s t u d i o rai,
Architectural Design P.C.
290 Salem Rd.
Pound Ridge, NY 10576
Tel: (914) 273-6843
Fax:(914) 763-0216

Att: Adam R. Kaufman, AICP

Re: Proposed Pool and Cabana for the Kirschner Residence
8 Spruce Hill Rd.
Town of North Castle
Sec. 1, Blk. 4, Lot 10-2

Dear Mr. Kaufman,

Attached please find the following for review by the Residential Review Committee for a New inground Swimming Pool and Cabana.

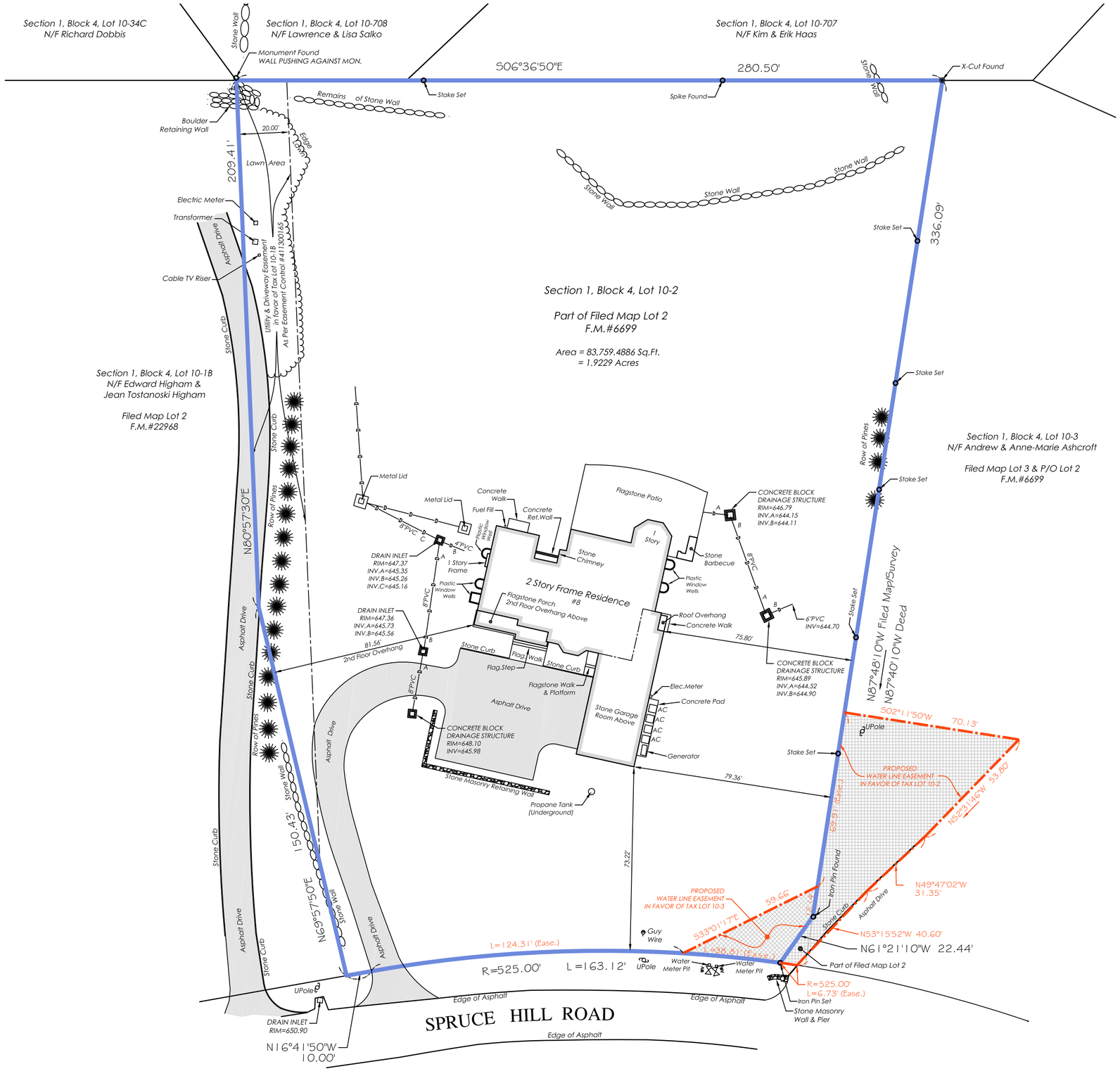
- RPRC Review Form
- Dwg. SP-1 Residential Site Plan dated 10-16-20
- Dwg. SP-2 Pool, Cabana and Terrace Plan and Details.
- Dwg. SU- As-Built Survey of existing conditions.
- Dwg. GN- General Notes.
- Dwg. A1- Cabana Floor Plans.
- Dwg. A2- Cabana Elevations.
- Dwg. A3- Cabana Section Detail.
- Dwg. P1- Pool Plan and Details.
- Dwg. S1-E1- Framing Plans/Lighting.

I am additionally attaching the original RPRC Submission Form and documents from 2010 Submission Prepared by Barry Naderman, when we first submitted plans for the new residence.
A portion of the Proposed Project/Site Plan was never built, (Terraces and Swimming Pool) Mr. Naderman designed the Infiltration System to accommodate Terraces, Swimming Pool, and swimming pool drawdown. The designed system was installed as designed.

Sincerely,

Lucio Di Leo

Lucio Di Leo R.A., AIA



Only copies from the original of this survey marked with an original of the Land Surveyors embossed seal shall be considered to be true, valid copies.

Said certifications shall run only to the person for whom this survey is prepared and on his/her behalf to the title company, governmental agency and lending institutions listed hereon. Certifications are not transferable to additional institutions or subsequent owners.

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified.
Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating.
Additional underground utilities are not shown or certified.
Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

Premises hereon being part of Lot 2 as shown on a certain map entitled, "Subdivision Map, Windmill Farm - Section A-1."
Said map filed in the Westchester County Clerk's Office, Division of Land Records November 9, 1948 as map number 6699.

Premises hereon designated on the Town of North Castle Tax Maps as: Section 1, Block 4, Lot 10-2.

PROPOSED EASEMENT MAP PREPARED FOR SAMUEL KIRSCHNER AND CATHY KIRSCHNER

SITUATE IN THE
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 30'

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

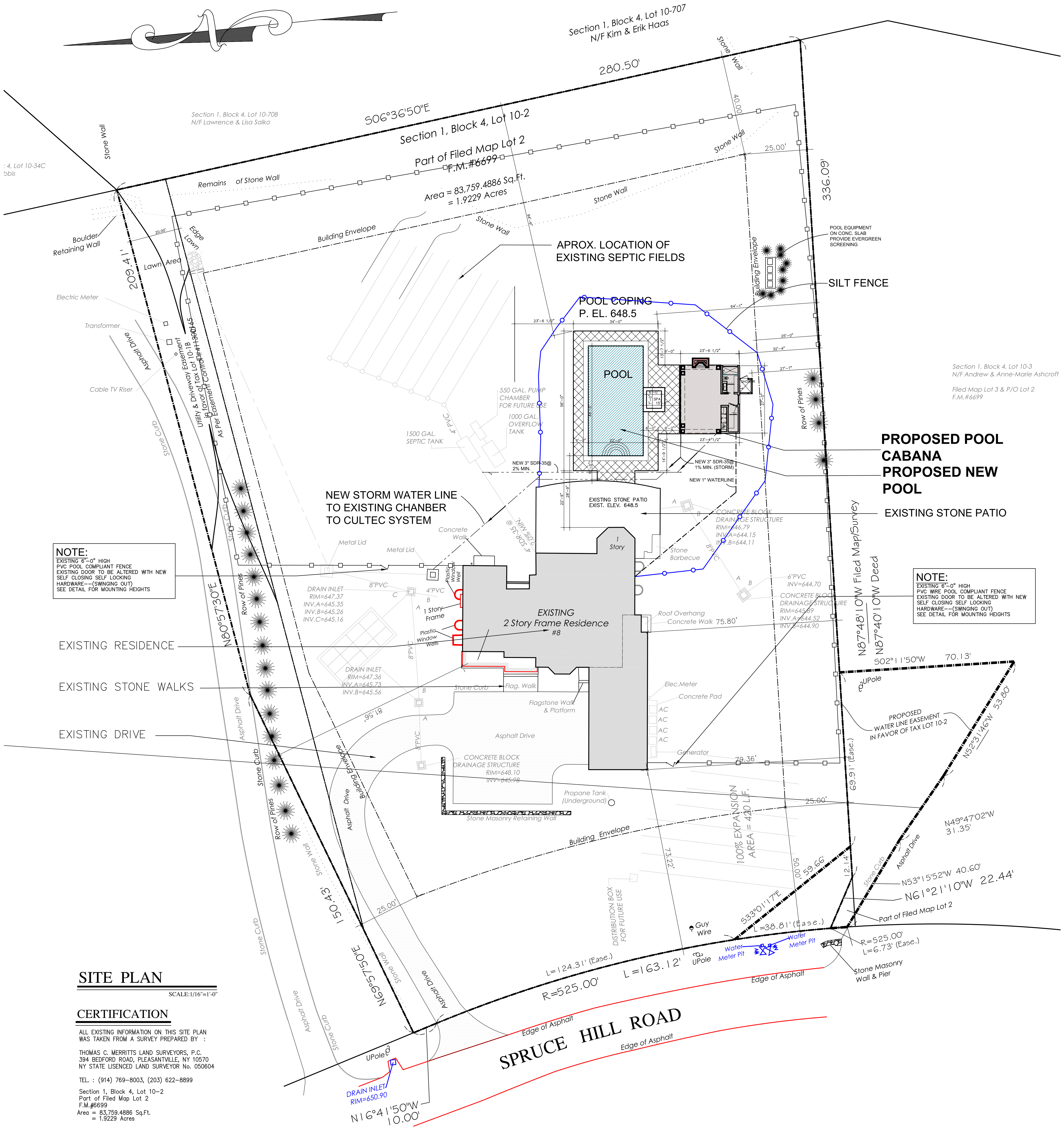
THOMAS C. MERRITTS LAND SURVEYORS, P.C.
394 BEDFORD ROAD • PLEASANTVILLE • N.Y.10570
(914) 769-8003 • (203) 622-8899

STATE OF NEW YORK
DANIEL THOMAS MERRITTS
050604
LICENSED LAND SURVEYOR

Surveyed: March 19, 2010
Map Prepared: March 22, 2010
Map Revised: September 5, 2012 to show final as built
Map Revised: October 28, 2015

By: Daniel T. Merritts
New York State Licensed Land Surveyor No.050604

Project: Ref.10-026 10-040	*Field Survey By: BC/AN*
Drawn By: DA	*Checked By: DM*



SITE PLAN

SCALE:1/16"=1'-0"

CERTIFICATION

ALL EXISTING INFORMATION ON THIS SITE PLAN WAS TAKEN FROM A SURVEY PREPARED BY :

THOMAS C. MERRITTS LAND SURVEYORS, P.C.
394 BEDFORD ROAD, PLEASANTVILLE, NY 10570
NY STATE LISENCED LAND SURVEYOR No. 050604

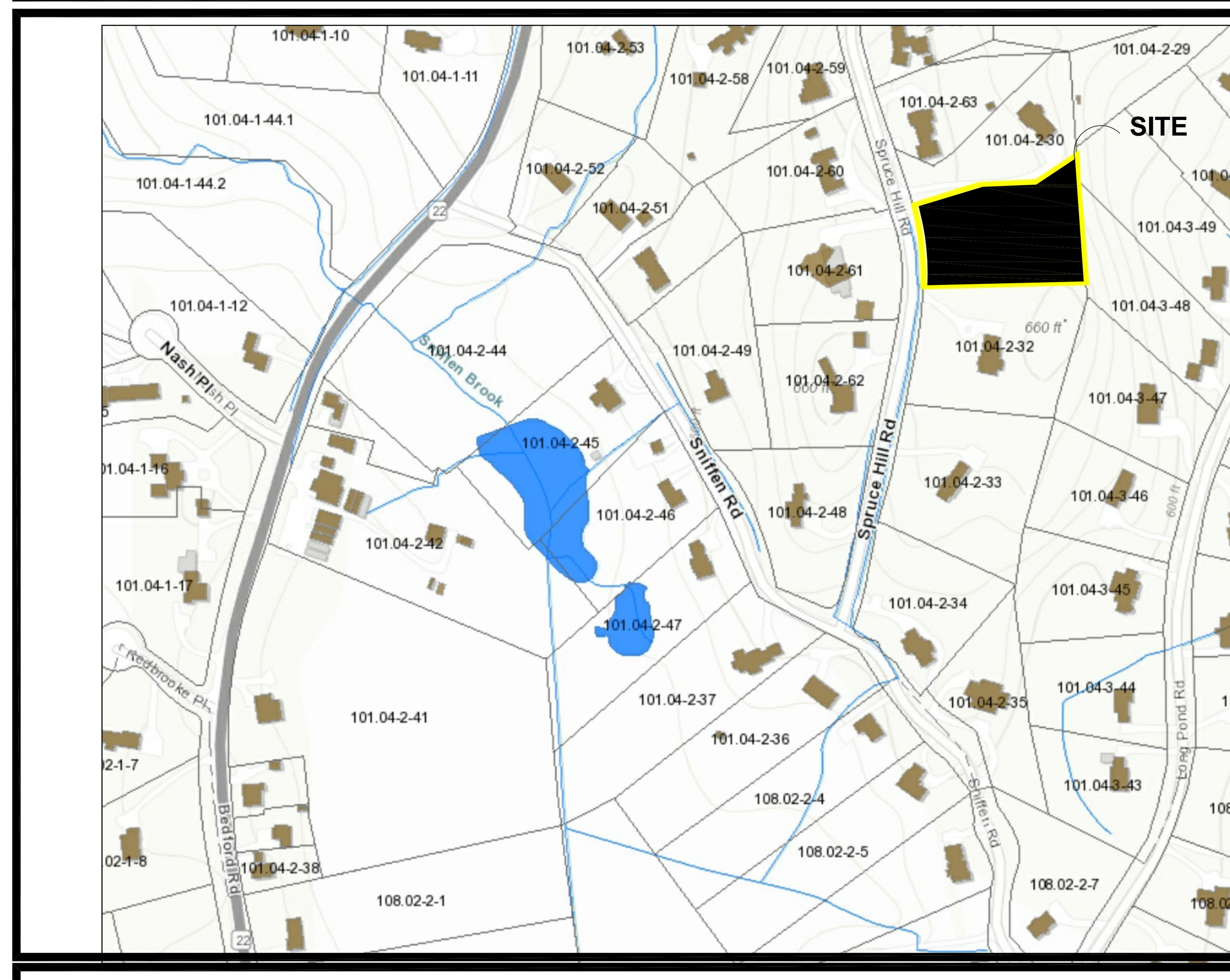
TEL. : (914) 769-8003, (203) 622-8899

Section 1, Block 4, Lot 10-2
Part of Filed Map Lot 2
F.M.#6699
Area = 83,759.4886 Sq.Ft.
= 1.9229 Acres

LIST OF DRAWINGS

No.	DRAWING NAME
SP1	SITE PLAN/ SCHEDULES
SP2	SITE DETAILS
S	SURVEY
GN	GENERAL NOTES SHEET
A1	FLOOR PLANS
A2	ELEVATIONS
A3	SECTION
P1	POOL PLAN AND DETAILS
S1-E1	FRAMING PLANS/ LIGHTING PLAN

LOCATION MAP NOT TO SCALE



ZONING SCHEDULE TOWN OF ARMONK, NY

ZONE / USE : R 1A

ITEM	REQUIRED	EXISTING HOUSE	PROPOSED CABANA
MINIMUM LOT SIZE (SQ. FT.)	1 ACR. 36,000.00 Sq. Ft.	1.9229 ACR. 83,759.4886 Sq.Ft.	1.9229 ACR. 83,759.4886 Sq.Ft.
MINIMUM LOT WIDTH (FEET)	125'	163'	NA
MINIMUM FRONT YARD (FEET)	50'	73.5'	NA
MINIMUM EACH SIDE YARD (FEET)	20'	74'/82'	31' 2- 1/2"
MINIMUM 2 SIDE YARDS (FEET)	25'	156'	NA
MINIMUM REAR YARD (FEET)	40'	174.3'	87' 11-1/2"
MAXIMUM HEIGHT (FEET)	30'	29.25'	14' 9-5/8"

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www.studiorai.com
ARCHITECTS

STRUCTURAL ENGINEERS

landscape architect

FOODSERVICE EQUIPMENT

PROJECT INFORMATION

PROPOSED POOL & CABANA

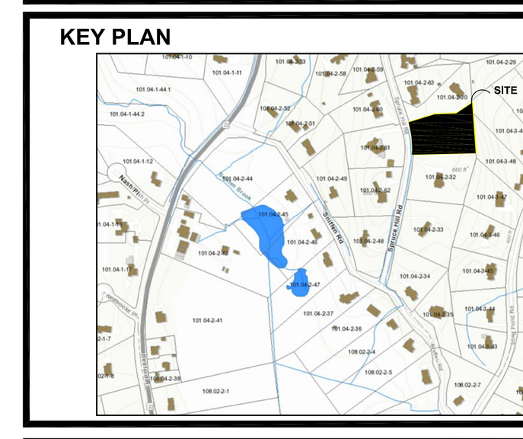
FOR:

MR. & MRS. KIRSCHNER

8 SPRUCE HILL RD.
ARMONK, NY

No. Revision	Date	Description
	10-16-20	D.O.B. SUBMISSION
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

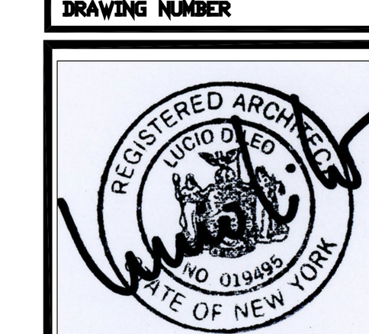
KEY PLAN



DRAWING TITLE

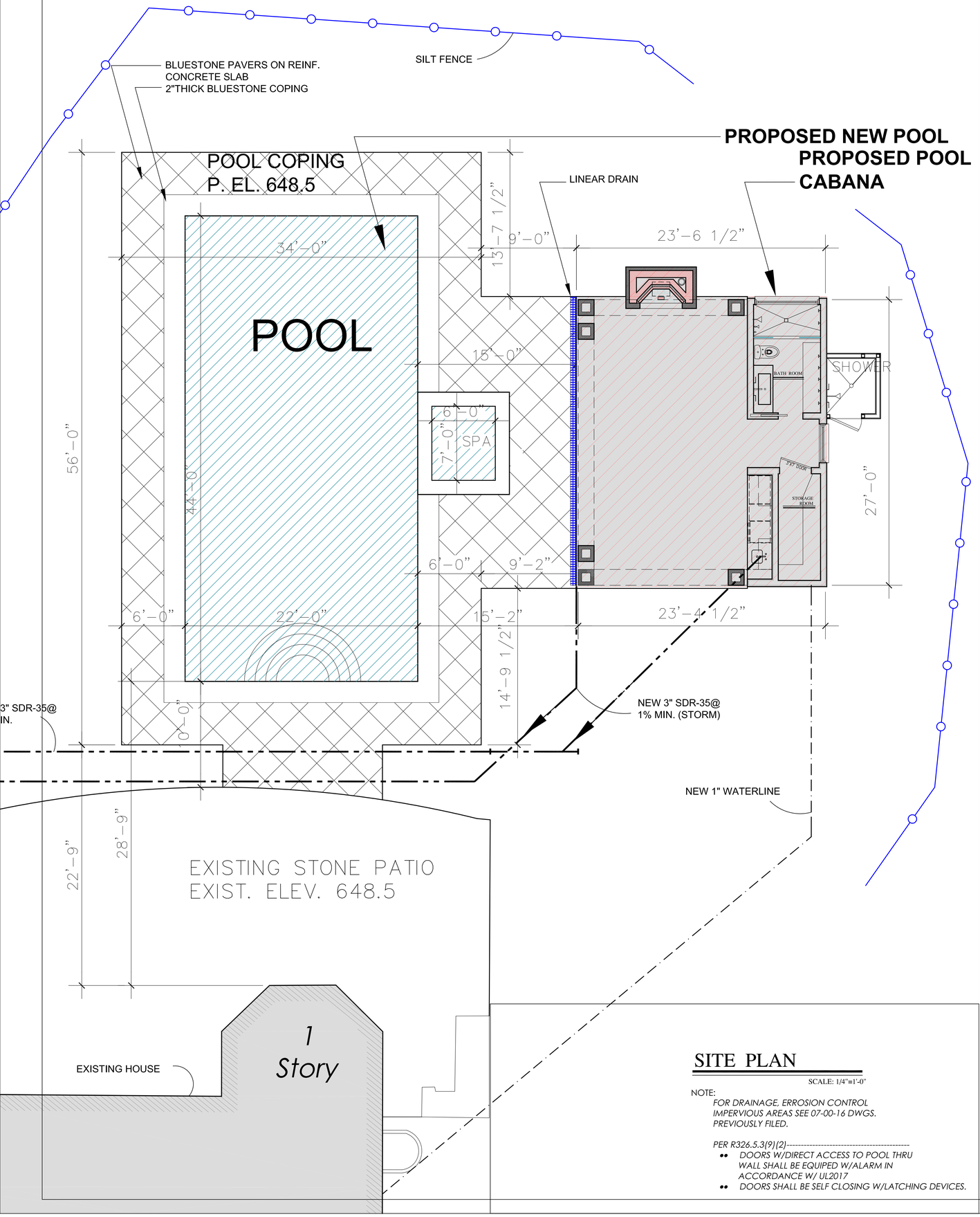
SP1

DRAWING NUMBER



SEAL/SIGNATURE

ISSUE DATE : 04-04-19
DRAWN BY : LDL
CHECKED BY : LDL
PROJECT NO : 180717
SCALE : AS NOTED



SITE PLAN

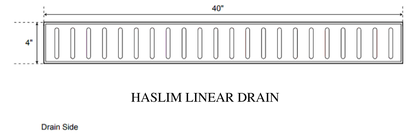
SCALE: 1/4"=1'-0"

NOTE:

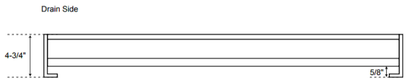
FOR DRAINAGE, ERROSION CONTROL IMPERVIOUS AREAS SEE 07-00-16 DWGS. PREVIOUSLY FILED.

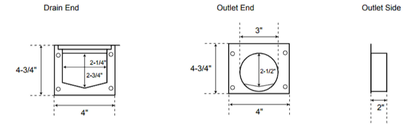
PER R326.5.3(9)(2)----------

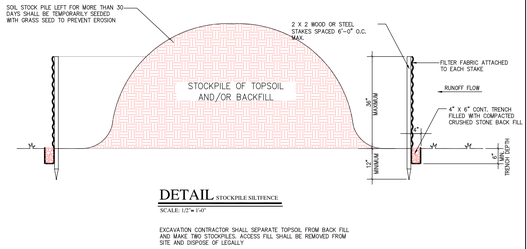
- *DOORS W/DIRECT ACCESS TO POOL THRU WALL SHALL BE EQUIPED W/ALARM IN ACCORDANCE W/ UL2017*
- *DOORS SHALL BE SELF CLOSING W/LATCHING DEVICES.*



HASLIM LINEAR DRAIN



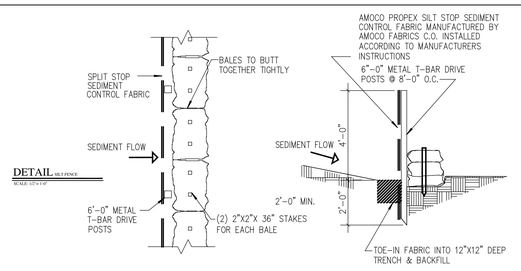




DETAIL STOCKPILE SILTFENCE

SCALE: 1/2"=1'-0"

EXCAVATION CONTRACTOR SHALL SEPARATE TOPSOIL FROM BACK FILL AND MAKE TWO STOCKPILES. ACCESS FILL SHALL BE REMOVED FROM SITE AND DISPOSE OF LEGALLY

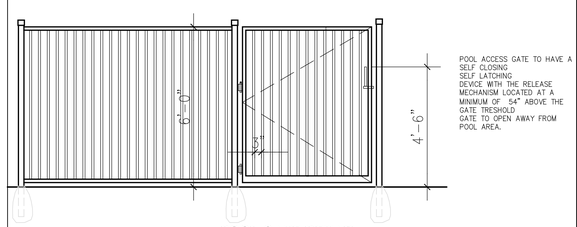


DETAIL SILTFENCE

SCALE: 1/2"=1'-0"

PLAN **SECTION**

EXISTING PVC FENCE (6'-0" HIGH)



POOL ACCESS GATE TO HAVE A SELF CLOSING SELF LATCHING DEVICE WITH THE RELEASE MECHANISM LOCATED AT A MINIMUM OF 54" ABOVE THE GATE TRESHOLD GATE TO OPEN AWAY FROM POOL AREA.

POOL GATE DETAIL

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PROJECT INFORMATION

PROPOSED POOL & CABANA

FOR:

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8 SPRUCE HILL RD.
ARMONK, NY

No.	Revision	Date	Description
		10-16-20	D.O.B. SUBMISSION

KEY PLAN

DRAWING TITLE

SP2

DRAWING NUMBER

SEAL/SIGNATURE

ISSUE DATE : 04-04-19
DRAWN BY : MS

BY : LJL

PROJECT NO : 180717

SCALE : AS NOTED

SECTION 1 : GENERAL DATA

1. ALL WORK SHALL COMPLY WITH THE RESIDENTIAL CODE OF NEW YORK STATE LOCAL CODES AND ORDINANCES, AND SHALL BE DONE TO THE HIGHEST INDUSTRY STANDARDS.

2. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD, NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
3. CONTRACTOR, BY SUBMITTING HIS BID, REPRESENTS THAT HE HAS VISITED THE PROJECT LOCATION AND AGREES WITH PLANS AND DETAILS AS REPRESENTING THE FULL EXTENT OF CONSTRUCTION. IF CONTRACTOR HAS FOUND THAT PLANS AND DETAILS ARE AT VARIANCE WITH WHAT IS PHYSICALLY IN THE FIELD, HE SHALL NOTIFY THE ARCHITECT OR OWNER BEFORE SUBMITTING HIS BID.

4. ALL MATERIALS SHALL BE NEW AND OF THE BEST QUALITY.

SECTION 2 : SITE WORK

1. DO NOT BACK FILL AGAINST FOUNDATION WALLS UNTIL MORTAR AND/OR CONCRETE HAVE ATTAINED DESIGNED STRENGTH.

2. DO NOT BACK FILL AGAINST FOUNDATION WALLS UNTIL FIRST FLOOR PLATFORM IS IN PLACE.

3. AT NO TIME SHALL BULLDOZERS, TRUCKS OR OTHER HEAVY EQUIPMENT BE PERMITTED TO APPROACH FOUNDATION WALLS CLOSER THAN 8 FEET.
4. AREAS UNDER CONCRETE FLOOR SLABS TO BE BACK FILLED WITH CLEAN FREE DRAINING MATERIAL AND FULLY COMPACTED TO 95% OF PROCTOR DENSITY WITH POWER TAMPER. PLACE FILL IN 12" MAX. LIFTS.

5. THE CONTRACTOR SHALL VERIFY ALL DRAWINGS FOR COORDINATION'S BETWEEN TRADES; PROVIDE AND/OR INSTALL ANCHORS, INSERTS, HANGERS, ETC., AS REQUIRED FOR VARIOUS TRADES.

6. ALL FOOTINGS SHALL BE PLACED DIRECTLY ON UNDISTURBED SOIL WITH A MIN. BEARING CAPACITY OF 2 TONS/SQ.FT OR SOLID ROCK.

7. ALL EXTERIOR FOOTINGS SHALL BE PLACED AT A MINIMUM OF 3'-6" BELOW FINAL GRADE (UNLESS ON SOUND ROCK). ELEVATIONS OF BOTTOM OF FOOTINGS SHOWN ON PLANS ARE FOR ESTIMATING PURPOSED AND SHALL BE ADJUSTED TO REQUIRED BEARING STRATA AS FOUND UPON EXCAVATION. FOOTINGS SHALL NOT BE PLACED ONROCK WHOSE SURFACE SLOPES MORE THAN 10%.

8. WHERE FOOTINGS ARE STEPPED, BOTTOMS TO BE STEPPED NOT MORE THAN ONE FOOT VERTICAL TO TWO FEET HORIZONTAL.

SECTION 3 : CONCRETE

CONCRETE GENERAL NOTES

1. CONCRETE IS TO BE PLACED IN CONFORMANCE WITH A.C.I. 304, LATEST ADDITION. CONCRETE IS NOT TO BE SUBJECT TO DROPS OF MORE THAN 5'-0".

2. ALL CONCRETE IS TO BE CONTROLLED STONE CONCRETE COMPLYING WITH ALL A.C.I. BUILDING CODE REQUIREMENTS. CONCRETE IS TO HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS. SEE FOUNDATION PLANS FOR LOCATIONS OF CONCRETE WITH A HIGHER COMPRESSIVE STRENGTH.

3. ALL POURS ARE TO BE TERMINATED BY FORMS. PROVIDE KEY WAYS AS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE ARCHITECT.

4. ALL CONCRETE IS TO BE FORMED, UNLESS OTHERWISE APPROVED BY THE ARCHITECT.

5. OBTAIN CONCRETE MANUFACTURER'S CERTIFICATES OF COMPLIANCE SHOWING CONCRETE CLASS, AGGREGATE SIZES, ADDITIVES USED AND FIBER MESH REINFORCEMENT (IF APPLICABLE).

6. THE FOUNDATION SUBCONTRACTOR IS TO OBTAIN CONCRETE TEST CYLINDERS FOR EACH CLASS OF CONCRETE SPECIFIED. TAKE TWO (2) CYLINDERS EACH FOR EACH 150 CU. YDS. OR FRACTIONS THEREOF. TEST ONE (1) CYLINDER AT SEVEN (7) DAYS AND ONE (1) CYLINDER AT 28 DAYS. CYLINDER TESTS TO BE PERFORMED BY A CERTIFIED TESTING LABORATORY. TEST REPORTS ARE TO INCLUDE CONCRETE CLASS, SLUMP, GAGE AND LOCATION OF CONCRETE. SUBMIT THREE (3) COPIES OF TEST REPORTS TO THE ARCHITECT FOR REVIEW AND APPROVAL.

7. THE FOUNDATION SUBCONTRACTOR IS TO SUBMIT FOUR (4) COPIES OF THE STEEL REINFORCEMENT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL. THE SHOP DRAWINGS ARE TO INDICATE REINFORCEMENT TYPE, SIZES, QUANTITIES, PLACEMENT AND ALL BENDS AND LAPS FOR ALL FOUNDATION REINFORCEMENT AS INDICATED ON THE DRAWINGS.

8. ALL STEEL REINFORCEMENT IS TO BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL A-615 GRADE 60. BENDS IN REINFORCEMENT ARE TO BE SHOP FABRICATED. FIELD BENDS WILL NOT BE PERMITTED.

9. ALL REINFORCEMENT STEEL IS TO BE SECURELY WIRED TOGETHER IN THE FORMWORK. TWO WAY MATS OF STEEL ARE TO BE TIED AT ALTERNATE INTERSECTIONS BOTH WAYS.

10. THE FOUNDATION SUBCONTRACTOR IS TO PROVIDE HIGH CHAIRS, SPACERS, SUPPORTS, ETC. AS NECESSARY FOR THE PROPER PLACEMENT OF THE REINFORCEMENT STEEL.

11. PROVIDE CLEARANCES FROM FACES OF CONCRETE TO REINFORCEMENT AS FOLLOWS:

CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH --------3"

EXPOSED TO EARTH OR WEATHER (#5 BAR OR SMALLER) -----1 1/2"

EXPOSED TO EARTH OR WEATHER (#6 BAR OR LARGER) -------2"

NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH:

SLABS, WALLS AND JOISTS -----------------------3/4"

BEAMS, GIRDERS, COLUMNS
(PRINCIPAL REINFORCEMENT, TIES,
STIRRUPS OR SPIRALS) -------------------------1 1/2"

12. LENGTH OF REINFORCEMENT SPLICES ARE TO CONFORM TO A.C.I. BUILDING CODE REQUIREMENTS, BUT IN NO CASE ARE THE SPLICES TO BE LESS THAN 30 BAR DIAMETERS OR AS OTHERWISE APPROVED BY THE ARCHITECT.

13. WELDED WIRE FABRIC IS TO CONFORM TO A.S.T.M. SPECIFICATION A-185.

14. ALL SLABS ON GRADE ARE TO BE REINFORCED WITH WELDED WIRE FABRIC 3/4" DOWN FROM TOP OF SLAB, AND OVER ANY PIPES OR CONDUITS IN THE SLAB. SIZE AND TYPE TO BE AS INDICATED ON THE DRAWINGS, BUT IN NO CASE IS THE W.W.F. TO BE LESS THAN 6x6 - W1.4/W1.4 W.W.F. FOR 4" SLABS.
FIBER MESH REINFORCEMENT INTEGRAL WITH THE CONCRETE MIX MAY BE SUBSTITUTED FOR W.W.F. IN 4" SLABS ON GRADE.

15. W.W.F. IS TO LAP ONE FULL MESH SQUARE AT ALL SIDE AND END LAPS, AND BE WIRED TOGETHER.

16. POUR SLABS ON GRADE IN ALTERNATING LANE PATTERNS NOT TO EXCEED 800 S.F. IN AREA, OR MORE THAN 40 FEET IN LENGTH BETWEEN CONSTRUCTION OR EXPANSION JOINTS. PROVIDE DIAMOND SHAPED ISOLATION JOINTS AT ALL INTERIOR COLUMNS. EXPANSION JOINTS ARE TO BE MADE FROM PRE FORMED ASPHALT IMPREGNATED FIBERBOARD.

17. PLACE A MINIMUM OF 4" CRUSHED STONE UNDER ALL SLABS ON GRADE.

18. INSTALL 6 MIL POLYETHYLENE VAPOR BARRIER UNDER ALL SLABS ON GRADE, LAP ENDS A MINIMUM OF 6" AND TAPE.

19. PROVIDE EXPANSION JOINTS BETWEEN ALL SLABS AND VERTICAL SURFACES, BETWEEN SIDEWALK SLABS AND CURBS, SIDEWALK SLABS AND EXTERIOR WALLS AND IN SIDEWALK SLAB SPACED A MAXIMUM OF 10'-0" O.C.

20. PROVIDE 1/4" x 1" DEEP SAW CUTS (CUT INTO SLABS WITHIN 24 HOURS OF POUR) OR FORMED JOINT FILLED WITH SEALER AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT.

21. THE FOUNDATION CONTRACTOR IS TO ASCERTAIN THE LOCATIONS OF ALL SLEEVES, INSERTS, ANCHOR BOLTS AND EMBEDMENTS REQUIRED BY ALL OTHER TRADES. SUCH EMBEDMENTS ARE TO BE CHECKED FOR COMPLETENESS AND PROPER LOCATION PRIOR TO CONCRETE BEING PLACED.

22. NOTIFY THE BUILDING AS LEAST 24 HOURS PRIOR TO THE PLACEMENT OF CONCRETE FOOTINGS FOR REQUIRED INSPECTIONS.

23. CURING OF CONCRETE IS TO START AS SOON AS THE FINISHES WILL NOT BE MARRED THEREBY. DELAYING THE CURING PROCESS WILL NOT BE PERMITTED.

24. ALL COLD WEATHER CONCRETING TO BE PERFORMED IN ACCORDANCE WITH ALL RECOMMENDATIONS OF THE A.C.I. PROVIDE AND INSTALL TEMPORARY INSULATING BLANKETS AS REQUIRED TO PROTECT CONCRETE FROM FREEZING. CORROSIVE ADMIXTURES SUCH AS THOSE CONTAINING CALCIUM CHLORIDE MAY NOT BE USED.

25. PROVIDE NON-SHRINK GROUT UNDER ALL LEVELING PLATES AND BEARING PLATES.

26. APPLY TROWEL FINISH TO ALL MONOLITHIC SLAB SURFACES EXPOSED TO VIEW OR RECEIVING FLOORING. VARIATIONS IN FLOOR SLABS ARE NOT TO EXCEEDED 1/8" IN 10'-0" UNLESS SLAB PITCHES TOWARD FLOOR DRAIN.

27. APPLY NON-SLIP BROOM FINISHES TO ALL EXTERIOR WALKS, GARAGE FLOORS AND ELSEWHERE AS INDICATED ON THE DRAWINGS.

28. INSTALL CONCRETE SLAB SEALER TO ALL INTERIOR SLABS EXPOSED TO VIEW NOT RECEIVING FINISHES TO PREVENT DUSTING U.O.N.

SECTION 4 : MASONRY

1. STONE AND CONCRETE MASONRY WALLS SHALL CONFORM TO THE RECOMMENDED PRACTICE FOR ENGINEERED BRICK MASONRY", LATEST EDITION BY STRUCTURAL CLAY PRODUCTS INSTITUTE, AND "SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY" BY NATIONAL CONCRETE MASONRY ASSOCIATION.

2. ALL UNITS SHALL BE PLACED IN RUNNING BOND, EXCEPT WHERE INDICATED.

3. MORTAR SHALL BE TYPE M OR S MIN. 1 PART PORTLAND CEMENT, 1/4 TO 1/2 PART HYDRATED LIME, AND 2-1/4 TO 3 PARTS SAND.

4. STORE ALL UNITS OFF GROUND TO PREVENT CONTAMINATION. COVER MATERIALS TO PROTECT FROM THE ELEMENTS.

5. NO AIR-ENTRAINING ADMIXTURES OR ANTIFREEZE COMPOUNDS, SUCH AS CALCIUM CHLORIDE SHALL BE ADDED TO MORTAR.

6. THE FIRST BLOCK COURSE ON FOOTING SHALL BE FILLED SOLID WITH CONCRETE.

7. VERTICAL CONTROL JOINTS SHALL BE PLACED AT THE MAXIMUM DISTANCE OF 50' ON CENTER FOR STRAIGHT WALLS. CONTROL JOINTS SHALL BE CONSTRUCTED USING SASH BLOCKS AND DUR-O-WAL PERFORMED REGULAR RAPID CONTROL JOINT. WALL REINFORCEMENT SHALL BE DISCONTINUOUS AT JOINTS.

8. ALL WALLS SHALL BE ADEQUATELY BRACED UNTIL SECURELY TIED TO THE STRUCTURE. NO WORK SHALL BE DONE SUBJECT TO FREEZING CONDITIONS.

9. STEEL LINTELS SHALL HAVE MINIMUM OF 5" BEARING. PRECAST LINTELS SHALL HAVE MINIMUM BEARING OF 8". BEARING POINTS SHALL BE GROUTED SOLID FOR THREE COURSED BELOW LINTEL.

SECTION 5 : METALS

1. STEEL CONSTRUCTION SHALL CONFORM TO AISC "MANUAL OF STEEL CONSTRUCTION", LATEST EDITION.

2. MATERIALS FOR STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:
BEAMS, GIRDERS, MISC. STEEL : A36
PLATES : A36

3. ALL BOLTED CONNECTIONS SHALL BE MADE USING A325-F BOLTS, 3/4" DIAMETER INSTALLED IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL JOINTS" USING A325 OR A490 BOLTS: UNLESS OTHERWISE DETAILED.

4. STEEL CONCRETE REINFORCEMENT : BARS : NEW BILLET STEEL DEFORMED BARS, ASTM A 615, GRADE 60 SIZED AS NOTED ON DRAWINGS. WELDED WIRE FABRIC (WWF) : ASTM A185, SIZES AS NOTED ON DRAWINGS.

5. PROVIDE 1/2" DIAMETER X 1'-6" LONG MINIMUM THREADED ANCHORS BOLTS AT 6'-0" O.C. MAXIMUM, MINIMUM 2 PER PLATE TO ANCHOR EXTERIOR SILLS. ANCHOR BOLTS SHALL BE ON A36 OR A307 STEEL. EMBODIMENT TO BE 8" FOR POURED CONCRETE, 15" FOR C.M.U.

6. ALL STEEL SHALL BE SHOP PAINTED WITH GRAY ZINC CHROMATE PRIMER 2.0 MILS. IN THICKNESS, EXCEPT WHERE FIELD WELDING IS TO BE DONE. ALL WELDS AND BARE SPOTS SHALL RECEIVE TOUCHUP PAINTING.

7. ALL COLUMNS UNLESS OTHERWISE NOTED, SHALL BE 4" DIAMETER STANDARD WEIGHT (MIN.) STEEL PIPE COLUMNS WITH BEARING PLATES AT TOP AND BOTTOM WELDED TO COLUMN. PRIME COAT OF PAINT TO BE APPLIED AFTER WELDING. (10"X10"X5/8" BOTTOM PLATE, UNLESS NOTED OTHERWISE).

SECTION 6 : WOOD AND PLASTICS

1. ALL FRAMING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS GRADED LUMBER AND ITS FASTENINGS" AS PUBLISHED BY THE NATIONAL LUMBER MANUFACTURERS ASSOCIATION.

2. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL FREE FROM LARGE AND LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZED INDICATED ON DRAWINGS.

3. ALL WORKMANSHIP INCLUDING NAILING, BLOCKING, BRIDGING, ETC. SHALL CONFORM TO THE NYSUFPBC.

4. PROVIDE LEDGER BOARDS, BLOCKING, NAILERS, AND ROUGH FRAMING HARDWARE AS REQUIRED.

5. PROVIDE ALL REQUIRE 2 X FIRE BLOCKING AS SPECIFIED IN SECTION 602.8 OF RESIDENTIAL CODE OF NEW YORK STATE. WERE PARTIONS AT 10'-0" OR TALLER, INSTALL 2 X FIRE BLOCKING "CATS" AT MID POINT.

6. ALL NEW LUMBER SHALL BE DOUGLAS FIR, NO 2 OR BETTER, WITH MIN. FB=1250 PSI AND E 1,500,000 PSI.

7. ALL LUMBER SHALL BEAR VISIBLE GRADE STAMPING AND BE KILN DRY.

8. ALL BEAMS AND JOISTS AND RAFTERS TO BE SET WITH NATURAL CROWN UP.

9. PROVIDE DOUBLE RAFTERS AND HEADERS AROUND ALL ROOF SKYLIGHTS UNLESS OTHERWISE NOTED ON PLANS.

10. PROVIDE (2) 2X8 MINIMUM HEADER WHERE ROUGH OPENING DOES NOT EXCEED 3'-0".

11. PLYWOOD FOR SUBFLOOR SHEATHING SHALL BE 3/4" AND 1/2" ON WALLS AND ROOF SURFACES APA C-C PLUGGED EXTERIOR OR APA UNDERLAYMENT EXTERIOR. INDEX STAMP SHALL BE VISIBLE ON ALL SHEETS.

12. PLYWOOD SHALL BE NAILED TO JOISTS WITH 8D COMMON NAILS AT 6" ON CENTER AT EXTERIOR EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORT.

13. USE PLY CLIPS OR OTHER EDGE SUPPORT FOR ALL PLYWOOD SHEATHING.

14. PLACE FACE GRAIN IN DIRECTION OF SPAN (TRAVERSE TO JOIST SPAN.).

15. LEAVE 1/16" SPACE AT ALL PLYWOOD PANEL AND JOINTS AND 1/8" SPACE AT ALL PANEL EDGE JOINTS.

16. JOIST HANGERS, FRAMING ANCHORS AND RAFTER ANCHORS SHALL BE HOP DIPPED GALVANIZED, "ZMAX" GALVANIZED COATED OR STAINLESS STEEL FOR PRESSURE TREATED LUMBER AS MANUFACTURED BY "SIMPSON" OR APPROVED EQUAL. GALVANIZED OR STAINLESS STEEL SPECIALITY NAILS AS SUPPLIED BY MANUFACTURER SHALL BE USED FOR REQUIRED NAILING.

17. METAL CROSS BRIDGING SHALL BE GALVANIZED STEEL AS MANUFACTURED BY "TECO", "SIMPSON" OR APPROVED EQUAL, AND INSTALLED ACCORDING TO MANUFACTURERS DIRECTIONS.

18. PROVIDE "X" BRIDGING OR SOLID BLOCKING EVERY 8'-0". BOTTOM ENDS OF BRIDGING SHALL NOT BE NAILED UNTIL AFTER ENTIRE STRUCTURE IS COMPLETE.

19. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS.

20. WHERE SHEATHING IS NOT PLYWOOD, DIAGONAL BRACING SHALL BE LET IN AT EXTERIOR CORNERS OR BRACE CORNERS WITH 1/2" CDX PLYWOOD 4'-0" IN EACH DIRECTION.

21. CORNER BOARDS, FASCIA BOARDS, DOORS AND WINDOWS CASINGS, AND DECORATIVE WOOD ITEMS SHALL BE WOOD 5/4" OR 3/4" NO.1 PINE OF SIZE, STYLE AND DESIGN AS INDICATED ON THE DRAWINGS. BACK PRIME PAINTED TRIM.

22. EXTERIOR WOOD POSTS SHALL BE PRESSURE TREATED WOOD, SET ON APPROVED TYPE HEAVY DUTY GALVANIZED METAL BASE, ANCHORED IN CONCRETE. BOXED FINISH TO MATCH WOOD TRIM.

23. WOOD PLATES AND SILLS IN CONTACT WITH CONCRETE FOUNDATION WALLS AND CONCRETE SLABS SHALL BE PRESSURE TREATED WOOD.

24. PRESSURE PRESERVATIVES TREATMENT FOR WOOD SHALL BE APPROVED BY LOCAL AUTHORITIES HAVING JURISDICTION.

25. PROVIDE (3) 2"X6" SPIKED AT BEARING POINTS OF ALL TRIPLE FRAMING MEMBERS UNLESS OTHERWISE NOTED.

SECTION 7 : THERMAL AND MOISTURE PROTECTION

1. FOUNDATION TO BE WATERPROOFED WITH AN APPROVED TYPE, BITUTHENE COATING APPLIED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTALLATION RECOMMENDATIONS.

2. PROVIDE 6" PVC FOOTING DRAINS WITH GRAVEL ALONG FOOTING OUT TO DAYLIGHT.

3. ALL WINDOWS, DOORS AND SKYLIGHTS TO BE WEATHER-STRIPPED AND CAULKED.

4. ALL SEALANTS TO BE SILICONE, COLORED TO MATCH SURROUNDING MATERIAL.

5. ALL FLASHING SHALL BE NONFERROUS METAL (UNLESS OTHERWISE NOTED). FABRIC FLASHING MAY ONLY BE USED WITH WRITTEN APPROVAL OF THE ARCHITECT.

6. ALL ROOF TO ROOF, AND ROOF TO WALL JOINTS SHALL BE CONTINUOUSLY FLASHED.

7. ALL ROOFS DESIGNATED AS HAVING ASPHALTIC FIBERGLASS SHINGLE ROOFING SHALL HAVE 1 (ONE) LAYER OF 15 # ROOF FELT OVER PLYWOOD SHEATHING.

8. INSTALL 30 # FELT PAPER WERE ROOFS DESIGNATED AS HAVING METAL ROOFING, SLATE OR CLAY TILE ROOFS.

9. PROVIDE PROPER VENTILATION AT ALL ROOF CONDITIONS WITH SOFFIT VENTS, CONT. RIDGE VENTS, SCREENED LOUVERS OR OTHER VENTILATION METHODS INDICATED.

10. PROVIDE A MINIMUM OF 1" AIR SPACE BETWEEN BATT INSULATION AND UNDERSIDE OF ROOFING SHEATHING FOR VENTILATION.

11. ALL INSULATION TO BE GLASS FIBER BATTS WITH A KRAFT PAPER TYPE VAPOR BARRIER INSTALLED ON THE HEATED SIDE (UNLESS OTHERWISE NOTED).

12. AT ALL PERIMETERS OF ROOF CORNICES, VALLEYS OR WERE VERTICAL WALL INTERSECT ROOF PLANE INSTYALL ONE LAYER OF ICE AND WATER SHIELD BY "GRACE" OR APPROVED EQUAL A MINIMUM OF 24" UP FROM FASCIA -(OR AS NOTED ON DRAWINGS).

SECTION 8: WINDOWS AND DOORS

1. SEE ARCHITECTURAL DRAWINGS FOR SPECIFICATIONS OF ALL EXTERIOR AND INTERIOR WINDOWS AND DOORS.

2. ALL GLAZING IN DOORS, SHOWER / TUB ENCLOSURE AND DOORS, FIXED SIDE LIGHTS AND INTERIOR PARTITIONS WHERE SUCH GLAZING EXTENDS TO WITHIN 18" OF FLOOR LEVEL TO BE SHATTERPROOF TYPE GLASS, TEMPERED OR LAMINATED AS PER CODE REQUIREMENTS.

SECTION 9 : FINISHES

1. SEE ARCHITECTURAL DRAWINGS FOR SPECIFIC FINISHES OF FLOORS, WALLS AND CEILINGS FOR BOTH INTERIOR AND EXTERIOR SPACES.

2. ALL INTERIOR DRYWALL SURFACE NOT REQUIRING A FIRE RATING SHALL BE 1/2" OR 5/8" (AS NOTED ON PLANS) GYPSUM WALL BOARD AND SHALL RECEIVE 3 (THREE) COATS OF JOINT COMPOUND, TAPED AND SPACKLED, SANDED, PRIMED AND READY TO RECEIVE 1 (ONE) FINISHED PAINT COAT.

3. ALL BATHROOM WALLS AND WET AREAS IN KITCHENS AND LAUNDRY ROOMS SHALL HAVE 1/2" WATER-RESISTANT GYPSUM WALL BOARD AND SHALL RECEIVE 3 (THREE) COATS OF JOINT COMPOUND, TAPED AND SPACKLED, SANDED, PRIMED AND READY TO RECEIVE 1 (ONE) FINISHED PAINT COAT.

4. ALL SHOWERS, TUB AREAS, WALLS OR CEILINGS DESIGNATED TO RECEIVE A TILE FINISH SHALL HAVE CEMENTITIOUS BACKER BOARD WITH 3 (THREE) COATS CEMENT BOARD JOINT COMPOUND AND JOINT MESH AS REQUIRED PRIOR TO TILE APPLICATION.

5. ALL FLOORS DESIGNATED AS A MUD JOB APPLICATION FOR A TILE FLOOR SHALL HAVE 30 # FELT PAPER OVER PLYWOOD SUBFLOOR, WIRE LATH WITH A MINIMUM OF 1 1/4" THICK CEMENT - CONTRACTOR SHALL COORDINATE FRAMING AS REQUIRED FOR ALL ADJACENT FINISHED FLOORS TO BE FLUSH AND LEVEL WITH MUD JOB FINISHED FLOOR.

6. ALL FLOORS DESIGNATED AS A THIN SET APPLICATION FOR A TILE FLOOR SHALL HAVE 1/2" CEMENTITIOUS BOARD OVER PLYWOOD SUBFLOOR, CONTRACTOR SHALL COORDINATE FRAMING AS REQUIRED FOR ALL ADJACENT FINISHED FLOORS TO BE FLUSH AND LEVEL WITH THIN SET FINISHED FLOOR.

7. ALL FLOORS DESIGNATED AS FINISHED WOOD FLOORS SHALL HAVE ROSIN PAPER OVER PLYWOOD SUBFLOOR AND SHALL RECEIVE 1 (ONE) COAT OF SEALER AND A MINIMUM OF 2 (TWO) COATS OF POLYURETHANE. CONTRACTOR SHALL COORDINATE

8. ALL FLOORS DESIGNATED AS HAVING CARPETING SHALL HAVE 3/8" UNDERLAYMENT OVER PLYWOOD SUBFLOOR AND SHALL HAVE PADDING UNDER CARPETING.

9. ALL EXTERIOR TRIM SUCH AS WINDOW AND DOOR TRIM, FASCIAS, FRIEZES, MOLDING, WOOD PANELS, ETC. SHALL BE SECURED USING GALVANIZED FINISH NAILS - COUNTERSUNK, PUTTIED, SANDED AND SPOT PRIMED PRIOR TO PAINTING.

10. ALL EXTERIOR TRIM SUCH AS WINDOW AND DOOR TRIM, FASCIAS, FRIEZES, MOLDING, WOOD PANELS, ETC. SHALL BE EITHER FACTORY OR FIELD BACK PRIMED FRONT PRIMED AND RECEIVE 1 (ONE) EXTERIOR PAINT FINISH.

11. ALL ROOFING OR EXTERIOR WALL SIDING DESIGNATED AS CEDAR SHINGLES ON DRAWINGS SHALL BE (# 1 GRADE) RED CEDAR PERFECTION SHINGLES (BLUE LABEL) - EITHER FACTORY OR FIELD BACK PRIMED - WITH 2 (TWO) COATS OF FINISH STAIN. COORDINATE WITH ARCHITECT COLOR OF STAIN.

12. ALL ROOFING DESIGNATED AS ASPHALTIC FIBERGLASS SHINGLES SHALL BE 40 YEAR WARRANTY (MINIMUM) BY "TIMBERLINE OR APPROVED EQUAL. COORDINATE WITH ARCHITECT FOR SELECTION OF SHINGLE COLOR.

SECTION 10 : SPECIALITIES

NO WORK UNDER THIS SECTION

SECTION 11 : EQUIPMENT

1. OWNER SHALL PROVIDE ALL KITCHEN APPLIANCES - CONTRACTOR SHALL INCLUDE IN BASE BID INSTALLATION OF APPLIANCES AND ALL REQUIRED MECHANICAL AND /OR ELECTRICAL SYSTEMS AND CONNETCIONS REQUIRED FOR PROPER WORKING CONDITIONS.

SECTION 12 : FURNISHINGS

NO WORK UNDER THIS SECTION

SECTION 13 : SPECIAL CONSTRUCTION

1. CONTRACTOR SHALL INCLUDE IN BASE BID ALL PLUMBING FIXTURES AND INSTALLATION AS INDICATED ON DRAWINGS INCLUDING ALL FITTINGS REQUIRED FOR PROPER WORKING CONDITIONS. (PROVIDE PRICING ALLOWANCES AS DETAILED IN INSTRUCTIONS TO BIDDERS).

2. CONTRACTOR SHALL INCLUDE IN BASE BID MATERIALS AND INSTALLATION OF ALL KITCHEN CABINETRY AND BUILT-INS AS INDICATED ON DRAWINGS. (PROVIDE PRICING ALLOWANCES AS DETAILED IN INSTRUCTIONS TO BIDDERS).

3. IF DRAWINGS INDICATE A NEW FIREPLACE - PROVIDE FRESH AIR INLET FOR FIREBOX AND AIR TIGHT NON-COMBUSTIBLE DOORS AT FIREPLACE OPENING COMPLYING WITH CHAPTER 10 OF RESIDENTIAL CODE OF NEW YORK STATE.

SECTION 14 : CONVEYING SYSTEMS

NO WORK UNDER THIS SECTION

SECTION 15 : MECHANICAL

1. ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE, THE PLUMBING CODE OF NEW YORK STATE,THE NATIONAL PLUMBING CODE, LOCAL CODES HAVING JURISDICTIONS AND BEST PRACTICE.

2. PROVIDE NEW HVAC SYSTEM USING HYDRO AIR. PROVIDE 3 SEPARATE AIR HANDLERS WITH 3 ZONES AND INSTALL THERMOSTATS. INSTALL RADIENT FLOOR HEATING SYSTEM IN (FOYER, MUD ROOM, AND DEN) USING MUD JOB METHOD. INSTALL RADIENT FLOOR IN KITCHEN AND MASTER BATHROOM USING UNDER SHEATHING METHOD

3. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL PLUMBING, RELATED FIXTURES, VENTILATION, HEATING AND AIR CONDITIONING. ALL WORK SHALL COMPLY WITH NYSUFPBC AND LOCAL CODES AND ORDINANCES. SUBCONTRACTORS SHALL COORDINATE WORK WITH ALL OTHER TRADES.

4. HEATING AND AIR CONDITIONING EQUIPMENT SHALL BE SO SIZED AND INSTALLED TO MAINTAIN 68 DEGREE F INDOOR TEMPERATURE WITH 0 DEGREES F OUTDOOR TEMPERATURE.

5. ALL HEATING AND AIR CONDITIONING, ACCESSORIES AND APPURTENANCES SHALL BE U.L. LISTED AND INSTALLED IN ACCORDANCE WITH SAME.

6. BATHROOM, KITCHEN AND DRYERS SHALL BE EXHAUSTED IN ACCORDANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE.

7. MECHANICAL ROOM SHALL BE VENTED WITH FRESH AIR INTAKES IN ACCORDANCE WITH NFPA CODES # 31 OR # 54.

8. PROVIDE SHUT OFF VALVES AL ALL FIXTURES AND APPLIANCES.

9. PIPING AS PER LOCAL CODE. INSULATE HOT AND COLD WATER SUPPLIES.

10. PROVIDE 4 FREEZE PROOF OUTDOOR HOSE BIBS WHERE INDICATED ON PLANS.

11. NO WATER PIPES OR SOIL OR WASTE LINES SHALL BE EXPOSED IN UNINSULATED AND UNHEATED SPACES IN THE CRAWL SPACE OR BASEMENT. WATER SERVICE SHALL BE PROTECTED FROM FREEZING WHERE EXPOSE IN UNHEATED SPACES.

12. PITCH ALL WATER LINES TO LOW POINT TO DRAIN AND PROVIDE DRAIN VALVE.

13. CONTRACTOR SHALL PROVIDE AND INSTALL ALL EQUIPMENT AND ACCESSORIES NECESSARY FOR AIR CLEANERS AND ACCESSORIES TO HVAC

14. CONTRACTOR SHALL PROVIDE AND INSTALL ALL EQUIPMENT AND ACCESSORIES NECESSARY FOR NEW HUMIDIFYING SYSTEM FOR ENTIRE HOUSE AT EACH AIR HANDLER

SECTION 16 : ELECTRICAL

1. ELECTRICAL INSTALLATION WIRING AND EQUIPMENT SHALL CONFORM TO THE RESIDENTIAL CODE OF NEW YORK STATE AND THE NATIONAL ELECTRIC CODE (NFPA NO. 70 LATEST EDITION)

2. NEW 400 AMP SERVICE TO BE PROVIDED

DESIGN LOAD ALLOWANCES

TABLE R301.2(1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMPERATURE	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
	SPEED (MPH)		WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
45 PSF	120 MPH	C	SEVERE	3-4'	MODERATE TO HEAVY	SLIGHT TO MODERATE	7^ F.	YES	

UNIFORMLY DISTRIBUTED LIVE LOADS (in psf)

USE	MIN. REQUIRED PER TABLE R301.4	PROVIDED
EXTERIOR BALCONCIES	60 PSF	60 PSF
DECKS	40 PSF	40 PSF
PASSENGER VEHICLE GARAGES	50 PSF	50 PSF
ATTICS WITHOUT STORAGE	10 PSF	10 PSF
ATTICS WITH STORAGE	20 PSF	20 PSF
ROOMS OTHER TAHN SLEEPING ROOMS	40 PSF	40 PSF
SLEEPING ROOMS	30 PSF	30 PSF
STAIRS	40 PSF	40 PSF
GUARDRAILS AND HANDRAILS	200 PSF	200 PSF

ROOF DESIGN LOAD

GROUND SNOW LOAD	MIN. ROOF LIVE LOAD REQUIRED PER ASCE 7	PROVIDED
45 PSF	(FLAT ROOFS WITH 1/4" PER FT TO 3 ON 12 ROOF SLOPE) - 34.65 PSF	35 PSF
	(3 ON 12 TO 6 ON 12 ROOF SLOPE) - 29.9 PSF	30 PSF
	(7 ON 12 OR GREATER ROOF SLOPE) - 22.5 PSF	30 PSF

ENERGY CONSERVATION CONSTRUCTION CODE OF N.Y.S.

IECC 2015 ENERGY CODE
2017 SUPPLEMENT

BUILDING TYPE: SINGLE FAMILY RESIDENTIAL

DESIGN DEGREE DAYS (PER TABLE 302.1) : 5,750 (WESTCHESTER COUNTY)

DESIGN TEMPERATURES (PER TABLE 302.1) : 7 DEGREES F. (WINTER DESIGN DRY BULB)
84 DEGREES F. (SUMMER DESIGN DRY BULB)

CODE DESIGN COMPLIANCE METHOD:

ENVELOPE COMPONENT	MIN. R VALUE PROVIDED	MAX. U - FACTOR PROVIDED
GLAZING	N/A	U -0.25
OPAQUE DOORS	N/A	U -0.35
CEILING	R-38	
EXTERIOR WALL	R-19	
FLOOR	R-30	
BASEMENT WALL (CONDITIONED SPACE)	R-10	
SLAB PERIMETER	R-10, 2 FT.	
CRAWLSPACE (UNVENTILATED)	R-19	

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ARCHITECTS

STRUCTURAL ENGINEERS

landscape architect

FOODSERVICE EQUIPMENT

PROJECT INFORMATION

PROPOSED POOL & CABANA

FOR:

MR. & MRS. KIRSCHNER

8 SPRUCE HILL RD.
ARMONK, NY

No. Revision	Date	Description
	10-16-20	D.O.B. SUBMISSION
-	-	-
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-	-	-
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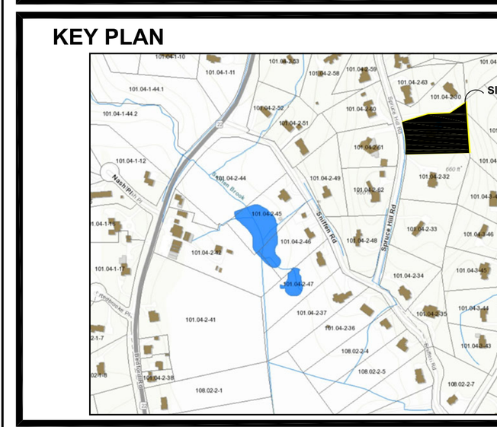
KEY PLAN



DRAWING TITLE

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ISSUE DATE : 04-04-19
DRAWN BY : LdL
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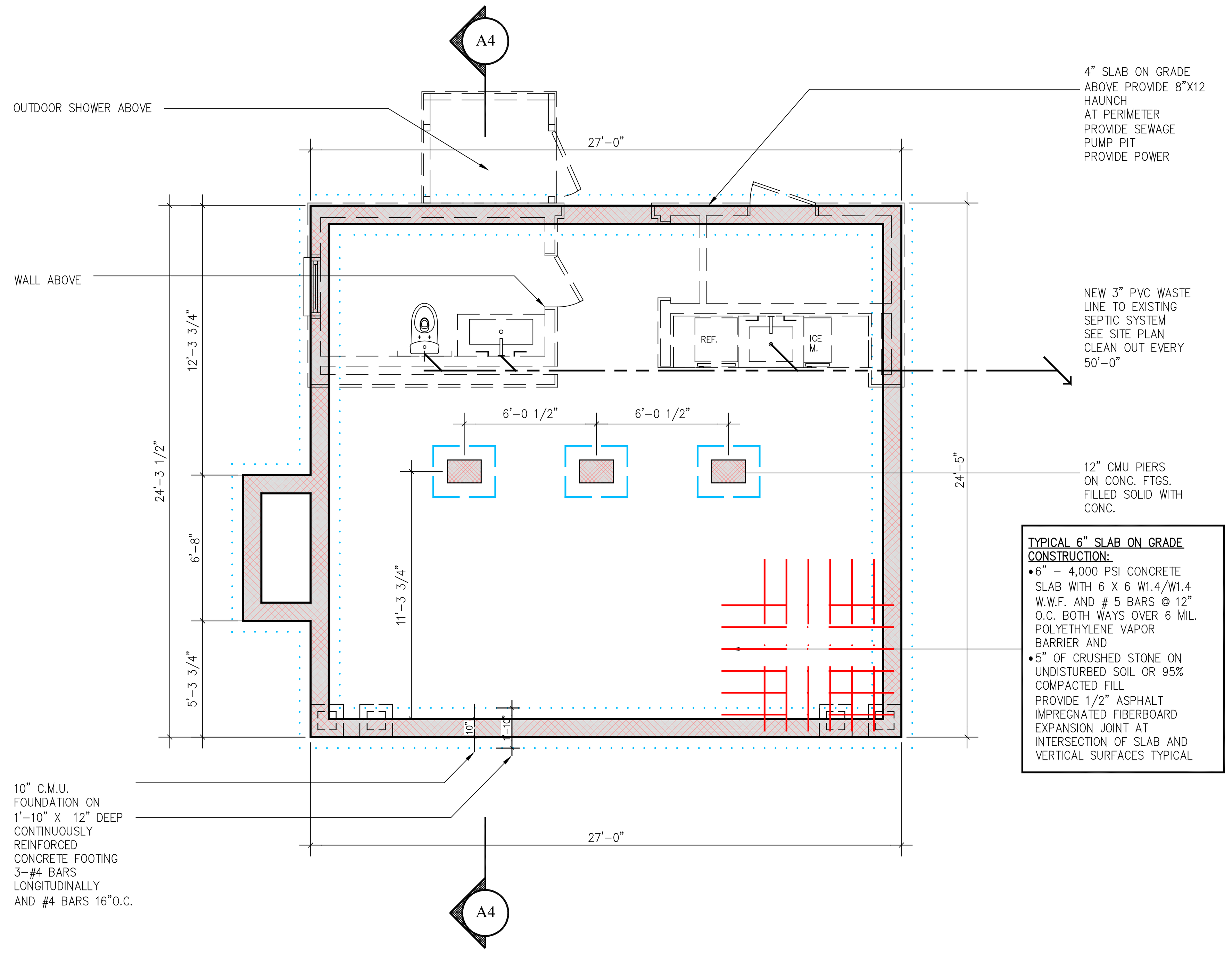
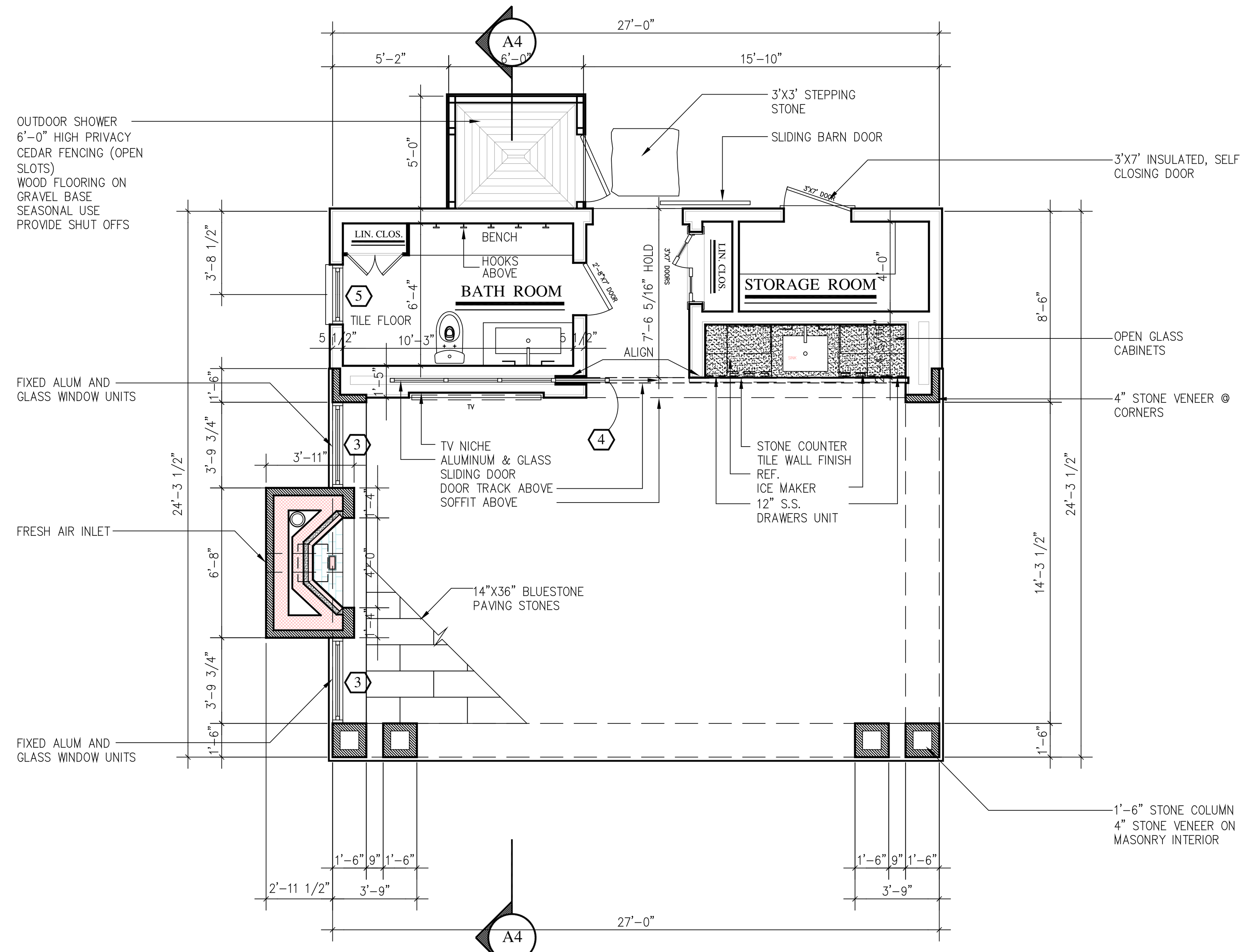


FOUNDATION PLAN

SCALE: 1/4"= 1'-0"

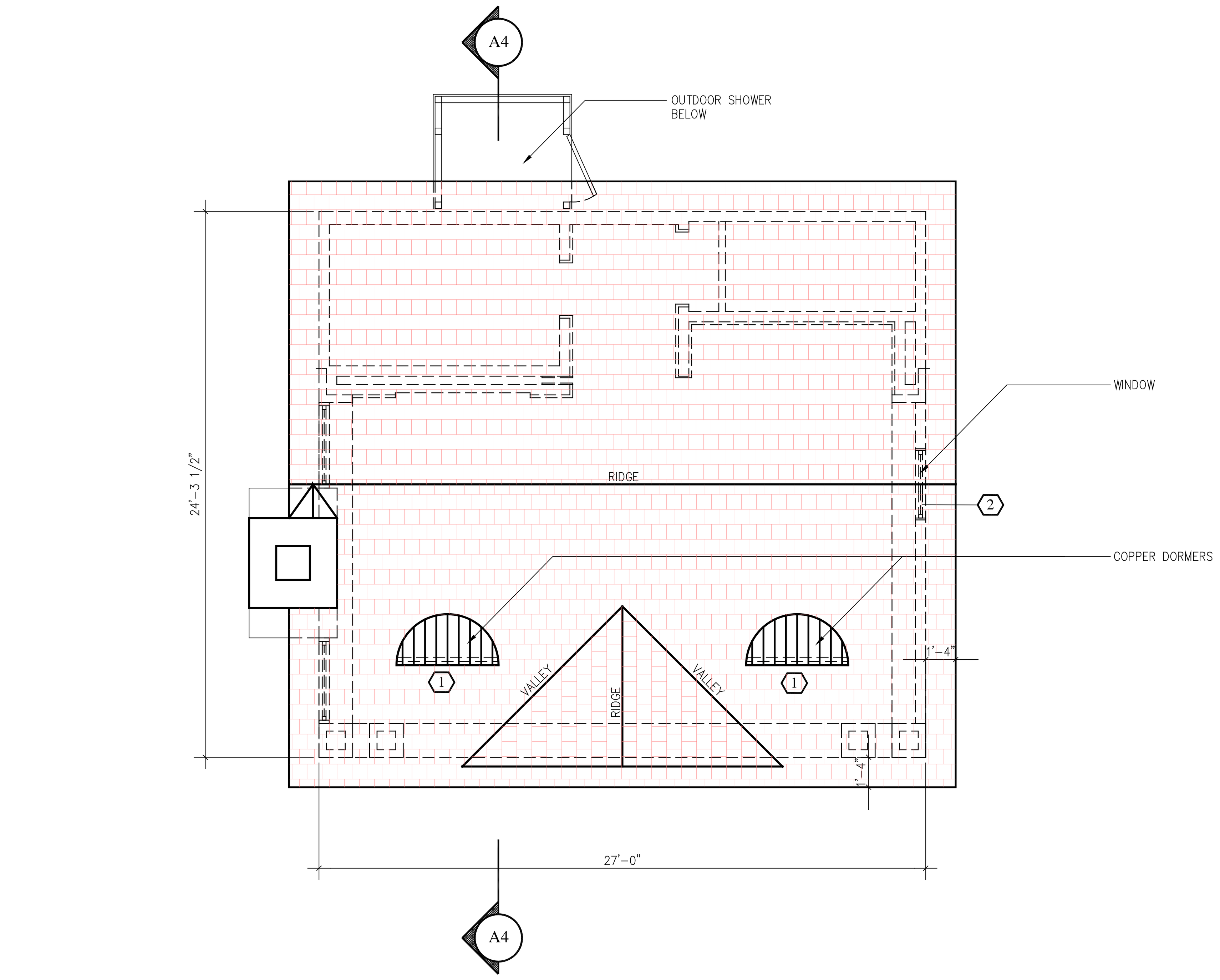


FIRST FLOOR PLAN

SCALE: 1/4"= 1'-0"

NOTE:
ENTIRE STRUCTURE IS FOR SEASONAL USE. NO HEATING OR AIR CONDITIONING.
PROVIDE DRAINS FOR SEASONAL WATER & WASTE LINES BLOW OUT AND WINTERIZE CAPABILITY.

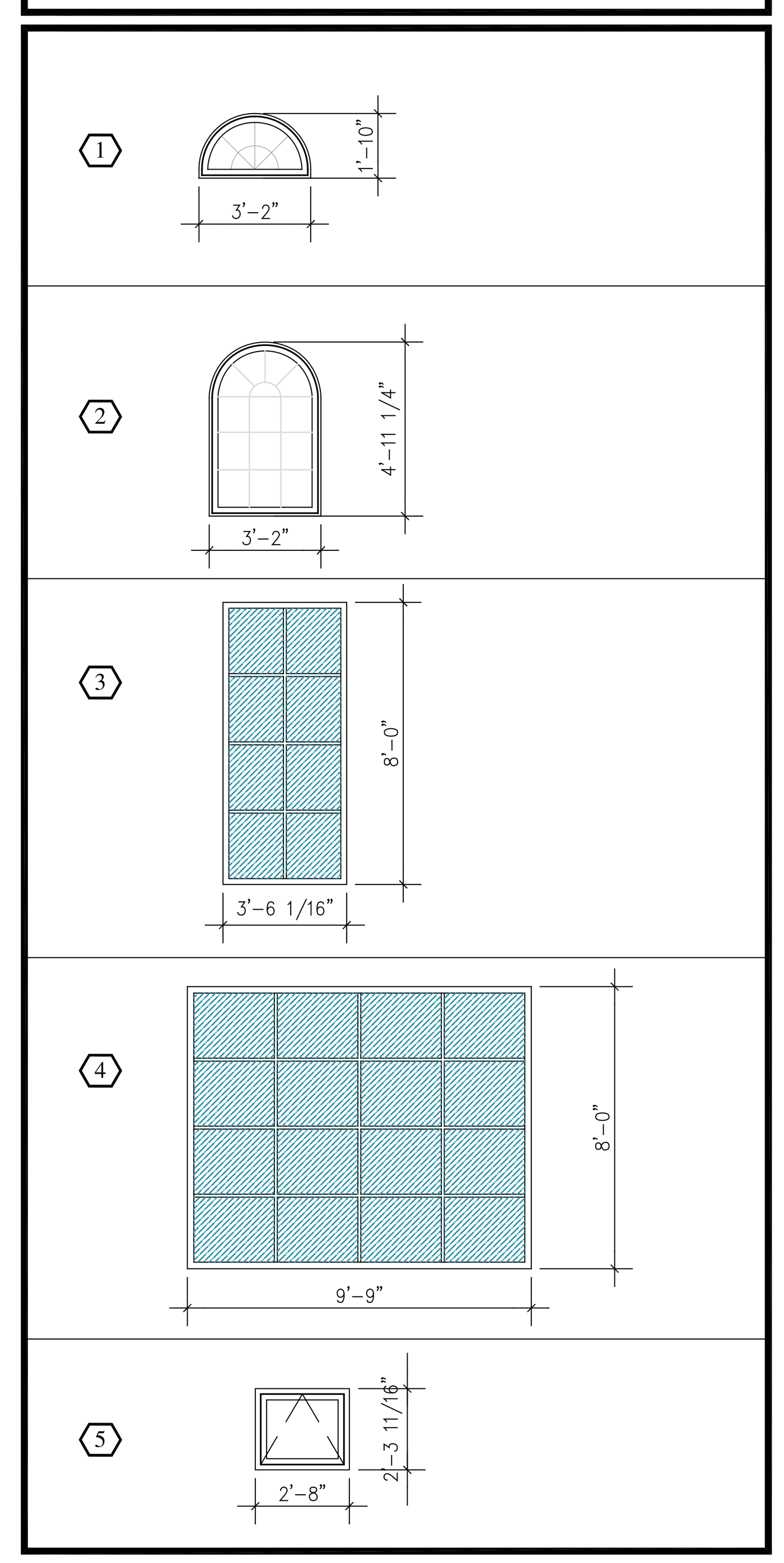
ALL DOORS TO RECEIVE STAINLESS STEEL HARDWARE



ROOF PLAN

SCALE: 1/4"= 1'-0"

WINDOW SCHEDULE



INTERIOR DOORS :

- ALL INTERIOR DOOR SIZES INDICATED ON FLOOR PLANS OR THE INTERIOR DOOR SCHEDULE ARE NOMINAL SIZES, CONTRACTOR IS RESPONSIBLE TO COORDINATE ROUGH OPENING REQUIREMENTS WITH DOOR MANUFACTURER.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH OWNER ALL OPTIONS OF INTERIOR DOORS REGARDING MATERIAL, STYLE, HARDWARE, FINISHES, COLORS AND ALL OTHER COMPONENTS OF INTERIOR DOORS.

EXTERIOR DOORS :

- ENTRANCE DOORS SHALL BE BY "THERMA-TRU" UNLESS NOTED OTHERWISE. (SEE PLANS FOR MODEL NUMBERS AND ELEVATIONS FOR GRILL PATTERNS).
- CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH OWNER ALL OPTIONS REGARDING GRILLS, HARDWARE, SCREENS, FINISHES, COLORS AND ALL OTHER COMPONENTS OF WINDOWS & DOORS.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE ROUGH OPENING AND MASONRY OPENING REQUIREMENTS WITH WINDOW & DOOR MANUFACTURER PRIOR TO FRAMING.

WINDOWS AND EXTERIOR FRENCH DOORS :

- ALL EXTERIOR WINDOWS AND GLAZED FRENCH PATIO OR SLIDING DOORS SHALL BE BY "ANDERSEN" SERIES 400 VINYL CLAD EXTERIOR UNLESS NOTED OTHERWISE. (SEE PLANS FOR MODEL NUMBERS AND ELEVATIONS FOR GRILL PATTERNS).
- WINDOW SUPPLIER SHALL SUBMIT (4) COPIES OF WINDOW CUT SHEETS TO THE OWNER AND ARCHITECT FOR REVIEW AND APPROVAL SHOWING WINDOW ROUGH OPENING SIZES, EGRESS WINDOW DESIGANTIONS, ALL STANDARD FEATURES AND OPTIONS PRIOR TO FABRICATION OF WINDOWS AND DOORS.
- WINDOWS AND FRENCH DOORS TO HAVE WHITE EXTERIOR CLADING WITH SIMULATED DIVIDED LITES IN 6 OVER 6, BARE PINE INTERIOR JAMB, JAMB EXTENTIONS FOR 2 X 6 STUD WALL CONSTRUCTION, STANDARD STONE FINISH HARDWARE, INSECT SCREENS UNLESS OTHERWISE NOTED ON PLANS OR AS REQUESTED BY OWNER/CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH OWNER ALL OPTIONS REGARDING GRILLS, HARDWARE, SCREENS, FINISHES, COLORS AND ALL OTHER COMPONENTS OF WINDOWS & DOORS.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE ROUGH OPENING AND MASONRY OPENING REQUIREMENTS WITH WINDOW & DOOR MANUFACTURER PRIOR TO FRAMING.

SPECIFICATIONS NOTE:
SEE GENERAL NOTES SHEET GN FOR ADDITIONAL CONSTRUCTION INFORMATION – THE CONTRACTOR AND ALL SUB CONTRACTORS ARE TO READ ALL CONSTRUCTION NOTES AND BE FAMILAR WITH WORK OF OTHER TRADES.

NOTE:
ALL DIMENSIONS INDICATED ARE ROUGH FRAMING TO ROUGH FRAMING OR ROUGH FRAMING TO FINSH DIMENSIONS – CONTRACTOR IS TO VERIFY FINISH TO FINISH DIMENSIONS IN THE FIELD

STRUCTURAL NOTE:
SEE STRUCTURAL PLANS FOR ADDITIONAL STRUCTURAL CONSTRUCTION INFORMATION

SOUND ATTENUATION BLANKET NOTE:
CONTRACTOR IS TO INSTALL 3" SOUND ATTENUATION BATT INSULATION IN WALLS AND CEILING OF LAUNDRY ROOM, ALL BATHROOMS, ALL BEDROOMS AND AS NOTED ON THE DRAWINGS

CLOSET NOTES :
CONTRACTOR TO PROVIDE AND INSTALL ONE CLOTHES ROD AND 12" DEEP WOOD SHELF MTD. + 64" A.F.F. IN ALL CLOSETS EXCEPT LINEN CLOSETS AND MASTER BEDROOM CLOSETS.
PROVIDE AND INSTALL (4) 12" DEEP WOOD SHELVES ON ADJUSTABLE STANDARDS IN LINEN CLOSETS.
MASTER BEDROOM CLOSETS TO HAVE CUSTOM SHELVING/STORAGE SYSTEMS INSTALLED (TO BE SELECTED BY OWNER)

RESIDENTIAL LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALL OR PARTITION TO REMAIN
	EXISTING WALL OR PARTITION TO BE REMOVED
	NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS'
	NEW 2 X 4 OR 2 X 6 STUD ONE HOUR FIRE RATED PARTITION
	NEW 2 X 4 OR 2 X 6 STUD BEARING WALL
1	EXTERIOR DOOR DESIGNATION
BO1	INTERIOR DOOR DESIGNATION
W2	WINDOW NUMBER
S/D	SMOKE DETECTOR WITH AUXILIARY BATTERY BACKUP – HARD WIRED AND INTERCONNECTED TO ALL OTHER SMOKE DETECTORS
H/D	HEAT DETECTOR HARDWIRED WITH AUXILIARY BATTERY BACKUP
C/M	CARBON MONOXIDE DETECTOR HARD WIRED WITH AUXILIARY BATTERY BACKUP
☒	RECESSED CEILING MTD. EXHAUST FAN DUCTED TO EXTERIOR – CONNECTED TO LIGHT SWITCH – SEE PLAN FOR CFM REQUIREMENTS

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FOODSERVICE EQUIPMENT

PROJECT INFORMATION

PROPOSED POOL & CABANA

FOR:
MR. & MRS. KIRSCHNER

8 SPRUCE HILL RD.
ARMONK, NY

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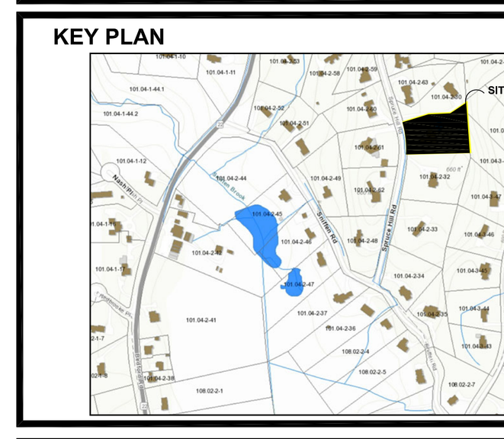
KEY PLAN



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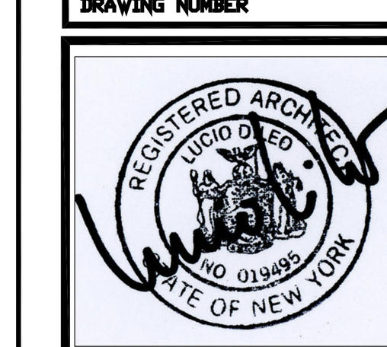

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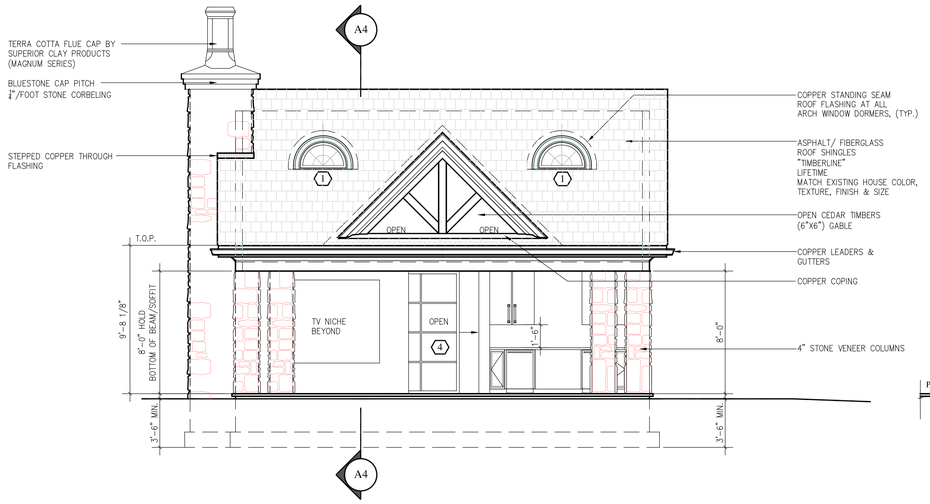
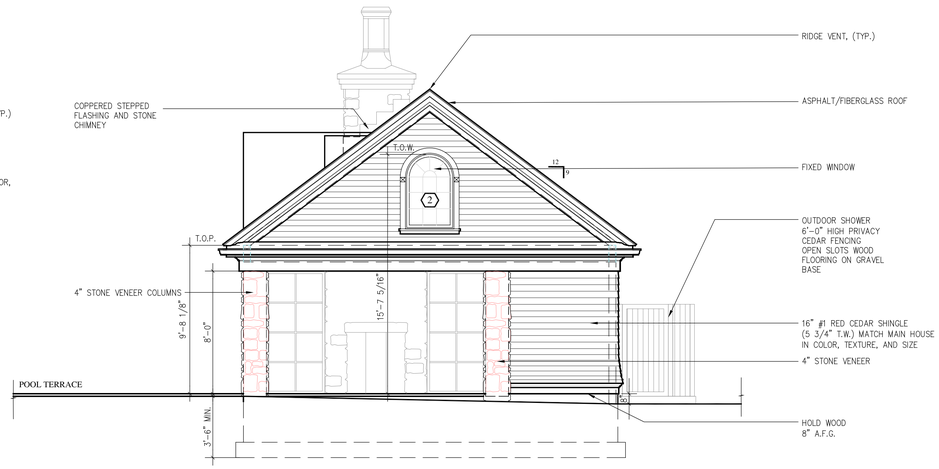


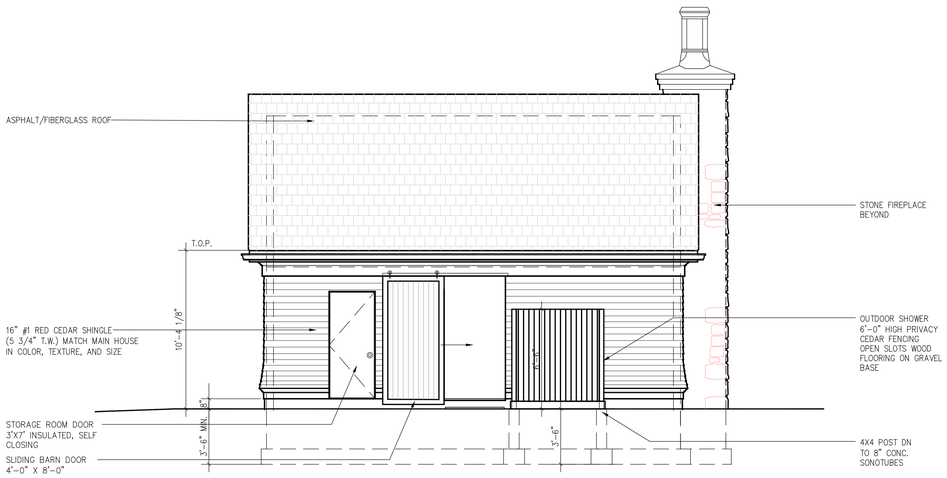
POOL SIDE ELEVATION

SCALE: 1/4"= 1'-0"



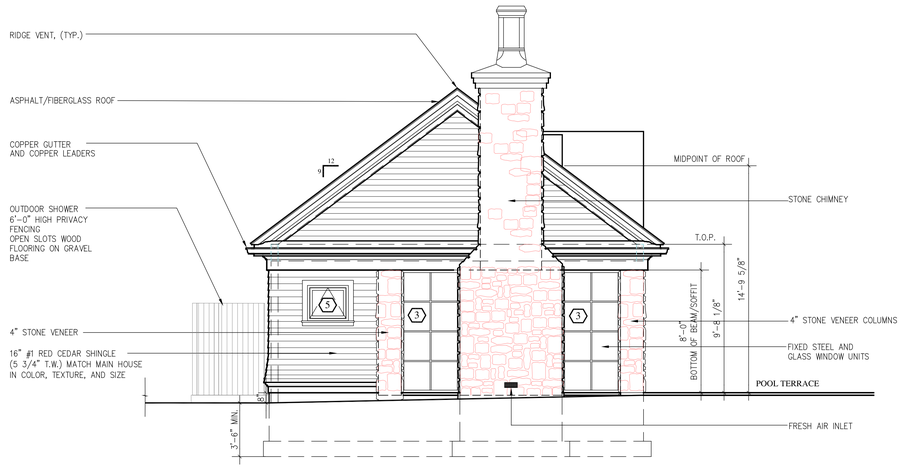
RIGHT SIDE ELEVATION

SCALE: 1/4"= 1'-0"



REAR ELEVATION

SCALE: 1/4"= 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"= 1'-0"

INTERIOR DOORS :

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- CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH OWNER ALL OPTIONS OF INTERIOR DOORS REGARDING MATERIAL, STYLE, HARDWARE, FINISHES, COLORS AND ALL OTHER COMPONENTS OF INTERIOR DOORS.

EXTERIOR DOORS :

- ENTRANCE DOORS SHALL BE BY "THERMA-TRU" UNLESS NOTED OTHERWISE. (SEE PLANS FOR MODEL NUMBERS AND ELEVATIONS FOR GRILL PATTERNS).
- CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH OWNER ALL OPTIONS REGARDING GRILLS, HARDWARE, SCREENS, FINISHES, COLORS AND ALL OTHER COMPONENTS OF WINDOWS & DOORS.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE ROUGH OPENING AND MASONRY OPENING REQUIREMENTS WITH WINDOW & DOOR MANUFACTURER PRIOR TO FRAMING.

WINDOWS AND EXTERIOR FRENCH DOORS :

- ALL EXTERIOR WINDOWS AND GLAZED FRENCH PATIO OR SLIDING DOORS SHALL BE BY "ANDERSEN" SERIES 400 VINYL CLAD EXTERIOR UNLESS NOTED OTHERWISE. (SEE PLANS FOR MODEL NUMBERS AND ELEVATIONS FOR GRILL PATTERNS).
- WINDOW SUPPLIER SHALL SUBMIT (4) COPIES OF WINDOW CUT SHEETS TO THE OWNER AND ARCHITECT FOR REVIEW AND APPROVAL SHOWING WINDOW ROUGH OPENING SIZES, EGRESS WINDOW DESIGNATIONS, ALL STANDARD FEATURES AND OPTIONS PRIOR TO FABRICATION OF WINDOWS AND DOORS.
- WINDOWS AND FRENCH DOORS TO HAVE WHITE EXTERIOR CLADING WITH SIMULATED DIVIDED LITES IN 6 OVER 6, BARE PINE INTERIOR JAMB, JAMB EXTENTIONS FOR 2 X 6 STUD WALL CONSTRUCTION, STANDARD STONE FINISH HARDWARE, INSECT SCREENS UNLESS OTHERWISE NOTED ON PLANS OR AS REQUESTED BY OWNER/CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH OWNER ALL OPTIONS REGARDING GRILLS, HARDWARE, SCREENS, FINISHES, COLORS AND ALL OTHER COMPONENTS OF WINDOWS & DOORS.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE ROUGH OPENING AND MASONRY OPENING REQUIREMENTS WITH WINDOW & DOOR MANUFACTURER PRIOR TO FRAMING.

SPECIFICATIONS NOTE:
SEE GENERAL NOTES SHEET GN FOR ADDITIONAL CONSTRUCTION INFORMATION – THE CONTRACTOR AND ALL SUB CONTRACTORS ARE TO READ ALL CONSTRUCTION NOTES AND BE FAMILAR WITH WORK OF OTHER TRADES.

NOTE:
ALL DIMENSIONS INDICATED ARE ROUGH FRAMING TO ROUGH FRAMING OR ROUGH FRAMING TO FINSH DIMENSIONS – CONTRACTOR IS TO VERIFY FINISH TO FINISH DIMENSIONS IN THE FIELD

STRUCTURAL NOTE:
SEE STRUCTURAL PLANS FOR ADDITIONAL STRUCTURAL CONSTRUCTION INFORMATION

SOUND ATTENUATION BLANKET NOTE:
CONTRACTOR IS TO INSTALL 3" SOUND ATTENUATION BATT INSULATION IN WALLS AND CEILING OF LAUNDRY ROOM, ALL BATHROOMS, ALL BEDROOMS AND AS NOTED ON THE DRAWINGS

CLOSET NOTES :
CONTRACTOR TO PROVIDE AND INSTALL ONE CLOTHES ROD AND 12" DEEP WOOD SHELF MTD. + 64" A.F.F. IN ALL CLOSETS EXCEPT LINEN CLOSETS AND MASTER BEDROOM CLOSETS.
PROVIDE AND INSTALL (4) 12" DEEP WOOD SHELVES ON ADJUSTABLE STANDARDS IN LINEN CLOSETS.
MASTER BEDROOM CLOSETS TO HAVE CUSTOM SHELVING/STORAGE SYSTEMS INSTALLED (TO BE SELECTED BY OWNER)

RESIDENTIAL LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALL OR PARTITION TO REMAIN
	EXISTING WALL OR PARTITION TO BE REMOVED
	NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS
	NEW 2 X 4 OR 2 X 6 STUD ONE HOUR FIRE RATED PARTITION
	NEW 2 X 4 OR 2 X 6 STUD BEARING WALL
1	EXTERIOR DOOR DESIGNATION
BO1	INTERIOR DOOR DESIGNATION
W2	WINDOW NUMBER
S/D	SMOKE DETECTOR WITH AUXILIARY BATTERY BACKUP – HARD WIRED AND INTERCONNECTED TO ALL OTHER SMOKE DETECTORS
H/D	HEAT DETECTOR HARDWIRED WITH AUXILIARY BATTERY BACKUP
C/M	CARBON MONOXIDE DETECTOR HARD WIRED WITH AUXILIARY BATTERY BACKUP
	RECESSED CEILING MTD. EXHAUST FAN DUCTED TO EXTERIOR – CONNECTED TO LIGHT SWITCH – SEE PLAN FOR CFM REQUIREMENTS

SCHEDULE
PROPOSED BUILDING MATERIALS AND COLOR SCHEME

COLOR	NAME	TYPE	
SIDING	RED CEDAR SHINGLES	SHINGLES 5'2" T.W.	STAINED WHITE
WINDOWS	EAGLE	DOUBLE HUNG	OFF WHITE
TRIM	5/4x4	WOOD	OFF WHITE
EXT. DOOR	PINECREST	MAHOGONY	NATURAL
ROOFING	TIMBERLINE	40 YEARS ARCHITECTURAL	WEATHER CEDAR
STONE AND/ OR BRICK	CONNECTICUT FIELDSTONE	DRY LOOK	GREY BROWN
STYLE	COLONIAL / SHINGLE STYLE		

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ARCHITECTS

STRUCTURAL ENGINEERS

landscape architect

FOODSERVICE EQUIPMENT

PROJECT INFORMATION

PROPOSED POOL & CABANA

FOR:

MR. & MRS. KIRSCHNER

8 SPRUCE HILL RD.
ARMONK, NY

No.	Revision	Date	Description
		10-16-20	D.O.B. SUBMISSION

KEY PLAN

DRAWING TITLE

A2

DRAWING NUMBER

SEAL/SIGNATURE

ISSUE DATE : 04-04-19
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BY : LDL
PROJECT NO : SR0717
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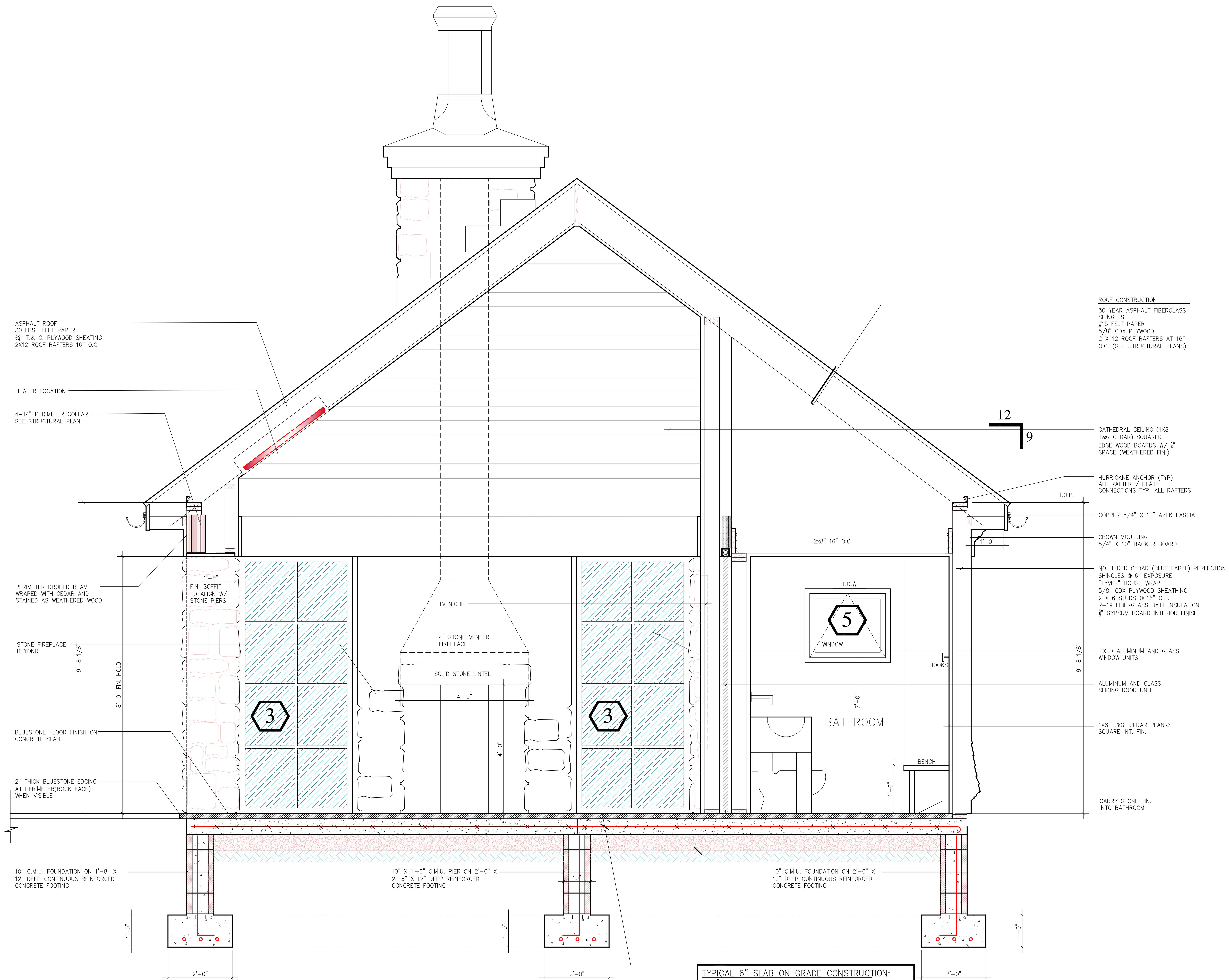
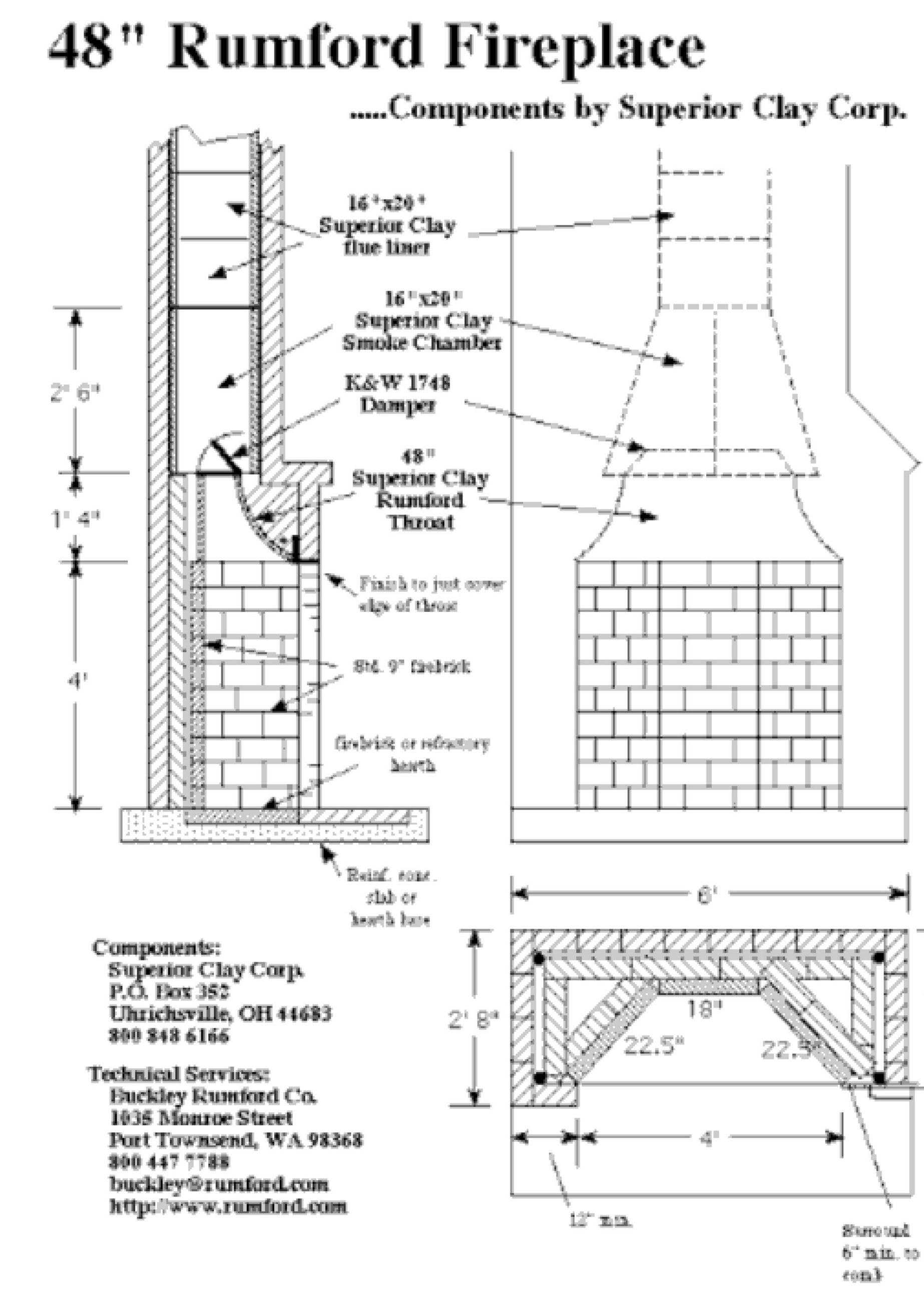


TYPICAL 6" SLAB ON GRADE CONSTRUCTION:
6" - 3000 PSI CONCRETE SLAB WITH 6 X 6
W1.4/W1.4 W.W.F. AND # 4 BARS @ 12" O.C.
BOTH WAYS OVER 6 MIL. POLYETHYLENE
VAPOR BARRIER AND 5" OF CRUSHED
STONE ON UNDISTURBED SOIL OR 95%
COMPACTED FILL
PROVIDE 1/2" ASPHALT IMPREGNATED
FIBERBOARD EXPANSION JOINT AT
INTERSECTION OF SLAB AND VERTICAL
SURFACES TYPICAL

SECTION

SCALE: 3/4"= 1'-0"



MAGNUM EDWARDIAN
48" Tall
400 lbs.
14.25" Top Opening
18.25"x18.25" Base I.D.
21.5"x21.5" Base O.D.

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FOR:
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No. Revision	Date	Description
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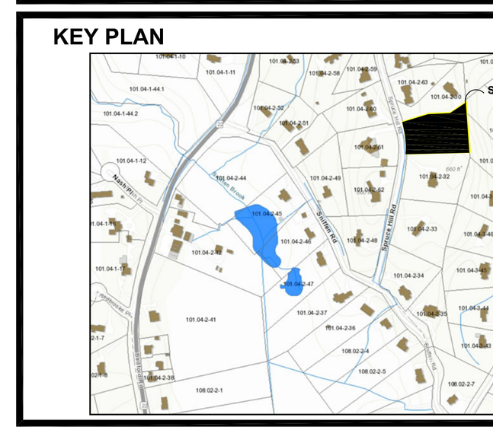
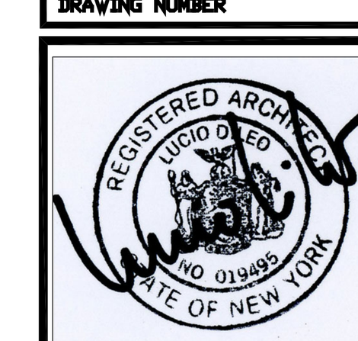
KEY PLAN



DRAWING TITLE

A3

DRAWING NUMBER



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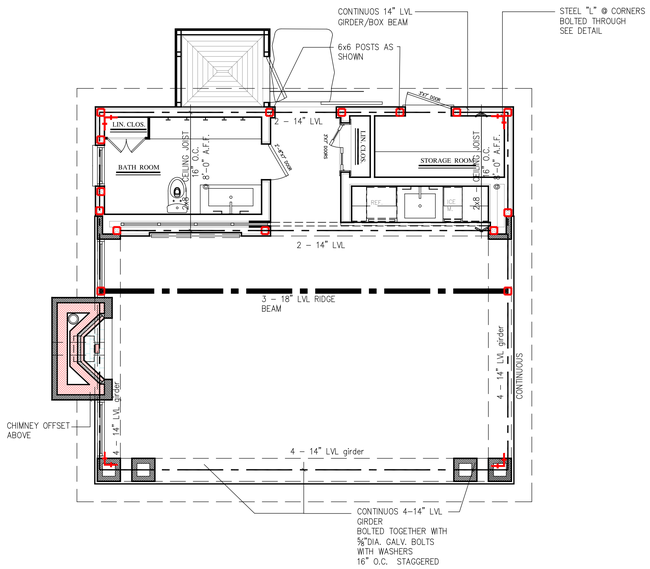
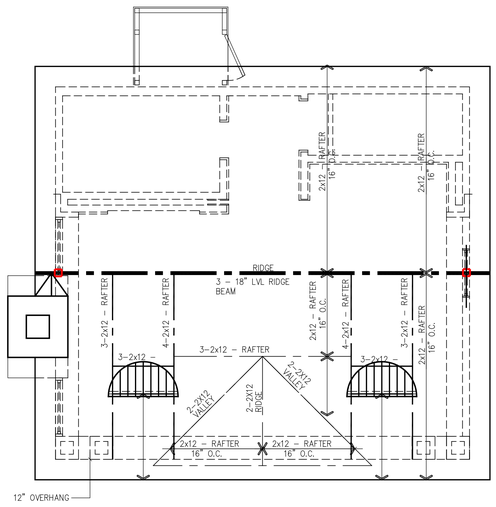


FIRST FLOOR FRAMING PLAN

SCALE: 1/2"= 1'-0"

NOTE :

SEE ARCHITECTURAL PLANS FOR ALL DIMENSIONAL AND CONSTRUCTION INFORMATION NOT INDICATED ON FRAMING PLANS

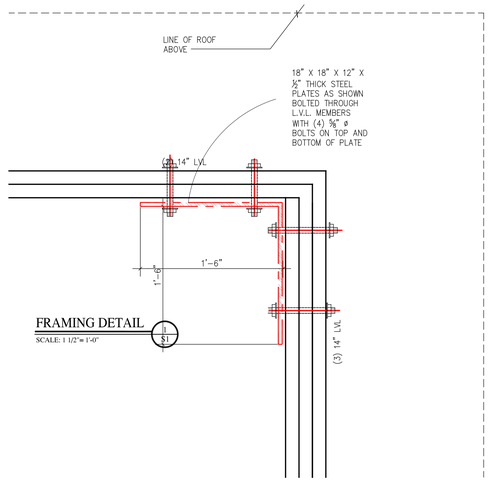


ROOF FRAMING PLAN

SCALE: 1/4"= 1'-0"

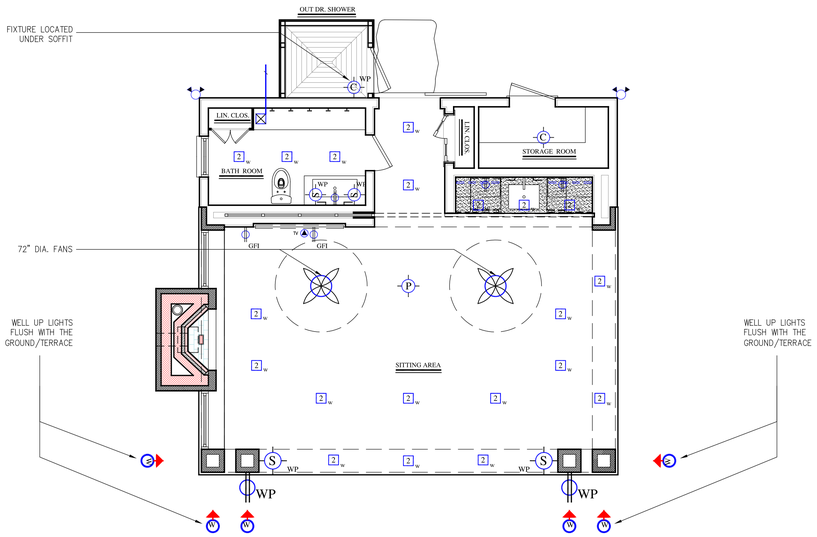
NOTE :

SEE ARCHITECTURAL PLANS FOR ALL DIMENSIONAL AND CONSTRUCTION INFORMATION NOT INDICATED ON FRAMING PLANS



FRAMING DETAIL

SCALE: 1 1/2"= 1'-0"



FIRST FLOOR LIGHTING PLAN

SCALE: 1/4"= 1'-0"

ALL DOORS TO RECEIVE STAINLESS STEEL HARDWARE

OWNER PURCHASED ELECTRICAL ITEMS

QUANTITY	DESCREIPTION
4	WALL MOUNTED LIGHT FIXTURE SCONCE (WATERPROOF)
2	WALL MOUNTED LIGHT FIXTURE SCONCE (BATHROOM)
1	MAIN PENDANT–(48"ø–DIA.)
1	UTILITY CEILING MOUNTED (W.P.)
2	CEILING FANS (72" DIA.)
5	WELL LIGHTS– BY "VOLT" LIGHTING, DIRECT BURRIAL –LED

ELECTRICAL NOTES

1. ALL ELECTRICAL WORK IS TO COMPLY WITH THE NATIONAL ELECTRICAL CODE (N.E.C.), AND ALL OTHER STATE AND LOCAL CODES AND REGULATIONS HAVING JURISDICTION.
2. ELECTRICAL LAYOUT INDICATED IS SCHEMATIC AND IS FOR BUDGETING PURPOSES ONLY. IT IS ELECTRICAL CONTRACTOR'S IS TO REVIEW FINAL ELECTRICAL LAYOUT WITH OWNER PRIOR TO START OF WORK.
3. ALL LIGHTING FIXTURES ARE TO BE SELECTED BY THE OWNER.
4. ALL CLOSETS TO HAVE DOOR ACTIVATED SWITCHES FOR CLOSET LIGHTS UNLESS OTHERWISE INDICATED.
5. ALL NEW OUTLETS AND SWITCHES TO BE "ARCHITECTURAL SERIES" SCREWLESS SQUARE CORNERS. UNLESS NOTED OTHERWISE.

ELECTRICAL LEGEND

KEY	FIXTURE TYPE	REMARKS
	DUPLEX OUTLET	
	DUPLEX OUTLET (ONE PLUG ACTIVATED BY LIGHT SWITCH)	
GFI	DUPLEX OUTLET (44" A.F.F.) WITH GROUND FAULT INTERRUPT	
X	DUPLEX OUTLET FOR APPLIANCE (VOLTAGE AS PER MANUF. SPECS)	
LG	DUPLEX OUTLET	POP OUT OUTLETS BY "LE GRAND"
	QUAD OUTLET	
	APPLIANCE OUTLET–220V	E.C. TO VERIFY APPLIANCE'S VOLTAGE, AMPERAGE, CONDUCTOR SIZE, CIRCUIT BREAKER REQUIREMENTS WITH APPLIANCE MANUFACTURER
$	WALL MOUNTED LIGHT SWITCH	
$3	THREE WAY WALL MOUNTED LIGHT SWITCH	
$D	WALL MOUNTED LIGHT SWITCH WITH DIMMER	
$3D	THREE WAY WALL MOUNTED LIGHT SWITCH WITH DIMMER	
F2	3.5"X3.5" SQUARE RECESSED DOWNLIGHT	BY WAC—LED
2	3.5"X3.5" SQUARE RECESSED DOWNLIGHT	BY WAC—LED
P	PENDANT LIGHT FIXTURE	BYOWNER T.B.S.
C	CEILING MOUNTED LIGHT FIXTURE	BYOWNER T.B.S.

FS	WALL MOUNTED LIGHT FIXTURE	
FS WP	WALL MOUNTED LIGHT FIXTURE (WATERPROOF)	
FS	RECESSED LINEAR COVE LIGHTING	LED FIXTURE BY "WAC"
(FS)	LINEAR INCANDESCENT COVE LIGHTING	LED FIXTURE BY "WAC"
(FS)	LINEAR WALL WASHER	
	TRACK LIGHT	FLANGELESS, LIGHTOLIER
W	WELL LIGHT	LED FIXTURE BY "WAC"
	ELECTRIC HEATER	
SD	SMOKE DETECTOR	
HD	HEAT DETECTOR	
CO	CARBON MONOXIDE DETECTOR	
	TELEPHONE JACK	
	CABLE T.V. OUTLET	
	MECHANICAL EXHAUST FAN VENTED TO OUTSIDE AIR — CAPACITY AS PER CODE	PANASONIC–QUIET 75 CFM
	FLOODLIGHT HOUSING (HEADS AS PER INDICATION)	
	CEILING MOUNTED FAN	BYOWNER T.B.S.
M	CEILING MOUNTED OVERHEAD GARAGE DOOR — MOTORIZED OPENER	
D	DISCONNECT SWITCH	

TRUSS JOIST SUBSTITUTION NOTE :

1. CONTRACTOR SHALL SUBMIT TO ARCHITECT WRITTEN PROOF THAT ANY SUBSTITUTIONS OF THE TRUSS JOIST MANUFACTURER INDICATED ON THESE DRAWINGS SHALL BE OF EQUAL STRUCTURAL CAPACITY PRIOR TO ORDERING.

TRUSS JOIST NOTES :

1. TRUSS JOISTS ARE TO BE MANUFACTURED BY "TRUSJOIST MACMILLAN" OR APPROVED EQUAL. SIZE AND SPACING AS INDICATED ON THE DRAWINGS.
2. FOLLOW ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.
3. MINIMUM BEARING LENGTH IS TO BE 1 3/4" AT JOIST ENDS AND 3 1/2" AT INTERMEDIATE SUPPORTS.
4. PROVIDE "TIMBERSTRAND LSL RIM BOARDS AT PERIMETER WALL AND AS INDICATED. DO NOT USE SOLID DIMENSIONAL LUMBER AS RIM BOARDS.
5. PROVIDE 2 X 4 WEB STIFFENER "SQUASH BLOCKS" AT ALL POINT LOADS AND AT INTERMEDIATE BEARING POINTS WHERE THERE IS A BEARING WALL ABOVE TO TRANSFER LOAD TO BEARING PLATE. PROVIDE WEB STIFFENERS AT JOIST INTERMEDIATE BEARING POINTS WHERE NO LOAD BEARING BEARING WALL IS ABOVE.
6. DO NOT BEVEL CUT JOIST BEARING BEYOND INSIDE FACE OF STUD WALL. (MAXIMUM OF 5 1/2" FOR 2 X 6 PLATE).
7. FOLLOW NAILING REQUIREMENTS AS RECOMMENDED BY "TRUSJOIST MACMILLAN".
8. USE GALVANIZED JOIST HANGERS WHEN SUPPORTING TRUSS JOISTS FROM MICROLLAM L.VL BEAMS, DOUBLED TRUSS JOISTS AND LEDGER BOARDS. PROVIDE WEB BLOCKING IF JOIST HANGERS DO NOT LATERALLY SUPPORT THE TRUSS JOIST TOP FLANGE. PROVIDE BACKER BLOCKS WHERE TRUSS JOISTS ARE FRAMED INTO ANOTHER TRUSS JOIST.
9. DOUBLE UP TJI JOISTS UNDER PARALLEL PARTITIONS ABOVE.

LVL NOTE :

1. ALL DESIGNATED LVL'S SHALL BE 1.9E "MICROLLAM" BY "TRUSJOIST MACMILLAN" WITH A FLEXURAL FIBER STRESS OF Fb = 2,600 P.S.I. — OR AN APPROVED EQUAL.
2. CONTRACTOR TO FOLLOW ALL RECCOMENDATIONS OF LVL MANUFACTURER IN REGARDS TO INSTALLATION, NOTCHING, DRILLING HOLES, BEARING, FASTENING OF MULTIPLE MEMEBERS (NAILING OR BOLTING) AND ALL OTHER PERTINENT INFORMATION FOR PROPER INSTALLATION.
3. NOTCHING AND DRILLING HOLES IN LVL'S SHOULD BE AVOIDED, HOWEVER IF REQUIRED DUE TO FIELD CONDITIONS, NOTCHING AND DRILLING HOLES SHALL BE LIMITED TO THE RECOMMENDATIONS OF THE LVL MANUFACTURER. THE G.C. IS TO COORDINATE FRAMING WITH MECHANICAL PLUMBING AND ELECTRICAL TRADES . THE G.C. IS TO BE RESPONCIBLE FOR ALL MODIFICATIONS TO LVL'S.
4. FASTEN MULTIPLE LVL MEMEBERS PER LVL MANUFACTURER'S RECOMMENDATIONS. (2) AND (3) MEMBER LVL BEAMS MAY BE NAILED OR BOLTED. (4) OR MORE MEMBER BEAMS ARE TO BE BOLTED.

HEADER AND LINTEL NOTES :

1. ALL WOOD HEADERS AT WINDOWS AND EXTERIOR DOORS TO BEAR ON (2) 2 X 4 OR (2) 2 X 6 JACK STUDS AT EACH END.
2. ALL STEEL ANGLES AT MASONRY VENEER IS TO BEAR A MINIMUM OF 4" ONTO MASONRY, OR AS INDICATED ON THE DRAWINGS.
3. FLUSH FRAMED BEAMS ARE TO BEAR ONTO CORNER POSTS, SOLID OR BUILT – UP POSTS AS INDICATED ON THE DRAWINGS.
4. WHERE (3) 2 X HEADERS ARE INDICATED, INSTALL (2) 1/2" PLYWOOD SPACERS BETWEEN EACH MEMBER.

FIRST FLR. LOADING SCHEDULE

LIVE LOAD	:	40 P.S.F.
DEAD LOAD	:	15 P.S.F.
TILE & MUD	:	20 P.S.F.
TOTAL LOAD	:	75 P.S.F.

FIRST FLR. LOADING SCHEDULE

LIVE LOAD	:	40 P.S.F.
DEAD LOAD	:	15 P.S.F.
TOTAL LOAD	:	55 P.S.F.

FRAMING PLAN LEGEND

- INDICATES FLOOR, CEILING, OR ROOF FRAMING DIRECTION AND SPACING.
- INDICATES STEEL BEAM OR LVL BEAM OR GIRDER (AS NOTED).
- BEARING PLATE LOCATION — SEE NOTES ON PLAN FOR SIZE AND BOLTING INFO.
- BUILT–UP SOLID WOOD POST — SEE NOTES ON PLANS FOR SIZE.
- BUILT–UP SOLID WOOD POST FROM ABOVE — SEE PLANS FOR SIZE.
- STEEL COLUMN — DIAMETER AS INDICATED ON PLANS.
- LOAD BEARING INTERIOR PARTITION

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PROJECT INFORMATION

PROPOSED POOL & CABANA

FOR:

MR. & MRS. KIRSCHNER

8 SPRUCE HILL RD.
ARMONK, NY

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		10-16-20	D.O.B. SUBMISSION
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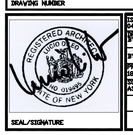
KEY PLAN

DRAWING TITLE

S1-E1

DRAWING NUMBER



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BY :	LJL
PROJECT NO :	200717
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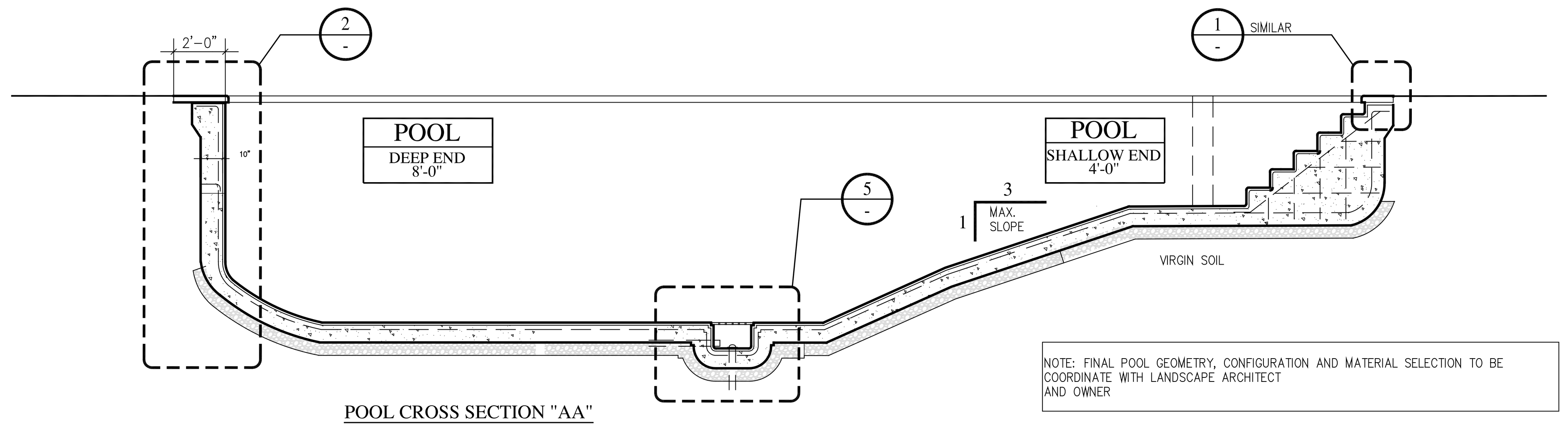
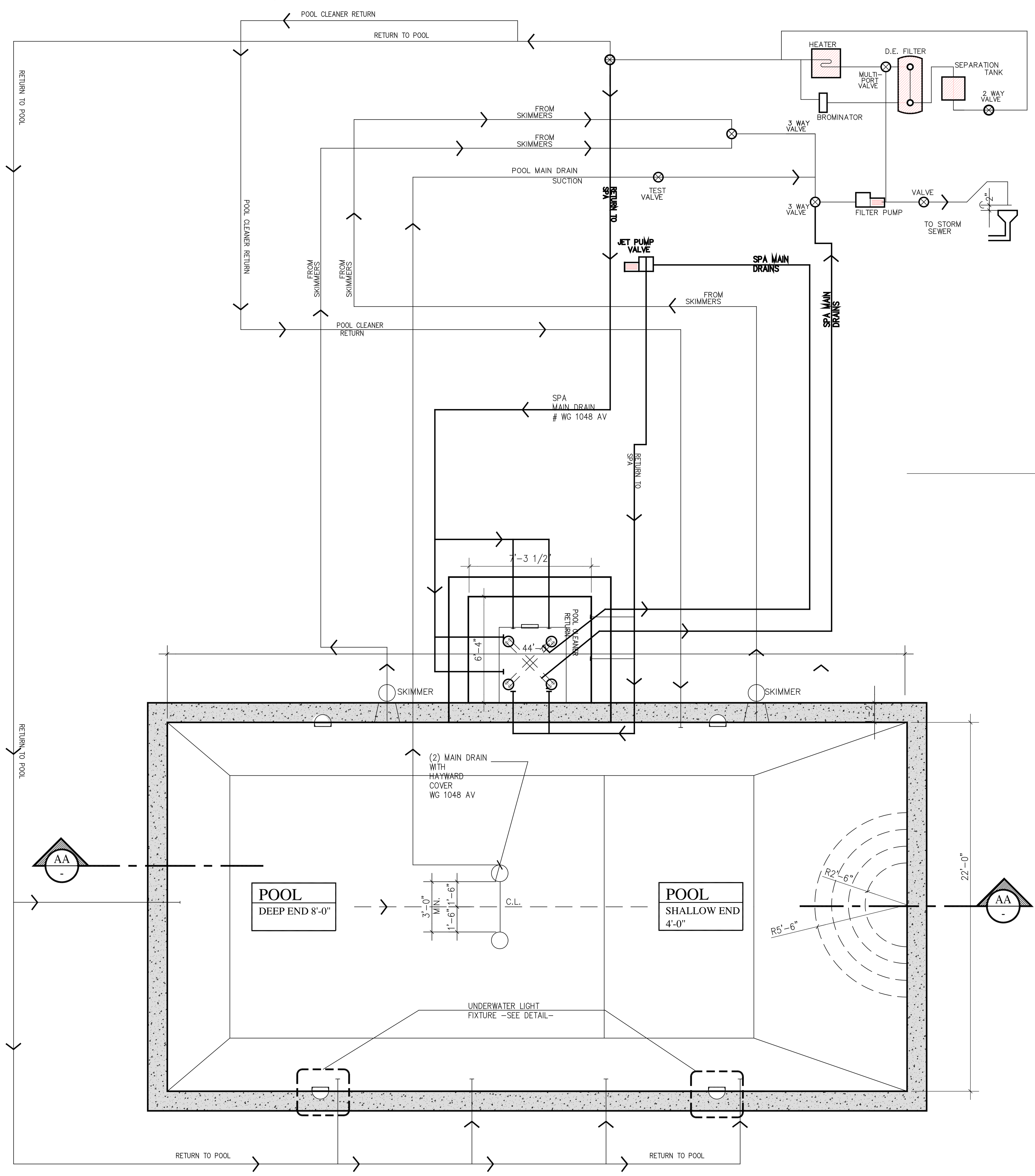


POOL CROSS SECTION "AA"
SCALE: 1/4" = 1'-0"



PLUMBING SCHEMATIC DIAGRAM
SCALE: 1/4" =1'-0"

DIAGRAM IS FOR GENERAL INFORMATION ONLY.
LICENSE PLUMBER TO CONFORM WITH LATEST NEW YORK STATE POOL CODE APPENDIX "G", PLUMBING , GAS AND ALL SECTIONS PERTAINING TO POOL REQUIREMENTS AND COMPLIANCE.

NOTE:
POOL PROVIDED WITH DUAL DRAINS WITH 3'-0" SEPARATION AS PER SECTION -G106.4

GENERAL NOTES:

NOTE:
WRITTEN CONTRACTUAL AGREEMENT BETWEEN CARDILLO POOLS & SPAS, LLC AND OWNER OVER RULES THE FOLLOWING SPECIFICATIONS.

1. VERIFICATION :

- PRIOR TO EXCAVATION, CONTRACTOR IS TO NOTIFY AGENCY WHICH HAS JURISDICTION TO FIELD LOCATE AND MARK LOCATIONS OF BURIED UTILITIES WITHIN AREA OF WORK TO BE PERFORMED.
- CONTRACTOR MUST VERIFY SOIL CONDITIONS PRIOR TO COMMENCING WORK. IF SOIL CONDITIONS ARE NOT ADEQUATE FOR BEARING AND VIRGIN SOIL NOT OBTAINABLE WITHIN POOL EXCAVATION DESIGN: CONTRACTOR MUST RETAIN SOIL AND STRUCTURAL ENGINEER TO DESIGN APPROPRIATE POOL STRUCTURE FOR FIELD CONDITIONS AND NOTIFY ARCHITECT.

2. APPROVALS :

- NO WORK SHALL COMMENCE PRIOR TO OBTAINING REQUIRED PERMITS.
- POOL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY THE BLDG. DEPT. OF SCARSDALE, N.Y.
- POOL CONTRACTOR SHALL ARRANGE FOR ALL REQUIRED INSPECTIONS AND APPLY FOR AND SECURE FINAL CERTIFICATE OF OCCUPANCY.
- ALL CONSTRUCTION TO COMPLY WITH ALL APPLICABLE SECTIONS OF THE N.Y.S. BUILDING AND RESIDENTIAL CODE LATEST EDITION 2007.
- ALL ELECTRICAL WORK SHALL BE EXECUTED BY A LICENSED ELECTRICIAN.
- ALL PLUMBING WORK SHALL BE EXECUTED BY A LICENSED PLUMBER.
- POOL AND FOUNTAIN SHALL BE GROUNDED IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE OF THE NATIONAL ELECTRICAL AND STATE BOARD OF FIRE UNDERWRITERS AND ALL APPLICABLE SECTIONS OF THE N.Y.S. BUILDING CODES.

3. EXCAVATION AND GRADING :

- ALL EXCAVATED SOIL MATERIAL FROM POOL DIG SHALL BE TEMPORARILY STOCK PILED AND REGRADED AS DIRECTED AND AS REQUIRED.

4. EQUIPMENT :

- POOL CONTRACTOR SHALL SUPPLY AND INSTALL ALL EQUIPMENT NECESSARY TO OPERATE THE POOL, SPA AND ALL RELATED EQUIPMENT, INCLUDING ALL ELECTRICAL, GAS AND PLUMBING CONNECTIONS INCLUDING ALL TRENCHING.
- POOL CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS SHOWN ON THESE PLANS INCLUDING BUT NOT LIMITED TO :
  - A) 2 (TWO) IN – WALL SKIMMERS AND FIVE RETURNS BY "HAYWARD PRODUCTS INC."
  - B) 2 (TWO) UNDERWATER LIGHT FIXTURES EACH BEING A 300W, 110V BY "AMERICAN PRODUCTS" (IN POOL).
  - C) 1 (ONE) UNDERWATER LIGHT FIXTURE BEING A 300W, 110V BY "AMERICAN PRODUCTS" (IN SPA).
  - D) FILTER SHALL BE A 72 SQUARE FOOT DE BY "PAC FAB" WITH 2 (TWO) – 2 HP PUMPS AND A SEPARATION TANK.
  - E) A 400,000 B.T.U. HEATER BY "TELEDYNE LAARS".
  - F) AN AUTOMATIC POOL FILLER BY "POOL MIZER".
  - G) AN AUTOMATIC COMPUTER SYSTEM FOR POOL OPERATION BY "JANDY"
  - H) 2 (TWO) 8" MAIN FLOOR DRAINS WITH HYDROSTATIC PRESSURE VALVES.
  - I) AN OVERFLOW POOL DRAIN LOCATED IN A SKIMMER UNIT.
  - J) 1 (ONE) CHEMICAL FEEDER.
  - K) PROVIDE ONE EACH OF THE FOLLOWING :
    HAND SKIMMER – WALL BRUSH – THERMOMETER
    TEST KIT – MANUAL CLEANER UNIT WITH A 50 FOOT
    HOSE AND A 16 FOOT TELESCOPE POLE HANDLE.
  - L) ALL ELECTRICAL SWITCHES FROM HOUSE TO POOL & SPA AS DIRECTED BY: OWNER.
- ALL ITEMS NOT GIVEN A MANUFACTURER AND CATALOGUE NUMBER SHALL BE THE LATEST MODEL AVAILABLE FOR THAT ITEM.

5. FILTER BACKWASH AND DRAINAGE :

- POOL FILTRATION SYSTEM TO BE EQUIPPED WITH A SEPARATION TANK TO ENSURE MINIMAL WATER LOSS DURING BACKWASH.
- POOL WATER SHALL BE TRUCKED IN FOR INITIAL FILL UP AS PER WRITTEN CONTRACTUAL AGREEMENT.

6. STRUCTURE :

- GUNITE WALLS AND POOL FLOOR SHALL BE A MINIMUM OF 4,000 P.S.I. WITH A MINIMUM WALL THICKNESS OF 8" AND A CONTINUOUS BEAM OF 12" WIDE AT POOL PERIMETER (SEE DETAILS – THIS SHEET).
- REINFORCING BARS FOR POOL SHALL BE SIZED AND SPACED AS PER REINFORCING DETAILS ON THIS SHEET.

7. POOL AND SPA DEPTH :

- POOL WATER DEPTH SHALL BE AS INDICATED OP PLAN @ SHALLOW END @STEPS. AND SHALL BE AS DEEP AS INDICATED ON SECTION – AA AT DEEP END.
- SPA WATER DEPTH AS SHOWN ON PLAN.

8. TILE AND PLASTER :

- BORDER TILES SHALL BE 6" X 6" FROST TILE. POOL CONTRACTOR SHALL SUBMIT COLOR SAMPLES TO OWNER FOR SELECTION.
- TILE GROUT COLOR SHALL MATCH POOL PLASTER COLOR.
- POOL AND SPA INTERIOR PLASTER COLOR SHALL BE AS PER OWNER AND AGREED UPON SELECTION.

9. POOL ENCLOSURE :

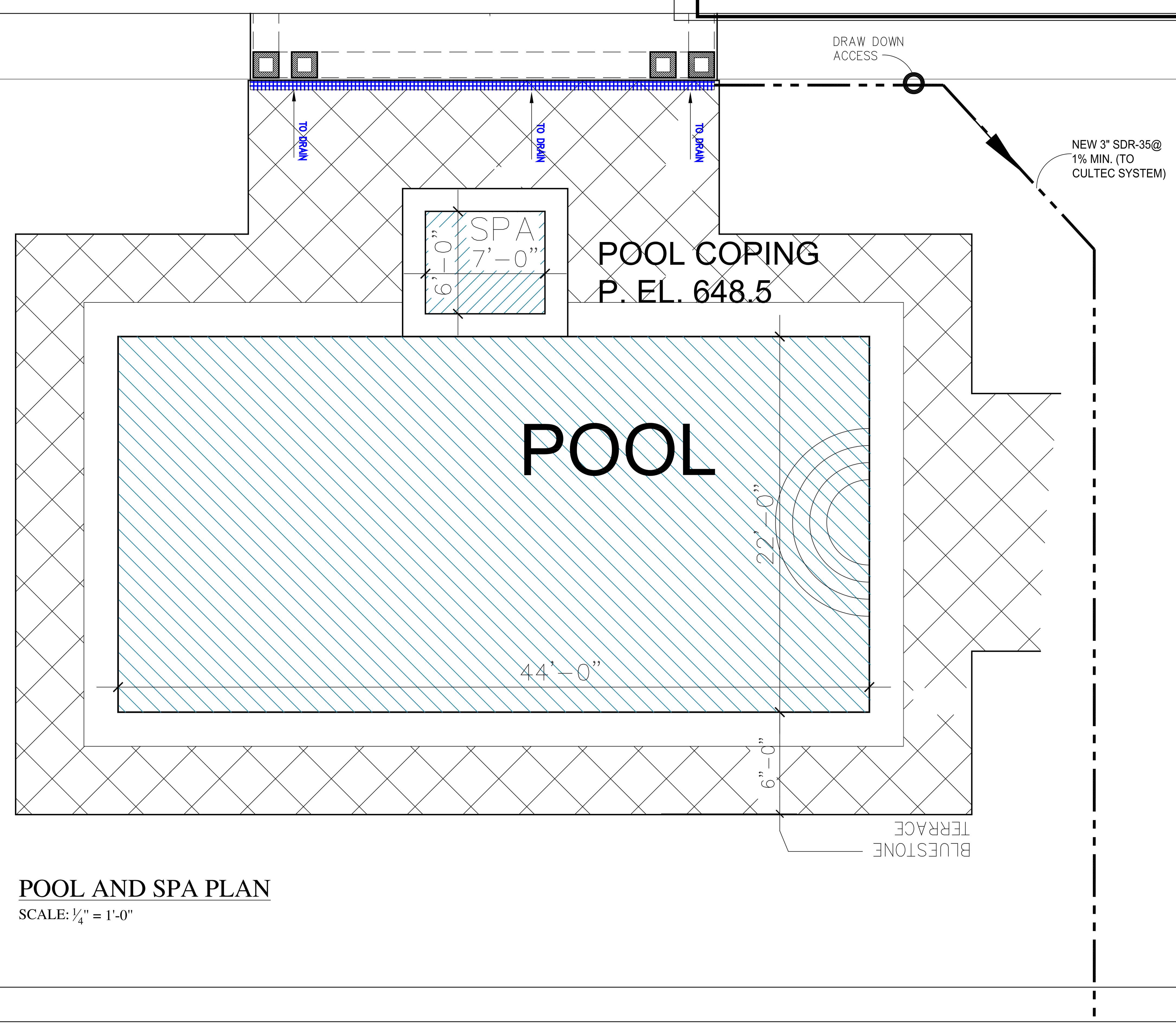
- AS LOCAL TOWN CODE AND STATE CODE (MOST STRINGENT CODE GOVERNS)
- APENDIX "G" OF THE LATEST RESIDENTIAL AND STATE CODE.
- SWIMMING POOL NECESSARY EQUIPMENT SHALL BE PROVIDED WITH AN ENCLOSURE WHICH SHALL BE A MINIMUM OF 4 (FOUR) FEET IN HEIGHT AND HAVE A MAXIMUM VERTICAL CLEARANCE TO GRADE OF 2 (TWO) INCHES. MAXIMUM BALUSTRADES 4" O.C.
- ENCLOSURE SHALL BE CONSTRUCTED SO AS NOT TO PROVIDE FOOTHOLDS, SHALL HAVE RAILINGS AND POSTS WITHIN THE ENCLOSURE, WHICH SHALL BE CAPABLE OF RESISTING A MINIMUM LATERAL LOAD OF 150 LBS. APPLIED MIDWAY BETWEEN POSTS AND AT THE TOP OF POSTS RESPECTIVELY.
- GATES PROVIDED IN THE ENCLOSURE SHALL BE SELF – CLOSING AND SELF – LATCHING WITH THE LATCH HANDLE LOCATED WITHIN THE ENCLOSURE AND AT LEAST 48 INCHES ABOVE GRADE.

10. POOL ENTRANCES FROM RESIDENCE & POOL ALARM:

- A WALL OF A DWELLING IS PERMITTED TO SERVE AS PART OF THE ENCLOSURE UNDER THE CONDITIONS AS PER N,Y. STATE SWIMMING POOL CODE APPENDIX "G" OF THE LATEST RESIDENTIAL AND STATE CODE.
- PROVIDE POOL ALARM AS PER STATE AND LOCAL CODE. POOL PATROL POOL ALARM WITH REMOTE RECEIVER (MODEL PA–30)
  ALL DOORS LEADING TO POOL PATIO TO BE SELF CLOSING, SELF LATCHING AND ALARMED LATCH TO BE LOCATED 54" A.F.F.
  ALL GATES MUST BE SELF–CLOSING SELF LATCHING
  ALL GATES MUST OPEN OUTWARD OF POOL, AWAY FROM POOL
  POOL TO HAVE A POWER SAFETY COVER IN COMPLIANCE WITH REFEERENCE STANDARD (ASTM F1346)

ARCHITECT CERTIFICATION :

STUDIO RAI, ARCHITECTURAL DESIGN P.C. IS NOT RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS, ZONING REQUIREMENTS AND COMPLIANCE.
STUDIO RAI, ARCHITECTURAL DESIGN P.C. IS NOT RETAINED FOR CONSTRUCTION ADMINISTRATION AND OR SUPERVISION.



POOL AND SPA PLAN
SCALE: 1/4" = 1'-0"

studio rai
Architectural Design P.C.
290 SALEM RD
POUND RIDGE, NY
T: 914-273-6843
www.studiorai.com
ARCHITECTS

STRUCTURAL ENGINEERS

landscape architect

FOODSERVICE EQUIPMENT

PROJECT INFORMATION

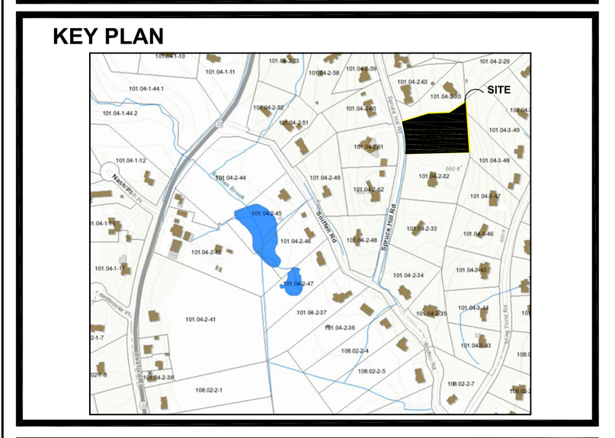
PROPOSED POOL & CABANA

FOR:
MR. & MRS. KIRSCHNER

8 SPRUCE HILL RD.
ARMONK, NY

No. Revision	Date	Description
	10-16-20	D.O.B. SUBMISSION
–	–	–
–	–	–
–	–	–
–	–	–
–	–	–
–	–	–
–	–	–
–	–	–

KEY PLAN

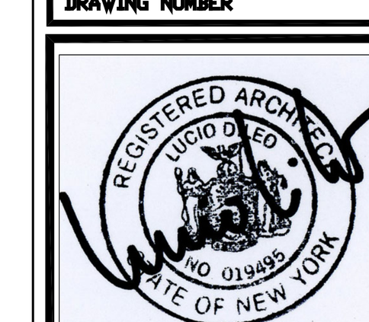


POOL PLAN AND DETAILS

DRAWING TITLE

P-1

DRAWING NUMBER

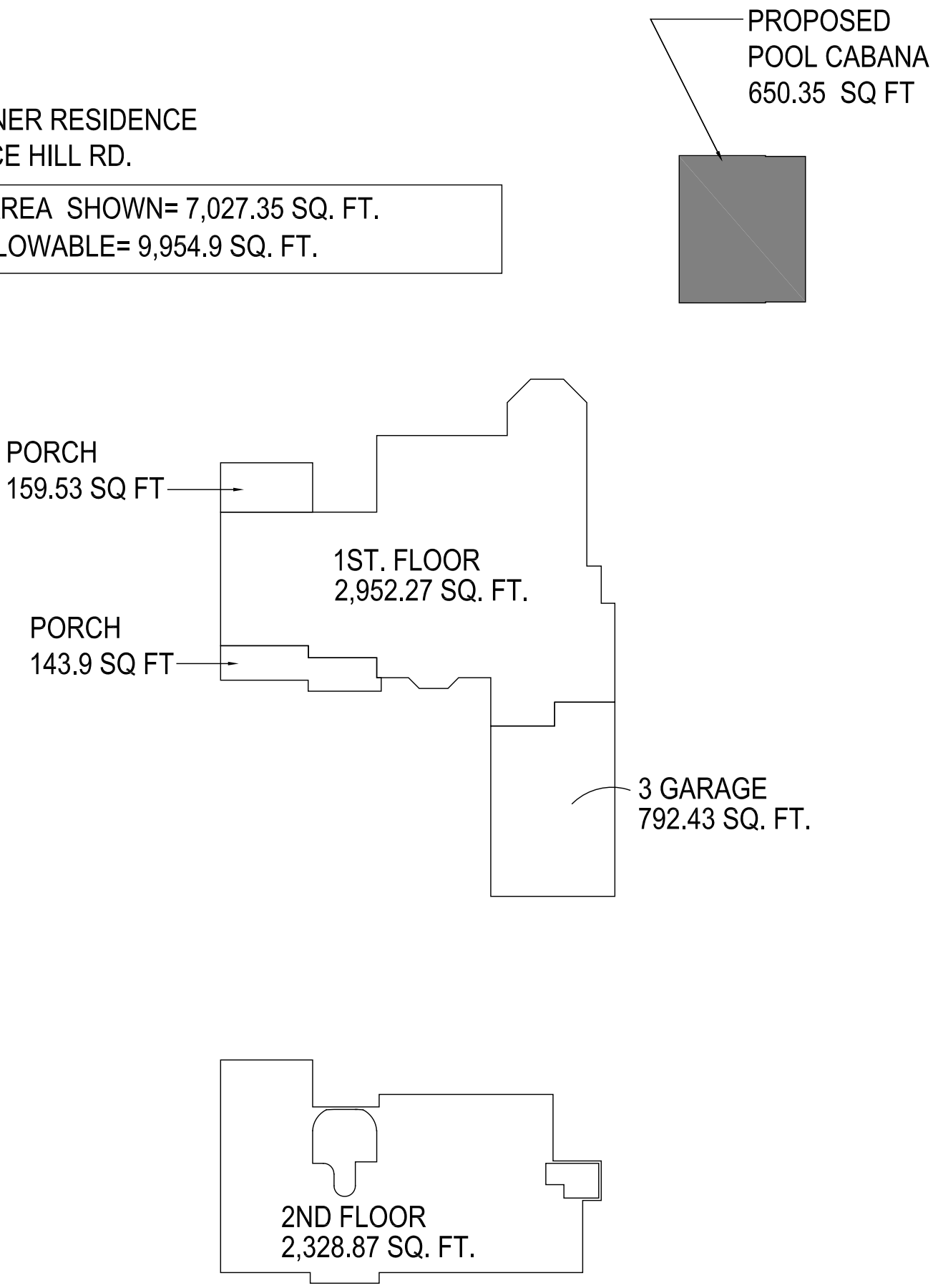


SEAL/SIGNATURE

ISSUE DATE : 04-04-19
DRAWN BY : LdL
CHECKED BY : LDL
PROJECT NO : 180717
SCALE : AS NOTED

KIRSCHNER RESIDENCE
8 SPRUCE HILL RD.

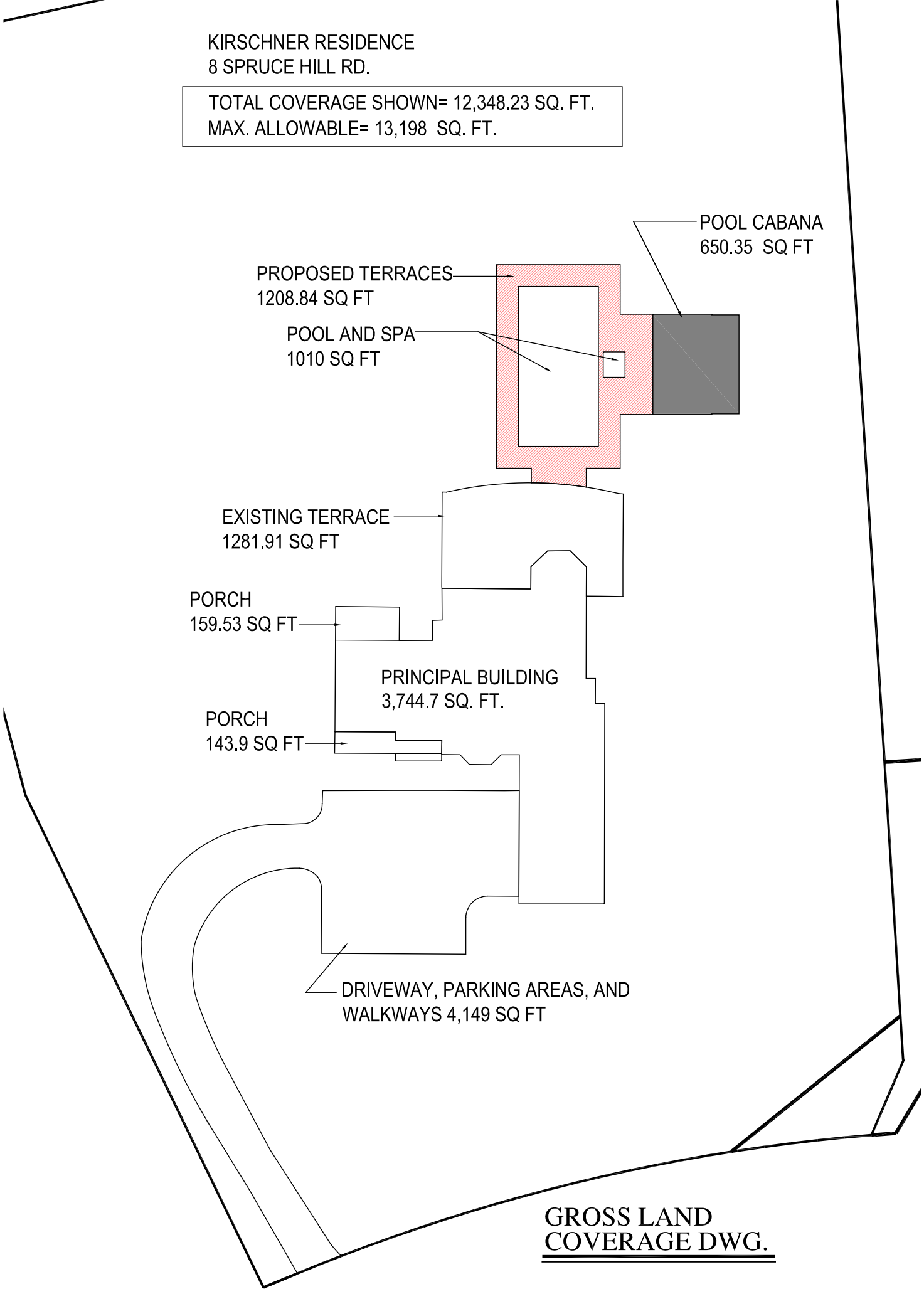
TOTAL AREA SHOWN= 7,027.35 SQ. FT.
MAX. ALLOWABLE= 9,954.9 SQ. FT.



FLOOR AREA DWG

KIRSCHNER RESIDENCE
8 SPRUCE HILL RD.

TOTAL COVERAGE SHOWN= 12,348.23 SQ. FT.
MAX. ALLOWABLE= 13,198 SQ. FT.



GROSS LAND COVERAGE DWG.

NADERMAN
LAND PLANNING AND ENGINEERING, P.C. BARRY G. NADERMAN, P.E.

VIA HAND DELIVER

December 16, 2010

Planning Board
Town of North Castle
15 Bedford Road
Armonk, NY 10504

Attn: Mr. Richard Fon – Building Inspector

Re: Proposed Kirschner Residence
8 Spruce Hill Road
Town of North Castle
Sec. 1; Blk. 4; Lot 10-2

Dear Mr. Fon:

Enclosed find three (3) copies of the following for a submission for review by the Residential Project Review Committee for the tears down and construction of a new residence at the above referenced property:

- Partially Completed Building Permit Application
- RPRC Review Form
- Dwg SP-1 "Residential Site Plan" dated 12/14/10
- Dwg SP-2 "Profile/ Details" dated 12/14/10
- Dwg L-1 "Landscape Plan" dated December 14, 2010 prepared by Pouder Design Group
- Architectural Plans prepared by RAI Studio
- Gross Land Coverage Calculation Worksheet and Exhibit dated 12/14/10
- Floor Area Calculation Worksheet and exhibit prepared by Studio RAI
- Infiltration Design Computations dated December 2010

We are filing at this time as requested for review by the Residential Project Review Committee for the tear down and construction of a single family residence with associated driveway improvements, drainage and landscaping.

We have also provided the Stormwater Calculations for the infiltration system provided which also include the pool drawdown requirements. Be advised the deep hole and percolation testing for the infiltration bed has already been witnessed by the Town Engineer's office.

3799 nelson ave.
box 7
jefferson valley, ny 10535

tel: 914.245.5403
fax: 914.962.5963
e: bgn@naderman.com

The residence is served by municipal water and an individual septic system. As such, a new septic is proposed to serve the residence. All testing for the septic has also been completed and witnessed by the Westchester County Department of Health and a full application and design will be submitted shortly.

Upon review, should you require any additional information, or have any questions, please feel free to call.

Respectfully,

Barry G. Naderman, P.E.
Naderman Land Planning & Engineering, P.C.

cc: Sam Kirschner w/ enc.

5555RPRCsubm

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

PLANNING BOARD
Peg Michelman, Chair

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Kirshner Residence Date: 12/15/10

Tax Map Designation or Proposed Lot No.: Sec 1, Blk. 4, Lot 10-2

Gross Lot Coverage

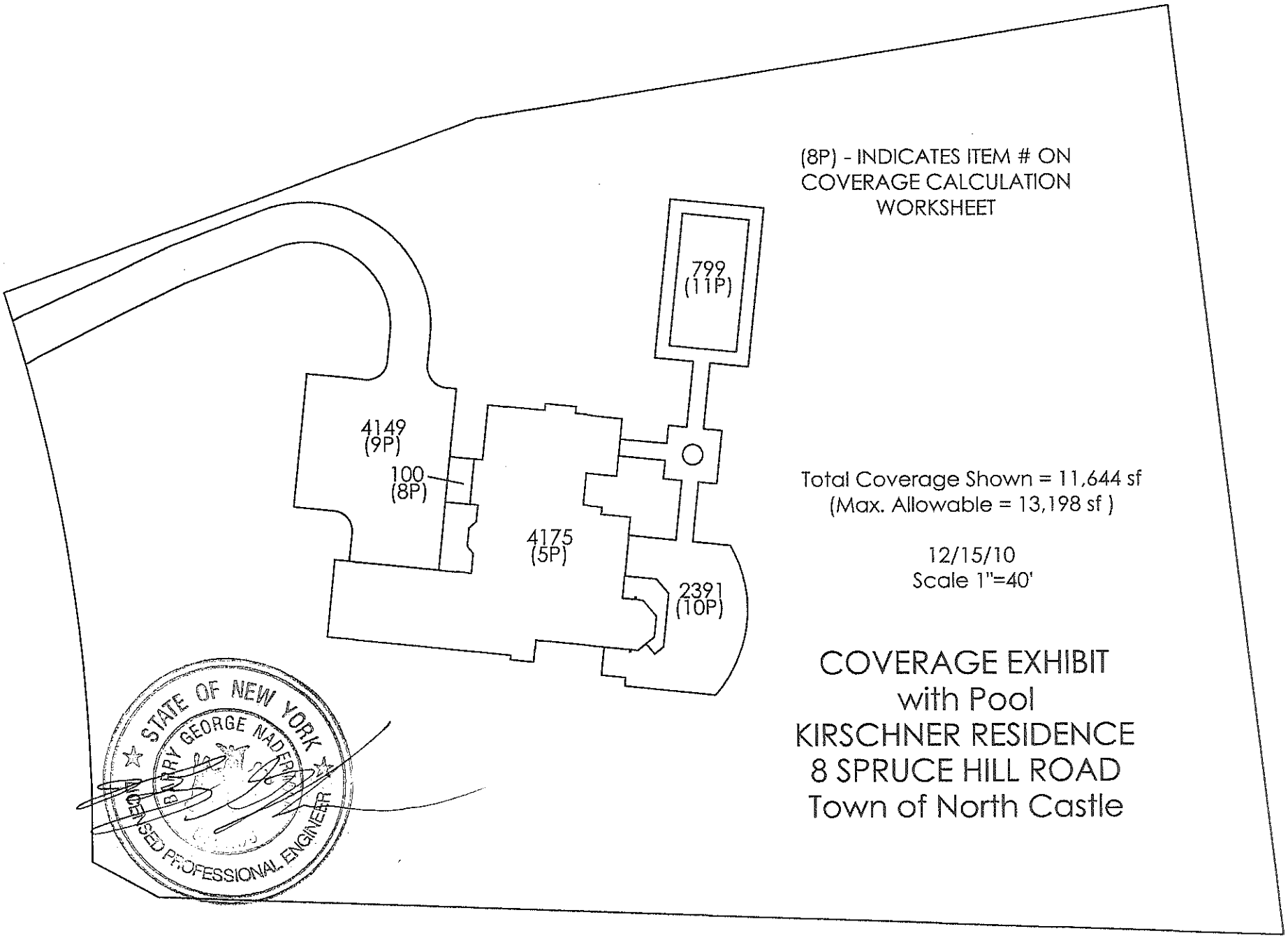
1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	83,759
2.	**Maximum** permitted gross land coverage (per Section 213-22.2C):	12,968
3.	**BONUS** maximum gross land cover (per Section 213-22.2C):	
	Distance principal home is beyond minimum front yard setback 23 x 10 =	230
4.	**TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3	13,198
5.	Amount of lot area covered by **principal building:** 0 existing + 4175 proposed =	4,175
6.	Amount of lot area covered by **accessory buildings:** 0 existing + 0 proposed =	—
7.	Amount of lot area covered by **decks:** 0 existing + 0 proposed =	—
8.	Amount of lot area covered by **porches:** 0 existing + 100 proposed =	100
9.	Amount of lot area covered by **driveway, parking areas and walkways:** 0 existing + 4149 proposed =	4,149
10.	Amount of lot area covered by **terraces:** 0 existing + 2391 proposed =	2,391
11.	Amount of lot area covered by **tennis court, pool and mechanical equip:** 0 existing + 799 proposed =	799
12.	Amount of lot area covered by **all other structures:** 0 existing + 0 proposed =	—
13.	Proposed **gross land coverage:** Total of Lines 5 – 12 =	11,614

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

12/15/10
Date

STATE OF NEW YORK
BARRY GEORGE NADER
LICENSED PROFESSIONAL ENGINEER



(8P) - INDICATES ITEM # ON COVERAGE CALCULATION WORKSHEET

Total Coverage Shown = 11,644 sf
(Max. Allowable = 13,198 sf)

12/15/10
Scale 1"=40'

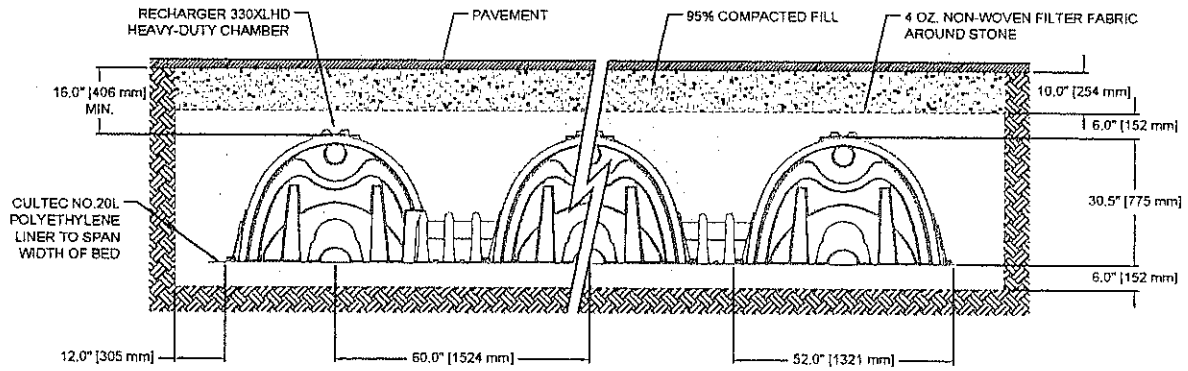
COVERAGE EXHIBIT
with Pool
KIRSCHNER RESIDENCE
8 SPRUCE HILL ROAD
Town of North Castle

STATE OF NEW YORK
BARRY GEORGE NADER
LICENSED PROFESSIONAL ENGINEER

CULTEC Recharger® 330 XL Chamber Specification Information

Length	*feet*	8.5
	meters	2.59
Installed Length	*feet*	7
	meters	2.13
Length Adjustment	*feet*	1.5
	meters	.46
Width	*inches*	52
	mm	1321
Height	*inches*	30.5
	mm	775
Chamber Storage Capacity	*ft³/ft*	7.459
	m³/m	.69
	ft³/unit	52.21
	m³/unit	1.48
Min. Storage Capacity Surrounded in Stone[1]	*ft³/ft*	11.32
	m³/m	1.05
	ft³/unit	79.26
	m³/unit	2.24
Max. Inlet Opening[2]	*inches*	24
	mm	600

[1] Based on installed length. Stone void is calculated at 40%. Includes 6" stone base, 6" above chamber crown and stone around units based on typical minimum center to center spacing. [2] Based on HDPE pipe.



The Chamber with the Stripe®

CULTEC, Inc. • 878 Federal Road • P.O. Box 280 • Brookfield, CT 06804
Phone: 203-775-4416 • Toll Free: 800-4-CULTEC • Fax: 203-775-1462 • Web: www.cultec.com

CULTEC™

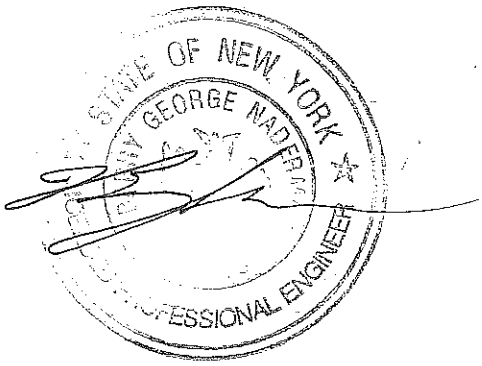
NADERMAN
LAND PLANNING AND ENGINEERING, P.C. BARRY G. NADERMAN, P.E.

Infiltration Design Computations

Kirschner

8 Spruce Hill Road
Town of North Castle, New York

December 2010



Methodology:

In accordance with Westchester County Stormwater Management Best Management Practices, the total volume of mitigation provided by the infiltration practice is the sum of the volume of runoff expected to infiltrate into the soil during a 24 hour period combined with the actual volume provided within the infiltration structure. The infiltration system is designed to mitigate the full volume of the increase in runoff depth from the new impervious surfaces during a 25-year storm event, which is 3.58 inches or 0.30'.

Also included are the calculations for the annual pool drawdown of the future pool.

Determine Increase in Runoff

Increase in impervious surfaces= 11,614 sf

Therefore, the increase in runoff volume from impervious surfaces is as follows:

0.30' runoff depth x 11,614 sf = **3484 cf storage required**

3799 nelson ave.
box 7
jefferson valley, ny 10535

tel: 914.245.5403
fax: 914.962.5963
e: bgn@naderman.com

Infiltration Trench Design:

Determine Percolation Rate into Soil

Area of cylinder (Ac) = Π x $\varnothing$ x h = 3.14 x 1 x 8.5/12 = 2.33 sf
Area of bottom (Ab) = Π x $(R)^2$ = 3.14 x $(0.5)^2$ = 0.785 sf
Area of a perc hole (Ap) = Ab + Ac = 0.785 + 2.33 = 3.01 sf

Volume of a perc test: 3" drop (Vp) = Ab x h = 0.785 x 3/12 = 0.196 cf
Soil Percolation Rate (Sr) = Volume/ Area/ Time
Percolation rate from testing is 12 min/in.
Sr = 0.196 cf/ 3.01 sf / 36 min. = 0.0018 cf/sf/min.
0.0018 cf/sf/min. x 60 min./hr x 24 hr./day = 2.60 cf/sf/day
Assuming 25% clogging **Sr** = 0.75 x 2.60 = **1.95 cf/sf/day into soil**

Determine Infiltration System Units

Using **Cultec Model 330XLHD Recharger** chambers

Effective surface area of infiltrator for absorption = 10.3 sf/lf
24 hour percolation volume = effective area of infiltrator x Sr
= 10.3 sf/lf x 1.95 cf/sf/day = **20.10 cf/lf infiltration in 24 hrs.**

Total 24-hour volume of infiltrator system
= Volume of infiltrator + 24 hour volume of infiltration
= 11.32 cf/lf + 20.10 cf/lf = **31.42 cf/lf total volume**

Infiltrator units are 7.0' in length each. Therefore, the total volume per infiltrator unit 31.42 cf/lf total volume x 7.0 lf per unit = 219.94 cf/unit

Total Storage required 3484cf /219.94 cf/unit = 15.84 units
Say 16 units provided = 3519 cf

ANNUAL DRAWDOWN COMPUTATIONS FOR POOL

Determine Volume of Annual Pool Drawdown

The volume of the infiltration required for the annual pool drawdown is based upon an 8" drawdown for an 800 sf pool/spa. Therefore, the volume of pool drawdown is calculated as follows:

800 sf X 8"/12"/ft = **533 cf drawdown**

Determine Required Infiltration System Units

Using Cultec Model 330XL Recharger chambers, each unit in stone provides 79.26 cf/unit installed (ref. attached cut sheet).

Therefore, the required number of units to accommodate the pool drawdown is calculated as follows:

533 cf drawdown ÷ 79.26 cf/unit = **6.7 units required- 16 units provided**

Sixteen (16) Cultec 330XL units provide 3519 cf of storage (533 cf required).

Note: infiltration is not accounted for in design of system.

DEEP HOLE TEST DATA - TEST DATE: 12/9/10

TP-1

Surface	Wooded
0-10"	Topsoil
10"-42"	Sandy Loam
42"-72"	Sandy Loam w/ silts

No Groundwater Encountered

PERCOLATION TEST DATA

HOLE	RUN #	START	STOP	TIME	START	STOP	DROP	RATE
1	1	10:01	10:34	33	20"	23"	3"	11
	2	10:35	11:11	36	20"	23"	3"	12
	3	11:12	10:48	36	20"	23"	3"	12

Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: KIRSCHNER RESIDENCE - POOL & CABANA

☒ Initial Submittal ☐ Revised Preliminary

Street Location: 8 SPRUCE HILL RD.

Zoning District: _____ Property Acreage: 1.9229 Tax Map Parcel ID: SEC. 1, BLK 4, LOT 10-2

Date: 10-29-20

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist
Items marked with a ☐ are complete, items left blank ☐ are incomplete and must be completed, "NA" means not applicable.

☐ 1. Plan prepared by a registered architect or professional engineer

☐ 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets

☐ 3. Map showing the applicant's entire property and adjacent properties and streets

☐ 4. A locator map at a convenient scale

☐ 5. The proposed location, use and design of all buildings and structures

☐ 6. Existing topography and proposed grade elevations

☐ 7. Location of drives

☐ 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

- ☐ 9. Description of method of water supply and sewage disposal and location of such facilities
- ☐ 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- ☐ 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- ☐ 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- ☐ 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: http://www.northcastleny.com/townhall.html

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.

TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: KIRSHNER RESIDENCE Date: 10-29-20

Tax Map Designation or Proposed Lot No.: SEC. 1, BLK. 4, LOT 10-2

Gross Lot Coverage

1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	83,759.48
2.	**Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)):	12,968
3.	**BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):	
	Distance principal home is beyond minimum front yard setback ____ 23' x 10 = ____	230
4.	**TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3	13,198
5.	Amount of lot area covered by **principal building:** 3,744.7 existing + ____ proposed =	3,744.7
6.	Amount of lot area covered by **accessory buildings:** ____ existing + 650.35 proposed =	650.35
7.	Amount of lot area covered by **decks:** ____ existing + ____ proposed =	—
8.	Amount of lot area covered by **porches:** 303.43 existing + ____ proposed =	303.43
9.	Amount of lot area covered by **driveway, parking areas and walkways:** 4,149 existing + ____ proposed =	4,149
10.	Amount of lot area covered by **terraces:** 1,281.91 existing + 1,208.84 proposed =	2,490.75
11.	Amount of lot area covered by **tennis court, pool and mechanical equip:** ____ existing + 1,010 proposed =	1,010.0
12.	Amount of lot area covered by **all other structures:** ____ existing + ____ proposed =	—
13.	Proposed **gross land coverage:** Total of Lines 5 – 12 =	12,348.23

If Line 13 is less than or eq ual to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4, your proposal does not comply with the Town's regulations.

Lucio DiLeo

Signature and Seal of Professional Preparing Worksheet

10-29-20
Date

TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: KIRSHNER RESIDENCE Date: 10-29-20

Tax Map Designation or Proposed Lot No.: SEC. 1, BLK. 4, LOT 10-2

Floor Area

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): 83,759.4886

2. **Maximum** permitted floor area (per Section 355-26.B(4)): +920.9 +9,034 = 9,954.9

3. Amount of floor area contained within first floor:
2,952.27 existing + ——— proposed = 2,952.27

4. Amount of floor area contained within second floor:
2,328.87 existing + ——— proposed = 2,328.87

5. Amount of floor area contained within garage:
792.43 existing + ——— proposed = 792.43

6. Amount of floor area contained within porches capable of being enclosed:
303.43 existing + ——— proposed = 303.43

7. Amount of floor area contained within basement (if applicable – see definition):
——— existing + ——— proposed = 0

8. Amount of floor area contained within attic (if applicable – see definition):
——— existing + ——— proposed = 0

9. Amount of floor area contained within all accessory buildings:
0 existing + 650.35 proposed = 650.35

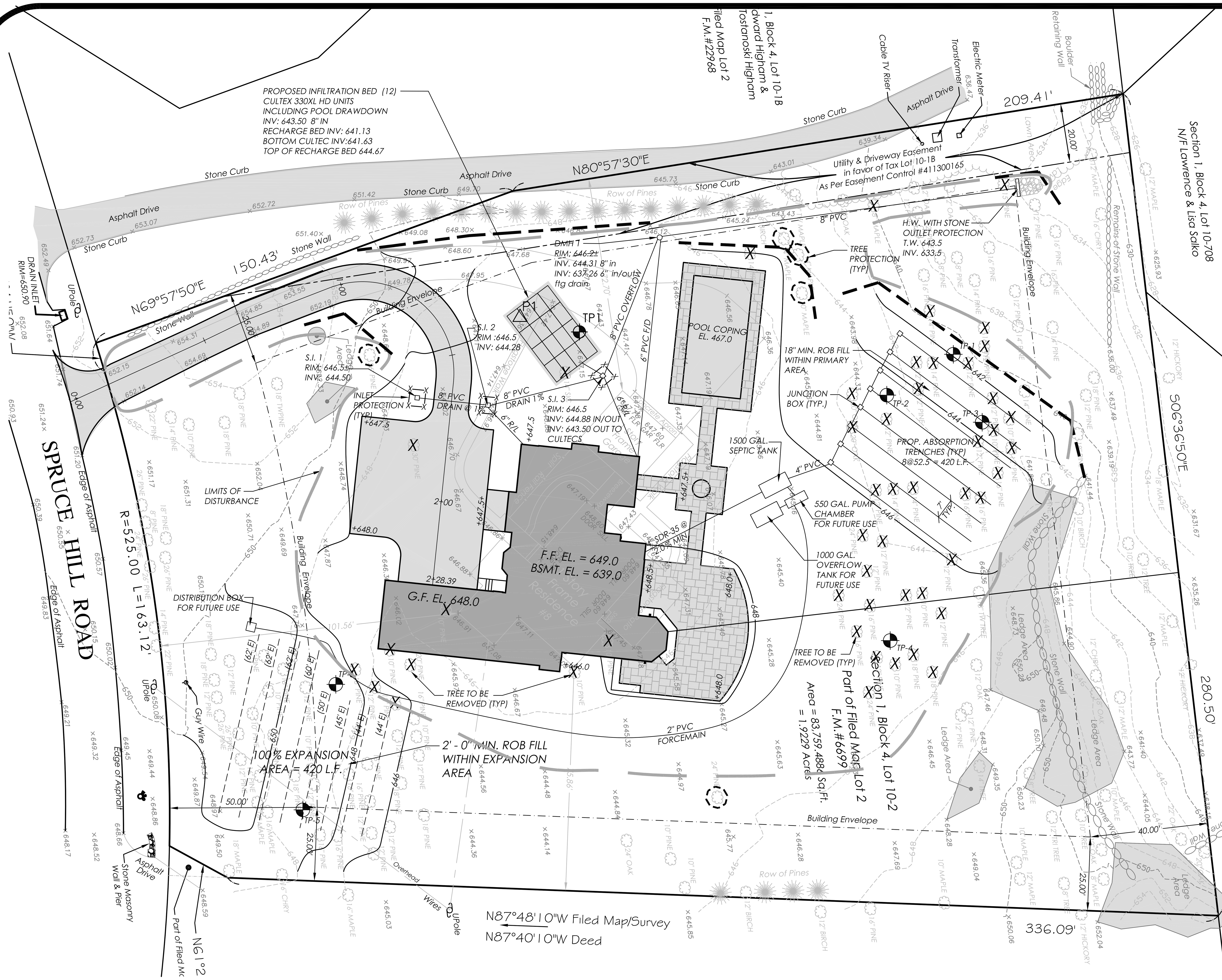
10. Proposed **floor area:** Total of Lines 3 – 9 = 7,027.35

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

REGISTERED ARCHITECT
LUCIO DILEO
NO. 019495
STATE OF NEW YORK

10-29-20
Date



PLAN
SCALE: 1"=20'

ZONING TABLE R2.0

	REQUIRED	PROPOSED
MIN. LOT AREA	2.0 ACRES	1.9229 ACRES
MIN. FRONTAGE	150'	163'±
MIN. DEPTH	150'	346'±
MIN WIDTH	150'	246'±
MIN. FRONT YARD	50'	73'±
MIN. SIDE YARD	30'	74'/82'±
MIN. REAR YARD	50'	174'±
MAX. STORIES	2 1/2	
MAX BUILDING HEIGHT	30'	
MAX. EXTERIOR WALL HEIGHT	38'	
GROSS LAND COVERAGE	13,198 S.F.	11,614 S.F.
GROSS BLDG. COVERAGE		

SITE DATA

Owner/Applicant:	Samuel and Cathy Kirschner 424 West End Ave., Apt 3F New York, NY 10024
Location:	8 Spruce Hill Road Town of North Castle
Designation:	Sec: 1 Blk: 4 Lot: 10-2
Site Area:	1.9229 acres

Existing property, topography and site features based upon a survey entitled "Survey Prepared for Samual Kirschner and Cathy Kirschner" prepared by Thomas C. Merritts, Land Surveyors dated March 22, 2010.

The subject property is located within the Mianus River watershed basin.

SEDIMENT & EROSION CONTROL NOTES

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE MANUAL FOR EROSION CONTROL.

THE TOWN MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE SILTATION OR EROSION OF DISTURBED SOILS.

EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION WITHIN A SPECIFIC WORK AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND/OR REPLACEMENT OF CONTROL MEASURES AS REQUIRED THROUGHOUT THE DURATION OF CONSTRUCTION.

ALL EROSION CONTROLS SHALL BE INSPECTED IMMEDIATELY AFTER A RAINFALL EVENT AND ON A WEEKLY BASIS. ANY DAMAGED CONTROLS SHALL BE IMMEDIATELY REPAIRED OR REPLACED AS REQUIRED.

IF ANY DISTURBED AREAS ARE TO REMAIN IDLE FOR A PERIOD OF SEVEN (7) DAYS OR MORE, THE AREA SHALL BE TEMPORARILY STABILIZED WITH TEMPORARY SEEDING AND MULCHING.

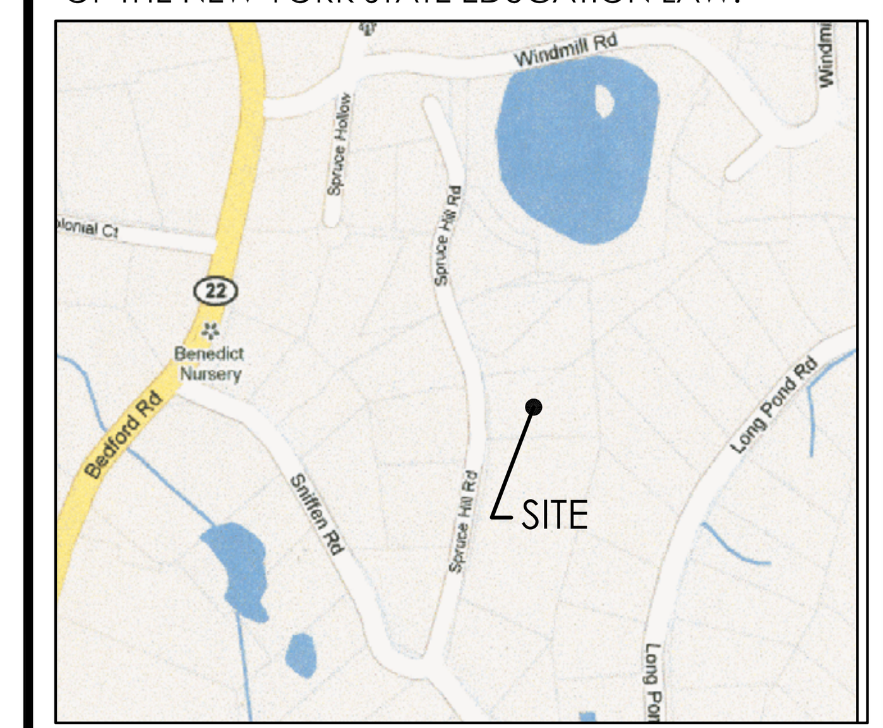
UPON COMPLETION OF CONSTRUCTION, ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE DRAINAGE FACILITIES SHALL BE COMPLETELY CLEANED OF SEDIMENTS AND DEBRIS.

TREE PROTECTION SHALL BE PROVIDED FOR ANY SIGNIFICANT TREE TO REMAIN WITHIN 15' OF THE WORK AREA. THE TREE PROTECTION SHALL BE INSTALLED GENERALLY AT THE DRIP LINE OF THE TREE.

Construction Sequence
The following describes the construction sequence for the proposed construction.

Using surveyors flagging indicate in the field the proposed limits of disturbance corresponding to the clearing and grading limit line. Flag trees to remain and install tree protection measures as specified on the Erosion and Sediment Control Plan.
1. Install silt fencing and other erosion control measures for the construction of the House and driveway as shown on the plan.
2. Provide an anti-tracking pad ("stabilized construction entrance") in the location shown on the plan and maintain it through the course of construction.
3. Clear existing vegetation within the limits of disturbance for the property. Chip all ed brush and trees that are removed for later use as mulch or haul off site and dispose of properly. Grub the root system and stumps of the cleared vegetation and dispose of off-site.
4. Install the infiltration chambers in accordance with the details on the design plan and the manufacturer's specifications.
5. Strip topsoil from the work area and stockpile for later use. Install silt fence around perimeter of soil stockpile in accordance with the design plans.
6. Rough grade within the limits of disturbance of the to establish the subbase grade. Place crushed stone base layer for the driveway. Proceed with the construction of the residence, patio, utilities and drainage structures.
7. Install the storm drainage system that is to discharge into stormwater management facilities (Deep sump Drain Inlets, and infiltration systems) from the lowest to the highest grade. At each field inlet, install the inlet protection controls as designated on the plans and maintain them until finished grades have been established and stabilized.
8. Excavated material from trenching for the stormwater drainage system shall be temporarily stockpiled on the high side of excavation so runoff is directed away from the trenches.
9. When the finished grade is achieved in the trench, place crushed aggregate to achieve subbase grade for the proposed driveway, followed by top course of pavement.
10. Remove temporary erosion control measures only after site stabilization takes place.

Inspection and Maintenance Schedule during Construction
The following delineates the maintenance that is required for the temporary erosion and sediment control measures and permanent measures specified on the design plans. For the purpose of this section, immediately shall be by end of working day.
Silt Fence
Inspect silt fence immediately prior to any major storms and after each significant rainfall event, and at least daily during a prolonged rainfall event. All necessary repairs are to be made immediately. Inspection for physical damage shall be made weekly. If filter fabric shows signs of decomposing or is damaged, it shall be repaired/replaced immediately.
Inlet Protection
Inspection shall occur prior to any major storms and after each significant rainfall event, and on a regular weekly basis. Maintenance shall include replacement of gravel and the side slopes around the basin. Sediment shall be removed when the accumulations equals a depth of 12" inside of the basin.
Soil Stockpiling
Stockpiles and fill areas shall be inspected at least weekly for signs of erosion. Reseed and mulch as necessary to maintain a vegetative cover.
Stabilized Construction Entrance
Maintenance includes periodic top dressing with additional stone. All sediment spilled, dropped or washed into the public right-of-way must be removed immediately.
Regular inspection after significant rainfall events and heavy traffic use of the entrance shall be performed.



LOCATION PLAN

No.	Revision/Issue	Date

NADERMAN
LAND PLANNING AND ENGINEERING, P.C.
tel: 914.245.5403
fax: 914.962.5963
e: bgn@naderman.com
3799 nelson ave.
box 7
jefferson valley, ny 10535

PROPOSED RESIDENCE
KIRSCHNER
8 SPRUCE HILL ROAD
TOWN OF NORTH CASTLE WESTCHESTER CO., NY

SITE PLAN

Project	5555	Sheet SP-1
Date	12/14/10	
Scale	1" = 20'	

Town of North Castle Building Department
17 Bedford Road
Armonk, New York 10504-1898
Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554
www.northcastleny.com

Residential Building Permit Application

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

Section I- PROJECT ADDRESS: 8 Spruce Hill DATE: 10-29-20

Section II- CONTACT INFORMATION: (Please print clearly. All information must be current.)

APPLICANT: Lucio Di Leo, Studio RAI, Architects

ADDRESS: 290 Salem Rd. Pound Ridge, NY 10576

PHONE: 914-273-6843 MOBILE: 914-760-9740 EMAIL: lucio@studiorai.com

PROPERTY OWNER: Sam Kirschner

ADDRESS: 8 Spruce Hill Rd. Armonk, NY

PHONE: _____ MOBILE: 917-754-7902 EMAIL: samkirschner@mac.com

Section III- DESCRIPTION OF WORK: (Any work conducted outside of the house requires approval from the RPRC unless the proposed action is minor in nature and complies with 355-26 C (3) of the Town of North Castle code.)

Inground swiming pool, Terrace and open Cabana.

Section IV- USE AND OCCUPANCY:

EXISTING/ CURRENT USE: Single Family Residence

PROPOSED RESIDENTIAL:

☐ One Family Dwelling ☐ Two Family Dwelling ☐ Townhouse ☑ Detached Accessory Structure

Section V- PERMIT FEES: ($100 app fee plus $14 per $1000, cost of construction and a $75 CO fee.)

ESTIMATED COST OF CONSTRUCTION (Based on fair market value labor & material) $ 250,000.00

AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is $20,000 or more.

Town of North Castle Building Department

Section V- (Continued)

I Lucio Di Leo do hereby affirm and certify as follows: (i) I am the architect/engineer (circle one) licensed by the State of New York; (ii) I have reviewed the plans, drawings and specifications for this application and am fully familiar with the proposed construction; (iii) based on my experience, I estimate the total cost of construction including all labor, all materials, all professional fees and all associated costs to be approximately $250,000, and (iv) pursuant to Penal Law 210.45, I acknowledge that a false statement made knowingly is a Class A misdemeanor.

Signature: _____ Date: 10-29-20

Section VI- CONTACT INFORMATION: (Please print clearly. All information must be current)

ARCHITECT/ ENG: Lucio Di Leo, r.a., AIA

ADDRESS: 290 Salem Rd. Pound Ridge, NY 10576

PHONE: 914-273-6843 MOBILE: 914-760-9740

EMAIL: lucio@studiorai.com

CONTRACTOR: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PLUMBER: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

ELECTRICIAN: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

Section VII- APPLICANT CERTIFICATION

I hereby certify that I have read the instructions & examined this application and know the same to be true & correct. All provisions of laws & ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use of the performance of construction.

Signature: _____ Date: 10-29-20

Town of North Castle Building Department

Section VIII- AFFIDAVIT OF OWNER AUTHORIZATION IF APPLICABLE: **(To be notarized)**

STATE OF NEW YORK }
COUNTY OF WESTCHESTER } SS:

The applicant _____ has proper consent from said owner to make this application as submitted and said owner agrees to all terms and conditions placed upon same.

Owner's Name (PRINT)_____Owner's Signature_____

Sworn to before me this_____ day of _____, 20_____

Notary Signature_____

Notary Stamp Here

OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Zone:_____ Section:_____ Block:_____ Lot:_____

Building Department Checklist:

Does this permit require RPRC approval? ☐ Yes ☐ No

☐ GC License ☐ Work. Comp. ☐ Liability. Ins. ☐ Disability ☐ Two sets of documents

☐ Permit Fee _____ Payment: ☐ Check #: _____ ☐ Cash ☐ Credit Card

Name on check: _____

Received By:_____ Application No.:_____

BUILDING INSPECTOR APPROVAL

Has all the conditions of the RPRC been met? ☐ Yes ☐ NA

Is a Flood Development permit required? ☐ Yes ☐ No

Reviewed By:_____ Date:_____

Building Inspector Approval:_____ Date:_____

Conditions:_____

_____

_____