



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43
Fax: (914) 273-3554
www.northcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)



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RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 11 Whippoorwill Lane, Armonk, NY 10504

Section III- DESCRIPTION OF WORK:

New 4,749.88sf Single-Family Dwelling

Section III- CONTACT INFORMATION:

APPLICANT: Rocco DiLeo

ADDRESS: 363 Westchester Avenue, Port Chester, NY 10573

PHONE: _____ MOBILE: 914.774.0534 EMAIL: rdileo@rdstudio-inc.com

PROPERTY OWNER:

Priscilla Vasconcellos c/o Chris and Tom Yaroscak

ADDRESS: 10 New King Street, Ste 208, White Plains, NY 10604

PHONE: _____ MOBILE: 914.400.8685 EMAIL: chris@legacydevelopmentllc.com

PROFESSIONAL.: Rocco DiLeo

ADDRESS: 363 Westchester Avenue, Port Chester, NY 10573

PHONE: _____ MOBILE: 914.774.0534

EMAIL: rdileo@rdstudio-inc.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 107.04-1-5



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 11 WHIPPOORWILL LANE Date: 11/30/2020

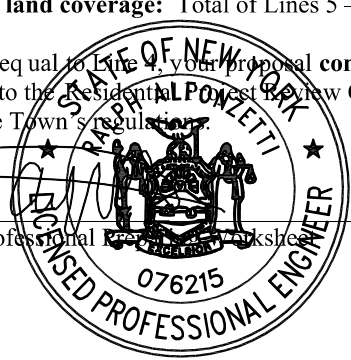
Tax Map Designation or Proposed Lot No.: 107.04-1-5

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 55,914
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 10,462
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
0 x 10 = 0 0
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 10,462 S.F.
5. Amount of lot area covered by **principal building**:
0 existing + 2,106 proposed = 2,106 S.F.
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**:
0 existing + 565 proposed = 565 S.F.
8. Amount of lot area covered by **porches**:
0 existing + 485 proposed = 485 S.F.
9. Amount of lot area covered by **driveway, parking areas and walkways**:
0 existing + 2,312 proposed = 2,312 S.F.
10. Amount of lot area covered by **terraces**:
0 existing + 0 proposed = 0
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 0 proposed = 0
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 5,468 S.F.

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Planning Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Engineer



12/3/2020
 Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: _____ Date: _____

Tax Map Designation or Proposed Lot No.: _____

Floor Area

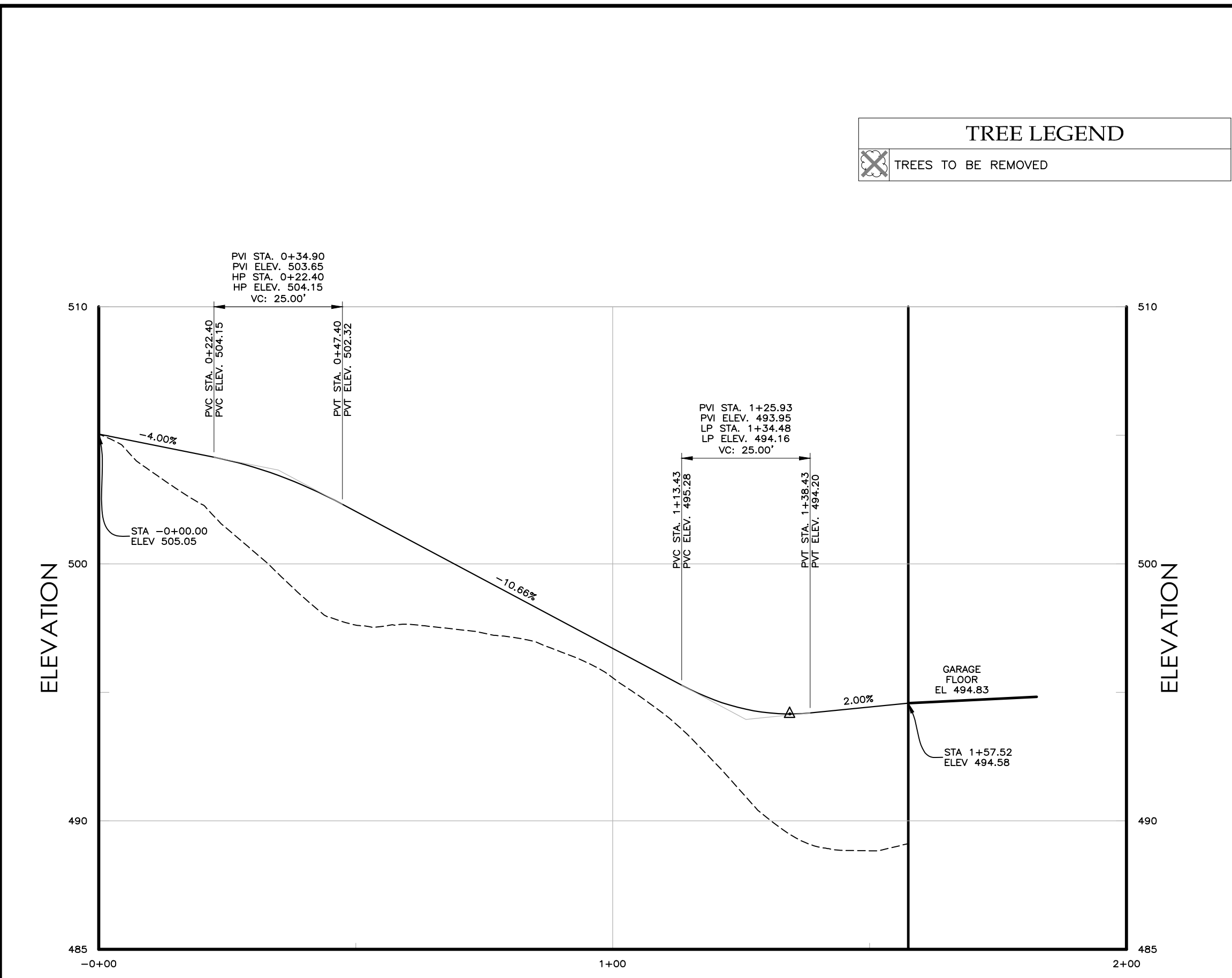
1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): _____
2. **Maximum** permitted floor area (per Section 355-26.B(4)): _____
3. Amount of floor area contained within first floor:
 - _____ existing + _____ proposed = _____
4. Amount of floor area contained within second floor:
 - _____ existing + _____ proposed = _____
5. Amount of floor area contained within garage:
 - _____ existing + _____ proposed = _____
6. Amount of floor area contained within porches capable of being enclosed:
 - _____ existing + _____ proposed = _____
7. Amount of floor area contained within basement (if applicable – see definition):
 - _____ existing + _____ proposed = _____
8. Amount of floor area contained within attic (if applicable – see definition):
 - _____ existing + _____ proposed = _____
9. Amount of floor area contained within all accessory buildings:
 - _____ existing + _____ proposed = _____
10. Proposed **floor area**: Total of Lines 3 – 9 = _____

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



Date _____



DRIVEWAY PROFILE
 HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 4'

EROSION CONTROL NOTES:

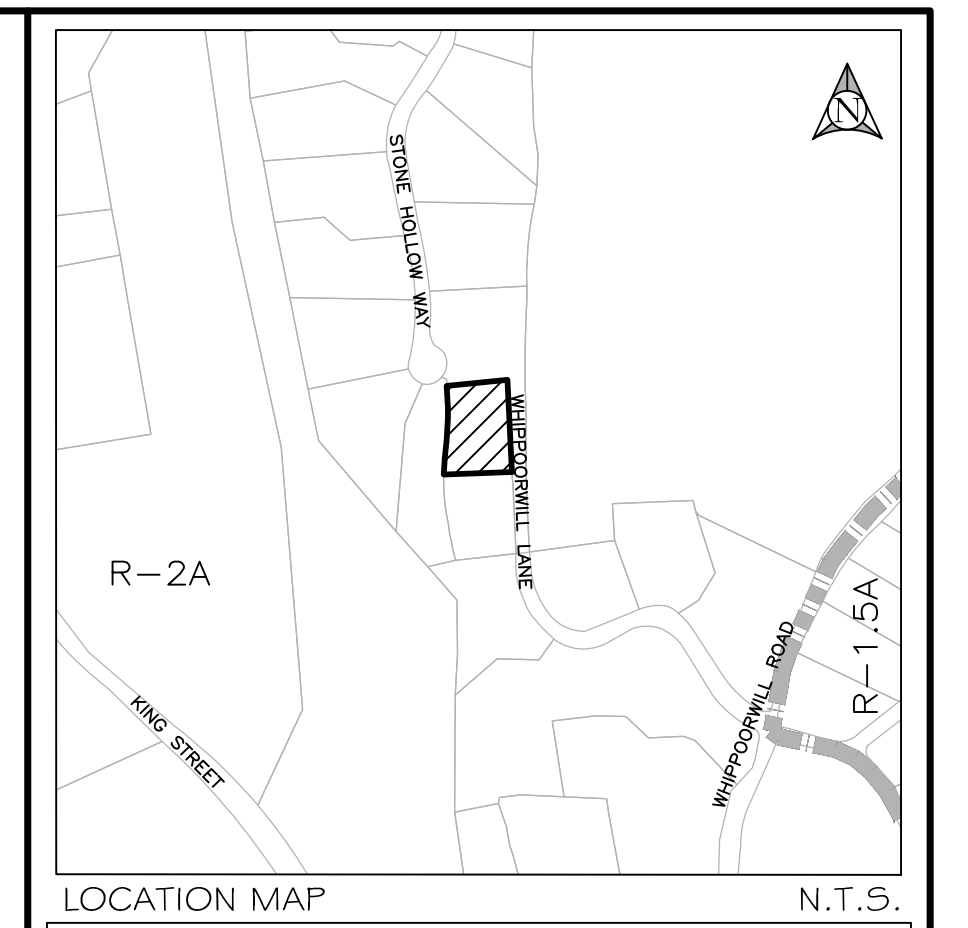
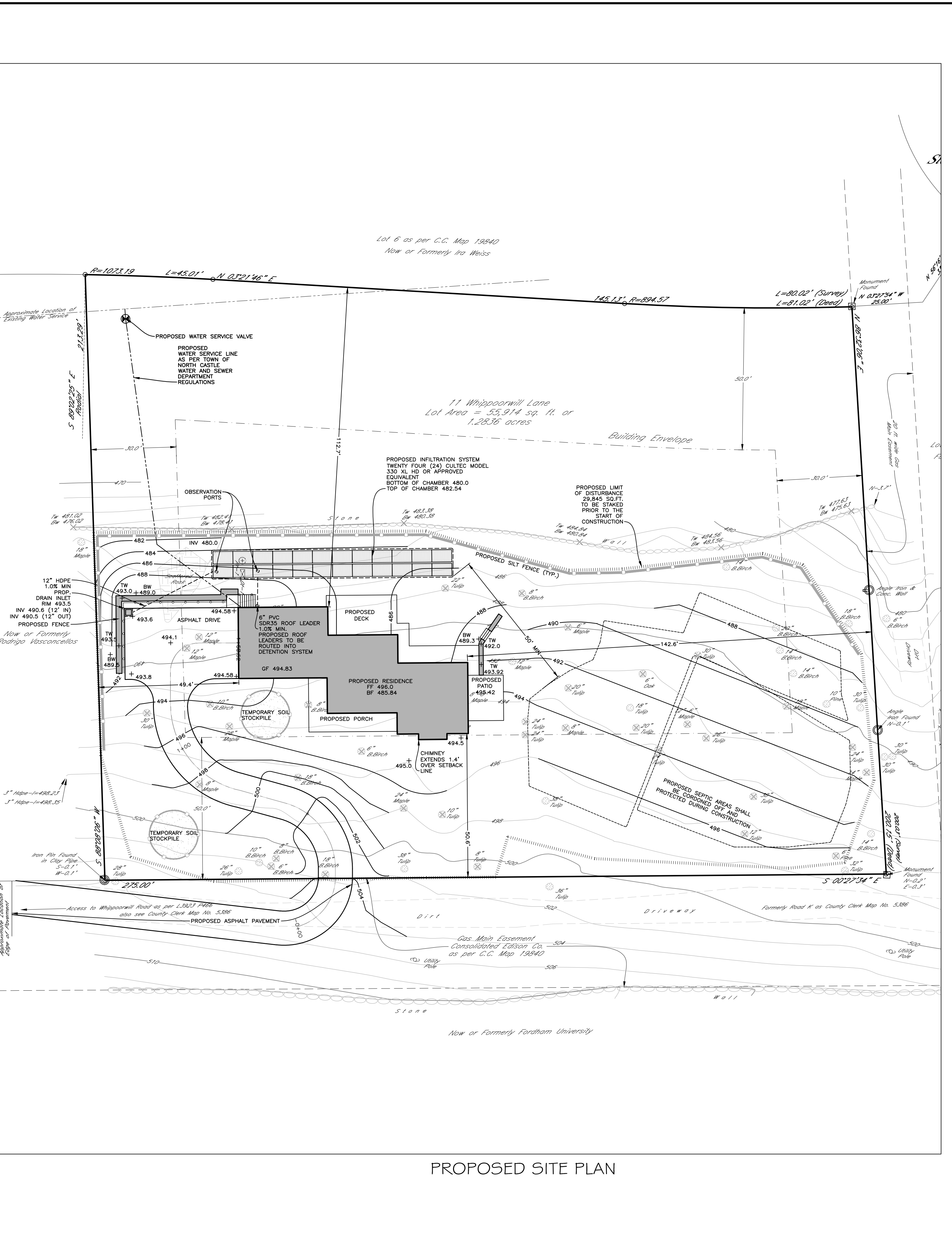
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2'-3" DIAMETER CRUSHED STONE 6" DEEP.
- TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
- ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
- THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.

- EROSION CONTROL NOTES CONTINUED:**
- ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
 - UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED.
 - SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
 - ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR, IN ADDITION TO ALL SPECIFIED EROSION AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
 - ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
- CONSTRUCTION SEQUENCE:**
- THE PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ONE PHASE. THE CONSTRUCTION WILL BE IN A SEQUENCE THAT WILL MINIMIZE THE POTENTIAL FOR EROSION. CONSTRUCTION IS SCHEDULED TO BEGIN IN OCTOBER OF 2020. THE GENERAL SEQUENCE OF CONSTRUCTION IS AS FOLLOWS:
- SURVEY AND STAKE LIMITS OF DISTURBANCE AND EROSION CONTROL INSTALLATION.
 - INSTALL EROSION CONTROLS (ANTI-TRACKING PAD, SILT FENCE, TEMPORARY SOIL STOCKPILE) AS SHOWN ON THE EROSION CONTROL PLAN AND PER THE RESPECTIVE EROSION CONTROL DETAILS.
 - REMOVE EXISTING RESIDENCE AND ANY IMPERVIOUS SURFACES PROPOSED TO BE REMOVED.
 - STAGING AREA SHALL BE IN THE LOCATION OF THE EXISTING HOUSE.
 - STRIP TOPSOIL AND ROUGH GRADING. NOTE THAT DISTURBED SOIL THAT WILL NOT BE WORKED FOR A PERIOD GREATER THAN 14 DAYS MUST BE STABILIZED. STABILIZATION MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS.
 - EXCAVATE FOR PROPOSED FOOTINGS/FOUNDATION. HOUSE FRAMING AND SUPERSTRUCTURE IS CONSTRUCTED.
 - EXCAVATE AND INSTALL SUBSURFACE UTILITIES: WATER SERVICE, ELECTRIC TELEPHONE/CABLE/DRAINAGE. SEPTIC SYSTEM SHALL BE STAKED.
 - PROTECT SEPTIC SYSTEM DURING CONSTRUCTION.
 - FINAL GRADING, SEEDING, SOODING, AND OTHER SOIL STABILIZING LANDSCAPING FOR FINAL SITE STABILIZATION.
 - REMOVE EROSION CONTROL: SILT FENCE AND ANTI-TRACKING PAD. DISCARD EROSION CONTROL DEVICES IN AN APPROPRIATE MANNER.

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
- THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
- EROSION AND SEDIMENT CONTROL MEASURES, SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
- AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
- ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
- THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
- UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
- ALL PROPOSED OR DISTURBED SLOPES, 1H:2V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
- IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
- NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.
- OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.

PROPOSED SITE PLAN

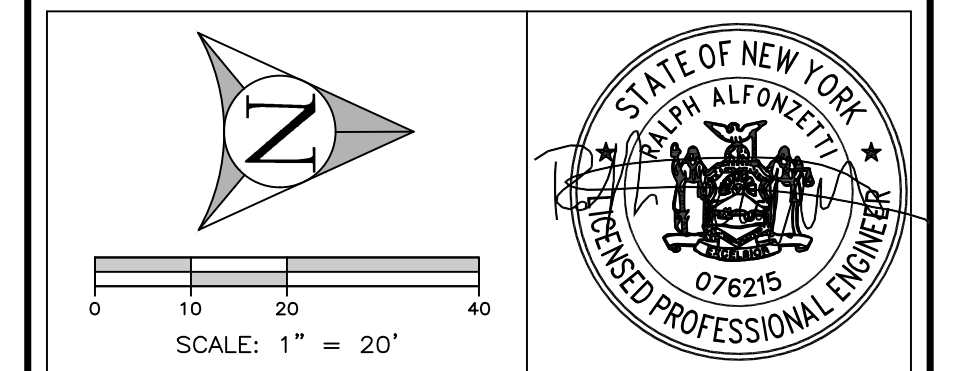


ZONING TABLE

ZONE: ONE FAMILY RESIDENCE DISTRICT ZONE R-2A
 TOTAL LOT AREA: 1.28 AC

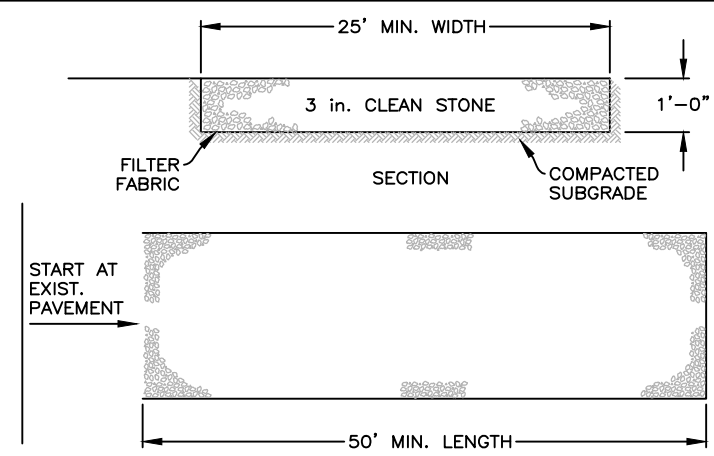
	REQUIRED	PROPOSED
MINIMUM LOT AREA:	2 ACRES	1.28 ACRES
FRONT YARD SETBACK:	50 FT.	50.6 FT.
SIDE YARD SETBACK:	30 FT.	49.4 FT.
REAR YARD SETBACK:	50 FT.	112.7 FT.
MAXIMUM HEIGHT:	30 FT.	30 FT.
MAXIMUM BUILDING COVERAGE:	8%	3.77%

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C.
 1100 ROUTE 52, CARMEL, N.Y. 10512
 845 - 228 - 9800

SITE DATA	
OWNER/APPLICANT: LEGACY CONSTRUCTION NORTHEAST LLC	SHEET: 01 02
SITE ADDRESS: 11 WHIPPOORWILL LANE ARMOCK, NEW YORK	
TAX MAP #: 107.04-1-5	
LOT AREA: 1.28 ACRES	
ZONING: R-2A	
DRAWING: SITE PLAN DECEMBER 3, 2020	
PROJECT: 11 WHIPPOORWILL LANE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK	

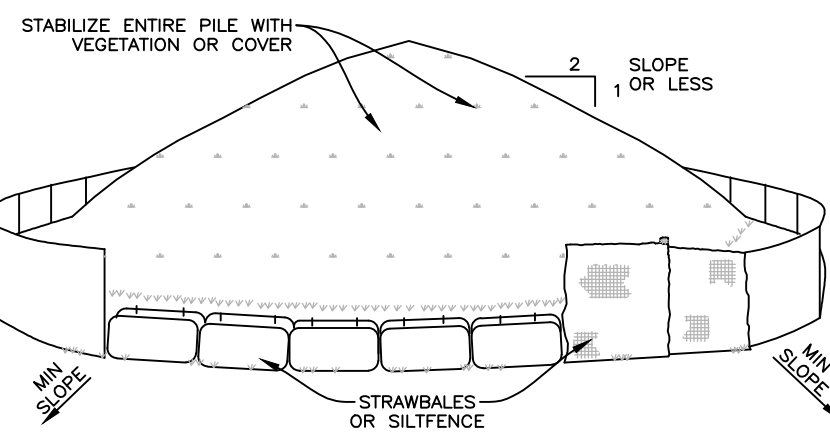


TO BE PROVIDED AT ALL POINTS OF EQUIPMENT INGRESS OR EGRESS ONTO PUBLIC RIGHTS-OF-WAY.

INSTALLATION NOTES

- STONE SIZE - USE 3" STONE, OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY DEBRIS USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD) N.T.S.



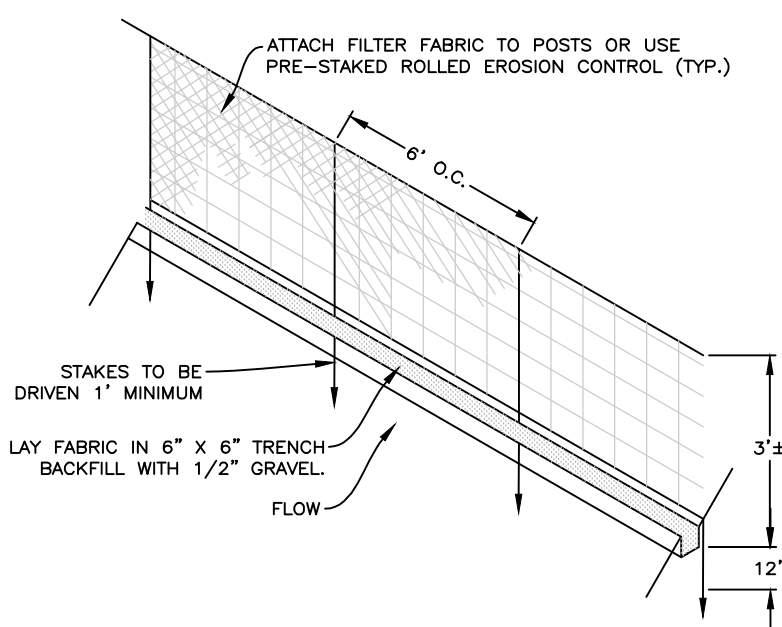
TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SURFACES THAT ARE DROUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

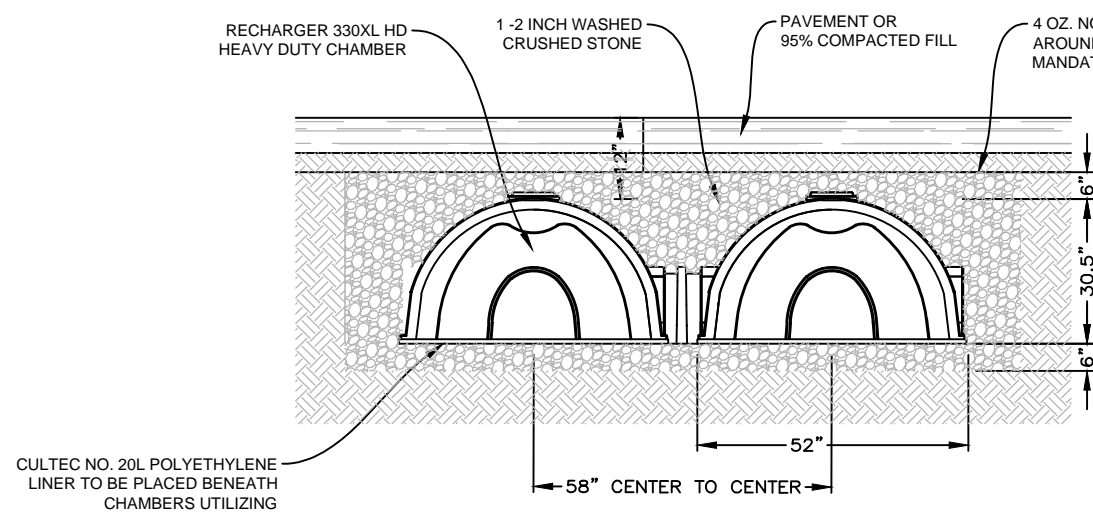
INSTALLATION NOTES

- AREA CHOSEN FOR STOCKPIILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPIILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

TEMPORARY MATERIAL STOCKPILE N.T.S.



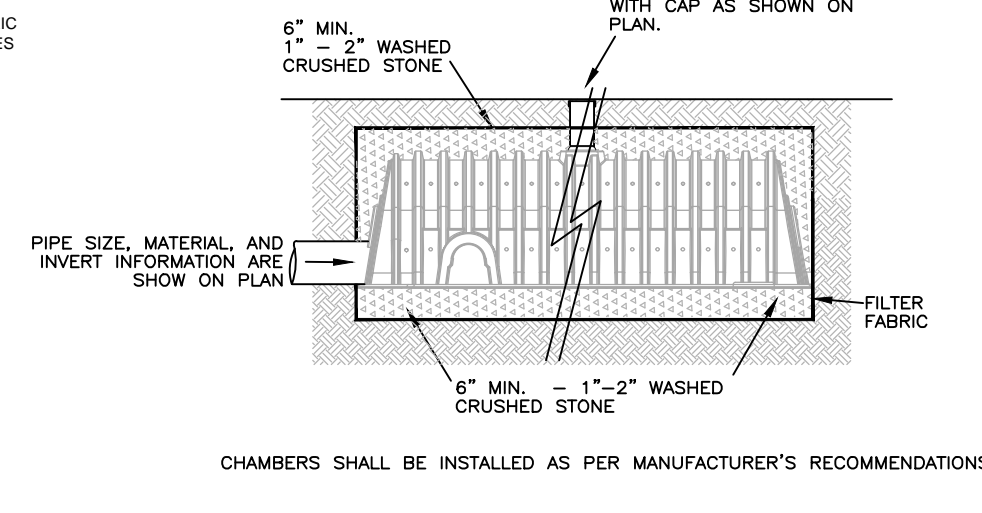
SILT FENCE N.T.S.



STORMWATER CHAMBER CROSS SECTION N.T.S.

RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT.
 STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT.
 REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.
 CHAMBERS SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS

ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
 ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

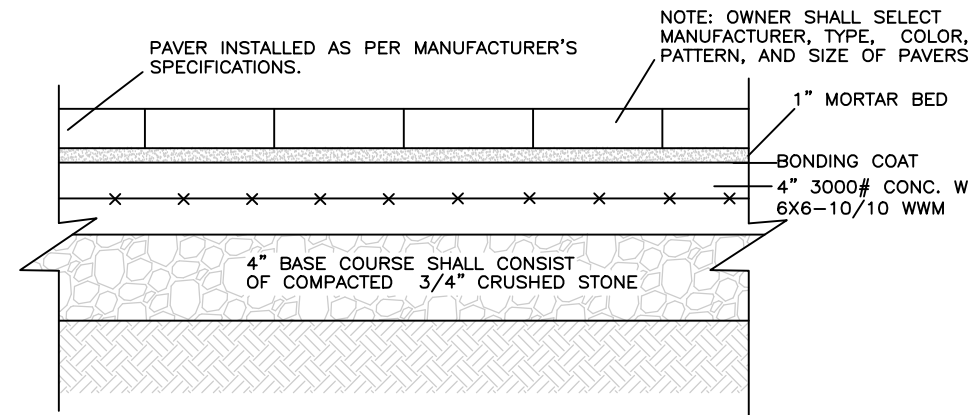


CHAMBERS SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS

ALL RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT.
 STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT.
 REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.

GENERAL NOTES
 RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT.
 STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT.
 REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.

STORMWATER CHAMBER INSTALLATION N.T.S.



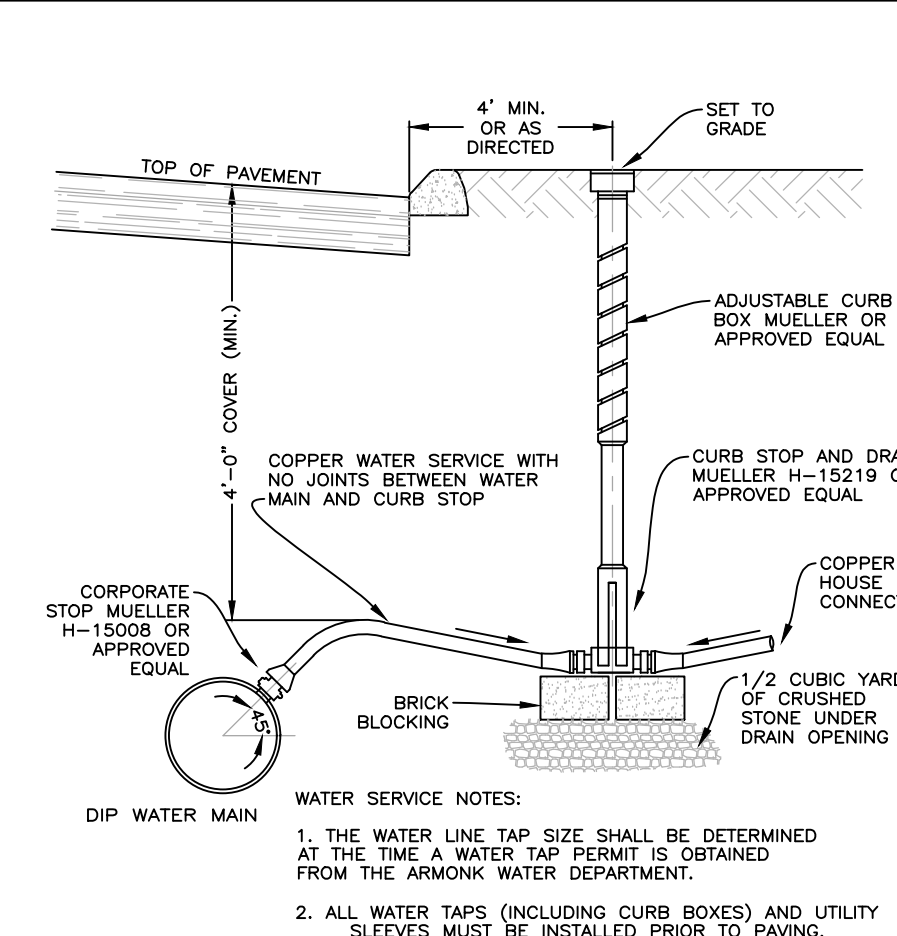
WALKWAY DETAIL N.T.S.

DEEP TEST HOLE DESCRIPTION	
DT1	0"-6" TOPSOIL 6"-72" SILTY SANDS MODERATELY COMPACTED

PERCOLATION TEST DATA	
P1	40 MIN./IN.

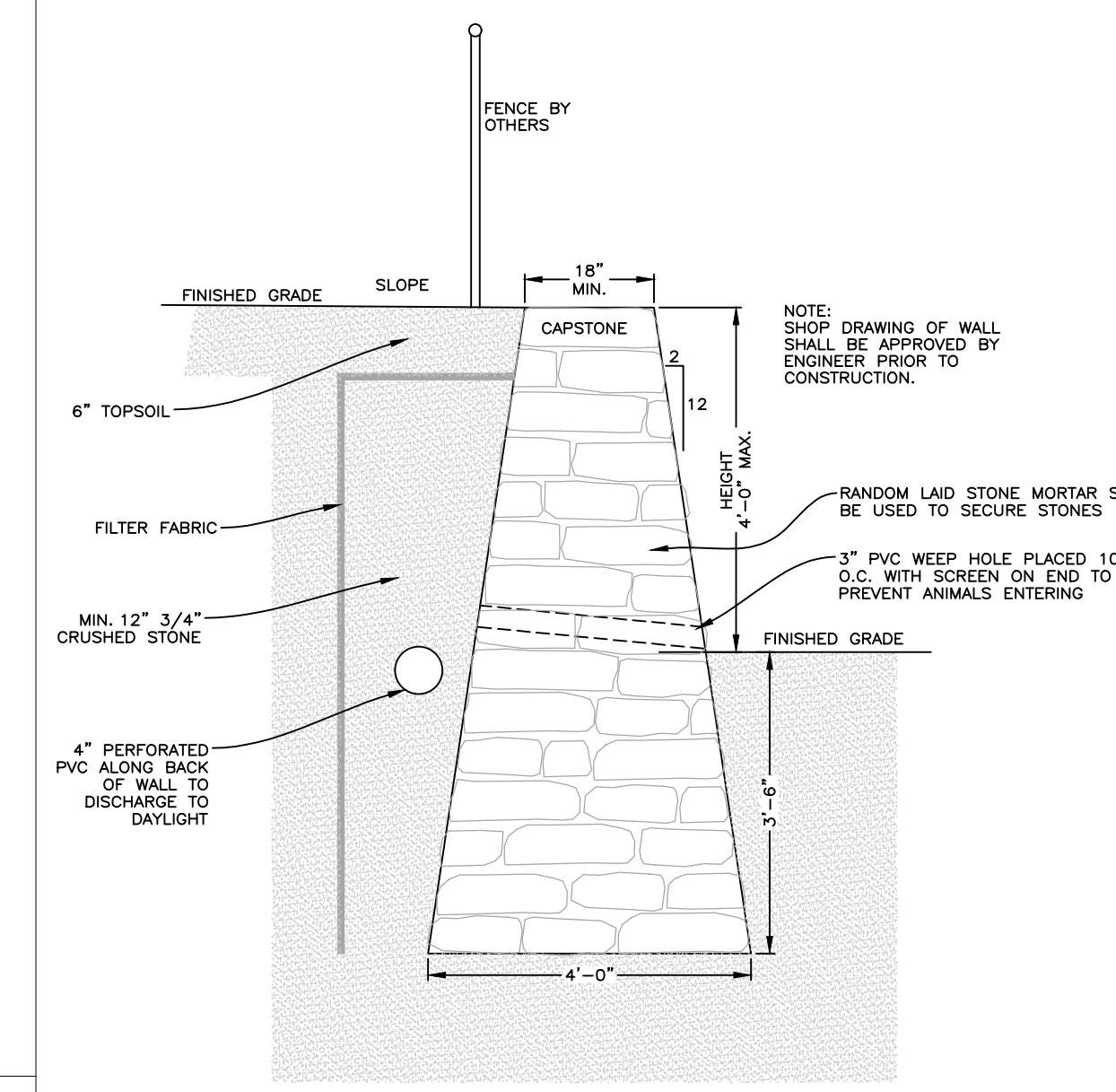
DETENTION SYSTEM CALCULATIONS

USING STORMWATER CHAMBERS CULTEC RECHARGER 330 XL HD		
DRAINAGE STUDY AREA: (ALL NEW IMPERVIOUS)	S.F.	5468
DESIGN STORM (100 YR.):	IN.	9.2
HYDROLOGIC SOIL TYPE:		B
EXISTING CN:		55
PROPOSED CN:		98
REQUIRED STORAGE VOLUME CALCULATION		
EX. RUNOFF DEPTH:	IN.	3.63
PR. RUNOFF DEPTH:	IN.	8.96
DELTA RUNOFF DEPTH:		
	IN.	5.33
REQUIRED STORAGE VOLUME:		
	C.F.	2427.0
CHAMBER INFORMATION		
LENGTH OF 1 CHAMBER:	FT.	8.5
WIDTH OF 1 CHAMBER:	FT.	4.33
HEIGHT OF CHAMBER:	FT.	2.54
WIDTH OF STONE SURROUNDING CHAMBER:	FT.	1
DEPTH OF STONE UNDER CHAMBER:	FT.	0.5
STONE VOID RATIO:		0.33
VOLUME PER CHAMBER (AS PER MANUFACTURER):	C.F./L.F.	7.46
TRENCH SIZE		
TRENCH WIDTH:	FT.	6.33
TRENCH LENGTH (UNIT LENGTH):	FT.	1
TRENCH HEIGHT:	FT.	3.04
TRENCH VOLUME:		
	C.F./L.F.	19.24
STONE VOID VOLUME:	C.F.	3.89
PERCOLATION AREA:		
	S.F./L.F.	6.33
PERCOLATION RATE:		
	MIN./IN.	40
PERCOLATION HOLE DIAMETER:	IN.	10
WATER LEVEL DROP	IN.	1
AVERAGE DEPTH OF WATER	IN.	8.5
PERCOLATION HOLE BOTTOM AREA:	S.F.	0.55
PERCOLATION HOLE SIDE AREA:	S.F.	1.85
PERCOLATION HOLE TOTAL AREA:	S.F.	2.40
PERCOLATION VOLUME CHANGE	C.F.	0.045
ADJUSTED PERCOLATION RATE:	C.F./S.F./DAY	0.68
PERCOLATION VOL. PER DAY:		
	C.F./DAY/L.F.	4.3
SOIL CLOGGING FACTOR:		
		25%
PERCOLATION WITH CLOGGING:	C.F./DAY/L.F.	3.2
TOTAL VOLUME OF CHAMBERS:		
	C.F./DAY/L.F.	14.6
REQUIRED LENGTH CHAMBERS:		
	L.F.	166.40
REQUIRED NUMBER OF CHAMBERS @ 7 L.F./CHAMBER:		
	IN.	23.77
PROPOSED NUMBER OF CHAMBERS		
		24.00

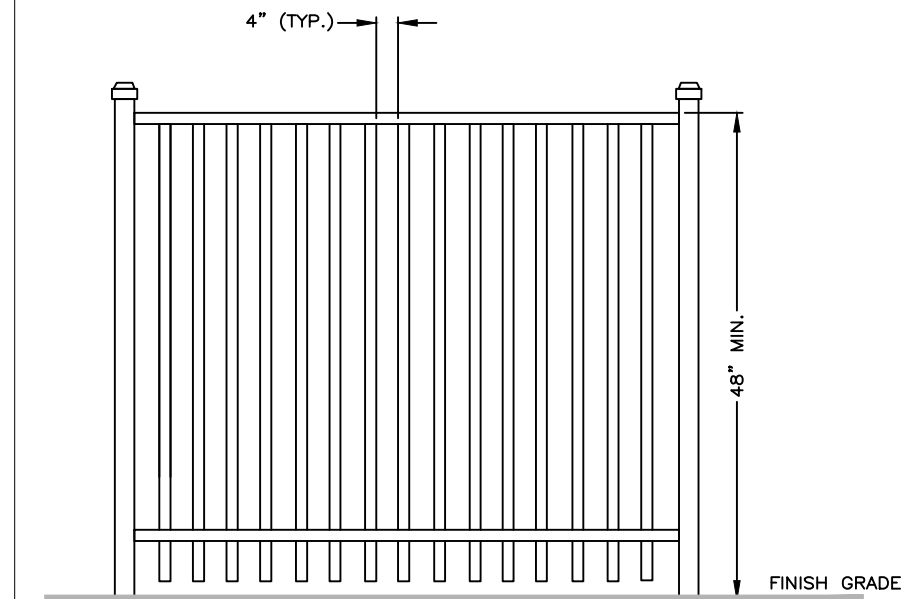


WATER SERVICE CONNECTION DETAIL N.T.S.

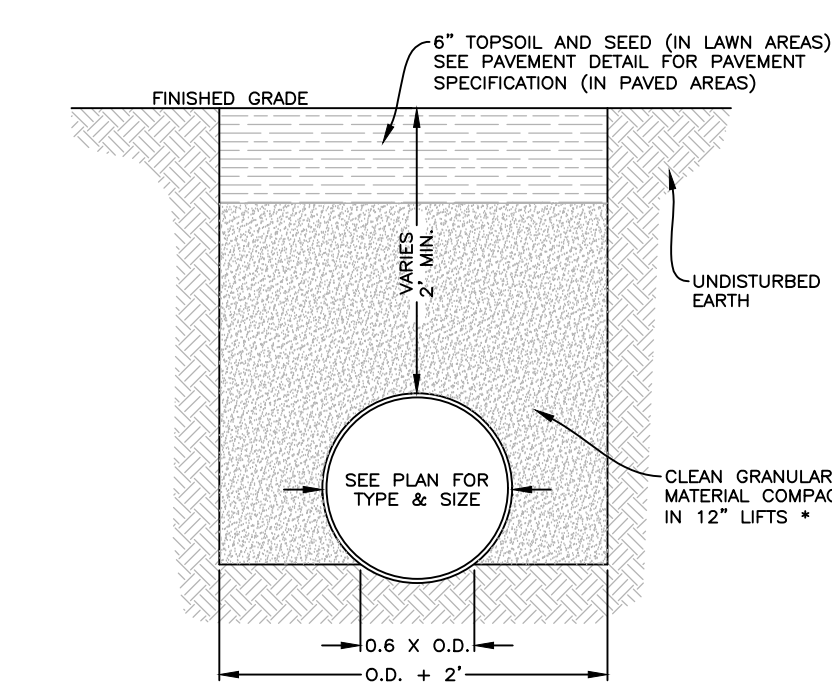
WATER SERVICE NOTES:
 1. THE WATER LINE TAP SIZE SHALL BE DETERMINED AT THE TIME A WATER TAP PERMIT IS OBTAINED FROM THE ARMONK WATER DEPARTMENT.
 2. ALL WATER TAPS (INCLUDING CURB BOXES) AND UTILITY SLEEVES MUST BE INSTALLED PRIOR TO PAVING.



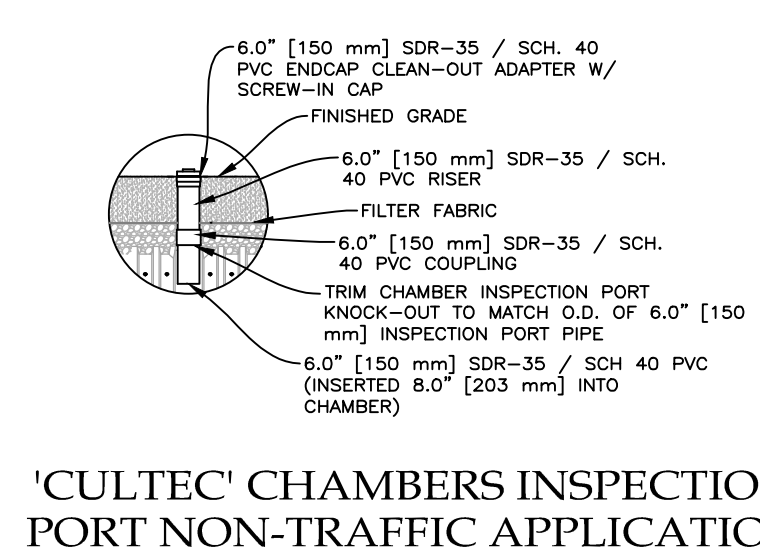
TYPICAL RETAINING WALL N.T.S.



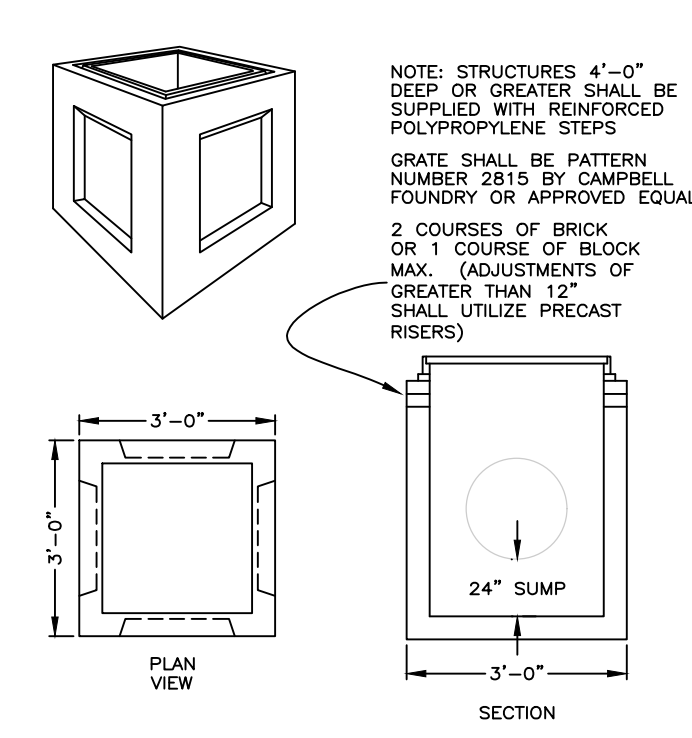
FENCE DETAIL N.T.S.



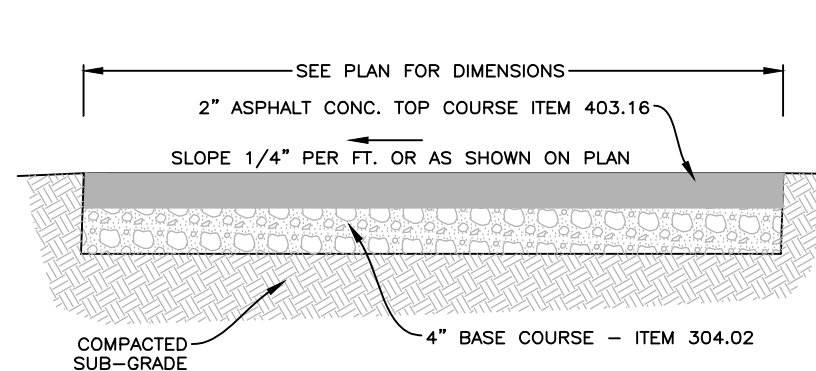
DRAIN PIPE TRENCH DETAIL N.T.S.



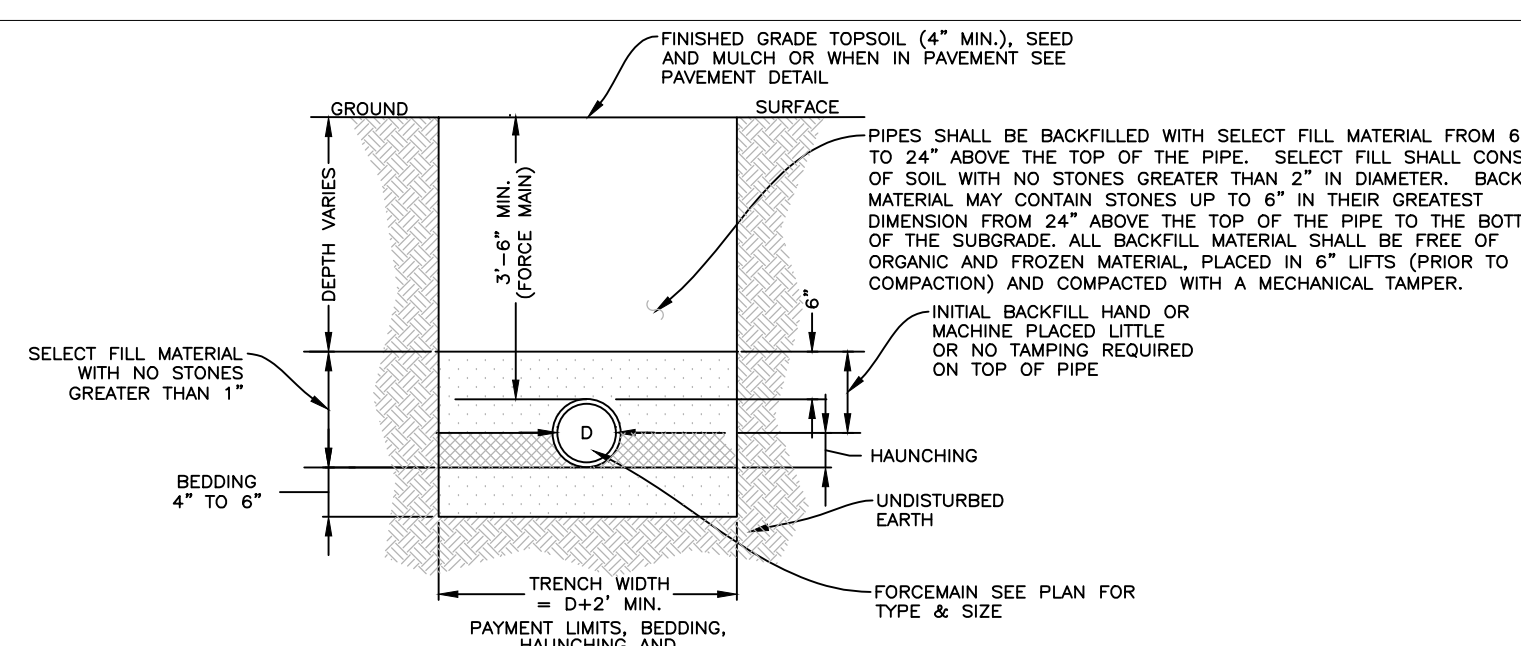
'CULTEC' CHAMBERS INSPECTION PORT NON-TRAFFIC APPLICATION N.T.S.



YARD DRAIN N.T.S.



DRIVEWAY SECTION N.T.S.



FORCEMAIN TRENCH DETAIL N.T.S.

NOTES:
 1. NO ROCK IS TO PROJECT INTO WITHIN THE EDGES OF THE TRENCH, IN ROCK EXCAVATION PIPE SHALL BE A MIN. OF 4" OVER AND AWAY FROM ROCK.
 2. BACKFILL SHALL BE PLACED SO AS TO NOT DISTURB THE PIPE ALIGNMENT.

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C.
 1100 ROUTE 52, CARMEL, N.Y. 10512
 845 - 228 - 9800

SITE DATA

OWNER/APPLICANT:
 LEGACY CONSTRUCTION
 NORTHEAST LLC

SITE ADDRESS:
 11 WHIPPOORWILL LANE
 ARMONK, NEW YORK

TAX MAP #: 107.04-1-5
 LOT AREA: 1.28 ACRES
 ZONING: R-2A

DRAWING:

SITE DETAILS
 DECEMBER 1, 2020

PROJECT:

11 WHIPPOORWILL LANE
 TOWN OF NORTH CASTLE, WESTCHESTER COUNTY,
 NEW YORK

SHEET:
 02
 02

Lot 6 as per C.C. Map 19840
Now or Formerly Ira Weiss

PROPERTY LINE

Lot 5 as per C.C.
Formerly Michael

PROPERTY LINE

Stone

Wall

20 ft. wide Gas
Main Easement

Now or Formerly
Trigo Vasconcellos

45 SQ.FT
ASPHALT DRIVE
2,258 SQ.FT

PROPOSED DECK

565 SQ.FT

9 SQ.FT
PROPOSED PATIO
200 SQ.FT

2,106 SQ.FT
PROPOSED PORCH
285 SQ.FT

PROPERTY LINE

Dirt
Driveway

Chain
Link

Gate

Fence

PROPERTY LINE

Driveway
Formerly Road K as County Clerk Map No. 5386

Approximate Location of
Edge-of-Rezoning

Access to Whippoorwill Road as per L 3923 P466
also see County Clerk Map No. 5386

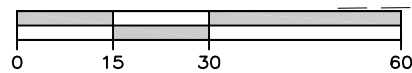
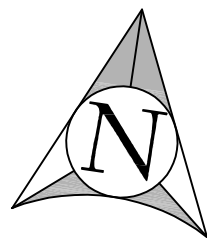
Dirt

Gas Main Easement
Consolidated Edison Co.
as per C.C. Map 19840

Stone

Wall

Now or Formerly Fordham University



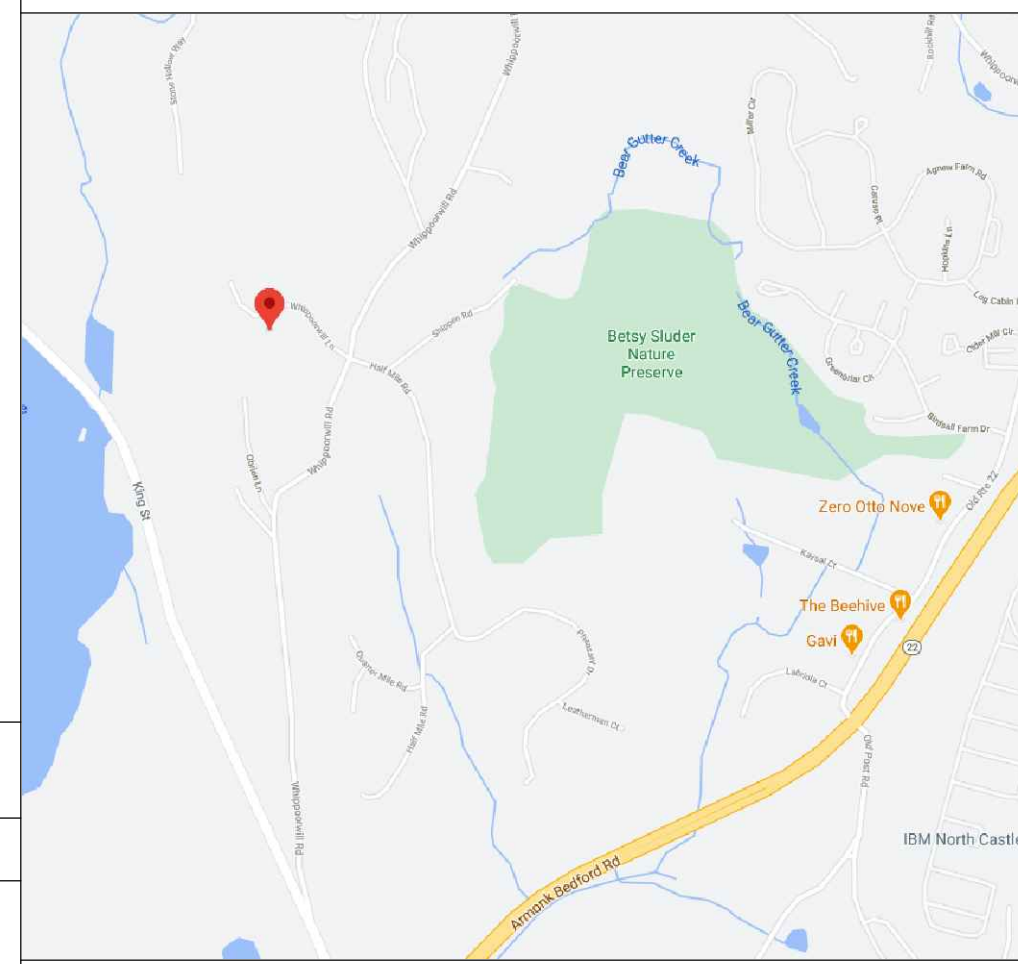
SCALE: 1" = 30'

NOTE: LINES SHOWN ARE CLOSED
COMPUTER POLYLINE ENTITIES.

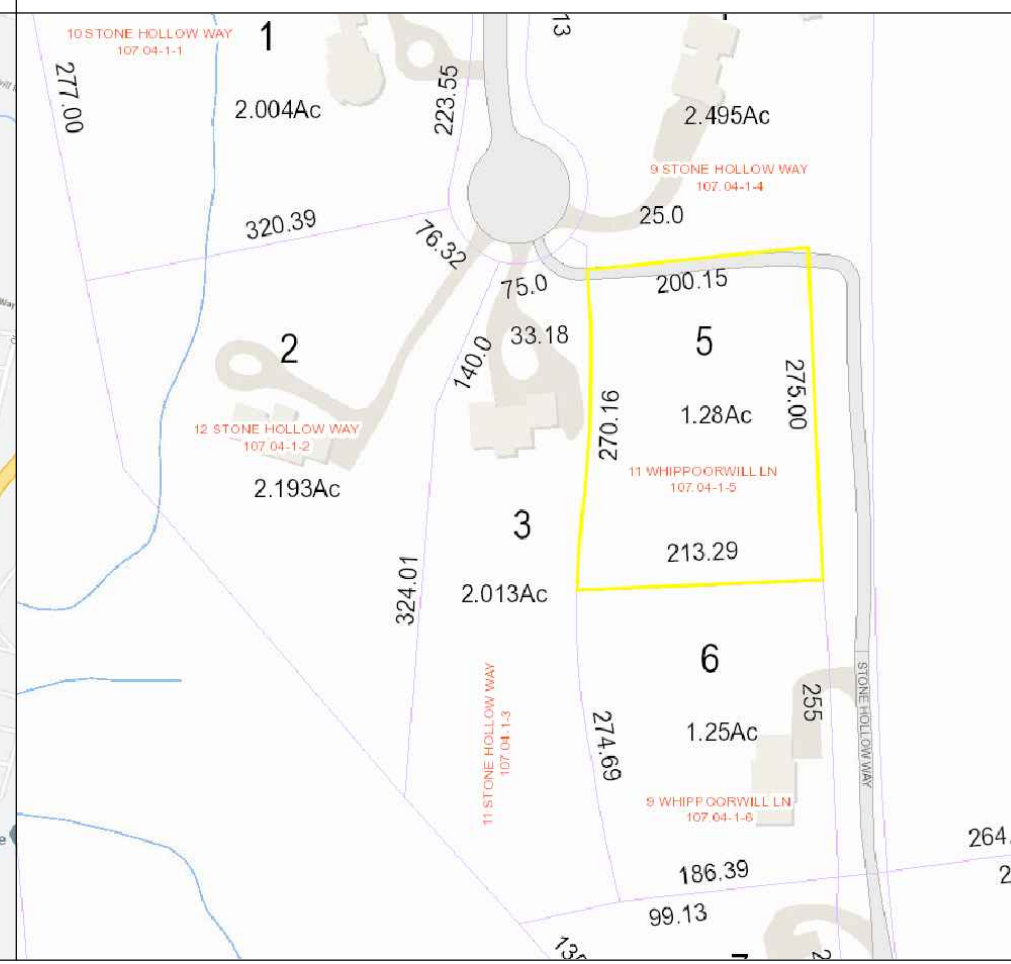
NEW SINGLE-FAMILY RESIDENCE

FOR:
PRISCILLA V. VASCONCELLOS
C/O CHRIS & TOM YAROSCAK
11 WHIPPOORWILL LN, ARMONK, NY 10504
ZONE: R-2A SECTION:107.04 BLOCK: 1 LOT: 5

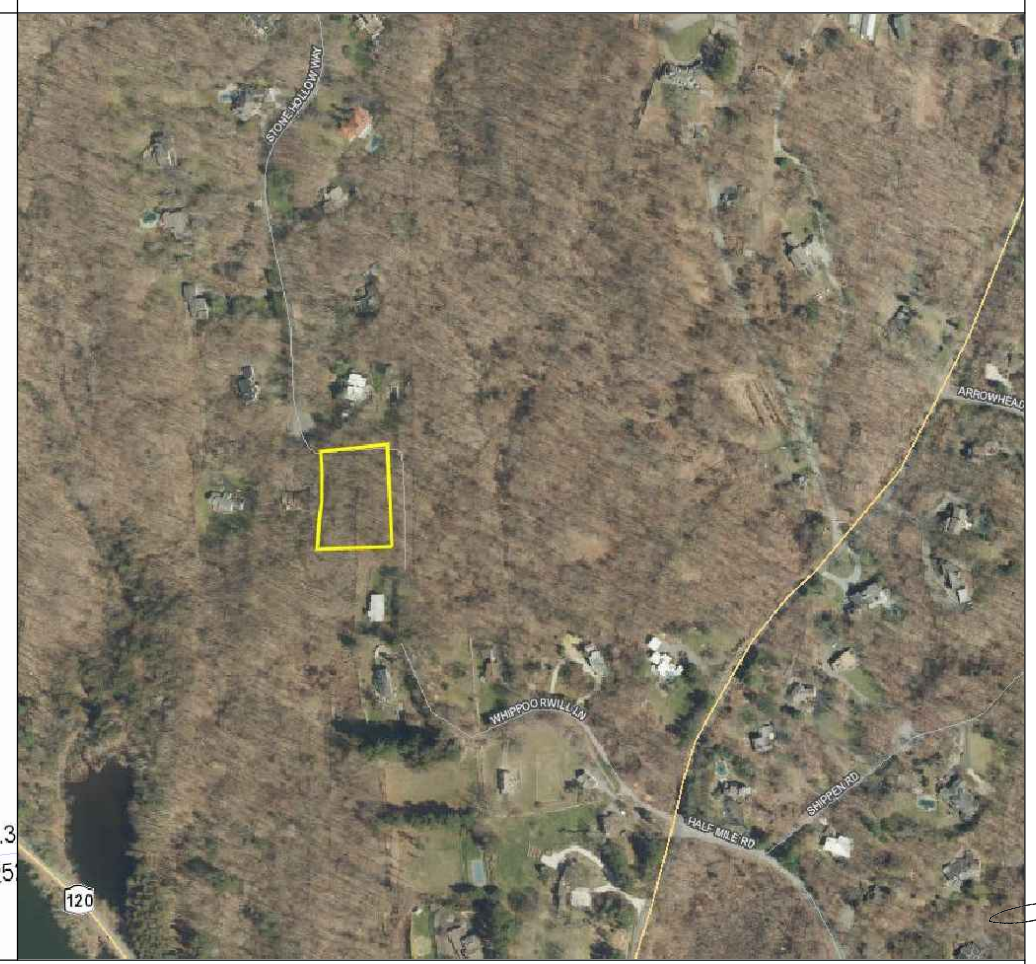
LOCATION MAP: NTS



TAX MAP: 107.04-1-5



AERIAL MAP: NTS



Status	Date
SUBMITTED TO RPRC	12.04.20

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GENERAL CONDITIONS:

- THESE DOCUMENTS REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT, AND MAY NOT BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN CONSENT OF THE ARCHITECT.
- CONTRACTORS SHALL VISIT THE SITE AND BE RESPONSIBLE FOR HAVING RECORDED ALL CONDITIONS WITHIN THE SCOPE OF THE PROJECT. NO CLAIMS FOR EXTRA COMPENSATION, BASED ON IGNORANCE OF VISIBLE OR IMPLIED EXISTING CONDITIONS WILL BE CONSIDERED.
- ALL WORK IS TO CONFORM TO ALL APPLICABLE REQUIREMENTS OF LOCAL GOVERNING CODES, STATE CONSTRUCTION AND ENERGY CONSERVATION CODES, HEALTH CODE, FIRE DEPARTMENT REGULATIONS, FHA FRAMING STANDARDS, OSHA CODES, FHMM AND UTILITY CODES, AND BEST TRADE PRACTICES.
- ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES OR ERRORS IN THE PLANS, SPECIFICATIONS, AND/OR DETAILS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGE IN PLANS, DETAILS OR DIMENSIONS IS PERMISSIBLE WITHOUT THE CONSENT OF THE ARCHITECT. SHOULD THE CONTRACTOR FAIL TO NOTIFY THE ARCHITECT WITHIN A REASONABLE TIME, HE SHALL BE RESPONSIBLE FOR THE COST OF RECTIFYING SUCH ERRORS.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK, AS DETERMINED BY THE ARCHITECT, SHALL BE INCLUDED IN THE WORK THE SAME AS IF HEREIN SPECIFIED OR INDICATED.
- CONTRACTORS ARE TO FILE INSURANCE CERTIFICATE AND OBTAIN ALL PERMITS, SCHEDULE ALL REQUIRED INSPECTIONS WITH NOTIFICATION TO INSPECTORS AND ARCHITECT, OBTAIN ALL CODE APPROVALS AND FHMM CERTIFICATES, AND FILE FOR AND OBTAIN CERTIFICATE OF OCCUPANCY. NO WORK SHALL START PRIOR TO OBTAINING PERMITS.
- GENERAL CONTRACTOR SHALL CARRY PROPERTY DAMAGE INSURANCE AND PUBLIC LIABILITY INSURANCE, WORKMAN'S COMPENSATION, AUTO INSURANCE, GENERAL LIABILITY AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES AND AS OWNER REQUIRES. THE ARCHITECT THEREFORE TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THESE DRAWINGS FOR BIDDING SCOPE ONLY, AND WILL FURNISH MORE DETAILED INFORMATION LATER WHEN AREAS ARE ACTUALLY ACCESSIBLE BY THE CONTRACTORS. ANY WORK THAT MUST BE DONE ADDITIONALLY IN AREAS WHERE INFORMATION OR INDICATIONS WHERE WORK IS LAID OUT, SHALL BE BILLED TO THE OWNER AS AN EXTRA CHARGE, SUBJECT TO THE ARCHITECT'S APPROVAL OF AN ITEMIZED COST BREAKDOWN.
- CONTRACTORS SHALL COORDINATE ALL WORK PROCEDURES AND WORKING HOURS WITH LOCAL AUTHORITIES, NEIGHBORHOOD ASSOCIATIONS, AND ANY OTHER GOVERNING AUTHORITIES.
- ALL INDICATED SURVEY MATERIAL IS FOR GENERAL REFERENCE ONLY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR CORRECTNESS OF ANY OF THE INDICATED MATERIAL.
- CONTRACTORS SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING AND NEW CONDITIONS AND MATERIALS WITH AND ADJACENT TO THE CONSTRUCTION AREA. ANY DAMAGE CAUSED BY THE EXECUTION OF THE WORK INDICATED OR IMPLIED HEREIN SHALL BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S OWN EXPENSE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF CONSTRUCTION DEBRIS, RUBBISH AND OFF SITE DISPOSAL IN A RESPONSIBLE MANNER.
- CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
- DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS ONLY.
- CONTRACTOR SHALL LAY OUT WORK AND BE RESPONSIBLE FOR ITS CORRECTNESS AND SAFETY, AND SHALL GIVE NECESSARY DIMENSIONS TO ALL PARTIES.
- BY STARTING ANY WORK, CONTRACTOR SIGNIFIES ACCEPTANCE OF THE PREVIOUSLY INSTALLED MATERIALS AND FRAMING, AND WAIVES ANY RIGHT TO BLAME PRIOR WORK FOR ANY DEFECTS IN HIS OWN WORK.
- CONTRACTOR TO ORDER SPECIFIC MATERIALS INDICATED HEREIN IMMEDIATELY AFTER BEING AUTHORIZED TO PROCEED, THE SUBSTITUTIONS PERMITTED WITHOUT APPROVAL OF THE ARCHITECT, AND CONTRACTOR WILL BE HELD LIABLE FOR DELAYS CAUSED BY CONTRACTOR'S FAILURE TO ORDER MATERIAL PROMPTLY.
- CONTRACTOR IS TO DESIGN AND INSTALL ADEQUATE AND CODE APPROVED SHORING AND BRACING WHERE NEEDED TO SAFELY COMPLETE STRUCTURAL WORK. CONTRACTOR TO ASSUME FULL AND SOLE RESPONSIBILITY FOR STRUCTURAL ADEQUACY OF THE SHORING, AND FOR ANY INJURIES, DAMAGE, CRACKS, OR DEFECTS CAUSED BY SHORING OR BRACING, AND SHALL REPAIR ALL SUCH DAMAGE AT HIS OWN EXPENSE.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL PAYMENT. THE GENERAL CONTRACTOR IS TO FURNISH WRITTEN GUARANTEE ON HIS WORK AND ALL SUBCONTRACTOR'S WORK, AGAINST DEFECTS RESULTING FROM THE USE OF INTERIOR MATERIALS, EQUIPMENT, OR WORKMANSHIP, AS DETERMINED SOLELY BY THE ARCHITECT. ALL SUCH DEFECTS ARE TO BE REPLACED OR REPAIRED, COMPLETE WITH LABOR AND MATERIALS, AT NO COST TO OWNER.
- SUBSTITUTIONS OF EQUIPMENT OR MATERIALS OTHER THAN THOSE SHOWN ON THE DRAWINGS OR IN THE SPECIFICATIONS SHALL BE MADE ONLY UPON APPROVAL OF THE ARCHITECT OR OWNER AS NOTED ON THE DRAWINGS OR IN THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT HIS SUBSTITUTION FOR APPROVAL BEFORE RELEASING ANY ORDER FOR FABRICATION AND/OR SHIPMENTS. THE ARCHITECT RESERVES THE RIGHT TO DISAPPROVE SUCH SUBSTITUTION, PROVIDED IN HIS SOLE OPINION, THE ITEM OFFERED IS NOT EQUAL OF THE ITEM SPECIFIED. WHERE A CONTRACTOR PURPOSES TO USE AN ITEM OTHER THAN THAT SPECIFIED OR DETAILED ON THE DRAWINGS, WHICH REQUIRES ANY REDESIGN OF THE STRUCTURE, PARTITIONS, PIPING, WIRING OR OF ANY OTHER PART OF THE MECHANICAL, ELECTRICAL, OR ARCHITECTURAL LAYOUT, ALL SUCH REDESIGN, AND ALL NEW DRAWINGS AND DETAILING REQUIRED THEREOF SHALL, WITH THE APPROVAL OF THE ARCHITECT, BE PREPARED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ALL WORK SHALL BE INSTALLED SO THAT ALL PARTS REQUIRED ARE READILY ACCESSIBLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR. MINOR DEVIATIONS FROM THE DRAWINGS MAY BE MADE TO ACCOMPLISH THE, BUT CHANGES OF MATERIAL SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT.
- UPON COMPLETION OF THE WORK, THE ENTIRE PROJECT IS TO BE COMPLETELY CLEANED AND THE SITE RESTORED TO EXISTING CONDITION, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
 - COMPLETE SWEEPING OF ALL AREAS, AND REMOVAL OF ALL RUBBISH AND DEBRIS, EXCEPT THAT CAUSED BY OWNER OR OTHER DOWING N.C. WORK.
 - REMOVAL OF ALL LABELS, FIXTURES, AND EQUIPMENT, ETC. AND SPRAY CLEANING OF ALL GLASS / MIRRORS
 - REMOVAL OF STAINS, AND PAINT FROM GLASS, HARDWARE, FINISHED FLOORING, CABINETS, ETC.
 - PROFESSIONAL INTERIOR AND EXTERIOR FINAL CLEANING OF THE ENTIRE STRUCTURE. RESTORATION OF PROPERTY BY RETURNING SHRUBS TO ORIGINAL LOCATIONS, FILLING OF ALL RUTS, RAKE TOPSOIL, PLANT GRASS SEED ON DAMAGED LAWN AREAS AND REPAIRS TO DAMAGED BLACKTOP.
- UNLESS OTHERWISE NOTED, MATERIALS SHALL BE PREPARED, INSTALLED, FITTED, AND ADJUSTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, DETAILS, AND RECOMMENDATIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS RESPONSIBILITY DURING THE PROGRESS OF THE PROJECT.
- GENERAL CONTRACTORS TO NOTIFY THE ARCHITECT OF ANY UNFORESEEN CONDITIONS ARISE DURING CONSTRUCTION.
- GENERAL CONTRACTORS SHALL COORDINATE WITH THE VARIOUS TRADES INVOLVED IN THE CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL PROTECT AND NOT DAMAGE TREES, PLANTINGS OR SHRUBS WHERE CONSTRUCTION WORK IS REQUIRED AT THE EXISTING EXTERIOR OF THE BUILDING.
- THE ENTIRE WORK AREA SHALL BE DELIVERED TO THE OWNER IN PROPER WORKING CONDITIONS.

MATERIAL LEGEND

	Earth
	Concrete
	Concrete Block
	Brick
	Marble
	Plywood
	Metal
	Wood Finish
	Wood Rough
	Insulation
	Rigid Insulation
	Glazing/Mirror
	Gravel

ABBREVIATION LEGEND

ACJ	ACOUSTICAL AMERICANS WITH DISABILITIES ACT	LAM	LAMINATE
ADJ	ADJUSTABLE	L.F.	LINEAR FEET
AFF	ABOVE FINISHED FLOOR	L.G.	LENGTH
AL/ALUM	ALUMINUM	LT	LIGHT
A-1	ACOUSTICAL CEILING TILE	LAV	LAVATORY
ARCH	ARCHITECTURAL/ARCHITECT	MATL	MATERIAL
AHU	AIR HANDLER UNIT	MFR	MANUFACTURER
BRD	BOARD	M.O.	MASONRY OPENING
BUB	BLOCK	MTL	METAL
BLK	BLOCK	MULL	MULLION
BS	BUILDING STANDARD	INI	NEW
CHR	CHAIR RAIL	N/A	NOT APPLICABLE
CI	CONTROL JOINT	N.C.	NOT IN CONTRACT
CL	CENTER LINE	NSF	NET SQUARE FOOTAGE
CLG	CLEAR	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	O.A.	OVER ALL
CRM	CROWN MOLD	ON	ON CENTER
COL	COLUMN	O.D.	OUTSIDE DIAMETER
CONC	CONCRETE	O.F.	OVERFLOW
CONSTR	CONSTRUCTION	O.H.	OPPOSITE HAND
CONTR	CONTRACTOR/CONTRACT	PART	PARTITION
CONT	CONTINUOUS	P.L.	PLASTIC LAMINATE
CPT	CARPET	P.LUM	PLUMBING
CY	CERAMIC TILE	P.V.	PVC
DF	DRINKING FOUNTAIN	P.V.M.U.	PRE-CAST MASONRY UNIT
DIAM	DIAMETER	PNL	PANEL
DIAG	DIAGONAL	POS	POLISHED
DIM	DIMENSION	PROJ	PROJECT/PROJECTION
DN	DOWN	PTX	PRINTED
DW	DEPTH	P.T.	PRESSURE TREATED
DOOR	DOOR	QTY	QUANTITY
DS	DOWN SPOUT	R	RELOCATED
DTL/DET	DETAIL	RB	RUBBER BASE
ELEC	ELECTRICAL	REF	REFLECTED CEILING PLAN
EL/ELEV	ELEVATION/ ELEVATOR	RFP	RADIUS
EMER	EMERGENCY	R/RAD	RADIUS
ENT	ENTRANCE	RECP	RECELFACE
EQ	EQUAL	R/O	ROUGH OPENING
EQ1	EQUAL TO REMAIN	R.S.F.	RENTABLE SQUARE FOOTAGE
EWA	ELECTRIC WATER COOLER	R.T.U.	ROOF TOP UNIT
EXIST	EXISTING	S.C.	SOLID CORE
EXP. JT.	EXPANSION JOINT	SCHED.	SCHEDULE
EXT	EXTERIOR	SECT	SECTION
F	FIRE	S.F.	SQUARE FOOT/ SQUARE FOOTAGE
FA	FIRE ALARM	SMB	SIMILAR
FEC	FIRE EXTINGUISHER CABINET	SPEC.	SPECIFY/ SPECIFIED
FD	FLOOR DRAIN	S.S.	STAINLESS STEEL
FIXT	FIXTURE	STD	STANDARD
FLUR	FLOOR FINISH	STL	STEEL
FOOT/FEET	FOOT/ FEET	SUSP	SUSPENDED
FUR	FURNITURE/ FURNISHING	TEL	TELEPHONE
FWC	FABRIC WALL COVERING	TEMP	TEMPERED
FRP	FIBERGLASS REIN. PLASTIC	THRES	THRESHOLD
GCT	GLAZED CERAMIC TILE	T.O.	TOP OF
GL	GLASS/ GLAZED	T.O.S.	TOP OF STEEL/SLAB
GRD	GROUND	T.O.W.	TOP OF WALL
GSP	GROSS SQUARE FOOTAGE	TYM	TYPICAL
GYP	GYPSPUM	TRP	TO MATCH EXISTING
GWB	GYPSPUM WALL BOARD	UC	UNDERCUT
H.C.	HOLLOW CORE	U.L.A.	U.L. APPROVED
HD	HEAD	U.S.	USABLE SQUARE FOOTAGE
HDW	HARDWARE	U/S	UNDERSIDE
H.I.D.	HIGH INTENSITY DISCHARGE	V.F.	VERIFY IN FIELD
H.M.	HOLLOW METAL	V.L.	VOLUME
HTH	HEIGHT	VOL.	VOLUME
H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING	V.V.C.	VINYL COMPOSITION TILE
I.D.	INSIDE DIAMETER	V.V.V.C.	VINYL WALL COVERING
IN	INCH	W/	WITH
INCAND	INCANDESCENT	W/O	WITHOUT
INSUL	INSULATION	W/C	WATER CLOSET
J.C.	JANITOR CLOSET	WD	WOOD
JBOX	JUNCTION BOX	W.P.	WORKING POINT
		WT	WEIGHT

PROJECT DESCRIPTION

NEW 4,749.88 SF SINGLE-FAMILY RESIDENCE

CODE SUMMARY

ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF NORTH CASTLE CODES & ORDINANCES.

NEW YORK STATE APPLICABLE BUILDING CODES:

BUILDING	2020 INTERNATIONAL BUILDING CODE
FIRE	2020 INTERNATIONAL RESIDENTIAL CODE
FIRE PLUMBING	2020 UNIFORM CODE SUPPLEMENT
MECHANICAL	2020 INTERNATIONAL EXISTING BUILDING CODE
FUEL GAS	2020 INTERNATIONAL FIRE CODE
ENERGY	2015 INTERNATIONAL MECHANICAL CODE
PROPERTY MAINTENANCE	2020 INTERNATIONAL FUEL GAS CODE
ACCESSIBILITY	2020 INTERNATIONAL ENERGY CONSERVATION CODE
	ANSI/ICC A117.1

USE AND OCCUPANCY CLASSIFICATION:
SINGLE-FAMILY RESIDENCE: R-3 (IBC: 310.5)

CONSTRUCTION TYPE:
TYPE VB (IBC: TABLE 601)

PROJECT DIRECTORY

OWNER/CLIENT	ARCHITECT	BUILDING DEPARTMENT
PRISCILLA V. VASCONCELLOS C/O CHRIS & TOM YAROSCAK NEW KING STREET WHITE PLAINS, NY 10604 T: 914.900.8665 E: CHRIS@LEGACYDEVELOPMENTLLC.COM	RECORDERED R040616, INC 363 WICHTER AVE PO BOX CHESTER, NY 10513 T: 914.774.0634 E: R040616@R040616-INC.COM	TOWN OF NORTH CASTLE BUILDING DEPT. 37 BEDFORD ROAD ARMONK, NY 10504 T: 914.273.3800 E: BUILDING@NORTHCASTLENY.COM

DRAWING LIST

- A-001 GENERAL CONDITIONS: FLOOR AREA CALCULATIONS
- A-002 AERIAL LOCATION MAP & PHOTOS OF NEIGHBORING HOMES
- A-101 BASEMENT PLAN
- A-102 FIRST FLOOR PLAN
- A-103 SECOND FLOOR PLAN
- A-104 ROOF PLAN
- A-201 EXTERIOR ELEVATIONS
- A-202 EXTERIOR ELEVATIONS
- A-203 EXTERIOR ELEVATIONS
- A-204 EXTERIOR ELEVATIONS
- A-301 BUILDING SECTIONS
- A-302 BUILDING SECTIONS

STRUCTURAL DESIGN CRITERIA

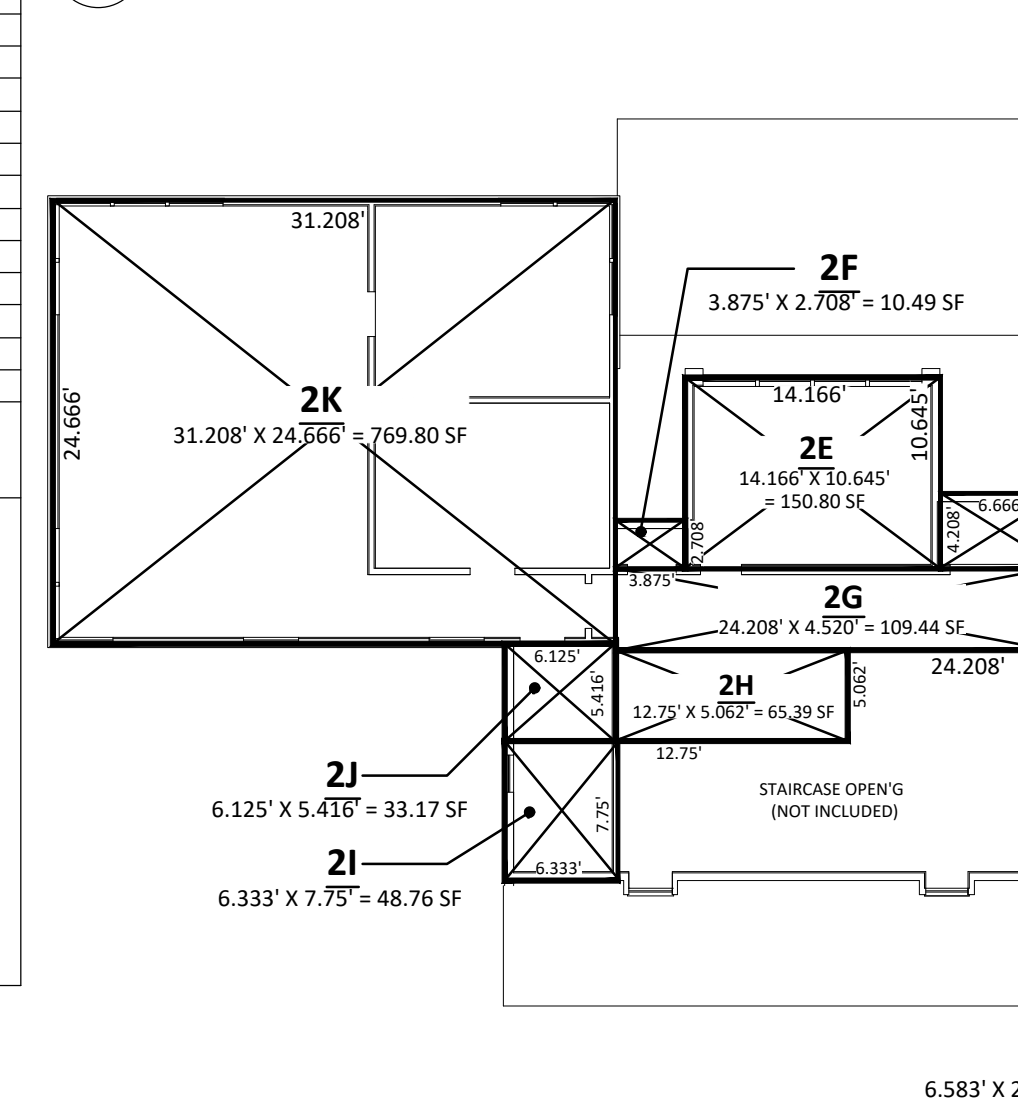
MIN. SOIL BEARING CAPACITY: 3,000 PSF
CONCRETE FOOTINGS: 3,000 PSI
CONCRETE SLABS ON GRADE/COMPACTED FILL: 3,000 PSI

DEFLECTION LIMITS (IBC: 1604.3):
L/360

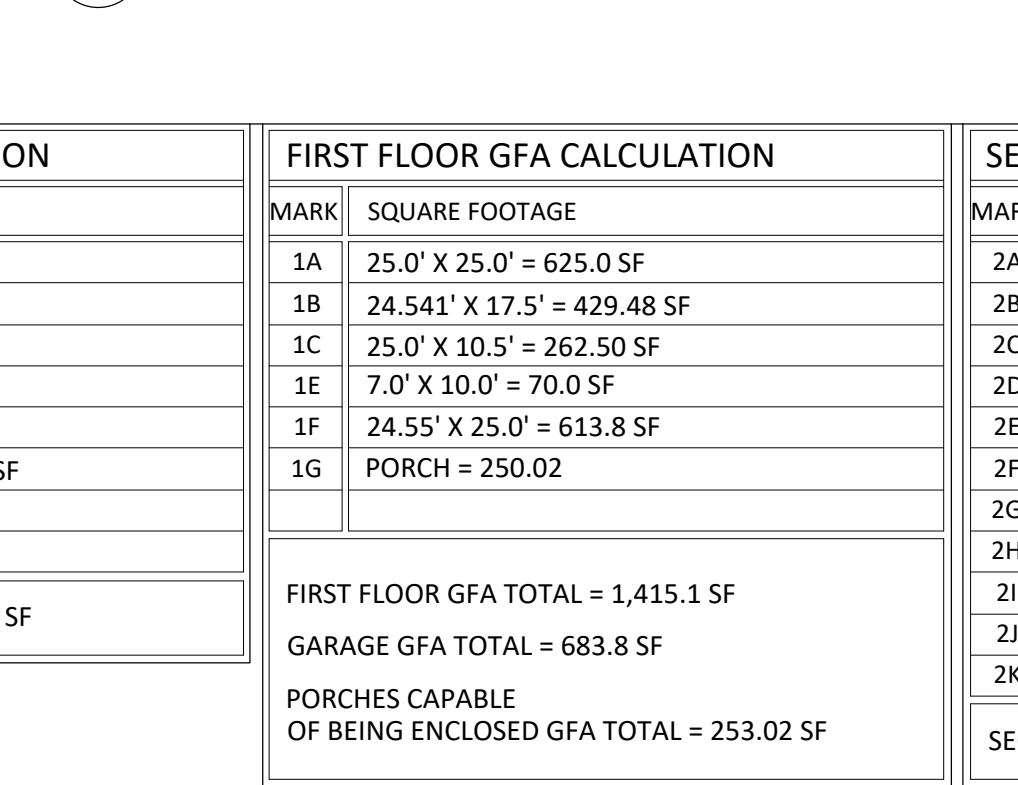
LIVE LOADS (IBC: TABLE 1607.1):
FIRST & SECOND FLOOR: 40PSF
ATTIC W/O STORAGE: 20PSF
ROOF: 30PSF

STRUCTURAL STEEL MATERIALS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING SPECIFICATIONS UNLESS NOTED OTHERWISE:
STRUCTURAL STEEL - ASTM A992 GRADE 50 U.N.
STEEL PLATES - ASTM A36 U.N. // HIGH STRENGTH BOLTS ASTM A325 GALVANIZED
NUTS - ASTM A563 GALVANIZED // WELDING ELECTRODES - AWS CLASS E70

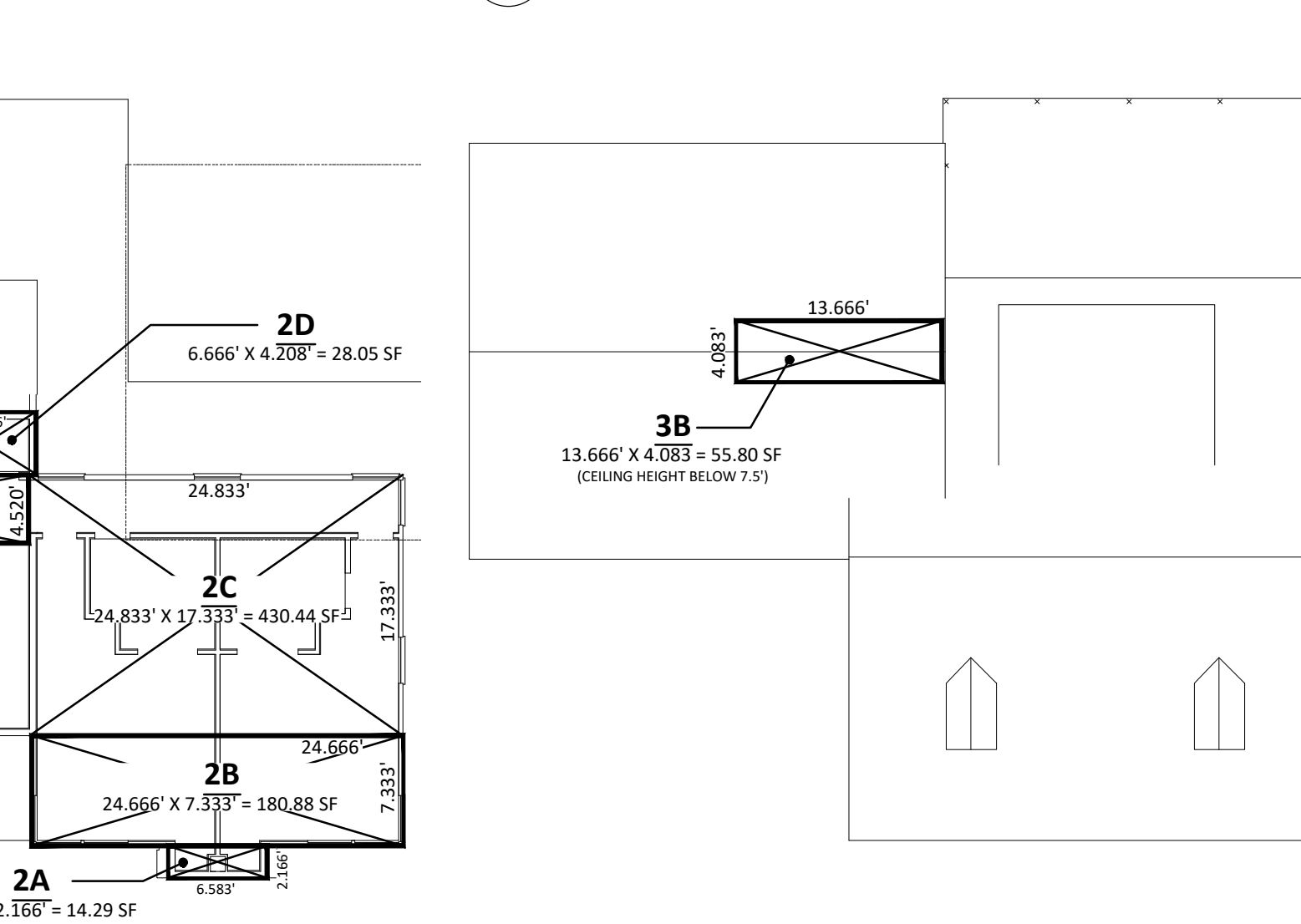
1 BASEMENT GROSS FLOOR AREA DIAGRAM
SCALE: 3/32" = 1'-0"



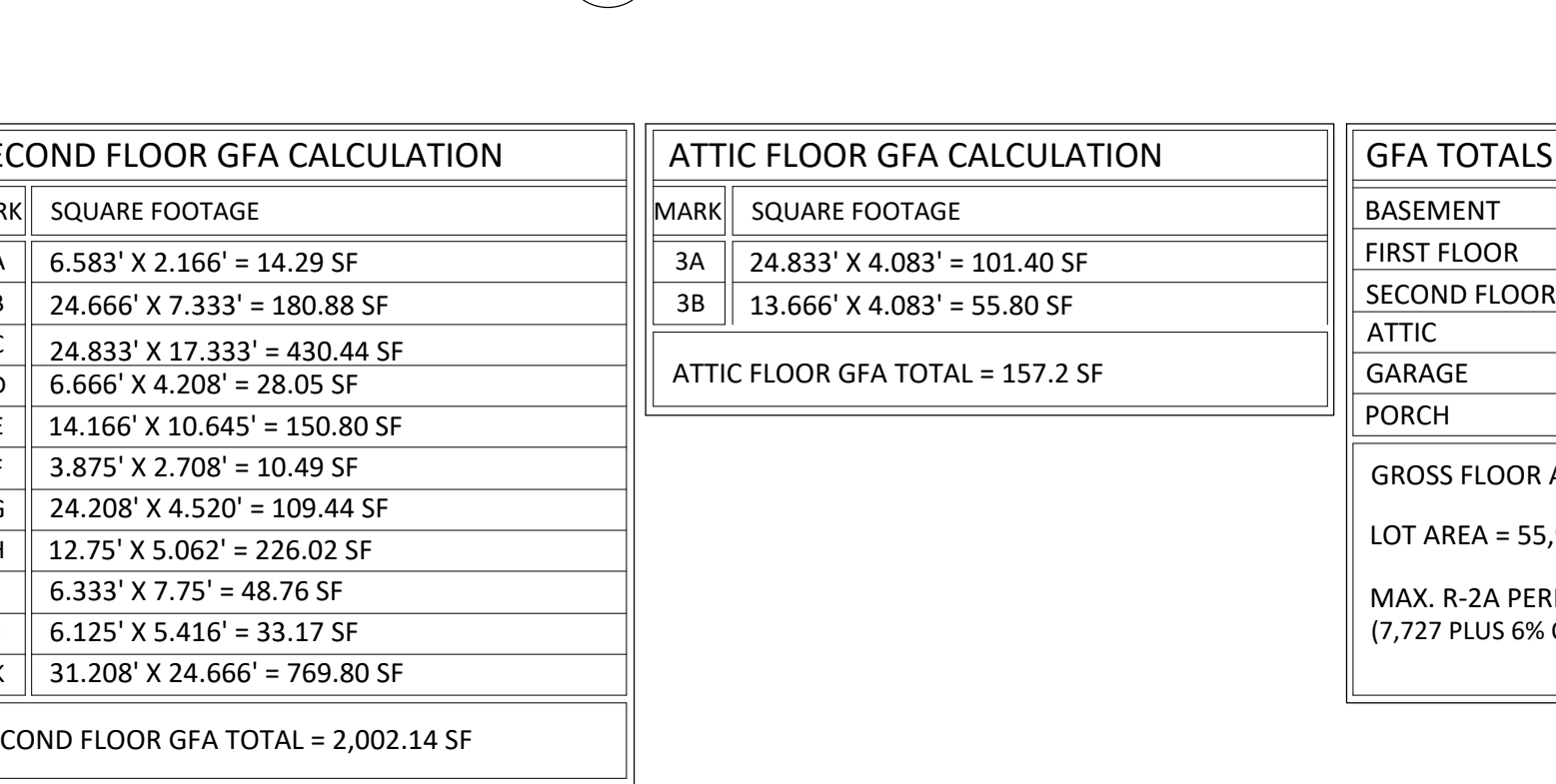
3 SECOND FLOOR GROSS FLOOR AREA DIAGRAM
SCALE: 3/32" = 1'-0"



2 FIRST FLOOR GROSS FLOOR AREA DIAGRAM
SCALE: 3/32" = 1'-0"



4 ATTIC GROSS FLOOR AREA DIAGRAM
SCALE: 3/32" = 1'-0"



BASEMENT GFA CALCULATION

MARK	SQUARE FOOTAGE
0A	8.0' X 2.0' = 16.0 SF
0B	25.0' X 25.0' = 625.0 SF
0C	13.125' X 17.5' = 229.68 SF
0D	11.416' X 1.375' = 15.70 SF
0E	1.375' X 2.708' = 3.72 SF
0F	11.416' X 13.375' = 152.70 SF
0G	6.541' X 4.916' = 32.16 SF
0H	25.541' X 10.5' = 257.68 SF
BASEMENT GFA TOTAL	= 1,332.64 SF

FIRST FLOOR GFA CALCULATION

MARK	SQUARE FOOTAGE
1A	25.0' X 25.0' = 625.0 SF
1B	24.541' X 17.5' = 429.48 SF
1C	25.0' X 10.5' = 262.50 SF
1E	7.0' X 10.0' = 70.0 SF
1F	24.55' X 25.0' = 613.8 SF
1G	PORCH = 250.02 SF
FIRST FLOOR GFA TOTAL	= 1,415.1 SF
GARAGE GFA TOTAL	= 683.8 SF
PORCHES CAPABLE OF BEING ENCLOSED GFA TOTAL	= 253.02 SF

SECOND FLOOR GFA CALCULATION

MARK	SQUARE FOOTAGE
2A	6.583' X 2.166' = 14.29 SF
2B	24.666' X 7.333' = 180.88 SF
2C	24.833' X 17.333' = 430.44 SF
2D	6.666' X 4.208' = 28.05 SF
2E	14.166' X 7.333' = 104.88 SF
2F	3.875' X 2.708' = 10.49 SF
2G	24.208' X 4.520' = 109.44 SF
2H	12.75' X 5.062' = 226.02 SF
2I	6.333' X 7.75' = 48.76 SF
2J	6.125' X 5.416' = 33.17 SF
2K	31.208' X 24.666' = 769.80 SF
SECOND FLOOR GFA TOTAL	= 2,002.14 SF

ATTIC FLOOR GFA CALCULATION

MARK	SQUARE FOOTAGE
3A	24.833' X 4.083' = 101.40 SF
3B	13.666' X 4.083' = 55.80 SF
ATTIC FLOOR GFA TOTAL	= 157.2 SF

GFA TOTALS

BASEMENT	1,332.64 SF
FIRST FLOOR	1,415.1 SF
SECOND FLOOR	2,002.14 SF
ATTIC	157.2 SF
GARAGE	683.8 SF
PORCH	253.02 SF
GROSS FLOOR AREA TOTAL	= 5,843.9 SF
LOT AREA	= 55,914 SF OR 1.2836 ACRES
MAX. R-2A PERMITTED GFA	= 8,468.24 SF
(7,727 PLUS 6% OF THE LOT AREA IN EXCESS OF 1.0 ACRE)	

NEW SINGLE-FAMILY RESIDENCE FOR:
PRISCILLA V. VASCONCELLOS
C/O CHRIS & TOM YAROSCAK
11 WHIPPOORWILL LN, ARMONK, NY 10504
GENERAL NOTES; FLOOR AREA CALCULATIONS

Drawn: [Signature]

Checked: [Signature]

Date: 08.12.20

AS NOTED

2021

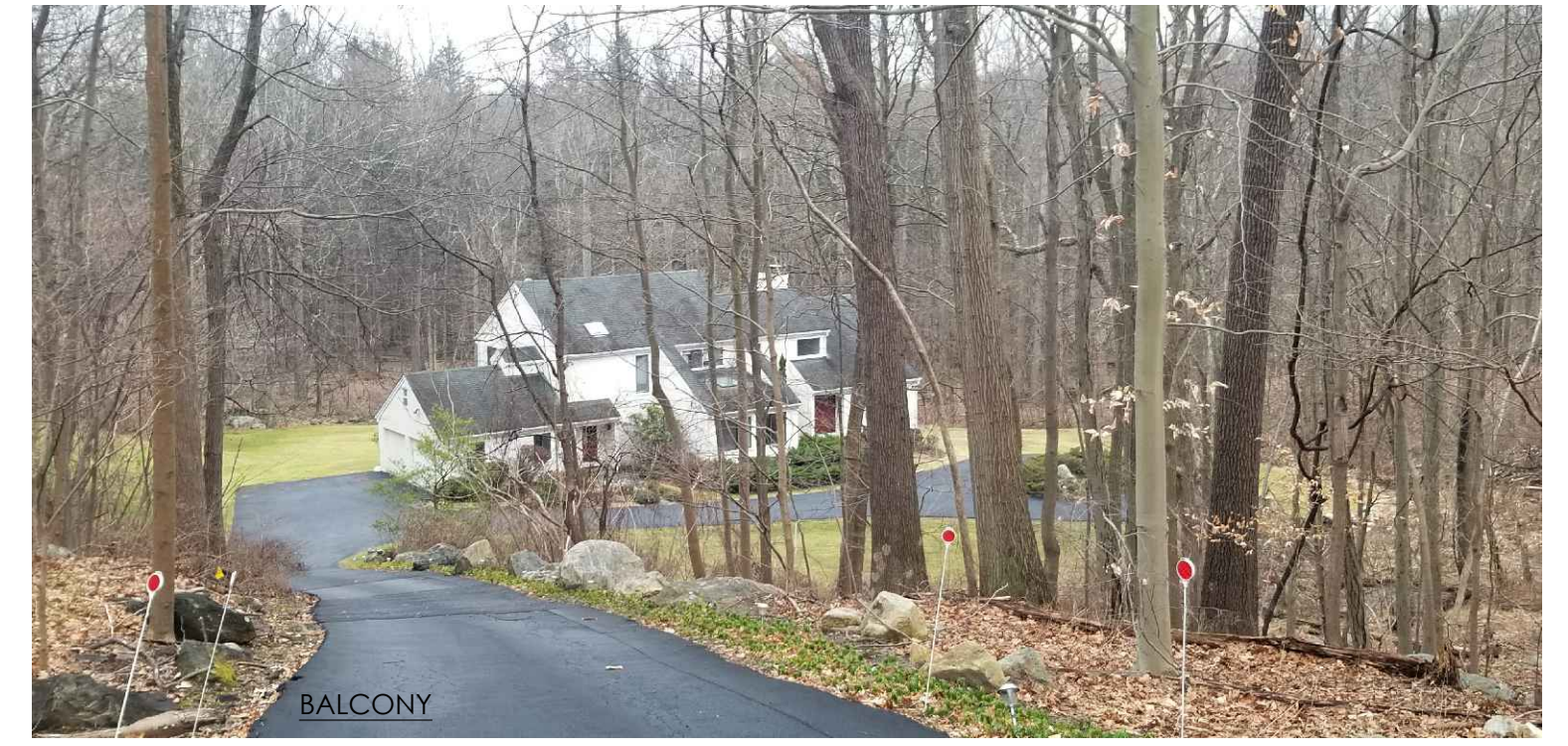
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2
A-002 7 WHIPPOORWILL LN. - RESIDENCE
SCALE: N.T.S.



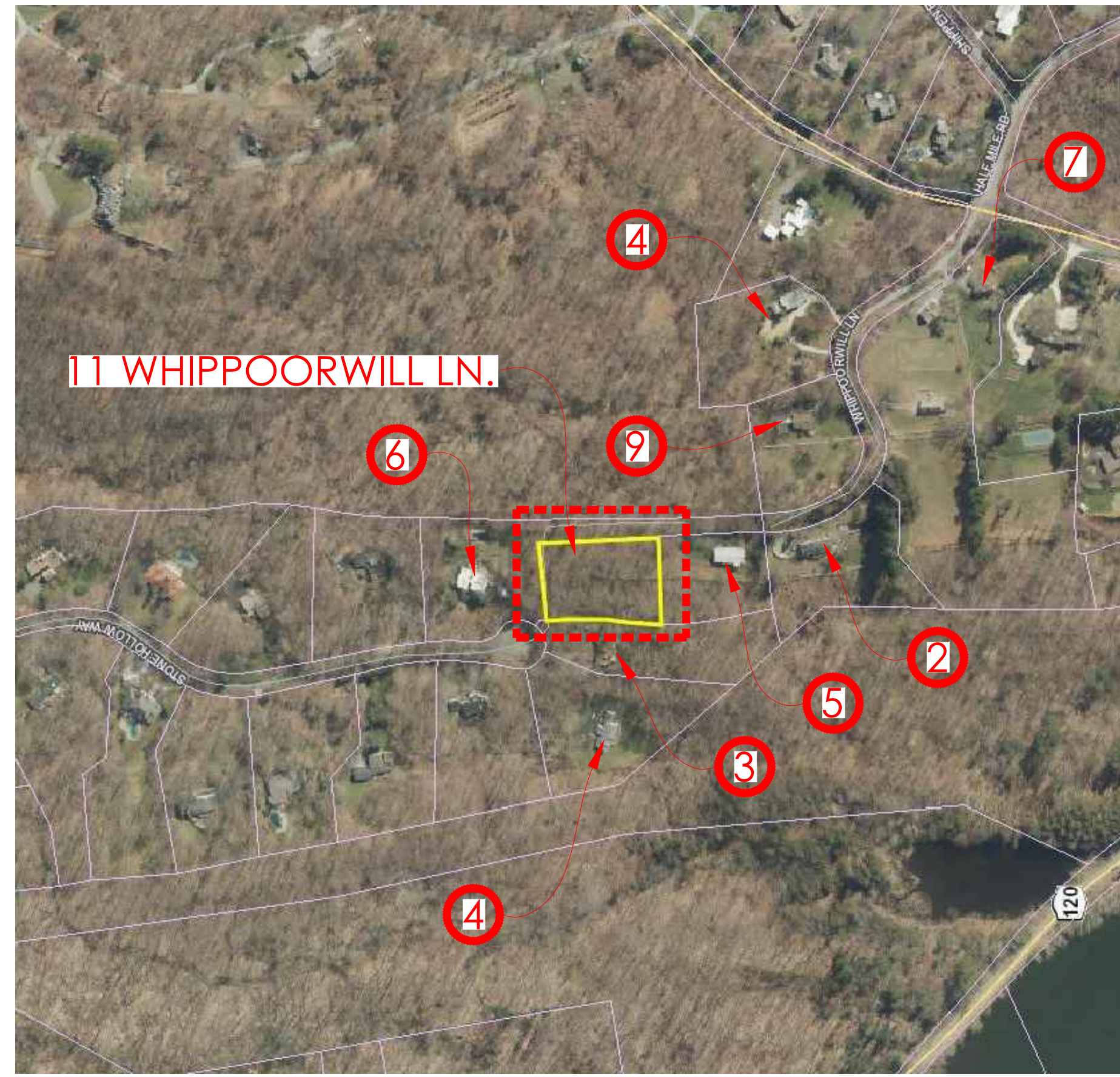
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A-002 11 STONE HOLLOW WAY - RESIDENCE
SCALE: N.T.S.



4
A-002 12 STONE HOLLOW WAY - RESIDENCE
SCALE: N.T.S.



5
A-002 9 WHIPPOORWILL LN. - RESIDENCE
SCALE: N.T.S.



1
A-002 AERIAL LOCATION MAP
SCALE: N.T.S.



6
A-002 9 STONE HOLLOW WAY - RESIDENCE
SCALE: N.T.S.



7
A-002 3 WHIPPOORWILL LN. - RESIDENCE
SCALE: N.T.S.



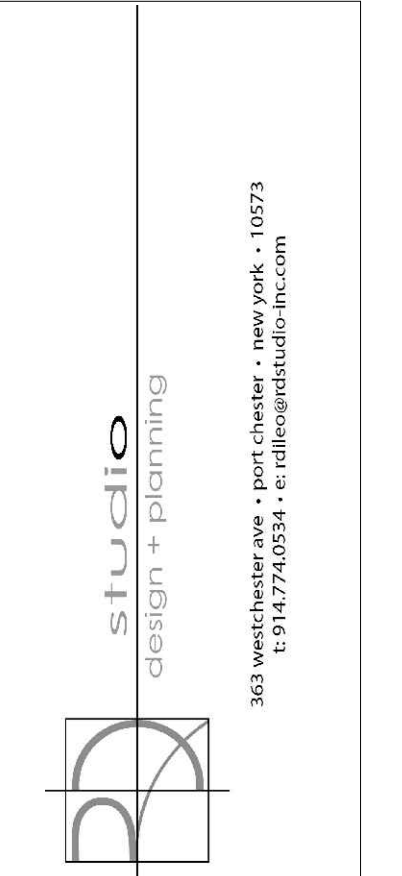
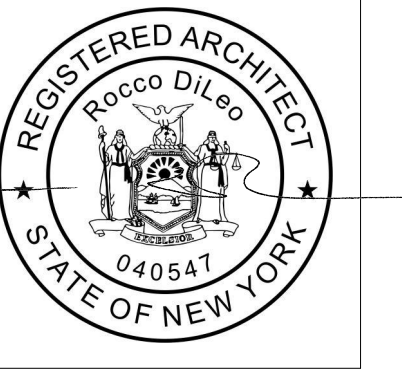
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A-002 4 WHIPPOORWILL LN. - RESIDENCE
SCALE: N.T.S.



9
A-002 6 WHIPPOORWILL LN. - RESIDENCE
SCALE: N.T.S.

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11 WHIPPOORWILL LN, ARMONK, NY 10504
 AERIAL LOCATION MAP & PHOTOS OF NEIGHBORING HOMES

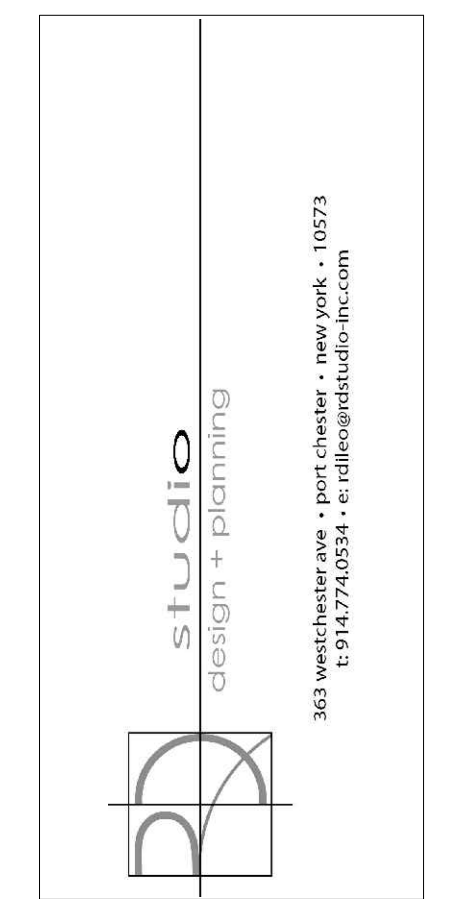
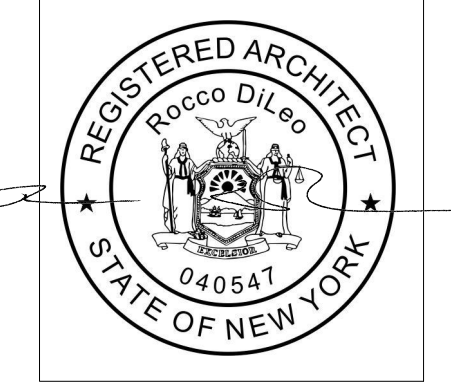
Drawn	JV
Checked	<input checked="" type="checkbox"/>
Date	08.12.20
Scale	AS NOTED
Job Number	2021
Sheet	A-002

FLOOR PLAN LEGEND	
	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER

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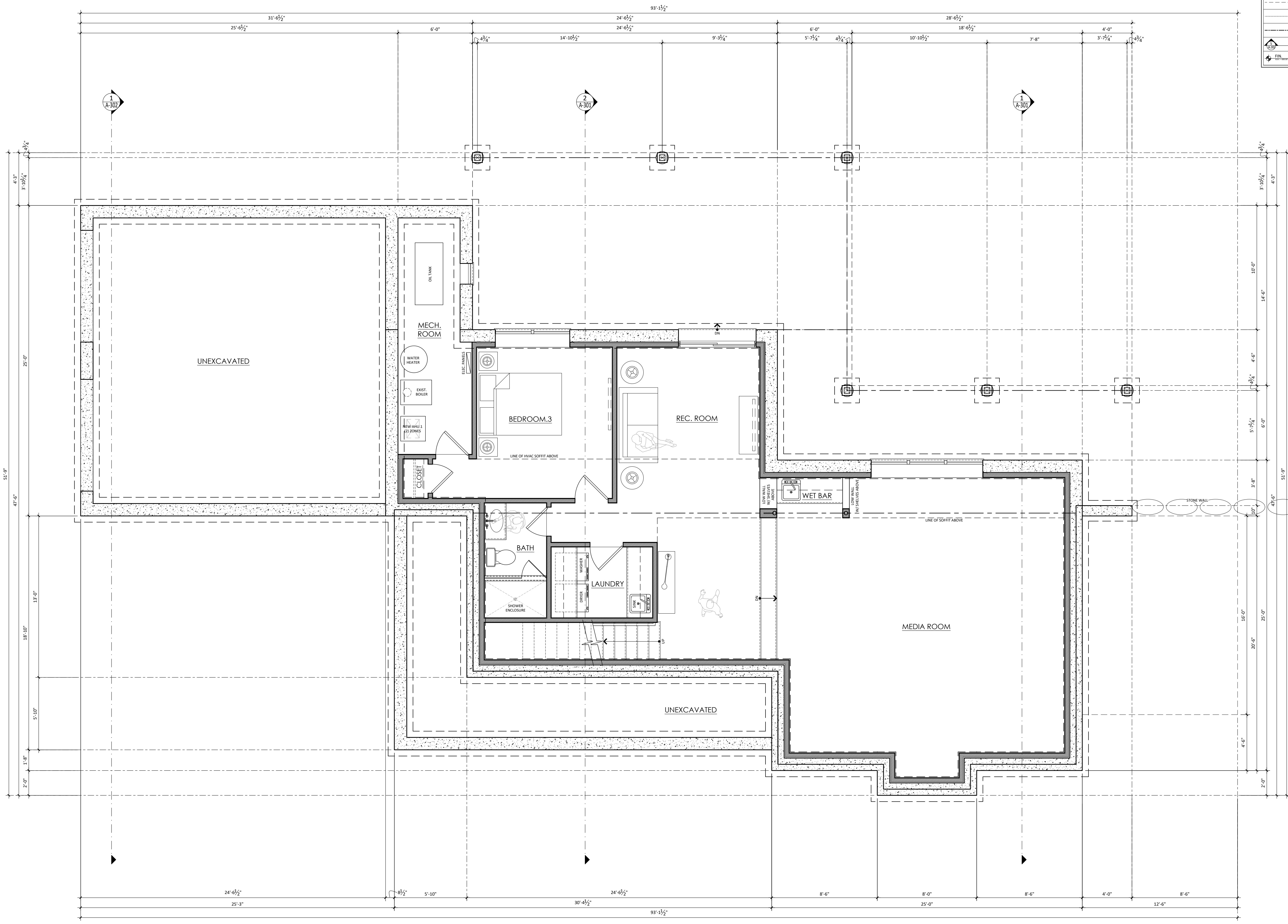
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BASEMENT PLAN

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Date	08.12.20
Scale	AS NOTED
Job Number	2021
Sheet	A-101

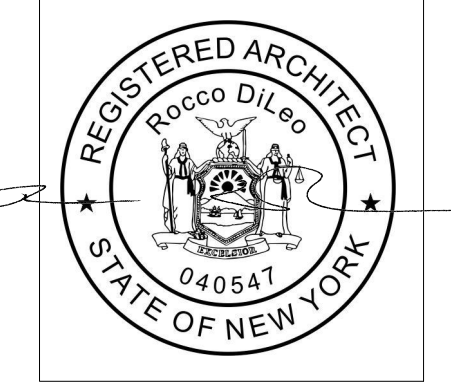


1
A-101 **BASEMENT PLAN**
 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND	
	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER

Status	Date
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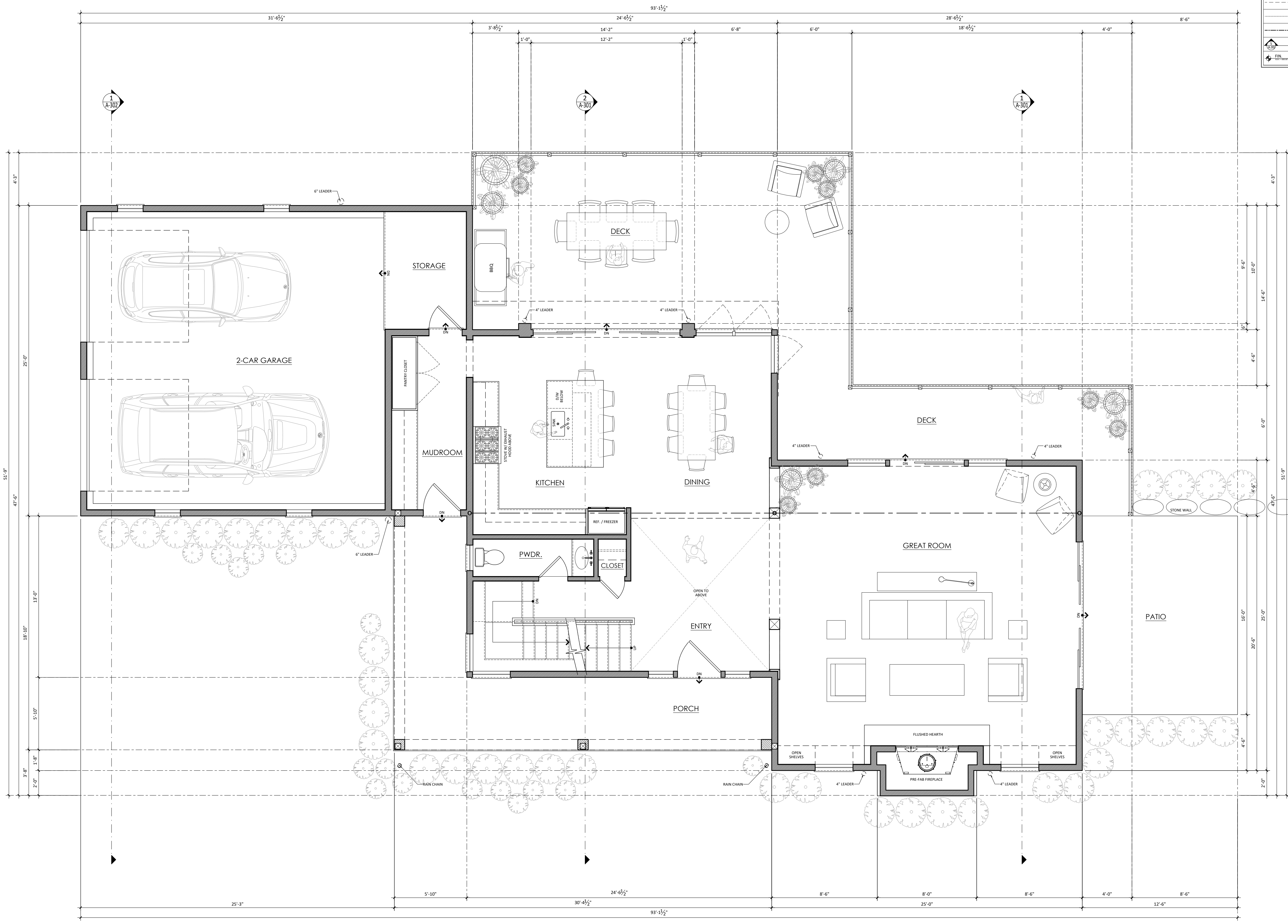
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C/O CHRIS & TOM YAROSCAK
11 WHIPPOORWILL LN, ARMONK, NY 10504

FIRST FLOOR PLAN

JV	Drawn
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08.12.20	Date
AS NOTED	Scale
2021	Job Number
	Sheet

A-102

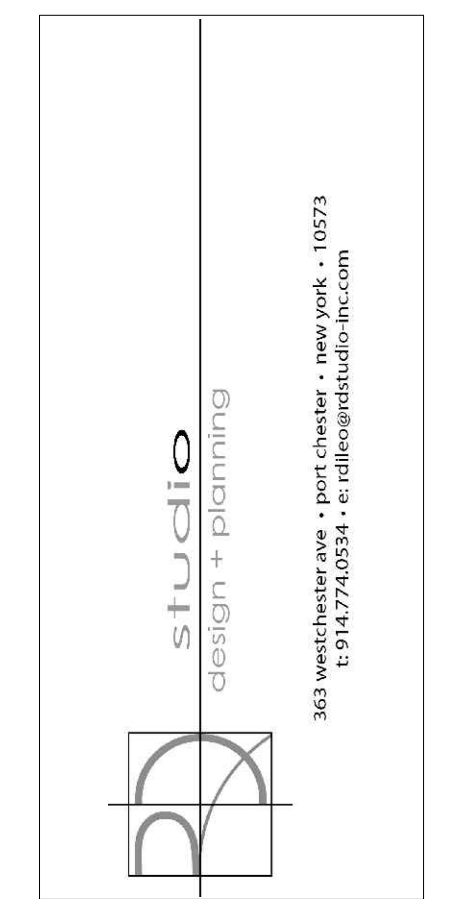
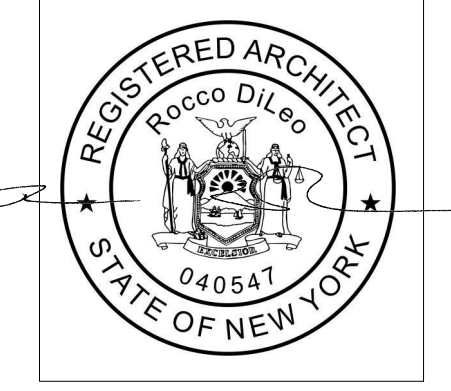


1
A-102 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND	
	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER

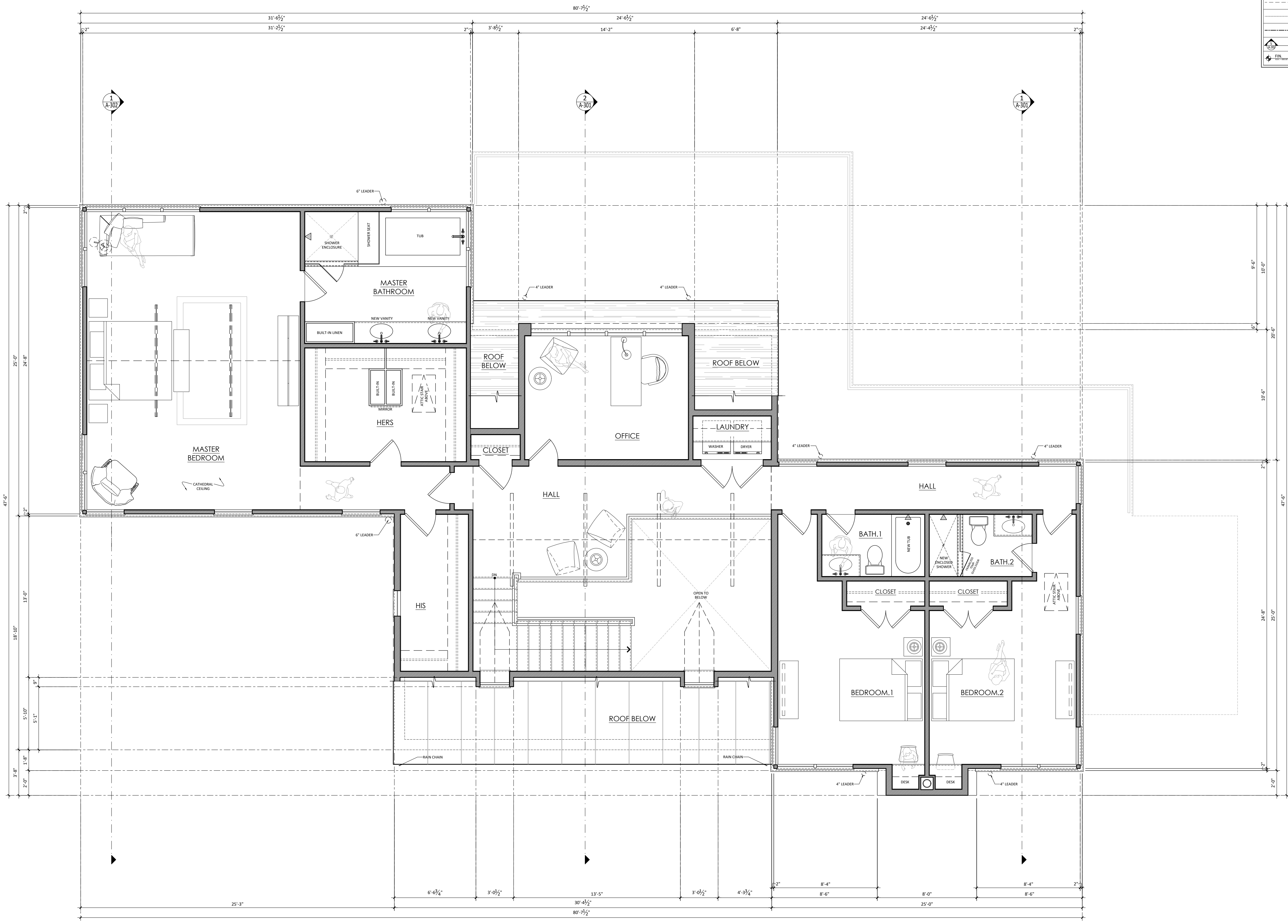
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 SECOND FLOOR PLAN

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Date	08.12.20
Scale	AS NOTED
Job Number	2021
Sheet	A-103

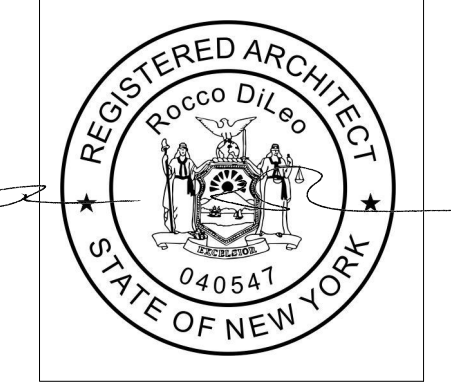


1 A-103 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND	
	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER

Status	Date
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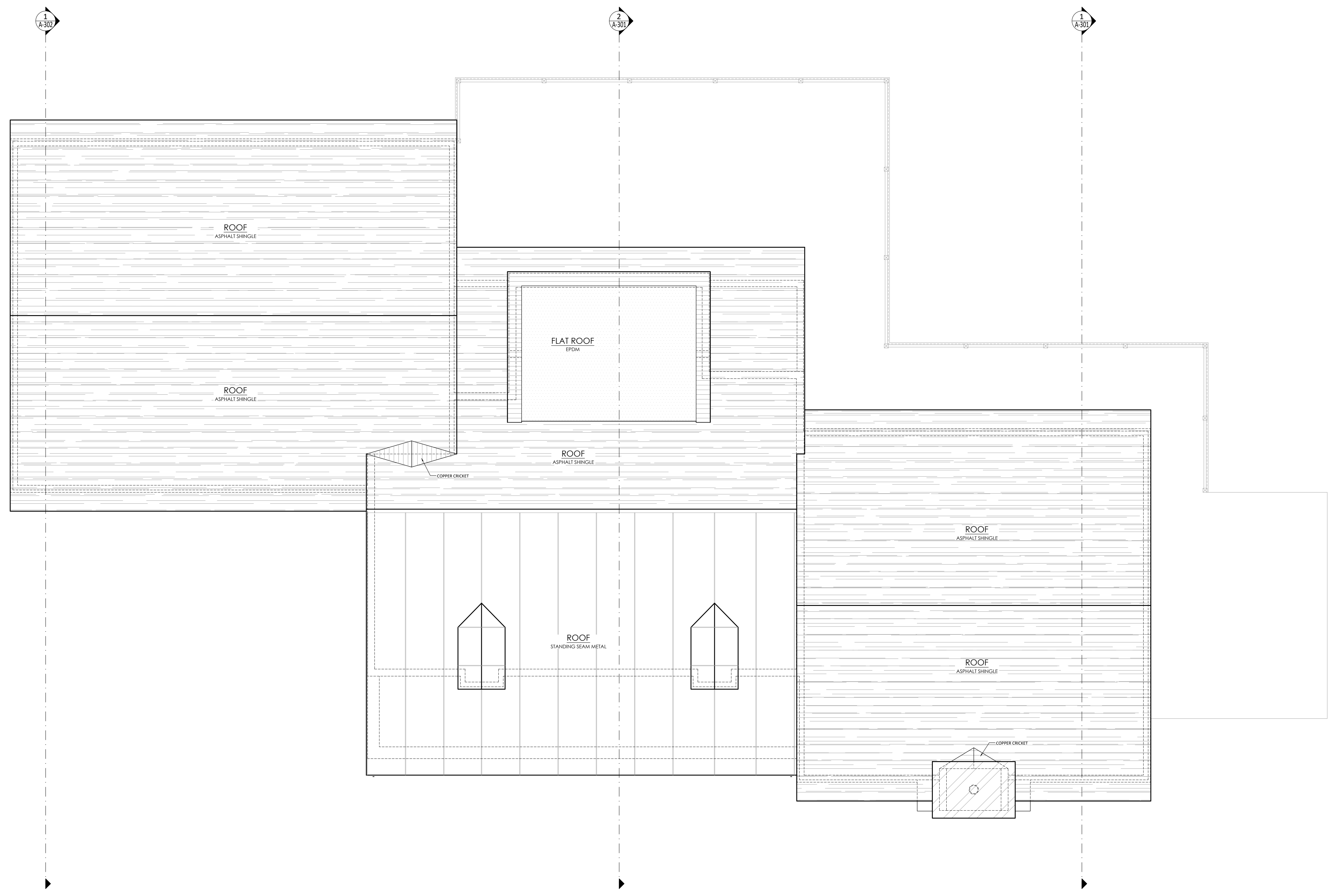
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ROOF PLAN

Drawn	JV
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Date	08.12.20
Scale	AS NOTED
Job Number	2021
Sheet	A-104



1
A-104 **ROOF PLAN**
SCALE: 1/4" = 1'-0"

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C/O CHRIS & TOM YAROSCAK
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 EXTERIOR ELEVATIONS

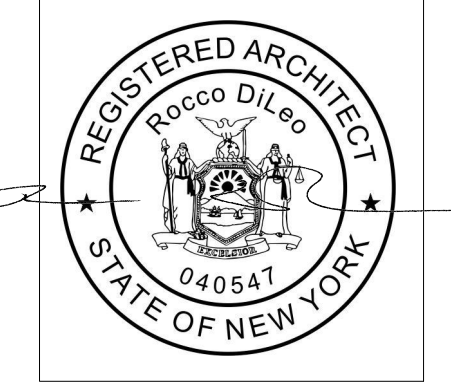
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Date	08.12.20
Scale	AS NOTED
Job Number	2021
Sheet	A-201



1 EXTERIOR EAST ELEVATION
 A-201 SCALE: 1/4" = 1'-0"

Status	Date
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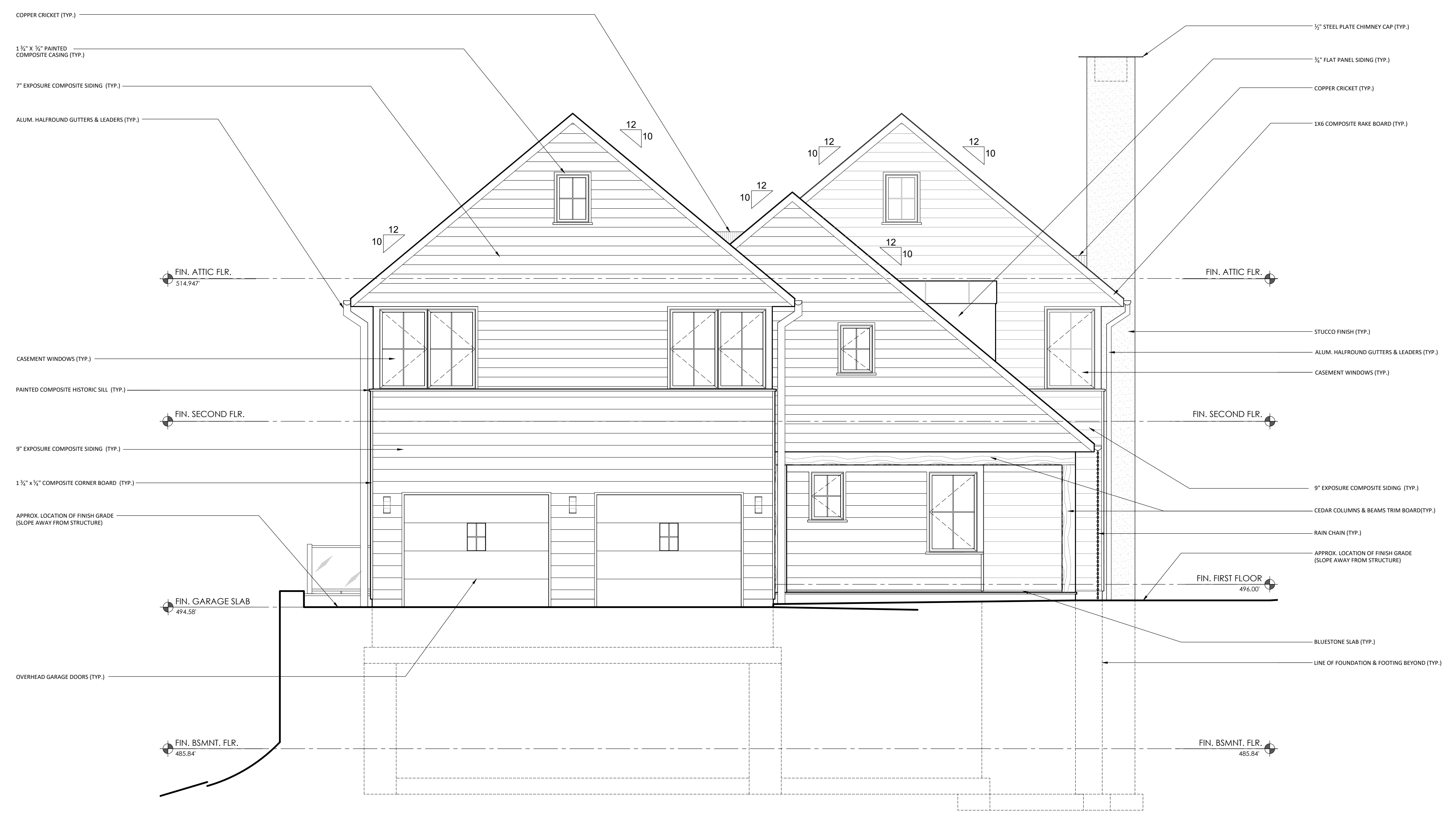
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C/O CHRIS & TOM YAROSCAK
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 EXTERIOR ELEVATIONS

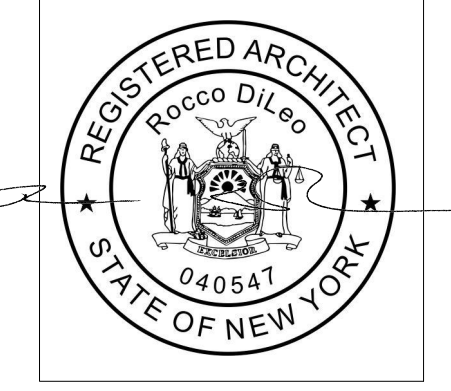


1
A-202
EXTERIOR SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

Drawn	JV
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Date	08.12.20
Scale	AS NOTED
Job Number	2021
Sheet	A-202

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C/O CHRIS & TOM YAROSCAK
11 WHIPPOORWILL LN, ARMONK, NY 10504
 EXTERIOR ELEVATIONS

Drawn	JV
Checked	
Date	08.12.20
Scale	AS NOTED
Job Number	2021
Sheet	A-203



1 EXTERIOR WEST ELEVATION
A-203 SCALE: 1/4" = 1'-0"

Status	Date
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C/O CHRIS & TOM YAROSCAK
11 WHIPPOORWILL LN, ARMONK, NY 10504

EXTERIOR EAST & WEST ELEVATIONS



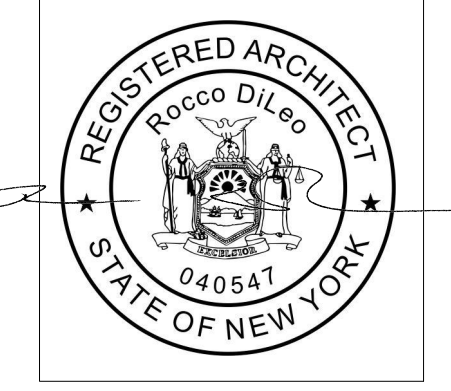
1
A-204
EXTERIOR SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

JV	Drawn
	Checked
08.12.20	Date
AS NOTED	Scale
2021	Job Number
	Sheet

A-204

Status	Date
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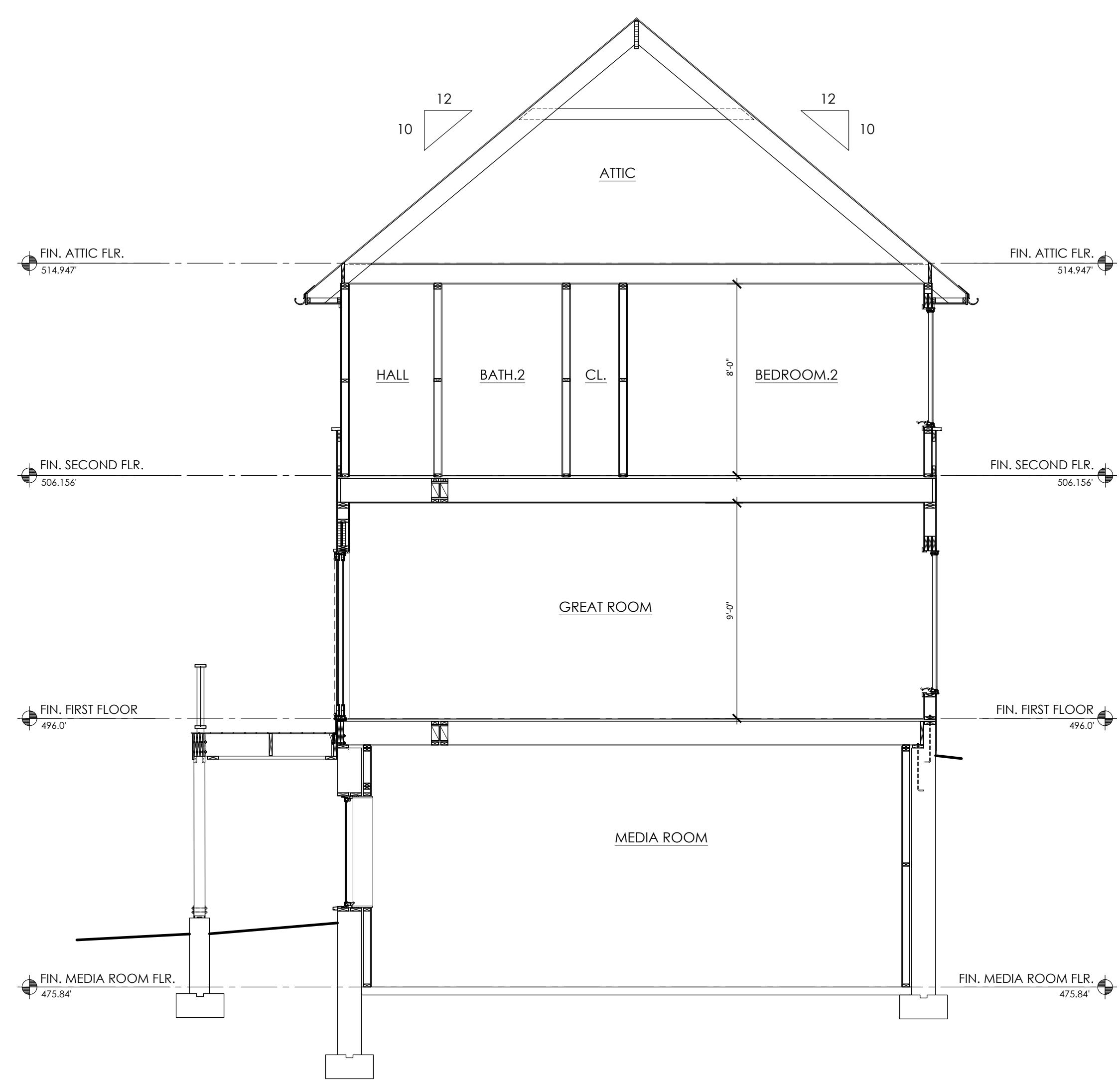


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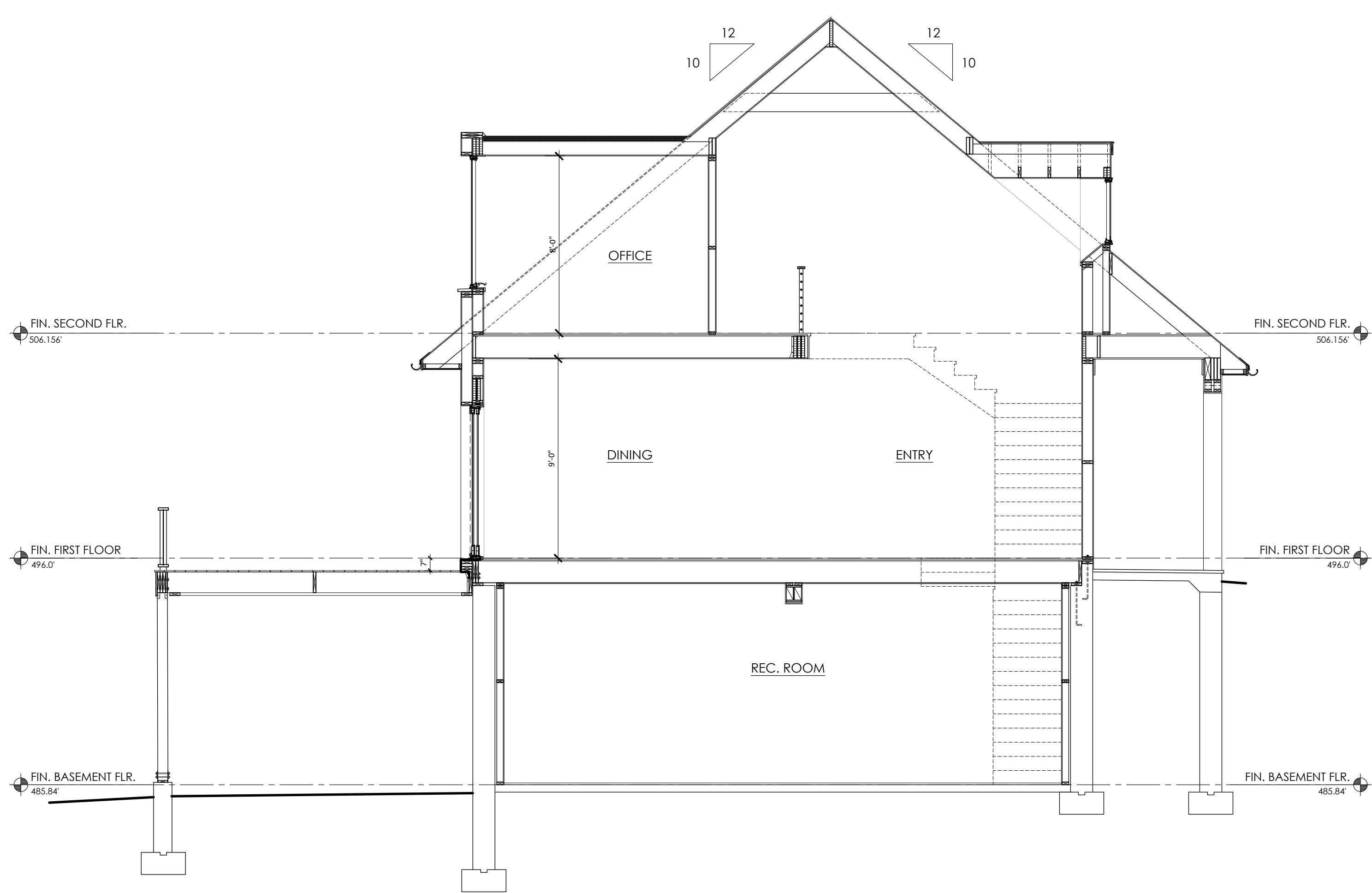
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11 WHIPPOORWILL LN, ARMONK, NY 10504
 BUILDING SECTIONS

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Date	08.12.20
Scale	AS NOTED
Job Number	2021
Sheet	A-301



1 CROSS-SECTION.1
A-301 SCALE: 1/4" = 1'-0"



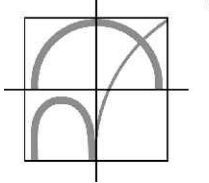
2 CROSS-SECTION.2
A-301 SCALE: 1/4" = 1'-0"

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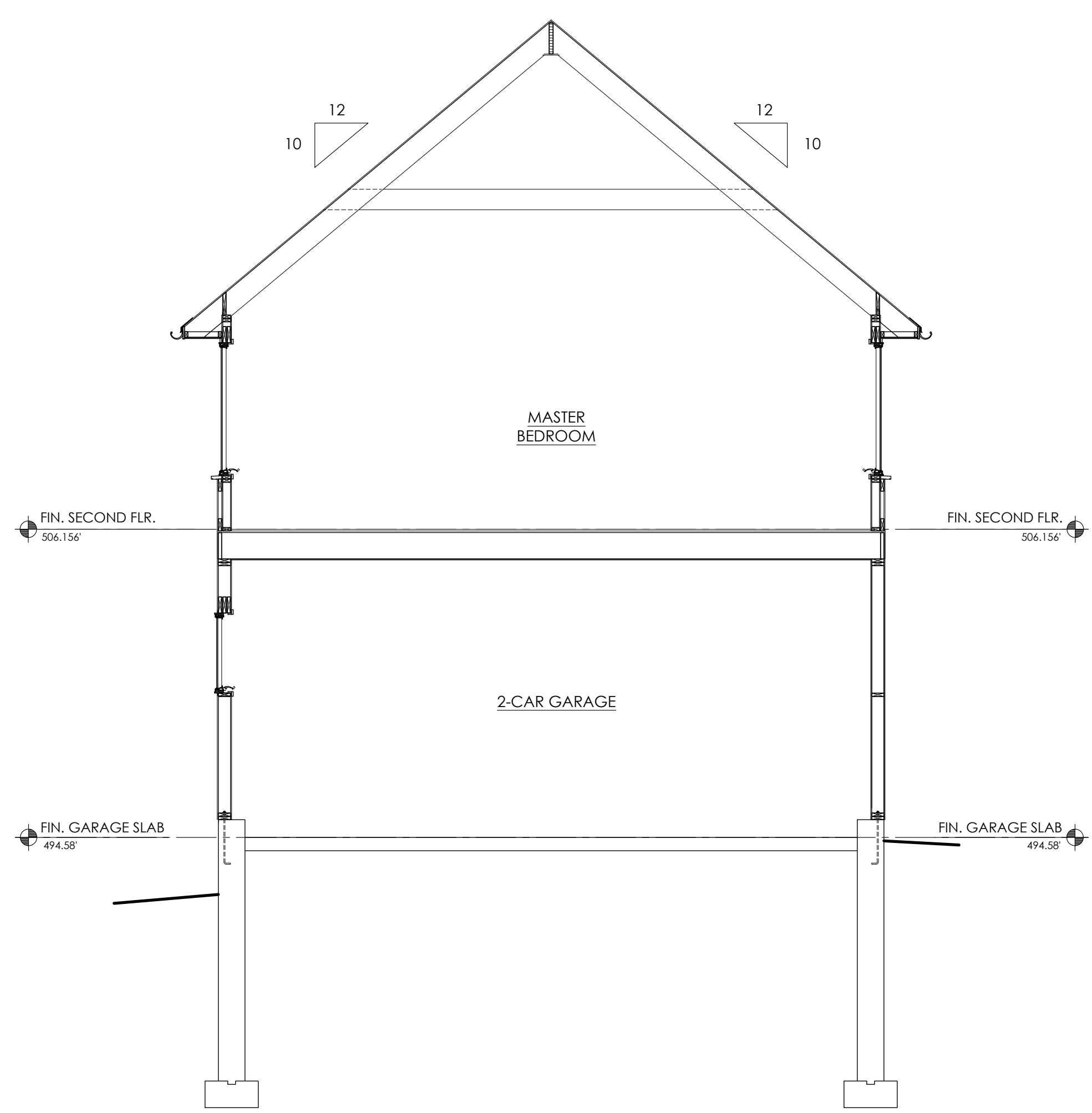
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BUILDING SECTIONS

JV	Drawn
	Checked
08.12.20	Date
AS NOTED	Scale
2021	Job Number
	Sheet

A-302



1 CROSS-SECTION.3
 A-302 SCALE: 1/4" = 1'-0"