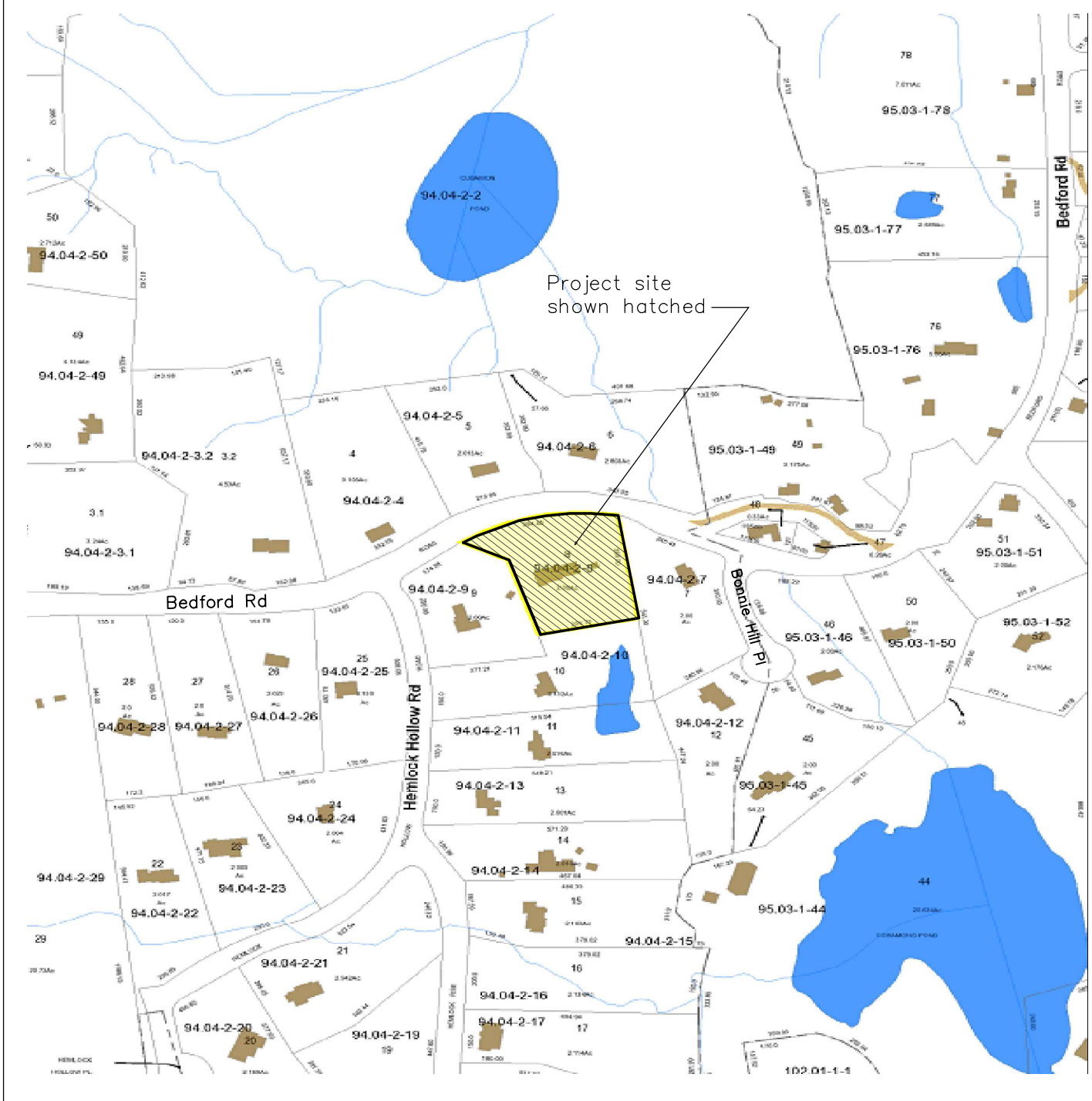


EXISTING SITE PLAN - SCALE: 1" = 20'-0"

LOCATION MAP - Not to Scale

SITE PLAN NOTES



1. INFORMATION ON SITE PLANS TAKEN FROM A SURVEY PREPARED BY  
 THOMAS C. MERRITTS LAND SURVEYORS, P.C.  
 394 BEDFORD ROAD  
 PLEASANTVILLE, NEW YORK 10570  
 DANIEL T. MERRITTS  
 NEW YORK STATE LICENSE NO.: 050604  
 TEL.: (914) 769-8003  
 (203) 622-8899  
 THE SURVEY IS DATED OCTOBER 22, 2020.  
 2. PLANS ARE NOT TO BE SCALED.

Drawing Issue

| No. | Date    | For              | By |
|-----|---------|------------------|----|
| 1   | 11-6-20 | For Owner Review | RB |

Drawing Index

**DRAWING INDEX SUMMARY**  
**ARCHITECTURAL**

| Dwg. # | Title                     | Scale        |
|--------|---------------------------|--------------|
| C-101  | Existing Site Plan        | 1" = 20'-0"  |
| C-102  | Proposed Site Plan        | 1" = 20'-0"  |
| C-103  | General Notes             | No Scale     |
| EX-101 | Existing First Floor Plan | 1/4" = 1'-0" |
| EX-102 | Existing Elevations       | 1/4" = 1'-0" |
| A-101  | Proposed Plan             | 1/4" = 1'-0" |
| A-102  | Proposed Elevations       | 1/4" = 1'-0" |

Drawing Revisions

| No. | Date | By |
|-----|------|----|
|     |      |    |
|     |      |    |

Bello Architecture, PLLC

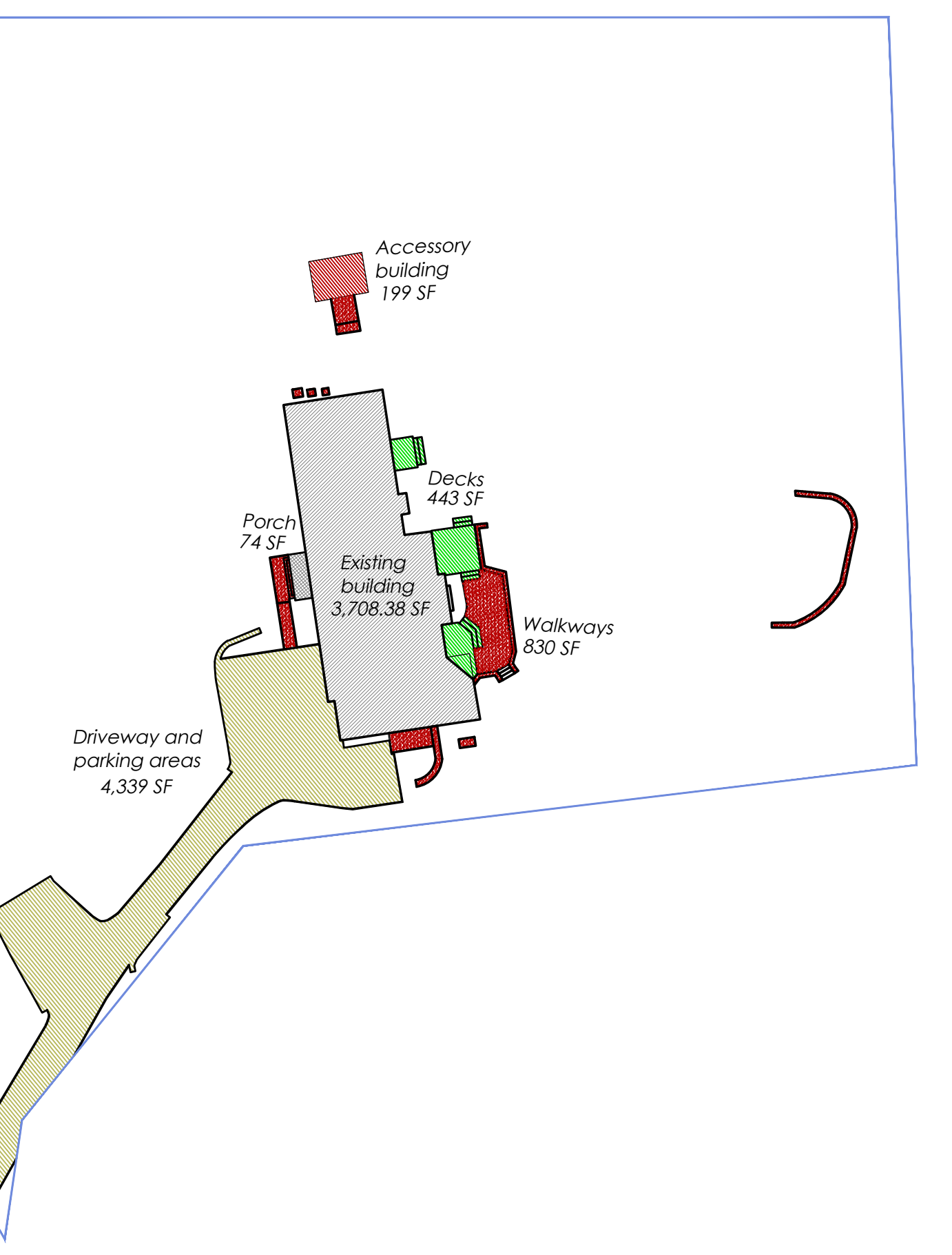
36 New Street  
 Rye, New York 10580  
 Tel: 914-690-0870  
 Fax: 914-937-1968

Project:  
 Jacobs /  
 Roth-Jacobs Residence

673 Bedford Road  
 Armonk, New York 10504

Sheet Title:  
 Existing Site Plan

|                      |                      |
|----------------------|----------------------|
| Scale<br>1" = 20'-0" | Project No.<br>20124 |
| Date<br>11/6/20      | Sheet No.<br>C-101   |
| Drawn By<br>RB       |                      |





PROPOSED SITE PLAN - SCALE: 1" = 20'-0"

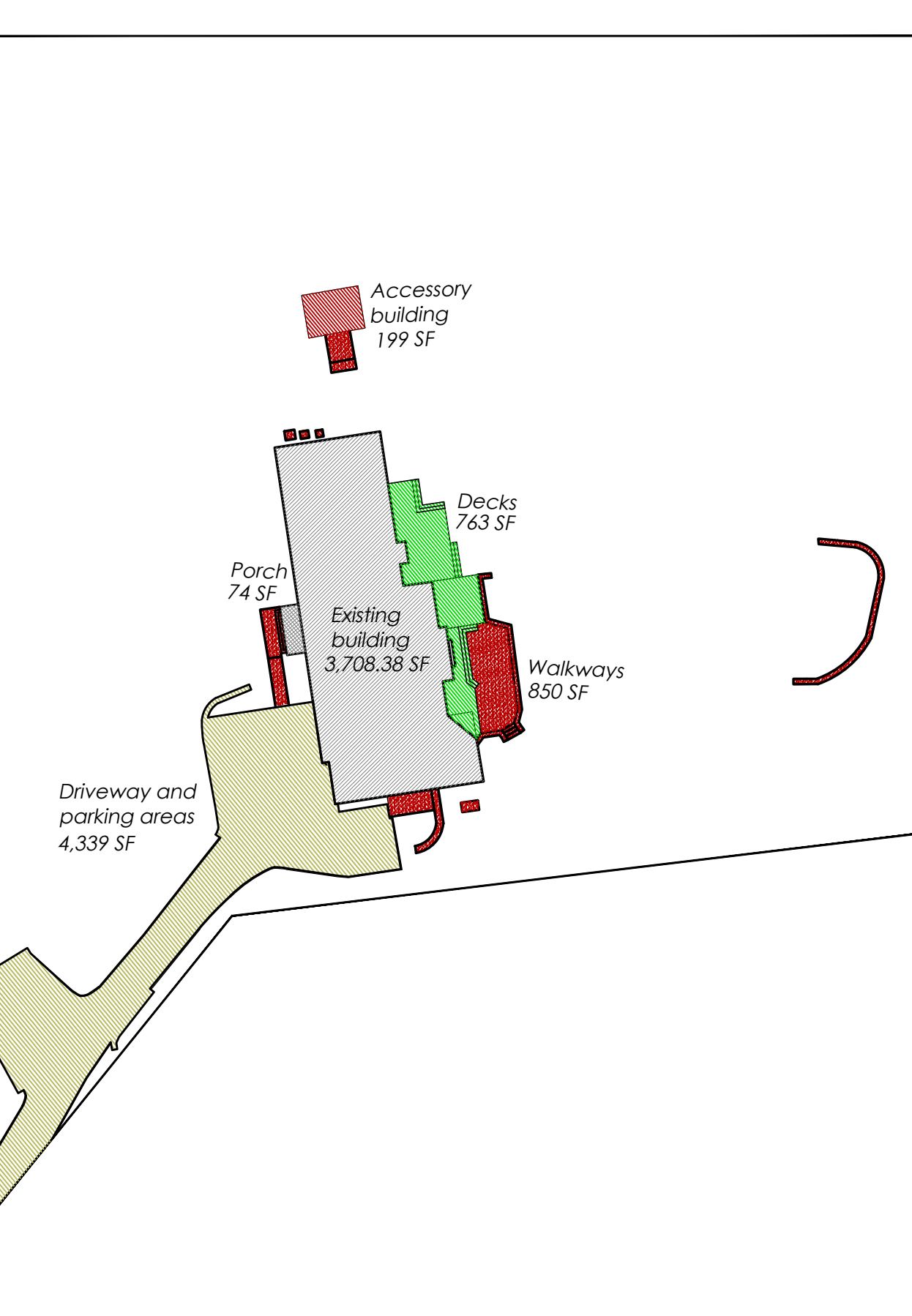
SITE PLAN NOTES

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 THE SURVEY IS DATED OCTOBER 22, 2020.
- PLANS ARE NOT TO BE SCALED.



Zoning Tabulation

|                        | REQUIRED | EXISTING        | PROPOSED        |
|------------------------|----------|-----------------|-----------------|
| ZONE: R-2A             |          |                 |                 |
| SECTION: 94.04         |          |                 |                 |
| BLOCK: 2               |          |                 |                 |
| LOT: 8                 |          |                 |                 |
| ACRE: 2.0              |          |                 |                 |
| MIN. LOT SIZE - AREA   | 2 ACRES  | 87,116.91 SQ.FT | 87,116.91 SQ.FT |
| FRONTAGE               | 150.0 FT | 384.45 FT +/-   | 384.45 FT +/-   |
| WIDTH                  | 150.0 FT | 250.0 FT +/-    | 250.0 FT +/-    |
| DEPTH                  | 150.0 FT | 312.0 FT +/-    | 312.0 FT +/-    |
| FRONT YARD             | 50.0 FT  | 149.36 FT +/-   | 149.36 FT +/-   |
| SIDE YARD              | 30.0 FT  | 28.12 FT        | 28.12 FT        |
| REAR YARD              | 50.0 FT  | 119.69 FT +/-   | 119.69 FT +/-   |
| BUILDING HT. FEET      | 30.0 FT  | 28.0 FT +/-     | 28.0 FT +/-     |
| STORIES                |          | 2               | 2               |
| MAX. BUILDING COVERAGE | 8%       | 4.26% +/-       | 4.26% +/-       |



- PRINCIPAL BUILDING  
EXISTING: 3,708.38 SF.  
PROPOSED: 3,708.38 SF.
- ACCESSORY BUILDING  
EXISTING: 199 SF.  
PROPOSED: 199 SF.
- DECKS  
EXISTING: 443 SF.  
PROPOSED: 763 SF.
- PORCHES  
EXISTING: 74 SF.  
PROPOSED: 74 SF.
- DRIVEWAYS, PARKING AREAS  
EXISTING: 4,339 SF.  
PROPOSED: 4,339 SF.
- WALKWAYS  
EXISTING: 830 SF.  
PROPOSED: 850 SF.

Drawing Issue

| No. | Date    | By               |
|-----|---------|------------------|
| 1   | 11-6-20 | For Owner Review |

Drawing Revisions

| No. | Date | By |
|-----|------|----|
|-----|------|----|

Bello Architecture, PLLC

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Project:  
 Jacobs /  
 Roth-Jacobs Residence  
 673 Bedford Road  
 Armonk, New York 10504

Sheet Title:  
 Proposed Site Plan

|                      |                      |
|----------------------|----------------------|
| Scale<br>1" = 20'-0" | Project No.<br>20124 |
| Date<br>11/6/20      | Sheet No.<br>C-102   |
| Drawn By<br>RB       |                      |



GENERAL NOTES:

- The contractors shall check and verify all dimensions and conditions prior to starting work and notify the architect of any discrepancies.
- Contractor (s) shall obtain any and all permits as required by the local authorities.
- All work shall be designed and must be performed in compliance with the 2020 Residential Code of New York State, and all applicable local Codes and Zoning regulations.
- The general contractor shall coordinate the work of all trades and sub-contractor (s) unless otherwise noted.
- All contractors to cooperate in coordinating construction.
- All cutting and patching shall be done by the general contractor and shall be the responsibility of the G.C. to see that the final patch is not visible after finish (es).
- The contractor shall protect and not damage trees, planting or shrubs where work or operation for work is required at exterior of building.
- The storage of materials and equipment shall be located where directed by the architect or owner.
- Where partition(s) are removed, flooring(s) at old partition(s) shall be filled-in level with existing to receive final finish(es). At walls and ceilings patch and align finish surfaces to match existing or as required to receive new finishes.
- Install R-15 insulation in existing exterior walls as required.
- New windows to be Andersen double hung with insulating glass white – sizes as noted on drawings. Provide insect screens for all operating sashes.
- All glass within 18" of the floor shall be tempered safety glass.
- Provide 4" x 4" post or 2 – 2" x 4" spiked at bearing points of all double framing members and LVL's unless otherwise noted.
- All operable windows and exterior doors to be weatherstripped and all windows shall be caulked.
- The contractor, by submitting his bid, represents that he has visited the project location and agrees with plans and details as representing the full extent of construction. If contractor has found that plans and details are at variance with what is physically in the field, he shall notify the architect or owner before submitting his bid.
- Contractor to carry appropriate insurance, workmens compensation and liability in the sums prescribed by authorities having jurisdiction over the project.

STRUCTURAL SPECIFICATIONS:

GENERAL NOTES:

- The contractor shall be responsible for visiting the site and familiarizing himself with existing conditions.
- The contractor shall be solely responsible for all safe working conditions and shall observe all safety requirements established by jurisdictional agencies and owner. Where conflicts exist, the more stringent requirements shall apply. Care shall be exercised to avoid endangering personnel or the structure.
- All structural work shall conform to the requirements of the Uniform Building Code of New York State, latest edition.
- All structural drawings shall be used in conjunction with specifications, architectural and mechanical drawings.
- All dimensions shall be verified by the contractor. The general contractor shall coordinate and be responsible for the approved size and location of all openings through roof, floors and walls.
- All sections and details shall be considered typical and apply for the same and similar conditions, unless otherwise specifically noted.
- Contractor shall furnish and be solely responsible for all temporary bracing required to maintain stability of the structure during construction.

CONCRETE:

- All concrete construction shall conform to building code requirements for reinforced concrete, ACI 318 (latest edition), and shall be in accordance with the manual of standard practice for detailing of reinforced concrete.
- All cast-in-place concrete shall be controlled stone concrete having a minimum compressive design strength,  $F_c$  of 3,000 lbs. per square inch at 28 days, with minimum cement factor 5.75 bags per cubic yard of concrete. Contractor shall supply concrete having a 28 day strength 25 percent greater than the design strength specified.
- Accelerated-80, non-chloride accelerating admixtures as manufactured by the Euclid Chemical Company, or approved equal, shall be used in all concrete slabs placed at temperatures below 50 degrees F. Admixture shall conform with ASTM C-494 requirements, and contain no more chloride ions than are present in municipal drinking water.
- Air entraining admixture conforming to ASTM C260, such as liquid air-mix as manufactured by the Euclid Chemical Co., or approved equal, shall be used in all concrete.
- Horizontal placement stops interrupting the vertical thickness of concrete being placed are not permitted.
- All slabs on earth shall be reinforced with welded wire mesh as called for on drawings, placed 2" from top and over any pipes or conduits in slab.
- All reinforcing bars shall be new billet steel, deformed type, (ASTM A-615 GRADE 40) and shall comply with ACI code requirements.
- All welded wire mesh (WWM) shall conform to the requirements of ASTM A-185.
- Honeycombed, spalled or otherwise defective surfaces shall be patched with an adhesive base cementitious compound. The adhesive shall be a non water sensitive acrylic.
- Concrete shall be cured for a period of seven (7) days. Immediately after placement, concrete shall be protected from premature drying extremes in temperatures, rapid temperature change, mechanical injury and injury from rain and flowing water. Air and forms in contact with concrete shall be maintained at a temperature above 50 degrees F for the first 3 days and at a temperature above 32 degrees F for the remainder of the specified curing period.

CONCRETE MASONRY:

- All structural concrete masonry shall be in accordance with standard specification for hollow load bearing concrete masonry units ASTM C-90 typical. All concrete masonry units shall be minimum 55 percent solid.
- Structural masonry shall have a minimum strength  $F_m = 2500$  psi.
- Mortar for interior shall comply with ASTM C-476, type M & S.
- Calcium chloride or admixtures containing calcium chloride shall not be used in mortar or grout.
- Metal ties and anchors shall be of corrosion-resistant metal or be galvanized.
- Masonry reinforcement shall conform to ASTM A-82 for wire reinforcing.
- All reinforcement shall be deformed bars conforming to ASTM A-615, grade 40.
- Provide horizontal joint reinforcing at every second course, No. 9 Dur-o-wall or equal.

STRUCTURAL LUMBER:

- All framing to be No. 1 & No.2 Doug Fir Larch (North)

DESIGN VALUES:

- Fb – Single Member = 825 psi  
 Fb – Repetitive Member = 1150 psi  
 Fv = 75 psi  
 Fc = 405 psi perpendicular to grain  
 Fc = 2400 psi parallel to grain  
 E = 1,400,000 psi
- All L.V.L.'s to be laminated veneer lumber as manufactured by TrusJoist, type 2800 F-2.0 or equal, with design values:  
 Fb = 2600 psi  
 Fv = 285 psi  
 Fc = 750 psi perpendicular to grain  
 Fc = 2510 psi parallel to grain  
 E = 1.9 x 10<sup>6</sup> (6) psi
  - All framing indicated "LVL" on plan shall be laminated veneer lumber equal to TrusJoist LVL as manufactured by TrusJoist, A Weyerhaeuser Business, 1 800 678 8787 or approved equal.  
 All TJI's and Parallam PSL's shall be by TrusJoist or approved equal.
  - For dimensions see architectural drawings.
  - All joists or beams framing into (not bearing over) beams, headers or girders shall be supported with galvanized steel joist or beam hangers by Simpson Strong-Tie Co. (914 279 2037) or approved equal. End nailing of joists is not permitted. All post to beam, beam to post and post to footing connections to be made with Simpson post or column cap and base connectors as detailed. Use nailing as recommended by manufacturer.
  - Block solid between joists and rafters at bearing walls or girders. Provide bridging at 8"-0" o.c. maximum.
  - All plywood sheathing shall be 5/8" exterior grade, C-D, species group 1 or 2. Install roof, floor, wall sheathing with face grain perpendicular to supports. Stagger joints.
  - Provide double floor joists under all walls parallel to framing.
  - Provide ledgers, blocking, nailers and rough framing hardware as required.
  - Set all framing with natural crown up.
  - Frame with double headers and trimmers around openings larger than spacing between joists, studs or rafters, unless larger is shown on plans
  - All framing shall be done in accordance with the latest edition of "National Design Specifications for Stress Graded Lumber and its Fastenings" as published by the National Lumber Manufacturers Association.
  - All workmanship including minimum nailing, blocking, bridging, etc., shall conform to the New York State Building Code.
  - All lumber materials used in the construction shall be new, sound and dry materials, free from rot, large and loose knots, shakes and other imperfections whereby strength may be impaired. Sizes shall be as indicated on the drawings.
  - Provide special heavy duty metal hangers and / or steel fabrications where shown and as may be required to transfer all loads.
  - Contractor shall supply all temporary bracing of the structure, as required, until all exterior sheathing has been installed.
  - Built-up girders and headers shall be fastened together as follows:  
 A). For up to 3 plies, use 2 rows of nails staggered at 12" centers; use 10 d nails on 1-1/2" members and 16 d nails on 1-3/4" members.  
 B). For more than 3 plies, use 2 rows of 1/2" diameter through bolts at 12" centers staggered.
  - Ceiling joists must be lapped against and attached directly to rafters with 3 – 16 d common nails. Do not use blocking.
  - Toe nail all joists and rafters to top plate of stud bearing walls or partitions with a minimum of 3 – 16 d common nails.
  - Precautions shall be taken to minimize air borne saw dust created from cutting CCA treated members. Dust masks shall be worn by anyone working in the immediate area where treated members are being cut.
  - Provide minimum 3-1/2" deep bearing full width of headers and girders.
  - Notching of members is not permitted. This applies to all framing members, trusses and structural lumber.

- Ceiling joists shall be connected to each other to create continuous members to tie opposite roof rafters together.
- Collar ties shall be one continuous member to tie opposite roof rafters together.
- Install all collar ties and ceiling joists simultaneously with roof rafters.

LOADING SCHEDULE:

SOIL BEARING ASSUMED TO BE 4,000 P.S.F.

|   |           |
|---|-----------|
| ROOF LOADING                                |           |
| SNOW LOAD                                   | 30 P.S.F. |
| DEAD LOAD                                   | 15 P.S.F. |
| TOTAL LOAD                                  | 45 P.S.F. |
| FLOOR LOADING                               |           |
| LIVE LOAD                                   |           |
| ATTIC                                       | 30 P.S.F. |
| 1st and 2nd FLOOR                           | 40 P.S.F. |
| DEAD LOAD                                   |           |
| ATTIC                                       | 15 P.S.F. |
| 1st and 2nd FLOOR                           | 15 P.S.F. |
| 1. STRUCTURAL STEEL TO BE A-36, Fb = 24,000 |           |

ELECTRICAL NOTES:

- Unless dimensioned all electrical layouts are schematic. Exact location to be determined by field coordination with owner's approval.
- Electrical contractor shall obtain all inspections and approvals required by local, state and national codes and shall be responsible that all electrical work called for on drawings and specifications and other requirements of codes are met.
- Electrical contractor shall verify total electrical load for existing and proposed work and shall notify architect on service requirements, and additional service shall be installed in conformance with local codes.
- All light fixtures by owner – installed by contractor unless specified otherwise.
- Electrical contractor to do all necessary wiring and connections for all mechanical equipment as required.
- Thermostats to be supplied by HVAC contractor and installed by electrical contractor.
- All telephone and T.V. outlets shall be located and installed by others. Contractor shall coordinate with owner and installer during construction to insure all wires are hidden in construction prior to installation of final finishes.
- All new switches to be silent switches.
- Wiring shall be "Rome X" cable.
- Minimum service shall be 120/240 V, 3 wire, single phase with min, 50 amp spare capacity.
- Distribution shall be circuit breakers type w/ min. 2 extra circuits.
- Dedicated circuits shall be provided for high-draw equipment and appliances.
- All electrical receptacles shall be duplex type, 15 amp minimum.
- Smoke detecting alarm devices shall be single-station type, either photo-electric or ionization shall be directly connected to a lighting circuit with no intervening wall switch. Provide detectors to protect each separate sleeping area adequately.

PLUMBING NOTES:

- Work shall consist of furnishing all labor, materials, and equipment necessary and required to complete all plumbing work as indicated on the drawings and specified herein including but not limited to the following:  
 A. Rubbish removal.  
 B. A sanitary drainage and venting system conveying the wastes from plumbing fixtures, to connect with the sanitary sewer, septic system, or existing system.  
 C. Cold water supply from the water main or existing system, distribution piping, and connections to all plumbing fixtures and equipment requiring cold water.  
 D. Hot water supply from new or existing hot water supply system, hot water supply piping, and connections to all piping fixtures and equipment requiring hot water.  
 E. Cleaning, adjusting and testing.  
 F. All plumbing fixtures and supports, trimmings, pipe fittings, hangers, valves, traps, vacuum breakers, insulation, and other accessories required to complete the work ready for operation.
- Pipes and materials shall be as follows:  
 A. Soil and main vent – plastic  
 Branch vents – plastic.  
 Hot and cold water – copper tubing type L hard temper above grade, type K below grade.
- All materials shall be new and installed with skilled labor in a first class manner.
- All drainage piping shall pitch at a minimum 1/8" per foot in direction of flow unless otherwise shown on plans.
- All hot and cold water piping and fittings to be insulated with Rubotex R-180 F.S tubing insulation or equal.
- Toilet seats and covers shall be solid plastic, residential weight, medium impact polystyrene, color as selected by owner.
- The contractor shall file all necessary drawings of plumbing work with the proper authorities, shall make any minor changes requested or required and shall obtain and pay for all necessary approvals and permits for the plumbing systems required by local authorities, county, and/or the state; he shall pay for all the fees, changes etc., required by these authorities without any additional charge to the owner.

**N.Y.S. ENERGY CONSERVATION CONSTRUCTION CODE**

|                     |                              |
|---------------------|------------------------------|
| BUILDING TYPE:      | SINGLE FAMILY RESIDENTIAL    |
| ZONE:               | 4A                           |
| DESIGN DEGREE DAYS: | 5500 – 5999                  |
| DESIGN TEMPERATURE: | 6 DEGREES F. / 83 DEGREES F. |

| ENVELOPE COMPONENT       | R VALUE REQUIRED | R VALUE PROVIDED |
|--------------------------|------------------|------------------|
| FENESTRATION             | U0.35            | U0.28            |
| SKYLIGHT                 | U0.55            | N/A              |
| CEILING                  | 38               | N/A              |
| WOOD FRAME WALL          | 20               | R-15             |
| FLOOR                    | 19               | N/A              |
| BASEMENT WALL            | 10/13            | N/A              |
| SLAB R-VALUE & DEPTH     | 10,2 FT          | N/A              |
| CRAWL SPACE WALL R-VALUE | 10/13            | N/A              |

BELLO ARCHITECTURE (N.Y.S. LIC. NO. 027735) CERTIFIES THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS CONFORM WITH THE APPLICABLE SECTIONS OF THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.

**Climatic and Geographic Design Criteria**

|                  |  |                         |                        |                  |         |        |                    |                                  |               |                    |
|------------------|--|-------------------------|------------------------|------------------|---------|--------|--------------------|----------------------------------|---------------|--------------------|
| GROUND SNOW LOAD | WIND SPEED MPH<br>FOR 3 SEC. WIND GUST | SEISMIC DESIGN CATEGORY | SUBJECT TO DAMAGE FROM |                  |         |        | WINTER DESIGN TEMP | ICE SHIELD UNDERLAYMENT REQUIRED | FLOOD HAZARDS | AIR FREEZING INDEX |
|                  |  |                         | WEATHERING             | FROST DEPTH LINE | TERMITE | DECAY  |                    |                                  |               |                    |
| 30               | 120                                    | C                       | SEVERE                 | 42"              | MOD/HVY | SL/MOD | 7                  | YES                              | FIRM 9-28-07  | 618                |

**Drawing Issue**

| No. | Date    | By                  |
|-----|---------|---------------------|
| 1   | 11-6-20 | For Owner Review RB |
|     |         |                     |
|     |         |                     |

**Drawing Revisions**

| No. | Date | By |
|-----|------|----|
|     |      |    |
|     |      |    |
|     |      |    |

**Bello Architecture, PLLC**

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 Rye, New York 10580  
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 Fax: 914-937-1968

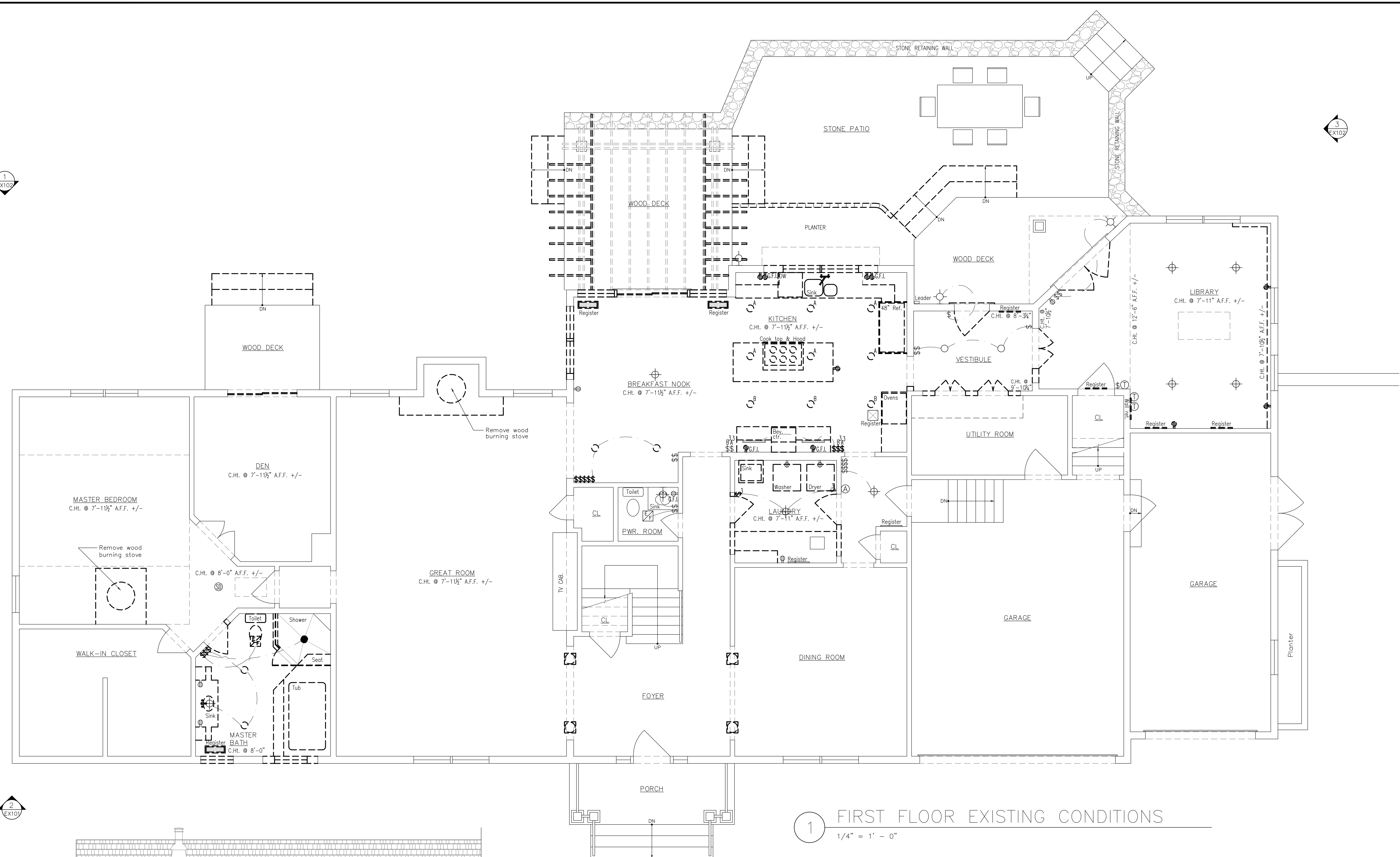
**Project:**  
 Jacobs /  
Roth-Jacobs Residence  
 673 Bedford Road  
 Armonk, New York 10504

**Sheet Title:**  
 General Notes

|          |             |
|----------|-------------|
| Scale    | Project No. |
| No Scale | 20124       |
| Date     | Sheet No.   |
| 11/6/20  | C-103       |
| Drawn By |             |
| RB       |             |

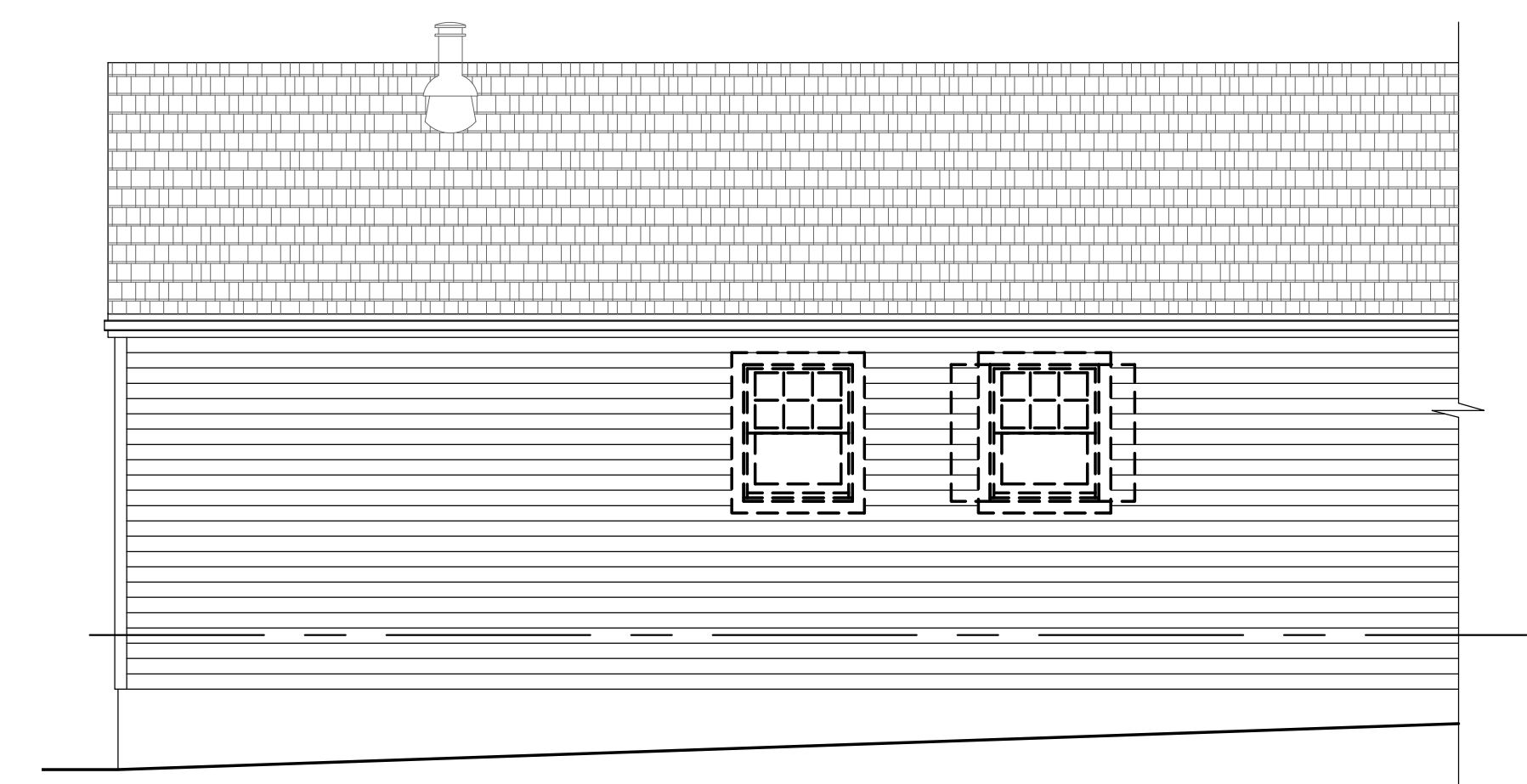
1  
EX102

2  
EX102



1 FIRST FLOOR EXISTING CONDITIONS  
1/4" = 1' - 0"

2  
EX102



2 EXISTING PARTIAL FRONT ELEVATION  
1/4" = 1' - 0"

WALL TYPES

|       |                                      |
|-------|--------------------------------------|
| ----- | EXIST WALLS / ITEMS TO BE DEMOLISHED |
| ===== | EXISTING WALLS / ITEMS TO REMAIN     |

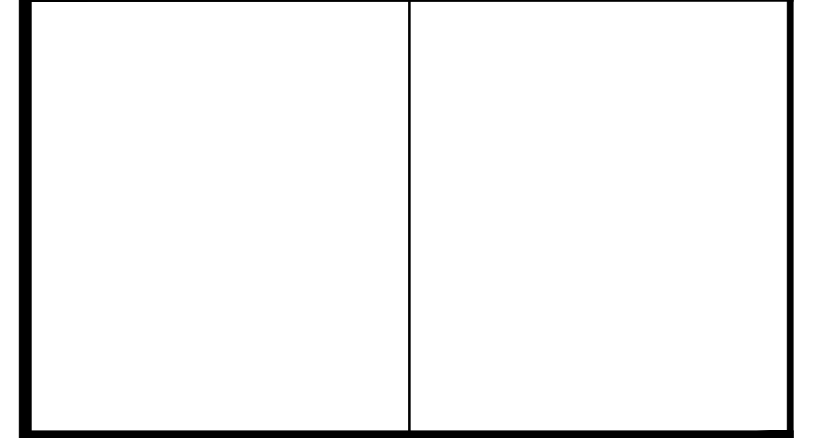


Drawing Issue

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|-----|---------|------------------|----|
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Drawing Revisions

| No. | Date | By |
|-----|------|----|
|     |      |    |



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Project:  
Jacobs / Roth-Jacobs Residence  
673 Bedford Road  
Armonk, New York 10504

Sheet Title:  
Existing First Floor  
Plan & Elevation

|                       |                      |
|-----------------------|----------------------|
| Scale<br>1/4" = 1'-0" | Project No.<br>20124 |
| Date<br>11/6/20       | Sheet No.<br>EX-101  |
| Drawn By<br>RB        |                      |

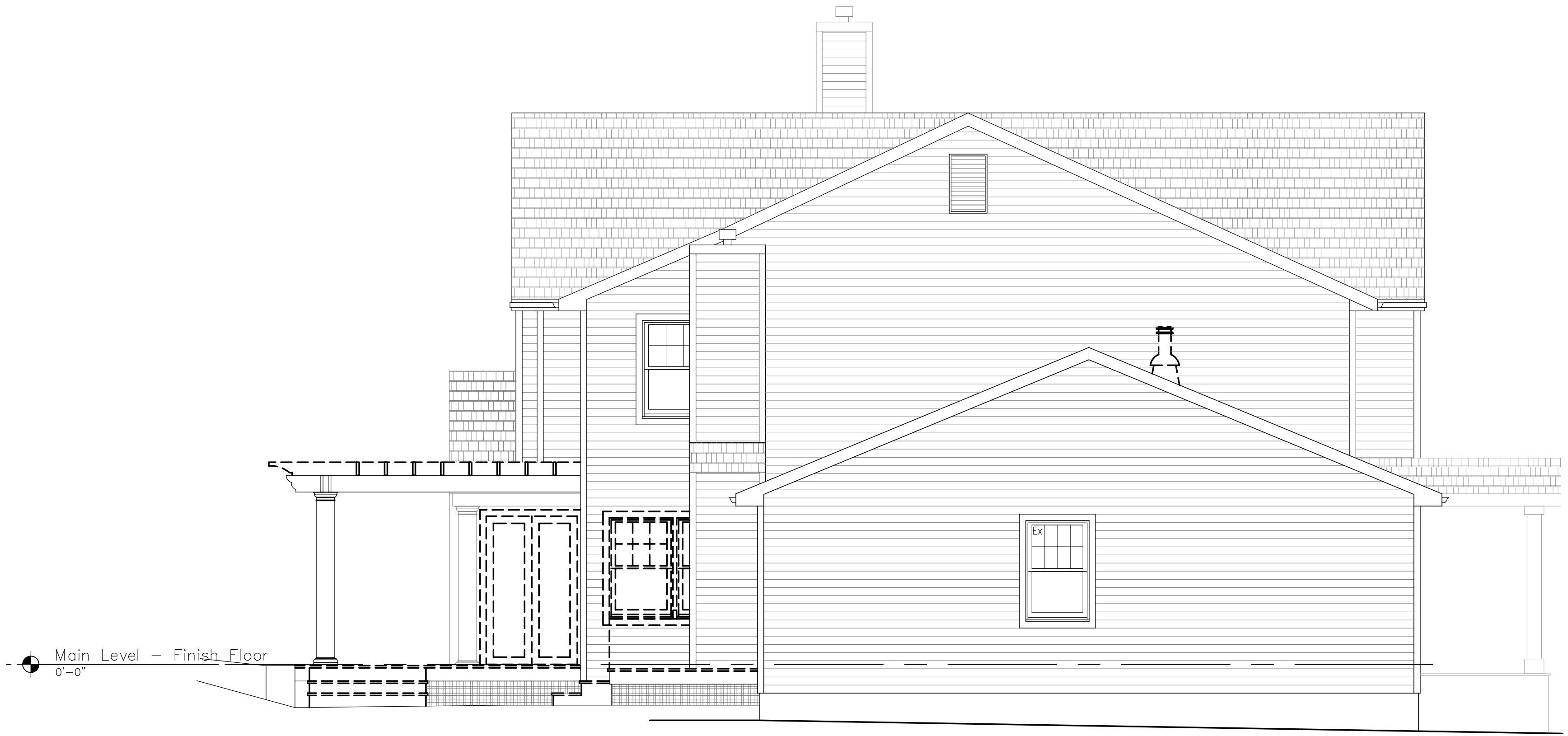
Electrical Legend

|          |   |
|----------|---|
| ⊕        | Duplex electrical outlet                    |
| ⊕ G.F.I. | Ground fault interrupt duplex outlet        |
| ○        | Recessed incandescent downlight fixture     |
| ⊕        | Surface mounted incandescent fixture        |
| ⊕        | Surface mounted incandescent sconce         |
| —        | 2' Undercabinet fluorescent light fixture   |
| ●        | Wet location incandescent downlight fixture |
| \$       | Light switch                                |
| 3/\$     | 3 Way light switch                          |
| ⊕        | Smoke detector                              |
| ⊕        | Exhaust fan unit                            |
| AC       | Above counter                               |

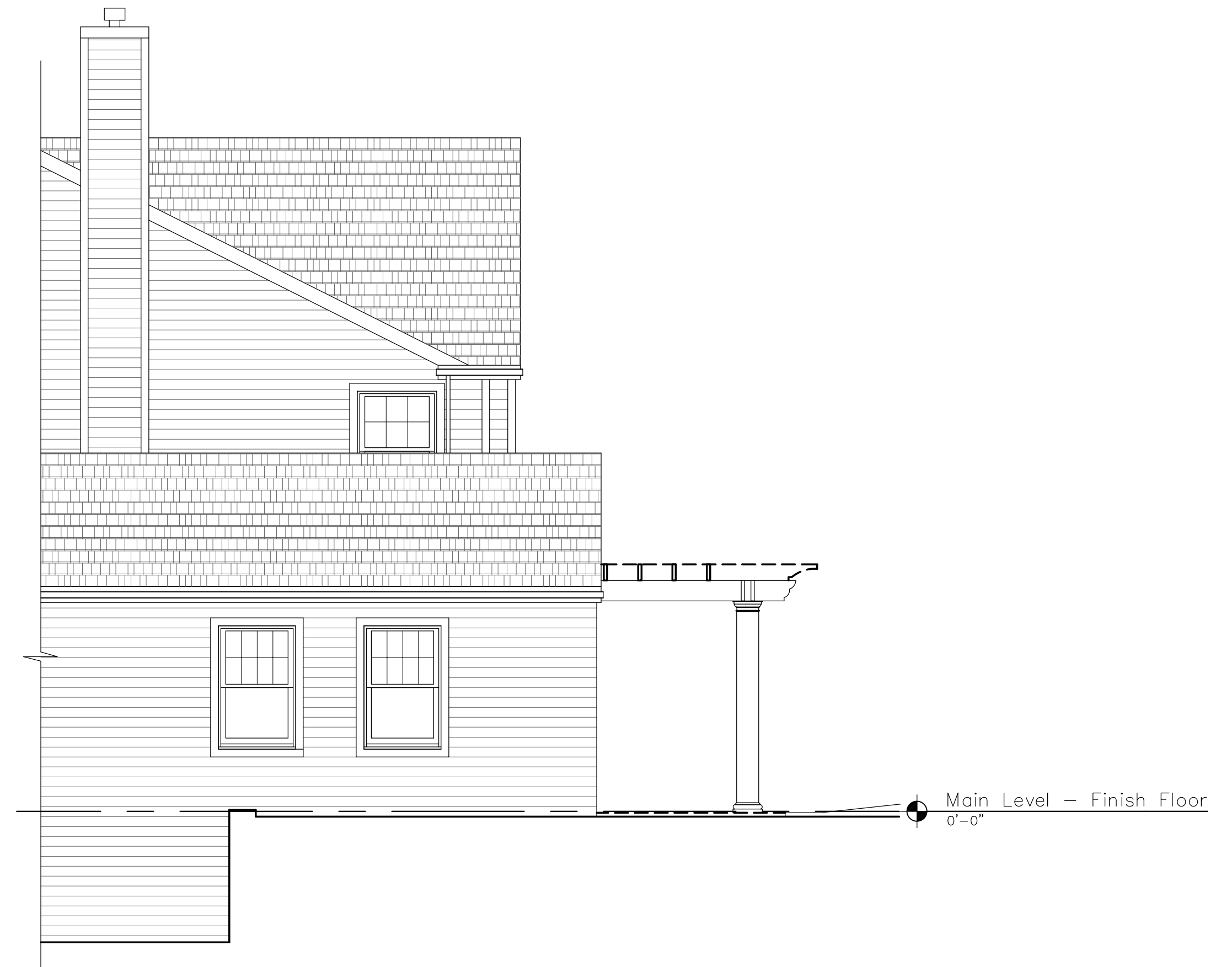




1 EXISTING REAR ELEVATION  
1/4" = 1' - 0"



2 EXISTING SIDE ELEVATION  
1/4" = 1' - 0"



3 EXISTING PARTIAL SIDE ELEVATION  
1/4" = 1' - 0"

WALL TYPES

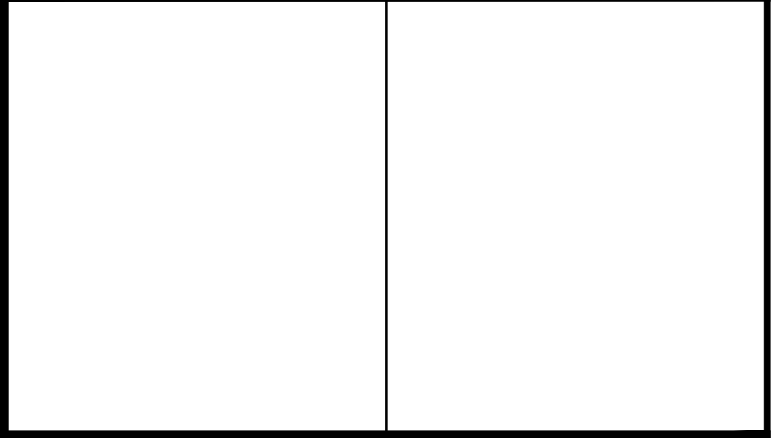
- EXIST WALLS / ITEMS TO BE DEMOLISHED
- \_\_\_\_\_ EXISTING WALLS / ITEMS TO REMAIN

Drawing Issue

| No. | Date    | By |
|-----|---------|----|
| 1   | 11-6-20 | RB |

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|-----|------|----|
|     |      |    |



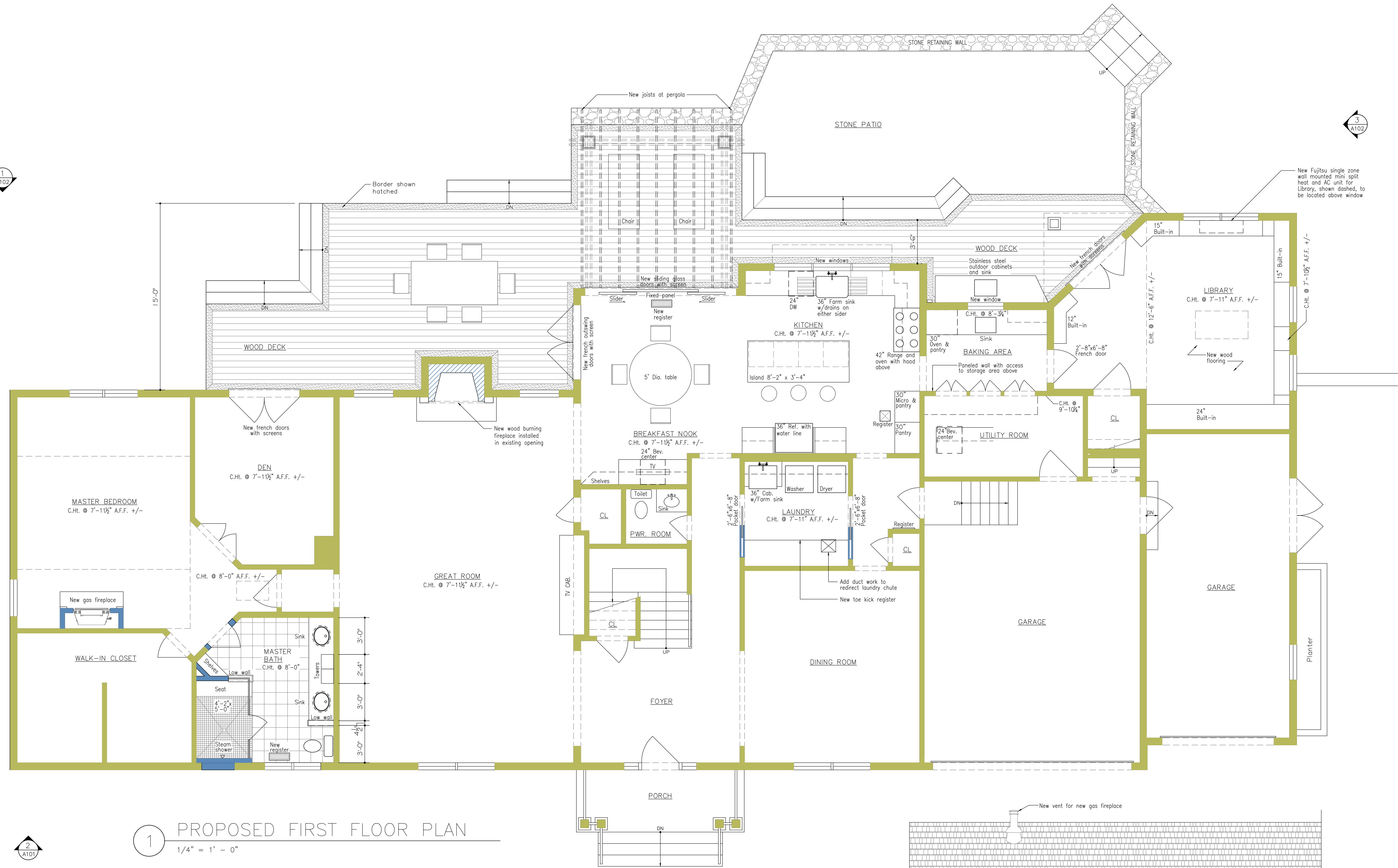
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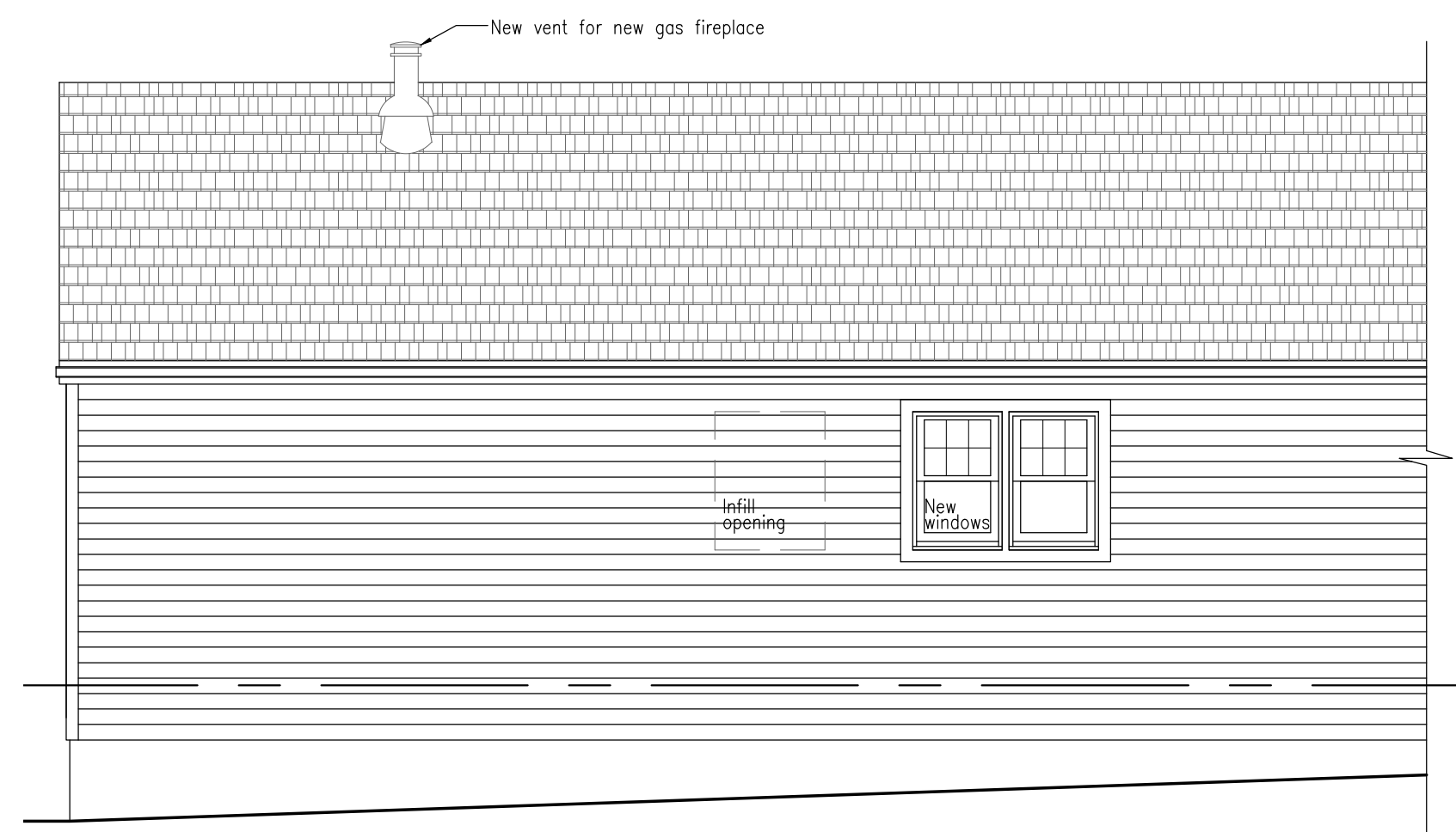
Sheet Title:  
 Existing Elevations

|                       |                      |
|-----------------------|----------------------|
| Scale<br>1/4" = 1'-0" | Project No.<br>20124 |
| Date<br>11/6/20       | Sheet No.<br>EX-102  |
| Drawn By<br>RB        |                      |





1 PROPOSED FIRST FLOOR PLAN  
1/4" = 1' - 0"



2 PROPOSED PARTIAL FRONT ELEVATION  
1/4" = 1' - 0"

PROPOSED WALL TYPES

- EXIST WALLS / ITEMS TO REMAIN
- NEW WALLS / ITEMS

Drawing Issue

| No. | Date    | Description      | By |
|-----|---------|------------------|----|
| 1   | 11-6-20 | For Owner Review | RB |

Drawing Revisions

| No. | Date | Description | By |
|-----|------|-------------|----|
|     |      |             |    |

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36 New Street  
Rye, New York 10580  
Tel: 914-690-0870  
Fax: 914-937-1968

Project:  
**Jacobs / Roth-Jacobs Residence**

673 Bedford Road  
Armonk, New York 10504

Sheet Title:  
**Proposed First Floor Plan & Elevation**

|                       |                      |
|-----------------------|----------------------|
| Scale<br>1/4" = 1'-0" | Project No.<br>20124 |
| Date<br>11/6/20       | Sheet No.<br>A-101   |
| Drawn By<br>RB        |                      |

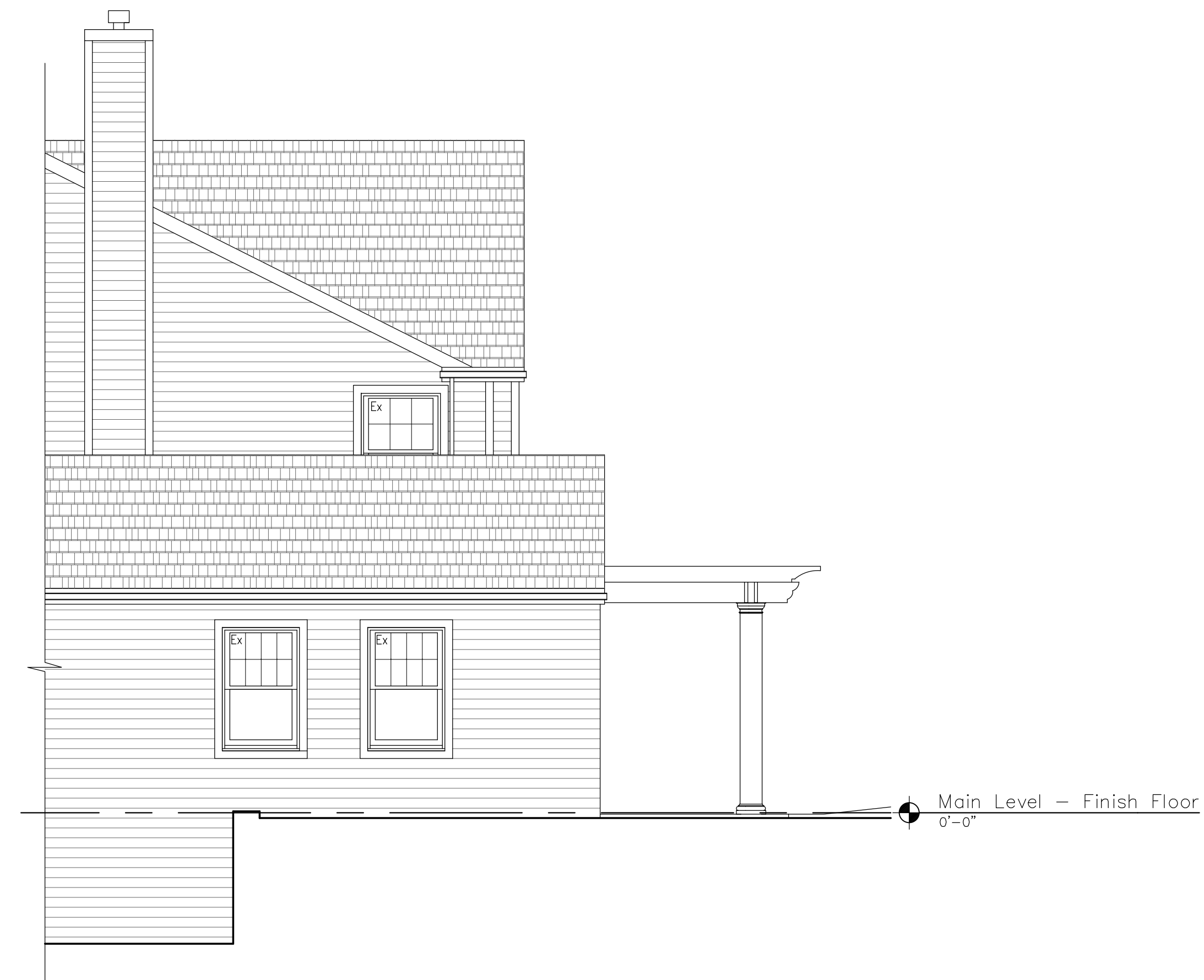




1 PROPOSED REAR ELEVATION  
1/4" = 1' - 0"



2 PROPOSED PARTIAL SIDE ELEVATION  
1/4" = 1' - 0"



3 PROPOSED PARTIAL SIDE ELEVATION  
1/4" = 1' - 0"

Drawing Issue

| No. | Date    | For              | By |
|-----|---------|------------------|----|
| 1   | 11-6-20 | For Owner Review | RB |

Drawing Revisions

| No. | Date | By |
|-----|------|----|
|     |      |    |

**Bello  
Architecture, PLLC**

36 New Street  
Rye, New York 10580  
Tel: 914-690-0870  
Fax: 914-937-1968

Project:  
Jacobs /  
Roth-Jacobs Residence  
673 Bedford Road  
Armonk, New York 10504

Sheet Title:  
Proposed Elevations

|                       |                      |
|-----------------------|----------------------|
| Scale<br>1/4" = 1'-0" | Project No.<br>20124 |
| Date<br>11/6/20       | Sheet No.<br>A-102   |
| Drawn By<br>RB        |                      |



**Project Architect:**

**Raul Bello**

**Bello Architecture, PLLC**

36 New Street

Rye, New York 10580

P: 914 690 0870

C: 914 645 9236

rbjr1@verizon.net

**Owner:**

Jeremiah Jacobs and Suzette Roth-Jacobs

673 Bedford Road

Armonk, New York 10504

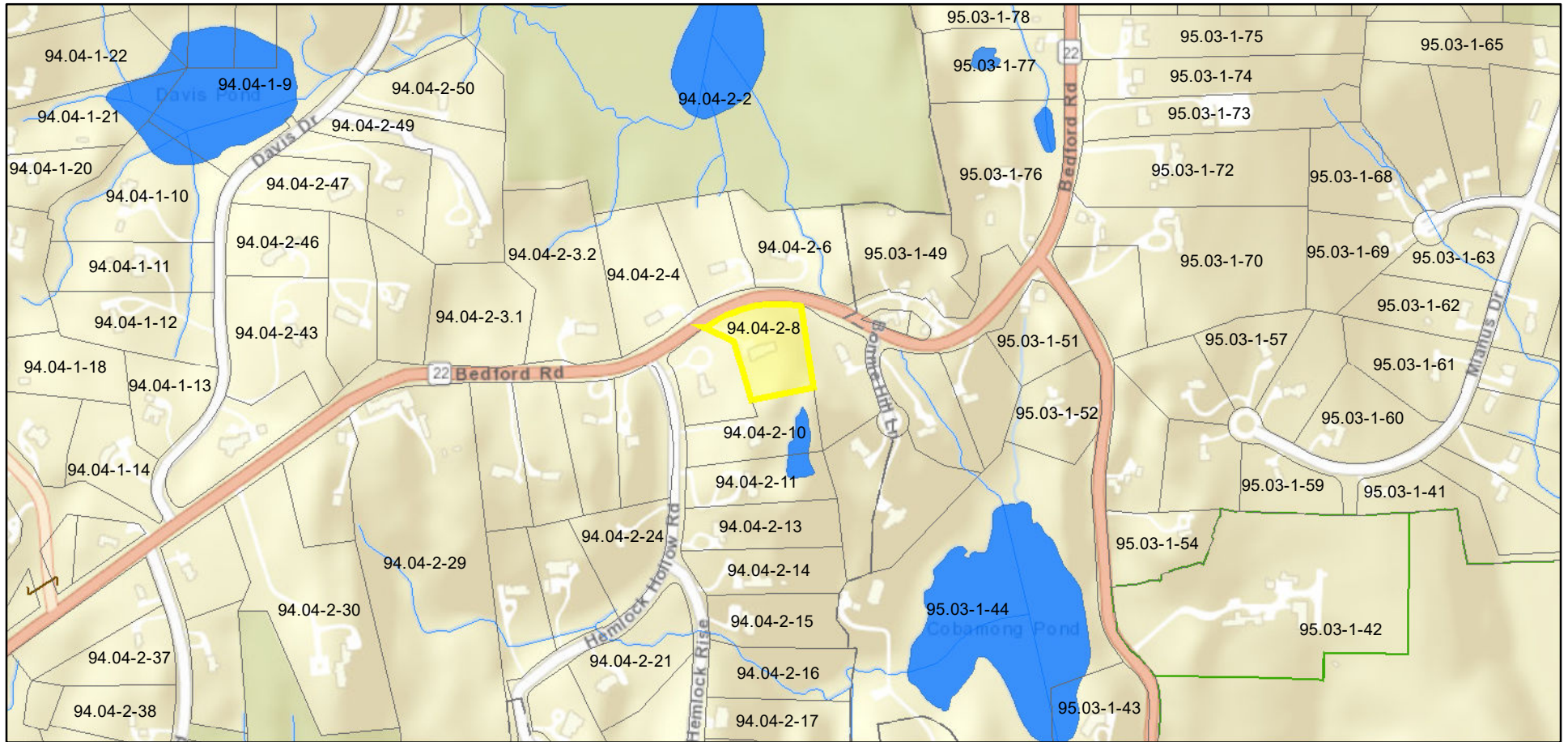


North Castle, NY

1 inch = 567 Feet



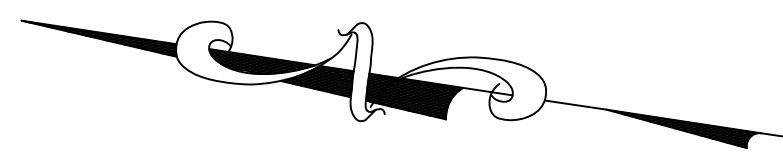
November 17, 2020



|  |                         |  |                    |
|--|-------------------------|--|--------------------|
|  | Parcel Lines - no Ortho |  | Lakes and Ponds    |
|  | EASEMENT                |  | Rivers and Streams |
|  | LANDHOOK                |  |                    |
|  | SECTION                 |  |                    |

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.





Only copies from the original of this survey marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Said certifications shall run only to the person for whom this survey is prepared and on his/her behalf to the title company, governmental agency and lending institutions listed herein. Certifications are not transferable to additional institutions or subsequent owners.

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

Premises hereon being Lot 6 as shown on a certain map entitled, "Subdivision Map Section No.2 of Property Belonging to George Briggs," Said map filed in the Westchester County Clerk's Office, Division of Land Records November 21, 1975 as map number 18662.

Surveyed in accordance with Deed Control Number 581423224.

Premises shown hereon designated on the Town of North Castle Tax Maps as: Section 94.04, Block 2, Lot 8.

Property Address: 673 Bedford Road Armonk, NY 10504

THIS MAP IS FOR BUILDING DEPARTMENT PURPOSES ONLY. MAP IS NOT TO BE USED FOR TITLE TRANSFER PURPOSES. MAP MAY NOT BE CERTIFIED TO TITLE COMPANIES AND/OR BANKS.

Surveyed: October 21, 2020  
Map Prepared: October 22, 2020

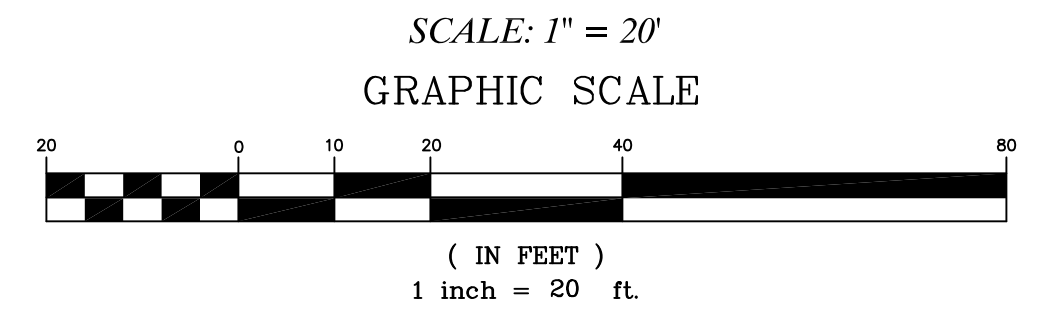
By: *Daniel T. Merritt*  
New York State Licensed Land Surveyor No.050604

**TC MERRITTS LAND SURVEYORS**  
394 BEDFORD ROAD • PLEASANTVILLE • NY 10570  
(914) 769-8003 • (203) 622-8899

Project: Ref.05-274  
20-411  
Field Survey By: CR/AP  
Drawn By: DA  
Checked By: DM

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TC MERRITTS LAND SURVEYORS  
ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR ELECTRONIC TRANSMISSION WITHOUT PRIOR PERMISSION IS A VIOLATION OF APPLICABLE LAWS.

**SURVEY OF PROPERTY  
PREPARED FOR  
JEREMIAH R. JACOBS  
AND  
SUZETTE ROTH-JACOBS**  
SITUATE IN THE  
TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY, NEW YORK





# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department:  
[planning@northcastleny.com](mailto:planning@northcastleny.com).

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)

---





**Town of North Castle  
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan: Misc. Interior Renovations and Enlarge Existing Wood Deck

Initial Submittal  Revised Preliminary

Street Location: 673 Bedford Road, Armonk, NY 10504

Zoning District: R-2A Property Acreage: 2.0 Tax Map Parcel ID: 94.04-2-8

Date: Jacobs / Roth-Jacobs Residence

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

3,708.38 On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.





**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
17 Bedford Road  
Armonk, New York 10504-1898

**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
**Director of Planning**

**Telephone: (914) 273-3542**  
**Fax: (914) 273-3554**  
[www.northcastleny.com](http://www.northcastleny.com)

**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: Jacobs / Roth-Jacobs Residence Date: 11-18-20

Tax Map Designation or Proposed Lot No.: 94.04-2-8

Gross Lot Coverage

- |     |  |                   |
|-----|--|-------------------|
| 1.  | Total lot Area (Net Lot Area for Lots Created After 12/13/06):                 | <u>87,116.912</u> |
| 2.  | <b>Maximum</b> permitted gross land coverage (per Section 355-26.C(1)(b)):     | <u>13,270</u>     |
| 3.  | <b>BONUS</b> maximum gross land cover (per Section 355-26.C(1)(b)):            |                   |
|     | Distance principal home is beyond minimum front yard setback                   |                   |
|     | <u>          </u> 99' +/- x 10 = <u>          </u>                             | <u>990</u>        |
| 4.  | <b>TOTAL Maximum Permitted gross land coverage</b> = Sum of lines 2 and 3      | <u>14,260</u>     |
| 5.  | Amount of lot area covered by <b>principal building</b> :                      |                   |
|     | <u>3,693.32</u> existing + <u>0</u> proposed =                                 | <u>3,708.38</u>   |
| 6.  | Amount of lot area covered by <b>accessory buildings</b> :                     |                   |
|     | <u>199</u> existing + <u>0</u> proposed =                                      | <u>199</u>        |
| 7.  | Amount of lot area covered by <b>decks</b> :                                   |                   |
|     | <u>443</u> existing + <u>320</u> proposed =                                    | <u>763</u>        |
| 8.  | Amount of lot area covered by <b>porches</b> :                                 |                   |
|     | <u>74</u> existing + <u>0</u> proposed =                                       | <u>74</u>         |
| 9.  | Amount of lot area covered by <b>driveway, parking areas and walkways</b> :    |                   |
|     | <u>5,169</u> existing + <u>20</u> proposed =                                   | <u>5189</u>       |
| 10. | Amount of lot area covered by <b>terraces</b> :                                |                   |
|     | <u>          </u> existing + <u>          </u> proposed =                      | <u>N/A</u>        |
| 11. | Amount of lot area covered by <b>tennis court, pool and mechanical equip</b> : |                   |
|     | <u>          </u> existing + <u>          </u> proposed =                      | <u>N/A</u>        |
| 12. | Amount of lot area covered by <b>all other structures</b> :                    |                   |
|     | <u>          </u> existing + <u>          </u> proposed =                      | <u>N/A</u>        |
| 13. | Proposed <b>gross land coverage</b> : Total of Lines 5 – 12 =                  | <u>9,933.38</u>   |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

\_\_\_\_\_  
Signature and Seal of Professional Preparing Worksheet

November 18, 2020

\_\_\_\_\_  
Date



**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
17 Bedford Road  
Armonk, New York 10504-1898

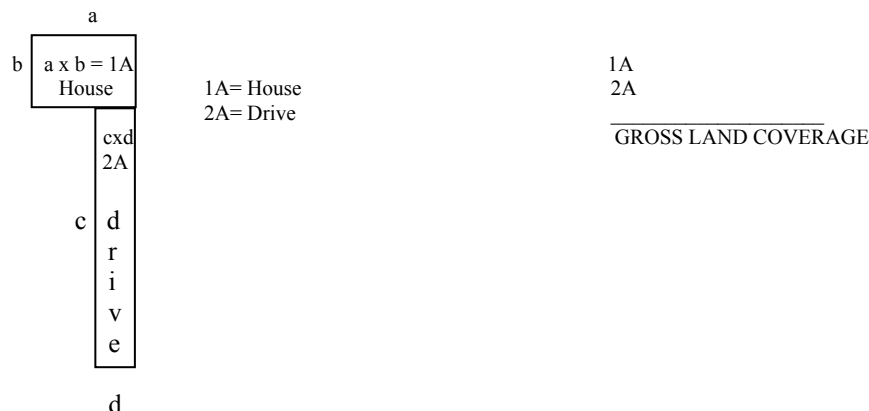
**PLANNING DEPARTMENT**  
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## GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

| Lot Size                          | Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots <sup>1</sup><br>(square feet) |
|-----------------------------------|--|
| Less than 5,000 square feet       | 50% of the lot area  |
| 5,000 to 9,999 square feet        | 2,500 plus 30% of the lot area in excess of 5,000 square feet                                    |
| 10,000 to 14,999 square feet      | 4,000 plus 24% of the lot area in excess of 10,000 square feet                                   |
| 15,000 square feet to 0.499 acres | 5,200 plus 18% of the lot area in excess of 15,000 square feet                                   |
| 0.5 to 0.749 acres                | 6,420 plus 15% of the lot area in excess of 0.5 acres  |
| 0.75 to 0.999 acres               | 8,050 plus 12% of the lot area in excess of 0.75 acres   |
| 1.0 to 1.999 acres                | 9,350 plus 9% of the lot area in excess of 1.0 acres   |
| 2.0 acres or more                 | 13,270 plus 7.5% of the lot area in excess of 2.0 acres  |

\*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.





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