



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43
Fax: (914) 273-3554
www.northcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 5 Rockwood Place Armonk, NY

Section III- DESCRIPTION OF WORK:

To expand the first floor garage and add an Second floor addition over the entire first floor footprint.

Section III- CONTACT INFORMATION:

APPLICANT: Joseph & Jessica Angelillo

ADDRESS: 5 Rockwood Place Armonk, NY

PHONE: _____ MOBILE: _____ EMAIL: jangelillo1@gmail.com

PROPERTY OWNER: SAME AS APPLICANT

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: Joseph R. Crocco Architects

ADDRESS: 4 MacDonald Ave. Suite 5 Armonk, NY 10504

PHONE: 914-273-2774 MOBILE: 914-403-0453

EMAIL: chris@jrcarchitects.com

Section IV- PROPERTY INFORMATION:

Zone: R-10 Tax ID (lot designation) 107.02-4-73



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.

PROPOSED ADDITION FOR: ANGELILLO RESIDENCE AT: 5 ROCKWOOD PLACE ARMONK, NY

GENERAL NOTES

All work shall comply with the strictest requirements of the 2015 IBC and all applicable codes whether specifically stated or not.

All work shall conform with the strictest interpretation of State and Local codes, laws, rules and regulations of all authorities having jurisdiction over the project, whether specifically stated or not.

Where the contract, construction notes or drawings call for any work of a more stringent nature than that required by code or any other department having jurisdiction over the work, the work of the more stringent nature called for by the contract, construction notes or drawings shall be furnished.

The Contractor shall visit the site prior to submitting a bid. The Contractor will be responsible for the verification of all dimensions and conditions. All discrepancies shall be brought to the attention of the Architect before proceeding.

All drawings and notes are complimentary and what is called for by either will be binding as if called for by all. Any work shown or referred to on any one set of drawings shall be provided as though shown on all related drawings.

The drawings are not to be scaled at any time. Only written dimensions and notes are to be used. All dimensions are given to finishes. All dimensional discrepancies shall be immediately brought to the attention of the Architect. All dimensions shall be verified before starting work by the respective Contractor, who shall be held responsible for his phase of the work.

All "Plus-Minus" dimensions are provided in situations where existing conditions exist. Such dimensions shall be verified in the field by the Contractor.

All work listed on the construction notes sheets and shown or implied on all drawings shall be supplied and installed by the Contractor, unless otherwise noted.

The Contractor shall notify the Architect in writing immediately if he cannot comply with all notes contained within the Contract Documents.

The Contractor shall notify the Architect in writing immediately of any discrepancies between the drawings, the notes and field conditions before commencing any work to request clarification.

The Contractor shall be responsible for all damage to existing property as a result of his work, his workmanship and subcontractors. The Contractor shall provide adequate protection for his work, and shall be responsible for the same. The Contractor shall restore to original condition and existing element damaged as a result of his work.

Where a product is specified by a particular manufacturer, the Contractor shall furnish and install the product in accordance with the strictest specifications set forth by the manufacturer's best standards.

The General Conditions of the contract for construction of buildings, the Standard form of the American Institute of Architects (AIA), latest edition of Form A-201, inclusive as it pertains to this project, are part of these Contract Documents.

Work included in this contract shall be all labor, material and equipment required to complete the proposed construction as shown or implied in the Contract Documents. Work included in this contract shall be according to the true intent of these drawings and shall be first class in all respects.

The Contractor is responsible for all dimensions to be confirmed and correlated at the job site and for information that pertains to the fabrication process, and/or to techniques for construction and coordination of the work of all trades.

The Architect shall be the sole judge as to the adequacy of any work performed. The Architect shall have the right to order the removal of defective work and material, and its replacement, without any additional cost to the Owner.

All work to comply with governing State and Local Building Codes.

All plumbing to comply with governing State and Local Plumbing Codes.

All Electrical work to comply with governing National and Local Electrical Codes.

The Contractor shall assume full responsibility for the confirmation of actual field dimensions as they pertain to the fabrication and installation of any materials and/or equipment requiring such.

The General Contractor shall exercise strict control over job cleaning to prevent any debris, dust or dirt from leaving the job site and adjacent finished areas.

The Contractor shall properly protect all adjoining property or work or work or any damage to the same caused by his work or workmen must be made good without delay. Patching and and replacing or damaged work shall be done by the Contractor who is responsible for the damage.

The Contractor shall provide all necessary protection for his work until it is turned over to the Owner.

The Construction Drawings and/or notes are supplied to illustrate the design and general type of construction desired and are intended to imply the finest quality construction materials and craftsmanship throughout.

The Contractor, upon acceptance of these drawings, assumes full responsibility for the construction, materials and workmanship of the work described in these notes and drawings, and he will be expected to comply with the spirit, as well as with the letter in which they were written and drawn.

Controlled tests required by those having jurisdiction over the project shall be executed and paid for by the Contractor.

Demolition.

The general contractor shall furnish all labor and materials as required to complete demolition and removal of all items indicated on the architectural drawings as required to perform all contract work, or as otherwise directed by architect, inc.

The contractor is to acquaint himself with actual conditions at locations where alterations occur at the existing building, when walls, partitions and other work exists, where new work is indicated, all such existing work shall be removed, verify all such conditions at the site.

The contractor shall report to the architect any and all conditions which may interfere with or otherwise affect or prevent the proper execution and completion of the work of this contract.

The general contractor shall execute all work within the regulations of the building for demolition and removal of debris including overtime work required.

The general contractor shall at all times protect the property of the building owner, including but not limited to windows, floor and ceiling tile, public toilets, elevators, doors, bucks, electrical, air-conditioning equipment, peripheral enclosures, etc. (a temporary filter shall be installed on the return air duct above hung ceiling during demolition phase.)

The general contractor shall erect all necessary temporary solid or drop cloth/ plastic partitions to protect finished areas while demolition and/or construction is in progress, care and attention shall be paid by the general contractor so as to insure that no damage takes place to the surrounding job site installations.

The general contractor shall survey all existing finished surfaces to include corner beads, stops, etc. for chips, cracks, holes, damaged surfaces, marble watermarks and plaster ceiling wherever door bucks have been removed, and any other defects causing an appearance different from a new first class finished installation. These defective surfaces shall be repaired or, if beyond repairing, then the general contractor shall remove all existing and install new surfaces to the satisfaction of the tenant and architect.

The general contractor shall inspect all existing surfaces and where, as a result of demolition, finished surfaces do not align, the existing finish shall be chipped away, new corner beads and stops installed and resurfaced smooth, flush, aligned surface.

All damaged existing areas to remain and existing areas affected by demolition or new construction work shown on drawings shall be patched as required to match immediate existing adjacent areas in material, fire rating, finish and color, unless otherwise noted.

All defective plaster and/or finished surfaces on columns and existing walls shall be chipped out and/or patched free of all irregularities and shall match adjacent walls in finish and thickness.

All work demolished shall be removed from the premises except items to be reused or returned to the client or as otherwise directed.

In all areas where demolition (removal of tile, carpeting, locksets, partitions, etc.) causes an unevenness in slab, the contractor shall patch to level the slab to receive new finished flooring.

All exposed light fixtures, wiring switches, and metal mending not being reused shall be removed and either stored or carted away by the general contractor.

The general contractor shall furnish a system of temporary power and lights throughout the space under construction and demolition as required.

The general contractor shall remove to the source all wall conduits left after wall demolition, including switch boxes, plates, bridges, or any other telephone or electrical wiring or equipment.

The general contractor shall carefully remove existing wall covering as shown on the architectural drawings, finishing schedule and patch wall surface underneath as required to receive joint and/or new wall covering. The architect and tenant shall inspect and approve all patched surfaces prior to application of finish paint and/or new wall covering.

All "existing to remain," existing relocated, or new items installed by the general contractor, in addition to being amply protected throughout the period of construction, be thoroughly cleaned to the satisfaction of the architect prior to being turned over to the tenant.

All defective baseboards shall be removed, provide new to match.

Refer to drawings for removal and/or relocation if required of hvac ducts, sprinkler heads, diffusers, exit lights, etc.

Upon completion of demolition work, the general contractor shall provide that all areas be left broom clean.

A hazardous materials report has been conducted by the owner and any and all asbestos removal procedures shall be adhered to according to all local and state regulations concerning such.

The general contractor shall check and verify all dimensions and conditions at the job site and notify the architect and tenant of any discrepancies between drawings and field conditions before commencing any work in order to clarify these conditions.

Existing items on the job site (ie. light fixtures, furniture, etc.) not being reused shall be turned over to the tenant or as otherwise directed by the architect.

In all areas where demolition causes unevenness or voids in floor, the general contractor shall patch to level floor with existing slab and/or required surface to receive new finished floor.

Painting and Coatings.

The general contractor shall survey all existing finished surfaces to include corner beads, stops, etc. for chips, cracks, holes, damaged surfaces and any other surfaces and defects causing an appearance different from a new finished first-class installation. These defective surfaces shall be repaired, or if beyond repairing, then the general contractor shall remove existing and install new surfaces to the satisfaction of the Architect.

Construction:

Unless otherwise specified in these documents, all openings in wall shall receive (2)2x12 wood headers. This includes, but is not limited to, all doors and windows.

All walls and ceilings shall receive 1/2" thick, tapered edge gypsum wall board, except Bathrooms, which shall receive 1/2" thick moisture resistant wall board and/or 1/2" thick "Waterboard". In accordance with finishes selected by the Owner. Such variations shall be coordinated by the Contractor with the Owner.

All interior surfaces shall be taped three (3) times and sanded smooth for paint.

All windows, doors and transom spaces (i.e. openings without doors) shall receive a paint grade colonial wood trim as selected by the Owner, and approved by the Architect.

All interior walls and ceilings shall receive 1 coat of latex primer and two coats of latex flat finish base paint. Colors as selected by the Owner. Paint as manufactured by "Benjamin Moore", or approved equal.

All interior wood trim shall receive 1 coat of latex primer and 2 coats of latex semi-gloss flat finish trim paint. Colors as selected by the Owner. Paint as manufactured by "Benjamin Moore", or approved equal.

All exterior wood shall be painted. All surfaces shall receive 1 coat of exterior oil primer, and 2 coats of exterior oil house or trim paint. All surfaces shall receive a "White" finish. Paint as manufactured by "Benjamin Moore", or approved equal.

All existing exterior wood trim shall be painted. All surfaces shall receive 1 coat of exterior oil primer, and 2 coats of exterior oil house or trim paint. All surfaces shall receive a "White" finish. Paint as manufactured by "Benjamin Moore", or approved equal.

Windows shall be as manufactured by "Andersen Windows". Units as specified in the drawings. All new units shall be ordered with the appropriate grilles (as demonstrated in the drawings), insect screens, extension joints and standard hardware.

In accordance with the International Energy Code, all habitable spaces shall have a secondary opening for emergency egress use. The opening shall have a minimum clear opening area of no less than four (4) square feet, with no less than an eighteen (18) inch width clear opening. The bottom of the required opening shall be no higher than 3'-6" above the finished floor in all above grade stories, and no higher than 4'-6" above the finished floor, where required, in basement or cellar spaces.

All glazing on doors, fixed side panels adjoining doors, interior partitions, and where glazing extends to 10' or less of a floor level shall be tempered safety glass, and shall have window guards, if the unit is operable.

New asphalt roofing to shall match the existing in color in size. Contractor to submit sample to the Owner for their approval.

Insulation as manufactured by Owens Corning. Thickness as specified in drawings.

Unless otherwise noted, all dimensions for positions are from finish material-to-finish material.

All finishing shall be aluminum or copper, unless specified otherwise.

The new Construction depicted in these plans and specifications complies with the minimum standards of the New York State Energy Conservation Code.

Asbestos Removal.

The Architect shall not be responsible for the uncovering of, or identification thereof, any asbestos, asbestos-related materials, lead, fire paints or any other pollutants of any kind. The Architect is not responsible for the performance of any services in connection with or related to such materials, and the Contractor shall arrange an engineer to arrange for the prompt identification of, and the removal or treatment of such potentially harmful materials, and indemnify and hold the Architect and his consultants harmless from any claims, injuries or expenses incurred by Architect in any manner related to the existence of such materials on the project.

Ceiling/Floor Droptopping

Dropped ceiling below wood joists or attached directly to wood floor framing shall be droptopped with 1/2" drywall or 3/8" plywood at 1000 sq.ft. intervals and parallel to framing members.

Fireslopping

Fireslopping consisting of 2" lumber, minimum 23/32" structural panel or approved non-combustible materials shall be provided at the ceiling line in concealed spaces of stud walls/partitions, including furrow or studded-off spaces of concrete foundation walls and at soffits, dropped ceilings and similar spaces.

Smoke Detectors

AC powered, UL listed smoke detectors with battery backup shall be placed throughout the dwelling unit. All detectors within the dwelling shall be interconnected and hard wired so that the activation of any alarm will sound all alarms throughout the house.

Exception: Detector locations in existing areas shall not be required to be interconnected and hard wired where the alterations or repairs do not result in the removal of interior wall or ceiling finishes exposing the structure, unless there is an attic, crawl space, or basement available which could provide access for hard wiring and interconnection without the removal of interior finishes.

Smoke detectors shall be placed in the following locations:
Floor levels with bedrooms: A smoke detector is required in each bedroom and one centrally located detector is required outside of a group of bedrooms in the hall way.
Floor level without bedrooms: A smoke detector is required adjacent to the stair.

Carbon Monoxide Detectors

A carbon monoxide alarm shall be installed in each of the following locations:
Within 10 ft. of any bedroom and shall have a digital readout.
When more than one carbon monoxide alarm is required to be installed within an individual dwelling unit, the alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all sleeping areas over background noise levels with all intervening doors closed. Exception: Interconnection is not required where carbon monoxide alarms are permitted to be battery operated in accordance with section RR318.4.2.)

All carbon monoxide alarms shall be listed and labeled as complying with UL 2034 or CAN/CSA 6151 and shall be installed in accordance with the manufacturer's installation instructions and New York State Code.

JOSEPH R. CROCCO - ARCHITECT

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	
			WEATHERING	FROST LINE DEPTH	TERMITES				DECAY
30 PSF	120	C	SEVERE	3'-6"	MODERATE TO HEAVY	MODERATE TO SEVERE	7	YES	NO

CODE INFORMATION		
TYPE	APPLICABLE CODES	
ARCHITECTURAL	2020 RESIDENTIAL BUILDING CODE OF NYS	
MECHANICAL	2020 RESIDENTIAL BUILDING CODE OF NYS	
PLUMBING	2020 RESIDENTIAL BUILDING CODE OF NYS	
FIRE PROTECTION	2020 RESIDENTIAL BUILDING CODE OF NYS	
ELECTRICAL	2020 RESIDENTIAL BUILDING CODE OF NYS	
ENERGY	2020 RESIDENTIAL BUILDING CODE OF NYS	
CATEGORY	REQUIREMENT	REFERENCE
CLASSIFICATION OF WORK	ALTERATION - LEVEL 2	SECTION 405
OCCUPANCY CLASSIFICATION	GROUP R-3-SINGLE FAMILY	SECTION 310
CONSTRUCTION CLASSIFICATION	TYPE 5B - WOOD FRAME	SECTION 601

SYMBOLS LEGEND

INTERIOR WALL:
NEW 2x4 WOOD STUDS @ 16"OC, w/ 5/8" GYP. BD. EA. SIDE

EXTERIOR WALL:
NEW 2x6" HD. STUDS @ 16"OC, w/ R-21 BATT INSUL., 1/2" CDX PLYND SHEATHING, TYVEK, HARDI PLANK 1" AIR SPACE & 5/8" INT. GYP. BD. WALL FIN.

WALL TO BE REMOVED

NEW DOOR, NUMBER INDICATES WIDTH & HEIGHT

NEW CERAMIC TILE

NEW HARD WIRED OR BATT. CARBON MONOXIDE DETECTOR w/ DIGITAL READOUT

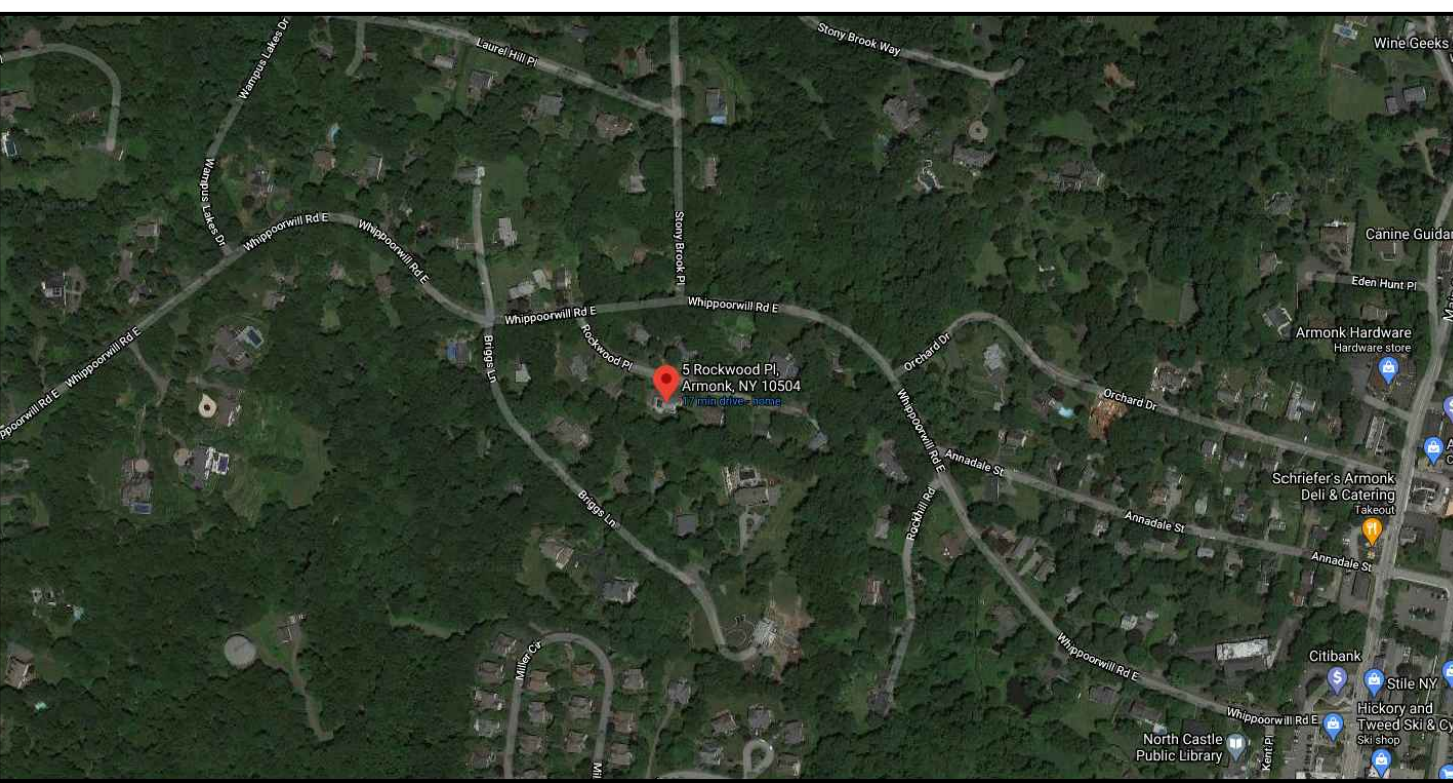
NEW HARD WIRED OR BATT. SMOKE DETECTOR

NEW HARD WIRED HEAT DETECTOR

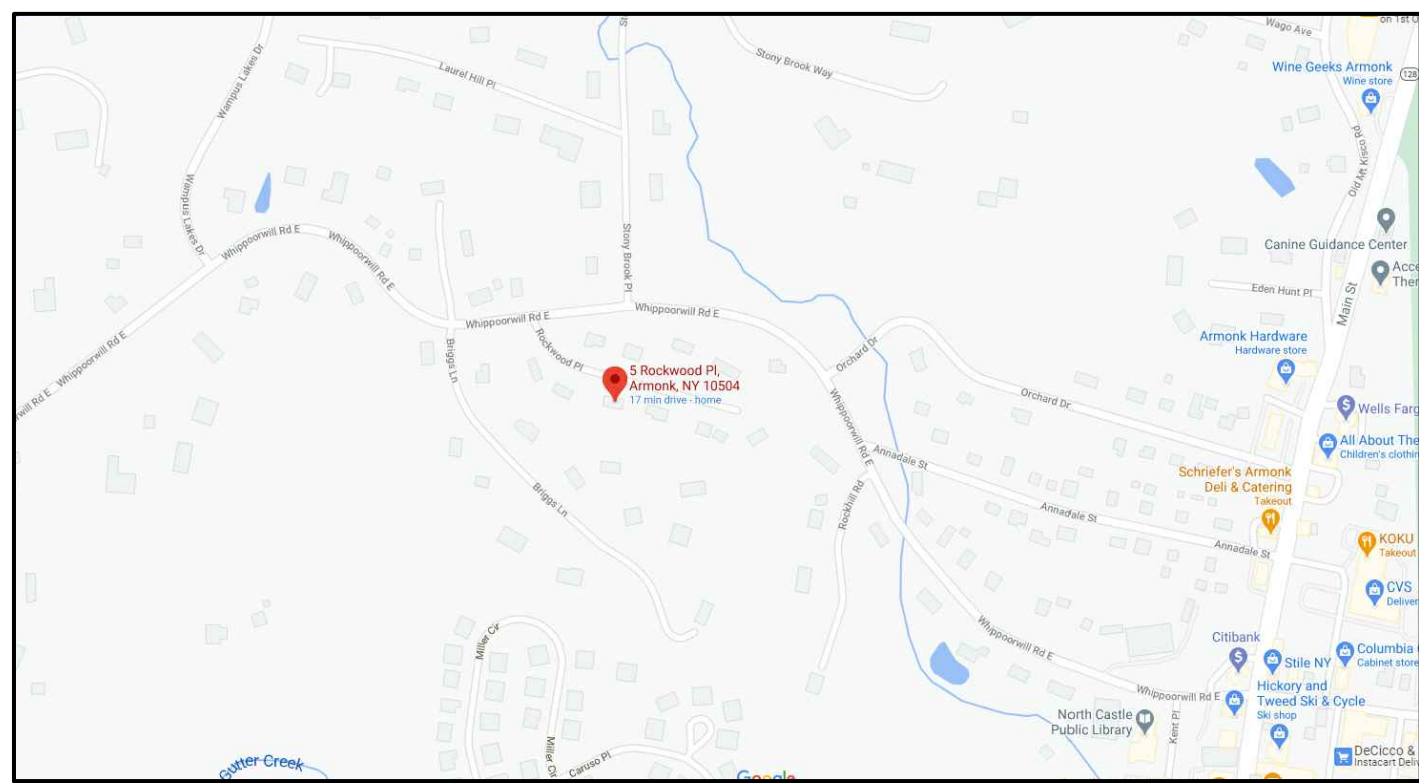
100 CFM EXHAUST FAN VENTED TO EXTERIOR

DESIGN FLOOR LOADS

FIRST FLOOR	40 LBS. LIVE LOAD
SECOND FLOOR	40 LBS. LIVE LOAD
ATTIC FLOOR	20 LBS. LIVE LOAD
ROOF	40 LBS. LIVE LOAD
DECK	40 LBS. LIVE LOAD



1 AERIAL VIEW
SCALE: N.T.S.



2 MAP VIEW
SCALE: N.T.S.

ALL DRAWINGS & WRITTEN MATL. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED W/O WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DWGS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

DO NOT SCALE DWGS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 2204(2) OF THE NEW YORK STATE EDUCATION LAW.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

FOR RPRC: 12.04.20
REVISION: DATE



**Joseph R. Crocco
architects**

new york connecticut new jersey massachusetts
4 macedonald avenue, suite 5
armonk, new york 10504
(914) 273-2774 fax: (914) 273-2776

**PROPOSED
ADDITION
FOR:
ANGELILLO
RESIDENCE**
5 ROCKWOOD PLACE
ARMONK, NY

Dwg. Name: **TITLE SHEET**

Project No:
2003 I

Sheet Number:
A-1

Date:
SEPT 10, 2020

ZONING CHART			
ZONE: R-10			
	REQUIRED	EXISTING	PROPOSED
LOT 50 FT.	10,000 S.F.	20,011 S.F.	NO CHANGE
FRONTAGE	100 FT	142.21 FT	NO CHANGE
WIDTH	100 FT	142.21 FT	NO CHANGE
DEPTH	100 FT	141.90 FT	NO CHANGE
SETBACKS:			
FRONT YARD	30 FT	43.44 FT	40.95 FT.
ONE SIDE YARD	15 FT	22.48 FT	NO CHANGE
TWO SIDE YARD	15 FT	42.48 FT	30.62 FT.
REAR YARD	30 FT	63.55 FT	62.48 FT.
MAX BUILDING COVERAGE			
	30%	4.6%	12.3%
BUILDING HEIGHT:			
STORIES	25	15	25
FEET	30'-0"	16'-6"	28'-5-1/4"

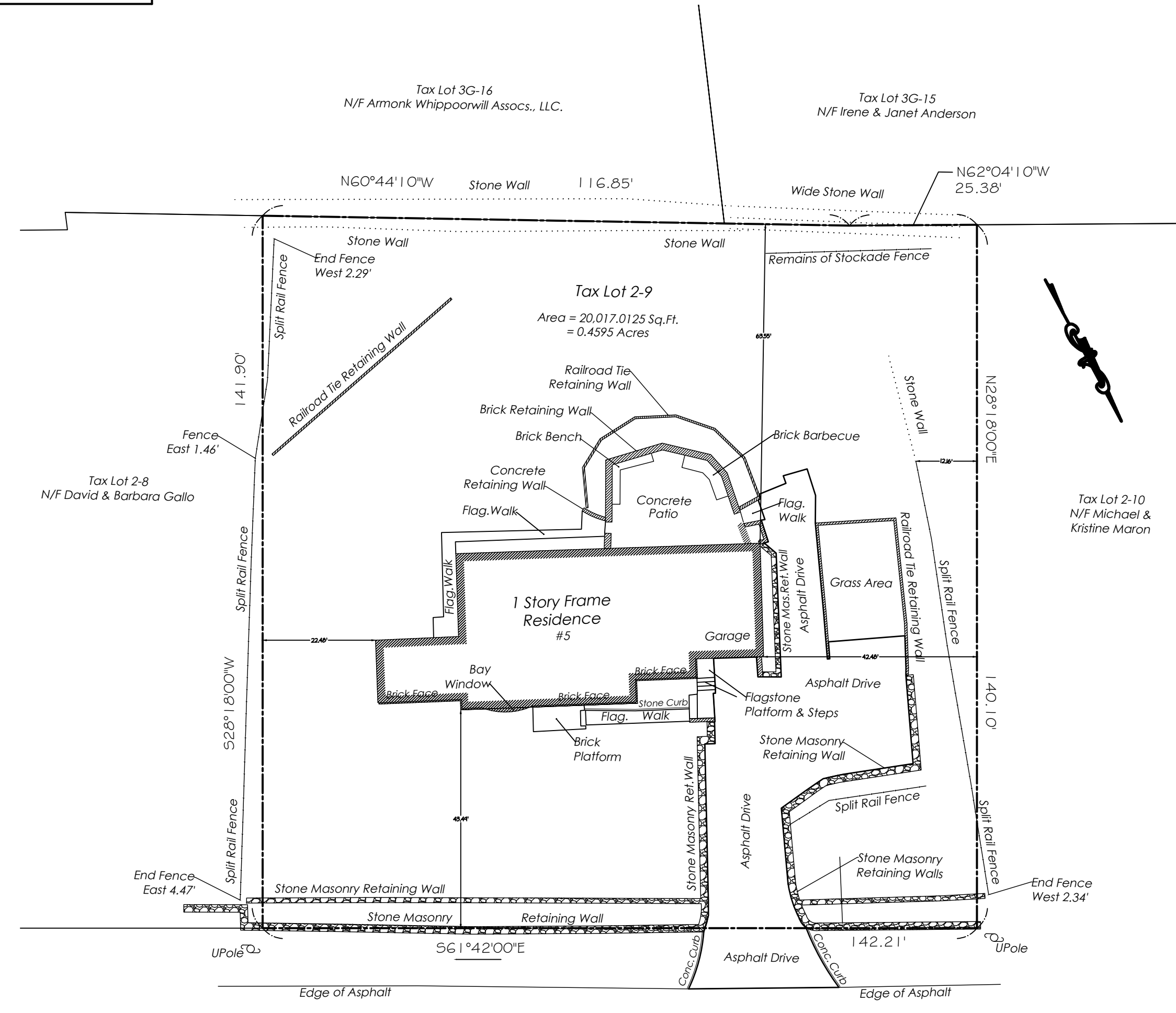
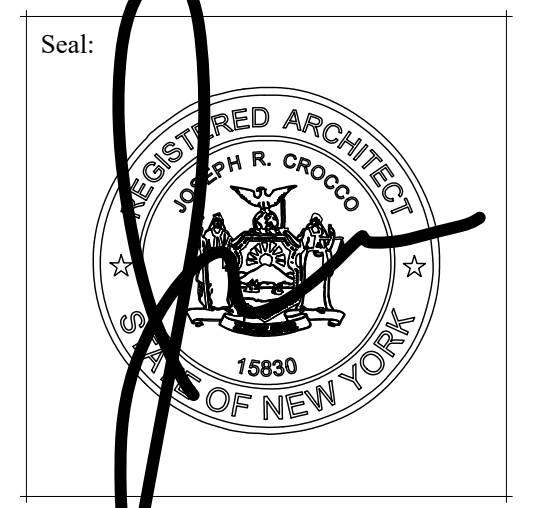
ALL DRAWINGS & WRITTEN MATL. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED W/O WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DWGS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

DO NOT SCALE DWGS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 1209(2) OF THE NEW YORK STATE EDUCATION LAW.

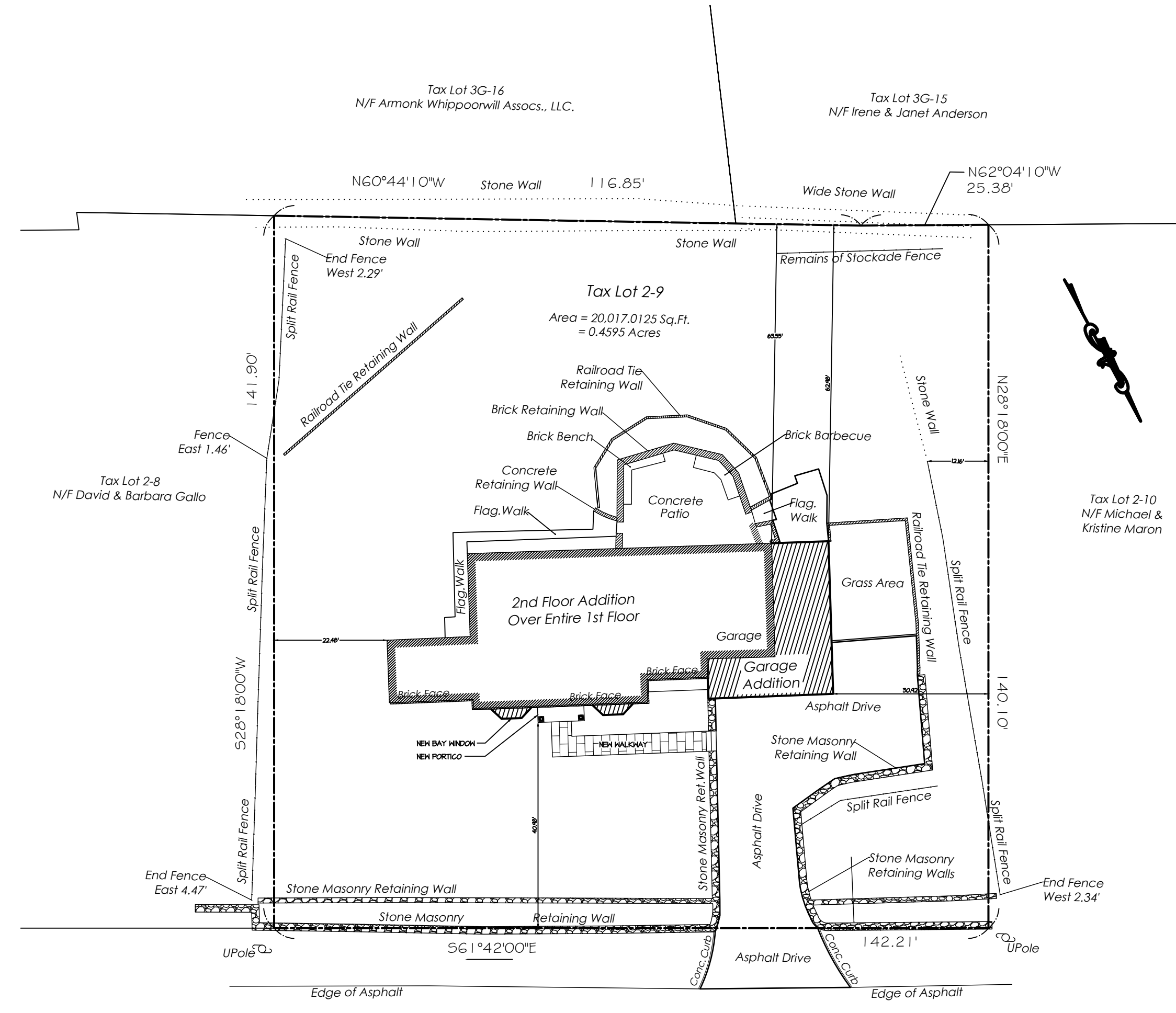
THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

FOR RPRC: 12.04.20
REVISION: DATE



ROCKWOOD PLACE

1 EXISTING SITE PLAN
SCALE: 1:20



ROCKWOOD PLACE

2 PROPOSED SITE PLAN
SCALE: 1:20

Joseph r. crocco architects
new york connecticut new jersey massachusetts
4 macedonald avenue, suite 5
armonk, new york 10604
(914) 273-2774 fax (914) 273-2776

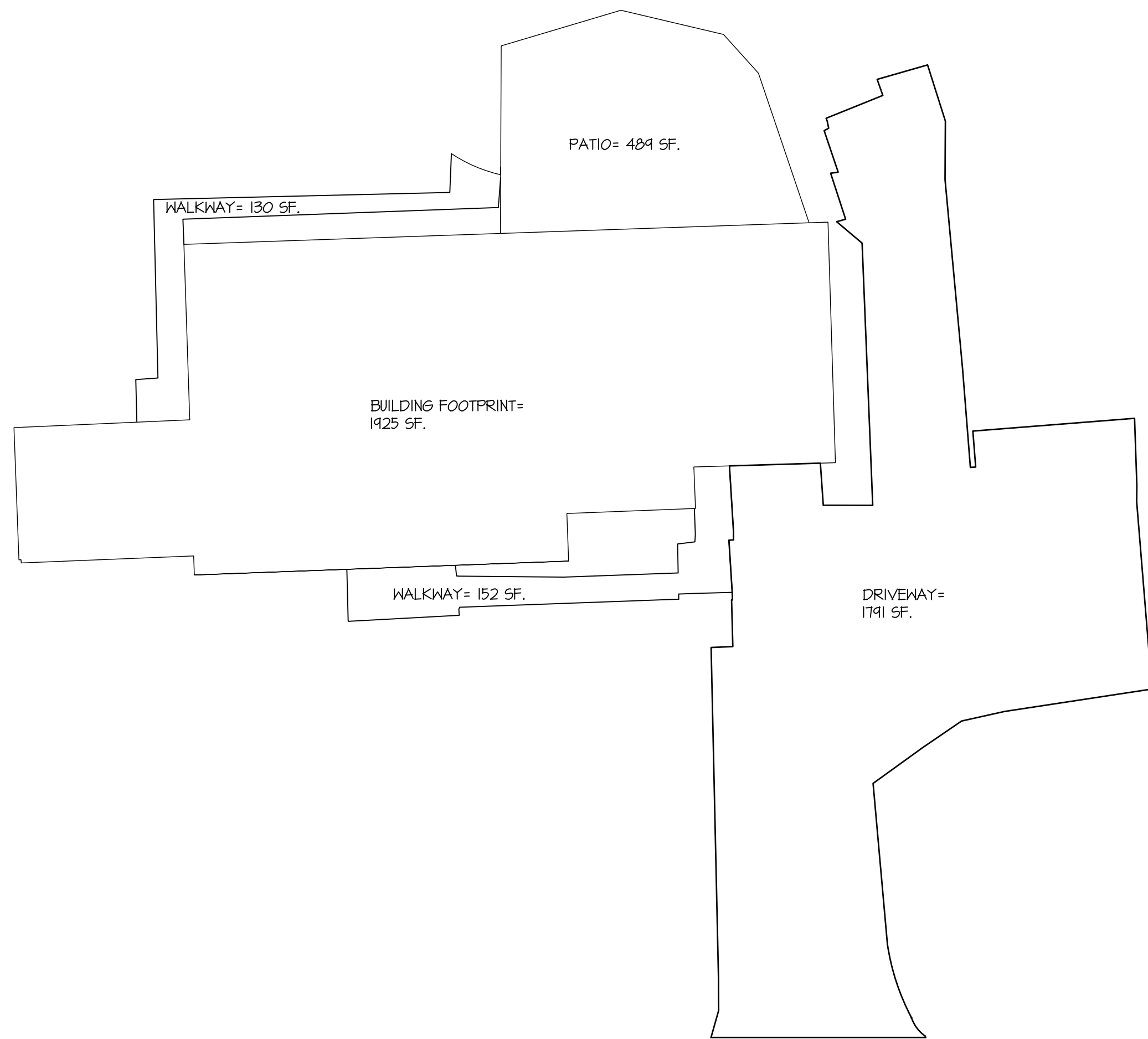
PROPOSED ADDITION FOR: ANGELILLO RESIDENCE
5 ROCKWOOD PLACE
ARMONK, NY

Dwg. Name: **SITE PLANS**

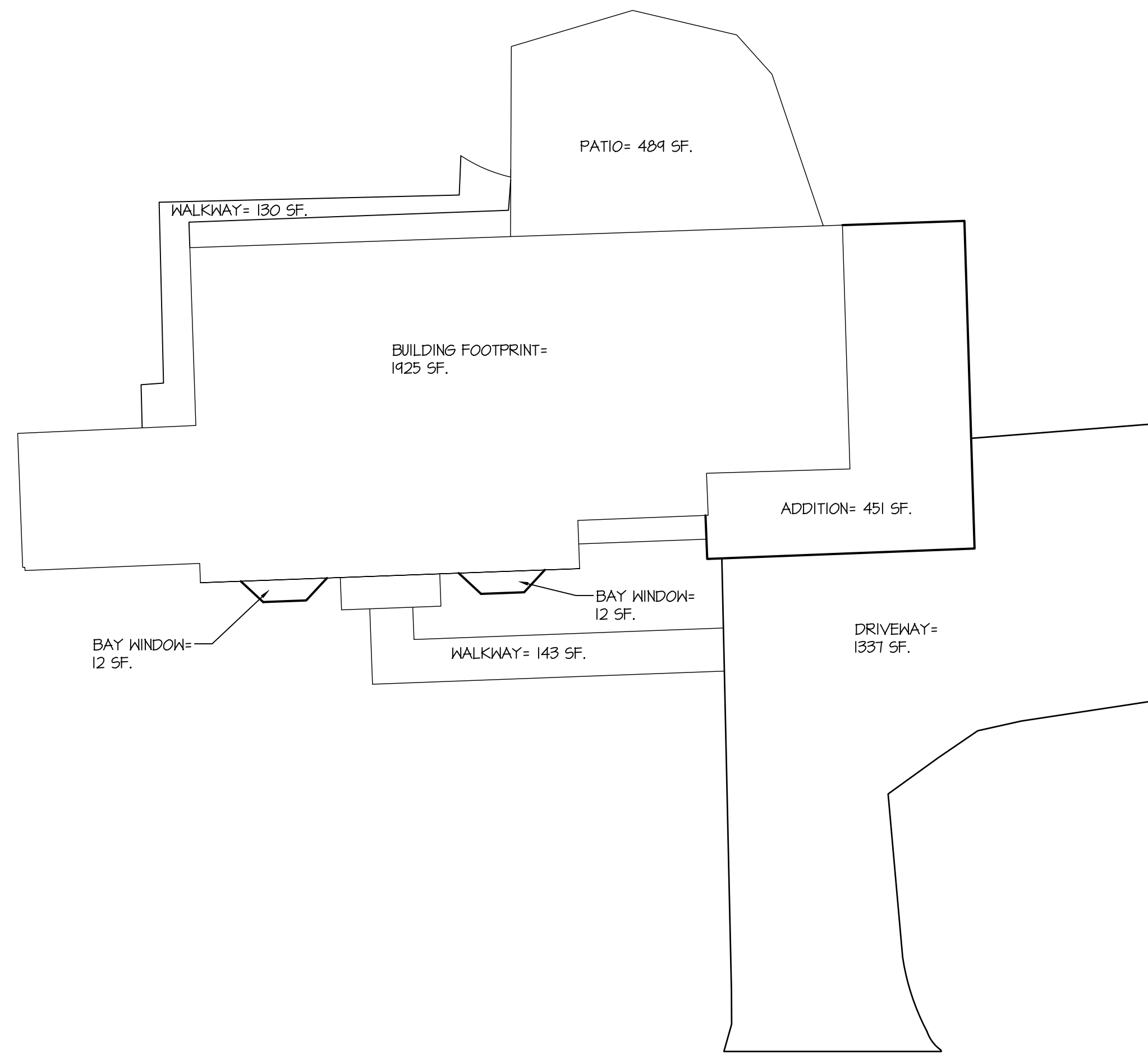
Project No: 20031

Sheet Number: **S-1**

Date: SEPT 10, 2020



1 EXISTING
S-2 SCALE: 1/10



2 PROPOSED
S-2 SCALE: 1/10

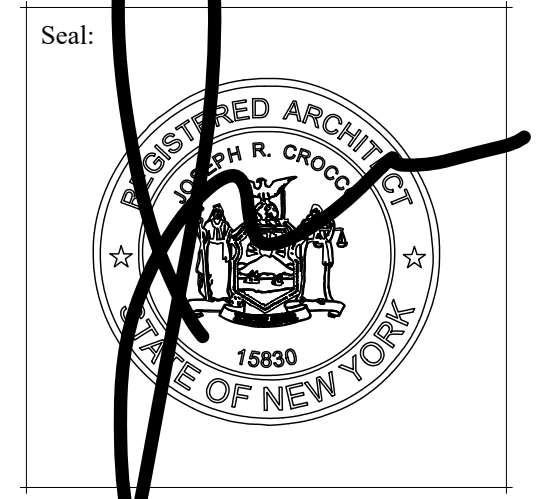
ALL DRAWINGS & WRITTEN MATL. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED W/O THE WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DWGS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

DO NOT SCALE DWGS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 1209(2) OF THE NEW YORK STATE EDUCATION LAW.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

FOR RPRC: 12.04.20
REVISION: DATE



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: ANGEILLO RESIDENCE Date: 12/04/20

Tax Map Designation or Proposed L. of No.: 107.02-4-T3

Gross Lot Coverage

1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	20017 SF.
2.	Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):	6103.06 SF.
3.	BONUS maximum gross land cover (per Section 355-26.C(1)(b)): Distance principal home is beyond minimum front yard setback 1040 SF. x 10 =	1040 SF.
4.	TOTAL Maximum Permitted gross land coverage= Sum of lines 2 and 3	6212.86 SF.
5.	Amount of lot area covered by principal building: 1425 SF. existing + 501 SF. proposed =	2426 SF.
6.	Amount of lot area covered by accessory buildings: 0 SF. existing + 0 SF. proposed =	0 SF.
7.	Amount of lot area covered by decks: 0 SF. existing + 0 SF. proposed =	0 SF.
8.	Amount of lot area covered by porches: 0 SF. existing + 20 SF. proposed =	20 SF.
9.	Amount of lot area covered by driveway, parking areas and walkways: 2073 SF. existing + -462 SF. proposed =	1610 SF.
10.	Amount of lot area covered by terraces: (PATIO) 484 SF. existing + 0 SF. proposed =	484 SF.
11.	Amount of lot area covered by tennis court, pool and mechanical equip: 0 SF. existing + 0 SF. proposed =	0 SF.
12.	Amount of lot area covered by all other structures: 0 SF. existing + 0 SF. proposed =	0 SF.
13.	Proposed gross land coverage: Total of Lines 5 - 12 =	4553 SF.

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature: [Signature] Seal of Professional Preparing Worksheet Date: 12/04/20

Joseph R. Crocco
architects
new york connecticut new jersey massachusetts
4 macedonald avenue, suite 5
armonk, new york 10504
(914) 273-2774 fax (914) 273-2776

PROPOSED
ADDITION
FOR:
ANGEILLO
RESIDENCE
5 ROCKWOOD PLACE
ARMONK, NY

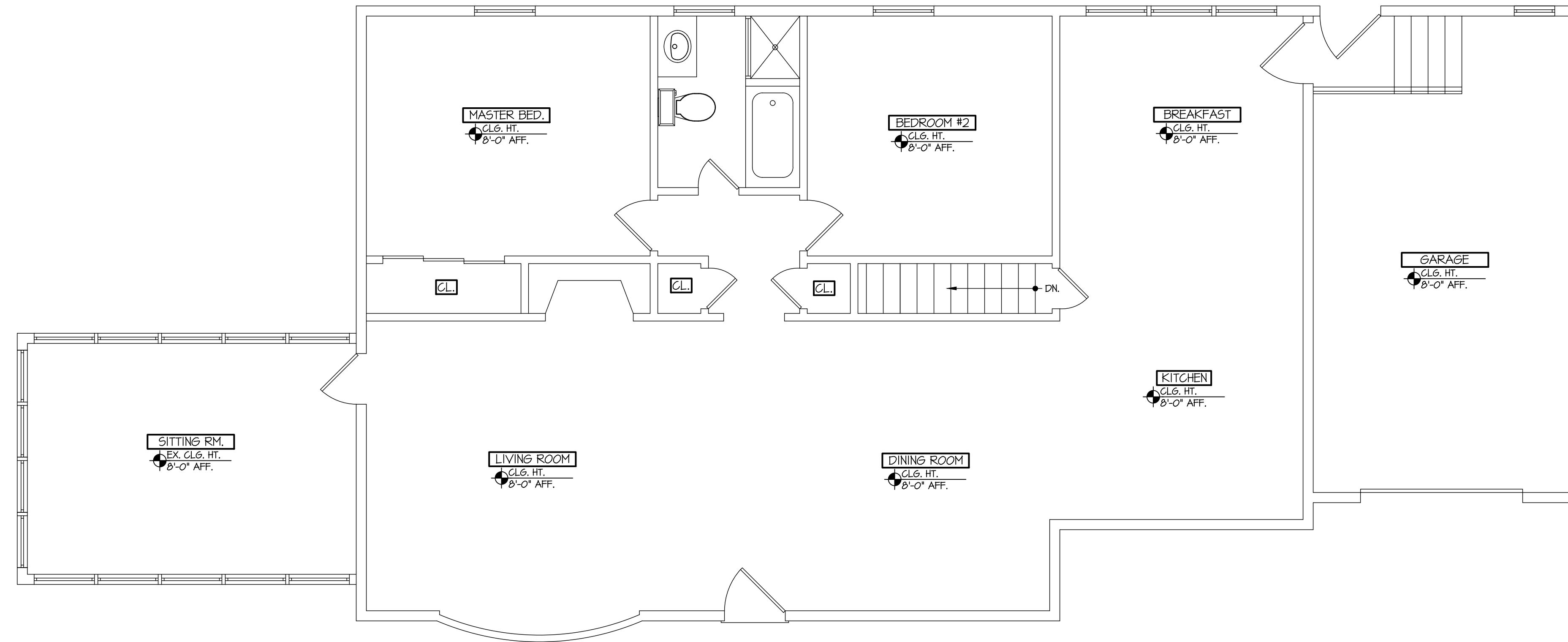
Dwg. Name: GROSS LAND COVERAGE WORKSHEET

Project No: 20031

Date: SEPT 10, 2020

Sheet Number:

S-2



1 EXISTING/DEMO BASEMENT FLOOR PLAN
 A-2 SCALE: 1/4"=1'-0"

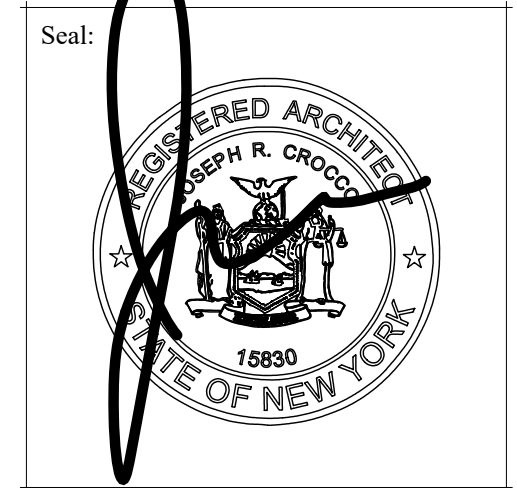
ALL DRAWINGS & WRITTEN MATL. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED W/O THE WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DWGS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

DO NOT SCALE DWGS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 1209(2) OF THE NEW YORK STATE EDUCATION LAW.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

FOR RPRC	12.04.20
REVISION	DATE



Joseph R. Crocco
architects

new york connecticut new jersey massachusetts
 4 macedonald avenue, suite 5
 armonk, new york 10504
 (914) 273-2774 fax (914) 273-2776

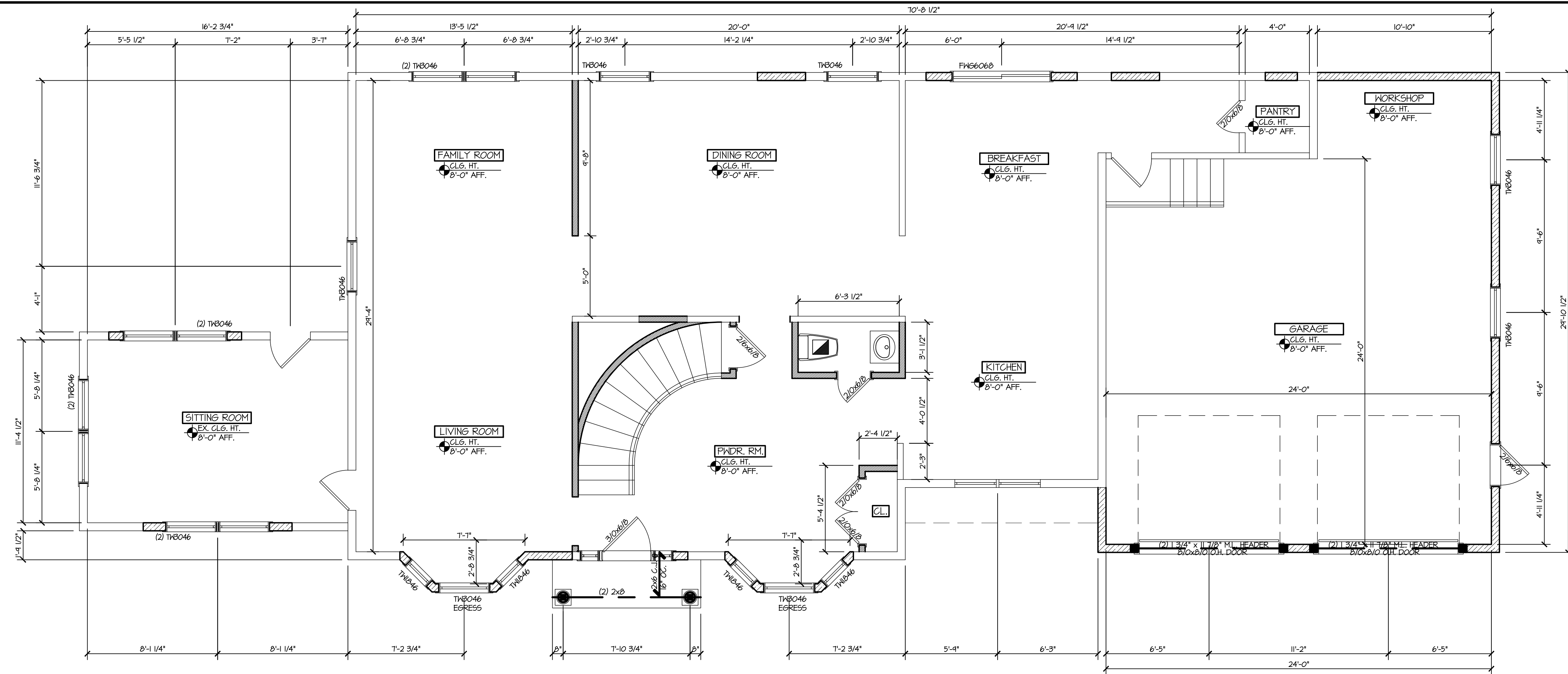
**PROPOSED
 ADDITION**
 FOR:
**ANGELILLO
 RESIDENCE**
 5 ROCKWOOD PLACE
 ARMONK, NY

Dwg. Name:
**EXISTING
 FLOOR PLAN**

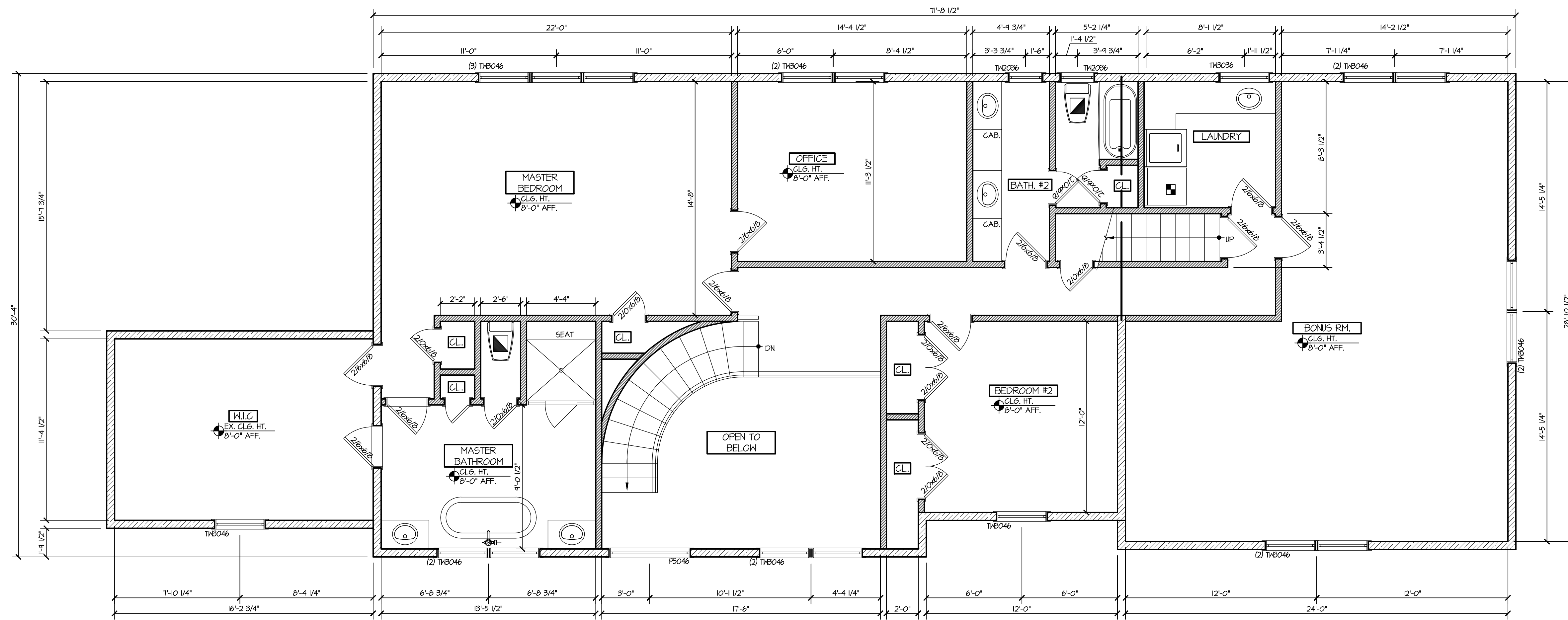
Project No:
 20031

Date:
 SEPT 10, 2020

Sheet Number:
A-2



1 PROPOSED FIRST FLOOR PLAN
A-3 SCALE: 1/4"=1'-0"



2 PROPOSED SECOND FLOOR PLAN
A-3 SCALE: 1/4"=1'-0"

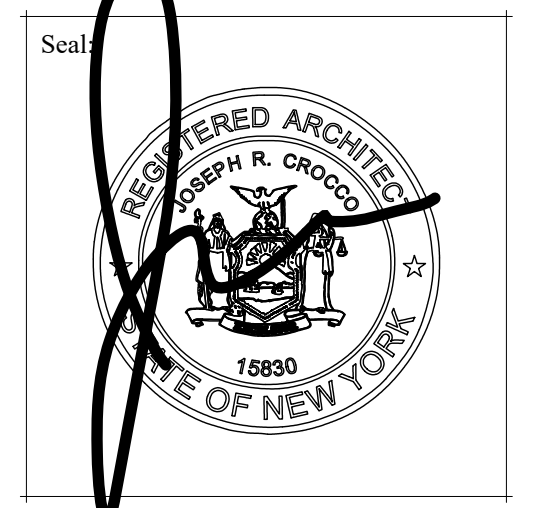
ALL DRAWINGS & WRITTEN MATL. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED W/O WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DWGS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

DO NOT SCALE DWGS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 2209(2) OF THE NEW YORK STATE EDUCATION LAW.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

FOR RPRC	12.04.20
REVISION	DATE



Joseph R. Crocco architects
 new york connecticut new jersey massachusetts
 4 macedonald avenue, suite 5
 armonk, new york 10604
 (914) 273-2774 fax (914) 273-2776

PROPOSED ADDITION
 FOR:
ANGELILLO RESIDENCE
 5 ROCKWOOD PLACE
 ARMONK, NY

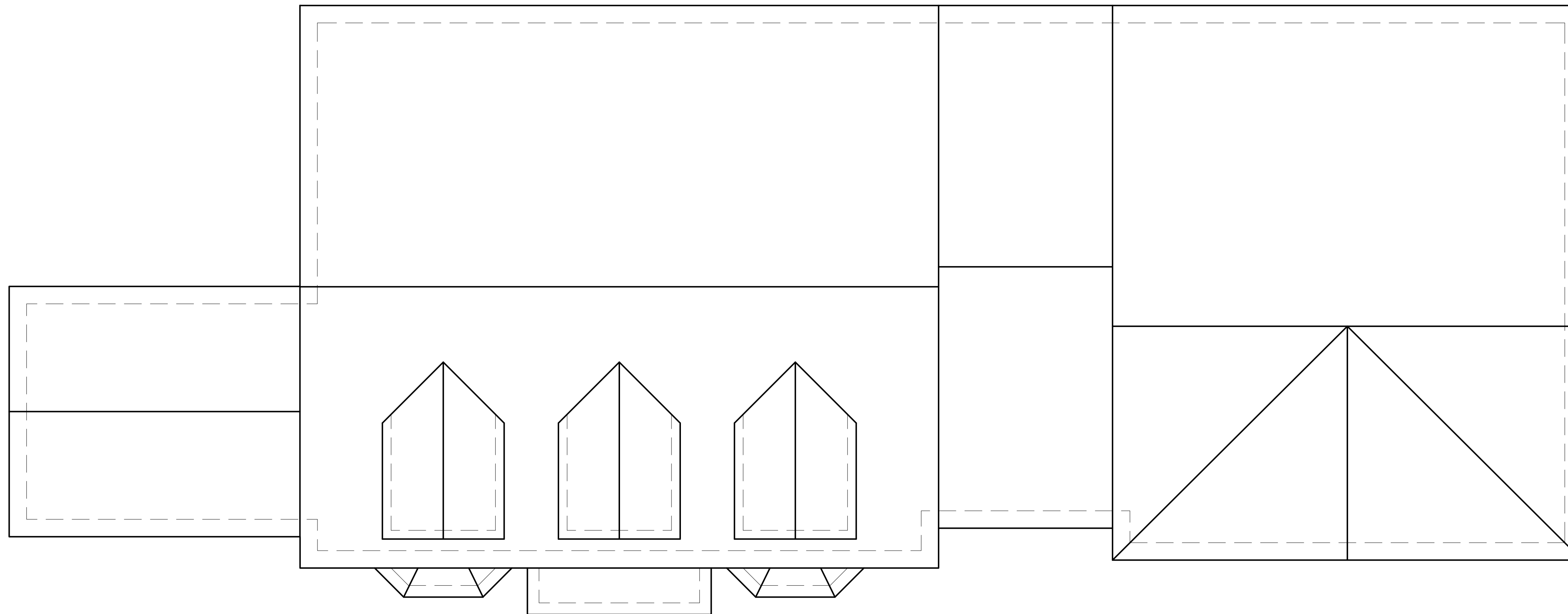
Dwg. Name: **PROPOSED FLOORPLANS**

Project No: 20031

Sheet Number:

Date: SEPT 10, 2020

A-3



1 ROOF PLAN
A-4 SCALE: 1/4"=1'-0"

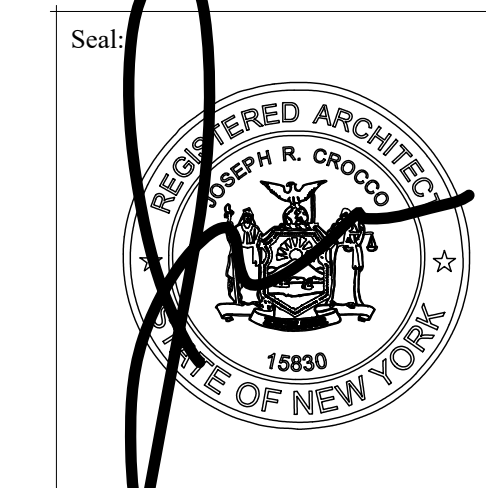
ALL DRAWINGS & WRITTEN MATL. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED W/OUT WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DWGS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

DO NOT SCALE DWGS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 1209(2) OF THE NEW YORK STATE EDUCATION LAW.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

FOR RPRC	12.04.20
REVISION	DATE



joseph r. crocco
architects

new york connecticut new jersey massachusetts
4 macedonald avenue, suite 5
armonk, new york 10504
(914) 273-2774 fax (914) 273-2776

**PROPOSED
ADDITION**
FOR:
**ANGELILLO
RESIDENCE**
5 ROCKWOOD PLACE
ARMONK, NY

Dwg. Name:
ROOF PLAN

Project No:
20031

Date:
SEPT 10, 2020

Sheet Number:
A-4



1 PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"

AZEK RAISED
PANEL
10" SQUARE
COLUMNS

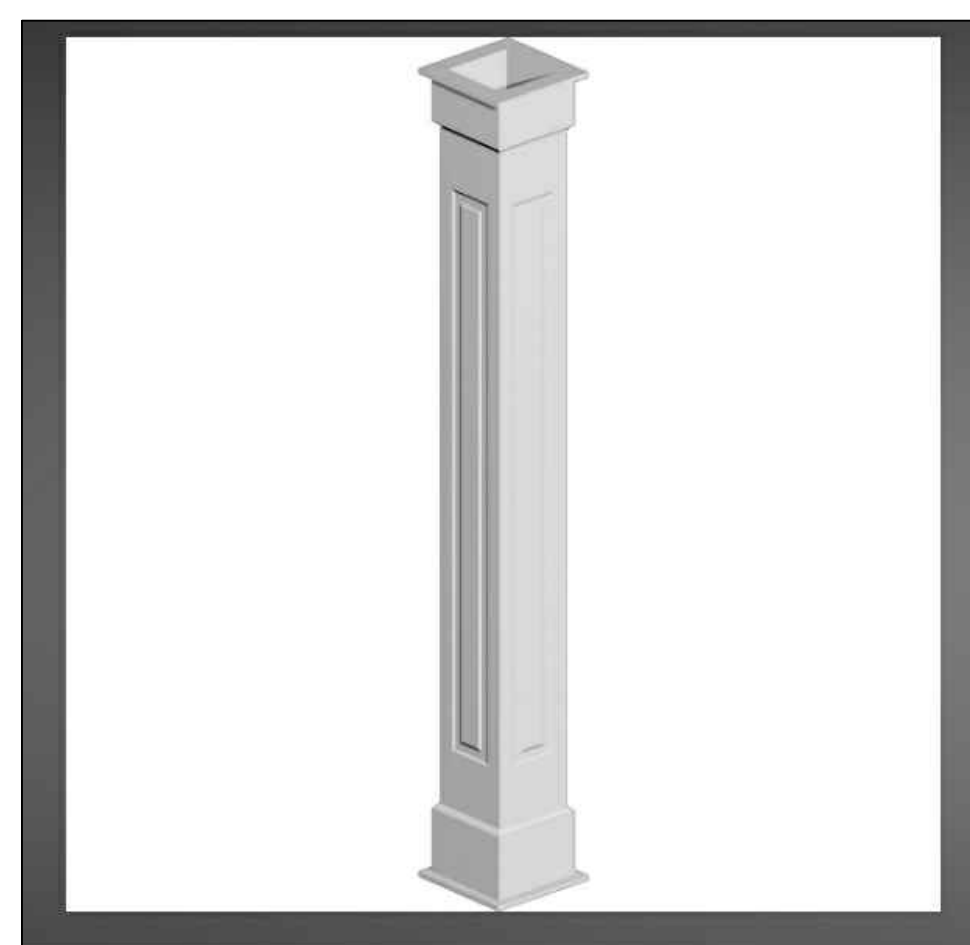
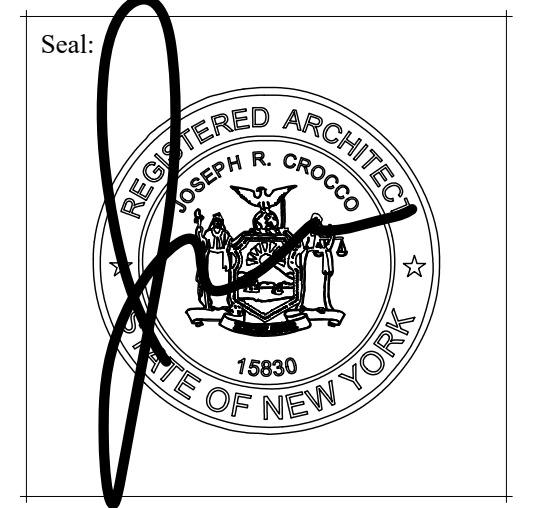
ALL DRAWINGS & WRITTEN MATL. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED W/O WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DWGS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

DO NOT SCALE DWGS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 1209(2) OF THE NEW YORK STATE EDUCATION LAW.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

FOR RPRC	12.04.20
REVISION	DATE



2 PROPOSED 12" SQUARE COLUMNS
A-5



3 PROPOSED CERTAINEEED LANDMARK PEWTERWOOD ROOF SHINGLES
A-5



Liberty Hill Square & Rectangle
Category: Thinstone
Tag: Square & Rectangle, Veneer

Enjoy the radiant colors and textures of O&G's natural Thinstone at half the weight of full bed veneers. Thinstone does not require a bearing shelf or foundation. A wide variety of cuts and colors is available. For increased flexibility in design and application thinstone may be the perfect option for your project.

4 PROPOSED STONE VENEER
A-5



SIDING COLORS

Pearl Gray

Colors shown may vary due to screen resolution. Please see actual product sample for true color.

5 PROPOSED HARDIE PLANK SHAKE PEARL GRAY SIDING
A-5

Joseph R. Crocco architects
new york connecticut new jersey massachusetts
4 macedonald avenue, suite 5
armonk, new york 10504
(914) 273-2774 fax (914) 273-2776

PROPOSED ADDITION
FOR:
ANGELILLO RESIDENCE
5 ROCKWOOD PLACE
ARMONK, NY

Dwg. Name: **MATERIALS**

Project No:
20031
Date:
SEPT 10, 2020

Sheet Number:
A-5



1 PROPOSED FRONT ELEVATION
A-6 SCALE: 1/4"=1'-0"

AZEK RAISED
PANEL
10" SQUARE
COLUMNS



2 EXISTING FRONT ELEVATION
A-6 SCALE: 1/4"=1'-0"

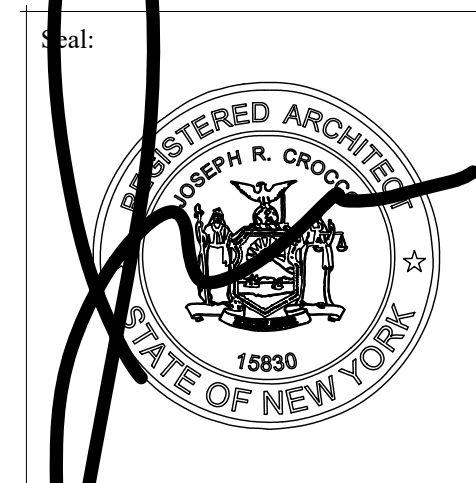
ALL DRAWINGS & WRITTEN MATL. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED W/O WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DWGS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

DO NOT SCALE DWGS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 2209(2) OF THE NEW YORK STATE EDUCATION LAW.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

FOR RPRC	12.04.20
REVISION	DATE



Joseph R. Crocco
architects

new york connecticut new jersey massachusetts
4 macedonald avenue, suite 5
armonk, new york 10504
(914) 273-2774 fax (914) 273-2776

**PROPOSED
ADDITION**
FOR:
**ANGELILLO
RESIDENCE**
5 ROCKWOOD PLACE
ARMONK, NY

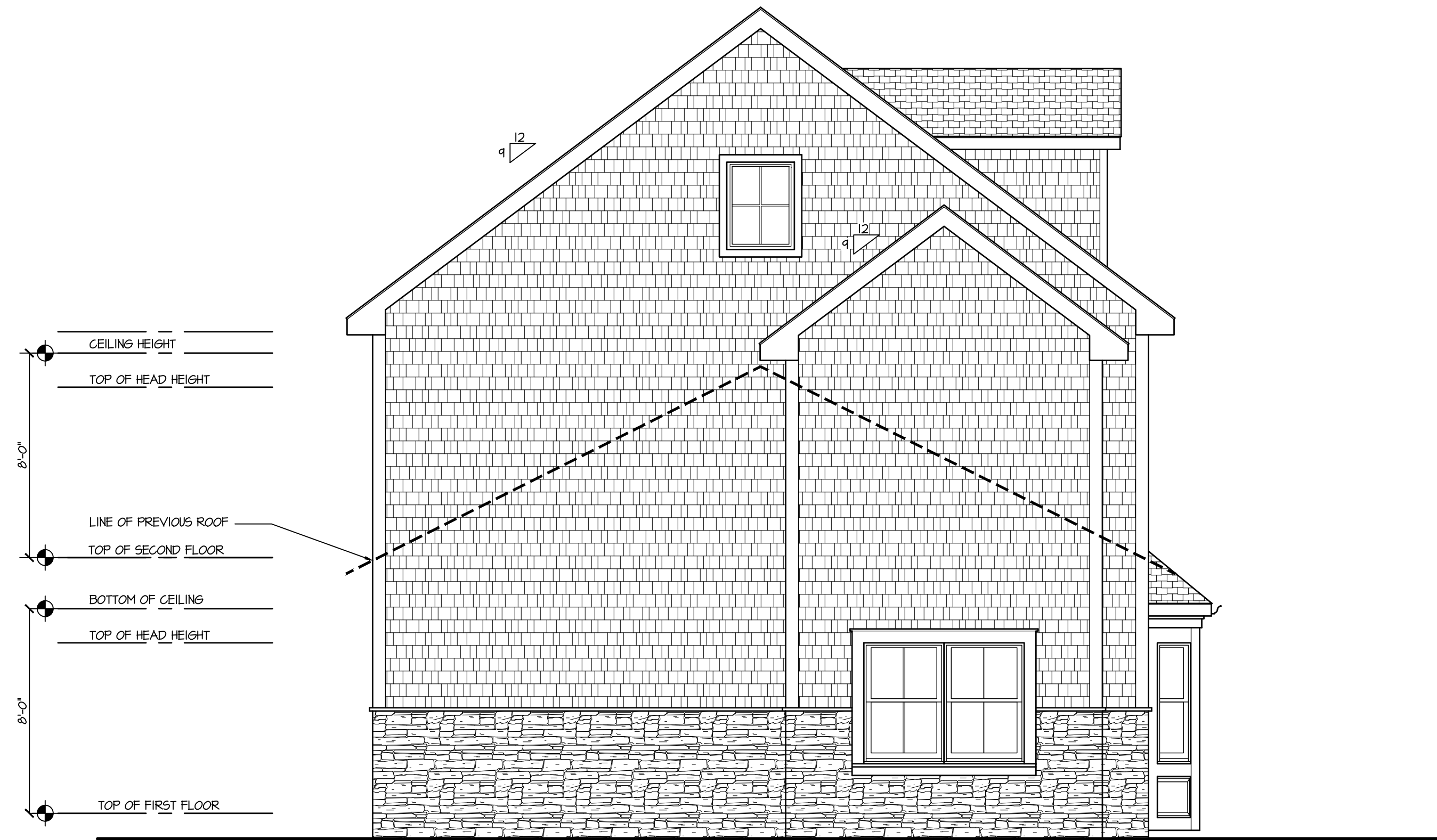
Dwg. Name: **FRONT
ELEVATION**

Project No:
20031

Date:
SEPT 10, 2020

Sheet Number:

A-6



1 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



2 EXISTING LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

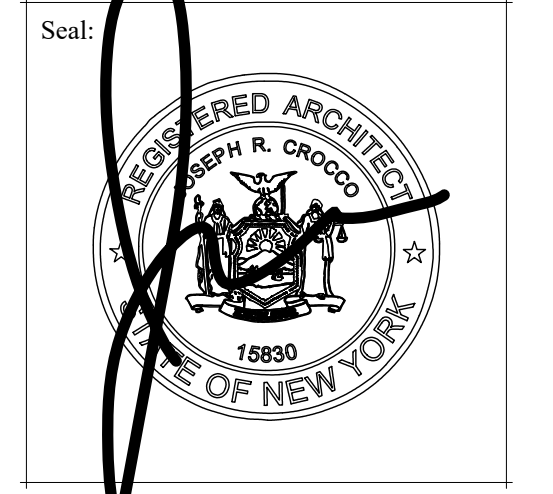
ALL DRAWINGS & WRITTEN MATL. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED W/O THE WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DWGS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

DO NOT SCALE DWGS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 1209(2) OF THE NEW YORK STATE EDUCATION LAW.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

FOR RPRC	12.04.20
REVISION	DATE



joseph r. crocco architects
 new york connecticut new jersey massachusetts
 4 macedonald avenue, suite 5
 armonk, new york 10504
 (914) 273-2774 fax (914) 273-2776

PROPOSED ADDITION
 FOR:
ANGELILLO RESIDENCE
 5 ROCKWOOD PLACE
 ARMONK, NY

Dwg. Name: **LEFT SIDE ELEVATION**

Project No:
20031
Date:
SEPT 10, 2020

Sheet Number:
A-7



1 PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



2 EXISTING RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

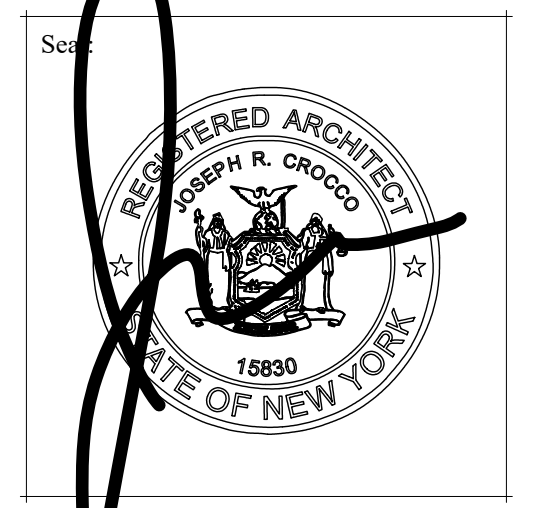
ALL DRAWINGS & WRITTEN MATL. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED W/OUT WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DWGS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

DO NOT SCALE DWGS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 1209(2) OF THE NEW YORK STATE EDUCATION LAW.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

FOR RPRC	12.04.20
REVISION	DATE



joseph r. crocco architects
 new york connecticut new jersey massachusetts
 4 macedonald avenue, suite 5
 armonk, new york 10504
 (914) 273-2774 fax (914) 273-2776

PROPOSED ADDITION
 FOR:
ANGELILLO RESIDENCE
 5 ROCKWOOD PLACE
 ARMONK, NY

Dwg. Name: **RIGHT SIDE ELEVATION**

Project No: 20031
 Date: SEPT 10, 2020

Sheet Number: **A-8**



1 PROPOSED REAR ELEVATION
SCALE: 1/4"=1'-0"



2 EXISTING REAR ELEVATION
SCALE: 1/4"=1'-0"

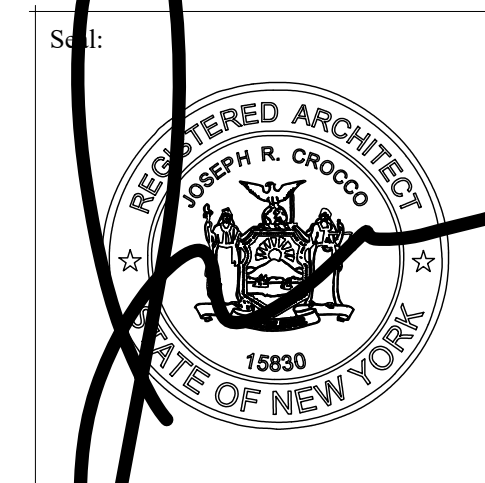
ALL DRAWINGS & WRITTEN MATL. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED W/O WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DWGS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

DO NOT SCALE DWGS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 1209(2) OF THE NEW YORK STATE EDUCATION LAW.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

FOR RPRC	12.04.20
REVISION	DATE



Joseph R. Crocco
architects

new york connecticut new jersey massachusetts
4 macedonald avenue, suite 5
armonk, new york 10604
(914) 273-2774 fax (914) 273-2776

**PROPOSED
ADDITION**
FOR:
**ANGELILLO
RESIDENCE**
5 ROCKWOOD PLACE
ARMONK, NY

Dwg. Name:
REAR ELEVATION

Project No:
20031

Date:
SEPT 10, 2020

Sheet Number:

A-9

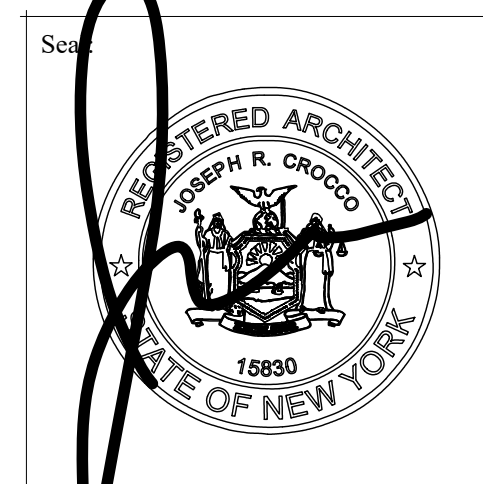
ALL DRAWINGS & WRITTEN MATL. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED W/O WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DWGS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

DO NOT SCALE DWGS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 1209(2) OF THE NEW YORK STATE EDUCATION LAW.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

FOR PERMIT 06.03.20
REVISION DATE

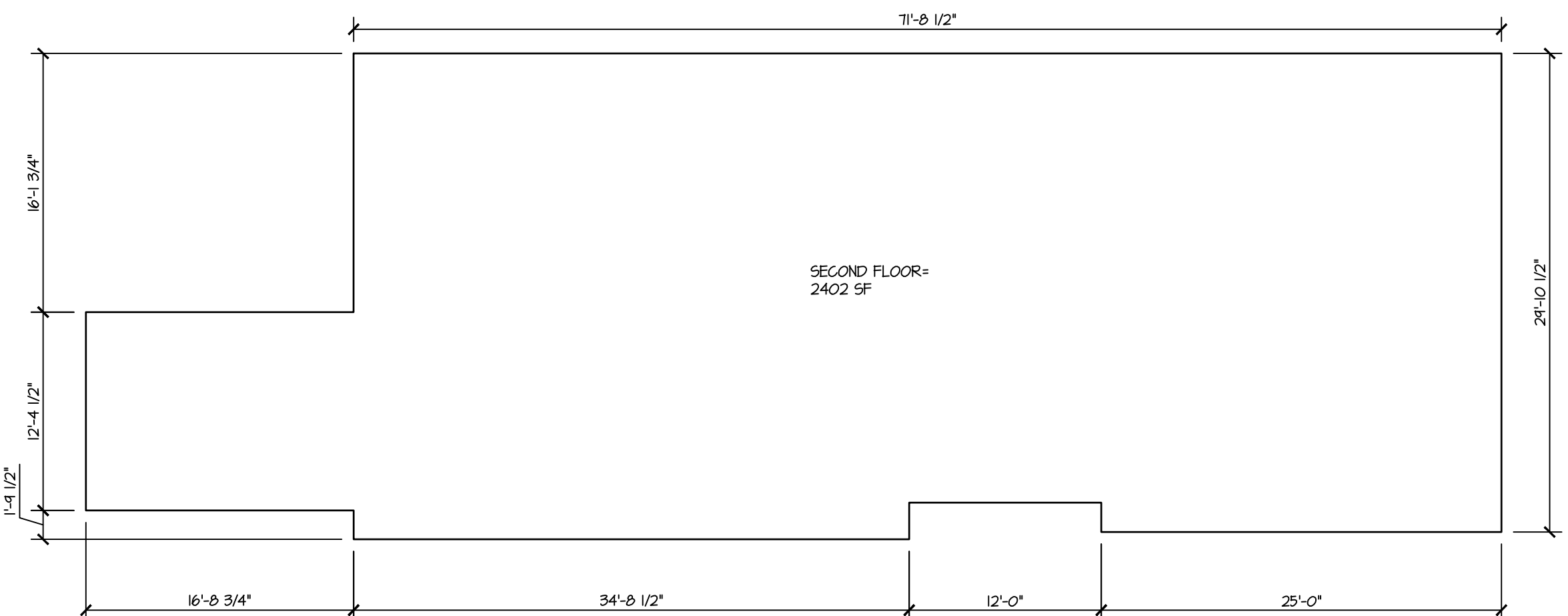
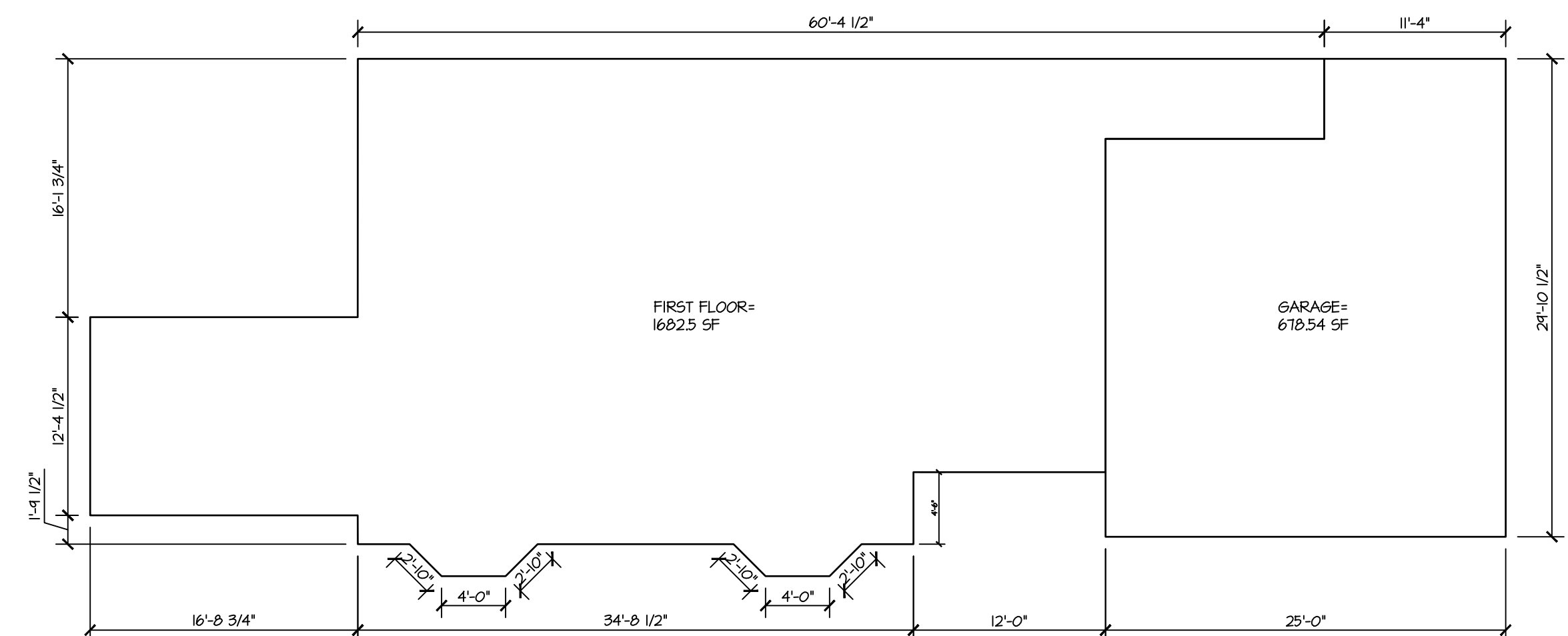
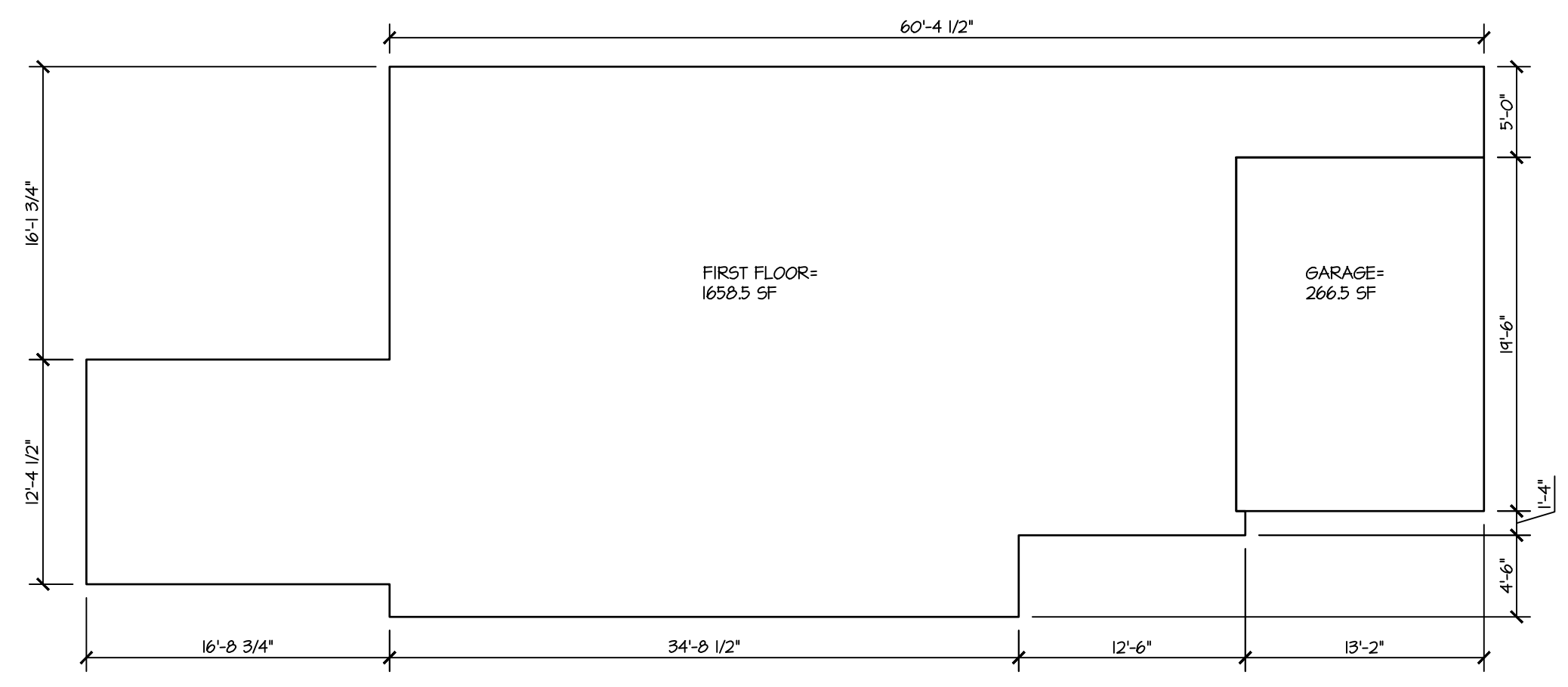


Joseph r. crocco architects
 new jersey architects
 4 macedonald avenue, suite 5
 armonk, new york 10504
 (914) 273-2774 fax (914) 273-2776

PROPOSED ALTERATION
 4 GINA LANE
 ARMONK, NY

Dwg. Name: **FLOOR AREA WORKSHEET**

Project No: 20014
 Date: MAY 22, 2020
 Sheet Number: **A-10**



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
 www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: ANGELILLO RESIDENCE Date: 12/04/20
 Tax Map Designation or Proposed Lot No.: 107.02-4-13

Floor Area

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>20017 SF.</u>
2. Maximum permitted floor area (per Section 213-22.2B):	<u>55025.5 SF.</u>
3. Amount of floor area contained within first floor: 1688.5 SF. existing + 24 SF. proposed =	<u>1682.5 SF.</u>
4. Amount of floor area contained within second floor: 0 SF. existing + 2402 SF. proposed =	<u>2402 SF.</u>
5. Amount of floor area contained within garage: 266.5 SF. existing + 412.04 SF. proposed =	<u>678.54 SF.</u>
6. Amount of floor area contained within porches capable of being enclosed: 48 SF. existing + 28 SF. proposed =	<u>28 SF.</u>
7. Amount of floor area contained within basement (if applicable - see definition): 0 SF. existing + 0 SF. proposed =	<u>0 SF.</u>
8. Amount of floor area contained within attic (if applicable - see definition): 0 SF. existing + 0 SF. proposed =	<u>0 SF.</u>
9. Amount of floor area contained within all accessory buildings: 0 SF. existing + 0 SF. proposed =	<u>0 SF.</u>
10. Proposed floor area: Total of Lines 3 - 9 =	<u>4791.04 SF.</u>

If Line 10 is less than or equal to Line 2, your proposal complies with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet: _____ Date: 12/04/20