



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 5 DEER RIDGE LANE, ARMONK, NY 10504

Section III- DESCRIPTION OF WORK:

Section III- CONTACT INFORMATION:

APPLICANT: THE JOSHUA M. ZARETSKY REVOCABLE TRUST

ADDRESS: 60 MORROW AVE, SCARSDALE, NY 10583

PHONE: 914-793-5610 MOBILE: _____ EMAIL: JZARETSKY@ZEMOREALESTATE.COM

PROPERTY OWNER:

THE JOSHUA M. ZARETSKY REVOCABLE TRUST

ADDRESS: 60 MORROW AVE., SCARSDALE, NY 10583

PHONE: 914-793-5610 MOBILE: _____ EMAIL: JZARETSKY@ZEMOREALESTATE.COM

PROFESSIONAL.: RALPH ALFONZETTI

ADDRESS: 1100 ROUTE 52 CARMEL, NY 10512

PHONE: 845-228-9800

MOBILE: _____

EMAIL: INFO@ALONZETTIENG.COM

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 100.04-2-20.4



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

5 DEER RIDGE LANE

Initial Submittal Revised Preliminary

Street Location:

5 DEER RIDGE LANE

Zoning District: R-2A Property Acreage: 2.26 Tax Map Parcel ID: 100.04-2-20.4

Date: 12/08/2020

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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Fax: (914) 273-3554
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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

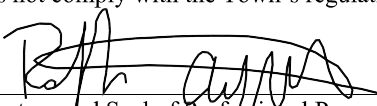
Application Name or Identifying Title: 5 DEER RIDGE LANE Date: 12/8/2020

Tax Map Designation or Proposed Lot No.: 100.04-2.20.4

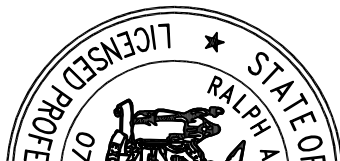
Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 98,305 S.F.
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 14,108 S.F.
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
73.3 x 10 = 733 S.F.
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 14,841 S.F.
5. Amount of lot area covered by **principal building**:
3453.1 S.F. existing + 624.7 S.F. proposed = 4077.8 S.F.
6. Amount of lot area covered by **accessory buildings**:
940 S.F. existing + 0 proposed = 940 S.F.
7. Amount of lot area covered by **decks**:
484.6 S.F. existing + 0 proposed = 484.6 S.F.
8. Amount of lot area covered by **porches**:
0 existing + 0 proposed = 0
9. Amount of lot area covered by **driveway, parking areas and walkways**:
5983.8 S.F. existing + -482.7 S.F. proposed = 5501.7 S.F.
10. Amount of lot area covered by **terraces**:
1361.5 S.F. existing + 0 proposed = 1361.5 S.F.
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
1110.8 S.F. existing + 0 proposed = 1110.8 S.F.
12. Amount of lot area covered by **all other structures**:
761.0 S.F. existing + 0 proposed = 761.0 S.F.
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 14,237.4 S.F.

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet

12/14/2020
 Date





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17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Deer Ridge Lane Date: 12-14-20

Tax Map Designation or Proposed Lot No.: Lot 4

Floor Area

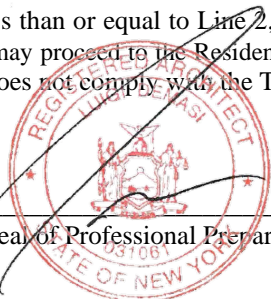
- | | | |
|-----|---|-----------------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>98,303.42</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>10,569</u> |
| 3. | Amount of floor area contained within first floor:
<u>2,164</u> existing + <u>673</u> proposed = | <u>2,837</u> |
| 4. | Amount of floor area contained within second floor:
<u>3,067</u> existing + <u>392</u> proposed = | <u>3,459</u> |
| 5. | Amount of floor area contained within garage:
<u>960</u> existing + <u>0</u> proposed = | <u>960</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>321</u> existing + <u>0</u> proposed = | <u>321</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>N/A</u> existing + <u>N/A</u> proposed = | <u> </u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>N/A</u> existing + <u>N/A</u> proposed = | <u> </u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>770</u> existing + <u>0</u> proposed = | <u>770</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>8,347</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

12-14-20

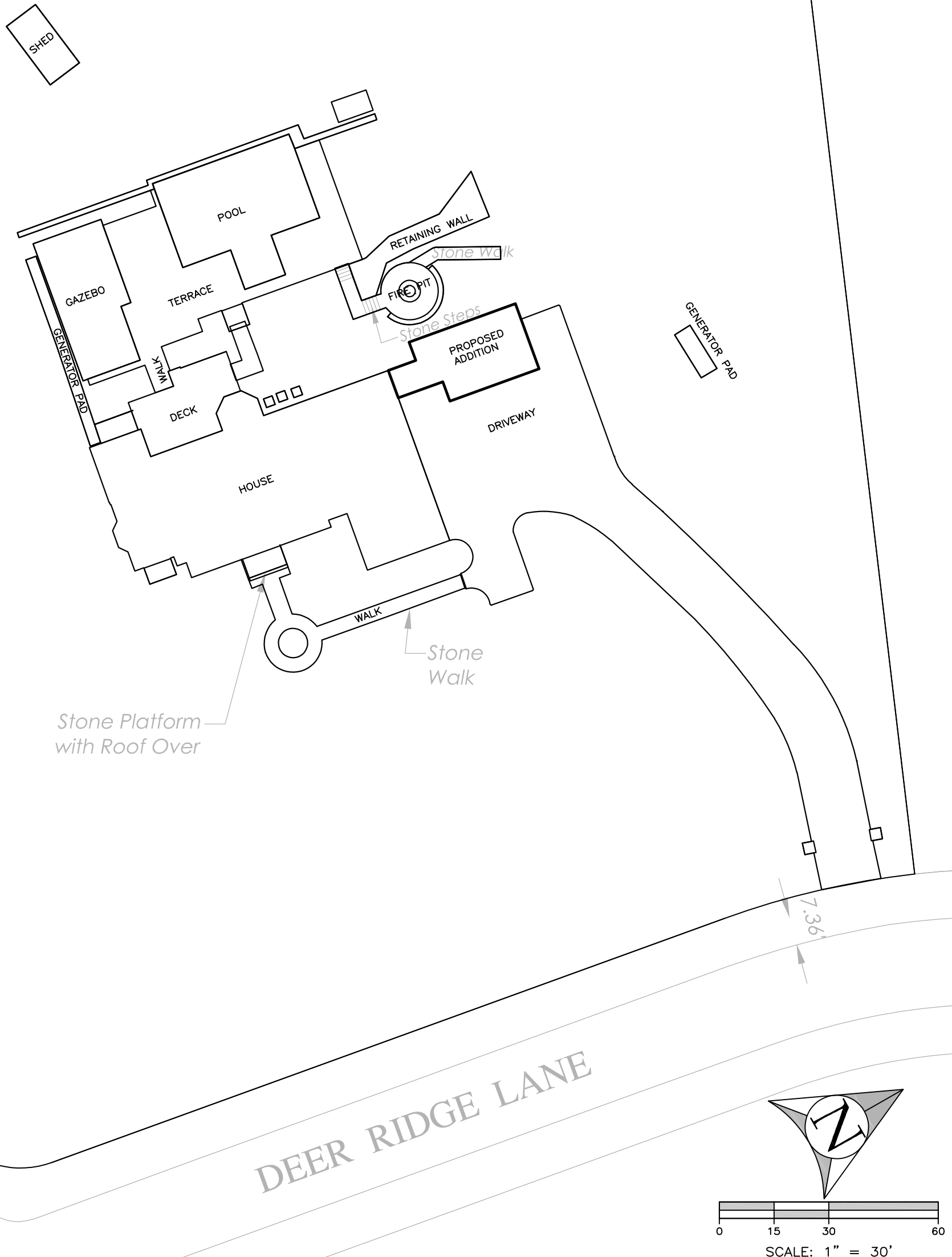
Date



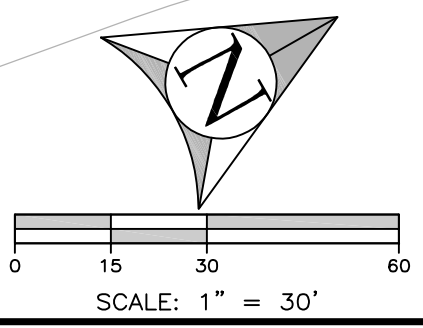
NOTE: LINES SHOWN
ARE COMPUTER
POLYLINE ENTITIES.

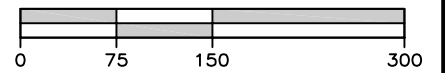
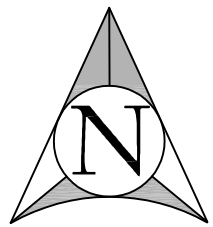
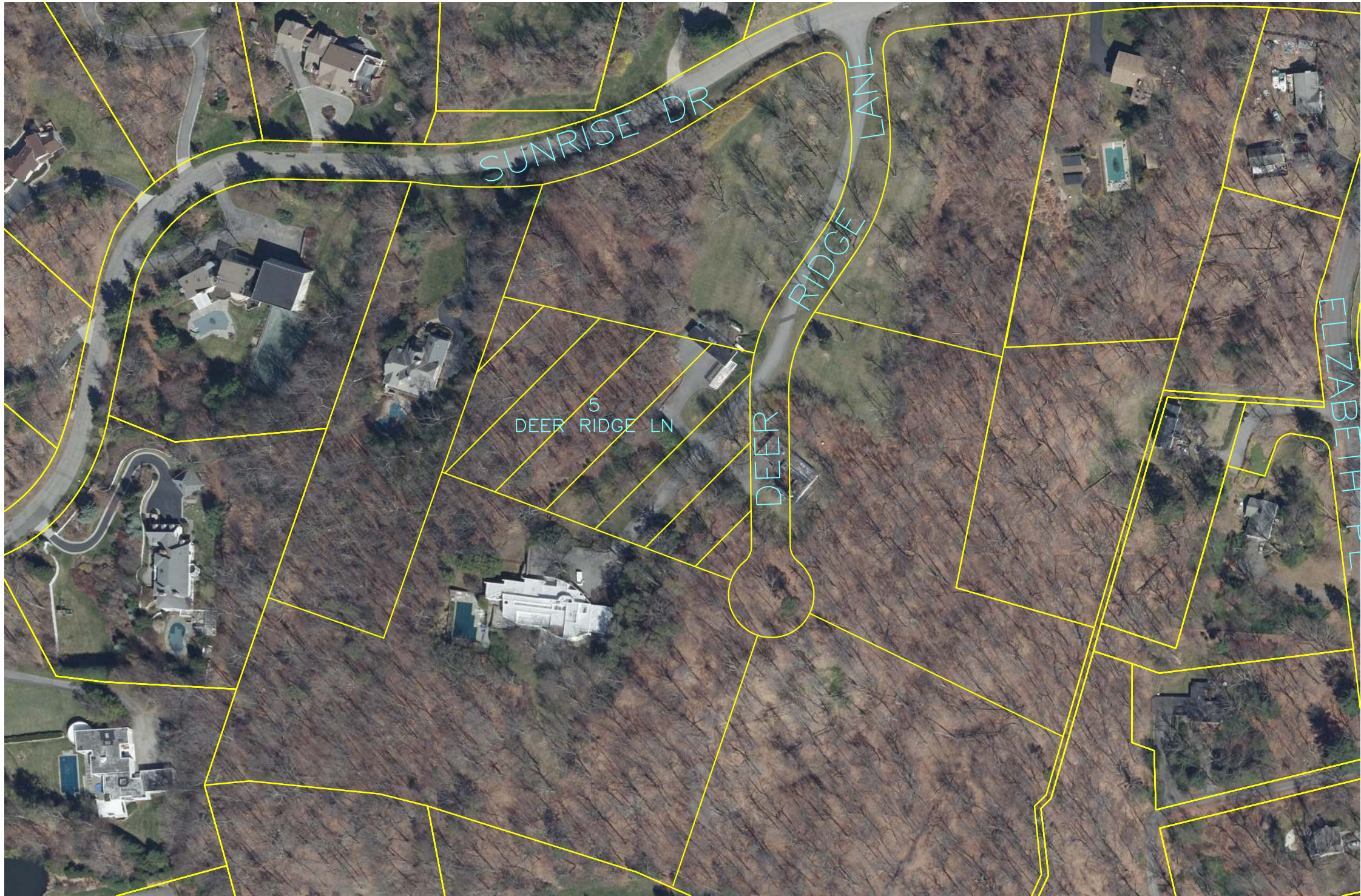
GROSS LAND COVERAGE:

PRINCIPAL BUILDING: 3453.1 S.F.
ACCESSORY BUILDINGS: 940 S.F.
DECKS: 484.6 S.F.
PORCHES: 0 S.F.
DRIVEWAY/WALKWAY: 5501.7 S.F.
TERRACES: 1361.5 S.F.
POOL/MECHANICAL EQUIP: 1110.8 S.F.
ALL OTHER STRUCTURES: 761.0 S.F.
PROPOSED ADDITION: 624.7 S.F.

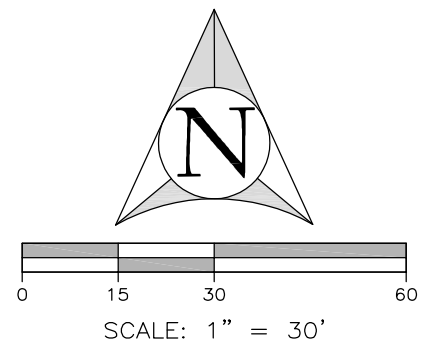


DEER RIDGE LANE



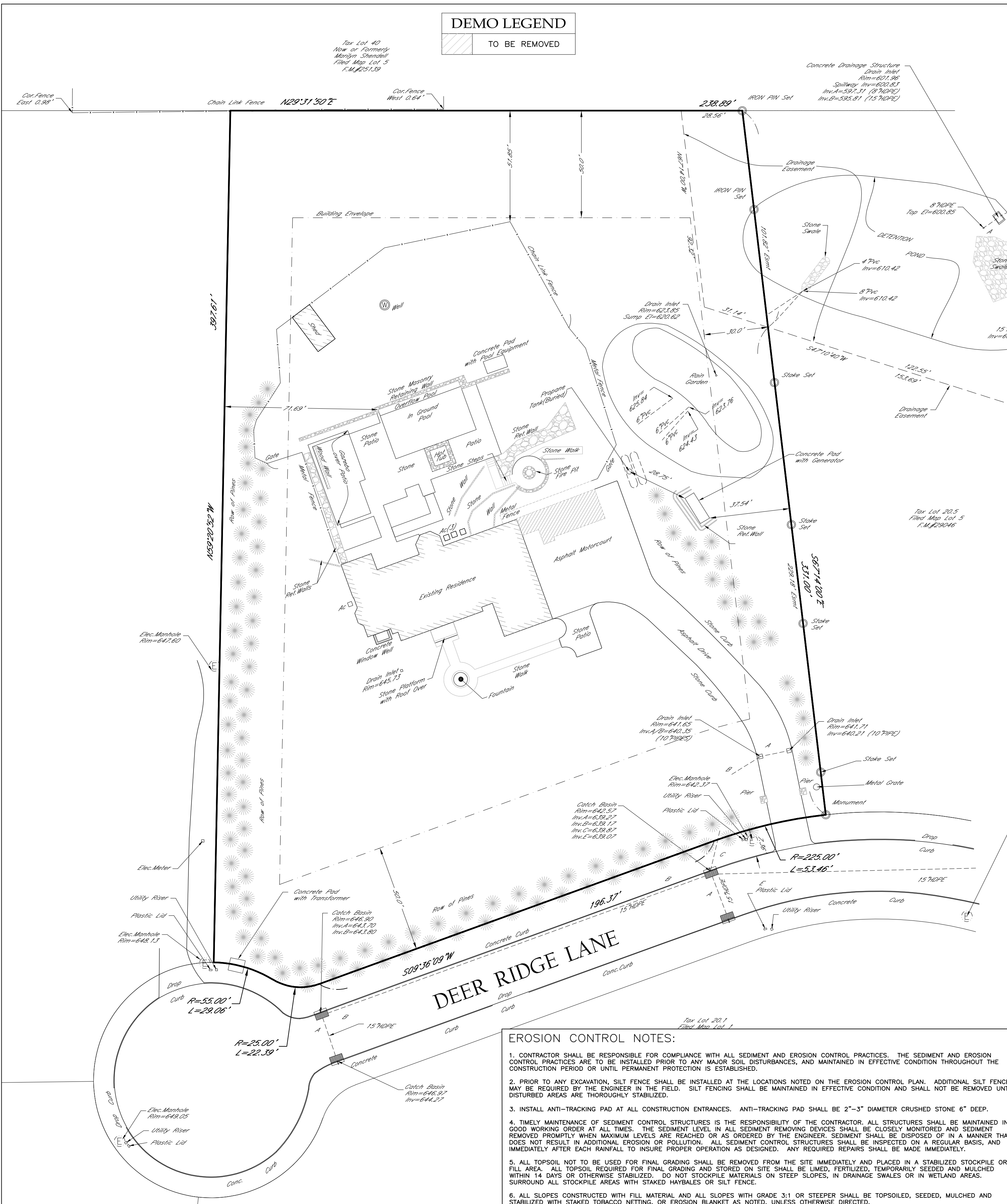


SCALE: 1" = 150'



DEMO PLAN

DEMO LEGEND
TO BE REMOVED

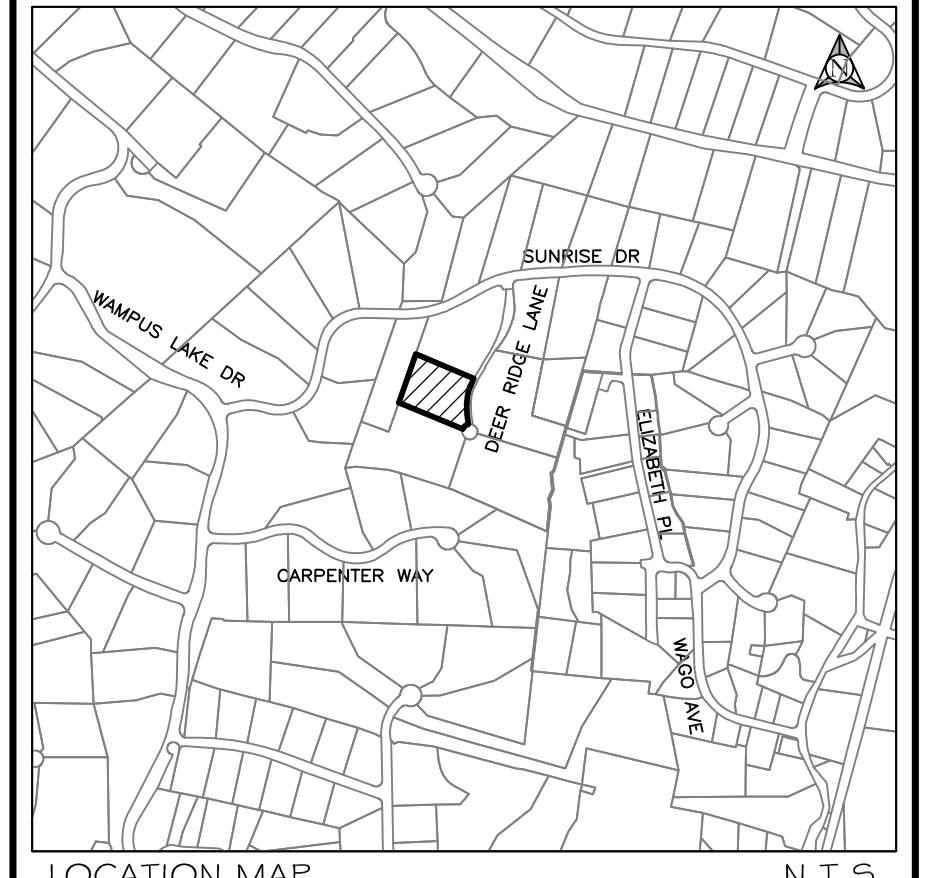
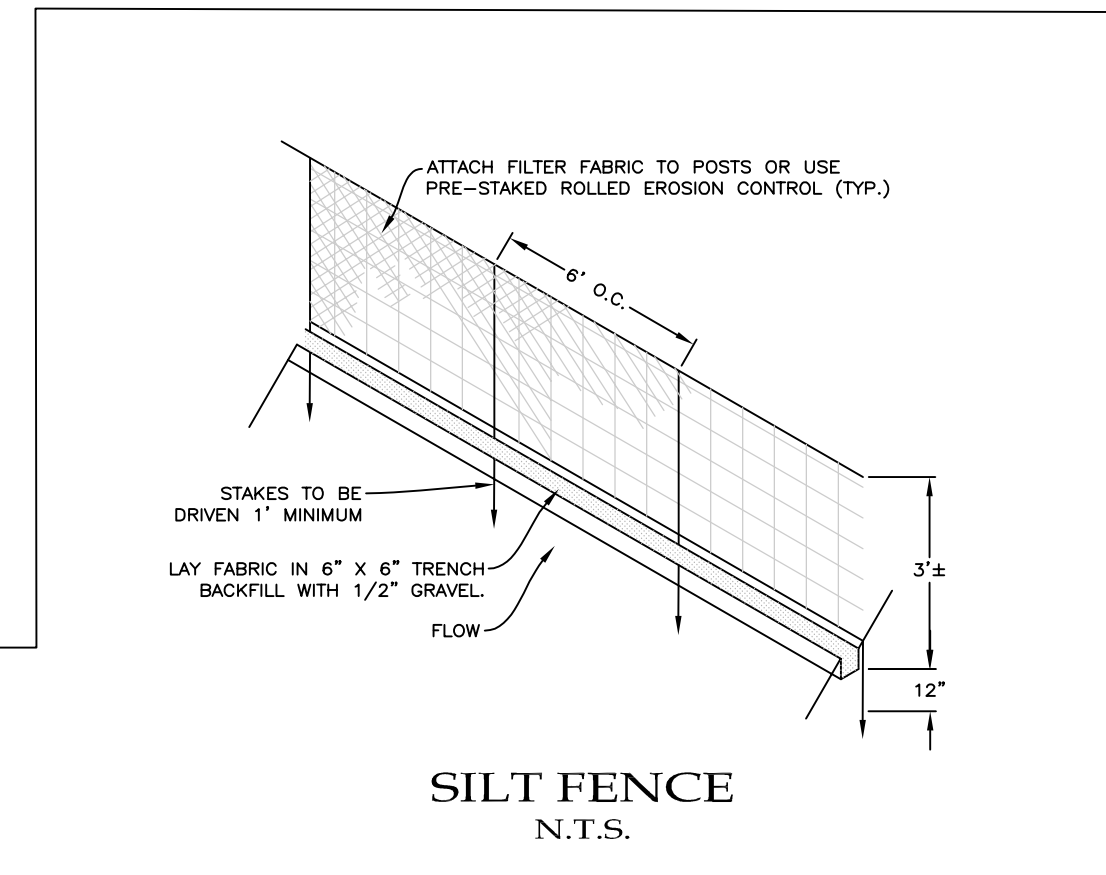
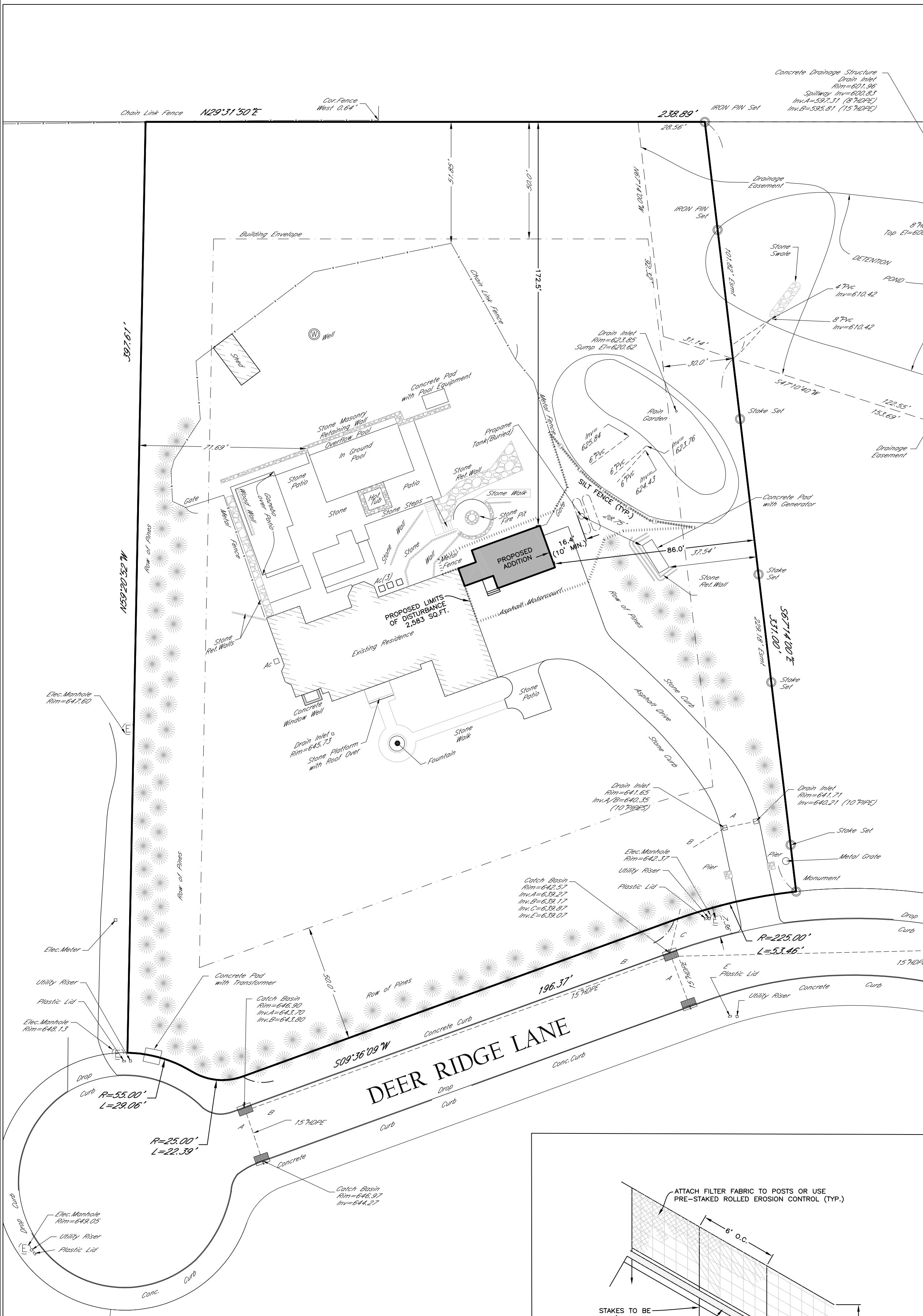


- EROSION CONTROL NOTES:**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
 2. PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
 3. INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2"-3" DIAMETER CRUSHED STONE 6" DEEP.
 4. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 5. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
 6. ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
 7. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
 8. ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
 9. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
 10. ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
 11. UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED.
 12. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
 13. ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR, IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
 14. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).

ZONING TABLE
ZONE: ONE FAMILY RESIDENCE DISTRICT ZONE R-2A

REQUIRED MINIMUM	LOT 4 UNDER CONSTRUCTION
MINIMUM LOT AREA:	2.28 ACRES
75% WETLAND AREA:	0 ACRES
50% STEEP SLOPE AREA:	2.28 ACRES
NET LOT AREA:	2.28 ACRES
MINIMUM LOT FRONTAGE:	301.2 FT.
MINIMUM LOT WIDTH:	150 FT.
MINIMUM LOT DEPTH:	329.4 FT.
FRONT YARD SETBACK:	50 FT.
SIDE YARD SETBACK:	30 FT.
REAR YARD SETBACK:	50 FT.
MAXIMUM HEIGHT:	30 FT.
MAXIMUM BUILDING COVERAGE:	8%

SITE PLAN



- CONSTRUCTION NOTES:**
1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
 2. THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
 3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
 4. AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
 5. ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
 7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
 8. UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
 9. ALL PROPOSED OR DISTURBED SLOPES, 1H:2V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
 10. IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
 11. NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.
 12. OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.
- NOTES**
1. NO TOWN REGULATED TREES ARE PROPOSED TO BE REMOVED IN THIS APPLICATION.
 2. INCREASE IN IMPERVIOUS COVER OF 142 S.F.

Call 811
Dig Safely. New York. Dig Smart. New York.

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

STATE OF NEW YORK
JOSHUA M. ZARETSKY
LICENSED PROFESSIONAL ENGINEER
076215

SCALE: 1" = 30'

ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

SITE DATA

OWNER/APPLICANT:
THE JOSHUA M. ZARETSKY REVOCABLE TRUST

SITE ADDRESS:
5 DEER RIDGE LANE, ARMONK, NY, 10504

TAX MAP #: 100.04-2-20.4
LOT AREA: 2.257 AC
ZONING: R-2A

DRAWING: **PROPOSED SITE PLAN**
DECEMBER 9, 2020

PROJECT: 5 DEER RIDGE LANE
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NEW YORK.

SHEET 01 OF 01

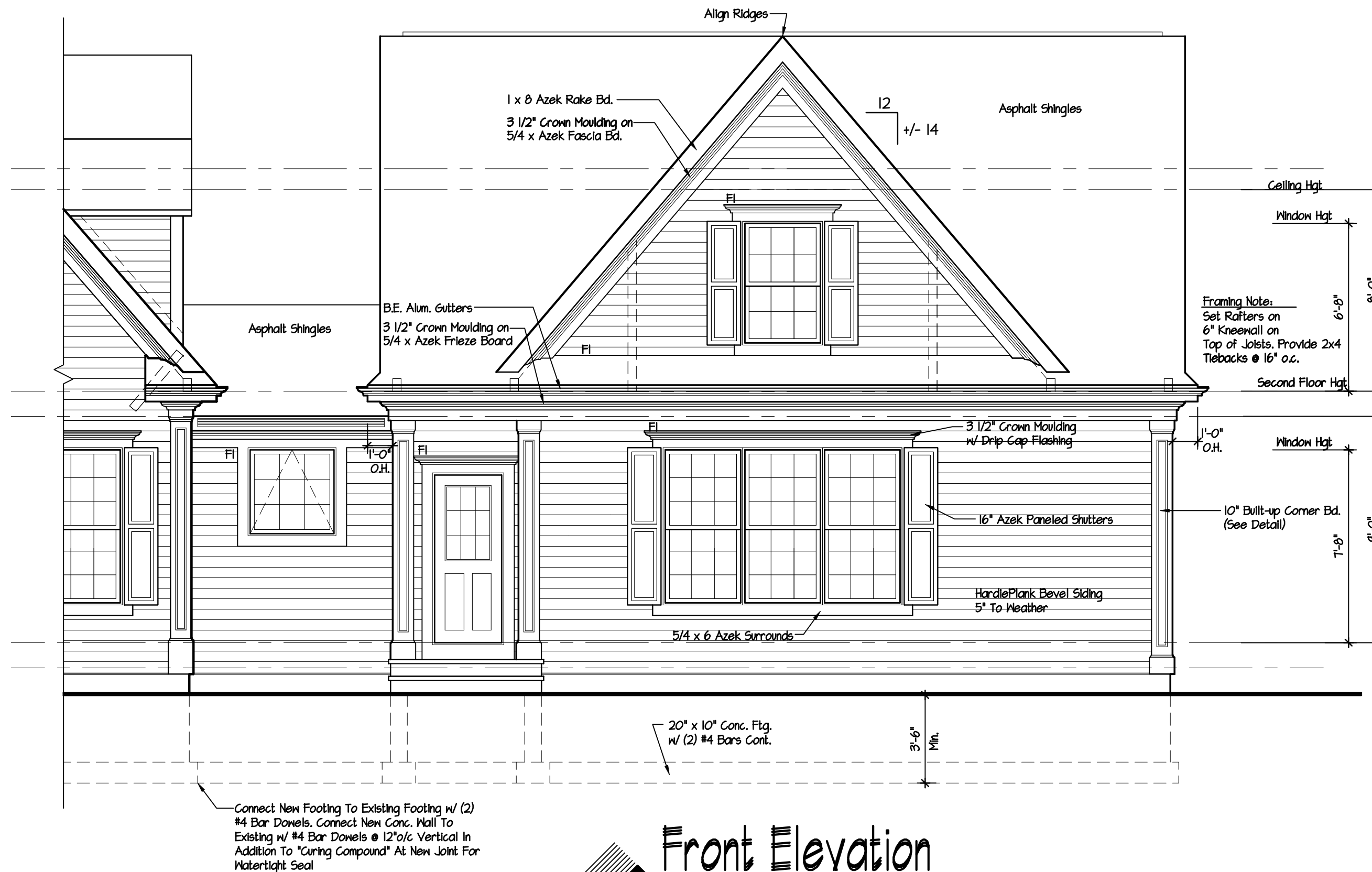
2020 Residential Code Of New York State

Climatic & Geographic Design Criteria Table R301.2(1)													
Ground Snow Load	Wind Design			Seismic Design Category	Subject To Damage From			Winter Design Temp.	Ice Shield Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temperature	
	Speed (mph)	Topographic Effects	Special Wind Region		Wind-Borne Debris Zone	Weathering	Frost Line Depth						Termites
30 lb/ft	115 - 120 mph	No	Yes	Zone I	B	Severe	42"	Moderate Heavy	7° F	Yes	No	1500 or Less	52.2 F

Manual J Design Criteria							
Elevation	Latitude	Winter Heating	Summer Cooling	Altitude Correction Factor	Indoor Design Temperature	Design Temperature Cooling	Heating Temperature Difference
436	41	7	87	I	68	75	61
Cooling Temperature Difference	Wind Velocity Heating	Wind Velocity Cooling	Coincident Wet Bulb	Daily Range	Winter Humidity	Summer Humidity	
12	20.4	7.5	7.5	M	30	55	

Schedule For Proposed Building Material and Color Scheme

	Name:	Type:	Color:	
Siding:	HardiePlank	Lap Siding	White	(Match Existing House)
Windows:	Anderson	Double Hung	White	(Match Existing House)
Trim:	Azek	Composite	White	(Match Existing House)
Door:	n/a	Wood	Walnut	(Match Existing House)
Roofing:	Timberline	Asphalt	Barkwood	(Match Existing House)
Sutters:	n/a	Wood Or Composite	Black	(Match Existing House)
Style:	Colonial			



Front Elevation

Scale: 1/4" = 1'-0"

DeMasi Architects P.C.

105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549

PHONE: (914) 666-3850 EMAIL: Lou@DemasiArchitects.com



Addition For

**5 Deer Ridge Lane
Armonk NY**

Revision Date

Date Dec. 9, 2020

Job No 220-074

Drawing

1 OF 6





Window Note:

1. All Glazing To Be Low "E" Insulated Glass w/ Minimum R-3.1 (U=0.32).
2. All Windows Within 18" Of Floor To Have Tempered Glass (Double Hung's-Bottom Sash Only, All Others Full Unit).
3. All Glazing In Doors & Windows Enclosing Hot Tubs, Whirlpool Tubs, Saunas, Steam Rooms, Bathtubs and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
4. All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 Sf Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
5. All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.

Notes:

All Footings To Bear On Solid Undisturbed Earth
 All Framing Members To Be #2 Douglas Fir- Larch Or Better
 Double Frame Under All Partitions Parallel To Framing
 If Tile Floor Is To Be MUD Job Consult Architect For Additional Framing Required

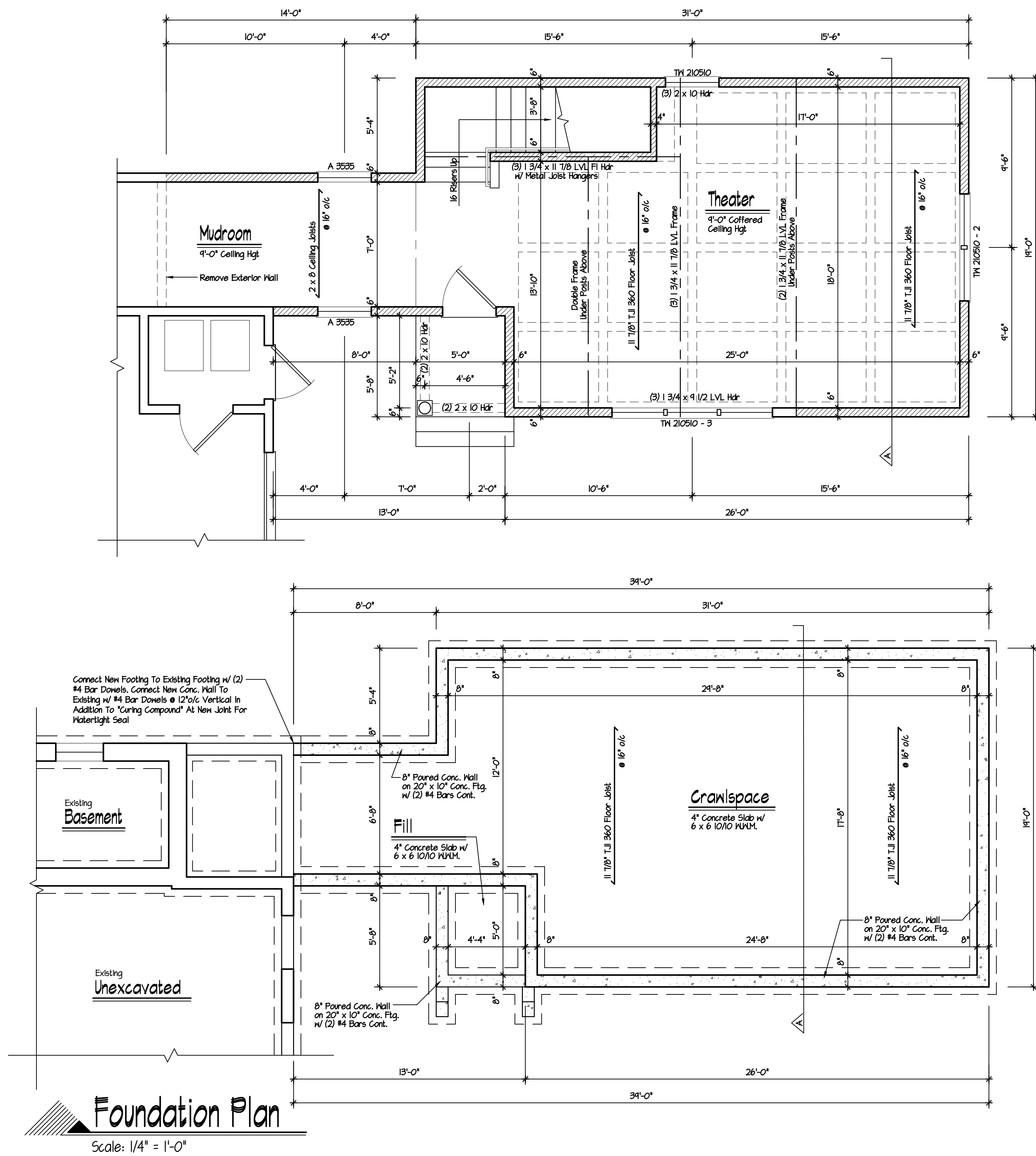
Legend:

-  2 x Wood Post (Match Beam Width or As Noted)
-  Existing Wall (To Remain)
-  New Wall
-  New Conc Wall

Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

Note:
Unless Otherwise Noted On Plans



Foundation Plan

Scale: 1/4" = 1'-0"

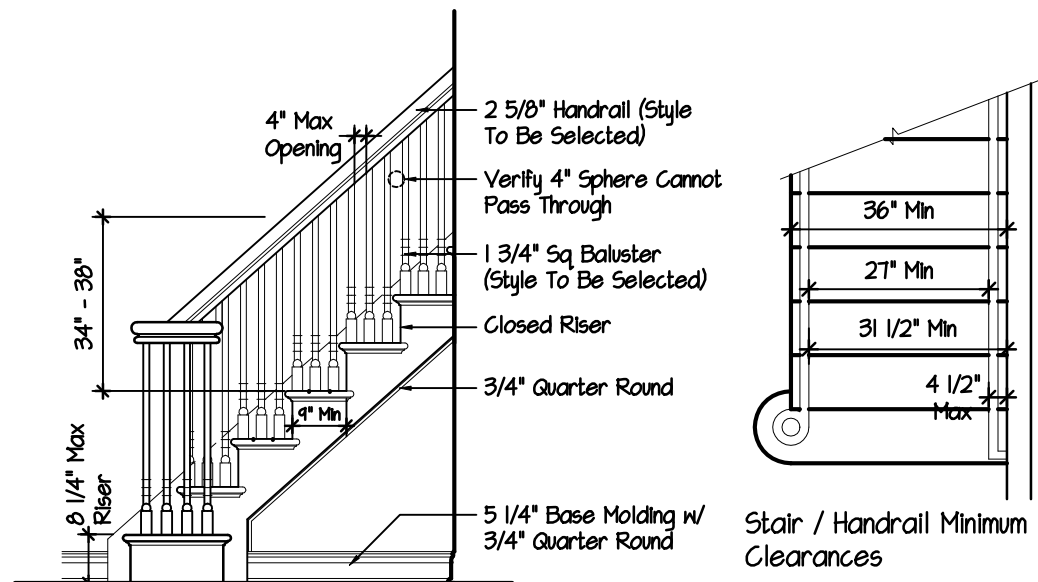
DeMasi Architects P.C.
 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
 PHONE: (914) 666-3858
 EMAIL: Lou@DemasiArchitects.com



Addition For
5 Deer Ridge Lane
Armonk NY

Revision	Date
Date	Dec. 9, 2020
Job No	220-074

Drawing
2 of 6

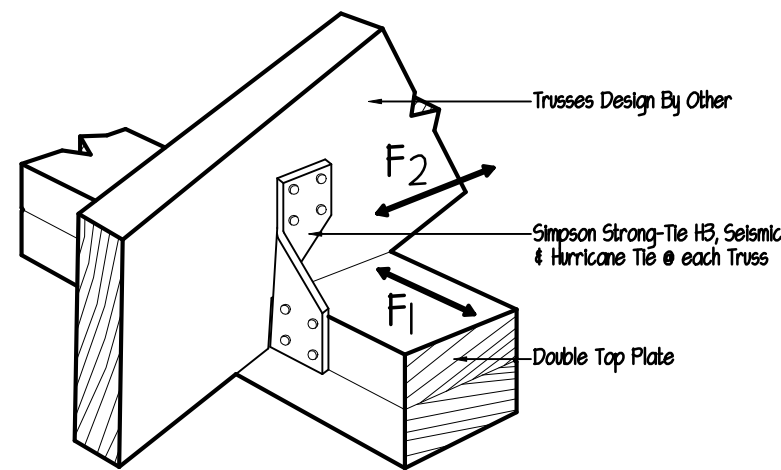


Elevation

Plan

Stair Clearance Detail

Scale: None



Note:
Simpson Strong Ties Is Recommend by Truss Supplier

Rafter Tie Down Detail

Scale: None

Notes:

All Framing Members To Be # 2 Douglas Fir- Larch Or Better
Double Frame Under All Partitions Parallel To Framing
If Tile Floor Is To Be MUD Job Consult Architect For Additional Framing Required

Legend:

- 2 x Wood Post (Match Beam Width or As Noted)
- Existing Wall (To Remain)
- New Wall

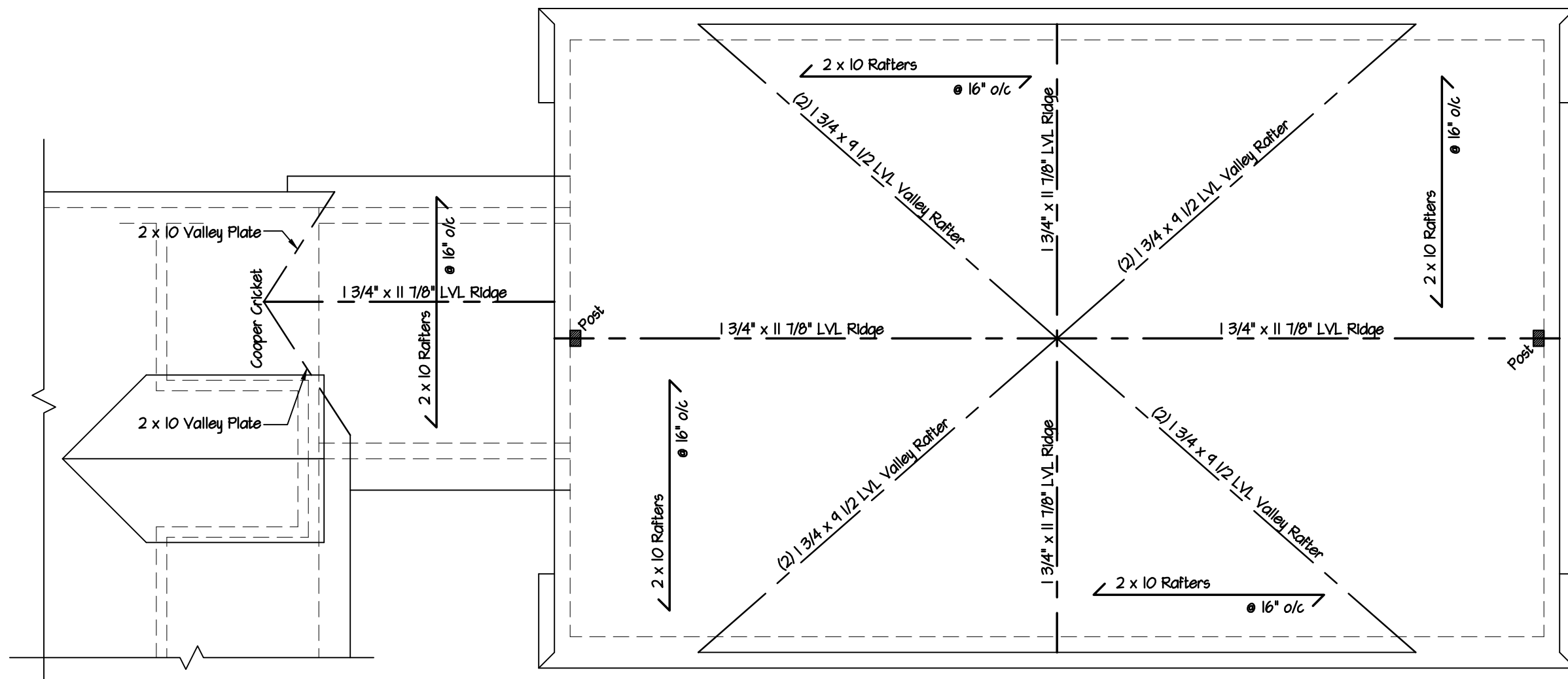
Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

Note:
Unless Otherwise Noted On Plans

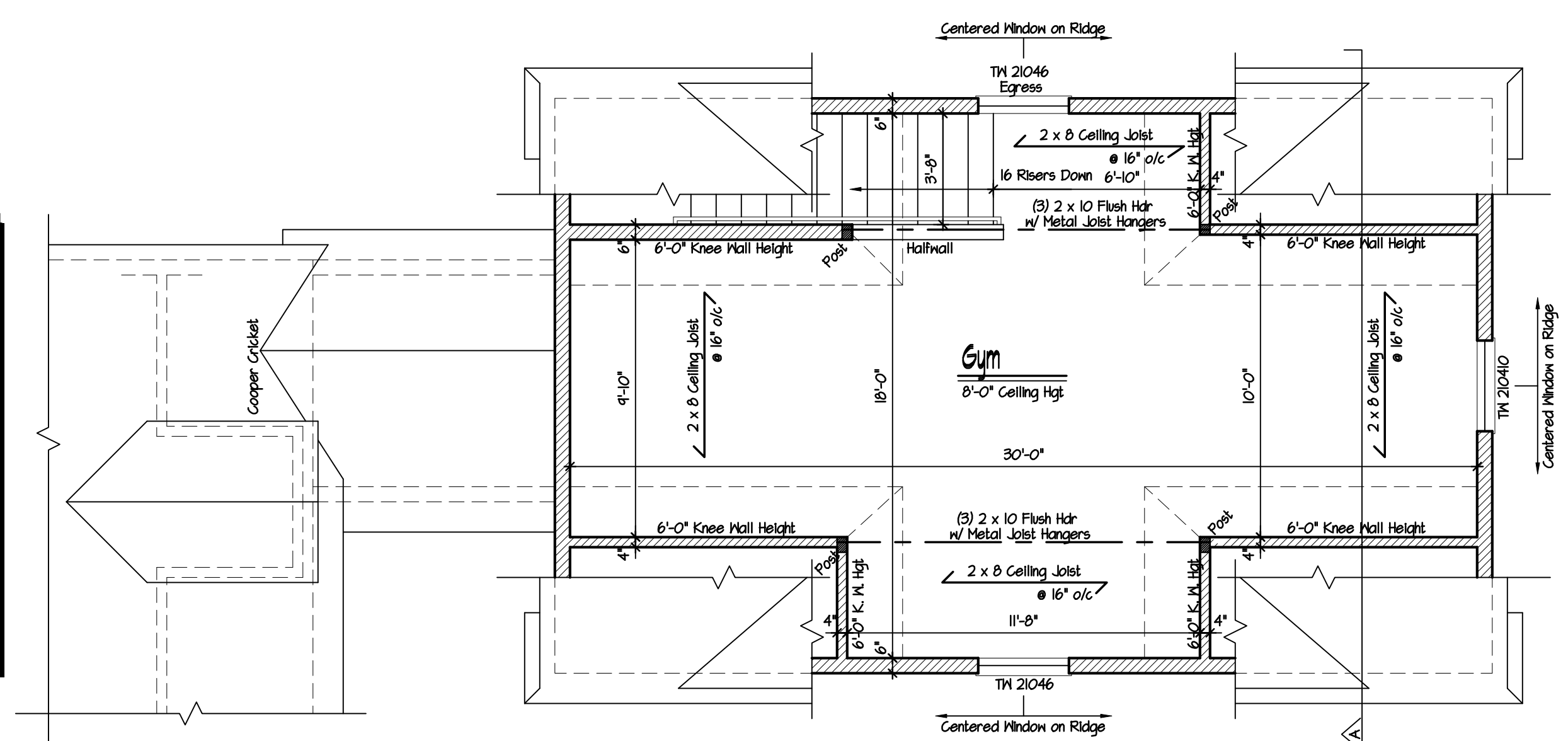
Window Note:

1. All Glazing To Be Low "E" Insulated Glass w/ Minimum R-3.1 (U=0.32).
2. All Windows Within 18" Of Floor To Have Tempered Glass (Double Hung's-Bottom Sash Only, All Others Full Unit).
3. All Glazing In Doors & Windows Enclosing Hot Tubs, Whirlpool Tubs, Saunas, Steam Rooms, Bathtubs and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
4. All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 Sf Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
5. All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.



Roof Framing Plan

Scale: 1/4" = 1'-0"

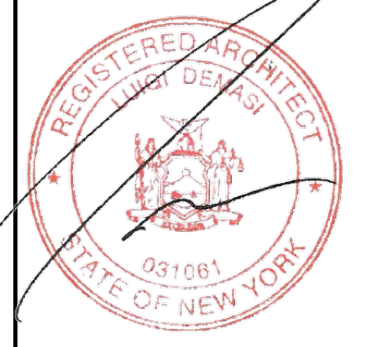


Second Floor Plan

Scale: 1/4" = 1'-0"

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Addition For
**5 Deer Ridge Lane
Armonk NY**

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Construction Type Note:

As Per Title 19 NYCRR Part 1265

Provide Label As Shown Below



V = Construction Type
As Per Section 602 of BGNYS

FR = Floor And Roof Framing
As Per Designation For Structural Components
That Are Of Truss/ Engineered Type Construction

Size:

6" Diameter Circle

Color:

Circle To Be 1/2" Stroke - Reflective Red Pantone #187
Inner Circle - Reflective White
Text - Reflective Red Pantone #187

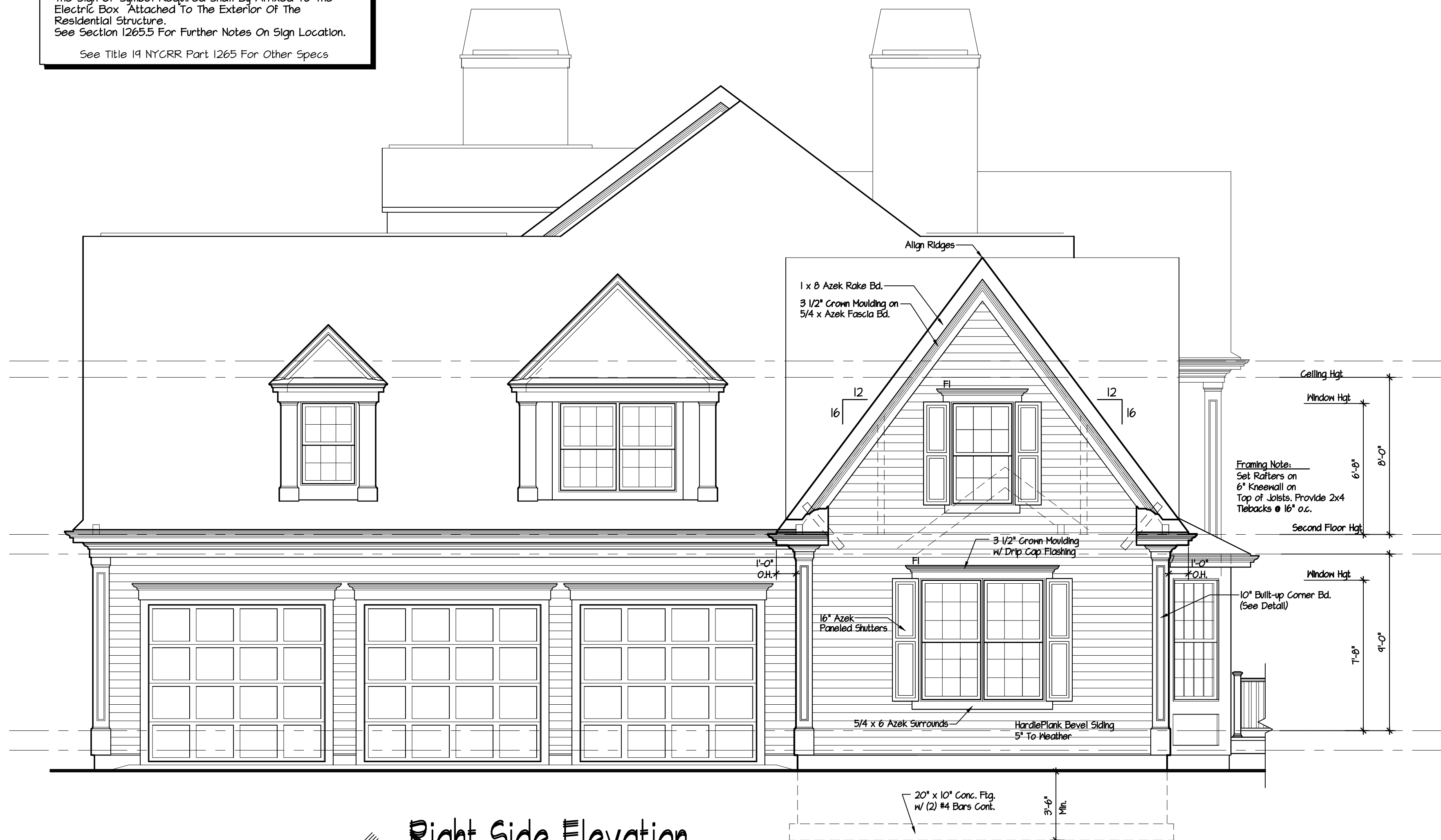
Sign Location:

The Sign Or Symbol Required Shall Be Affixed To The
Electric Box Attached To The Exterior Of The
Residential Structure.
See Section 1265.5 For Further Notes On Sign Location.

See Title 19 NYCRR Part 1265 For Other Specs

Schedule For Proposed Building Material and Color Scheme

	Name:	Type:	Color:
Siding:	HardiePlank	Lap Siding	White (Match Existing House)
Windows:	Anderson	Double Hung	White (Match Existing House)
Trim:	Azek	Composite	White (Match Existing House)
Door:	n/a	Wood	Walnut (Match Existing House)
Roofing:	Timberline	Asphalt	Barkwood (Match Existing House)
Sutters:	n/a	Wood Or Composite	Black (Match Existing House)
Style:	Colonial		



Right Side Elevation
Scale: 1/4" = 1'-0"

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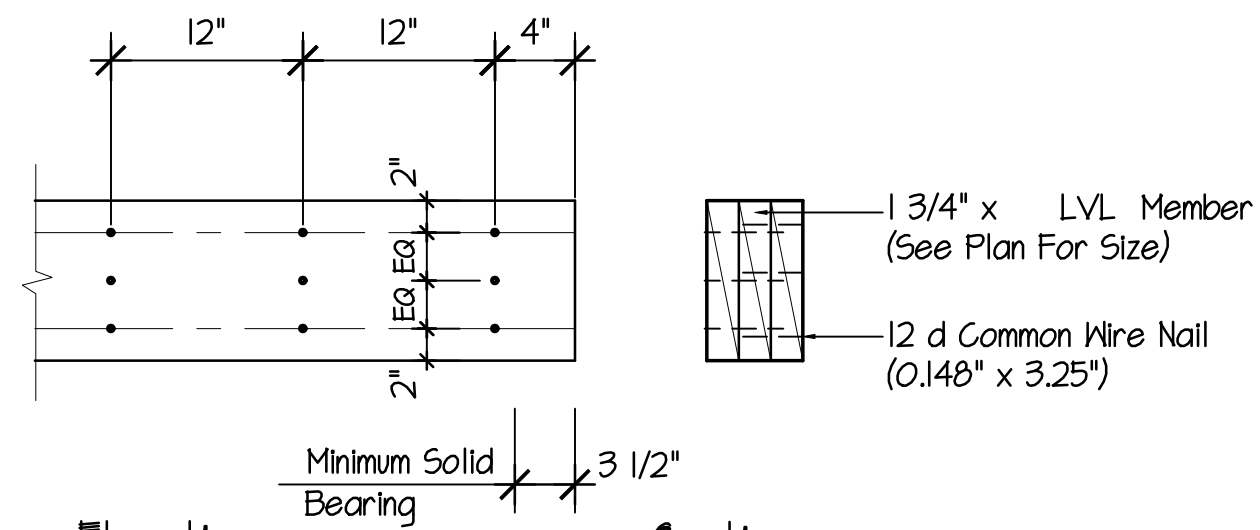
Job No 220-074

Drawing

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Schedule For Proposed Building Material and Color Scheme

	Name:	Type:	Color:
Siding:	HardiePlank	Lap Siding	White (Match Existing House)
Windows:	Anderson	Double Hung	White (Match Existing House)
Trim:	Azek	Composite	White (Match Existing House)
Door:	n/a	Wood	Walnut (Match Existing House)
Roofing:	Timberline	Asphalt	Barkwood (Match Existing House)
Sutters:	n/a	Wood Or Composite	Black (Match Existing House)
Style:	Colonial		



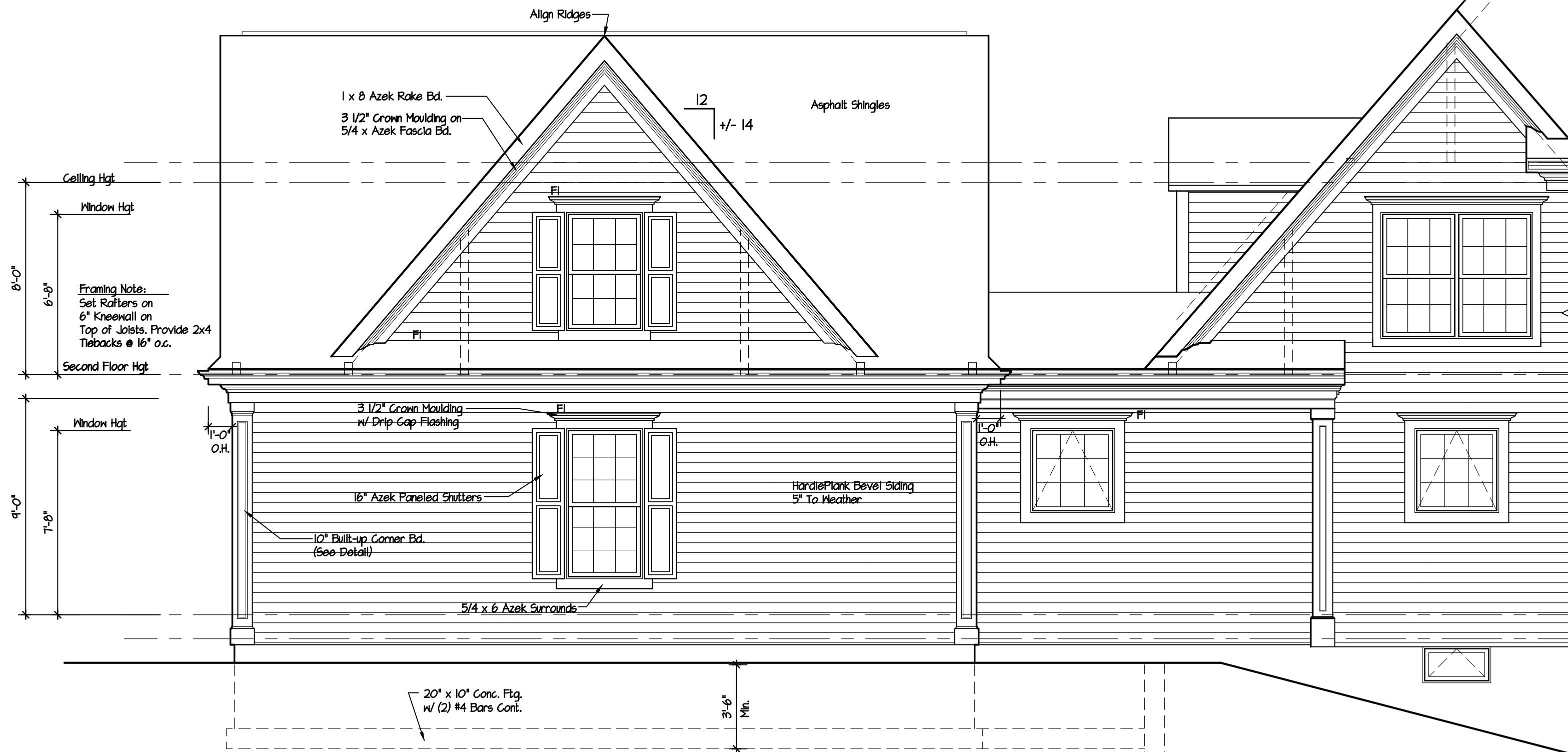
Elevation

Note:
LVL = Laminated Veneer Lumber
By Trus-Joist Weyerhaeuser (1.9 E)
Minimum or Equal

Section

Note:
See Plans For Size & Location
Of All LVL Members

LVL Beam Detail (Nailed)
Scale: 1" = 1'-0"



Rear Elevation
Scale: 1/4" = 1'-0"

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General Notes:

ALL WORK AND MATERIALS SHALL CONFORM TO THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ALL LOCAL, COUNTY AND STATE CODES.

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO FULLY COMPLETE THE JOB. EXCEPT WHERE SPECIFICALLY AGREED ON BY OWNER, JOB SHALL BE READY FOR OCCUPANCY IN A GOOD WORKMANSHIP MANNER WITH ALL WORK DONE AS SHOWN OR REASONABLY INTENDED ON DRAWINGS, IT SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- | | |
|--------------------|-----------------------|
| BUILDING PERMIT | GUTTERS & LEADERS |
| INSURANCE | INSULATION |
| EXCAVATION | GYPSUM BOARD & TAPING |
| CONCRETE WORK | CERAMIC TILE WORK |
| CARPENTRY | PAINTING & FINISHING |
| ROOFING & FLASHING | ELECTRICAL |
| CAULKING | |

ALL FRAMING LUMBER TO BE # 2 DOUGLAS FIR - LARCH OR BETTER.

WINDOWS TO BE "ANDERSEN" OR EQUAL, SEE PLANS FOR TYPE, COMPLETE WITH HIGH PERFORMANCE GLASS AND SCREENS.

ALL FOOTINGS TO BEAR ON SOLID UNDISTURBED EARTH.

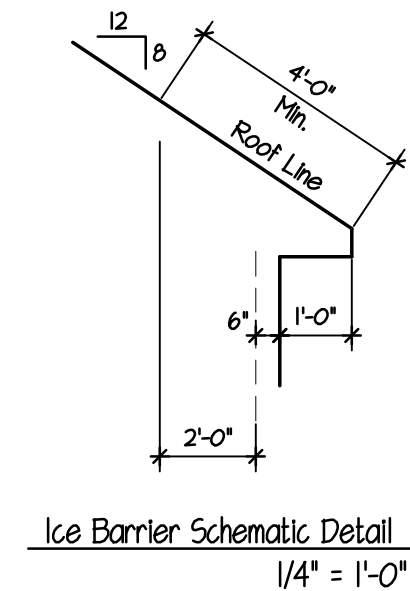
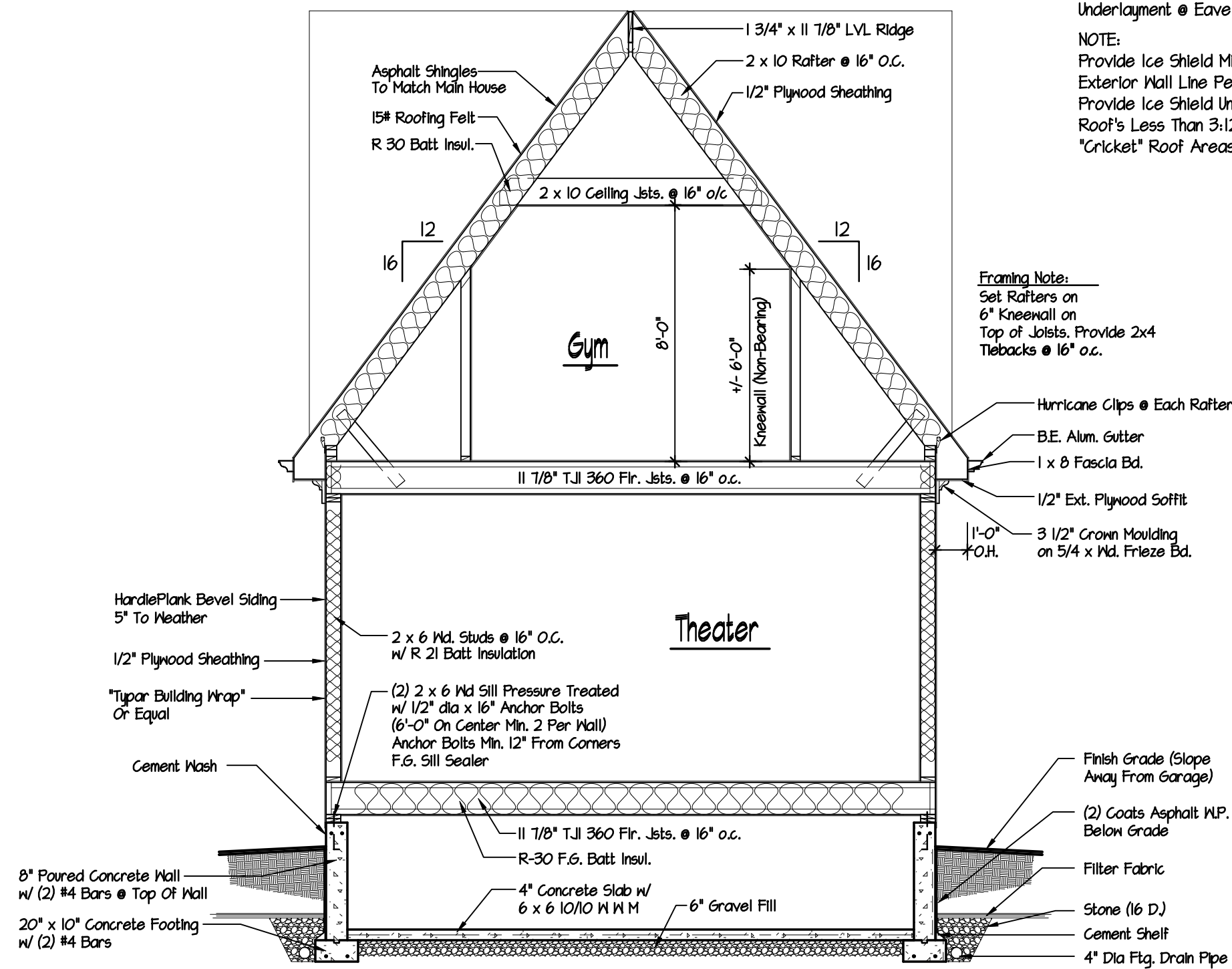
VENTILATE ALL RAFTER SPACES WITH CONTINUOUS SCREEN SOFFIT VENTS AND LOUVERS OR RIDGE VENTS.

ALL NEW WORK AND MATERIALS, UNLESS OTHERWISE SPECIFIED, SHALL MATCH EXISTING CONSTRUCTION.

ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

ELECTRICAL & HEATING CONTRACTOR SHALL CHECK AND VERIFY THAT EXISTING HEATING AND ELECTRICAL SYSTEMS WILL PROPERLY HANDLE INCREASED DEMAND BY NEW ADDITION.

PROVIDE ONE SMOKE DETECTOR IN EACH BEDROOM, IF NOT EXISTING ALREADY PLUS ONE SMOKE & CO DETECTOR WITH HALLWAY ADJACENT TO BEDROOM AS PER 2020 RESIDENTIAL CODE OF NEW YORK STATE



"MR. Grace" Ice & Water Shield Underlayment @ Eave & Valley's
 NOTE:
 Provide Ice Shield Min. 24" Inside Exterior Wall Line Per Manuf. Spec.
 Provide Ice Shield Underlayment All Roof's Less Than 3:12 Pitch & At All "Cricket" Roof Areas.

Framing Note:
 Set Rafters on 6" Kneewall on Top of Joists. Provide 2x4 Tiebacks @ 16" o.c.

Section A

Scale: 1/4" = 1'-0"

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Drawing

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