSULATE, INSULATION	WM	WIRE MESH
INT	INTERIOR	WF	WATERPROOF(ING)
INT	JOINT	WTF	WEIGHT WELDED WIRE FABRIC

LOCUS



ZONING DATA: ZONE R-2A SINGLE FAMILY TAX LOT 20

ITEM	FORMULA	REQUIRED/ALLOWED	PROPOSED
BUILDING HT.	MAXIMUM	30 FT (2-1/2 STORIES)	-
LOT AREA	MINIMUM	2 ACRE	2.0002 acres (87,172 +/- SF)
FRONT YARD SETBACK	MINIMUM	50'	-
SIDE YARD SETBACK	MINIMUM	30'	-
REAR YARD SETBACK	MINIMUM	50'	-
REAR ACCESSORY BUILDING SETBACK	MINIMUM	50'	50'-0"
SIDE ACCESSORY BUILDING SETBACK	MINIMUM	30'	30'-4"

SYMBOLS

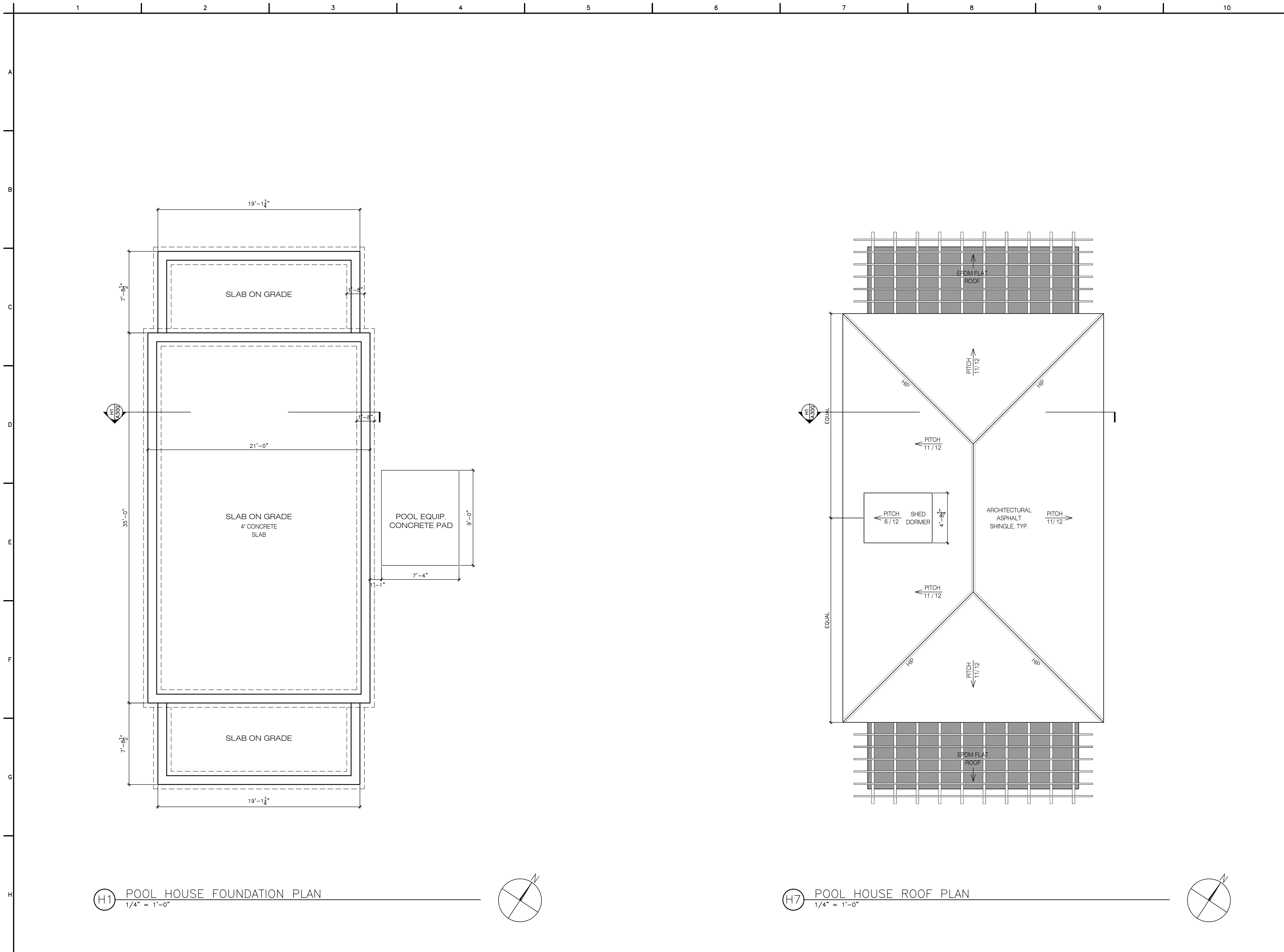
- ELEVATION LINE
- REVISION
- COLUMN LINE OR GRID
- BUILDING SECTION
- WALL SECTION
- DETAIL REFERENCE
- SHT LOCATION NUMBER
- SHEET NUMBER
- ELEVATION DESIGNATION

MATERIALS

- POROUS FILL
- CAST-IN-PLACE CONCRETE
- CONCRETE MASONRY UNIT
- SAND OR MORTAR
- WOOD (FINISH)
- PLYWOOD
- METAL
- BATT INSULATION
- ACOUSTICAL INSULATION
- RIGID INSULATION
- STONE
- FOAM INSULATION

GENERAL NOTES (CONT. 2)

- IF DIRECT VENT SYSTEM UTILIZED, PROVIDE DETAIL FOR EXIT TERMINALS OF MECHANICAL DRAFT AND DIRECT-VENTING SYSTEMS PER APPENDIX C OF THE 2015 INTERNATIONAL RESIDENTIAL CODE
- PROVIDE UL LISTINGS FOR FIREPLACES AND STOVES AND INDICATE COMPLIANCE WITH THE REQUIREMENTS OF CHAPTER 10 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.
- PROVIDE TIGHT-FITTING FLUE DAMPER OR DOORS, AND OUTDOOR COMBUSTION AIR FOR FIRE PLACES PER N1102.4.2 (R402.4.2) OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.
- HEIGHT OF CHIMNEY AND FLUE TERMINATIONS TO BE IN COMPLIANCE WITH THE REQUIREMENTS OF TABLE R1003.9 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE. MINIMUM 2 FT. HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FT. AND NOT LESS THAN 3 FT. ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- PER SECTION 3003.1.2 OF THE 2015 INTERNATIONAL BUILDING CODE, WHERE ONLY ONE ELEVATOR IS INSTALLED, THE ELEVATOR SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 60 SECONDS AFTER FAILURE OF NORMAL POWER.
- COMPLY WITH MANDATORY COMPONENTS PER THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE:
 - R401.3 PERMANENT CERTIFICATE
 - R402.2.4 ATTIC OR CRAWL SPACE ACCESS
 - R402.4 AIR LEAKAGE
 - R402.4.1.1 INSTALLATION
 - R402.4.1.2 TESTING
 - R402.4.4 COMBUSTION CLOSETS (EXCEPT DIRECT VENT APPLIANCES)
 - R402.403.3.2 DUCT SEALING
 - R403.3.3 DUCT TESTING (EXCEPT IF DUCTS AND HANDLERS ARE LOCATED WITHIN THE BUILDING ENVELOPE)
 - R403.3.5 BUILDING CAVITIES
 - R403.4 MECHANICAL SYSTEM PIPING INSULATION
 - R403.6 MECHANICAL VENTILATION
 - R403.7 EQUIPMENT SIZING
 - R404.1 LIGHTING



NOTES

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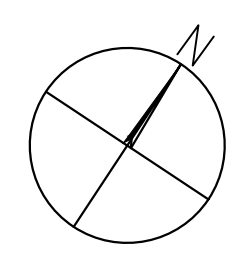
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 ARMONK, NY

POOL HOUSE FOUNDATION & ROOF PLANS

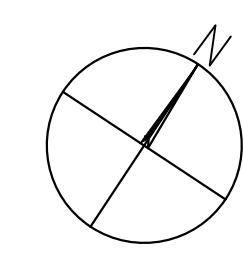
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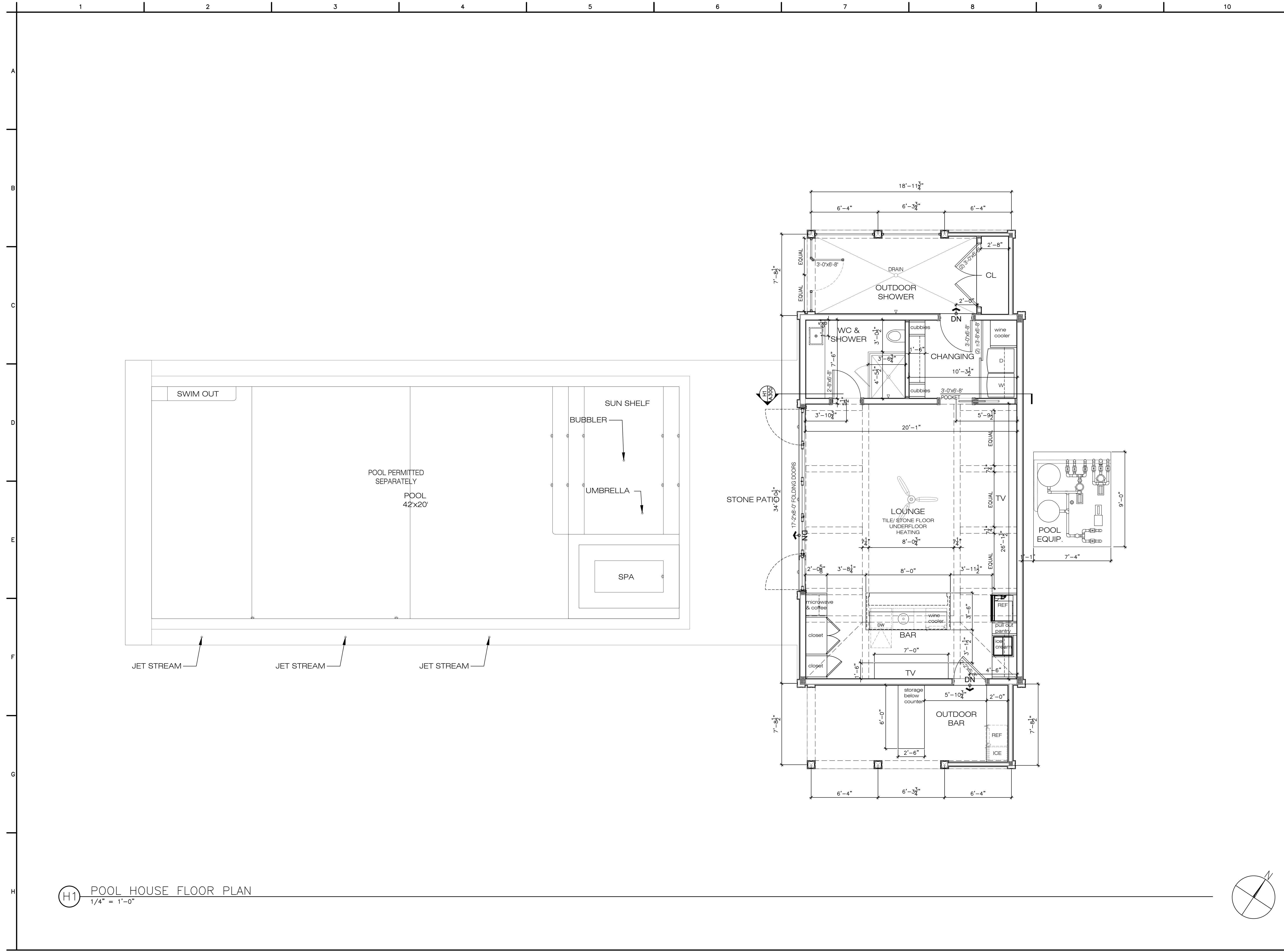
SHEET
A100

H1 POOL HOUSE FOUNDATION PLAN
 1/4" = 1'-0"



H7 POOL HOUSE ROOF PLAN
 1/4" = 1'-0"





NOTES

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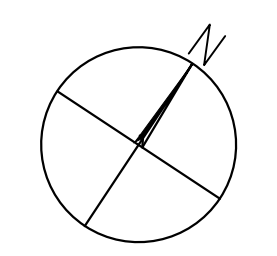
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POOL HOUSE FLOOR PLAN

DRAWN BY	MK	DATE	09/04/2020
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SHEET
A101

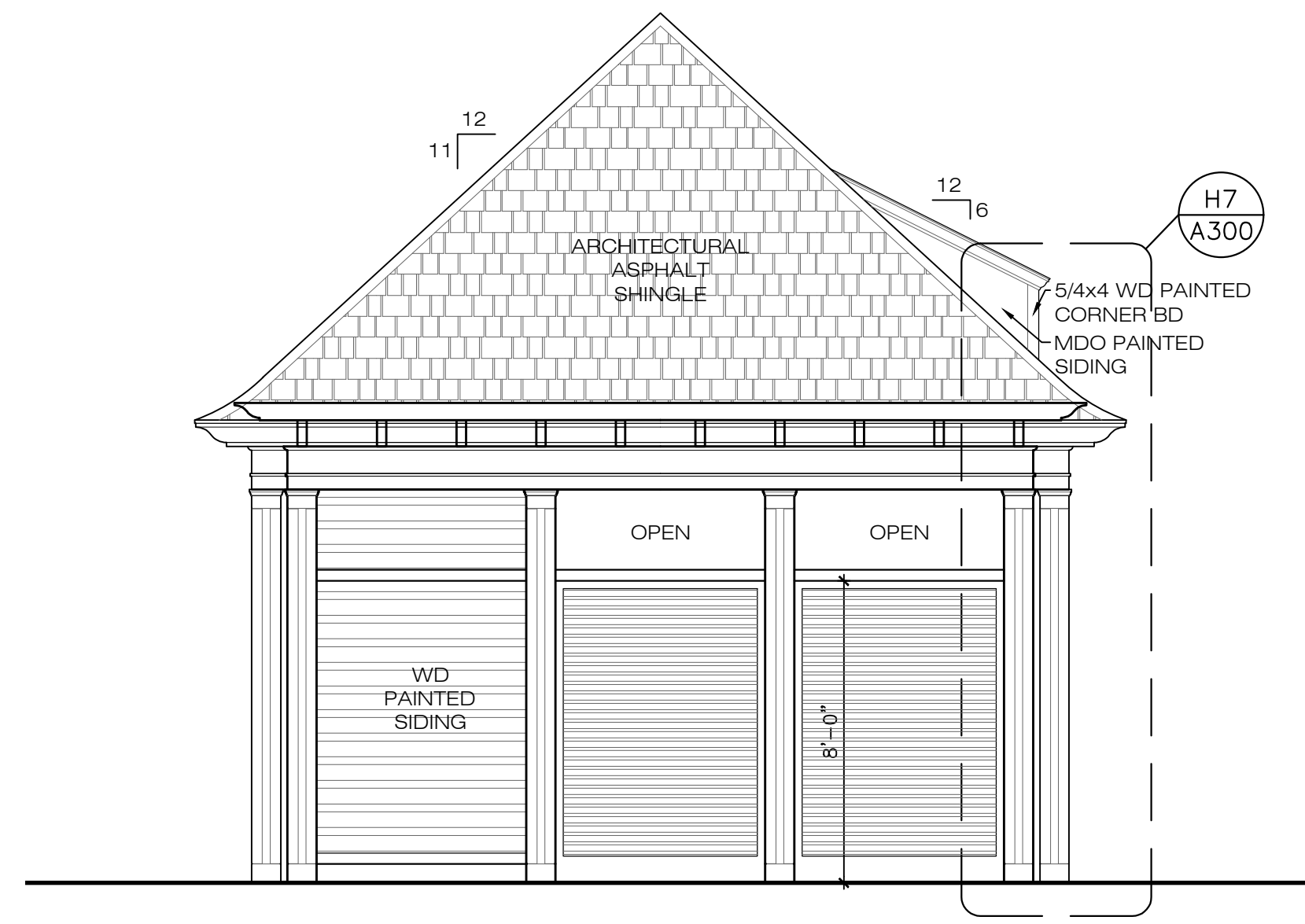
(H1) POOL HOUSE FLOOR PLAN
 1/4" = 1'-0"



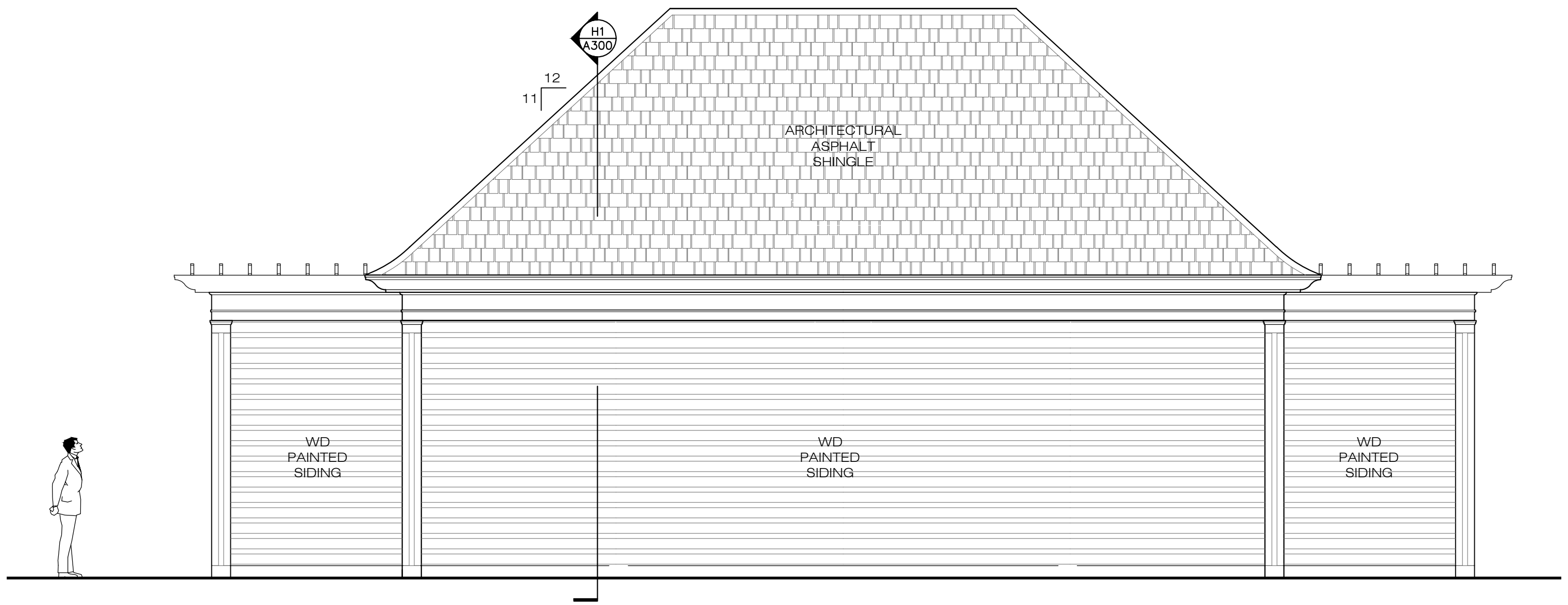
1 2 3 4 5 6 7 8 9 10

A
B
C
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E
F
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H

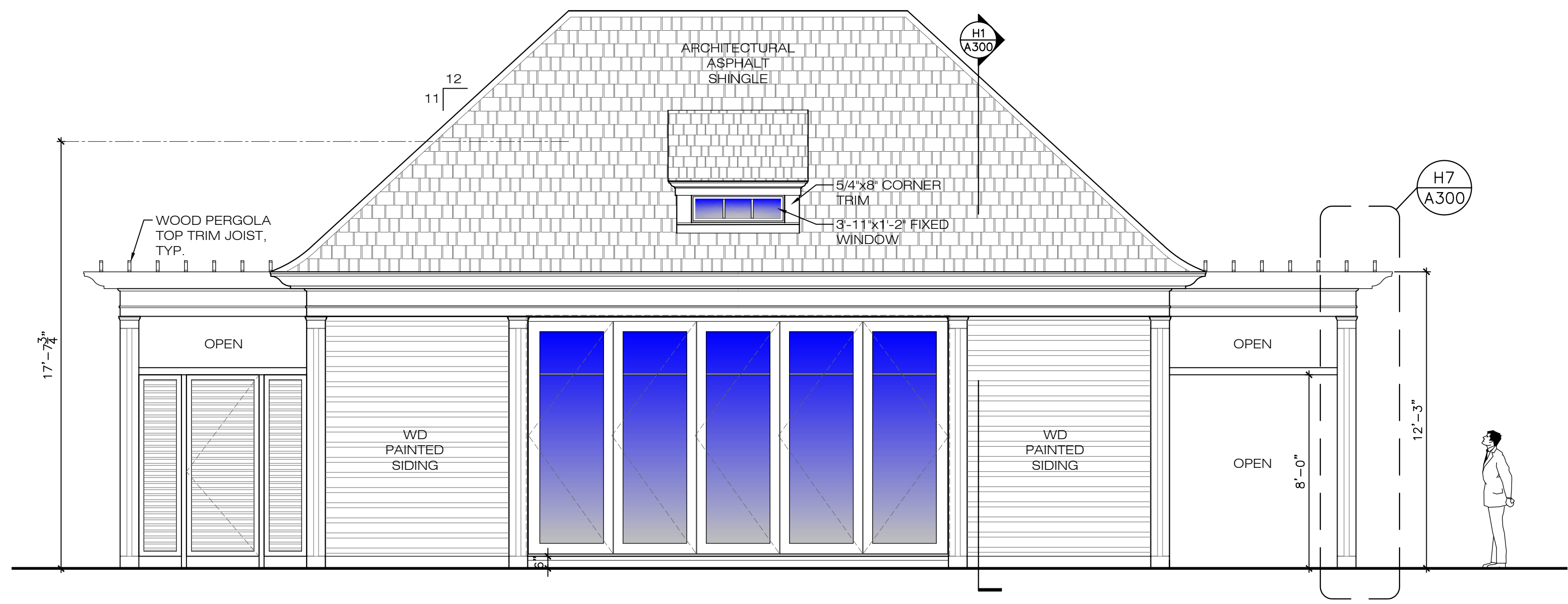
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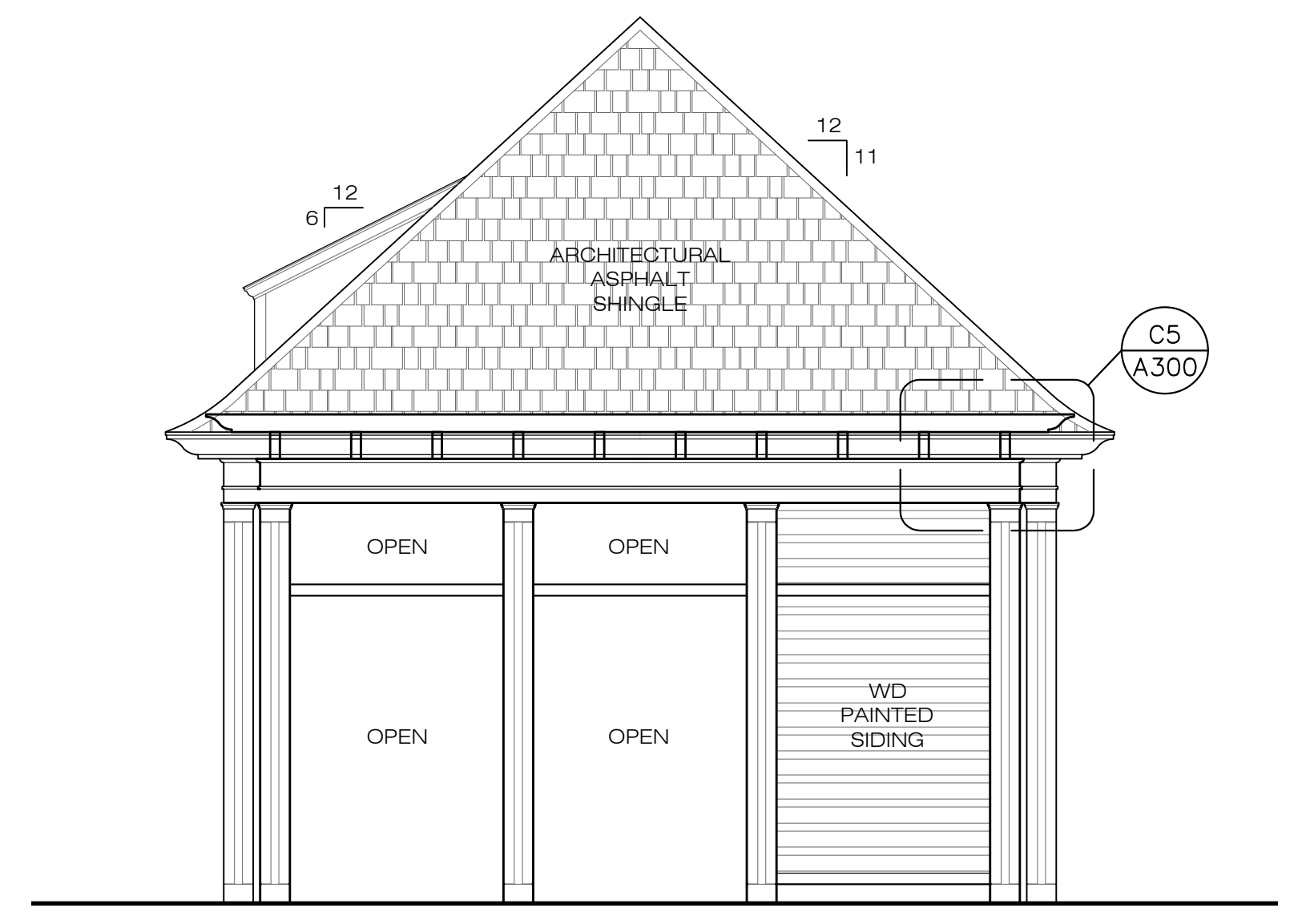
D1 NORTH ELEVATION
1/4" = 1'-0"



D5 EAST ELEVATION
1/4" = 1'-0"



H1 WEST ELEVATION
1/4" = 1'-0"



H7 SOUTH ELEVATION
1/4" = 1'-0"

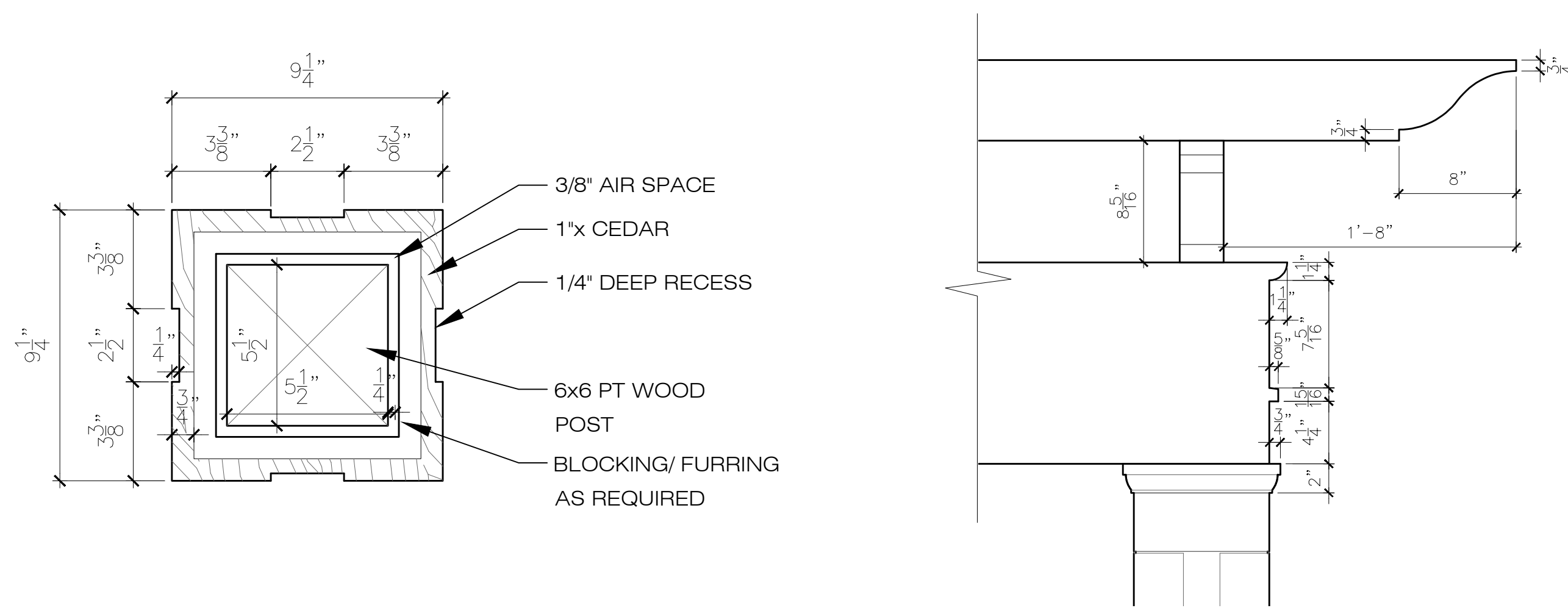
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POOL HOUSE EXTERIOR ELEVATIONS

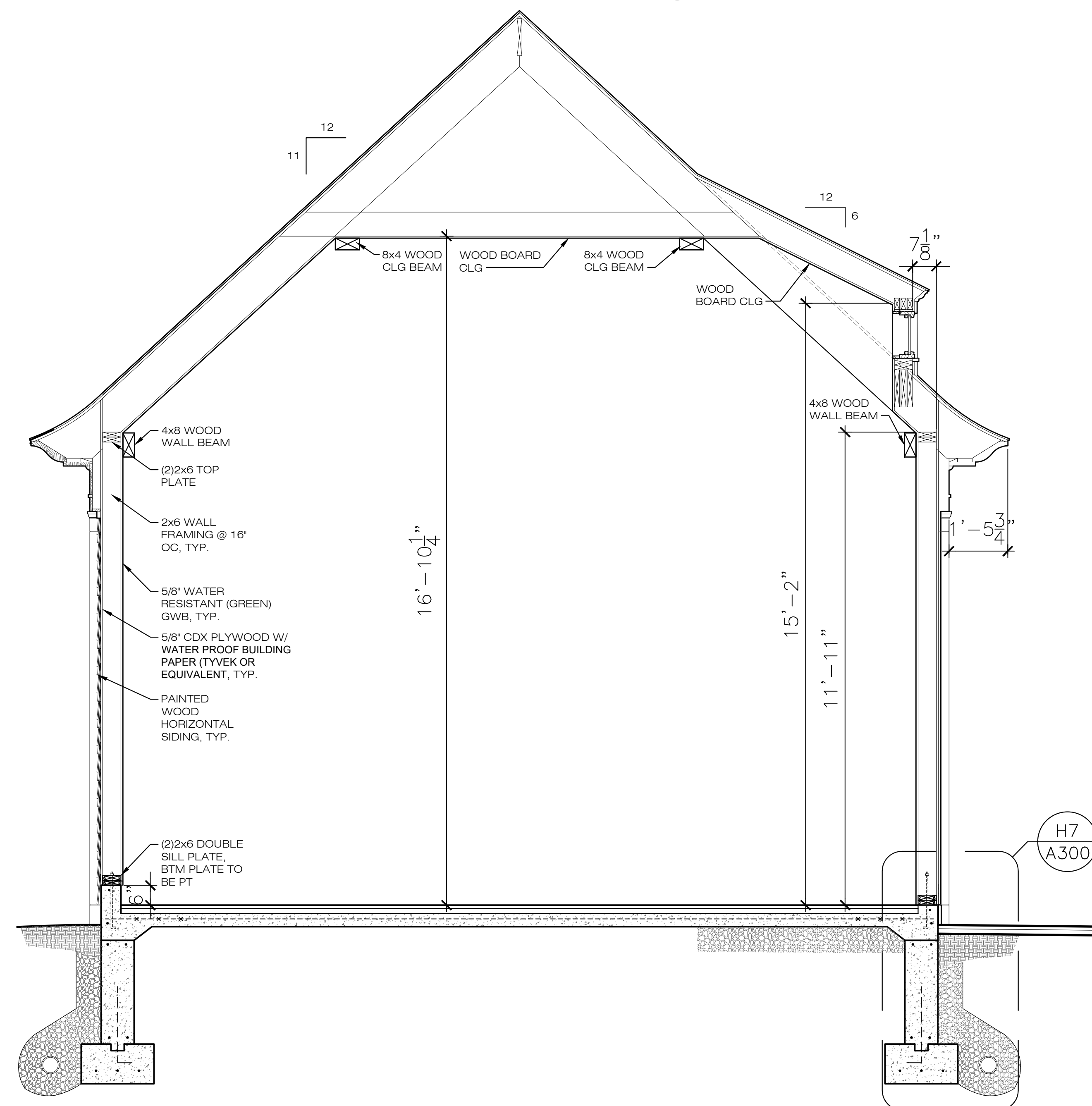
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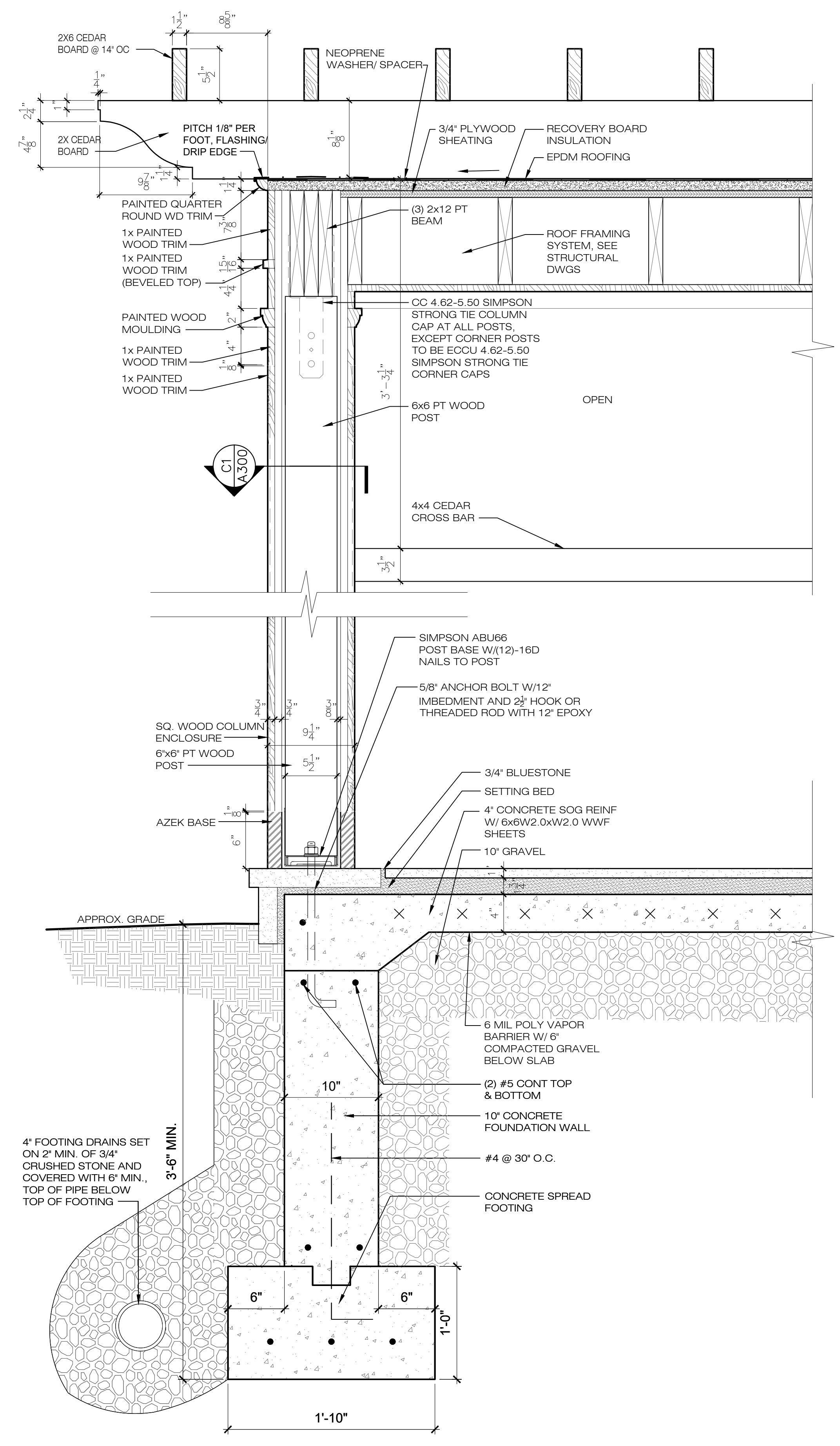


C1 COLUMN PLAN DETAIL
3" = 1'-0"

C1 PERGOLA ELEVATION DETAIL
1 1/2" = 1'-0"



H1 CROSS SECTION
1/2" = 1'-0"



H7 SECTION AT COLUMN
1 1/2" = 1'-0"

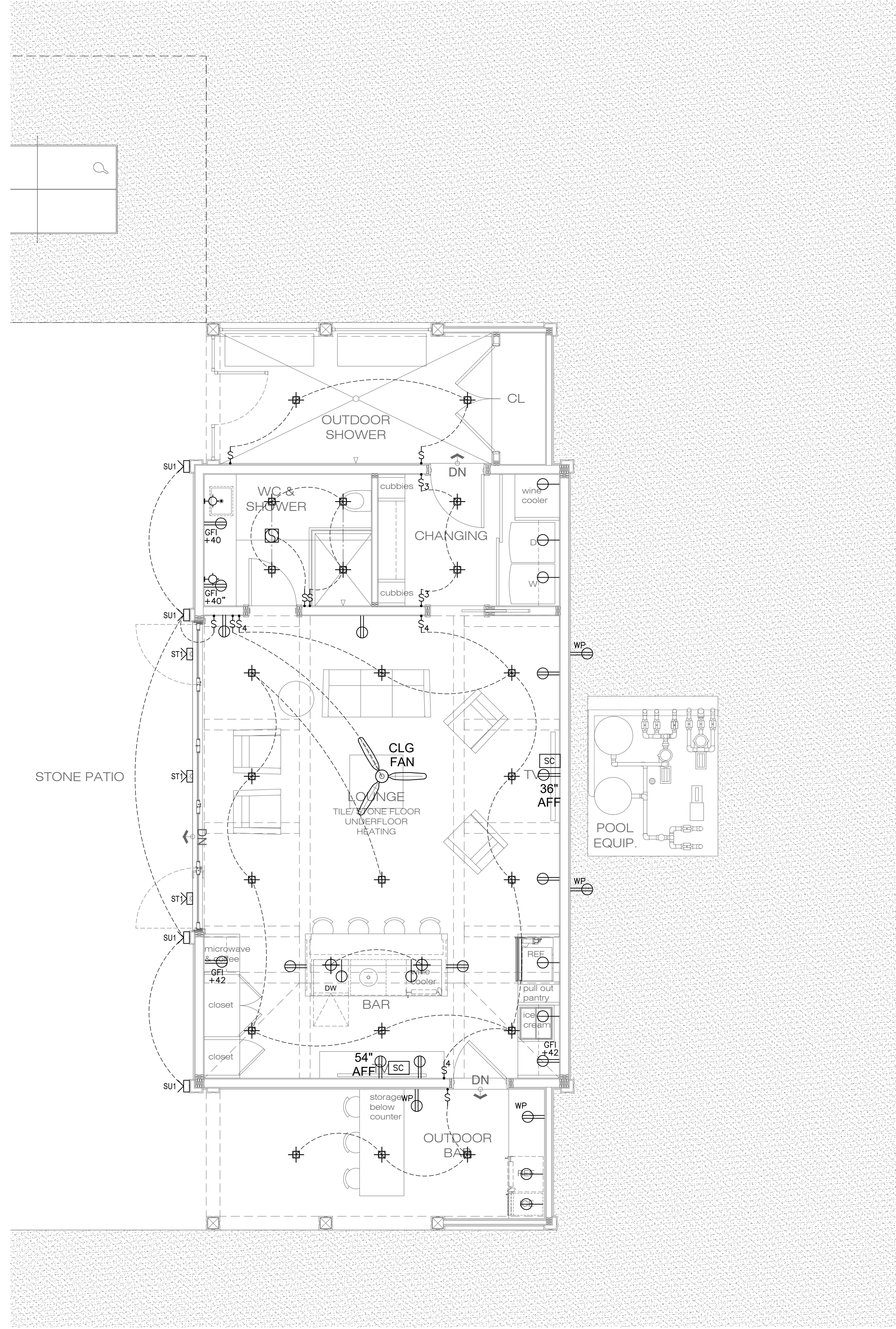
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POOL HOUSE SECTIONS

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SHEET	
A300	



ELECTRICAL & LIGHTING LEGEND	
SYMBOL	DESCRIPTION
	RECESSED LIGHT FIXTURE
	DIRECTIONAL RECESSED LIGHT FIXTURE
	SURFACE OR PENDANT LIGHT
	WALL MOUNTED LIGHT FIXTURE
	UNDER CABINET LIGHT
	LINEAR LED COVE LIGHT
	4' LONG LINEAR SURFACE UTILITY; LED TUBULAR LAMP
	HANGING LIGHT ROD
	LED TAPE LIGHT FIXTURE
	SINGLE POLE SWITCH: MOUNTED @ 48" AFF
	THREE WAY SWITCH: MOUNTED @ 48" AFF
	FOUR WAY SWITCH: MOUNTED @ 48" AFF
	JAMB SWITCH: MOUNTED @ 48" AFF
	SWITCH WITH MOTION DETECTOR: MOUNTED @ 48" AFF
	SINGLE RECEPTACLE
	DUPLEX RECEPTACLE. "H" DESIGNATES MOUNTING HEIGHT
	WEATHERPROOF DUPLEX RECEPTACLE
	DUPLEX RECEPTACLE, GROUND FAULT INTERRUPTER
	PLUGMOLD RECEPTACLES; OUTLETS @ 6" O.C.
	DUPLEX OUTLET; HALF SWITCHED
	FLOOR DUPLEX W. RECESSED HOUSING FOR PLUG
	EXHAUST FAN VENT LOCATION- FAN LOCATED REMOTELY
	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR COMBO
	MOTION DETECTOR
	ELECTRICAL PANEL/SUBPANEL
	STRUCTURED CABLE OUTLET: 2 COAX, 2 CAT6 BUNDLE
	UPLIGHT: MINIMIS
	UPLIGHT: MINIMIS

- ELECTRICAL NOTES:**
1. ALL WORK IS TO CONFORM TO CURRENT STATE AND LOCAL ELECTRICAL CODE.
 2. RECEPTACLES SHOWN ON THIS DRAWING ARE IN ADDITION TO WHAT THE CODE REQUIRES. THOSE INDICATED ON THE DRAWING SHOW THE DESIRED LOCATIONS. GO TO CONFIRM THE EXACT LOCATION ON SITE WITH ARCHITECT.
 3. ALL NEW RECESSED LIGHT FIXTURES ARE TO BE LED LOCATIONS ARE TO BE MARKED AND THEN CONFIRMED ON SITE WITH THE ARCHITECT.
 4. ALL LINEAR COVE LIGHTS ARE TO BE LED.
 5. ALL SURFACE MOUNTED FIXTURES, PENDANT AND SCONES ARE TO BE SUPPLIED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.
 6. ALL THE FIXTURES LOCATIONS HAVE BEEN DRAWN TO SCALE IN AN EFFORT TO CLARIFY THEIR PLACEMENT. IN THE EVENT THAT THERE IS CONFLICT BETWEEN STRUCTURE OR DUCTWORK AND THE FIXTURE LOCATIONS, CONSULT THE ARCHITECT FOR THE BEST ALTERNATE POSITION.
 7. ALL SCONE HEIGHTS ARE TO BE DETERMINED ON SITE AFTER THE EXACT FIXTURES HAVE BEEN SELECTED.
 8. VERIFY AND UPGRADE ELECTRICAL PANELS AS REQUIRED FOR NEW ELECTRICAL LOADS.
 9. ELECTRICAL WORK INCLUDES ALL WIRING FOR NEW HVAC EQUIPMENT AND SUB-PANEL, IF REQUIRED, FOR THE NEW WORK.
 10. ALL COMBINATION SMOKE/CARBON MONOXIDE DETECTORS TO BE MOUNTED PER MANUFACTURER'S SPECIFICATIONS AND PER FIRE CODE.
 11. DIMMER SWITCH FOR ALL LIGHTING, UNLESS OTHERWISE NOTED
 12. GFI OUTLETS ARE TO BE PROVIDED WHERE REQUIRED BY CODE.

SANIBE ARCHITECTS LLC.
 36 West Putnam Ave. Greenwich, CT 06830
 P: (203) 625-9308 F: (203) 625-0080
 www.sanibearchitects.com

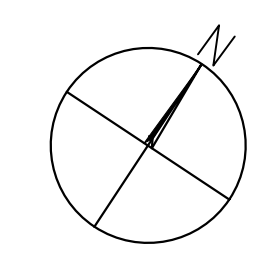
KLEIN RESIDENCE
 ARMONK, NY

POOL HOUSE ELECTRICAL/ LIGHTING PLAN

DRAWN BY: MK	DATE: 09/04/2020
CHECKED BY: MS	SCALE: AS NOTED

SHEET
E100

(H1) POOL HOUSE ELECTRICAL/ LIGHTING PLAN
 1/4" = 1'-0"





TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 2 DOUGLAS LANE, ARMONK, NY 10504

Section III- DESCRIPTION OF WORK:

INSTALLATION OF SWIMMING POOL, POOL HOUSE, AND PATIO IN REAR YARD.

Section III- CONTACT INFORMATION:

APPLICANT: RAE KLEIN

ADDRESS: 2 DOUGLAS LANE, ARMONK, NY 10504

PHONE: _____ MOBILE: _____ EMAIL: _____

PROPERTY OWNER:

RAE KLEIN

ADDRESS: 2 DOUGLAS LANE, ARMONK, NY 10504

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: RALPH ALFONZETTI

ADDRESS: 1100 ROUTE 52, CARMEL, NY 10512

PHONE: 845-228-9800 MOBILE: _____

EMAIL: INFO@ALFONZETTIENG.COM

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 108.04-1-20



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

KLEIN RESIDENCE

Initial Submittal Revised Preliminary

Street Location:

2 DOUGLAS LANE, ARMONK, NY 10504

Zoning District: R-2A Property Acreage: 2.0012 Tax Map Parcel ID: 108.04-1-20

Date: 11/5/2020

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: KLEIN RESIDENCE Date: 11/5/2020

Tax Map Designation or Proposed Lot No.: 108.04-1-20

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 87,172.3160
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 13,422.3
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
24.46 x 10 = 244.6 244.6
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 13,666.9 S.F.
5. Amount of lot area covered by **principal building**:
3,850 S.F. existing + 0 proposed = 3,850 S.F.
6. Amount of lot area covered by **accessory buildings**:
0 existing + 1,063 S.F. proposed = 1,063 S.F.
7. Amount of lot area covered by **decks**:
1,093 S.F. existing + 0 proposed = 1,093 S.F.
8. Amount of lot area covered by **porches**:
0 existing + 0 proposed = 0
9. Amount of lot area covered by **driveway, parking areas and walkways**:
5,713 S.F. existing + 0 proposed = 5,713 S.F.
10. Amount of lot area covered by **terraces**:
0 existing + 626 S.F. proposed = 626 S.F.
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
159 S.F. existing + 1,100 S.F. proposed = 1,259 S.F.
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 13,604 S.F.

If Line 13 is less than or equal to Line 4 your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Engineering Worksheet

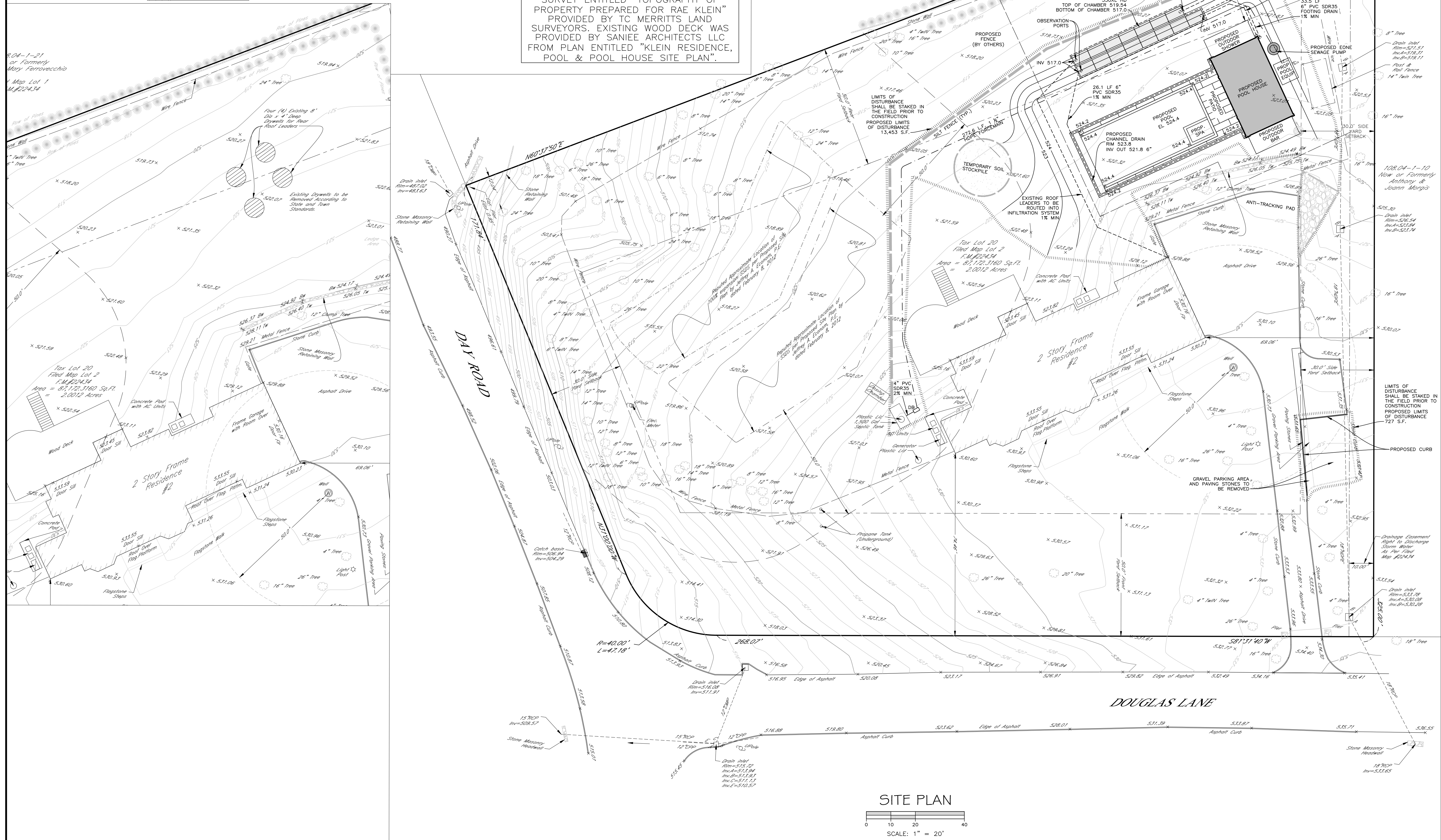


11/6/2020
 Date

DRYWELL DEMO PLAN

DEMO LEGEND	
	TO BE REMOVED

EXISTING FEATURES ARE TAKEN FROM SURVEY ENTITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR RAE KLEIN" PROVIDED BY TC MERRITS LAND SURVEYORS. EXISTING WOOD DECK WAS PROVIDED BY SANIEE ARCHITECTS LLC FROM PLAN ENTITLED "KLEIN RESIDENCE, POOL & POOL HOUSE SITE PLAN".



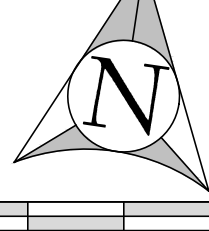
LOCATION MAP N.T.S.

ENGINEER SHALL INSPECT DRAINAGE PIPING AND INFILTRATION SYSTEM PRIOR TO BACKFILLING.


- CONSTRUCTION NOTES:**
1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
 2. THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
 3. EROSION AND SEDIMENT CONTROL MEASURES, SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
 4. AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
 5. ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
 7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
 8. UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
 9. ALL PROPOSED OR DISTURBED SLOPES, 1H:2V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
 10. IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
 11. NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.
 12. OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.



IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 700(2)(3), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

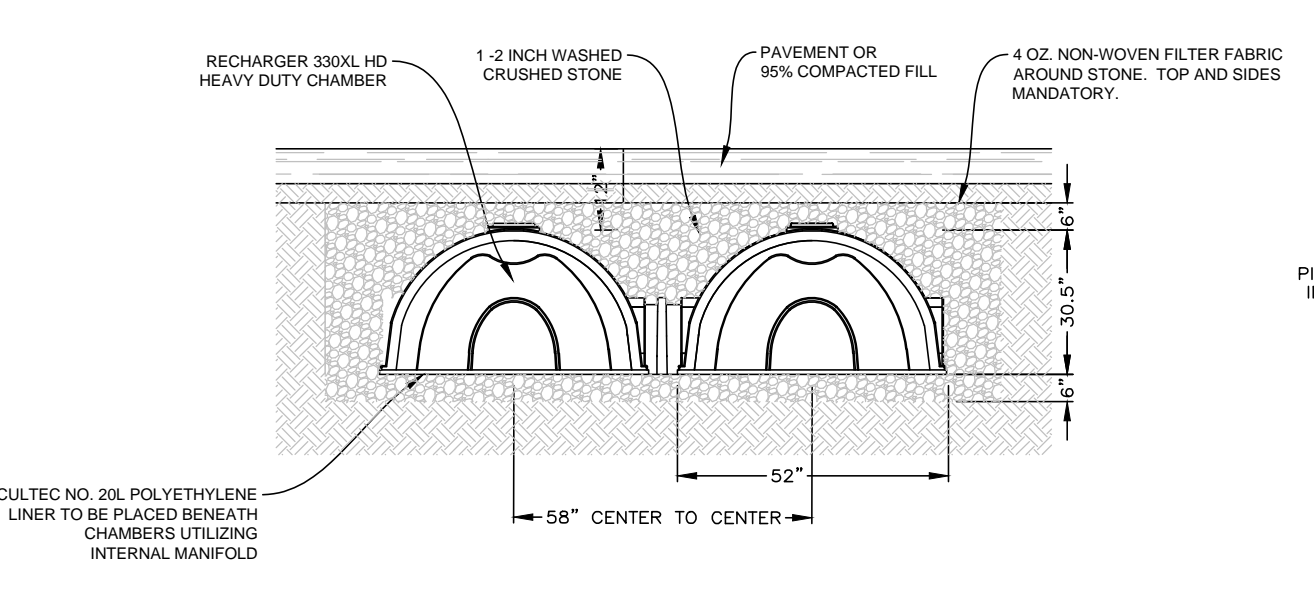


SCALE: 1" = 20'



ALFONZETTI ENGINEERING, P.C.
 1100 ROUTE 52, CARMEL, N.Y. 10512
 845 - 228 - 9800

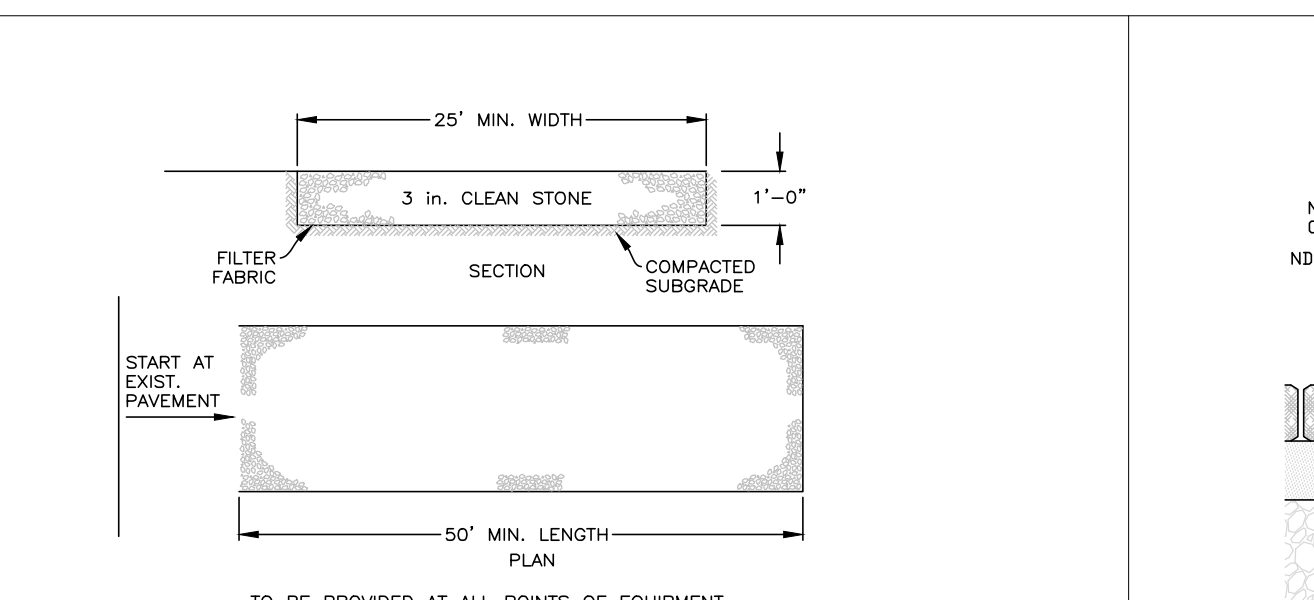
SITE DATA	
OWNER/APPLICANT:	RAE KLEIN
SITE ADDRESS:	2 DOUGLAS LANE, NORTH CASTLE, NEW YORK 10504
TAX MAP #:	108.04-1-20
LOT AREA:	2,0012 ACRES
ZONING:	R-2A
DRAWING:	PROPOSED POOL HOUSE
DATE:	NOVEMBER 5, 2020
PROJECT:	KLEIN RESIDENCE
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK	



GENERAL NOTES
 RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT
 STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT
 REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
 USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.
 CHAMBERS SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS

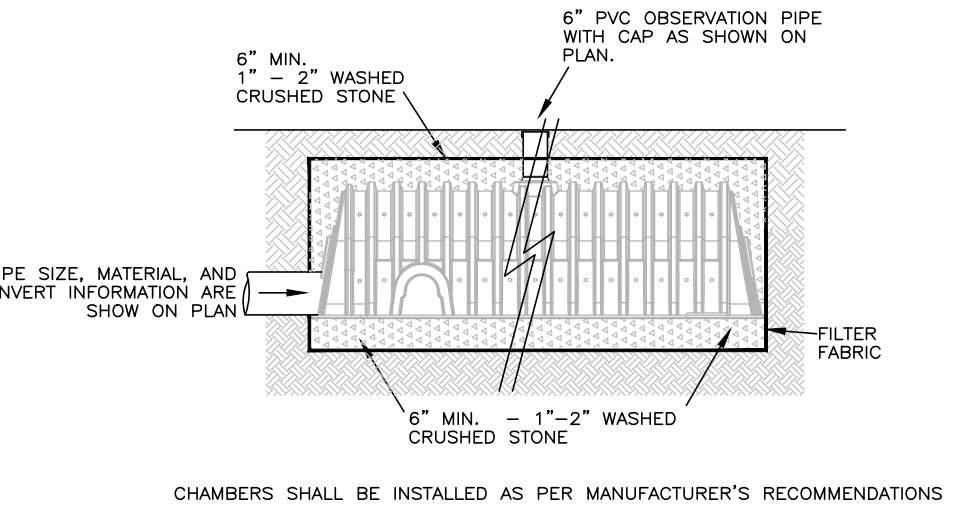
STORMWATER CHAMBER CROSS SECTION N.T.S.

STORMWATER CHAMBER INSTALLATION N.T.S.

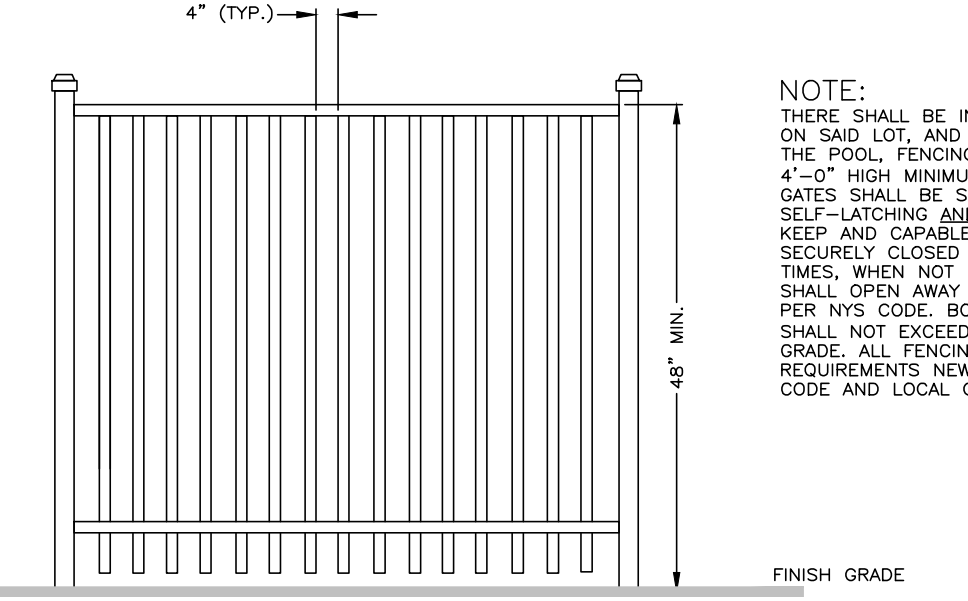


INSTALLATION NOTES
 1. STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY WHEN WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

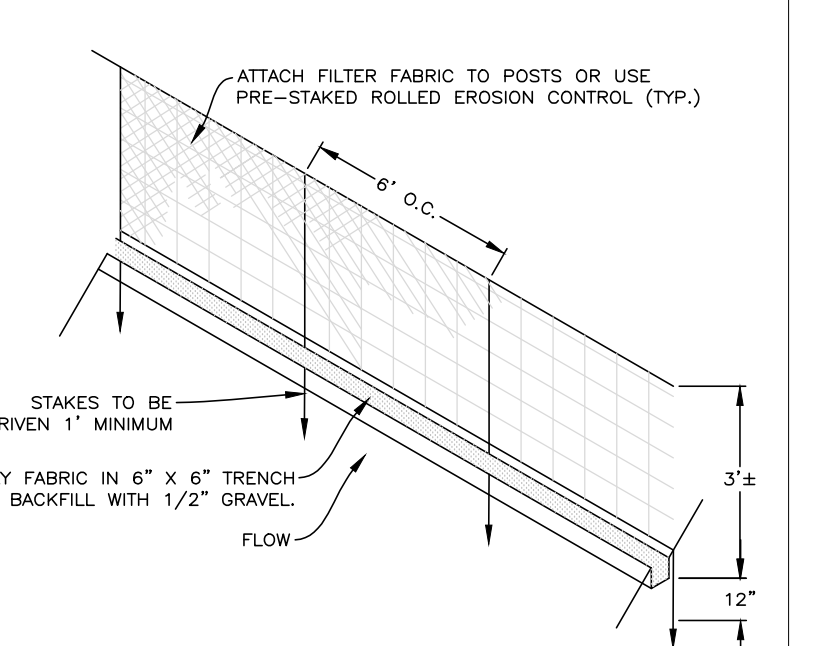
STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD) N.T.S.



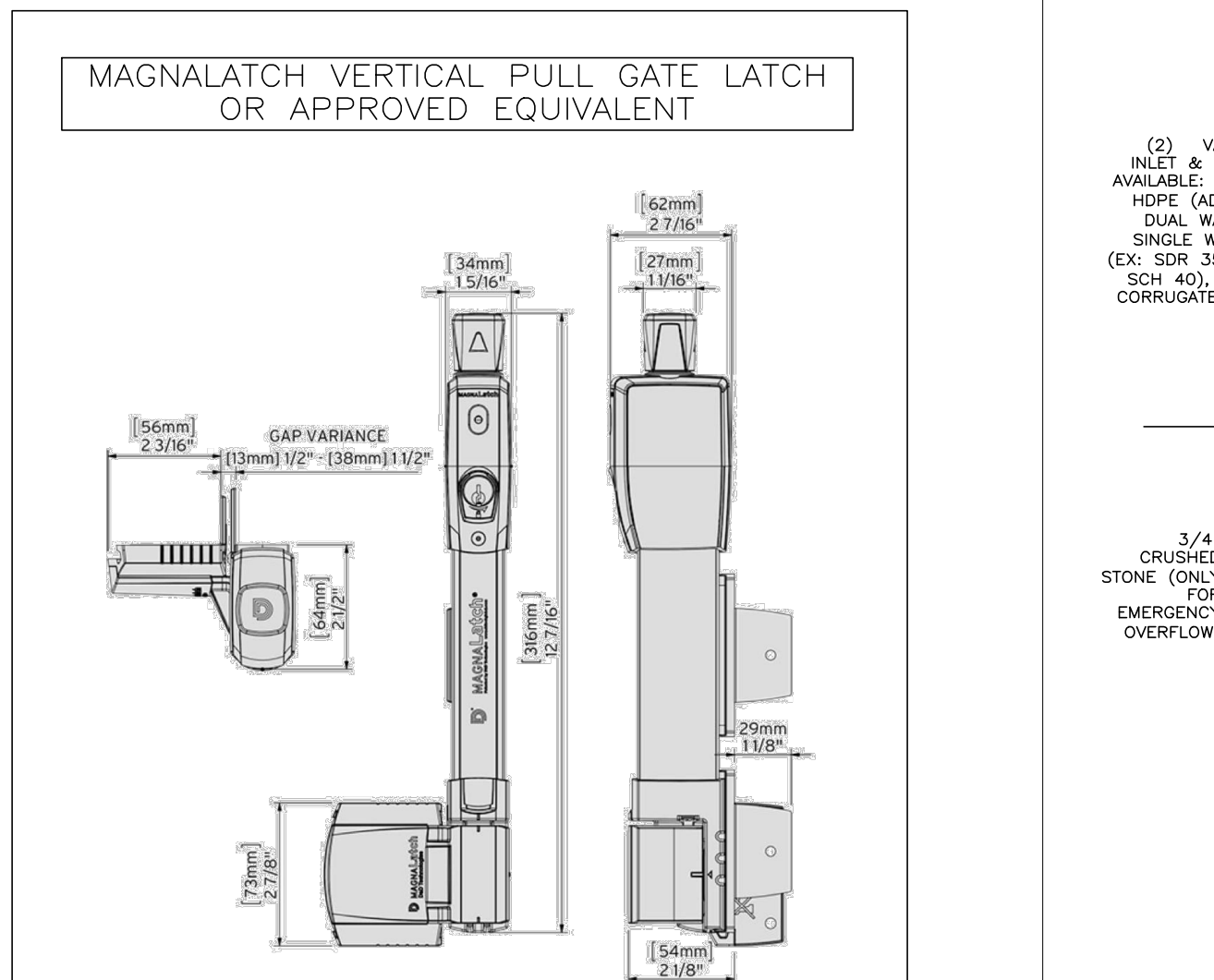
WALKWAY DETAIL N.T.S.



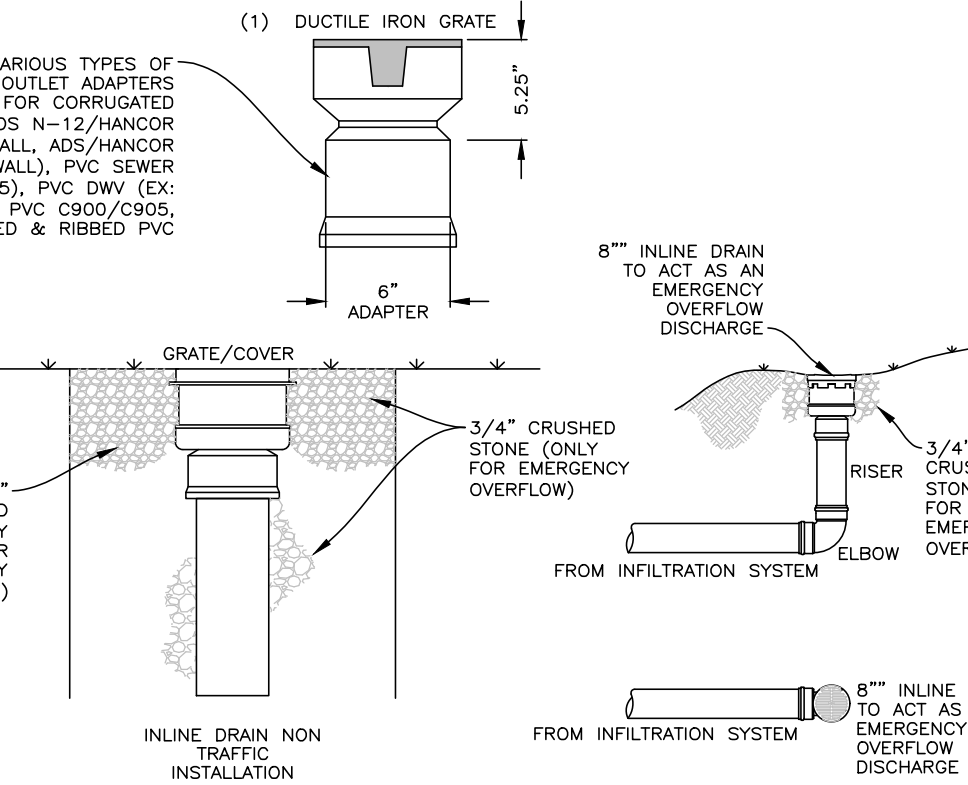
POOL FENCE DETAIL N.T.S. (OR APPROVED EQUAL)



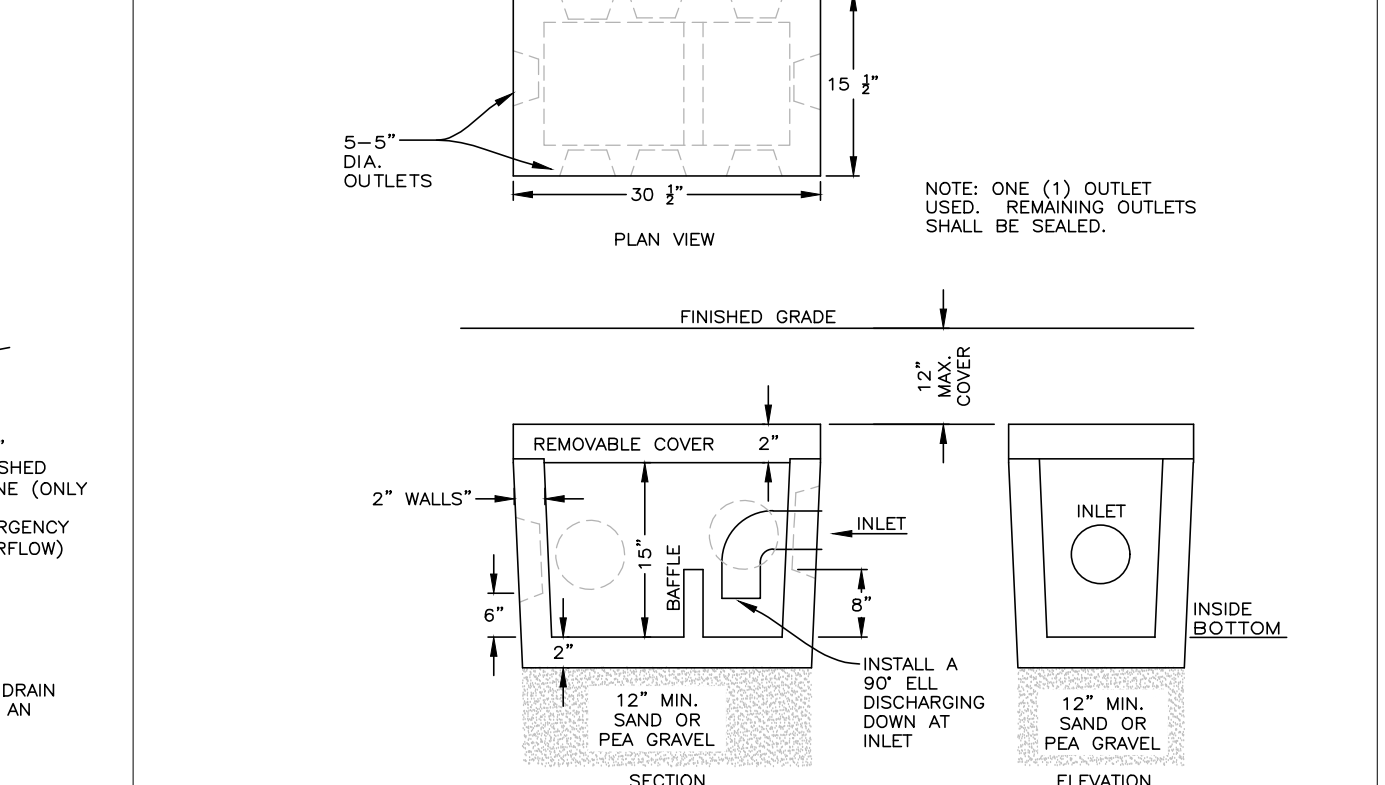
SILT FENCE N.T.S.



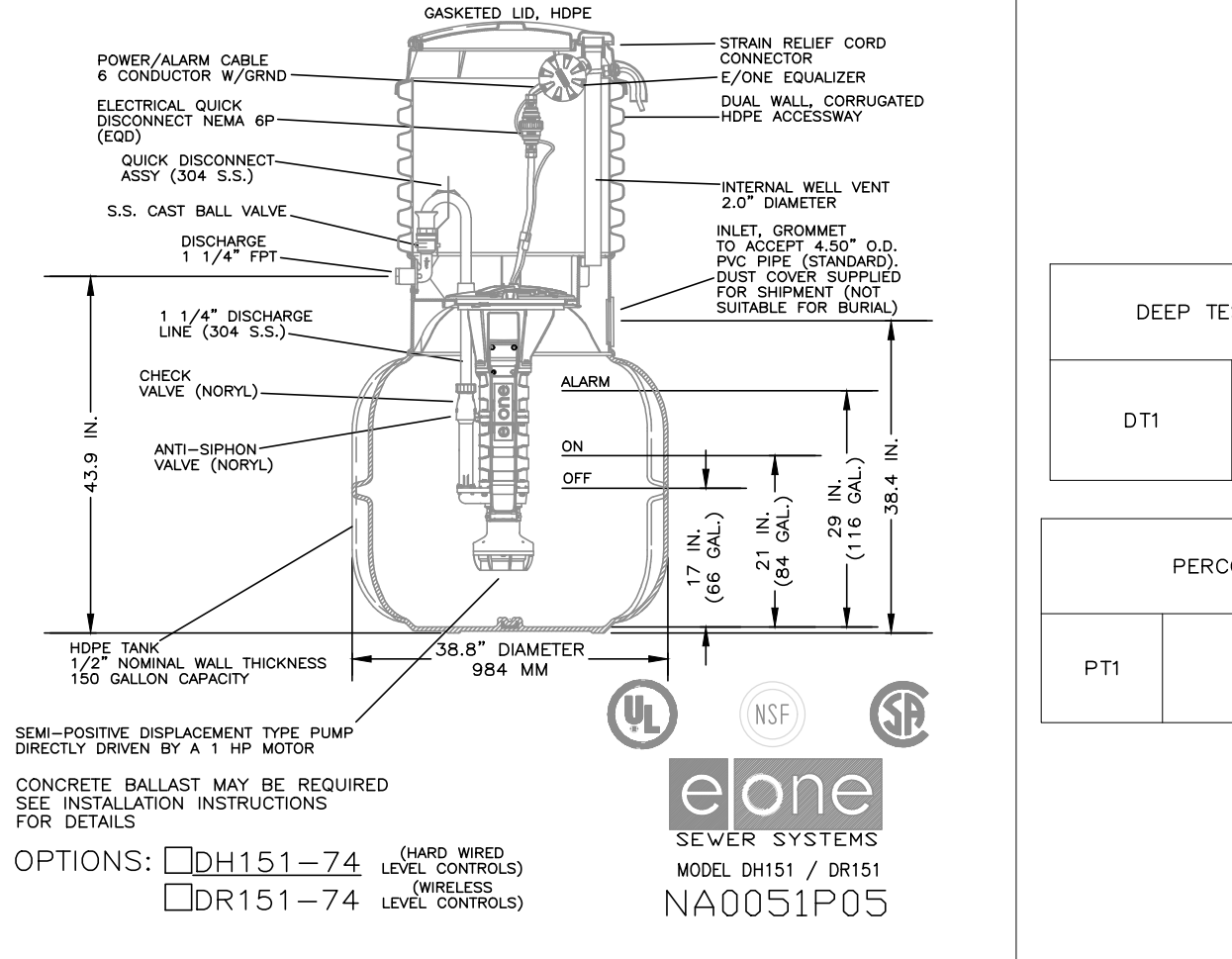
MAGNALATCH VERTICAL PULL GATE LATCH N.T.S.



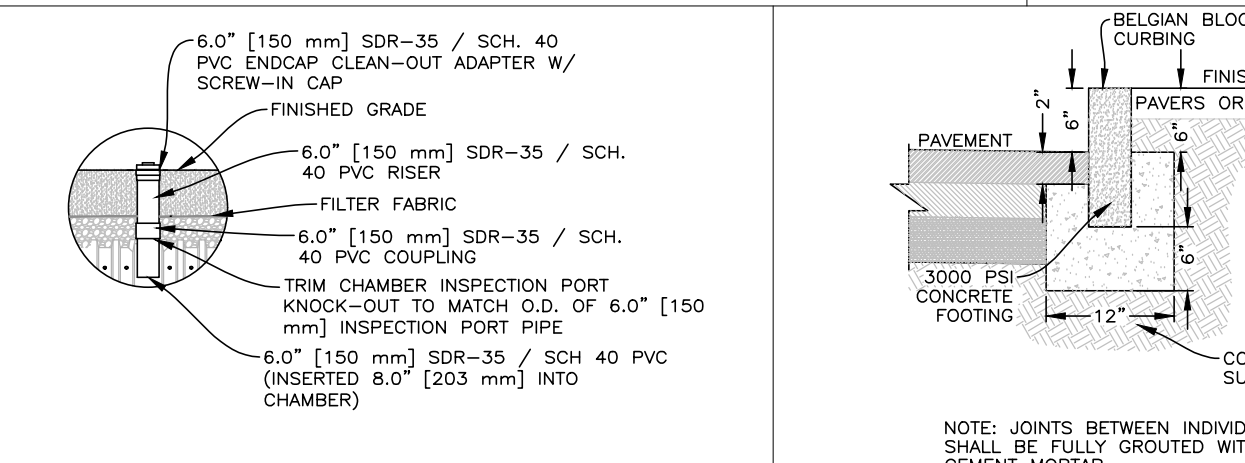
EMERGENCY OVERFLOW DISCHARGE N.T.S.



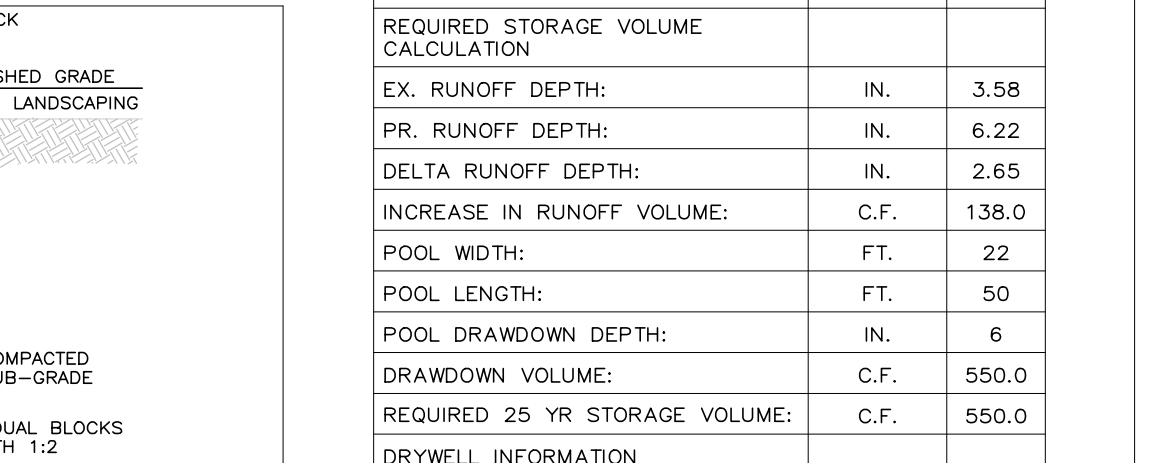
DISTRIBUTION BOX WITH BAFFLE N.T.S.



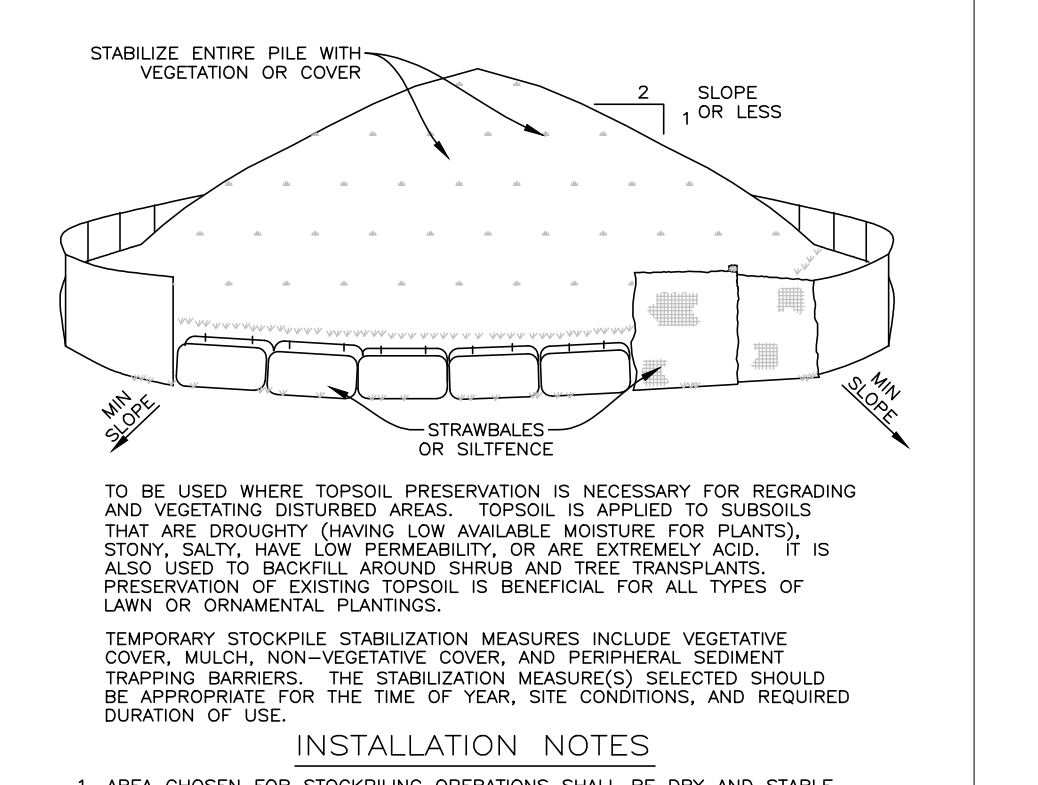
SEWAGE PUMP N.T.S.



'CULTEC' CHAMBERS INSPECTION PORT NON-TRAFFIC APPLICATION N.T.S.



BELGIAN BLOCK CURB N.T.S.



TEMPORARY MATERIAL STOCKPILE N.T.S.

DETENTION SYSTEM CALCULATIONS FOR CULTEC 330 XLHD

DRYWELL REPLACEMENT CALCULATIONS		
DRYWELL RADIUS	3.67	FEET
DRYWELL HEIGHT	4.0	FEET
DRYWELL STORAGE VOLUME	168.8	C.F.
NUMBER OF DRYWELLS	4	
TOTAL DRYWELL VOLUME	675.2	C.F.
CULTEC MODEL 330XL RECHARGER HD STORMWATER CHAMBER VOLUME	79.26	C.F.
REPLACEMENT CHAMBERS NEEDED	9	

STORMWATER MITIGATION CALCULATION		
DRAINAGE STUDY AREA 1: PATIO AND POOL		
PROPOSED IMPERVIOUS AREA	S.F.	626
NET INCREASE IMPERVIOUS AREA	S.F.	626
DESIGN STORM (25 YR.):	IN.	6.46
HYDROLOGIC SOIL TYPE:		C
EXISTING CN:		74
PROPOSED CN:		98
REQUIRED STORAGE VOLUME CALCULATION		
EX. RUNOFF DEPTH:	IN.	3.58
PR. RUNOFF DEPTH:	IN.	6.22
DELTA RUNOFF DEPTH:	IN.	2.65
INCREASE IN RUNOFF VOLUME:	C.F.	138.0
POOL WIDTH:	FT.	22
POOL LENGTH:	FT.	50
POOL DRAWDOWN DEPTH:	IN.	6
DRAWDOWN VOLUME:	C.F.	550.0
REQUIRED 25 YR STORAGE VOLUME:	C.F.	550.0
DRYWELL INFORMATION		
LENGTH OF 1 CHAMBER:	FT.	8.5
WIDTH OF 1 CHAMBER:	FT.	4.33
HEIGHT OF CHAMBER:	FT.	2.54
WIDTH OF STONE SURROUNDING CHAMBER:	FT.	1
DEPTH OF STONE UNDER CHAMBER:	FT.	0.5
STONE VOID RATIO:		0.33
VOLUME PER DRYWELL (AS PER MANUFACTURER):	C.F./L.F.	7.46
TRENCH SIZE		
TRENCH WIDTH:	FT.	6.33
TRENCH LENGTH (UNIT LENGTH):	FT.	1
TRENCH HEIGHT:	FT.	3.04
TRENCH VOLUME:	C.F./L.F.	19.26
STONE VOID VOLUME:	C.F.	3.90
PERCOLATION AREA:	S.F./L.F.	6.33
PERCOLATION RATE:	MIN./IN.	40
PERCOLATION HOLE DIAMETER:	IN.	10
WATER LEVEL DROP:	IN.	1
AVERAGE DEPTH OF WATER:	IN.	8.5
PERCOLATION HOLE BOTTOM AREA:	S.F.	0.55
PERCOLATION HOLE SIDE AREA:	S.F.	1.85
PERCOLATION HOLE TOTAL AREA:	S.F.	2.40
ADJUSTED PERCOLATION RATE:	C.F./DAY/L.F.	0.68
PERCOLATION VOL. PER DAY:	C.F./DAY/L.F.	4.3
PERCOLATION WITH CLOGGING:	C.F./DAY/L.F.	3.2
TOTAL VOLUME OF CHAMBERS:	C.F./DAY/L.F.	14.6
REQUIRED LENGTH CHAMBERS:	L.F.	37.69
Required Number of Chambers @ 7.5 L.F./Chamber:		5.02
Proposed Number of Chambers for New Impervious Area		6
Total Number of Proposed Chambers (New Impervious and Drywell Replacement)		15

EROSION CONTROL NOTES:
 1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
 2. PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
 3. INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2'-3" DIAMETER CRUSHED STONE 6" DEEP.
 4. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 5. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SHALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
 6. ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
 7. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
 8. ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
 9. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
 10. ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
 11. UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDS, AND MULCHED.
 12. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
 13. ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
 14. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).

DEEP TEST HOLE DESCRIPTIONS

DT1	0'-6" TOPSOIL	6"-84" Sandy Silty Loam
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PERCOLATION TEST DATA

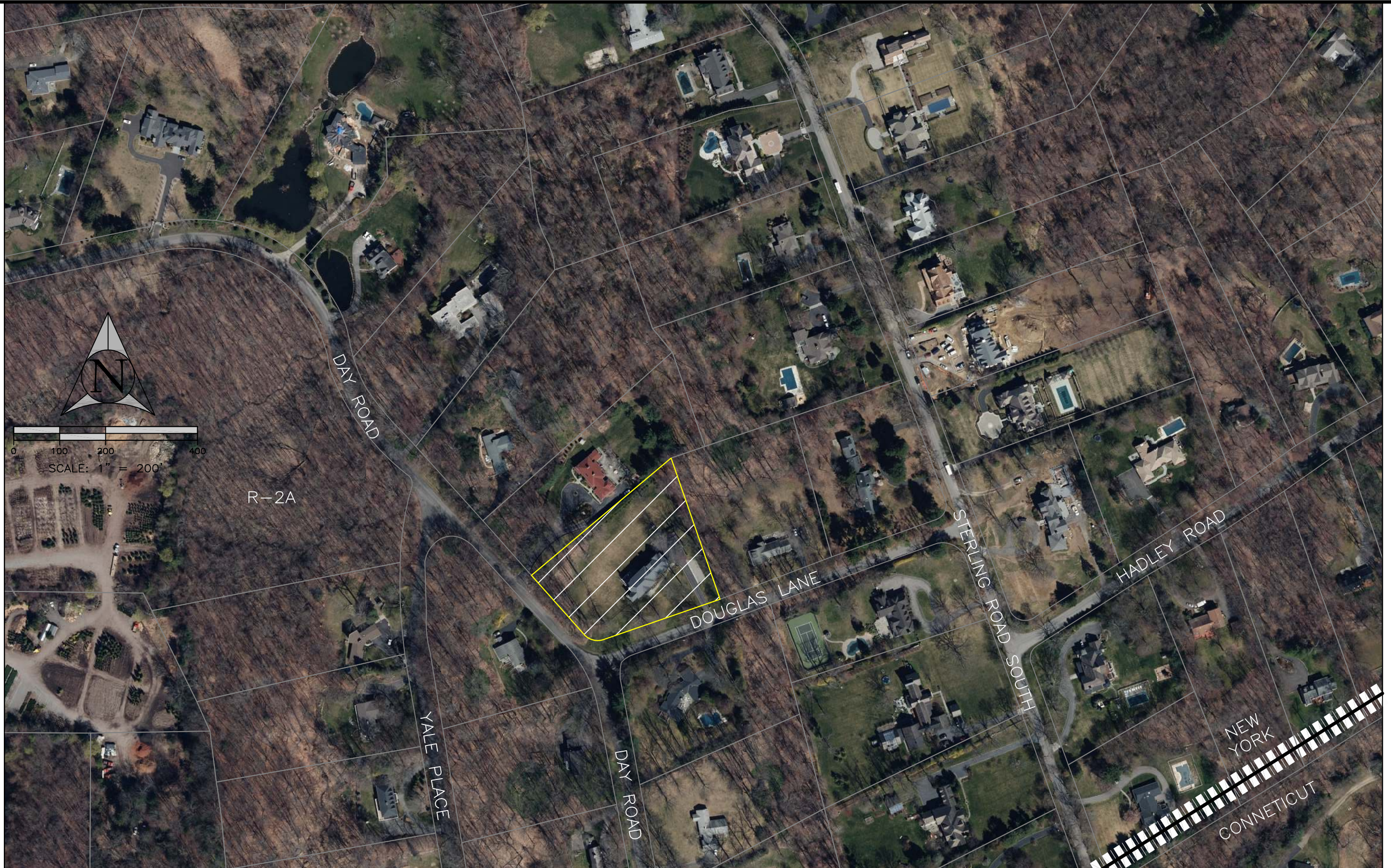
PT1	40 MIN./IN.
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ENGINEER SHALL INSPECT DRAINAGE PIPING AND INFILTRATION SYSTEM PRIOR TO BACKFILLING.

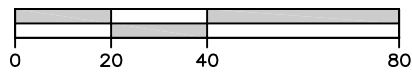
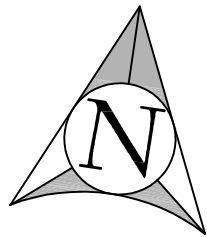
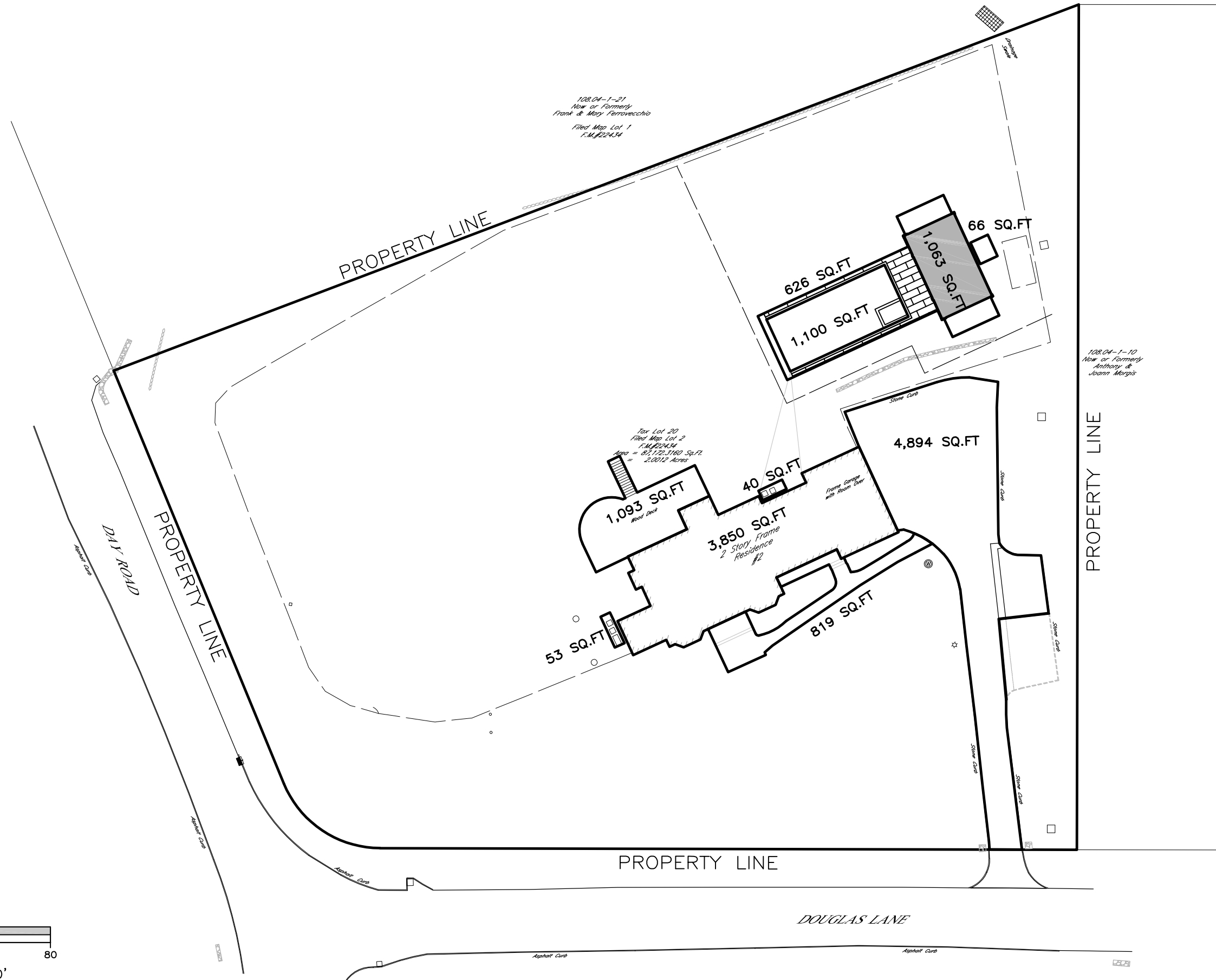
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 2709(2)(c), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

ALFONZETTI ENGINEERING, P.C.
 1100 ROUTE 52, CARMEL, N.Y. 10512
 845-228-9800

SITE DATA
 OWNER/APPLICANT: JOE KLEIN
 SITE ADDRESS: 2 DOUGLAS LANE, MONROE, NEW YORK 10504
 TAX MAP #: 108.04-1-20
 LOT AREA: 2,002 ACRES
 ZONING: R-2A
 DRAWING: **SITE DETAILS**
 NOVEMBER 5, 2020
 PROJECT: **KLEIN RESIDENCE**
 TOWN OF NORTH CASTLE,
 WESTCHESTER COUNTY, NEW YORK







SCALE: 1" = 40'



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastlenv.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: KLEIN RESIDENCE Date: 10/26/2020

Tax Map Designation or Proposed Lot No.: 108.04-1-20

Floor Area

- | | | |
|-----|---|-----------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>87,172.3160 SF</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>10,122.00 SF</u> |
| 3. | Amount of floor area contained within first floor:
<u>2,906</u> existing + <u>0</u> proposed = | <u>2,906.00 SF</u> |
| 4. | Amount of floor area contained within second floor:
<u>3,666</u> existing + <u>0</u> proposed = | <u>3,666.00 SF</u> |
| 5. | Amount of floor area contained within garage:
<u>864</u> existing + <u>0</u> proposed = | <u>864.00 SF</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>193</u> existing + <u>0</u> proposed = | <u>193.00 SF</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>0</u> existing + <u>703</u> proposed = | <u>703.00 SF</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>8,332.00 SF</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



10/26/2020
 Date

