



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Poniros Residence

Initial Submittal Revised Preliminary

Street Location: 97 High Street, Armonk, NY 10504

Zoning District: B-2A Property Acreage: 2.06 Tax Map Parcel ID: 100.02-1-2

Date: 11/9/2020

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

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- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



Town of North Castle Building Department

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

www.northcastleny.com

Application for Revision to Approved Plans

Note: Two (2) sets of construction documents must be submitted with application w/ \$75.00 fee.

Permit #: _____ Date: 10/2/2020

Project Address: 97 High street, Armonk NY 10504

I understand that this application does not permit the revised work without express consent and approval from the Town of North Castle Building Department.

Applicants Name: Architect

Applicants Signature: _____

Phone #: _____ Mobile #: _____

E-mail: _____

Architect/ Engineer Name: John G Scarlato JR Architect

Phone #: (914) 273-2350 Mobile #: (914) 714-0152

E-mail: JG Scarlato@gmail.com

Description of Revision (In detail): Revised Layout of House interior.
Rear & Front patio, Driveway, walk to driveway.
Front GATE on driveway

Office use only

Fee Collected: _____ 2 Sets of Plans: _____

Reviewed By: _____

Bldg. Inspector signoff: _____

APPLICATION FOR BUILDING PERMIT
TOWN OF NORTH CASTLE BUILDING DEPARTMENT
17 Bedford Road, Armonk, NY 10504 (914) 273-8625

OFFICE USE ONLY

OFFICE USE ONLY

PERMIT FEE: \$ _____

ARB FEE: \$ _____

C. O. FEE: \$ _____

APPLICATION FEE: \$ _____

TOTAL FEE: \$ _____

TRACKING #: _____

APPLICATION DATE: ___/___/___



PROPERTY LOCATION: 97 HIGH STREET ARMONK NY
10504

Section/Block/Lot: 100.02-1-2 Zoning Dist.: R-2A

CODE #753
Dig Safely
New York
www.digsafelynewyork.com
Call: 1-800-962-7962

DESCRIPTION OF WORK:

RECONSTRUCTION / REMODEL OF EXISTING COTTAGE

ESTIMATED CONSTRUCTION VALUE: \$ 100,000

WOULD YOU PREFER TO RECEIVE COMMUNICATIONS (SENT TO THE ADDRESSES YOU PROVIDE BELOW) FROM THE BUILDING DEPARTMENT IN AN EMAIL, RATHER THAN THROUGH STANDARD MAIL? Yes No

Owner: JOHN & MARY PONIOS Phone: (914) 469-2350

Address: 225 WORTHINGTON RD WHITE PLAINS NY 10601 Email: _____

Architect: JOHN G SCARLATO JR Phone: (914) 273-7350

Address: 33 BYRAM HILL ROAD ARMONK NY 10504 Email: JGSCARLATO@GMAIL.COM

License #: 025260-1

Builder: _____ Phone: (____) ____-____

Address: _____ Email: _____

License #: _____

Licensed Professional: KEANE-COPPELMAN-GREGORY ENGINEERS Phone: (914) 241-2235

Address: 113 SMITH AVENUE MT. KISCO NY 10549 P.C. Email: PGREGORY@KCGENGINEERS.COM

License #: PETER J. GREGORY P.E. LIC # 071226

Company Performing Work: _____ Phone: (____) ____-____

Address: _____ Email: _____

License #: _____

Surveyor: RALPH L. MACDONALD COMPANY Phone: (914) 273-4094

Address: 80 BUSINESS PARK DRIVE ARMONK NY 10504 Email: _____

License #: DENNIS M LOWES LIC#: 49094 Date of Survey: 3 / 5 / 08

If the Planning Board has granted you approval previously, on what dates were you approved? (List Below)

0 SQ. FT. NEW BASEMENT/CELLAR

0 SQ. FT. NEW FIRST (1ST) FLOOR

0 SQ. FT. NEW SECOND (2ND) FLOOR

0 SQ. FT. NEW THIRD (3RD) FLOOR

0 TOTAL SQ. FT. OF ALL *NEW* CONSTRUCTION (1210 BEING REMODELED/RENOVATED)

3 NUMBER OF **BEDROOMS** TO BE CONSTRUCTED, ADDED, RENOVATED OR ALTERED

2 NUMBER OF **BATHROOMS** TO BE CONSTRUCTED, ADDED, RENOVATED OR ALTERED

YES ELECTRICAL WORK IS INVOLVED IN THIS PROJECT

YES PLUMBING WORK IS INVOLVED IN THIS PROJECT

YES HVAC WORK IS INVOLVED IN THIS PROJECT

YOU MUST SHOW ON THIS APPLICATION THE NUMBER OF BOARD OF HEALTH APPROVED BEDROOMS FOR THIS LOCATION: 3

It is understood and agreed that any permit issued pursuant herein is on the express condition that all provisions of the New York State Fire Prevention and Building Codes and all Zoning Ordinances of the Town of North Castle and any and all amendments thereto shall apply and be complied with whether specified herein or not. No changes to plans or construction shall be made without prior approval of the building inspector and licensed professionals.

By signing this application you agree to strive to close the permit as soon as work has completed in order to expediently receive a Certificate of Occupancy or Compliance.

PRINT OWNER / APPLICANT NAME: Mary Paniros

OWNER / APPLICANT SIGNATURE: Mary Paniros

~ TO SCHEDULE INSPECTIONS, PLEASE CALL THE OFFICE DURING BUSINESS HOURS ~

FOR ACCESS TO THE TOWN CODE, ADDITIONAL APPLICATIONS, SUBMISSION CHECKLISTS, AND MUCH MORE, PLEASE VISIT OUR WEBSITE AT

NORTHCASTLENY.COM



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Poniros Residence Date: 11/9/2020
 Tax Map Designation or Proposed Lot No.: 100.02-1-2

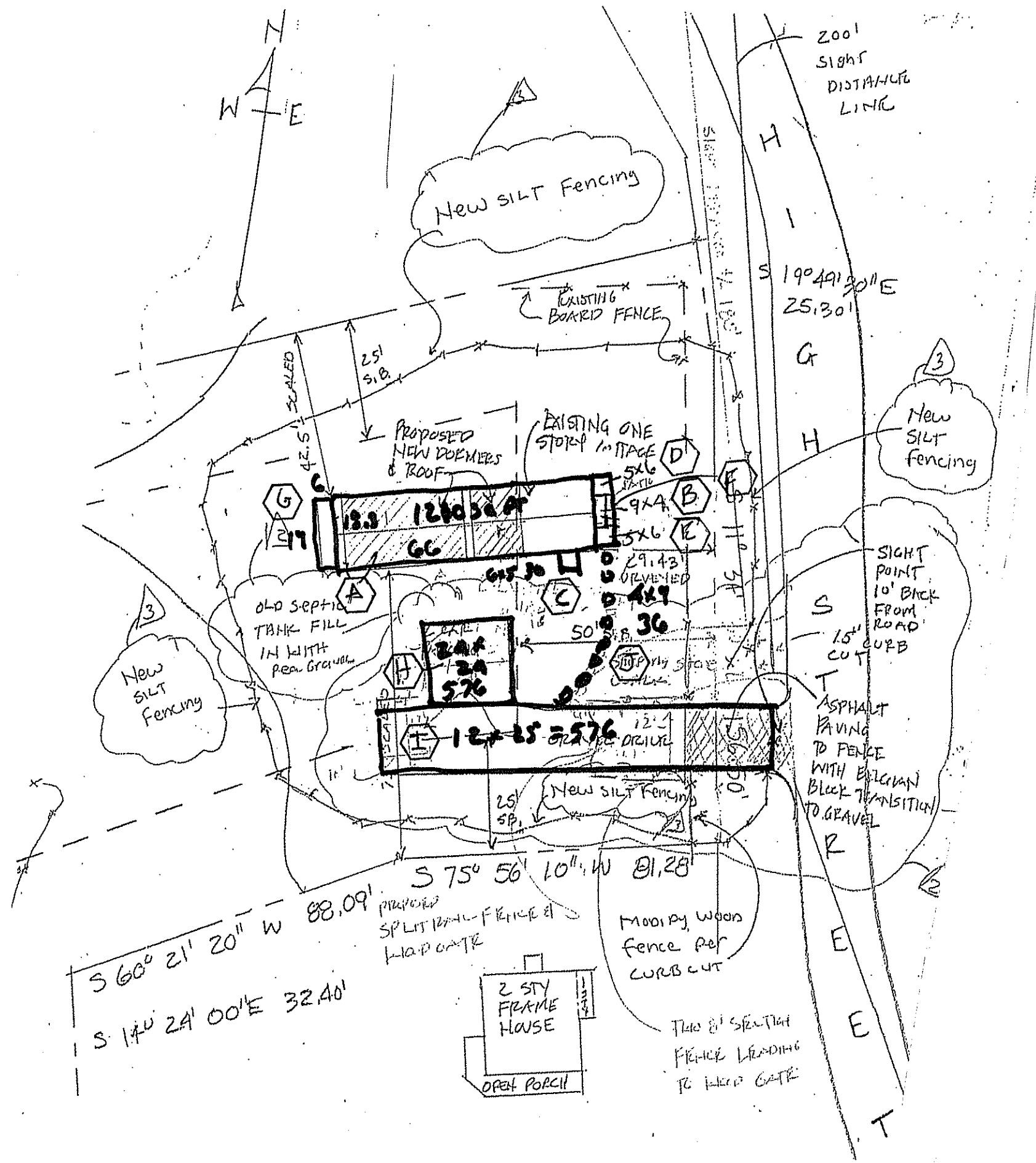
Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 89,714
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): 13,466
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
0 x 10 = 0
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 13,466
5. Amount of lot area covered by principal building:
1210 existing + 0 proposed = 1210
6. Amount of lot area covered by accessory buildings:
0 existing + 0 proposed = 0
7. Amount of lot area covered by decks:
0 existing + 0 proposed = 0
8. Amount of lot area covered by porches:
0 existing + 0 proposed = 0
9. Amount of lot area covered by driveway, parking areas and walkways:
78 existing + 1815 proposed = 1893
10. Amount of lot area covered by terraces:
0 existing + 0 proposed = 0
11. Amount of lot area covered by tennis court, pool and mechanical equip:
0 existing + 0 proposed = 0
12. Amount of lot area covered by all other structures:
0 existing + 0 proposed = 0
13. Proposed gross land coverage: Total of Lines 5 – 12 = 3,103 SQ FT

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Adam R. Kaufman
 Signature and Seal of Professional Preparing Worksheet

11/9/20
 Date



Lot Coverage

Lot Area 89,714.2 SQ FT

A	18.3x 66 main house	1,210 SQ FT
B	9x48 conc pad	48 SQ FT
C	6x5 Bilco Pad	30 SQ FT

EXISTING COVERAGE 1288 SQ FT

D	5x6 PATIO	30 SQ FT
E	9x1 PATIO	9 SQ FT
F	5x6 patio	30 SQ FT
G	6x19 PATIO	114 SQ FT
H	24x24 DRIVE (GRAVEL)	576 SQ FT
I	12x85 DRIVE (GRAVEL)	1020 SQ FT
J	4x9 = 36 WALKWAY	36 SQ FT
TOTAL NEW COVERAGE		1815 SQ FT

TOTAL COVERAGE 3,103 SQ FT

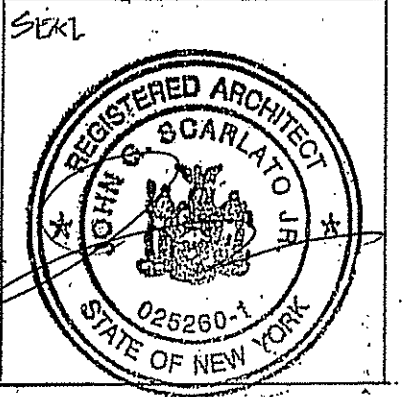
JOHN G. SCARLATO JR.
ARCHITECT

33 BYRON HILL RD
ARMONK NY 10504
PHONE (914)273-7350

PONIOS RESIDENCE
97 HIGH STREET
ARMONK NY 10504

FAR / LAND COVER.
DIAGRAMS

DATE: 11/9/2020
DWG: SK-1





TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Poniros Residence Date: _____

Tax Map Designation or Proposed Lot No.: 100.02 - 1 - 2

Floor Area

- | | | |
|-----|---|-----------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>89,714</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>10,226.5</u> |
| 3. | Amount of floor area contained within first floor:
<u>1210</u> existing + <u>0</u> proposed = | <u>1210</u> |
| 4. | Amount of floor area contained within second floor:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 5. | Amount of floor area contained within garage:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>1210</u> |

If Line 10 is less than or equal to Line 2, your proposal complies with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Jan R. Kaufman
 Signature and Seal of Professional Preparing Worksheet

1/19/2020
 Date



$$18.3 \times 66 = 1210 \text{ SQ FT}$$

JOHN G.
SCARLATO JR.
ARCHITECT

33 BYRAM HILL RD
ARMONK NY 10509

PHONE (914) 273-7350

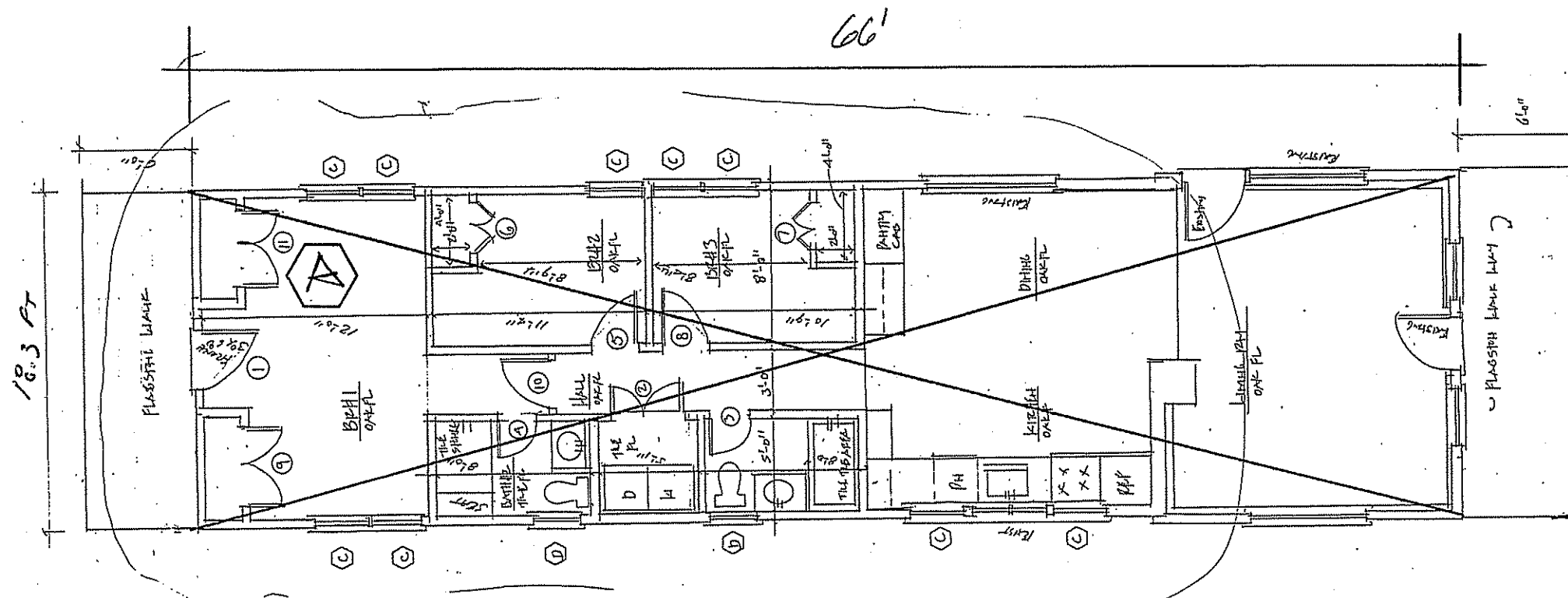
PONIKOS RESIDENCE

97 HIGH STREET
ARMONK NY 10504

FAR
DIAGRAMS

DATE: 11/9/2020
DWG: SK-2

SEAL








Floor PLAN DIAGRAM FIRST FLOOR

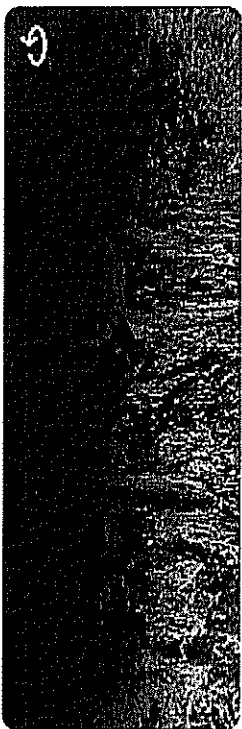


97 High St

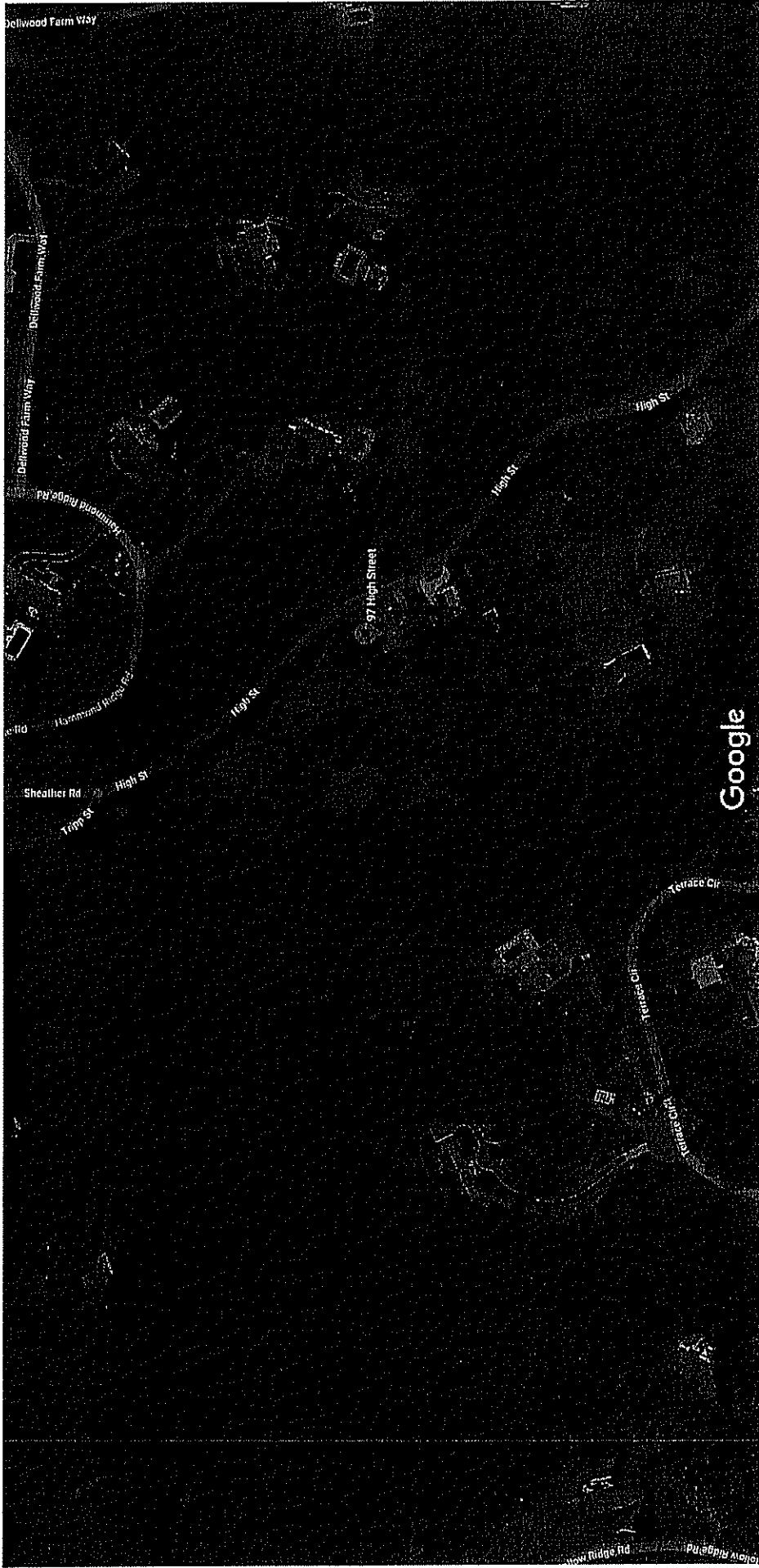
Armonk, NY 10504
Building

-  Directions
-  Save
-  Nearby
-  Send to your phone
-  Share

Photos



Google Maps 97 High St



Imagery ©2020 Maxar Technologies, New York GIS, USDA Farm Service Agency, Map data ©2020 100 ft

TOWN OF NORTH CASTLE ZONING COMPARISON CHART

ADDRESS: 97 HIGH STREET	SECTION/BLOCK/LOT: 100, 02, 11, 2	ZONE: R2A	
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2 ACRES	2.06 (89,714.2)	2.06
FRONTAGE	150	181.8	181.8
WIDTH	150	181.8 MIN	181.8 MIN
DEPTH	150	580+L	580+L
MINIMUM SETBACK FRONT	50	29.43	29.43 N/C EXISTING
SIDE	30	42.5+L, R, 78+L	N/C
REAR	50	402+L	N/C
MAXIMUM BLDG HGT. FEET	30	10' 6" H/L	N/C
MAXIMUM BLDG COVERAGE	8%	1.35%	N/C
MINIMUM DWLG. UNIT SIZE	1400	1210	N/C EXISTING NON-COMF.
BASIC PERMITTED FLOOR AREA	5864	1210	N/C
MAX PERMITTED FLOOR AREA	10226.5	1210	N/C
BASIC PERMITTED GROSS LAND COV.	13.466	12.58	16.80

REScheck Software Version 4.6.5
Compliance Certificate

Project: Peniros Residence
 Energy Code: 2015 IRC
 Location: Armonk, New York
 Construction Type: Single-Family
 Alteration: 4 (R2A ZONE)
 Climate Zone: 4 (R2A ZONE)
 Project Dates: 10/23/18

Owner/Agent: John G. Scarlato Jr.
 33 Stream Hill Road
 Armonk, NY 10504
 914-773-7350
 scarlatoarchitect.com

Envelope Assemblies

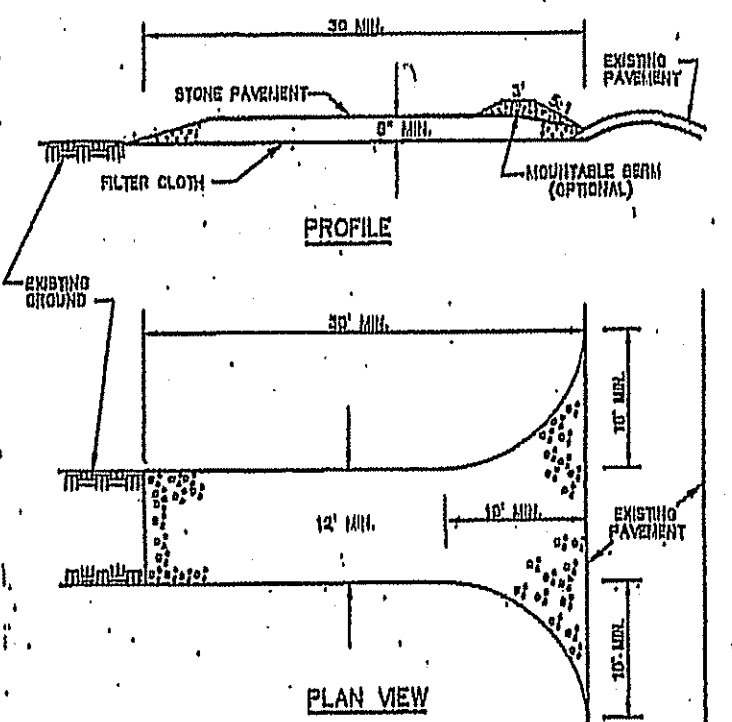
Assembly	Gross Area (sq ft)	U-Value	Q-Value (BTU/hr-ft²)	Cost (\$/sq ft)
Walls w/ Wood Frame, 1/2" G.C.	1578	0.07	0.02	1.57
Walls w/ Wood Frame, 1/2" G.C. w/ Insulation	210	0.03	0.01	0.50
Walls w/ Wood Frame, 1/2" G.C. w/ Insulation & Sheetrock	10	0.03	0.01	0.50
Walls w/ Wood Frame, 1/2" G.C. w/ Insulation & Sheetrock & Siding	10	0.03	0.01	0.50
Floor w/ Wood Frame, 1/2" G.C. w/ Insulation & Sheetrock	600	0.09	0.04	0.12
Floor w/ Wood Frame, 1/2" G.C. w/ Insulation & Sheetrock & Carpet	600	0.09	0.04	0.12

Compliance Statement: The proposed building design described here is consistent with the building plan, specifications, and other documents submitted to the Town of North Castle. The proposed building design is subject to the Town of North Castle Zoning Ordinance, and the applicant is responsible for ensuring compliance with all applicable codes and regulations.

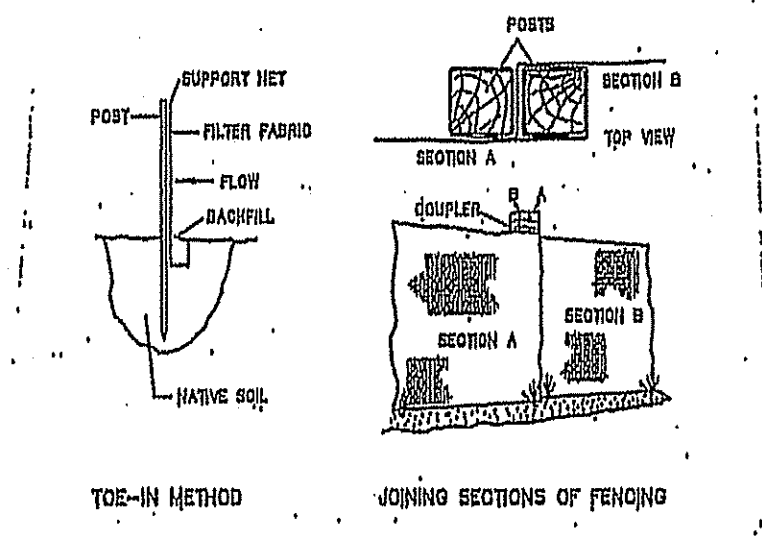
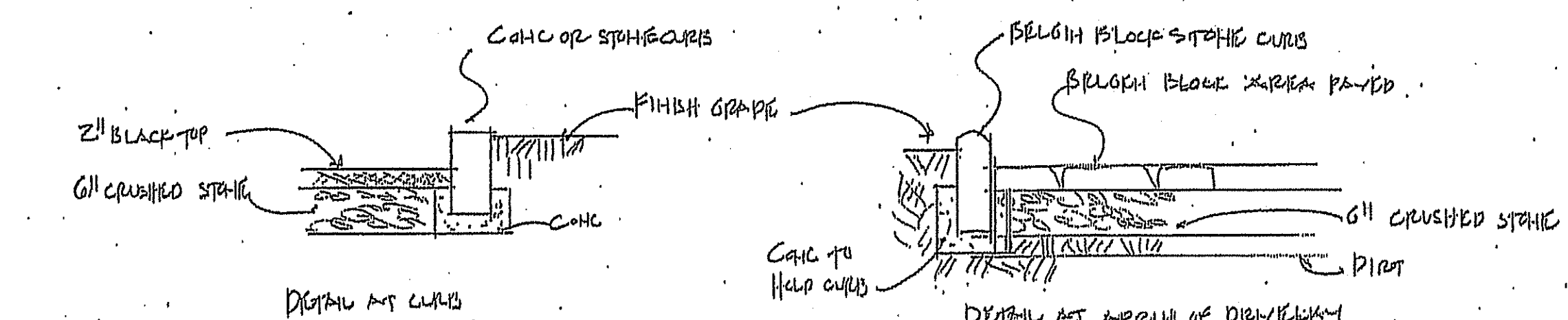
John G. Scarlato, Jr. 10/23/18

CONSTRUCTION SPECIFICATIONS

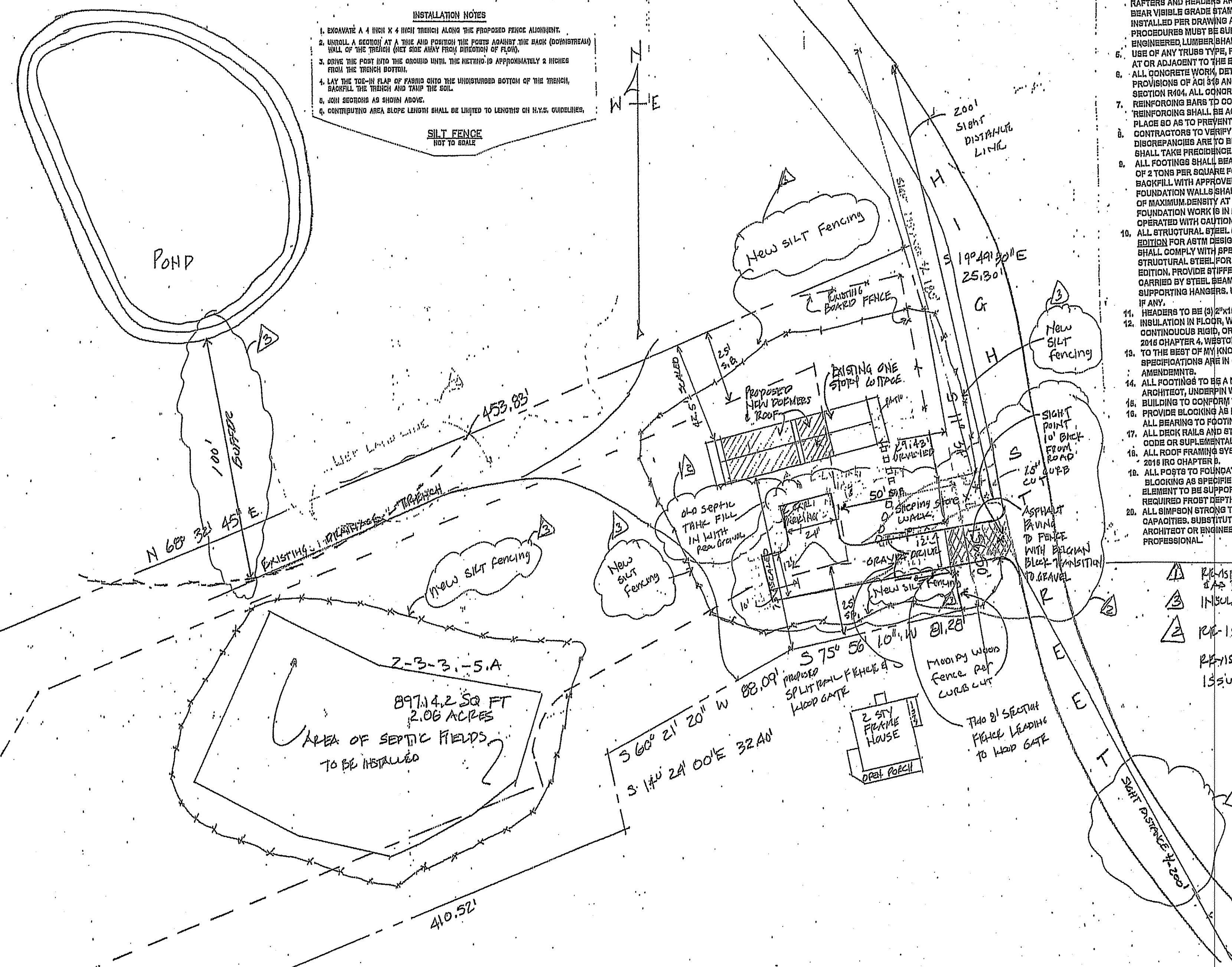
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 6 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 20' MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN 6" (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE TURNING AND CORNERS OCCUR. TWENTY-FOUR (24) FOOT MINIMUM ENTIRE TO SITE.
- FLAT CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD FOUNDATION ENTRANCES SHALL BE PAVED ACROSS THE ENTIRE AREA TO PREVENT INFILTRATION. A DRAINAGE DITCH WITH 1/2" SLOPE IS PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED BY A CONDITION WHICH WILL PROTECT THE STONE OR RECORD OF RECORDING FROM DAMAGE BY MOTOR VEHICLES. ALL DEBRIS SHALL BE REMOVED, WASHED OR TRAPPED INTO PUBLIC DRAINAGE SYSTEMS.
- WALL FINISHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WASH DRAINING INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC MAINTENANCE AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINFALL EVENT.



STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



- INSTALLATION NOTES**
- EXCAVATE A 4 INCH X 4 HIGH TRENCH ALONG THE PROPOSED FENCE ALIGNMENT.
 - INSTALL A SECTION A AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (SEE SIDE VIEW FROM DIRECTION OF FLOW).
 - DRIVE THE POST INTO THE GROUND UNTIL THE TRENCH IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
 - LAY THE TOE-IN FLAP OF FABRIC OVER THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL.
 - JOIN SECTIONS AS SHOWN ABOVE.
 - COMPLETED AREA SLOPE SHOULD BE LIMITED TO LENGTHS ON H.I.C. GUIDELINES.



Plot Plan
SCALE: 1" = 30'-0"

NORTH CASTLE ARCHITECTURAL REVIEW SCHEDULE

	NAME	TYPE	COLOR
SIDING		CEDAR CLAPBOARD	WHITE
WINDOWS	ANDERSON	400 S. CABONETS	WHITE
TRIM	AZEK	EXISTING WOOD / COMPOSITE	WHITE
EXT DOORS	ANDERSON	FRENCH SPLIT LIGHT	WHITE
ROOFING	TIMBERLINE	ARCHITECTURAL	GRAY
STONE/BRICK	STUCCO		GRAY
OTHER MATERIALS		ALUMINUM	WHITE

STYLE: COTTAGE
 SQUARE FOOTAGE: LIVING 1210 TOTAL 1210

- GENERAL NOTES**
- ALL WORK SHALL CONFORM TO THE OFFICIAL CODES, RULES AND REGULATIONS OF 2015 INTERNATIONAL RESIDENTIAL CODE, 2015 INTERNATIONAL BUILDING CODE, 2015 INTERNATIONAL EXISTING BUILDING CODE, 2015 INTERNATIONAL ENERGY CONSERVATION CODE AND 2015 INTERNATIONAL FIRE CODE.
 - CONTRACTOR SHALL PROTECT AND BRACE ALL WORK FROM DAMAGE DURING CONSTRUCTION.
 - ALL WORK TO BE PLUMB & TRUE. ALL PLUMBING WORK TO BE IN ACCORDANCE WITH NYS AND N.F.C. ALL HVAC WORK TO BE IN ACCORDANCE WITH ASHRAE STANDARDS, LATEST EDITION. ALL PLUMBERS AND ELECTRICIANS SHALL BE LICENSED AND INSURED. ALL CONTRACTORS AND SUB-CONTRACTORS ARE RESPONSIBLE FOR ANY ADDITIONAL PERMITS, APPROVALS, AND INSPECTIONS THEIR PARTICULAR TRADE MAY REQUIRE.
 - LUMBER MATERIALS USED IN THE BUILDING SHALL BE OF THE STRONGEST GRADE AVAILABLE. ALL LUMBER SHALL BE KNOT-FREE, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED. ALL NEW LUMBER SHALL CONFORM TO 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE CHAPTER 6. SPECIFICALLY, TABLE R602.4(1) TO R602.4(19). PROVIDE BLOOMING, NAILERS, ROUGH FRAMING HARDWARE AS REQUIRED. ALL BEAMS, JOISTS AND RAFTERS TO BE SET WITH NATURAL CROWN UP. PROVIDE DOUBLE RAFTERS AND HEADERS AROUND ALL ROOF SKYLIGHTS UNLESS OTHERWISE NOTED. ALL LUMBER SHALL BEAR VISIBLE GRADE STAMP. ALL STRUCTURAL LUMBER, T&I, T&L, OR EQUIVALENT SHALL BE INSTALLED PER DRAWING AND MANUFACTURER'S SPECIFICATIONS. ALL NAILING AND INSTALLATION PROCEDURES MUST BE SUPPLIED BY THE MANUFACTURER AND SHALL BE FOLLOWED. STRUCTURAL AND ENGINEERED LUMBER SHALL NOT BE ALLOWED TO GET WET AT ANY TIME.
 - USE OF ANY TRUSS TYPE, PRE-ENGINEERED OR TIMBER CONSTRUCTION WILL REQUIRE A SIGN BE PLACED AT OR ADJACENT TO THE ELECTRIC METER WITH SPECIFICATIONS PROVIDED BY THE ARCHITECT.
 - ALL CONCRETE WORK, DETAILS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE CHAPTER 6. SECTION R104. ALL CONCRETE SHALL BE TYPE I, 4000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. REINFORCING BARS TO CONFORM TO 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE SECTION R104.3.2. REINFORCING SHALL BE ACCURATELY INSTALLED TO REQUIRED ELEVATION AND SECURELY TIED IN PLACE SO AS TO PREVENT DISPLACEMENT DURING CONCRETING.
 - CONTRACTORS TO VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO ARCHITECT. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
 - SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS. ALL FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL HAVING A MINIMUM SAFE BEARING CAPACITY OF 2 TONS PER SQUARE FOOT. BRACE ALL RETAINING WALLS OR FOUNDATION WALLS AS REQUIRED. FOUNDATION WALLS SHALL BE DONE IN LAYERS NOT TO EXCEED 10 INCHES. COMPACTION SHALL BE 95% OF OPTIMUM MOISTURE CONTENT. EXCAVATION MUST BE FREE OF WATER WHILE OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. OPERATED WITH CAUTION AND IN SUCH A MANNER AS TO CAUSE NO DAMAGE TO FOUNDATION SYSTEMS. STRUCTURAL STEEL SHALL BE DONE IN LAYERS NOT TO EXCEED 10 INCHES. COMPACTION SHALL BE 95% OF OPTIMUM MOISTURE CONTENT. OPERATED WITH CAUTION AND IN SUCH A MANNER AS TO CAUSE NO DAMAGE TO FOUNDATION SYSTEMS. OPERATED WITH CAUTION AND IN SUCH A MANNER AS TO CAUSE NO DAMAGE TO FOUNDATION SYSTEMS.
 - ALL STRUCTURAL STEEL FOR BUILDING OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION LATEST EDITION FOR ASTM DESIGNATION A-572 OR A-588 FOR ALL "I" SECTIONS. ALL STRUCTURAL STEEL WORK SHALL COMPLY WITH SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND CONSTRUCTION OF STRUCTURAL STEEL FOR BUILDING OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION LATEST EDITION. PROVIDE STIFFENER ANGLES OR PLATES UNDER ALL POSTS, COLUMNS OR TRUSSES THAT ARE CARRIED BY STEEL BEAMS AND IN THE WEB OF BEAMS CANTILEVERED OVER COLUMNS OR BEAMS SUPPORTING HANGERS. UNLESS OTHERWISE NOTED PROVIDE 6x6x1/2" BEARING ON CONCRETE MASONRY IF ANY.
 - HEADERS TO BE (1) 2"x4" IN 2x4 WALLS AND (2) 2"x6" IN 2x6 WALLS UNLESS OTHERWISE NOTED. INSULATION IN FLOOR, WALL AND CEILING APPLICATIONS SHALL BE OF COMBINATIONS OF FIBERGLASS, CONTINUOUS RIGID, OR BLOWN OR SPRAYED CELLULOUS INSULATION TYPES TO CONFORM TO THE 2015 CHAPTER 4, WESTCHESHER COUNTY IS CLIMATE ZONE 4A. SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2015 IRC ENERGY COMPLIANCE CODE WITH NYS AMENDMENTS.
 - ALL FOOTINGS TO BE A MINIMUM OF 9'-0" BELOW GRADE, OR LOCAL FROST DEPTH AS SPECIFIED BY ARCHITECT, UNLESS OTHERWISE NOTED.
 - BUILDING TO CONFORM TO ANY LOCAL SUPPLEMENTAL CODE.
 - PROVIDE BLOOMING AS REQUIRED TO BEARING POSTS ON GIRDER OR BEAM CONDITIONS AND VERIFY ALL BEARING TO FOOTING.
 - ALL CHIMNEY WALLS AND STAR HANDRAILS TO BE IN COMPLIANCE WITH 2015 IRC SECTION 311 OR CURRENT CODE OR SUPPLEMENTAL CODES.
 - ALL ROOF FRAMING SYSTEMS SHALL BE INSTALLED WITH HIGH WIND CONNECTORS IN COMPLIANCE WITH 2015 IRC CHAPTER 6.
 - ALL PILES TO FOUNDATION FOR THE PURPOSE OF SUPPORTING ROOF OR OTHER BEAMS SHALL BE BLOOMING AS SPECIFIED BY ARCHITECT OR A MINIMUM OF 4X4 NOMINAL DIMENSION FROM STRUCTURAL ELEMENT TO BE SUPPORTED CONTINUOUS TO A SOLID MASONRY FOUNDATION THAT EXTENDS BELOW REQUIRED FROST DEPTH AND RESTS ON A FOOTING OF TYPICAL CONSTRUCTION.
 - ALL SIMPSON STRONG-TIE CONNECTORS AND ANCHORS ARE DESIGNED WITH SPECIFIC LOADS AND CAPACITIES. SUBSTITUTION OF THESE HANGERS FOR DIFFERENT MODELS, TYPES AND THICKNESSES BY ARCHITECT OR ENGINEER IS FORBIDDEN UNLESS THE REPLACEMENT PART WITH DESIGN PROFESSIONAL.

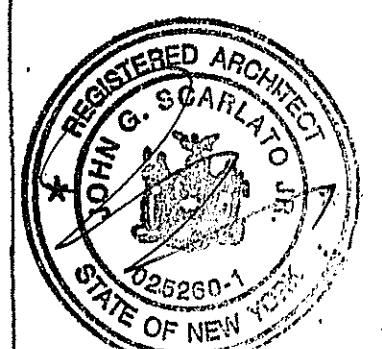
- RE-ISSUED PER R.P.C. LETTER 10/25/18
- RE-ISSUED PER R.P.C. LETTER 10/23/17

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COTTAGE REMODEL & ALTERATION
 WITH NEW DOORELS

Plot Plan
 ZONING CHART
 GENERAL NOTES



A-1

DOOR SCHEDULE

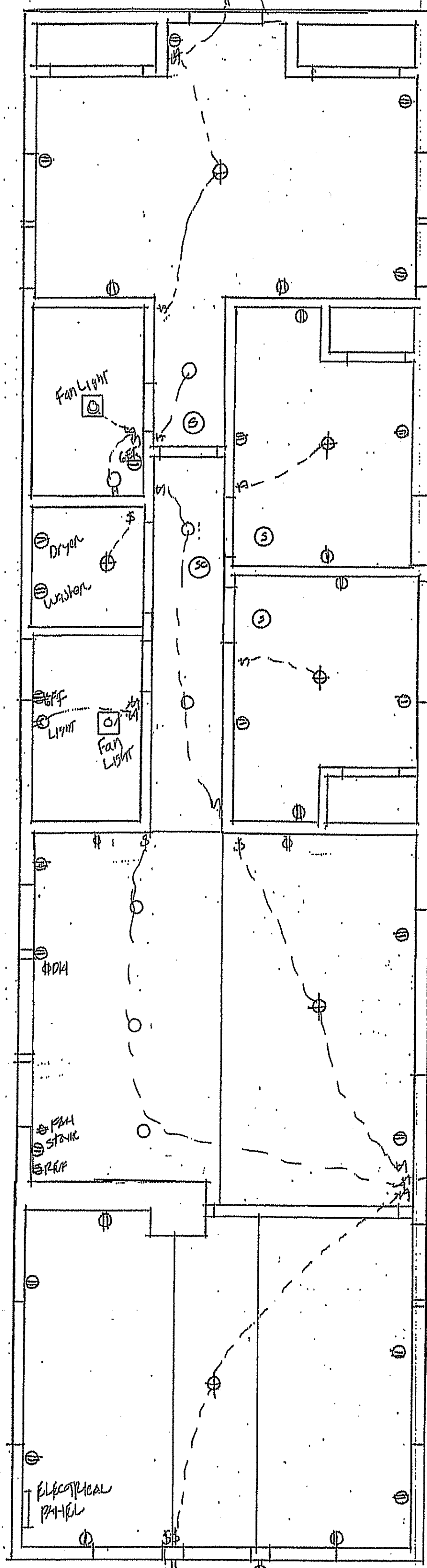
#	LOCATION		SIZE WIDTH X HEIGHT	DOOR			FRAME MATERIAL	REMARKS
	TO	FROM		LOCK	MATERIAL	TYPE		
1	LIVING RM	EXTERIOR	EXISTING	NEW LOCK & BOLT	WOOD	French	WOOD	REMOVE STAIR CASE / WEATHER STRIP
2	EATING AREA	LAUNDRY CL.	(2) 2'-2" x 6'-8"	PASSAGE	SOLID CORE MILWAUKEE	Z PANEL	WOOD	
3	BATH #1	HALL	2'-4" x 6'-8"	LOCK	"	"	"	
4	BATH #2	HALL	2'-4" x 6'-8"	LOCK	"	"	"	
5	BR #1	HALL	2'-6" x 6'-8"	LOCK	"	"	"	
6	BR #1	CLOSET	(2) 1'-6" x 6'-8"	PASSAGE	"	"	"	
7	BR #1	CLOSET	(2) 1'-6" x 6'-8"	PASSAGE	"	"	"	
8	BR #2	HALL	2'-6" x 6'-8"	LOCK	"	"	"	
9	BR #2	CLOSET	(2) 2'-0" x 6'-8"	PASSAGE	"	"	"	
10	BR #3	HALL	2'-6" x 6'-8"	LOCK	"	"	"	
11	BR #3	CLOSET	(2) 2'-0" x 6'-8"	PASSAGE	"	"	"	
12								

ELECTRICAL LEGEND

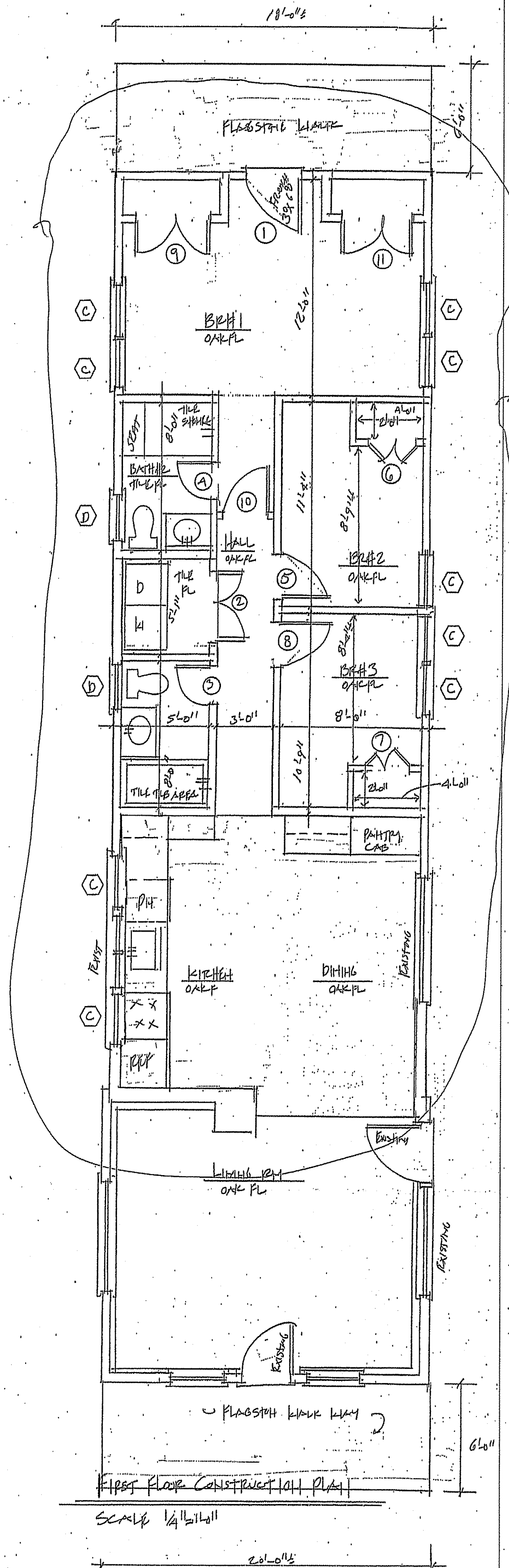
- Ⓢ NEW DECORA SWITCH SINGLE POLE
- Ⓢ₃ NEW DECORA 3 WAY SWITCH
- Ⓢ₄ NEW DECORA 4 WAY SWITCH
- Ⓢ_D NEW DECORA DIMMER SWITCH
- Ⓢ_R NEW DECORA RECEPTICAL
- Ⓢ_{GFI} NEW DECORA GFI RECEPTICAL
- Ⓢ_Q NEW DECORA QUAD RECEPTICAL
- Ⓢ_{PO} NEW PHONE OUTLET
- Ⓢ_{TV} NEW TV CABLE OUTLET
- NEW RECESSED WHITE DOWN LIGHT
6" BAFFEL
- Ⓢ_{RF} EXHAUST FAN
- Ⓢ_{RD} NEW RECESSED WHITE DOWN LIGHT
6" BAFFEL WITH LENS
- Ⓢ_{SD} WIRED SMOKE DETECTOR
- Ⓢ_{CD} WIRED CARBON MONOXIDE DETECTOR
- Ⓢ_{CS} COMBINATION SMOKE/CO2 DETECTOR
- Ⓢ_J JUNCTION BOX FOR LIGHT FIXTURE
- Ⓢ_W WALL SCONCE JUNCTION BOX
- Ⓢ_L WALL LIGHT JUNCTION BOX
- Ⓢ_{MS} WALL MOUNTED SPOT LIGHT
- Ⓢ_H HOT WATER BASEBOARD HEAT
- Ⓢ_{LF} LIGHT AND EXHAUST FAN COMBO

WINDOW SCHEDULE

#	MANUFACTURER	MANUFACTURER MODEL #	ROUGH OPENING W X H	# REQ.	NOTES
A	ANDERSEN	OMITTED			
B	ANDERSEN	CW13	2'-4 1/8" x 3'-0 1/2"	9	BATH RM
C	ANDERSEN	CX14	2'-8" x 4'-0 1/2"	9	BED ROOM EGRESS & EATING AREA
D	ANDERSEN	CW13	2'-4 1/8" x 3'-0 1/2"	2	BATHROOMS TEMPERED GLASS
E					



FIRST FLOOR REFLECTED CEILING AND ELECTRICAL PLAN
SCALE 1/4" = 1'-0"



FIRST FLOOR CONSTRUCTION PLAN
SCALE 1/4" = 1'-0"

LEGEND

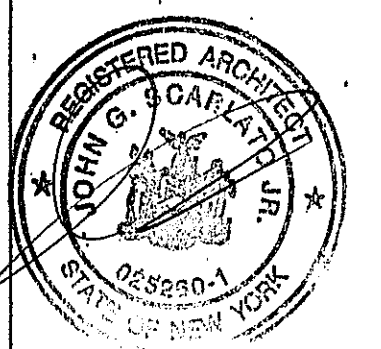
- ▬ NEW CONSTRUCTION
- ▬ NEW FOUNDATION
- ▬ WALL TO BE REMOVED
- ▬ EXISTING WALL TO REMAIN
- Ⓢ DOOR NUMBER
- Ⓢ WINDOW NUMBER
- Ⓢ ELEVATION LOCATION

ISSUED FOR LAYOUT CHANGES 10/20/20
ISSUED FOR BLDG PERMITS 10/23/17

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FIRST FLOOR CONSTRUCTION PLAN



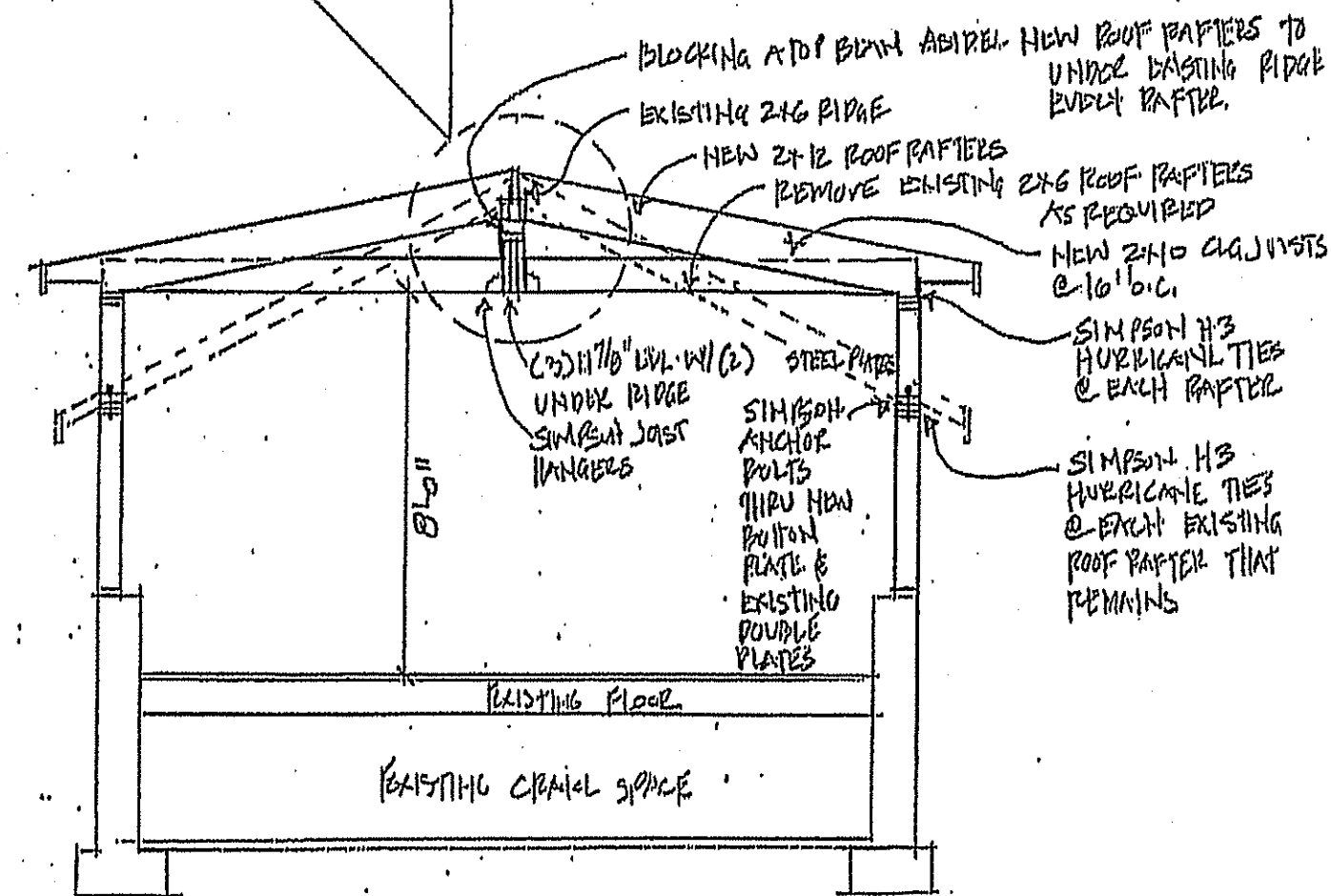
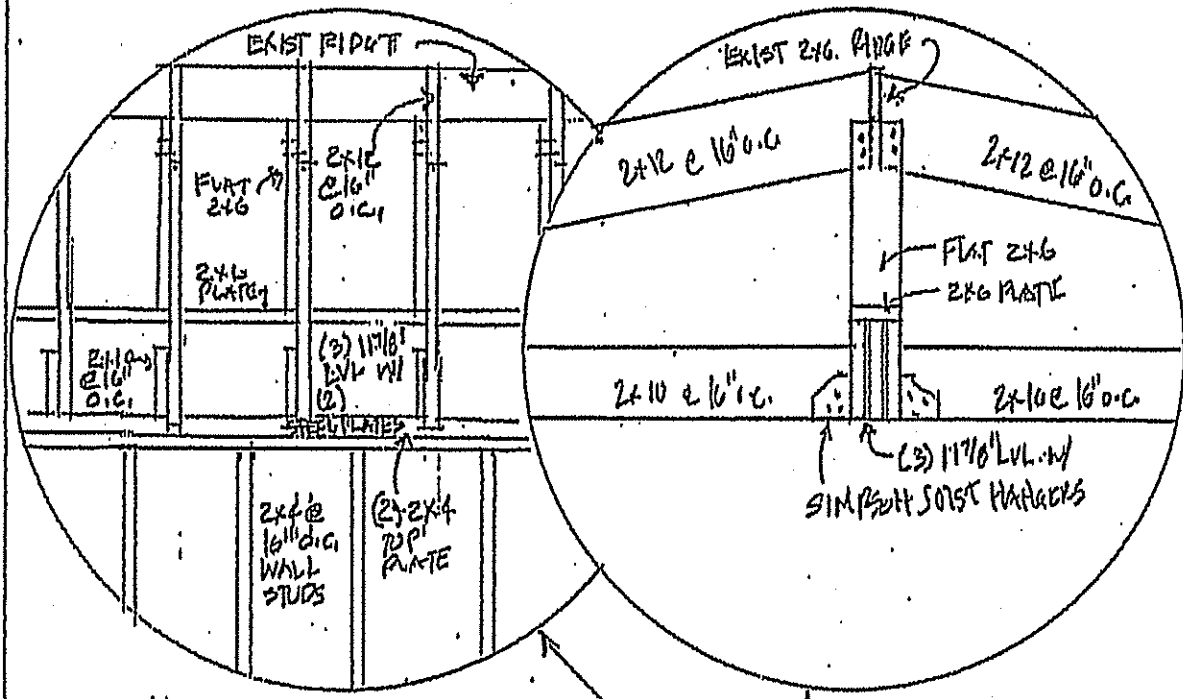
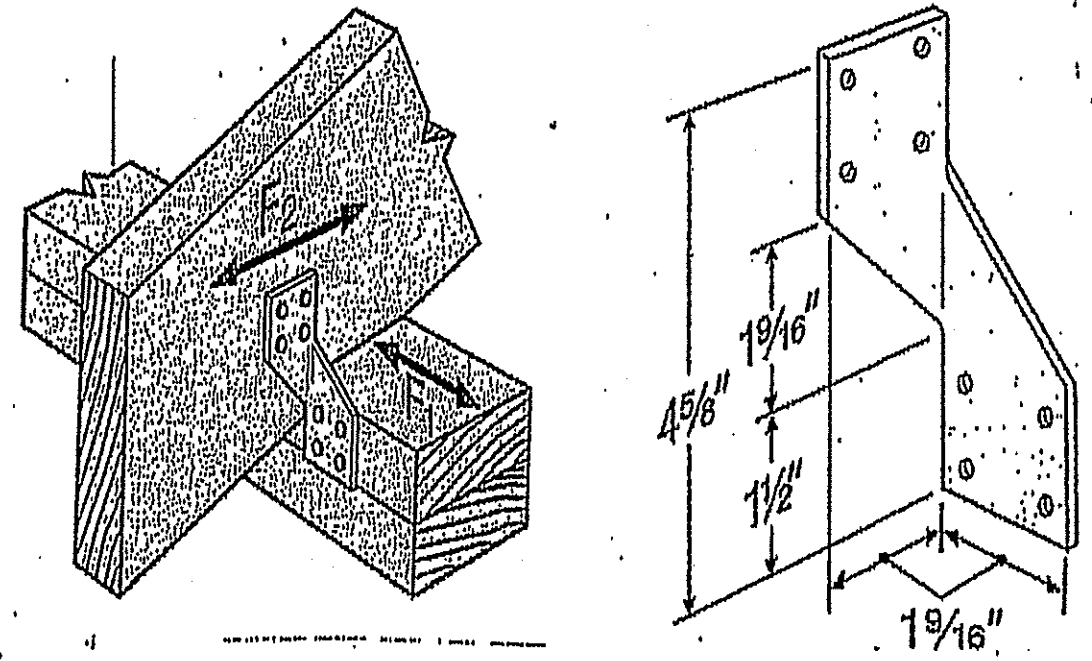
A-3

H3 Seismic and Hurricane Ties

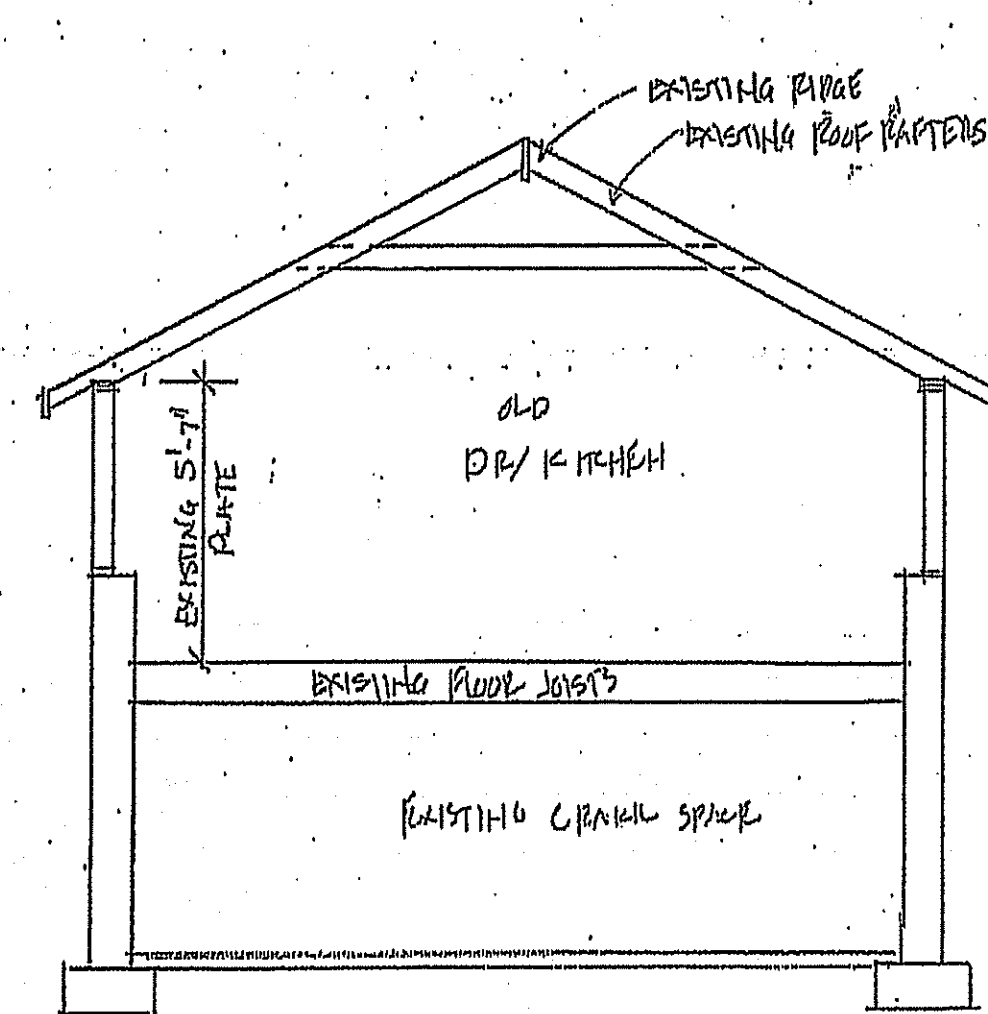
www.strongtie.com



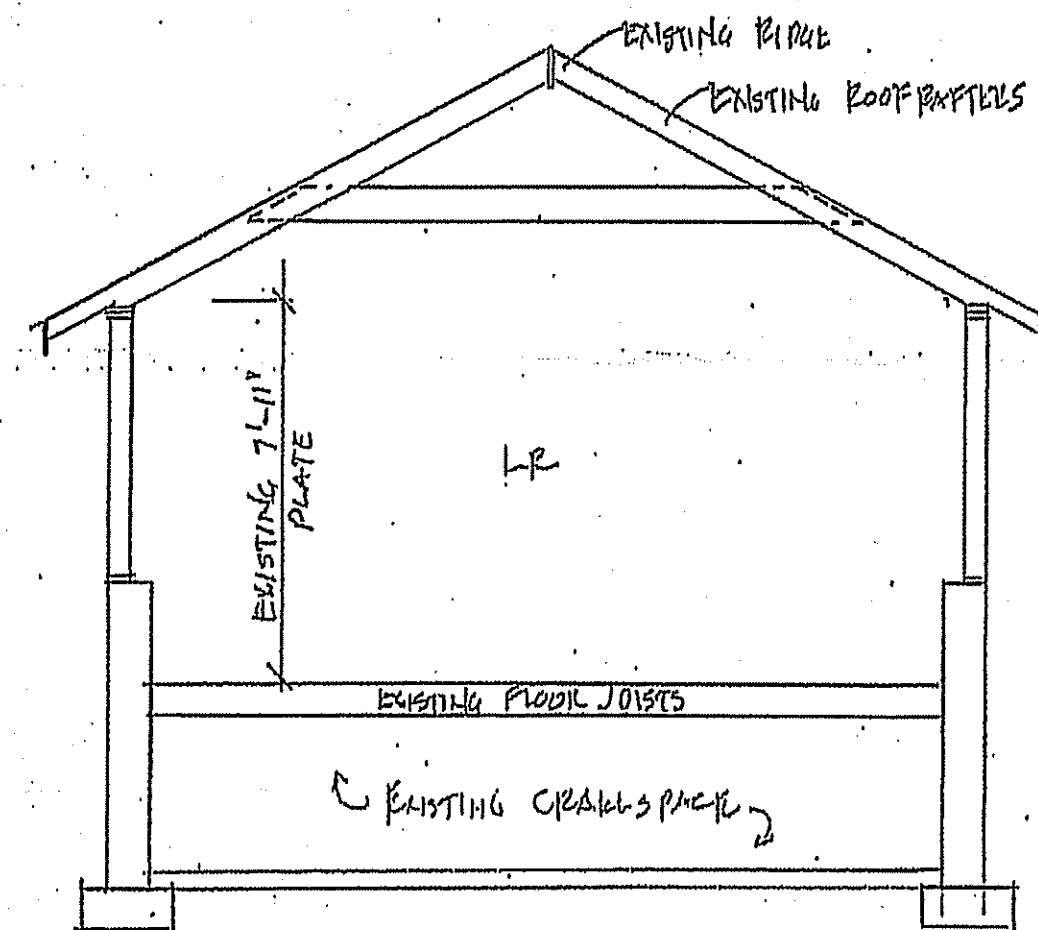
Model No.	Ga	Fasteners			DF/SP Allowable Loads			SPF/HF Allowable Loads			Uplift with Box 1 1/2 Nails (160)	
		To Rafters/Truss	To Plates	To Studs	Uplift (180)	Lateral (160) F1	Lateral (160) F2	Uplift (160)	Lateral (160) F1	Lateral (160) F2		
H3	18	4-8d	4-8d	---	465	125	160	415	320	105	140	290



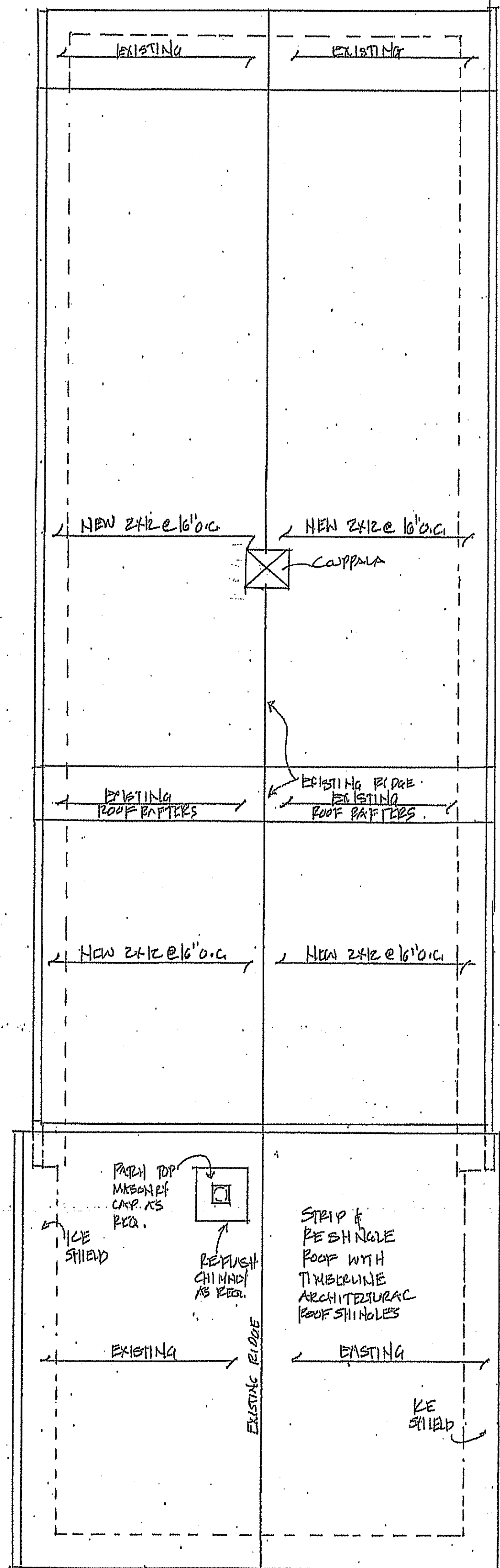
SECTION @ NEW DORMER
SCALE: 1/4" = 1'-0"



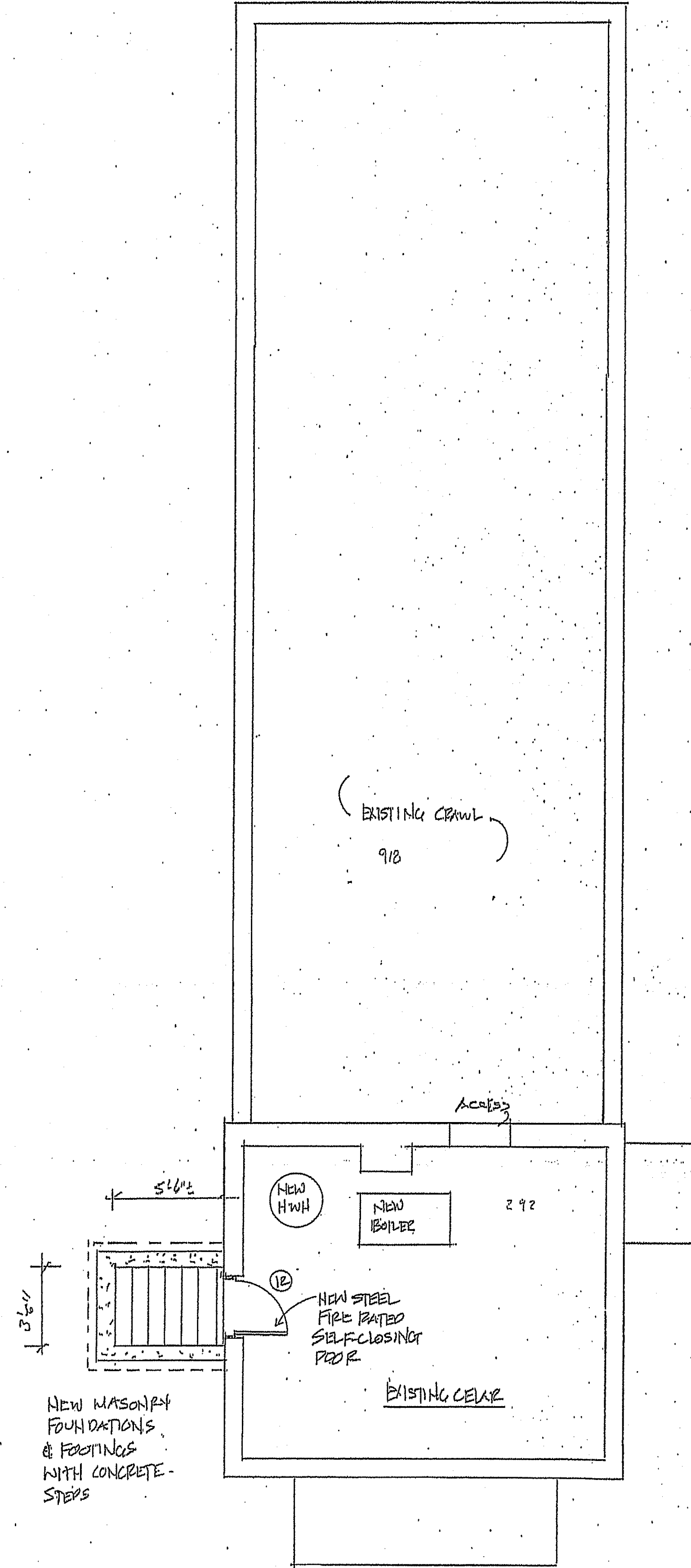
SECTION @ EXISTING
SCALE: 1/4" = 1'-0"



SECTION @ EXISTING L.R.
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"



BASEMENT / FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

RE-ISSUED 4/20/20
155 UDD... FILE NO. 10/12/17

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BASEMENT / FOUNDATION PLAN
ROOF PLAN



A-4