

GENERAL CONSTRUCTION NOTES

ADMINISTRATION
 1. THE GENERAL NOTES CONTAINED HEREIN ARE PART OF THE PLANS AND SPECIFICATIONS, AND ARE TO BE COMPLIED WITH IN ALL RESPECTS. MORE RESTRICTIVE NOTES SPECIFIED ELSEWHERE ARE TO TAKE PRECEDENCE OVER THOSE LISTED BELOW.
 2. ALL NOTES, DIMENSIONS, DETAILS AND JOB CONDITIONS WERE CHECKED AND VERIFIED, ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
 3. ALL REQUIRED AND NECESSARY PERMITS SHALL BE SECURED FROM ALL MUNICIPAL AGENCIES HAVING JURISDICTION AT THE COST AND EXPENSE OF THE CONTRACTOR AND PRIOR TO START OF WORK AND SHALL OBTAIN APPROVAL OF ALL COMPLETED WORK AS REQUIRED BY ADMINISTRATIVE CODE AND ALL REQUIRED AGENCIES.
 4. EACH CONTRACTOR WILL BE HELD RESPONSIBLE FOR HIS/HER WORK. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITONS OF THE BUILDINGS AND WILL BE RESPONSIBLE FOR THE JOINING OF WORK OF ALL TRADES.
 5. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE REQUIREMENTS OF "SAFETY OF PUBLIC AND PROPERTY DURING CONSTRUCTION OPERATIONS" AND SHALL BE HELD RESPONSIBLE FOR THE SAFE MAINTENANCE AS PRESCRIBED THEREIN UNTIL COMPLETION OF WORK.
 6. NO DRAWINGS TO BE SCALED, DIMENSIONS ARE TO BE USED.
 7. THE CONTRACTOR OR PERSON WHO SUPERVISED THE WORK IS REQUIRED TO BE PRESENT AT FINAL INSPECTION WITH THE BUILDING DEPARTMENT INSPECTOR.
 8. THE ARCHITECT/ENGINEER WAS NOT RETAINED TO SUPERVISE ANY CONSTRUCTION OR INSTALLATION OF ANY EQUIPMENT.
 9. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND IT'S FACILITIES.
 10. ALL WORK SHALL COMPLY WITH THE 2020 RESIDENTIAL BUILDING CODE OF NYS AND ALL OTHER APPLICABLE LAWS AND ORDINANCES NOT HEREIN NOTED.
 11. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO NEW YORK STATE FIRE PREVENTION AND BUILDING CODE.
 12. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS AND STANDARDS OF THE BUILDING CODE ZONING RESOLUTION. IT SHALL ALSO BE THE CONTRACTORS RESPONSIBILITY TO SEEK CERTIFICATION OF THE AFOREMENTIONED SECTIONS, REQUIREMENTS AND STANDARDS.
 13. CONTRACTOR SHALL VISIT THE SITE, CHECK AND VERIFY CONDITIONS, FAMILIARIZE HIMSELF/HERSELF WITH EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND CORRELATE HIS/HER OBSERVATIONS WITH THE REQUIREMENTS OF THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
 14. CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ALL THE ACTS AND OMISSIONS OF ALL HIS EMPLOYEES AND SUB-CONTRACTORS, THEIR AGENTS AND ALL OTHER PERSONS PERFORMING ANY OF THE WORK TO BE DONE.
 15. CONTRACTOR SHALL PURCHASE AND MAINTAIN SUCH INSURANCE AS WILL PROTECT HIM/HER RESULT FROM THE CONTRACTORS OPERATIONS, WHETHER BE HIMSELF/HERSELF, SUB-CONTRACTOR, OR BY ANY OF THEM FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE.
 16. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS OF PUBLIC AUTHORITY HAVNG JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY & TO PROTECT THEM FROM DAMAGE, INJURY OR LOSS.
 17. CONTRACTOR SHALL PROPERLY CLEAN UP DURING PROCESS OF WORK. CONTRACTOR, UPON COMPLETION OF WORK, SHALL LEAVE PREMISES CLEAN, NEAT AND ORDERLY.

DESIGN LOADS

FIRST FLOOR	40 PSF L.L.
SECOND FLOOR	40 PSF L.L.
ROOF	40 PSF L.L. 20 PSF D.L.

2020 ECC - GENERAL NOTES

1. THE PROJECT CONSISTS OF AN ADDITION TO AN EXISTING RESIDENCE. THE RESIDENCE HAS APPROXIMATELY 700 SF OF CONDITIONED FLOOR AREA.
 2. THE STRUCTURE IS CLASSIFIED AS A RESIDENTIAL BUILDING AND IS THEREFORE REGULATED BY CHAPTER 4 OF THE 2020 ECC RESIDENTIAL PROVISIONS AS AMENDED.
 3. A PERMANENT CERTIFICATE SHALL BE COMPLETED BY ANNUNZIATA AND VILLANI DESIGN CONSULTANTS AND POSTED ON SITE AS REQUIRED BY SECTION 401.3 OF THE 2020 ECC.
 4. INTERIOR DESIGN TEMPERATURES FOR HEATING AND COOLING LOAD CALCULATIONS SHALL BE A MAXIMUM OF 72 DEGREES FOR HEATING AND A MINIMUM OF 75 DEGREES FOR COOLING.
 5. ALL INSULATION WHICH IS CAPABLE OF ABSORBING WATER SHALL BE PROTECTED BY A VAPOR BARRIER LOCATED ON THE WINTER WARM SIDE OF THE INSULATION. INSULATION SHALL BE INSTALLED IN A MANNER THAT PROVIDES CONTINUITY OF INSTALLATION AT PLATE LINES, SILL LINES AND CORNERS.
 6. LOCAL ENERGY CONSERVATION CONSTRUCTION CODE ENERGY CONSERVATION CNSTRUCTION CODES THAT ARE MORE STRINGENT IN THEIR REQUIREMENTS THAN THE 2020 ENERGY CONSERVATION CODE SHALL APPLY AND BE IMPLEMENTED WHEREVER REQUIRED.
 7. EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAME, OPENINGS BETWEEN WALL AND ROOF/CEILING, FLOORS AND ROOFS, AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED.
 8. DESIGN PROFESSIONAL STATES THAT TO THE BEST OF HIS KNOWLEDGE AND PROFESSIONAL JUDGEMENT, THE DESIGN HAS BEEN MADE IN CONFORMANCE WITH THE ENERGY CODE. THE DESIGN PROFESSIONAL MUST PROVIDE SUPPORTING DATA AS REQUIRED IN THE ENERGY CONSERVATION CODE SECTION 104.1.
 9. THIS DESIGN ANALYSIS IS NOT TO BE USED AS THE DETERMINING FACTOR IN COMPUTING THE DESIGN OF THE HEATING AND/OR VENTILATING EQUIPMENT TO BE INSTALLED IN THE BUILDING. TO DO SO WILL BE AT THE BUILDER AND/OR CONTRACTOR'S RISK. THE ENGINEER SHALL BE HELD BLAMELESS FOR ANY HEATING OR VENTILATING EQUIPMENT INSTALLED AT THE JOB SITE.

PLUMBING

NO PROPOSED PLUMBING WORK

ELECTRICAL

ELECTRICAL WORK TO BE PERFORMED BY AN ELECTRICIAN LICENSED IN WESTCHESTER COUNTY & SHALL COMPLY WITH NFPA 70, THE 2014 NATIONAL ELECTRIC CODE & THE ELECTRICAL CODE FOR THE TOWN OF NORTH CASTLE, NY. PERMIT SHALL BE FILED UNDER SEPARATE APPLICATION.

MECHANICAL

ALL MECHANICAL WORK TO BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR IN WESTCHESTER COUNTY. ALL MECHANICAL WORK SHALL COMPLY WITH THE 2020 RESIDENTIAL BUILDING CODE OF NYS.

GEOGRAPHIC, CLIMATIC & STRUCTURAL DESIGN CRITERIA

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CRITERIA	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	ICE SHEILDS UNDER LAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
30	100/110	C	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7	YES	F.I.R.M. 360922 09/28/2007

CODE INSULATION

EXTERIOR DESIGN CONDITIONS - NEW YORK STATE

COUNTY	WINTER DESIGN DRY-BULB TEMP.	SUMMER DESIGN DRY-BULB TEMP.	COINCIDENT DESIGN WET-BULB TEMP.	HEATING DEGREE DAYS	ZONE
WESTCHESTER	7	84	73	5750	4

SIMPLIFIED PRESCRIPTIVE BUILDING ENVELOPE THERMAL COMPONENT CRITERIA MINIMUM REQUIRED THERMAL PERFORMANCE (U-FACTOR AND R-FACTOR)

CLIMATE ZONE: WESTCHESTER	MAXIMUM	MINIMUM					
	GLAZING SHGC	CEILING R-VALUE	WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB PERIMETER R-VALUE AND DEPTH	CRAWL SPACE WALL R-VALUE
ZONE: 4	0.40	R-49	R-21	R-19	R-10/13	R-10, 2'-0"	R-10/13

BUILDING CODE ANALYSIS

RESIDENTIAL GROUP R-3
 EXISTING CONSTRUCTION CLASS TYPE V-B

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)
 CONSTRUCTION CLASS TYPE V-B

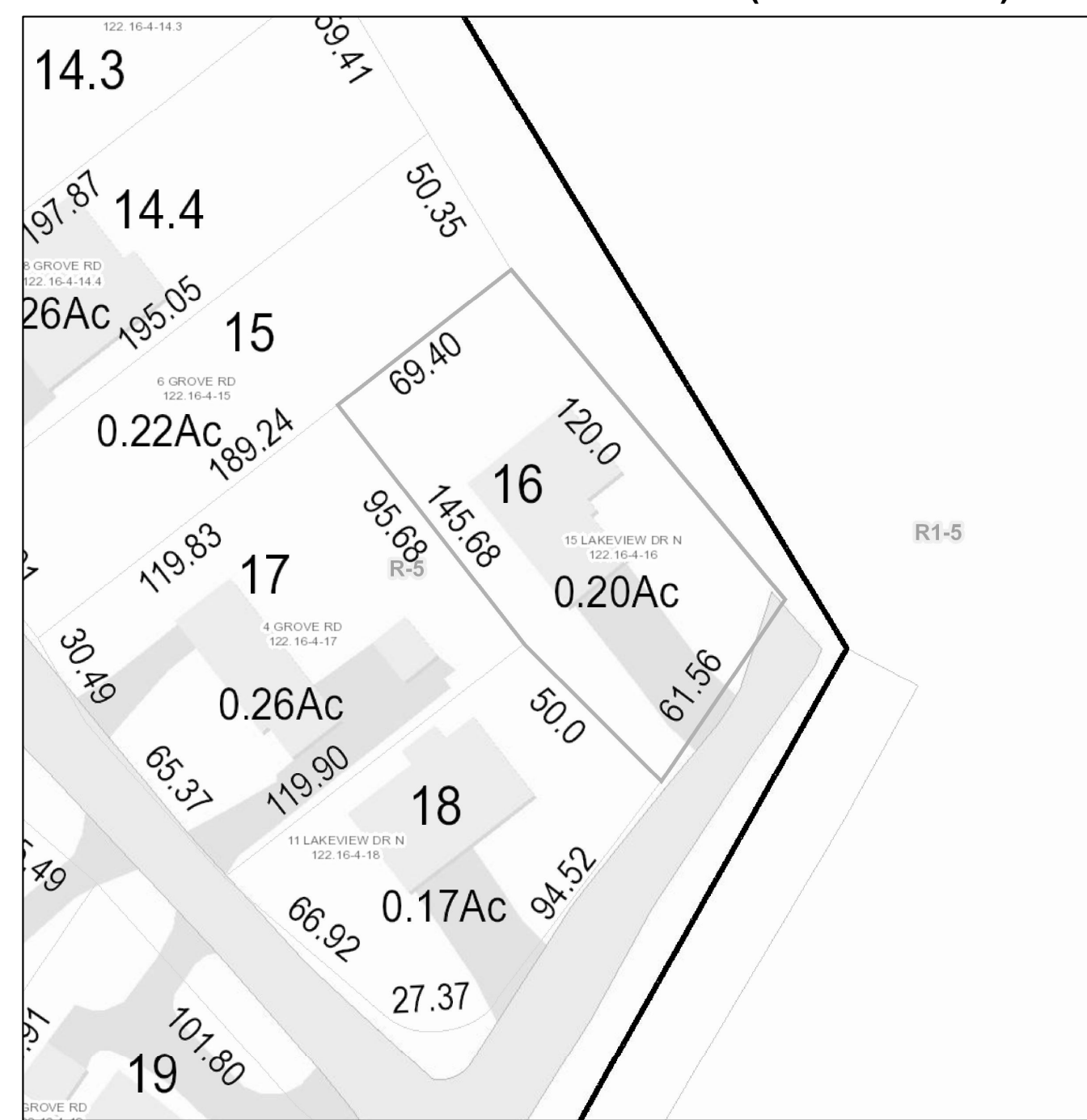
BUILDING ELEMENT	REQUIRED RATING	EXIST. RATING	MATERIALS
STRUCTURAL FRAME	0	0	WOOD AND SHEETROCK
BEARING EXTERIOR WALL	0	0	WOOD AND SHEETROCK
BEARING INTERIOR WALL	0	0	WOOD AND SHEETROCK
NON-BEARING INTERIOR WALL	0	0	WOOD AND SHEETROCK
FLOOR CONSTRUCTION	0	0	WOOD AND SHEETROCK
ROOF CONSTRUCTION	0	0	WOOD AND SHEETROCK

GENERAL STRUCTURAL NOTES

1. ALL STRUCTURAL WORK SHALL COMPLY WITH THE BUILDING CODE OF N.Y.S.. STRUCTURAL DRAWINGS SUPERCEDE ARCH. DWGS. WHEN SPECIFYING ANY STRUCTURAL MEMBERS.
 2. ALL STRUCTURAL WORK SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS AS WELL AS SPECIFICATIONS.
 3. ALL FRAMING LUMBER AND DETAILS OF WOOD CONSTRUCTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS.
 RAFTERS AND JOISTS: DOUGLAS FIR, LARCH #2
 BEAMS, GRDRS. & HDRS: DOUGLAS FIR, LARCH #2
 STUDS AND PLATE: DOUGLAS FIR, LARCH #2
 4. ALL FACTORY MANUFACTURED GLUE LAMINATED WOOD FRAMING MEMBERS (LVL) SHALL BE TJI JOISTS AND MICRO-LAM BEAMS AS MANUFACTURED BY TRUS JOIST CORPORATION, OR APPROVED.
 5. ALL FLUSH FRAMED CONNECTIONS SHALL BE MADE WITH APPROVED GALVANIZED DOUBLE SHEAR JOIST OR BEAM HANGERS, MINIMUM 18 GAUGE, INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 6. ALL RAFTERS AND JOISTS SHALL ALIGN DIRECTLY WITH STUDS BELOW; WHERE REQUIRED INSTALL ADDITIONAL STUDS. USE DOUBLE STUDS AT ENDS OF WALLS AND ENDS OF OPENINGS. USE DOUBLE TRIMMERS AND HEADERS AT ALL FLOOR OPENINGS WHERE BEAMS ARE NOT DESIGNATED. LAP ALL PLATES AT CORNERS AND AT INTERSECTION OF PARTITIONS.
 7. BUILT-UP BEAMS SHALL BE SPIKED TOGETHER WITH (2) 16D NAILS @ 16" O.C. AS PER RCNYS.
 8. AT THE END OF ALL BEAMS, HEADERS AND GIRDERS PROVIDE A BUILT UP OR SOLID POST WHOSE WIDTH IS AT LEAST EQUAL TO THE WIDTH OF THE MEMBER IT IS SUPPORTING.
 9. STAGGER ALL SPLICES A MINIMUM OF 32 INCHES.
 10. PLYWOOD SHALL BE APA GRADE STAMPED AND SHALL NOT EXCEED THE SPANS INTENDED FOR USE ON THE GRADE STAMP. ALL PLYWOOD PLYWOOD SHALL BE MADE WITH EXTERIOR GLUE. ALL PLYWOOD SHALL BE GLUED AND SCREWED TO FLOOR JOISTS USING AN APA APPROVED ADHESIVE (B.F. GOODRICH PL400 OR EQUAL).

GIS MAPPING

15 LAKEVIEW DR N. ID: 122.16-4-16 (North Castle)



September 14, 2020
 The parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.
 1:500 0 20 40 80
 Westchester County GIS
 GIS: www.westchestergis.com
 Web: www.westchestergov.com
 148 Martin Avenue, 10604
 White Plains, New York 10607

ADDRESS: 15 Lakeview Drive N
 White Plains, N.Y, 10603

ZONE : R-5
 SECTION : 122.16 BLOCK: 4 LOT: 16

INSTALLATION AND MAINTENANCE OF EROSION CONTROL

CONSTRUCTION SCHEDULE

NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START

EROSION CONTROL MEASURES

Install all erosion control measures prior to start of construction. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.

INSPECTION BY MUNICIPALITY

MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)
 After any rain causing runoff Contractor to inspect haybales, etc. and remove any excessive sediment, and inspect stockpiles and correct any problems with seed establishment.
 Inspections shall be documented in writing and submitted to the appropriate Municipal Agency having jurisdiction.

STOCK PILING OF EXCAVATED MATERIAL

Strip Topsoil and Stockpile.
 Stockpile Excavation Subgrade.
 Seed piles with 1 lb. total annual rye or remove from site within 2 days.

FINAL GRADING

Remove unneeded subgrade from site.
 Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.

LANDSCAPING

Spread topsoil evenly over areas to be seeded. Hand rake level. Broadcast 1:25 lb. Bag of Jonathan Green "Fastgrow" mix or equal over areas to be seeded. Apply straw mulch and water within 2 days of completion of topsoiling.
 Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.

FINAL LANDSCAPING

Grass established.
 Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.

FINAL INSPECTION

1. All erosion control measures removed and grass established.
 2. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.



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**DOUGLAS RESIDENCE
 ADDITION AND ALTERATIONS TO EXISTING
 STRUCTURE
 15 LAKEVIEW DRIVE N
 WHITE PLAINS, NEW YORK, 10603**

NO.	ISSUE	DATE
1.	ORIGINAL	
2.	REVISION	
3.	REVISION	
4.	REVISION	
5.	REVISION	
6.	REVISION	
7.	REVISION	
8.	REVISION	

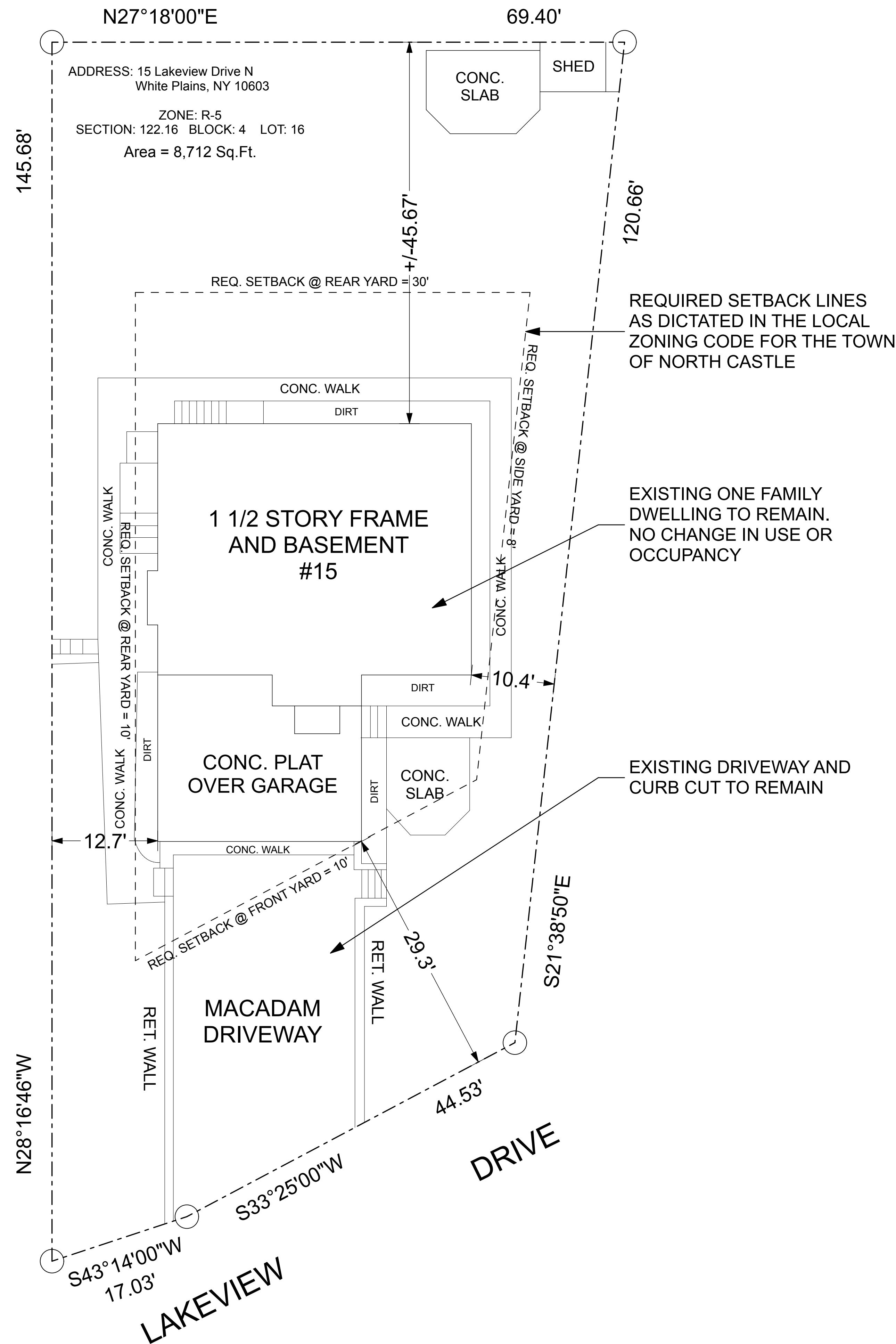
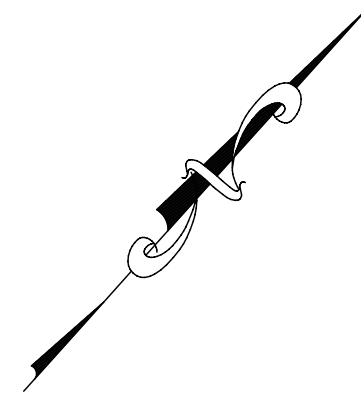
IN ASSOCIATION WITH:

John J. Annunziata, P.E.
 24 Chesley Road
 White Plains, N.Y., 10605
 P-914-949-0270
 F-914-428-6235

SCALE:	DATE:	PROJECT NO.:
AS NOTED	9/30/20	
DRAWN BY: JV	CHECKED BY:	APPROVED BY:

DRAWING TITLE:
GENERAL NOTES

DRAWING NO.:
A.002



EXISTING ZONING ANALYSIS

ZONE: R-5	SCHEDULE OF REQUIREMENTS					
	BUILDING HEIGHT FEET	MIN. LOT SIZE AREA (MIN.)	LOT WIDTH FEET	LOT DEPTH FEET	BUILDING COVERAGE %/sf	IMPERVIOUS SURFACE %
REQUIRED	2 ^{1/2} / 30'	5,000 SF	50 FT	100 FT	30%	-----
EXISTING	1 ^{1/2} / 25'	8,712 SF	61.56 FT	105 FT	19%	
MINIMUM YARD DIMENSIONS (FT.)						
	MINIMUM FRONT SETBACK (DEPTH)	SIDE YARD	SIDE YARD (COMBINED)	MINIMUM REAR YARD (DEPTH)		
REQUIRED	30'	8'	18'	30'		
EXISTING	29.30'	10.40'	22.11'	45.67'		
PROPOSED						



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**DOUGLAS RESIDENCE
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STRUCTURE
15 LAKEVIEW DRIVE N
WHITE PLAINS, NEW YORK, 10603**

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1.	ORIGINAL	9/30/20
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3.	REVISION	
4.	REVISION	
5.	REVISION	
6.	REVISION	
7.	REVISION	
8.	REVISION	

IN ASSOCIATION WITH:
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24 Chesley Road
White Plains, N.Y., 10605
P-914-949-0270
F-914-428-6235

SCALE:	DATE:	PROJECT NO.:
AS NOTED	9/30/20	
DRAWN BY: JV	CHECKED BY:	APPROVED BY:

DRAWING TITLE:
EXISTING SITE PLAN

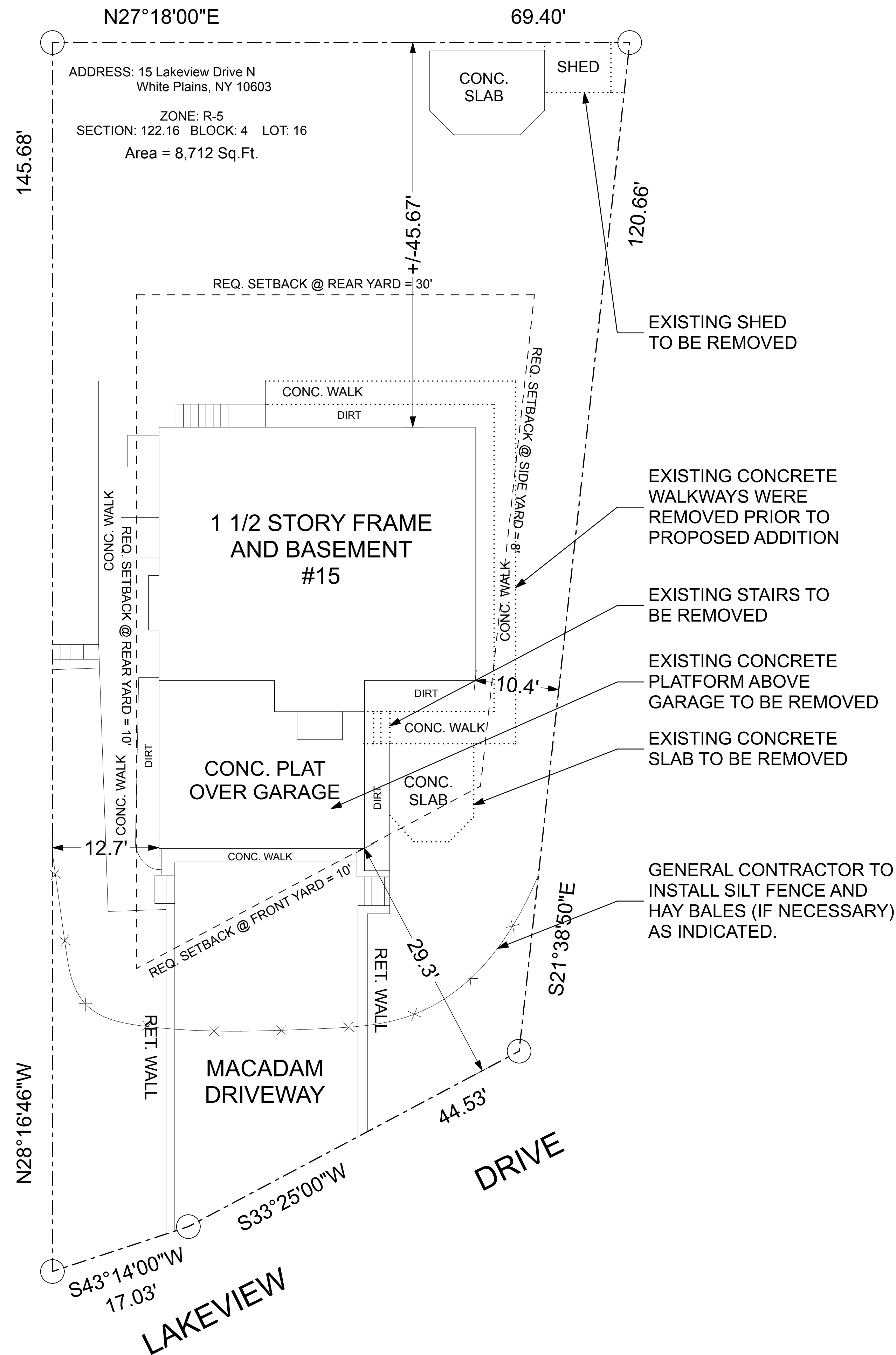
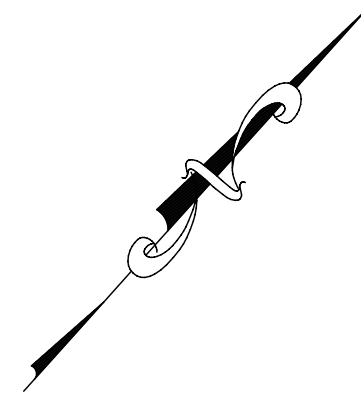
DRAWING NO.:
A.003

EXISTING SITE PLAN

8,712 SF

SCALE: 1/8" = 1' - 0"





EXISTING IMPERVIOUS SURFACE
 EXISTING BUILDING FOOTPRINT: 1,620 SF
 EXISTING DRIVEWAYS: 872 SF
 EXISTING WALKWAYS: 585 SF
 EXISTING WALLS, STEPS AND PLATS: 339 SF
 EXISTING IMPERVIOUS SURFACE TOTAL: 3,416 SF

AREA OF LAND: 8,712 SF
 EXISTING IMPERVIOUS SURFACE EQUALS = 39%

SANITARY AND WATER:
 NO CHANGE TO EXISTING SERVICES

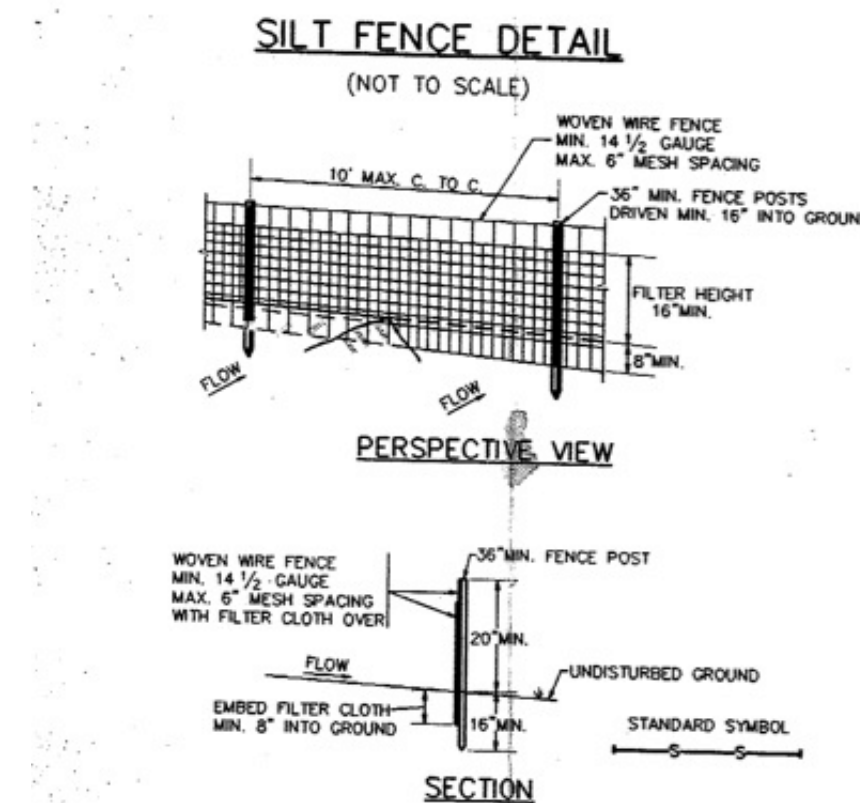
EXISTING ZONING ANALYSIS

ZONE: R-5	SCHEDULE OF REQUIREMENTS					
	BUILDING HEIGHT FEET	MIN. LOT SIZE AREA (MIN.)	LOT WIDTH FEET	LOT DEPTH FEET	BUILDING COVERAGE %/sf	IMPERVIOUS SURFACE %
REQUIRED	2 ^{1/2} / 30'	5,000 SF	50 FT	100 FT	30%	-----
EXISTING	1 ^{1/2} / 25'	8,712 SF	61.56 FT	145.68 FT	18.6%	39%

	MINIMUM YARD DIMENSIONS (FT.)			
	MINIMUM FRONT SETBACK (DEPTH)	SIDE YARD	SIDE YARD (COMBINED)	MINIMUM REAR YARD (DEPTH)
REQUIRED	30'	8'	18'	30'
EXISTING	29.30'	10.40'	22.11'	45.67'
PROPOSED				

STAGING AND EROSION CONTROL

1. INSTALL SEDIMENTATION AND EROSION CONTROLS AND TREE PROTECTION AS NEEDED THROUGHOUT.
2. PRIOR TO DEMOLITION THE GENERAL CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT.
3. BACKFILL WITH CLEAN COMPACTED SOIL FILL AS DIRECTED.
4. MARK AND CUT TREES TO BE REMOVED IF NECESSARY.
5. STRIP TOP SOIL AND STOCK PILE IT WITH APPROPRIATE SEDIMENTATION CONTROL MEASURES.
6. EXCAVATE FOR PROPOSED FOUNDATION.
7. CONSTRUCT FOUNDATION.
8. BACKFILL AND ROUGH GRADE AROUND BUILDING FOUNDATION AND STABILIZE ALL SLOPES.

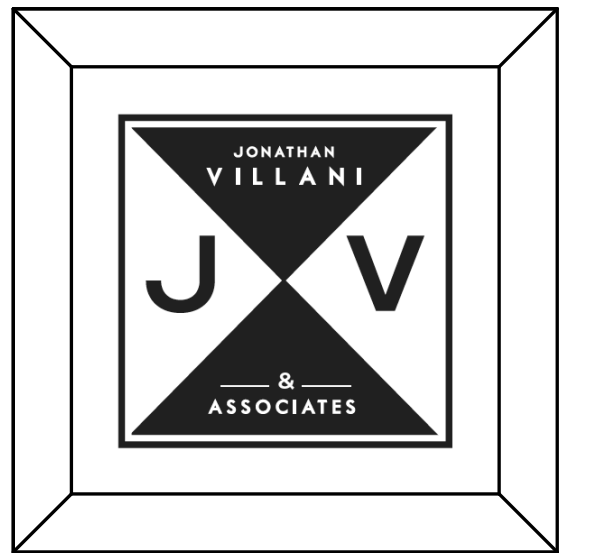


- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE RIES OR STAPLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN TRUCKS DEVELOP IN THE SILT FENCE.
 5. EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
 FENCE: WOVEN WIRE, 14 1/2 GA. 6"X6" MESH OR
 FILTER CLOTH: FILTER K, MESH 100K, STARBUCKA TUBS OR APPROVED EQUAL
 STAKE/STAPLES: 16" GALV. ENVIROFORCE, OR APPROVED EQUAL

B EROSION CONTROL DETAIL
 A-004 SCALE: NTS

A EROSION CONTROL PLAN
 A.004 SCALE: 1/8" = 1' - 0"

8,712 SF



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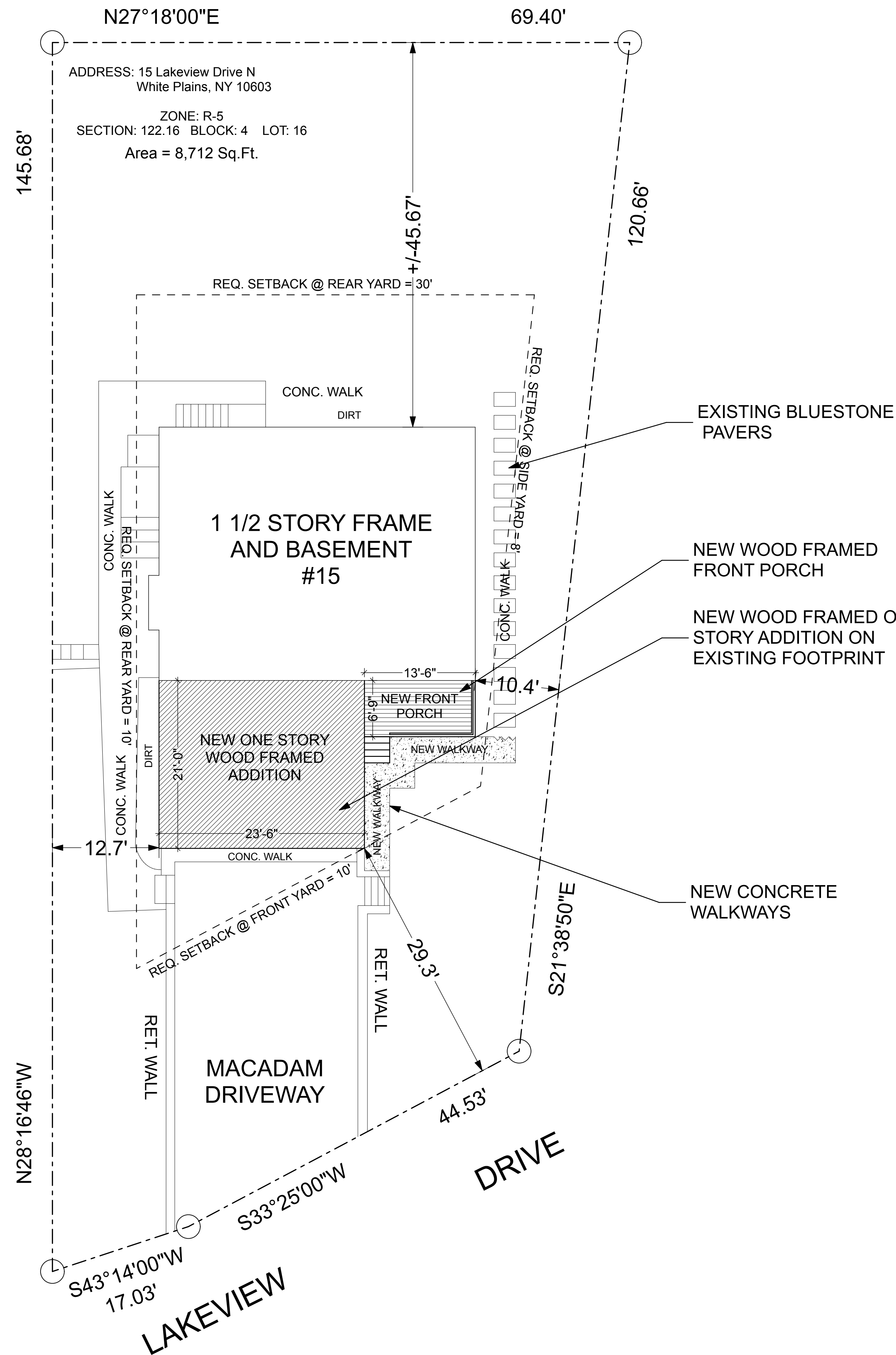
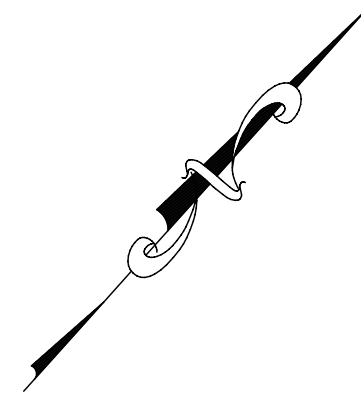
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SCALE:	DATE:	PROJECT NO.:
AS NOTED	9/30/20	
DRAWN BY: JV	CHECKED BY:	APPROVED BY:
DRAWING TITLE: EROSION CONTROL PLAN		

DRAWING NO.: **A.004**





PROPOSED IMPERVIOUS SURFACE
 PROPOSED BUILDING FOOTPRINT: 1,620 SF
 PROPOSED DRIVEWAYS: 872 SF
 PROPOSED WALKWAYS: 585 SF
 PROPOSED WALLS, STEPS AND PLATS: 279 SF
 PROPOSED IMPERVIOUS SURFACE TOTAL: 3,328 SF
 AREA OF LAND: 8,712 SF
 PROPOSED IMPERVIOUS SURFACE EQUALS = 38.5%
 NET DECREASE IN IMPERVIOUS SURFACE OF .5%
SANITARY AND WATER:
 NO CHANGE TO EXISTING SERVICES

NO INCREASE IN IMPERVIOUS SURFACE

PROPOSED ZONING ANALYSIS

ZONE: R-5	SCHEDULE OF REQUIREMENTS					
	BUILDING HEIGHT FEET	MIN. LOT SIZE AREA (MIN.)	LOT WIDTH FEET	LOT DEPTH FEET	BUILDING COVERAGE %/sf	IMPERVIOUS SURFACE %
REQUIRED	2 ^{1/2} / 30'	5,000 SF	50 FT	100 FT	30%	-----
EXISTING	1 1/2 / 25'	8,712 SF	61.56 FT	145.68 FT	18.6%	39%
PROPOSED	2 / 25'	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	38.5%

	MINIMUM YARD DIMENSIONS (FT.)			
	MINIMUM FRONT SETBACK (DEPTH)	SIDE YARD	SIDE YARD (COMBINED)	MINIMUM REAR YARD (DEPTH)
REQUIRED	30'	8'	18'	30'
EXISTING	29.30'	10.40'	22.11'	45.67'
PROPOSED	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE



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DRAWING TITLE:
**PROPOSED SITE
 PLAN**

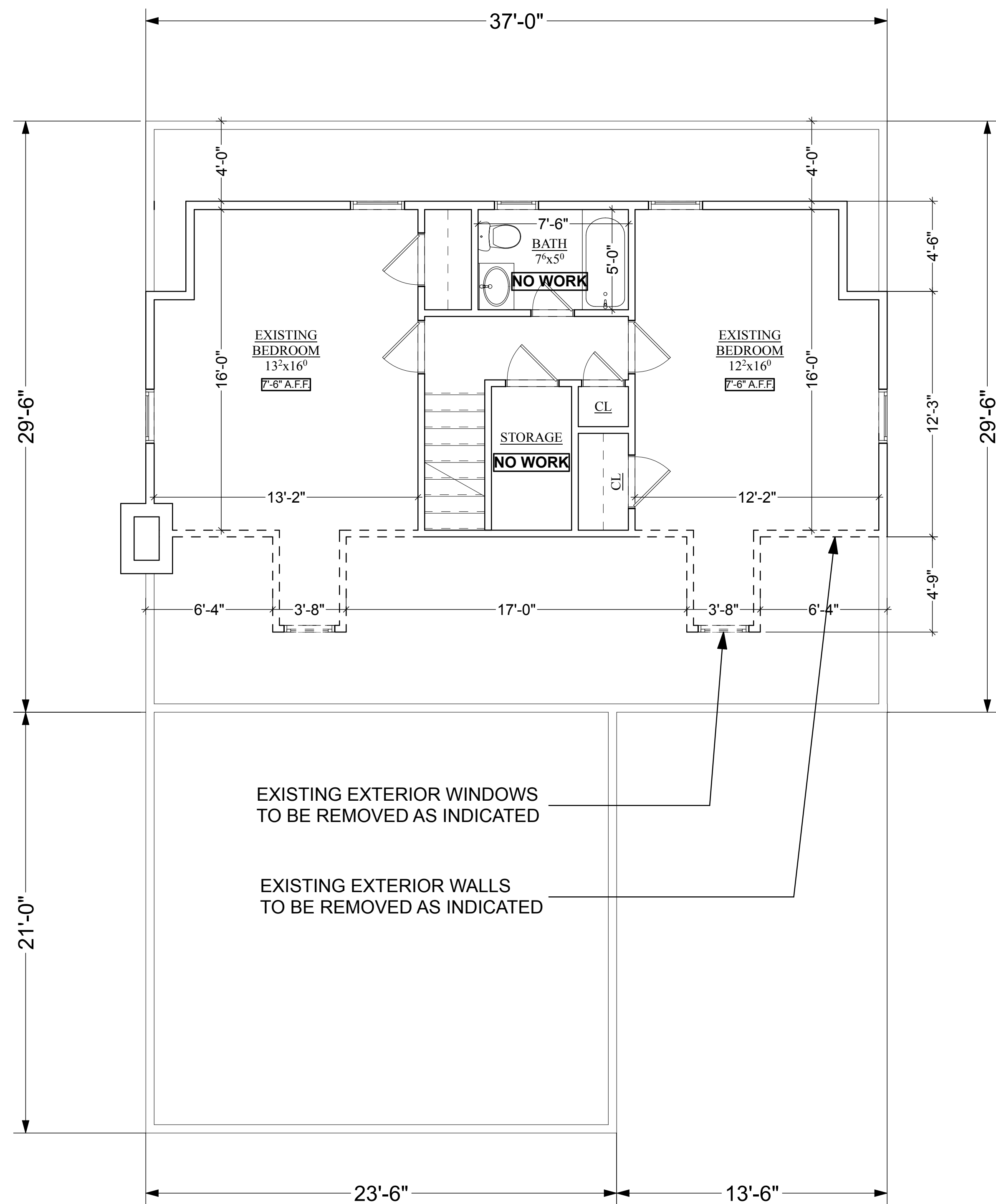
DRAWING NO.:
A.005

A
PROPOSED SITE PLAN

8,712 SF

SCALE: 1/8" = 1' - 0"



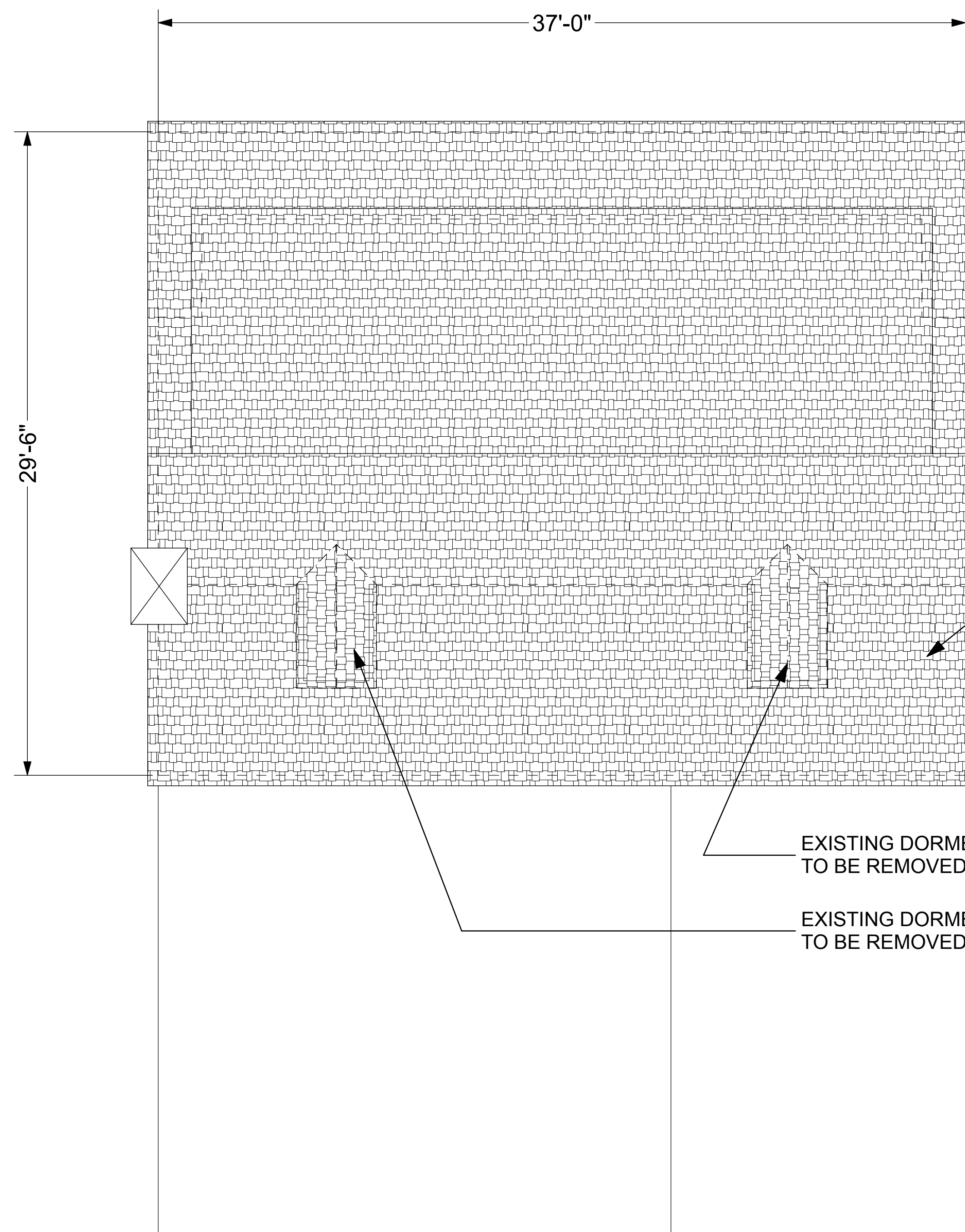


A
A.007

EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1' - 0"

EXISTING SF @ SECOND FLOOR
634 SF



B
A.007

EXISTING ROOF PLAN

SCALE: 1/4" = 1' - 0"

DEMOLITION NOTES

- G.C. TO REMOVE ITEMS AS INDICATED ON DEMOLITION PLAN UNLESS OTHERWISE NOTED.
- G.C. TO PROTECT ANY AND ALL ITEMS TO BE REUSED THROUGHOUT CONSTRUCTION PHASE.
- G.C. TO REMOVE ALL PLUMBING FIXTURES AND ASSOCIATED PIPING AS NECESSARY. RADIATORS TO BE REPLACED IN SAME LOCATIONS.
- G.C. TO REPLACE MECHANICAL SYSTEMS TO ACCOMMODATE REPAIRS.
- G.C. TO PROVIDE ALL TEMPORARY WATERPROOFING DUE TO REMOVAL OF VENTS AND EXHAUST FANS FROM EXISTING ROOF THROUGHOUT CONSTRUCTION PHASE.
- G.C. TO HAVE FIRE EXTINGUISHERS ON PREMISES THROUGHOUT CONSTRUCTION PHASE AS SAFETY PRECAUTION.
- G.C. TO PROVIDE HARD HATS AND GOGGLES TO ALL WORKERS THROUGHOUT DEMOLITION AS WELL CONSTRUCTION.
- G.C. TO PROVIDE ALL PROTECTIVE BARRIERS TO LIMIT ACCESS THROUGHOUT CONSTRUCTION PHASE.
- G.C. TO MAINTAIN A SAFE AND CLEAR PEDESTRIAN PATH THROUGH CONSTRUCTION AREA THROUGHOUT DURATION OF PROJECT.

CLEANING:

- MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATIONS OF WASTE, DEBRIS AND RUBBISH CAUSED BY OPERATIONS.
- AT COMPLETION OF WORK, REMOVE WASTE MATERIALS, RUBBISH, TOOLS, EQUIPMENT, MACHINERY AND SURPLUS MATERIALS, AND CLEAN ALL SIGHT EXPOSED SURFACES; LEAVE PROJECT CLEAN AND READY FOR FOR OCCUPANCY.

LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW WOOD STUD WALL
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR AND FRAME

NOTES:

- CONTRACTOR SHALL ADHERE TO ALL CODES, RULES AND REGULATIONS GOVERNING CONSTRUCTION AS SET BY AUTHORITIES HAVING JURISDICTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ON DRAWINGS SHALL TAKE PRECEDENCE.
- CONTRACTOR TO VERIFY ALL DIMENSIONS, ROUGH OPENING SIZES AND OTHER PENETRATIONS AGAINST REQUIREMENTS OF SPECIFIED PRODUCTS, CONDITIONS, ELEVATIONS, ETC. PERTAINING TO WORK BEFORE PROCEEDING.
- ALL OPENINGS SHALL BE CALKED, SEALED, OR WEATHER STRIPPED.
- PROVIDE SIMPSON CONNECTORS AT ALL FLUSH FRAMED CONDITIONS AND FOR POST BASES.



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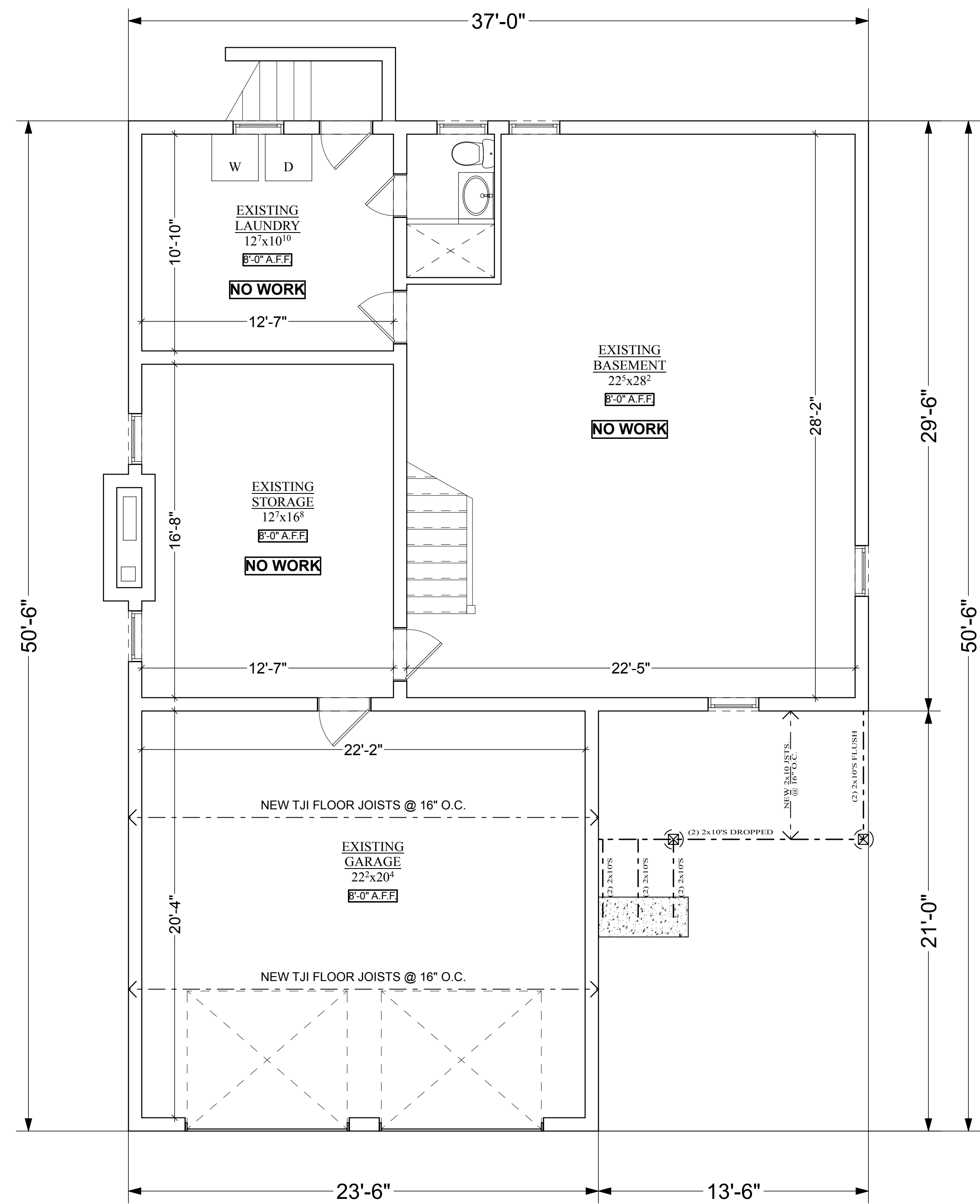
PROJECT
DOUGLAS RESIDENCE
ADDITION AND ALTERATIONS TO EXISTING
STRUCTURE
15 LAKEVIEW DRIVE N
WHITE PLAINS, NEW YORK, 10603

NO.	ISSUE	DATE
1.	ORIGINAL	9/30/20
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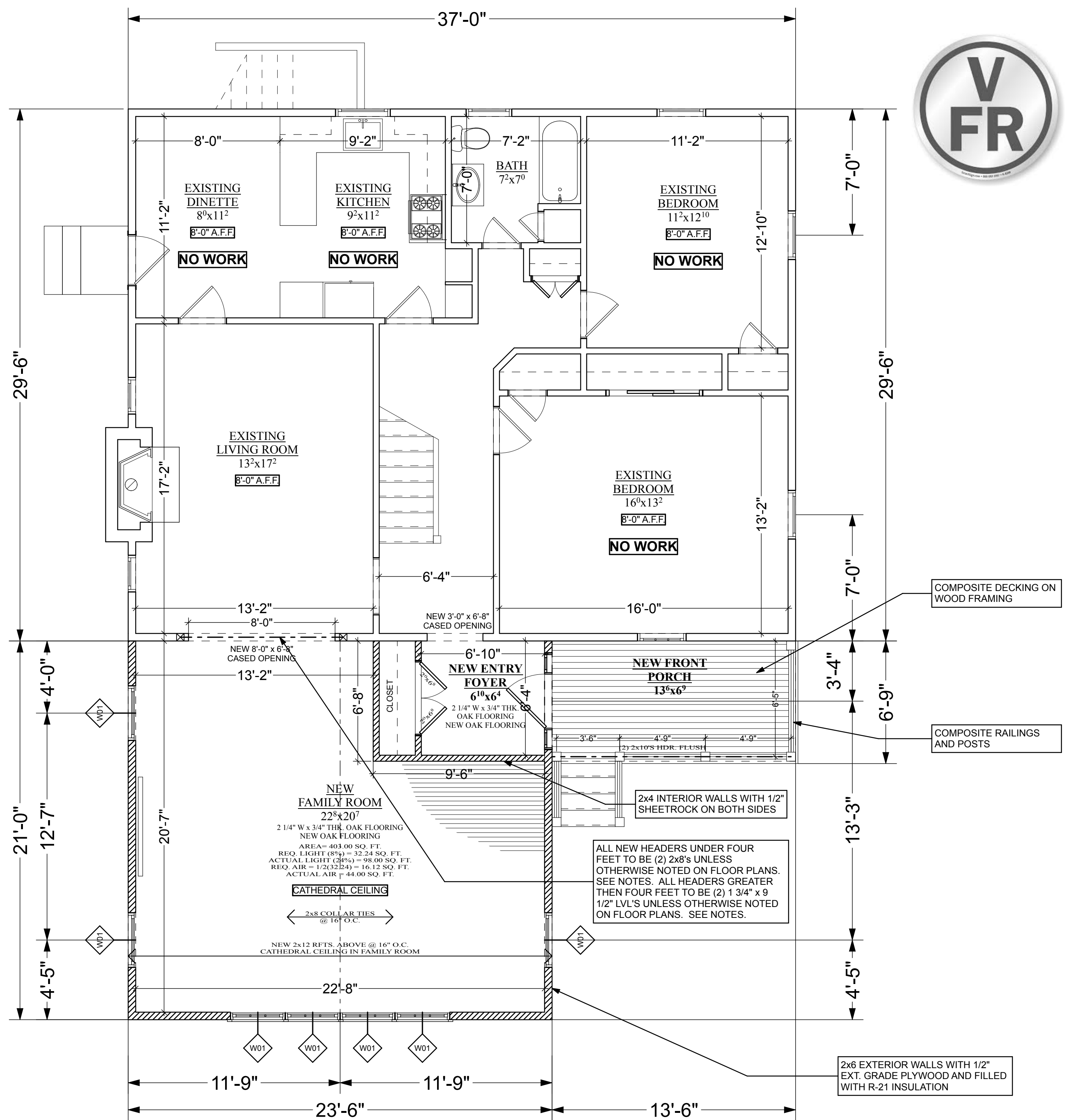
IN ASSOCIATION WITH:
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SCALE: AS NOTED	DATE: 9/30/20	PROJECT NO.:
DRAWN BY: JV	CHECKED BY:	APPROVED BY:
DRAWING TITLE: EXISTING FLOOR PLANS		

DRAWING NO.:
A.007



A PROPOSED BASEMENT PLAN
 SCALE: 1/4" = 1' - 0"
 PROPOSED SF @ BASEMENT
 1,091 SF BELOW GRADE



B PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1' - 0"
 PROPOSED SF @ 1ST FLOOR
 1,585 SF

FIRST FLOOR NOTES:

1. ALL WINDOWS TO BE ANDERSON 100 SERIES OR APPROVED EQUAL. ROUGH OPENING DIMENSIONS TO BE DETERMINED. INSURE EGRESS AND TEMPERED UNITS WHERE REQUIRED. ANY SUBSTITUTIONS TO BE EQUAL TO, OR GREATER THAN, UNIT SHOWN ON PLAN.
2. PROVIDE SMOKE/HEAT DETECTORS (S.D.) AND CARBON MONOXIDE DETECTORS WHERE INDICATED. ALL SMOKE ALARMS TO BE HARDWIRED, INTERCONNECTED, WITH BATTERY BACK-UP. LOCATE SMOKE/HEAT DETECTORS AT THE TOP OF EACH STAIR THROUGHOUT THE HOUSE.
3. ALL HANDRAILS TO BE 3'-0" (MIN.) HIGH W/ 4" (MAX.) CLEARANCE BETWEEN VERTICAL OR HORIZONTAL MEMBERS (TYP.).
4. ALL NEW HEADERS UNDER FOUR FEET TO BE (2) 2x8'S UNLESS OTHERWISE NOTED ON FLOOR PLANS.
5. ALL HEADERS GREATER THEN FOUR FEET TO BE (2) 1 3/4" x 9 1/2" LVL'S UNLESS OTHERWISE NOTED ON FLOOR PLANS.
6. ALL INTERIOR WALLS SHALL BE 2"x4" WOOD STUDS @ 16" O.C., UNLESS OTHERWISE INDICATED ON DRAWINGS.

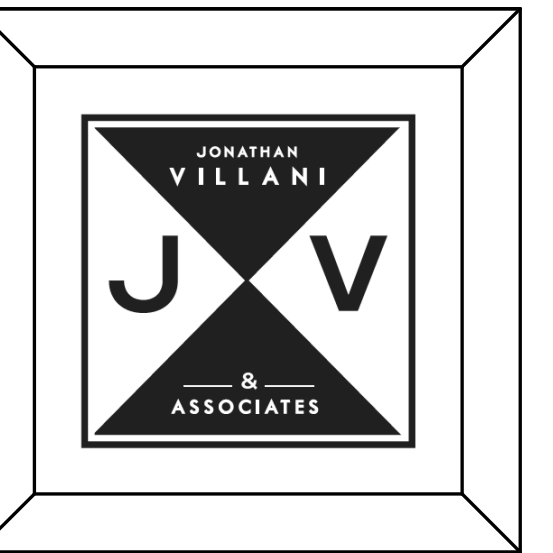
7. PROVIDED MIN. 2" AIR SPACE BETWEEN MASONRY FIREPLACES AND COMBUSTABLE STUDS ON SIDES AND 4" IN REAR, ETC. OR USE METAL LOAD BEARING STUDS.
8. ALL INTERIOR WALLS TO BE INSULATED WITH R-13 INSULATION
9. NEW 1/2" SHEETROCK TO BE APPLIED TO ALL INTERIOR AND EXTERIOR WALLS.
10. ALL INTERIOR DOORS TO BE TRADITIONAL 6 PANEL SOLID MDF DOORS. FOR SIZES SEE PROPOSED FLOOR PAN.
11. ALL EXTERIOR WALLS TO BE 2x6 AND INSULATED WITH R-21 INSULATION.
13. PROVIDE DRAFT STOPPING WITHIN FLOOR SYSTEM EVERY 500 SQ. FT.
14. PROVIDE 2 - 2"x6" WOOD POSTS DOWN DIRECTLY TO FOUNDATION WALL OR MAIN GIRDERS WHERE INDICATED. CONTRACTOR TO POST ALL CORNERS AND WALL INTERSECTIONS.
15. DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS. DOUBLE EVERY THIRD JOIST UNDER KITCHEN, BATHROOMS, FOYERS, AND ANY OTHER SPACES WITH A STONE OR TILED FLOOR FINISHES.
16. PROVIDE 3/4" T&G SUB-FLOORING GLUED & SCREWED.

WINDOW SCHEDULE {SECOND FLOOR}

TYPE	SPECIFICATION/ MANUFACTURER	WINDOW FRAME	ROUGH OPNG.	ROUGH OPNG. HEAD	QUANT
		(ACTUAL UNIT SIZE)	SIZE (WxH)	HEIGHT ABOVE FINISHED FLOOR.	
W01	ANDERSON 100 SERIES CASEMENT WINDOWS 3046	2'-11 1/2" x 4'-5 1/2"	3'-0" x 4'-6"	6'-9"	7

LEGEND:

- INDICATES 2X6 WOOD STUD BEARING WALL.
- INDICATES STRUCTURAL POST ABOVE.
- INDICATES STRUCTURAL POST BELOW.
- FLR. & CEILING JOIST @ 16" O.C. TYP. UON.



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**DOUGLAS RESIDENCE
 ADDITION AND ALTERATIONS TO EXISTING
 STRUCTURE
 15 LAKEVIEW DRIVE N
 WHITE PLAINS, NEW YORK, 10603**

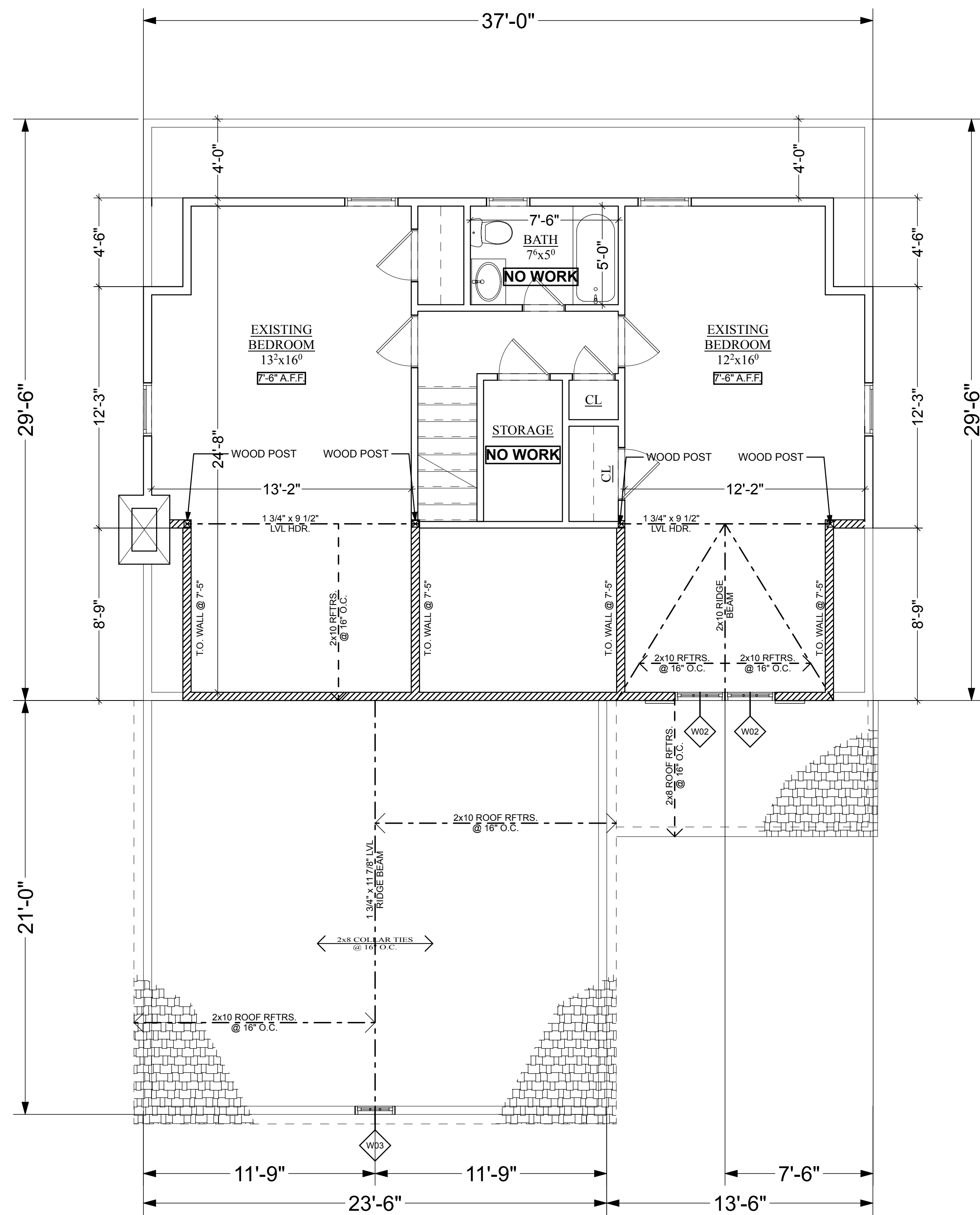
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IN ASSOCIATION WITH:
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SCALE: AS NOTED DATE: 9/30/20 PROJECT NO.:
 DRAWN BY: JV CHECKED BY: APPROVED BY:
 DRAWING TITLE:
PROPOSED FLOOR PLANS

DRAWING NO.:
A.008



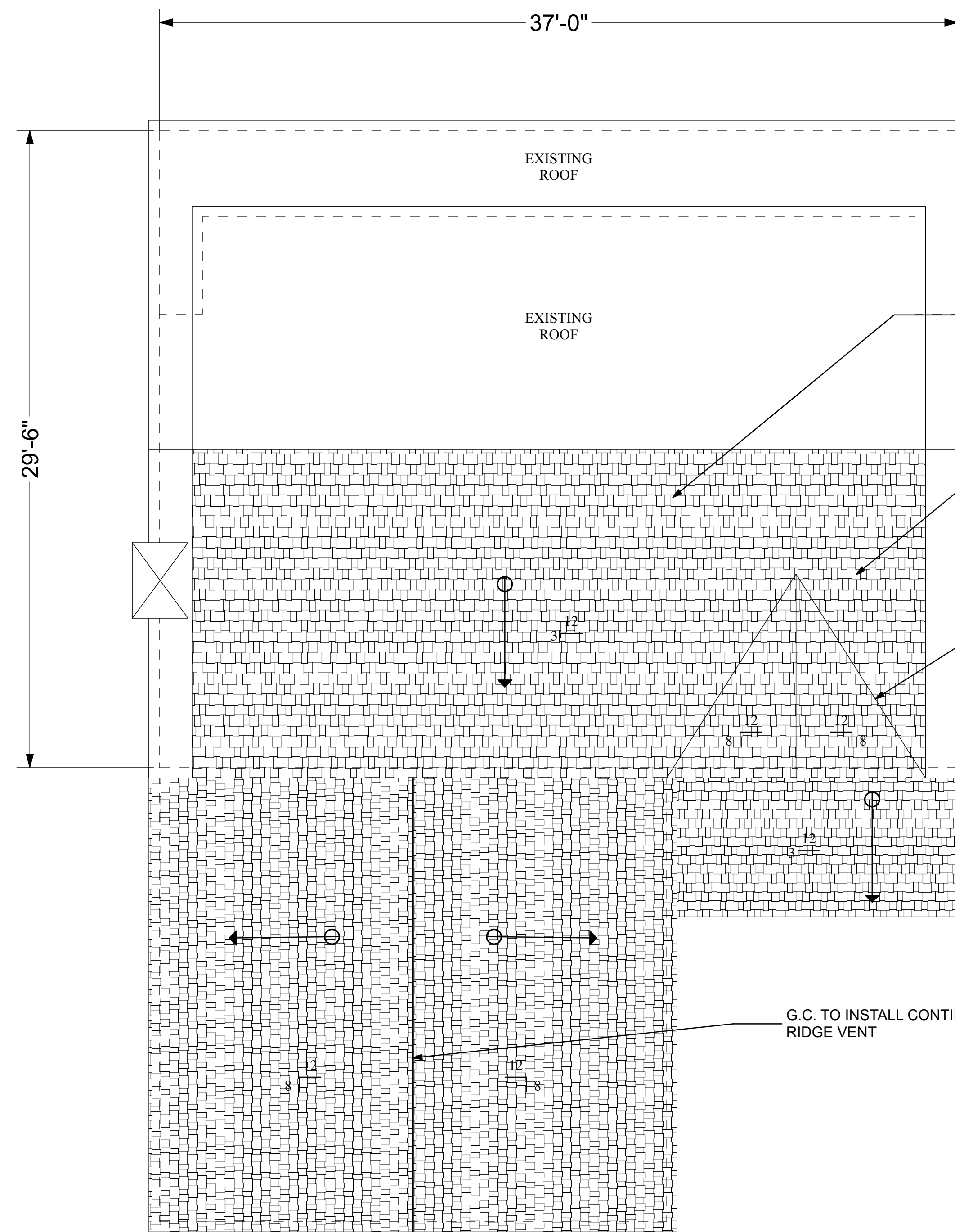


A
A.009

PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1' - 0"

PROPOSED SF @ SECOND FLOOR
890 SF



B
A.009

PROPOSED ROOF PLAN

SCALE: 1/4" = 1' - 0"

SECOND FLOOR NOTES:

1. ALL WINDOWS TO BE ANDERSON 100 SERIES OR APPROVED EQUAL. ROUGH OPENING DIMENSIONS TO BE DETERMINED. INSURE EGRESS AND TEMPERED UNITS WHERE REQUIRED. ANY SUBSTITUTIONS TO BE EQUAL TO, OR GREATER THAN, UNIT SHOWN ON PLAN.
2. PROVIDE SMOKE/HEAT DETECTORS (S.D.) AND CARBON MONOXIDE DETECTORS WHERE INDICATED. ALL SMOKE ALARMS TO BE HARD-WIRED, INTERCONNECTED, WITH BATTERY BACK-UP. LOCATE SMOKE/HEAT DETECTORS AT THE TOP OF EACH STAIR THROUGHOUT THE HOUSE.
3. ALL HANDRAILS TO BE 3'-0" (MIN.) HIGH W/ 4" (MAX.) CLEARANCE BETWEEN VERTICAL OR HORIZONTAL MEMBERS (TYP.).
4. ALL NEW HEADERS UNDER FOUR FEET TO BE (2) 2x8's UNLESS OTHERWISE NOTED ON FLOOR PLANS.
5. ALL HEADERS GREATER THEN FOUR FEET TO BE (2) 1 3/4" x 9 1/2" LVL'S UNLESS OTHERWISE NOTED ON FLOOR PLANS.
6. ALL INTERIOR WALLS SHALL BE 2"x4" WOOD STUDS @ 16" O.C., UNLESS OTHERWISE INDICATED ON DRAWINGS.

7. PROVIDED MIN. 2" AIR SPACE BETWEEN MASONRY FIREPLACES AND COMBUSTABLE STUDS ON SIDES AND 4" IN REAR, ETC. OR USE METAL LOAD BEARING STUDS.
8. ALL INTERIOR WALLS TO BE INSULATED WITH R-13 INSULATION
9. NEW 1/2" SHEETROCK TO BE APPLIED TO ALL INTERIOR AND EXTERIOR WALLS.
10. ALL INTERIOR DOORS TO BE TRADITIONAL 6 PANEL SOLID MDF DOORS. FOR SIZES SEE PROPOSED FLOOR PAN.
11. ALL EXTERIOR WALLS TO BE 2x6 AND INSULATED WITH R-21 INSULATION.
13. PROVIDE DRAFT STOPPING WITHIN FLOOR SYSTEM EVERY 500 SQ. FT.
14. PROVIDE 2 - 2"x6" WOOD POSTS DOWN DIRECTLY TO FOUNDATION WALL OR MAIN GIRDERS WHERE INDICATED. CONTRACTOR TO POST ALL CORNERS AND WALL INTERSECTIONS.
15. DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS. DOUBLE EVERY THIRD JOIST UNDER KITCHEN, BATHROOMS, FOYERS, AND ANY OTHER SPACES WITH A STONE OR TILED FLOOR FINISHES.
16. PROVIDE 3/4" T&G SUB-FLOORING GLUED & SCREWED.

ROOF NOTES

1. PROVIDE RIDGE VENTS AND CONTINUOUS SOFFIT VENTS. IF SPRAY INSULATION IS USED G.C. TO PLACE VENTED BARRIER BETWEEN INSULATION AND SHEATHING TO ALLOW FOR CIRCULATION OF AIR THROUGH ROOF RAFTERS.
2. ROOF TO BE ASPHALT SHINGLES ON 15# BUILDING PAPER OVER 5/8" PLYWOOD SHEATHING GLUED AND NAILED TO RAFTERS. UNLESS OTHERWISE SPECIFIED BY OWNER.
3. USE "ICE AND WATER" SHIELD. FULL COVERAGE OVER CATHEDRAL SPACES ON 1/2" PLYWOOD SHEATHING ON RAFTERS
4. SEE PLANS FOR RIDGE SIZES.
5. PROVIDE COPPER FLASHING AND COUNTER FLASHING AT ALL VALLEYS/ CHIMNEYS/ DORMERS AND ALL ROOF-WALL INTERSECTIONS UNLESS OTHERWISE NOTED.
6. EXTERIOR SILL PLATE TO BE (2) 2x6 DOUG FIR
7. ALL REQUIRED HURRICANE STRAPS AND/OR TIE-DOWNS WILL BE PLACED AT EVERY RAFTER AS WELL AS ALL ROOF AND WALL INTERSECTIONS.
8. PROVIDED MIN. 2" AIR SPACE BETWEEN MASONRY FIREPLACES AND COMBUSTABLE STUDS ON SIDES AND 4" IN REAR, ETC. OR USE METAL LOAD BEARING STUDS
9. ALL KNEEWALLS TO BE 2x6.

WINDOW SCHEDULE {SECOND FLOOR}

TYPE	SPECIFICATION/ MANUFACTURER	WINDOW FRAME (ACTUAL UNIT SIZE)	ROUGH OPNG. SIZE (WxH)	ROUGH OPNG. HEAD HEIGHT ABOVE FINISHED FLOOR	QUANT
		SIZE (WxH)	SIZE (WxH)		
W02	ANDERSON 100 SERIES CASEMENT WINDOWS, 2640	2'-5 1/2" x 3'-11 1/2"	2'-6" x 4'-0"	6'-9"	2
W03	ANDERSON 100 SERIES CASEMENT WINDOWS, 2034	1'-11 1/2" x 2'-11 1/2"	2'-0" x 3'-0"	13'-0"	1

LEGEND:

- INDICATES 2X6 WOOD STUD BEARING WALL.
- INDICATES STRUCTURAL POST ABOVE.
- INDICATES STRUCTURAL POST BELOW.
- FLR. & CEILING JOIST @ 16" O.C. TYP. UON.



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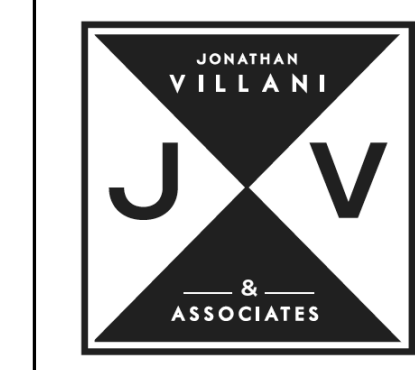
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SCALE: AS NOTED	DATE: 9/30/20	PROJECT NO.:
DRAWN BY: JV	CHECKED BY:	APPROVED BY:
DRAWING TITLE: PROPOSED FLOOR PLANS		

DRAWING NO.: **A.009**

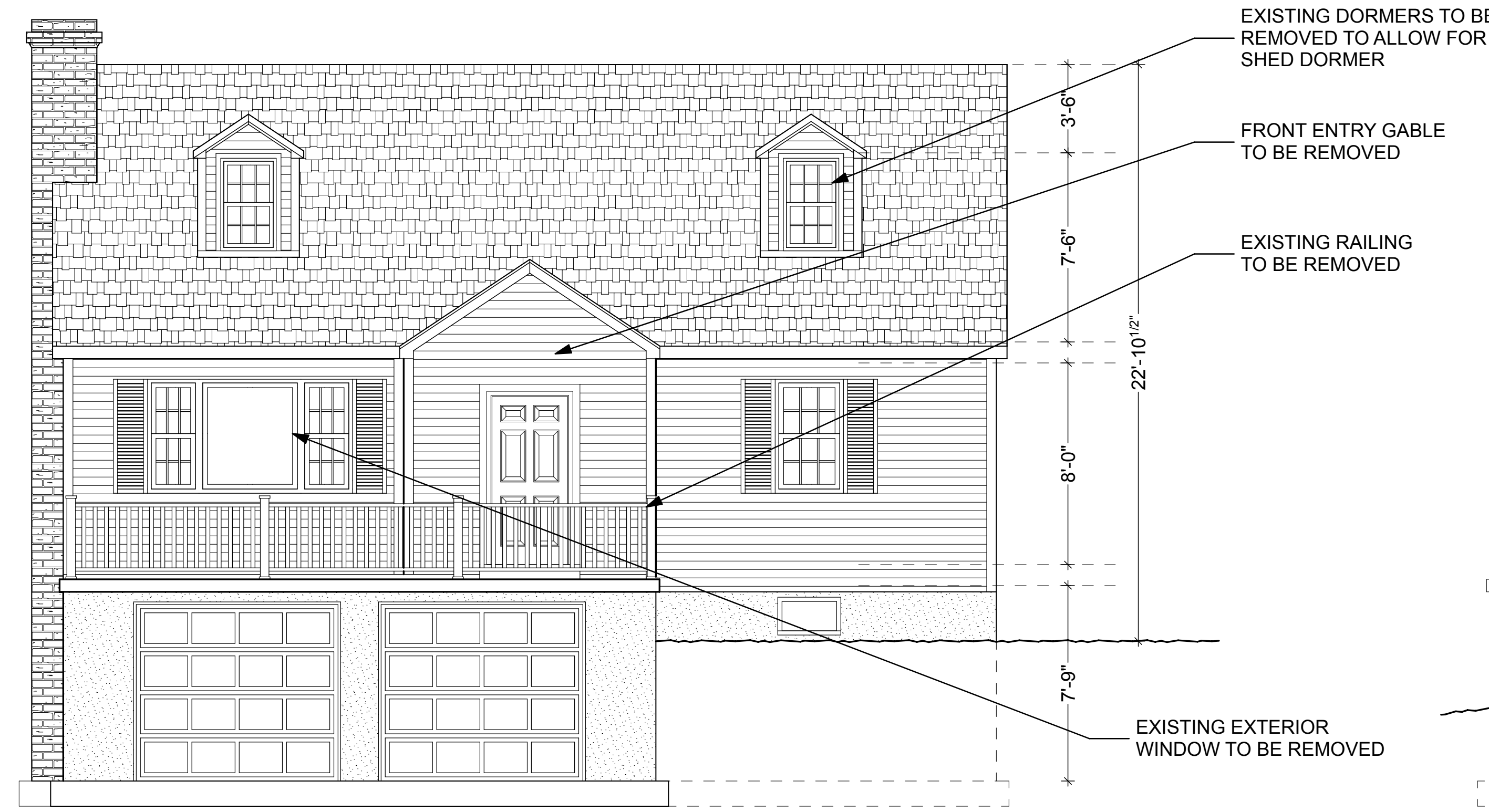




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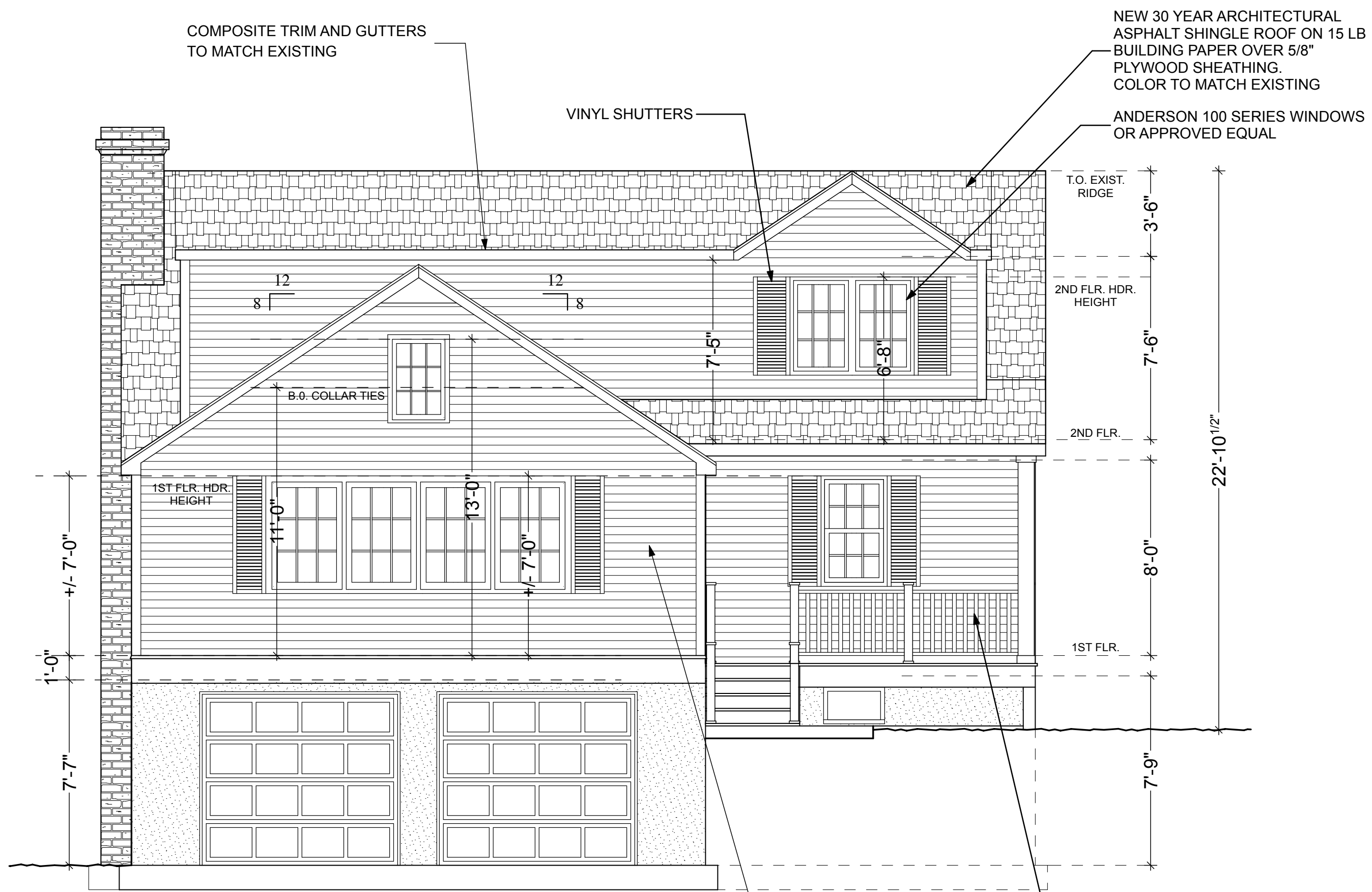
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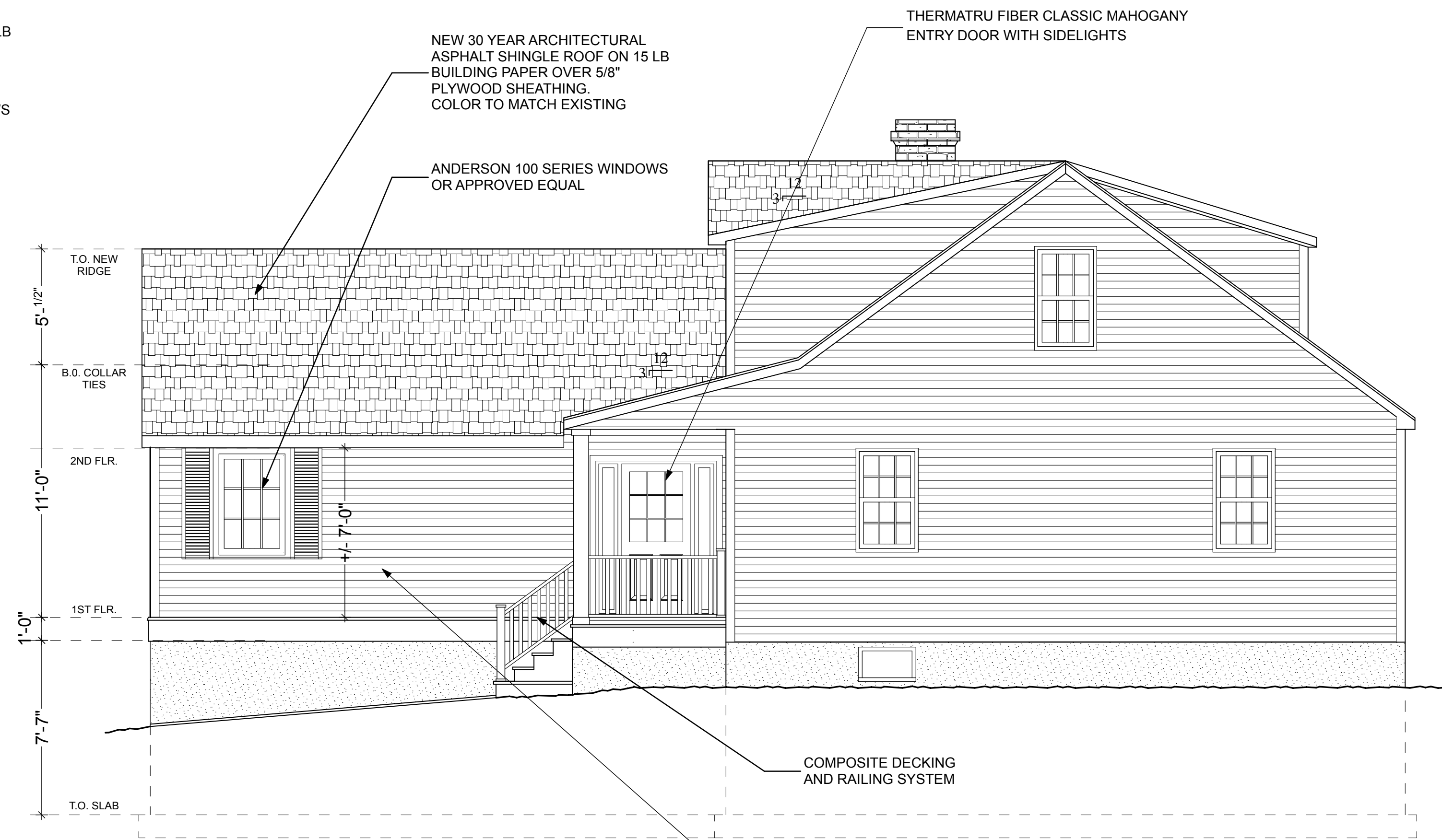
A
A.010
EXISTING FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



B
A.010
EXISTING SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



C
A.010
PROPOSED ELEVATIONS
SCALE: 1/4" = 1' - 0"



D
A.010
PROPOSED SIDE ELEVATIONS
SCALE: 1/4" = 1' - 0"



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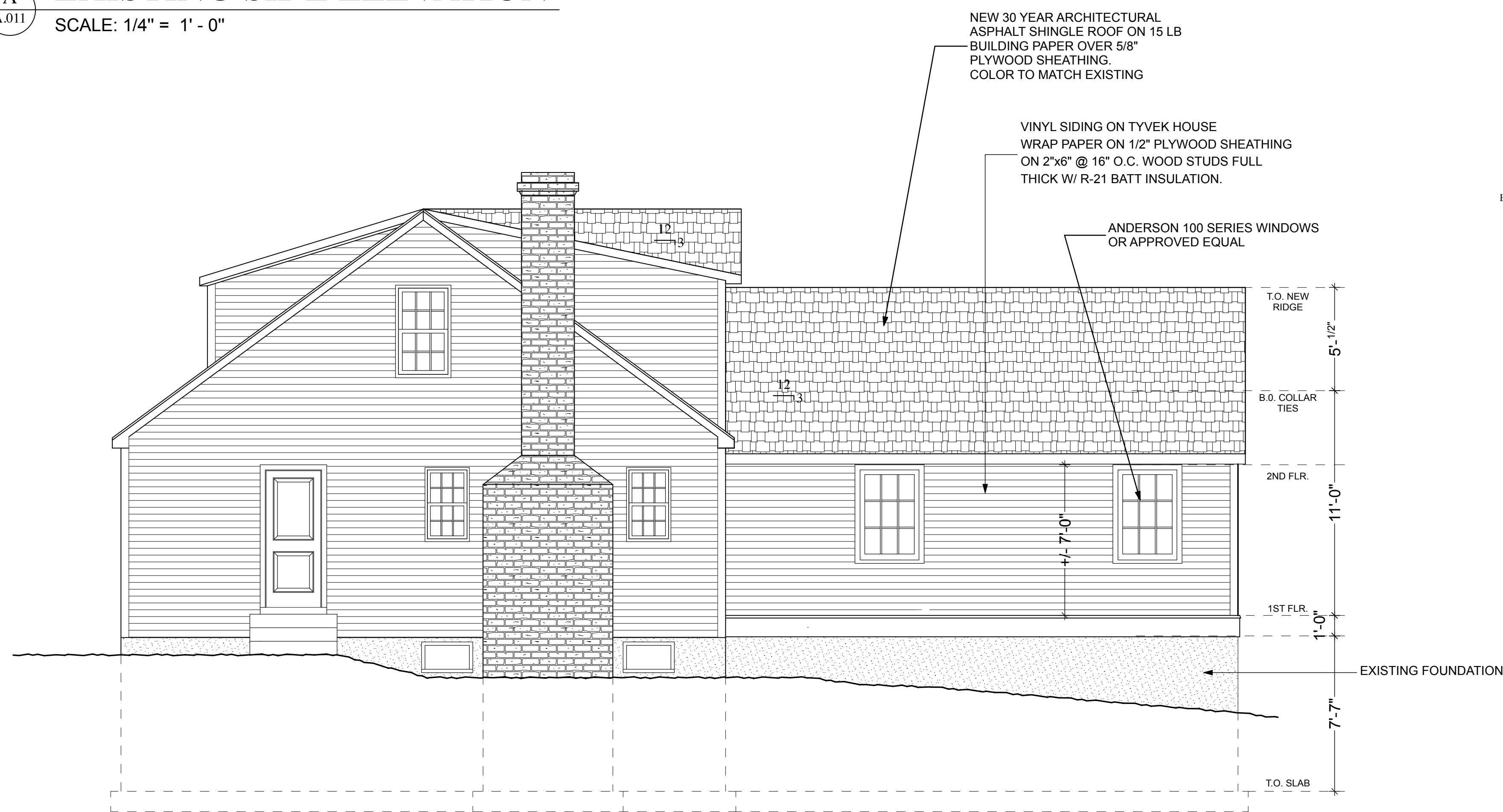
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SCALE: AS NOTED DATE: 9/30/20 PROJECT NO.:
DRAWN BY: JV CHECKED BY: APPROVED BY:
DRAWING TITLE:
ELEVATIONS

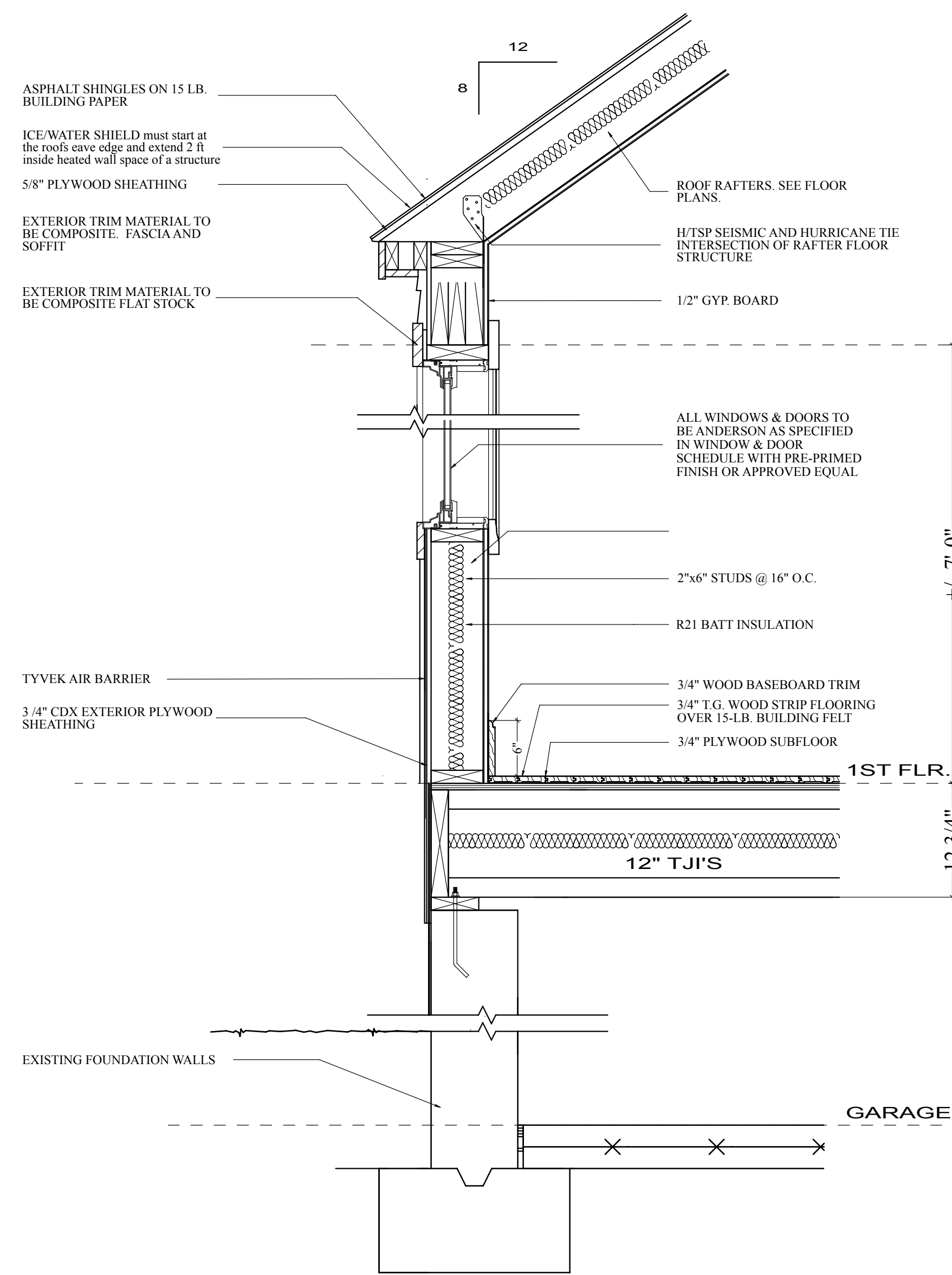
DRAWING NO.:
A.010



A
A.011
EXISTING SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



B
A.011
PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



C
A-011
PROPOSED WALL SECTION
SCALE: 1" = 1' - 0"



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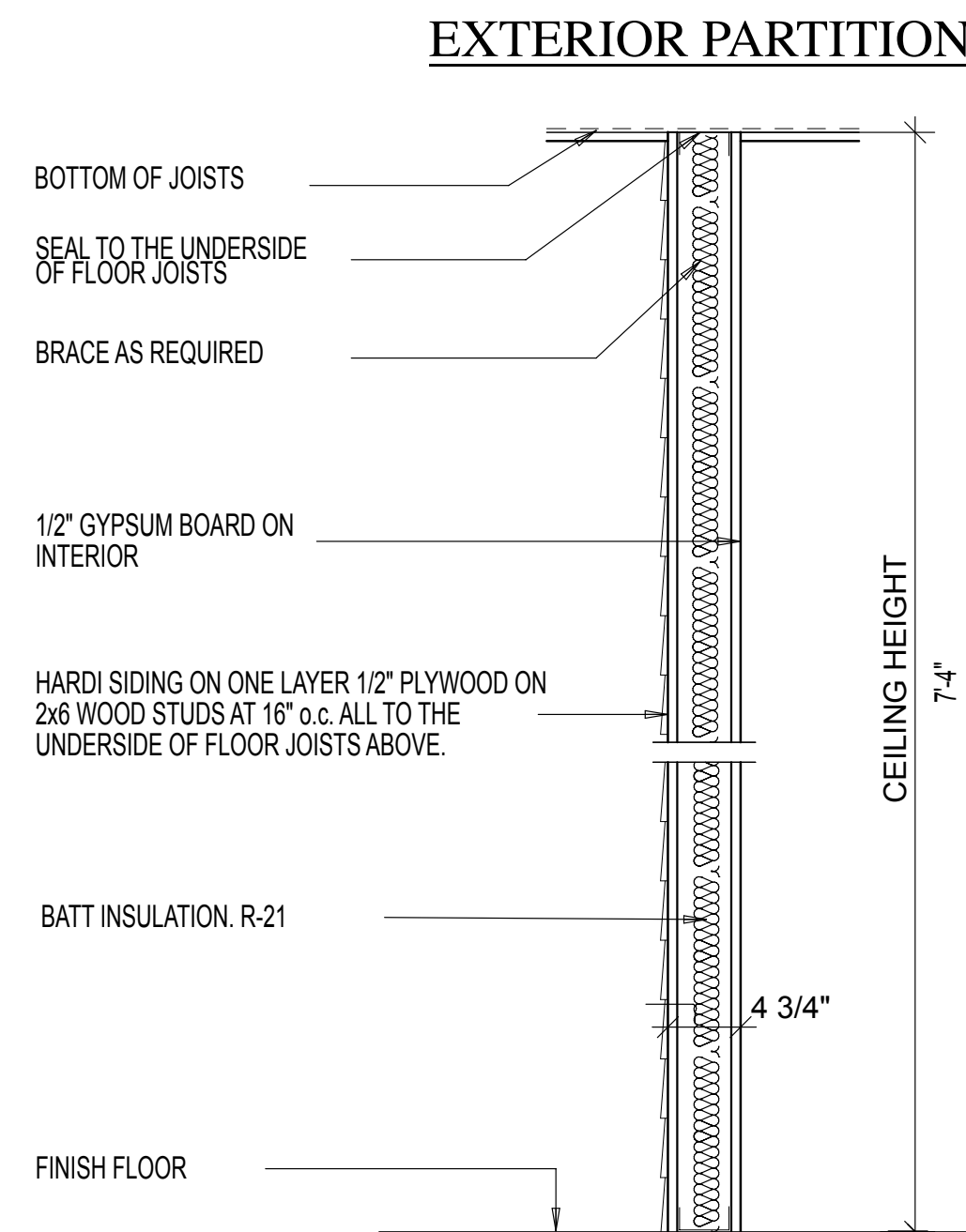
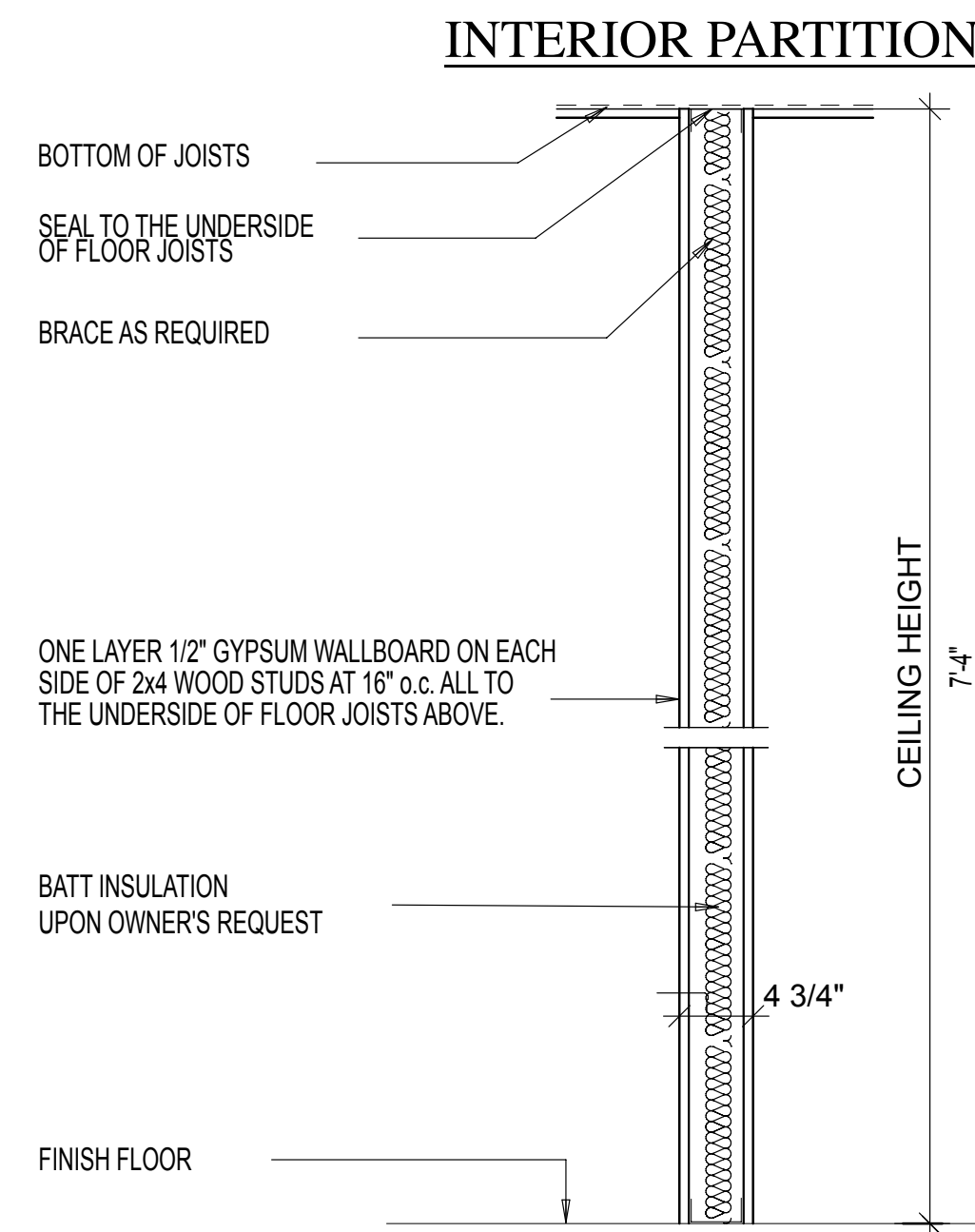
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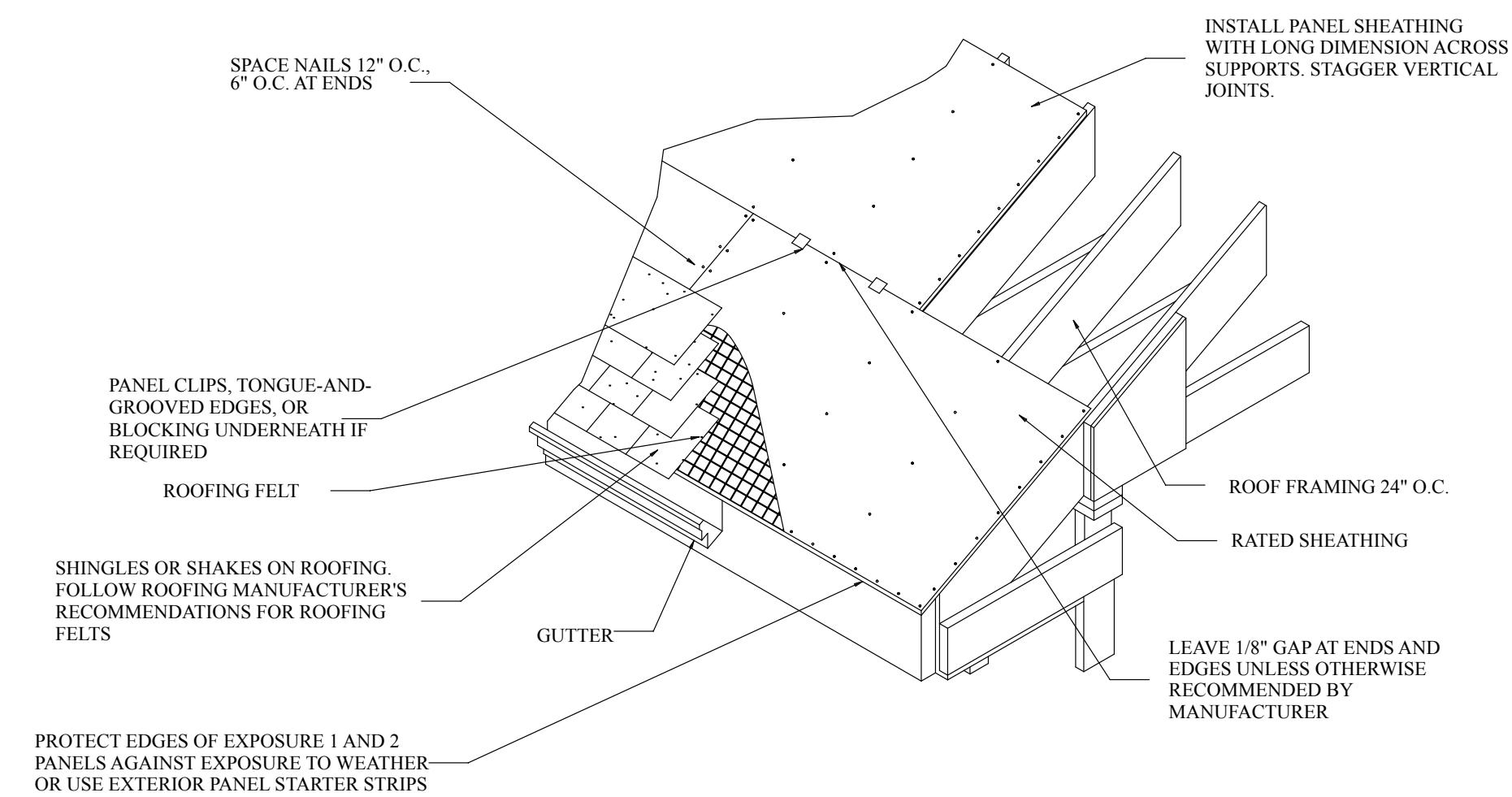
DRAWING TITLE:
ELEVATIONS

DRAWING NO.:
A.011





ROOF SHEATHING INSTALLATION



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PROJECT
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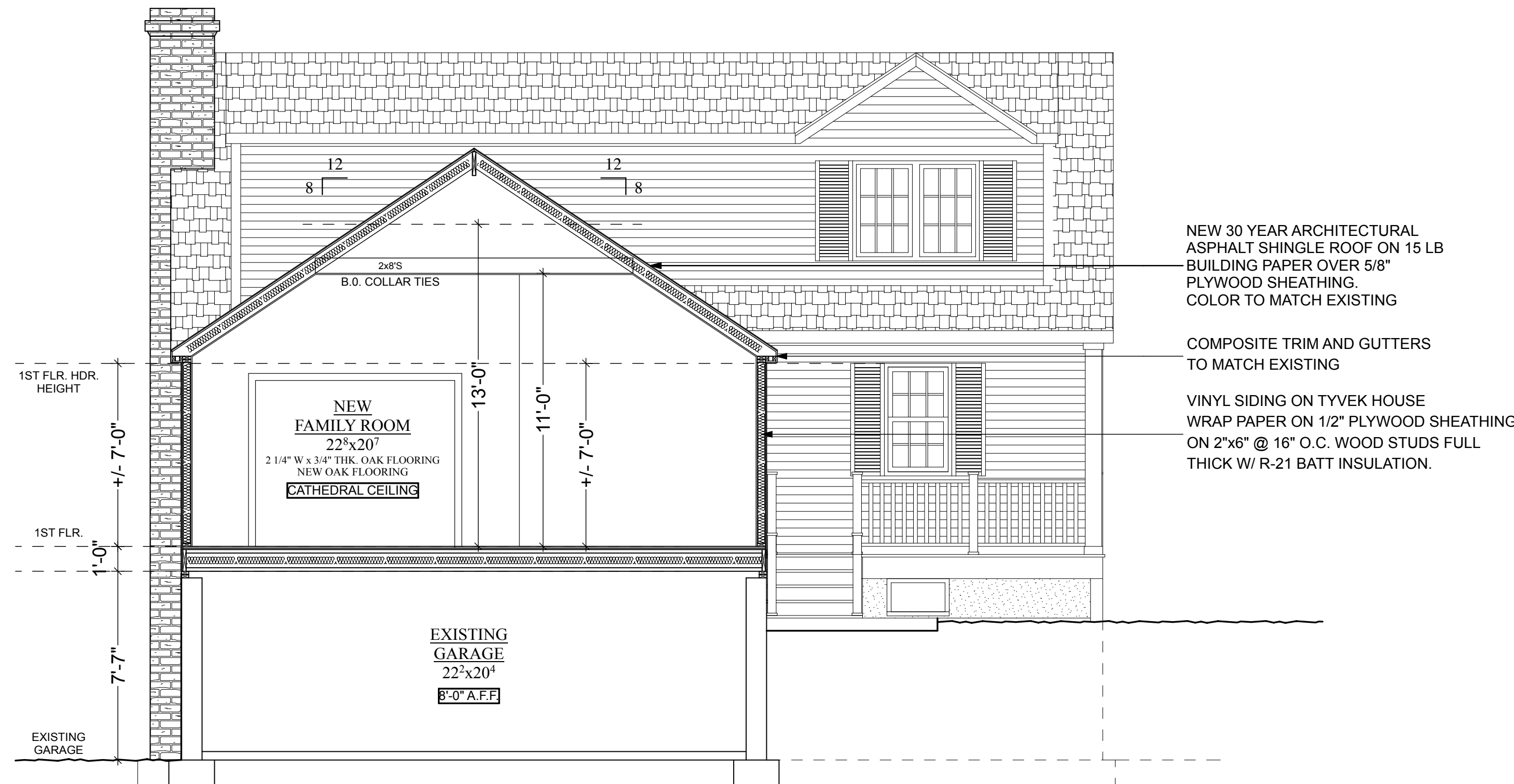
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DRAWING TITLE: SECTIONS AND DETAILS		

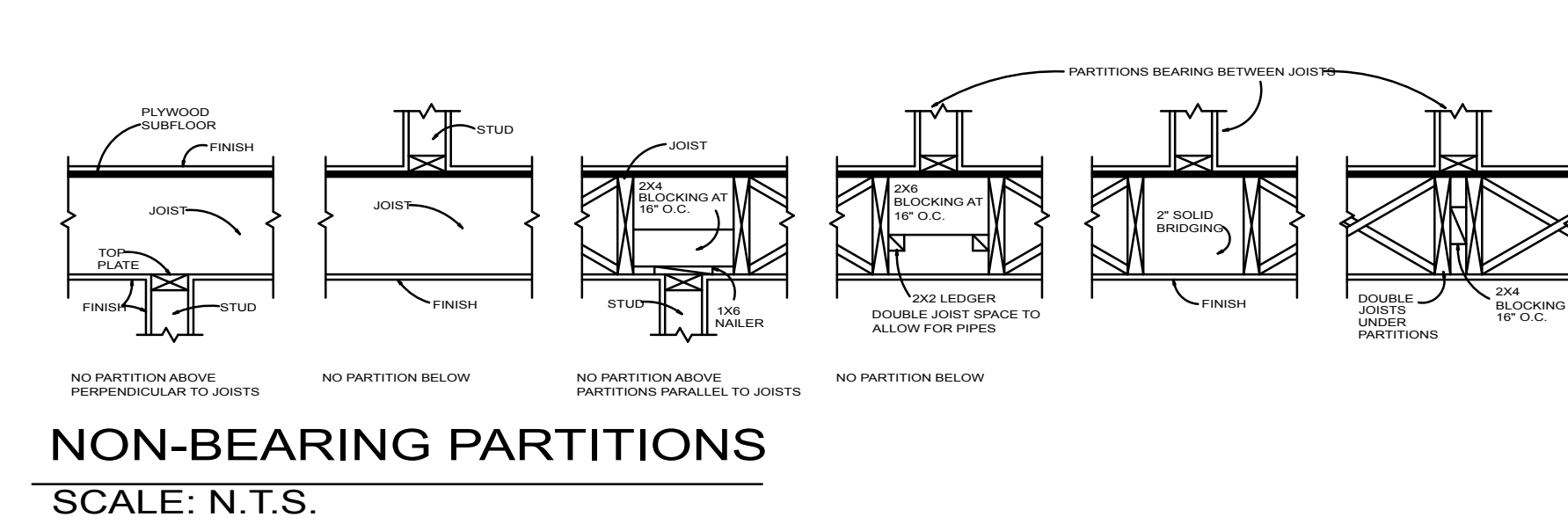
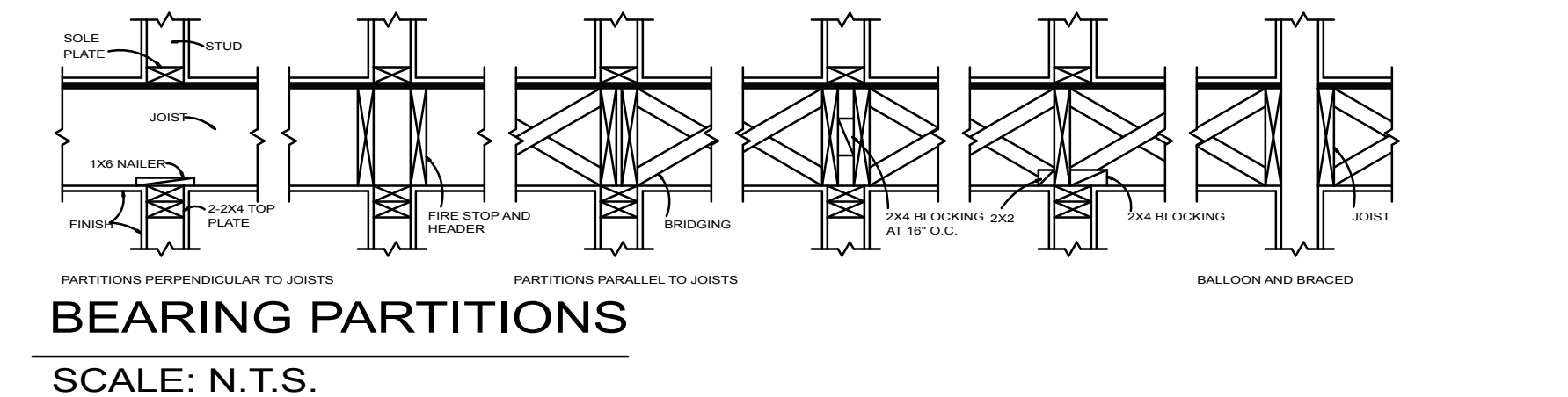
DRAWING NO.:
A.012

A
A.012 **TYPICAL WALL PARTITIONS**
SCALE: 1" = 1' - 0"

B
A.012 **TYPICAL ROOFING DETAIL**
NTS

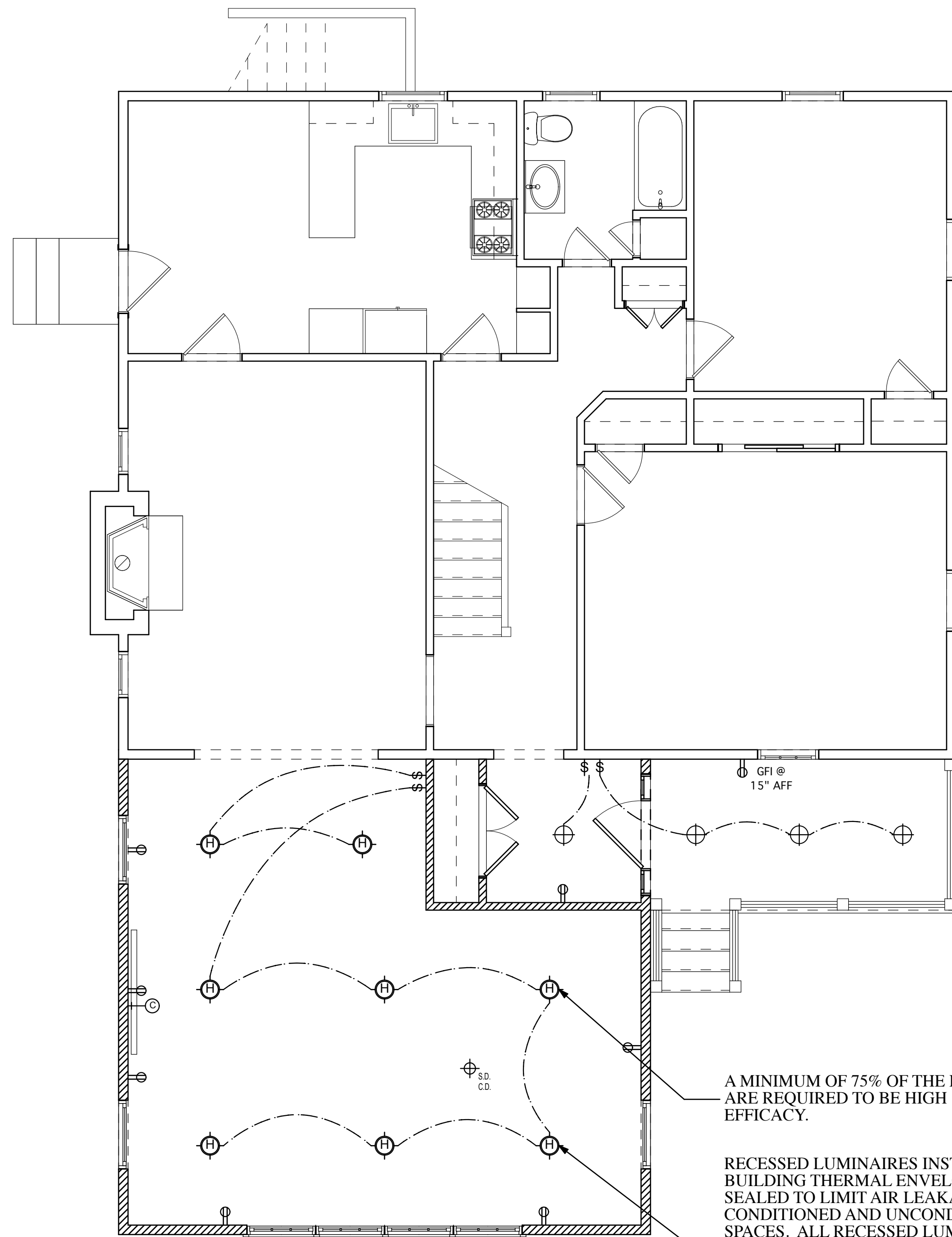


C
A.012 **PROPOSED SECTION**
SCALE: 1/4" = 1' - 0"



D
A.012 **TYPICAL FRAMING DETAILS**
NTS

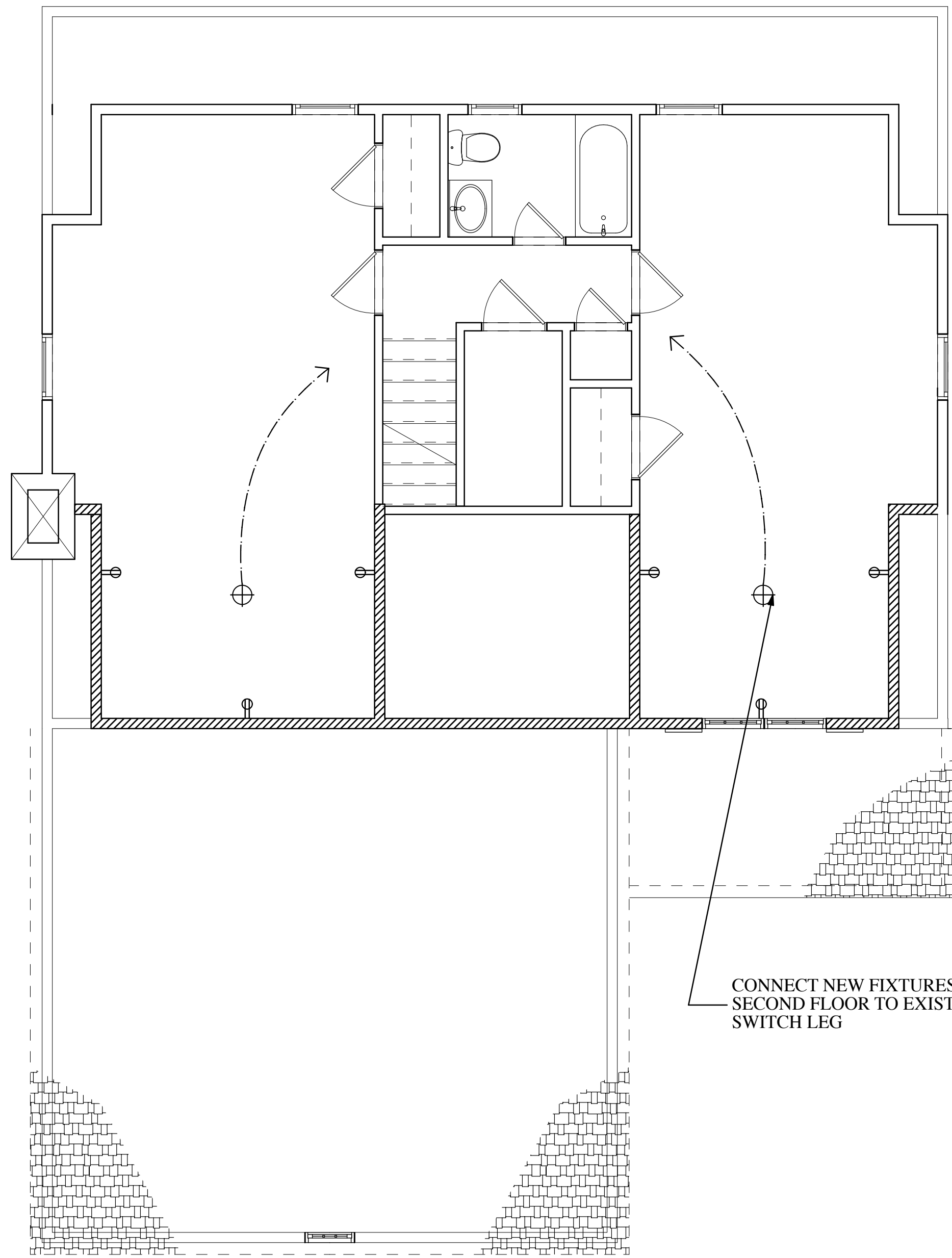




B
A.013 **FIRST FLOOR ELECTRICAL PLAN**
SCALE: 1/4" = 1' - 0"

A MINIMUM OF 75% OF THE LAMPS ARE REQUIRED TO BE HIGH EFFICACY.

RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS MEETING ASTM E-283 WHEN TESTED AT 1.57 PSF AND NO MORE THAN 2.0CFM OF AIR MOVEMENT FROM THE CONDITIONED SPACE TO THE CEILING CAVITY.



B
A.013 **SECOND FLOOR ELECTRICAL PLAN**
SCALE: 1/4" = 1' - 0"

CONNECT NEW FIXTURES AT SECOND FLOOR TO EXISTING SWITCH LEG

ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK TO BE PERFORMED BY A LICENSED ELECTRICIAN.
2. ELECTRICAL CONTRACTOR TO FINALIZE LAYOUT WITH ARCHITECT/ENGINEER PRIOR TO INSTALLATION.
3. ELECTRICAL CONTRACTOR LAYOUT FIXTURES WITH STRINGLINES AND NOTIFY ARCHITECT/ENGINEER OF ANY OBSTRUCTIONS PRIOR TO INSTALLATION TO MINIMIZE DAMAGE TO FRAMING AND/OR BLOCKING.
4. ALL ELECTRICAL OUTLETS, SWITCHES AND COVER PLATES TO BE COLOR WHITE, UNLESS OTHERWISE NOTED.
5. ALL LIGHT SWITCHES TO BE MOUNTED AT 44" ABOVE FINISHED FLOOR TO CENTERLINE OF THE ELECTRICAL BOX.
6. ALL ELECTRICAL OUTLETS TO BE MOUNTED AT 15" ABOVE FINISHED FLOOR TO THE CENTERLINE OF THE ELECTRICAL BOX, UNLESS OTHERWISE NOTED ON ELECTRICAL PLAN.
7. ALL ELECTRICAL WIRING AND ASSOCIATED ACCESSORIES TO BE INSTALLED AS PER LOCAL AND STATE CODES.
8. ELECTRICAL CONTRACTOR SHALL PROVIDE WIRING FOR MECHANICAL SYSTEMS CONDENSER UNITS, G.C. & ELECTRICIAN SHALL COORDINATE WITH MECHANICAL CONTRACTOR.
9. ELECTRICAL CONTRACTOR SHALL PROVIDE POWER AND FIXTURES TO BASEMENT AREA AS PER CODE.
10. ELECTRICAL CONTRACTOR SHALL INSTALL REQUIRED WIRING AND SMOKE DETECTORS AND CARBON MONOXIDE DEVICES THROUGH OUT HOUSE AS REQUIRED PER CODE.
11. ELECTRICAL CONTRACTOR TO DETERMINE AND VERIFY ANY LOCATIONS FOR COMMUNICATIONS AND/OR INTERNET ACCESS.

LIGHTING AND ELECTRICAL LEGEND					
§	LEVITON LIGHT SWITCH TYPE: DECORA COLOR: WHITE	⊕	LEVITON DEDICATED DUPLEX OUTLET TYPE: DECORA COLOR: WHITE	⊕	EXTERIOR LIGHT FIXTURE SPEC. TO FOLLOW
F ₀	LEVITON SLIDE DIMMER SWITCH TYPE: DECORA COLOR: WHITE	⊕	LEVITON TELEPHONE JACK TYPE: DECORA COLOR: WHITE	⊕	FLUSH MOUNTED FLOOR OUTLET COLOR: T&B
F ₁	LEVITON LIGHT SWITCH (3-WAY) TYPE: DECORA COLOR: WHITE	⊕	LEVITON CATV JACK TYPE: DECORA COLOR: WHITE	⊕	FLUSH FLOOR MOUNTED PHONE JACK COLOR: T&B
F ₂₀	LEVITON SLIDE DIMMER SWITCH (3-WAY) TYPE: DECORA COLOR: WHITE	⊕	LEVITON KELLING LAMP HOLDER PORCELAIN	⊕	HALO WALL WASHER DOWN LIGHT COLOR: WHITE
F ₁	LEVITON LIGHT SWITCH (4-WAY) TYPE: DECORA COLOR: WHITE	⊕	HALO RECESSED DOWN LIGHTS 4" DIAMETER PARAFITURE TRIM RING COLOR: WHITE	⊕	CENTRAL VACUUM SYSTEM POWER OUTLETS, SEE SPEC. FOR MANUFACTURER
F ₂₀	LEVITON SLIDE DIMMER SWITCH (4-WAY) TYPE: DECORA COLOR: WHITE	⊕	HALO RECESSED WEATHER PROOF DOWN LIGHTS WITH 4" APERTURE TRIM RING COLOR: WHITE	⊕	ALARM SYSTEM KEYPADS, SEE SPEC. FOR MANUFACTURER
⊕	LEVITON DUPLEX OUTLET TYPE: DECORA COLOR: WHITE	⊕	WAXTY LIGHT FIXTURE	⊕	PRODUCT LIGHT STYLE LIGHT FIXTURE
⊕	LEVITON DUPLEX GFCI OUTLET TYPE: DECORA COLOR: WHITE	⊕	HALO RECESSED SHOWER LIGHT FIXTURE, COLOR: WHITE	⊕	INDICATES LIGHT DETECTOR
		⊕	BATHROOM RECESSED SHOWER TRAY GRILL COLOR: WHITE	⊕	INDICATES SMOKE DETECTOR



Jonathan Villani & Assoc. Inc.
15 Independence Street
White Plains, N.Y., 10606
P 914-575-1071
jmvarch@gmail.com

Annunziata & Villani
Design Consultants, Inc.
15 Independence Street
White Plains, N.Y., 10606
P 914-575-1071
jmvarch@gmail.com

PROJECT
**DOUGLAS RESIDENCE
ADDITION AND ALTERATIONS TO EXISTING
STRUCTURE
15 LAKEVIEW DRIVE N
WHITE PLAINS, NEW YORK, 10603**

NO.	ISSUE	DATE
1.	ORIGINAL	9/30/20
2.	REVISION	9/30/20
3.	REVISION	
4.	REVISION	
5.	REVISION	
6.	REVISION	
7.	REVISION	
8.	REVISION	

IN ASSOCIATION WITH:
John J. Annunziata, P.E.
24 Chesley Road
White Plains, N.Y., 10605
P-914-949-0270
F-914-428-6235

SCALE:	DATE:	PROJECT NO.:
AS NOTED	9/30/20	
DRAWN BY: JV	CHECKED BY:	APPROVED BY:
DRAWING TITLE: ELECTRICAL PLANS		

DRAWING NO.:
A.013





TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 15 LAKEVIEW DR. N, White Plains NY 10603

Section III- DESCRIPTION OF WORK:

One story addition to existing one-family dwelling. No
change in use or occupancy

Section III- CONTACT INFORMATION:

APPLICANT: JONATHAN V. VARCHI
ADDRESS: 15 Independence St., White Plains NY 10606
PHONE: 914-575-1071 MOBILE: 914-437-8729 EMAIL: jmvarch@gmail.com

PROPERTY OWNER: Deborah Douglass
ADDRESS: 15 LAKEVIEW DR. N, White Plains, NY 10603
PHONE: 914-473-0545 MOBILE: n/a EMAIL: jmvarch@gmail.com

PROFESSIONAL: John J. Annunziata P.E.
ADDRESS: 24 Chesley Rd, White Plains NY 10605
PHONE: 914-949-0270 MOBILE: 914-575-1071
EMAIL: jmvarch@gmail.com

Section IV- PROPERTY INFORMATION:

Zone: R-5 Tax ID (lot designation) 122.16 - 4 - 16



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Douglass Residence
 Initial Submittal Revised Preliminary

Street Location:

15 LAKEVIEW DR. N., White Plains NY 10603

Zoning District: R-5 Property Acreage: 8,712 SF Tax Map Parcel ID: 122.16-4-16

Date: 11/23/20

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Douglas Residence Date: 11/23/20

Tax Map Designation or Proposed Lot No.: 122.16 - 4 - 16

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 8,712 SF
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 2,500 SF
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
.7 x 10 = 7 7
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 3,613.6 SF
5. Amount of lot area covered by **principal building**:
1,620 SF existing + 0 proposed = 1,620 SF
6. Amount of lot area covered by **accessory buildings**:
47 SF existing + -47 SF proposed = 0 SF
7. Amount of lot area covered by **decks**:
0 SF existing + 81 SF proposed = 81 SF
8. Amount of lot area covered by **porches**:
0 SF existing + 0 SF proposed = 0 SF
9. Amount of lot area covered by **driveway, parking areas and walkways**:
1,796 SF existing + -60 SF proposed = 1,736 SF
10. Amount of lot area covered by **terraces**:
0 SF existing + 0 SF proposed = 0 SF
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 SF existing + 0 SF proposed = 0 SF
12. Amount of lot area covered by **all other structures**:
0 SF existing + 0 SF proposed = 0 SF
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 3,437 SF

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



11/23/20
 Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

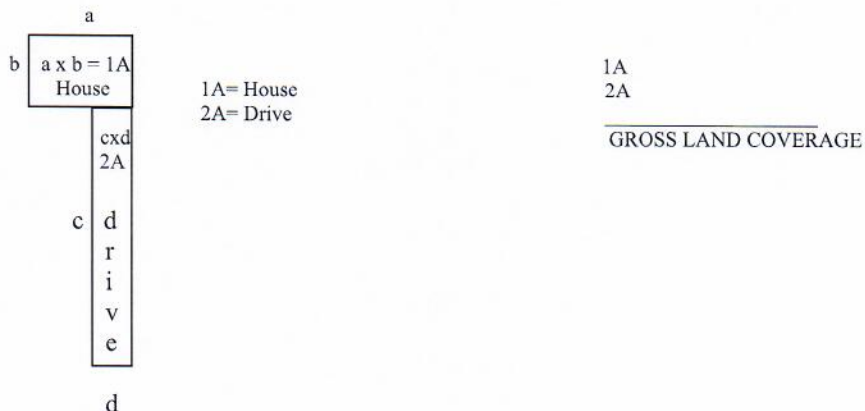
PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
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GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
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FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Douglass Residence Date: 11/23/20
 Tax Map Designation or Proposed Lot No.: 122016-4-16

Floor Area

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): 8,712SF
2. **Maximum** permitted floor area (per Section 355-26.B(4)): 3,428SF
3. Amount of floor area contained within first floor:
 - 1,131SF existing + 454SF proposed = 1,585SF
4. Amount of floor area contained within second floor:
 - 634SF existing + 256SF proposed = 890SF
5. Amount of floor area contained within garage:
 - 451SF existing + 0SF proposed = 451SF
6. Amount of floor area contained within porches capable of being enclosed:
 - 0SF existing + 0SF proposed = 0SF
7. Amount of floor area contained within basement (if applicable – see definition):
 - 0SF existing + 0SF proposed = 0SF
8. Amount of floor area contained within attic (if applicable – see definition):
 - 0SF existing + 0SF proposed = 0SF
9. Amount of floor area contained within all accessory buildings:
 - 47SF existing + -47SF proposed = 0SF
10. Proposed floor area: Total of Lines 3 – 9 = 2,926SF

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

Date 11/23/20





TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

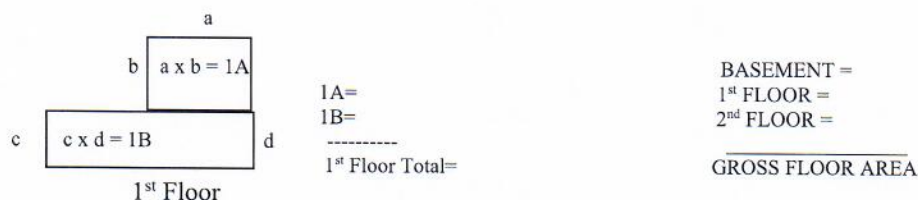
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www.northeastleny.com

GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings ¹ (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.