

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair Telephone: (914) 273-3000 x43 Fax: (914) 273-3554 www.northcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residental review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

- Complete all items on the RPRC checklist
- 2. RPRC Application fee. Check made payable to: Town of North Castle.
- 3. Floor Area and Gross Land Coverage work sheets (with backup information)
- Plans for your project according the RPRC Checklist
- 5. Submit one single PDF file containg all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at http://www.northcastleny.comlresidential-project-review-committee-rprc

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1:00 p.m.)



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RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT ADDRESS:99 Byram Ridge Road, Armonk, NY 10504
Section III- DESCRIPTION OF WORK
Proposed Expansion of existing One Family Dwelling
Section III- CONTACT INFORMATION:
THE CONTRACT OF THE CONTRACT O
APPLICANT:Tom Abillama
APPLICANT:Tom Abillama ADDRESS: _1955 Central Park Ave Yonkers, NY 10710
ADDRESS:_1955 Central Park Ave Yonkers, NY 10710
ADDRESS:_1955 Central Park Ave Yonkers, NY 10710
ADDRESS:_1955 Central Park Ave Yonkers, NY 10710 PHONE:914-668-4673MOBILE:EMAIL:tom@tfara.com
ADDRESS:_1955 Central Park Ave Yonkers, NY 10710
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Town of North Castle Residential Project Review Committee

17 Bedford Road Armonk, New York 10504 (914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: 99 Byram Ridge Rd.					
■Initial Submittal □Revised Preliminary					
Street Location: 99 Byram Ridge Rd. Armonk, NY					
Zoning District: R-1A Property Acreage: 1.33 Tax Map Parcel ID: 101.01-1-13 Date: 99 Byram Ridge Rd					
DEPARTMENTAL USE ONLY					
Date Filed: Staff Name:					
Preliminary Plan Completeness Review Checklist Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.					
1. Plan prepared by a registered architect or professional engineer					
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacen properties and streets					
3. Map showing the applicant's entire property and adjacent properties and streets					
A locator map at a convenient scale					
5. The proposed location, use and design of all buildings and structures					
Existing topography and proposed grade elevations					
7. Location of drives					
B. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences					

RPRC COMPLETENESS REVIEW FORM

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Description of method of water supply and sewage disposal and location of such facilities

10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work

1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District

2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.

3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: http://www.northcastleny.com/townhall.html

have been submitted and constitute a COMPLETE APPLICATION.

On this date, all items necessary for a technical review of the proposed site plan



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PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Applica	tion Name or Identifying Title: 99 Bylan Ridge 28	Date: \2\10\20
Tax Ma	up Designation or Proposed Lot No.: Section 101.01 Black 1 L	
	ot Coverage	
1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	1.19AC
2.	Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):	1009556
3.	BONUS maximum gross land cover (per Section 355-26.C(1)(b)):	
·	Distance principal home is beyond minimum front yard setback x 10 =	
4.	TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3	10095SF
5.	Amount of lot area covered by principal building: 1548 existing + 800 proposed =	2348 SF
6.	Amount of lot area covered by accessory buildings: existing + proposed =	
7.	Amount of lot area covered by decks: 343 SF existing + 5715F proposed =	91457
8.	Amount of lot area covered by porches: existing + 2845 proposed =	28456
9.	Amount of lot area covered by driveway, parking areas and walkways: 14545F existing + 15415F proposed =	3014SF
10.	Amount of lot area covered by terraces: existing +	
11.	Amount of lot area covered by tennis court, pool and mechanical equip: existing + 344416 proposed =	344451-
12.	Amount of lot area covered by all other structures: O proposed =	O
13. Prop	posed gross land coverage: Total of Lines $5-12=$	1000AZE
the proj	13 is less than or equal to Line 4, your proposal complies with the Town's maximum ect may proceed to the Residential Project Review Committee for review. If Line 1 tomply with the Town's regulations.	n gross land coverage regulations and 3 is greater than Line 4 your proposal
Signatu	re and Seal of Professional Preparing Worksheet Date	



TOWN OF NORTH CASTLE WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

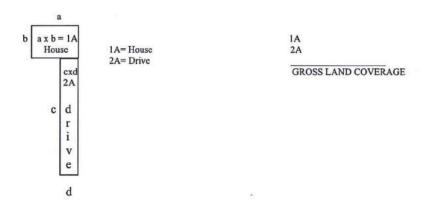
PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

- Scaled worksheets are to be prepared based upon a site plan which represents existing or
 proposed conditions as applicable to the particular circumstances of the approval being
 sought. All site plans and worksheets are required to be prepared by a licensed or
 registered professional in the State of New York.
- 2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
- A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
- Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
- 5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area m inus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in C hapter 209 Wetlands and Drai nage, of the Tow n Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)	
Less than 5,000 square feet	50% of the lot area	
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet	
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet	
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet	
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres	
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres	
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres	
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres	

^{*}Permitted gross land co verage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 1 0 SQUA RE FEET O F G ROSS LA ND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.

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WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

January 29, 2019 Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Applica	tion Name or Identifying Title: 99 By(A)	n Ridge 22	Date: \2 (10/0)
Tax Ma	p Designation or Proposed Lot No.: Section 10	~	
Floor A			
1.	Total Lot Area (Net Lot Area for Lots Created After	12/13/06):	1.19 AC
2.	Maximum permitted floor area (per Section 355-26.1	B(4)):	8389SF
3. -	Amount of floor area contained within first floor: 15485F existing + 3005F proposed =	_	2348 SF
4. -	Amount of floor area contained within second floor: \underline{O} existing + $\underline{1906SF}$ proposed =	_	1906 SF
5. -	Amount of floor area contained within garage: existing + 20751 proposed =	_	807 SF
6. -	Amount of floor area contained within porches capab O existing + 463 SF proposed =	ole of being enclosed:	463 SF
7. -	Amount of floor area contained within basement (if a 1403 existing + 101 SF proposed =	applicable – see definition): –	1504 SF
8.	Amount of floor area contained within attic (if applic output output	able – see definition): –	
9. -	Amount of floor area contained within all accessory be existing + proposed =	buildings: _	
10. Pro	posed floor area: Total of Lines 3 – 9 =		7028 SF
and the pyour pro	to is less than or equal to Line 2, your proposal comporting the project may proceed to the Residential Project Review Composal does not comply with the Town's regulations. The and Seal of Professional Preparing Worksheet		



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PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

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GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

- Scaled worksheets are to be pre pared base d upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
- 2. The floor area of each floor is to be divided int o s imple polygons (squares, rectangles, etc.) each being drawn on theplan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
- A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
- 4. A similar summary table is to be provided listing the total floor a re of each floor within the resulting floor area of each building.
- 5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
- 6. A schematic illustration of the format is shown below.



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horiz ontal areas of the several stories of the building or buildings, excluding any floor area used for one-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor ab ove the basement is more than six feet above average grade.
- B. Where the finished surface of the floor ab ove the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

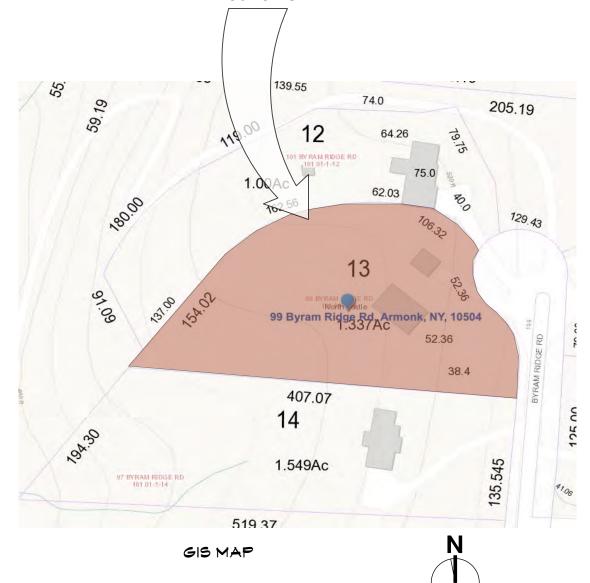
Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings ¹ (square feet)	
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater	
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet	
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet	
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet	
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres	
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres	
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres	
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres	
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres	
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres	

^{*}Permitted gross floor area for tw o-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

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PROPOSED RENOVATION OF

The Kalian Residence

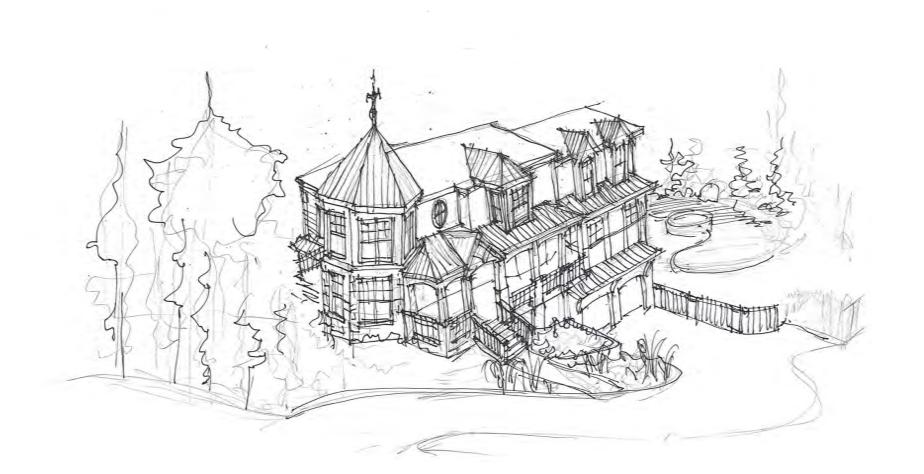


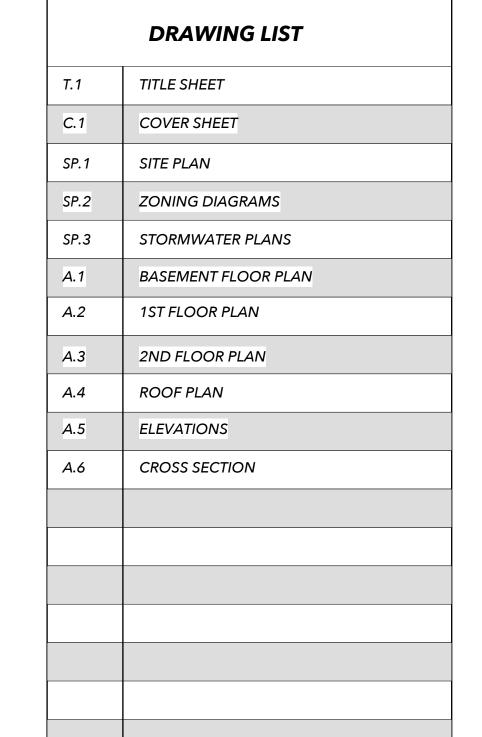
99 Byram Ridge Road, Armonk, NY

OWNER: Mr. & Mrs. Christopher Kalian

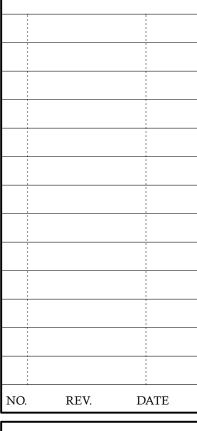
Contractor: Ridge Partners

Architect: Tom F. Abillama, AIA









OWNER:

MR. & MRS. CHRISTOPHER KALIAN



FAX: 914 668 1831 EMAIL: FILES@TFARA.COM



SEAL

PROPOSED
ONE FAMILY
DWELLING
EXPANSION
99 BYRAM RIDGE RD.,

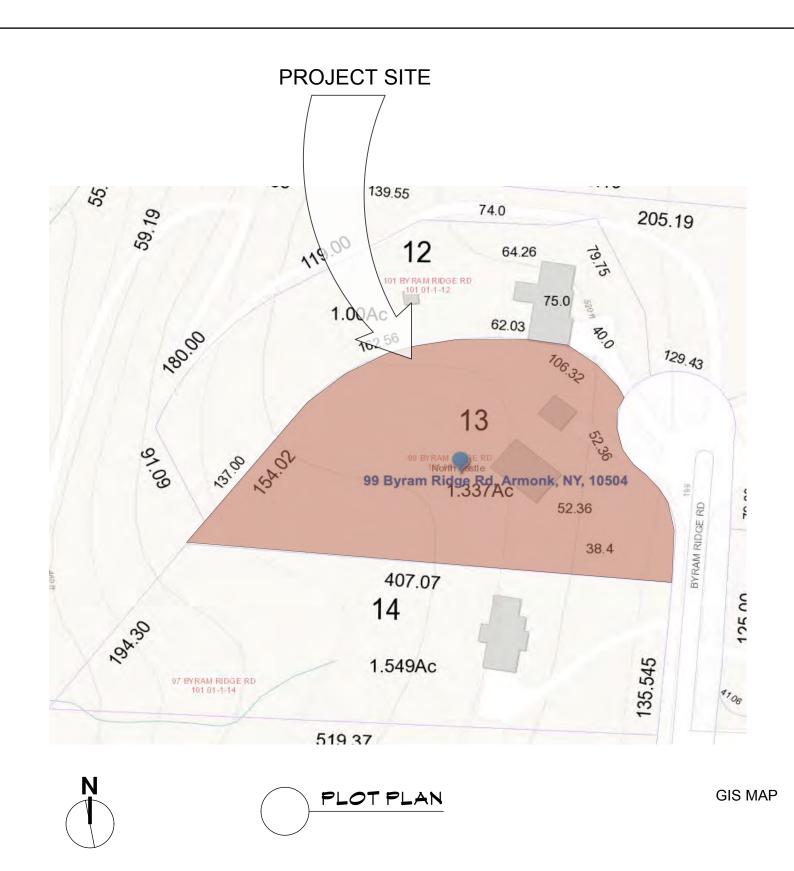
ARMONK, N.Y

SBL: // ZONE:

TITLE SHEET

Project ID / DATE : 2048/ 10.15.2020 Sheet Scale:

Drawn By: AM Checked By: TFA



ELECTRICAL NOTES

work related to these documents shall include furnishing and instalation of of every kind of wire/conduit required to make the electric light and power distribution system complete, i.e. providing and connecting service entrance equipment, lighting panels, power panels, switches, outlets, receptacles, back boxes, related components required by the local utility company of all fixtures complete with lamps, clamps, hangers, supports, etc.

- all electric work shall comply with the requirements of the national electric code, latest edition. should a conflict arise, the code or more stringent requirements shall prevail.
- all wiring shall be copper, #12 awg minimum size #8 and smaller to be solid, #6 and larger to be stranded. insulation to be nec 600 volt type, rated @ 75 degrees c and be properly phase color coded for 120/208 v. 3 phase 4-wire service.

unless noted otherwise, minimum size conduit shall be 1/2" and number of cross marks indicate number of #12 conductors in conduit. type of conduit used shall be in strict accordance with code provisions concerning same. all conduit runs are to be concealed in floors, walls, and ceilings, except where noted otherwise.

electrical installation shall be tested for shorts, grounds, operation of low voltage circuitry, night light wiring, stand-by generator and connections to same, etc. defects shall be remedied at once and the tests re-run as many times as may be required to prove correctness. balance all phase loading of all panelboards.

the circuits shall be distinctly numbered and identified on the schedule of circuits typewritten to the panelboard. affix permanent identifying nameplates to all electrical switches,pilot devices, selector switches, etc. submit samples and list of titles for approval prior to purchase and installation.

PLUMBING NOTES

installation of all work herein specified shall conform to the requirements of the ny state plumbing code, rules and regulations of the North Castle building department, and all other local authorities having jurisdiction, including federal o.s.h.a. specifications.

all materials used shall be new, best of their respective brands and conform to the requirements of all state and local authorities having jurisdiction. pipework installed under this contract shall be in accordance with the following schedule:

material

soil and waste lines[within building]above grade-extra heavy cast iron pipe or dwv copper pipe with sweat solder connections;

below grade- extra heavy cast iron pipe. soil and waste lines [outside building] extra heavy cast iron pipe. vent pipingstandard weight galvanized pipe or type dwv copper pipe with sweat solder joints. cold and hot water pipingunderground-typek with flare fittings.

above grade [within building] type I copper tube with lead free sweat solder connections

set clevis hangers for the support of copper piping not more than 10 ft on center. set hangers for cast iron pipe not more than 5 ft apart; use 3/8" rod for pipe up to 2" and 1/2" rod for pipes, 2 1/2" and larger. cover all cold water and hot water lines with 1" thick o-c fiberglass light density one piece pipe insulation having frk universal type vapor barrier outer jacket. install as per manufacturer's specifications. cover all valves and fittings with zeston premoulded insulating shapes.

1- All Structural Steel Shall Conform With Aisc Specifications For Structural Steel For Buildings, And Shall Be Based On

02060 REMOVALS

I. WORK INCLUDED

- 1. SEE ARCHITECTURAL DEMOLITION DRAWING SEE ALSO MECHANICAL AND ELECTRICAL DRAWINGS.
- 2. GENERAL REMOVALS AND RELOCATIONS:
- 1. REMOVE AND RELOCATE ALL EXISTING MISCELLANEOUS MECHANICAL AND ELECTRICAL DEVICES AND FIXTURES INCLUDING BUT NOT LIMITED TO: FIRE ALARM, PULLS STATIONS, POWER OUTLETS, LIGHT SMITCHES, THERMOSTATS AND TELEPHONE OUTLETS AS REQUIRED FOR THE INSTALLATION OF NEW YORK.
- 2. REMOVE ALL ITEMS, MATERIALS AND FINISHES REQUIRED FOR THE INSTALLATION OF NEW WORK, OR THE RELOCATION OF EXISTING, AS DESCRIBED IN PERTINENT SECTIONS OF THESE SPECIFICATIONS AND / OR SHOWN ON THE DRAWINGS INCLUDING STRUCTURAL, MECHANICAL END ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- 3. EXISTING WIRING, PIPING OR OTHER LINES WITHIN WALLS OR CEILINGS TO BE REMOVED - VERIFY THAT THESE ARE ABANDONED PRIOR TO REMOVAL. RE-ROUTE ANY LINES THAT ARE STILL IN USE TO MAINTAIN ALL EXISTING SERVICES.
- II. MATERIALS (NA) III. EXECUTION
- 1. ALL REMOVALS AND DEMOLITION SHALL BE IN COMPLIANCE WITH OF NYS BUILDING CODE, AND ALL APPLICABLE FEDERAL SAFETY REGULATIONS.
- 2. ALL MATERIALS AND ITEMS THAT ARE TO BE REUSED AND RELOCATED IN CONJUNCTION MITH THE NEW MORK SHALL BE CAREFULLY CUT AWAY FROM THE EXISTING ABUTTING MORK TRUE TO LINE AT THE NEAREST JOINT, SURFACE BREAK OR PATTERN LINE TO ENSURE NO NOTICEABLE DIFFERANCE BETWEEN NEW AND EXISTING TO REMAIN. REMOVALS SHALL BE KEPT TO A MINIMUM MATERIALS TO BE REUSED AND RELOCATED SHALL BE PROPERLY HANDLED, TAGGED AND PROPERLY STORED TO PREVENT DAMAGING AND BREAKING.
- 3. CAREFULLY COORDINATE ALL TRADES TO ENSURE PROPER AND ADEQUATE INTERFACE OF THE WORK.
- 4. WHEN WORK IS STOPPED, PROVIDE AND MAINTAIN IN PLACE SUITABLE COVERINGS AND BARRIERS FOR PROTECTION OF THE WORK AND SAFETY FOR ALL PERSONNEL AND BUILDING USERS, PROVIDE PROTECTED PATHS OF EGRESS, PER PHASING REQUIREMENTS, FOR CONTINUOUS PLUBLIC ACCESS TO STAIRS, ESCALATORS AND ENTRANCES/EXITS.
- 5. PROTECT ALL WORK, EXISTING AND NEW, FROM DAMAGE BY ANY CAUSE THROUGHOUT THE DEMOLITION OPERATIONS PROTECTIVE COVERINGS OR BARRIERS SHALL NOT MAR, STAIN OR PENETRATE THE FINISHED WORK.
- 6. COORDINATE ALL ELECTRICAL WORK FOR THE PROPER DISCONNECTIONS. PROTECTIONS AND CAPPINGS: SEE ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- 7. UNDERTAKE WHATEVER PRECAUTIONS ARE NECESSARY TO PREVENT EXCESSIVE DUST DURING DEMOLITION.
- 8. REMOVE ALL PORTIONS OF THE WORK IN A SAFE MANNER WITH
- CARE TO PREVENT DAMAGE TO ADJACENT AND REMAINING STRUCTURE. FINISHES OR ANY OTHER ITEMS OF PROPERTY.
- 9. ALL MATERIALS UNLESS NOTED TO BE REUSED OR TO BE SALVAGED
- SHALL BE REMOVED OFF THE PROPERTY TO AN AVAILABLE DUMP
- SITE OF THE CONTRACTOR'S OWN CHOOSING AND ARE TO BE PROPERLY AND RESPONSIBLY DISPOSED OF. NO BURNING OR ON-SITE DISPONSAL IS PERMITTED
- 10. VERIFY SALVAGE REQUIREMENTS FOR ALL MATERIALS NOTED TO BE
- REMOVED WITH SAFE HORIZON. MATERIALS NOTED TO BE
- SALVAGED SHALL BE PROPERLY STORED IN LOCATION PER SAFE HORIZON, INC. DIRECTIONS.
- 1 1. ALL SPACES ARE TO BE BROOM CLEANED DAILY.
- 12. ALL REMOVALS SHALL LEAVE THE EXISTING SURFACES AND
- FREE AND CLEAN FOR THE PROPER PATCHING AND PREPARATION REQUIRED FOR THE SPECIFIED NEW MATERIALS AND FINISHES.

NOTES: STEEL COL'S SHALL REST ON 12" X 12" 3/4" T. ST. BASE PLATE OVER LEVELLING PLATE OVER NON-SHRINK GROUT W/(4)3/4" Ф 12" LONG ANCHOR BOLTS OVER

BOTTOM. ALL BEAMS OVER 2 MEMBERS SHALL BE BOLTED TOGETHER M/3/4" THRU-BOLTS

FOOTINGS W/(3) # 4'S EA. WAY-

3'-0" X 3'-0" X 18 " CONC.

@ 18" O.C. STAGGERED.

ALL FLUSH BEAMS SHALL RECEIVE JOIST HANGERS BY SIMPSON OR EQ.

ALL DOORS, WINDOWS SHALL RECEIVE (2) 2X10 HEADERS (TYP.) UNLESS OTHERWISE NOTED ON PLANS.

ALLFOUNDATION WALLS SHALL BE WATERPROOFED W/ 2-COATS OF BITUM. COATING AND BACKFILLED M/ GRAVEL

CONSTRUCTION TO BE "V b" SINGLE FAMILY RESIDENTIAL LIVE LOADS = 40 PSF GROUND SNOW LOAD = 30 PSF SNOW LOAD = 30 PSF DEAD LOAD = 15 PSF MIND LOADS = 115 MPH SEISMIC DESIGN: B

PROVIDE 2 STORY ADDITION AND RENOVATION TO EXISTING ONE AND HALF STORY STRUCTURE. WORK TO INCLUDE NEW INGROUND POOL UNDER SEPARATE PERMIT. PROVIDE FOR NEW DRIVEWAY, DECK AND GAZEBO. REMOVE EXISTING TREES UNDER SEPARATE PERMIT

SEPARATE APPLICATIONS

- PLUMBING PERMIT - ELECTRICAL PERMIT

GENERAL NOTES

1- ALL STRUCTURAL STEEL SHALL CONFORM WITH AISC SPECIFICATIONS FOR STRUCTURAL

FOR BUILDINGS, AND SHALL BE BASED ON ASTM-A36 WITH MINIMUM YIELD POINT OF

D) OPEN HOLES SHALL BE 13/16" DIAMETER, UNLESS OTHERWISE INDICATED.

4- PROVISIONS SHALL BE MADE FOR CONNECTIONS OF OTHER TRADES PRIOR TO

3- ALL WELDING SHALL BE DONE BY LICENSED WELDERS AND SHALL BE INSPECTED BY

1- ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL HAVING A MIN. BEARING

1- ALL CONCRETE SHALL BE STONE AGGREGAGATE CONCRETE WITH AN

3- ALL STEEL REINFORCEMENT SHALL BE DEFORMED ACCORDING TO

1- CONCRETE BLOCK SHALL CONFORM TO ASTM C-145, GRADE N-1.

THE ARCHITECT/ENGINEER HAS NOT BEEN RETAINED FOR THE

CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE

ARCHITECT/ENGINEER OF ANY SICREPENCIES OR CHANGES ON THE

NO WORK IS TO BE STARTED UNTIL A BUILDING PERMIT HAS BEEN

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS

CONSTRUCTION OF THIS PROJECT IS TO E PERFORMED BY CAPABLE

DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS

LARGE SCALE DRAWINGS TAKE PREFERENCE OVER SMALLER SCALE

NO WORK IS TO BE STARTED UNTIL THE PLANS ARE APPROVED BY THE

NEW YORK CITY DEPT. OF BUILDING AND A WORK PERMIT IS OBTAINED.

THESE NOTES ARE PART OF THE CONSTRUCTION DOCUMENTS ADNO

SPECIFICATIONS AND ARE TO FULLY COMPLIED WITH IN ALL RESPECT.

HE MAY DETERMINE THE DIFFICULTIES HE MAY ENCOUNTER DURING

THE CONTRACTOR SHALL BE HELD TO HAVE VISITED THE SITE SO THAT

FOUNDATION AND SUBSOIL CONDITIONS HAVE BEEN DESIGNED BASED

BASED ON CONTROLLED INSPECIONS OF SUBSOIL CONDITIONS AND MAY

VERIFY EXACT LOCATIONS OF THEIR UTILITY LINES, SERVICE AND OTHER

CONTRACTOR IS RESPONSIBLE TO NOTIFYING UTILITY COMPANIES TO

THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF

PRIOR TO COMMENCMENT OF WORK THE ADJACENT PROPERTY

CERTIFIED MAIL, WHERE ADJACENT PROPERTY IS AFFECTED BY

AND ACCURATE AND COMPLETED SURVEY, MADE A LISCENCED

RECORD AGTER COMPLETION OF WORK SHOWING THE LOCATION AND

FINISHED FLOOR ELEVATION, GRADE ELEVATIONS AND SHALL COMPLY

BORINGS AND/OR YEST PITS AS FURNISHED BY THE OWNER, EXACT

FOUNDATION REQUIREMENTS ARE SUBJECT TO CHANGE

VARY FROM THOSE INDICATED ON THESE DRAWINGS.

OWNERS SHALL BE GIVEN 5 DAYS WRITTEN NOTICE BY

FOUNDATIONS, GRADING EARTH WORK OR DEMO WORK.

SURVEYOR, SHALL BE SUBMITTED TO THE APPLICANT OF

ELEVATIONS OF ANY NEW BUILDING OR EXTENSION,

TO THE MINIMUM STANDARDS OF THE NYSSPLS.

AND REPUTABLE CONTRACTORS, LICSENCED IN THE STATE OF NEW

SUPERVISION OF WORK & IT REMAINS INCUMBENT ON THE

SECURED AS REQUIRED BY THE GOVERNING AGENCIES.

REPORT ANDY DISCREPANCIES TO THE ATTENTION OF THE

ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE

ARE TO BE FOLLOWED FOR CONSTRUCTION PUROSES.

PRIOR TO THE COMMENCEMENT OF WORK & SHALL

ARCHITECT/ENGINEER BEFORE PROCEEDING.

YORK & AS REQUIRED BY LOCAL AGENCIES.

ON THE INFORMATION CONTAINED WITHIN THE

2- MORTAR SHALL CONFORM TO ASTM C-270 TYPE "M".

2- WELDED WIRE FABRIC SHALL HAVE AN ULTIMATE STRENGTH OF 70,000 PSI.

3- NO VINYLDINE CHLORIDE OR ANY UNAPPROVED CURING ADMIXTURE SHALL BE

4- PROVIDE GALV. HORIZONTAL REINFORCEMENTS AT EVERY COURSE JOINT.

2-EDGES OF FOOTINGS SHALL NOT BE PLACED AT A GREATER THAN 1 VERTICAL

2- ALL CONNECTION MATERIAL SHALL CONFORM TO ASTM REQUIREMENTS:

36,000PSI.

A) HIGH STRENGTH BOLTS : A325.

APPROVED WELDING AGENCY

C) BOLTS SHALL BE 3/4" DIAMETER.

CAPACITY OF 2 TONS PER SQ. FT.

TO 2 HORIZONTAL SLOPE WITH

3000# PSI AFTER 28 DAYS.

B) WELDING ELECTRODES : AWS-A5. 1, E70 SERIES.

5- ALL STEEL MEMBERS SHALL HAVE SHOP COAT OF PRIMER. 6- LOOSE LINTELS SHALL HAVE 6" BEARING EACH END.

RESPECT TO ANY OTHER ADJACENT FOOTINGS.

ULTIMATE COMPRESSIVE STRENGTH OF

HAVE A YIELD POINT OF 40,000 PSI.

ASTM-A615, GRADE 60 AND SHALL

ALLOWED IN MORTAR MIXTURE.

ADMINISTRATIVE

APPROVED PLANS.

DRAWINGS.

CONSTRUCTION.

POSSIBLE EQUIPMENT.

THE BUILDING SITE.

CONTRACTOR SHALL VISIT SITE AND SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, CONDITIONS, WHICH PERTAIN TO THE FABRICATION PROCESSES, OR TO TECHNIQUES FOR CONSTRUCTION AND COORDINATION OF THE WORK OF ALL TRADES, PRIOR TO START OF CONSTRUCTION.

ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT BEFORE PROCEEDING. THE ELEVATIONS AND UTILITITIES, SEMER, MATER AND ELECTRIC LINES SHALL BE VERIFIED BY OR DETERMINED BY INTERESTED CONTRACTORS PRIOR

TO SUBMISSION OF BID. CONTRACTORS SHALL ADJUST PITCH OF NEW LINES TO INSURE PROPER AND LEGAL INTERSECTIONS. CONTRACTOR SHALL COORDINATE LOCATIONS FOR STRUCTURAL, MECHANICAL AND ELECTRICAL WORK FOR ALL PITS, SLAB DEPRESSIONS, SLEEVES

IN FOUNDATION WALLS, SLABS, AND ROOF OPENINGS, ETC. CONTRACTOR SHALL VERIFY CONDITIONS OF ADJOINING STRUCTURES WHICH MAY BE AFFECTED, PROVIDE ADEQUATE

CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES. CONTRACTOR SHALL SECURE AND PAY FOR ANY AND ALL PERMITS, LICENCES, CERTIFICATES, FEES, ETC., REQUIRED BY THE TOWN OF NORTH CASTLE DEPARTMENT OF BUILDINGS OR ANY AND ALL JURISDICTION AUTHORITIES. CONTRACTOR SHALL

PROTECTION AND RESTORE TO ORIGINAL CONDITIONS, WHENCE DAMAGE SHOULD RESULT FROM SUCH WORK. THE

REGULATIONS MUST ALSO BE ADHERED TO]. ALL ELECTRIC WORK MUST CONFORM TO NATIONAL ELECTRIC CODE

OBTAIN A FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION. ALL MORK MUST CONFORM TO THE TOWN OF NORTH CASTLE DEPARTMENT OF BUILDINGS, FIRE DEPARTMENT LAWS, RULES AND TO ALL REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION WHETHER SPECIFICALLY SHOWN OR NOT. [O.S.H.A.

ANY ITEM SHOWN ON ONE SHEET SHALL BE AS IF CALLED FOR BY ALL SHEETS. FINAL COORDIANTION IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTACTOR SHALL NOT SCALE DRAWINGS AND SHALL USE FIGURED DIMENSIONS ONLY. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION OF BUILDINGS, [STANDARD FORM OF A.I.A. LATEST EDITION A201], ARE PART OF THE CONTRACT DOCUMENTS.

WORK INCLUDED IN THESE CONTRACT DOCUMENTS TO BE ALL LABOR, MATERIALS, AND EQUIPMENT, REQUIRED TO COMPLETE CONSTRUCTION AS SHOWN. WORK INCLUDED IN THIS CONTRACT SHALL BE ACCORDING TO THE TRUE INTENT OF THE DRAWINGS

AND SHALL BE FIRST CLASS IN ALL RESPECTS. SUBCONTRACTORS SHALL GUARRANTEE, IN WRITING TO THE OWNER AT CONCLUSION OF JOB, ALL MATERIALS AND

MORKMANSHIP FOR A MINIMUM OF ONE YEAR AFTER SUBSTANTIAL COMPLETION. THE ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION OR PERIODIC FIELD OBSERVATIONS AND ASSUMES NO

RESPONSIBILITY FOR SAFETY METHODS ON SITE. THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF

THE WORK BY THE CONTRACTOR.

CONTRACTOR SHALL APPLY TAPING COMPOUND IN 3 COATS TO ALL JOINTS OF ALL SHEETROCK, SHALL PROVIDE TWO COAT HIGH GLOSS PAINT IN THE KITCHEN AREA AND A SATIN FINISH COAT AT ALL OTHER AREAS. INCLUDING CEILINGS. CONTRACTOR TO PROVIDE NEW CERAMIC TILE THROUGHOUT KITCHEN, BATHROOMS, LAUNDRY ROOMS AND ALL OTHER WET FLOOR AREAS. COLORS AS SELECTED BY OWNER. SUBCONTRACTOR IS TO PROVIDE ALL FINISH HARDWARE AS REQUIRED BY THE OWNER FOR ALL NEW DOORS.

SCOPE OF WORK PERTAINS TO THE RENOVATION/ADDITION TO EXISTING ONE FAMILY DWELLING. THESE PLANS ARE BASED ON THE 2020 RCNYS, (APPENDIX J. ALTERATION LEVEL 2-CHAPTER 6), THE TOWN OF NORTH CASTLEMUNICIPAL CODE AND ALL APPLICABLE RULES AND REGULATIONS.

I, TOM F. ABILLAMA R.A. , HEREBY STATE THAT I HAVE PREPARED THESE PLANS AND SPECIFICATIONS. TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, IN COMPLIANCE WITH THE 2020 ENERGY CODE OF NEW YORK STATE-R 105.2.2 -ZONE 4A

TOM F. ABILLAMA, R.A. ARCHITECT

ENERGY CODE REQUIREMENTS: PRESCRIPTIVE METHOD ZONE 4A CRITERIA (RCNY,2020- N1 102.1.2): 1-UFACTOR @ GLAZING:.32 2-UFACTOR @ SKYLIGHT: .55 3-UFACTOR @ SHGC:.40 4-R VALUE @ ROOF: R-49 5-R-VALUE @ WD FRAME WALL: R-21 6-R-VALUE @ MASS WALL: R-13 7- R-VALUE @ FLOOR: R-25 8-R-VALUE @ BASEMENT WALL: R-13 9- R-VALUE @ SLAB: R-10, 2 FT PERIM. 10-R-VALUE @ CRAWL SPACE WALL: R-19

1 1 - MAX INFILTR.@ WDWS,SKLTS: 0.3 CFM/SF 12- MAX INFILTR.@ SWING. DRS: 0.5 CFM/SF 13- MIN.75% -HIGH EFFICACY LAMPS 14- TESTING PER N1102-.4.1.2

ROUGH CARPENTRY

- 1. Framing and structural lumber: Douglas Fir # 1. Fb=1050 psi, E=1,600,000 Fv=95 psi. All joists and rafters to have diagonal bridging, 8'-0" o.c. maximum. Solid blocking under ceramic tile. Members of built—up girders, headers or lintels shall be spiked or bolted together to act as one unit.
- 2. Cross bridging of joists 1- 1/4" x 3" max, 8'-0" o.c. Collar ties at cathedral ceilings, 2-2 x 6 @ 4'-0" o.c. max. Exterior carpentry at porches shall be c.c.a. treated
- as indicated on drawings. Ornamental posts shall be of a nominal size 6"x6" pine. 3. Wood deck, 5/4" thick T & G Redwood decking. Deck shall pitch
- slightly for water runoff. 4. Plywood shall meet the requirements of APA requirements and specifications:
- 5. Wall and roof sheathing: 5/8" thick, C-D—Ext-Apa, Exterior glue
- 6. Subflooring: 5/8" thick, C-D-Ext-Apa, exterior glue Underlaument: 3/8" thick—
- 7. Underlayment INT-APA Exterior glue

Ground

8. All wood beams to have a minimum bearing of 4". Double all joists under all partitions

Mind Design

- 9. All details of construction; lintels, headers, posts, beams,
- framing, nailing, etc. shall comply with all minimum standards of New York State Code.
- 10. Contractor to do all necessary firestopping of stud partitions and pipe
- chases, as required by N.Y. State Code whether specifically shown or not. 11. Lumber schedule: Miscellaneous lumber, furring, bridging, blocking
- to be grade #2 of any species ample in strength to meet the
- requirements thereof. 12. Mooden trimmers, headers, and tail joists over six feet in length,

defects on surfaces exposed to view in the finished work.

- unless supported on walls or girders, shall be hung in approved metal stirrups, or hangers. 13. Every six feet, at least one beam or joist which rests on masonry walls,
- shall be secured to such walls by approved metal anchors attached in a manner at or near bottom to be self releasing.
- 14. The ends of wooden beams and joists resting on masonry walls shall be cut to a bevel of three inches in their depth. All girders to bear minimum of 8" on masonry. 15. Provide shelf and coat pole in all closets with five shelves in linen closet. 16. Finish woodwork shall be dressed and sanded, free from machine and tool marks, abrasions raised grain or other
- 17. Mood finish shall be set straight, plumb and level in true alignment, closely fitted and rigidly secure in place. Nail heads of exposed nailing shall be countersunk. All work shall be left clean, free from warp,
- twist, open joints and other defects. 18. Interior miscellaneous finish carpentry and woodwork to be "C" select of white pine, oak, or yellow poplar.
- 19. Interior doors to be clear birch, stain grade.
- 20. Caulk at all doors and window frames, joints and other surfaces which require the closing of a joint between any two surfaces not of the same material. Caulking compound shall be silicone equal to Thiokol sealant by Toch Brothers.
- compound in 3 coats to all joints of all sheetrock.
- 21. Contractor to do all flashing required whether specifically shown or not. Tape and apply taping

Snow Load Design Underlayment Mean Flood Special Wind Born Design Hazards Freezing Required Temp. Annual Meathering Depth Decay Topographic region Debris (psf) Category Index Temp zone FIRM map 15*00* 36119003 or 30 115 Mph Moderate No 52.2º F Yes 3'-6" to Heavy less

Subject To Damage From: | Winter | Ice Shield

2007

REV. DATE OWNER:

MR. & MRS. **CHRISTOPHER** KALIAN



955 CENTRAL PARK AVENUE YONKERS, NEW YORK PHONE: 914 6684673 FAX: 914 668 1831 EMAIL: FILES@TFARA.COM



KEY PLAN

PROPOSED ONE FAMILY **DWELLING EXPANSION**

99 BYRAM RIDGE RD., ARMONK, N.Y

SBL: // ZONE:

MAP / NOTES

Project ID / DATE : 2048/ 10.15.2020 Sheet Scale:

Drawn By: AM Checked By: TFA OCT.15.2020

D) Open Holes Shall Be 13/16" Diameter, Unless Otherwise Indicated. 3- All Melding Shall Be Done By Licensed Melders And Shall Be Inspected By Approved Melding Agency.

A) High Strength Bolts : A325.

C) Bolts Shall Be 3/4" Diameter.

STEEL NOTES

5- All Steel Members Shall Have Shop Coat Of Primer.

6- Loose Lintels Shall Have 6" Bearing Each End.

Astm-a36 With Minimum Yield Point Of 36,000psi.

B) Welding Electrodes : Aws-a5.1, E70 Series.

2- All Connection Material Shall Conform To Astm Requirements:

4- Provisions Shall Be Made For Connections Of Other Trades Prior To Fabrication.

MOOD NOTES

1 - All Exterior Wood Framing Members Shall Be Structural Grade With Min. Fiber

Of 1400, And Shall Be Pressure Treated For Exterior Exposure.

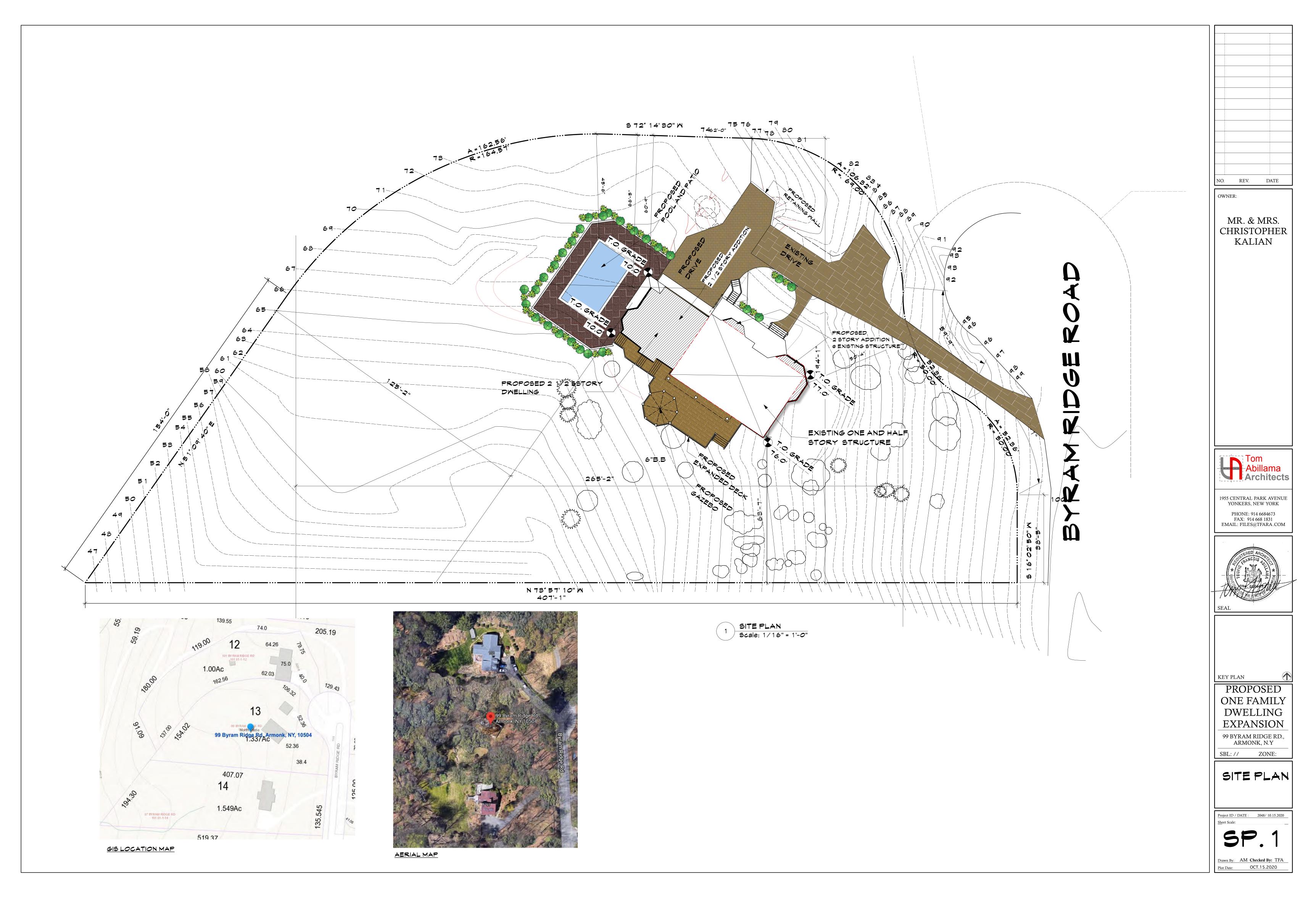
2- Contractor To Provide All Steel Connections Required For Fastening Members To Others.

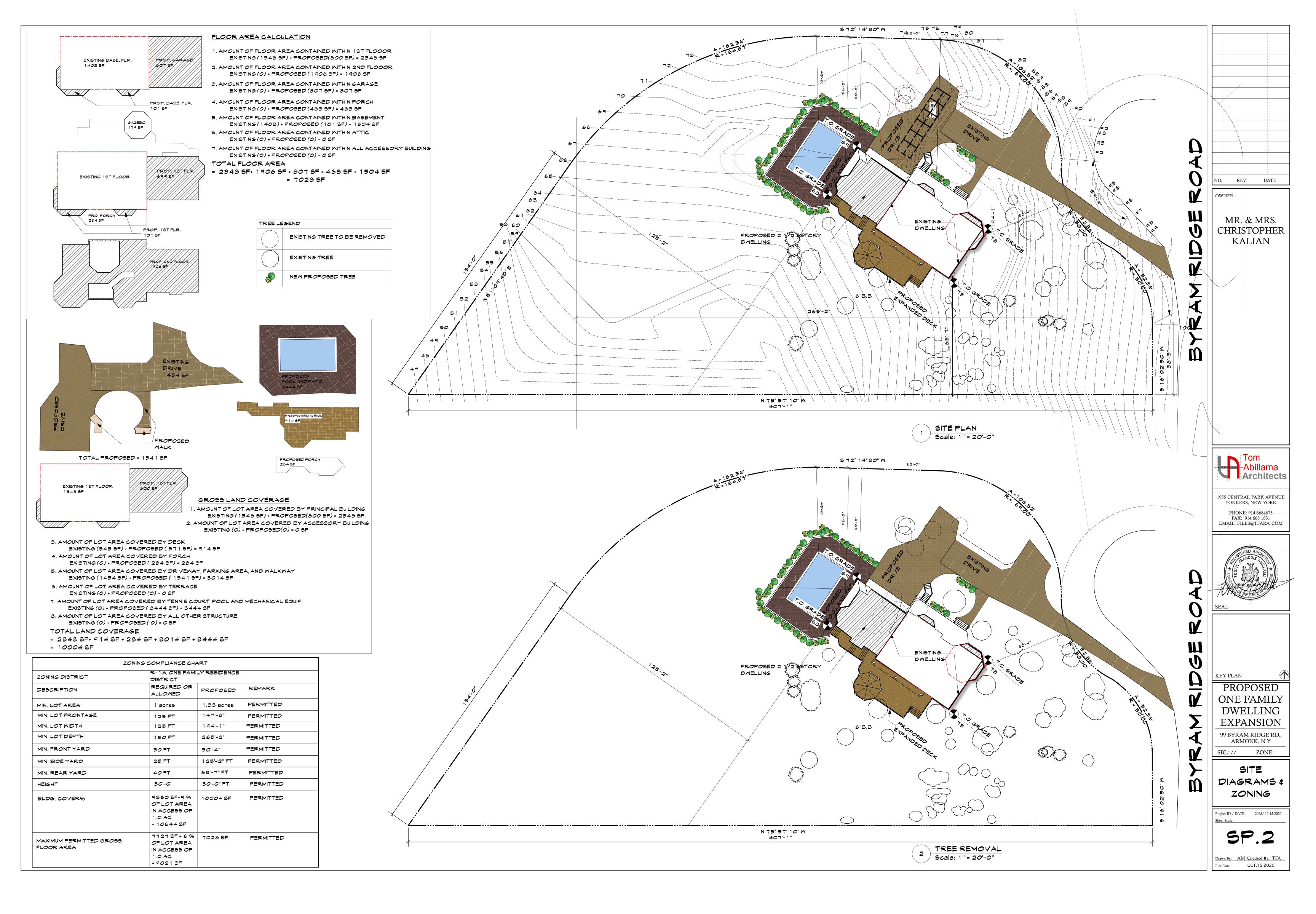
3- Contractor To Refer To "simpson-strong Tie" Manual For Post Plates, Joist Beam Hangers As Well As Hold Downs And Post Caps Etc...

SCOPE OF WORK:

- INGROUND POOL

- TREE REMOVAL - SEPTIC DESIGN





(20) 280 HD

RECHARGERS

SURROUNDED BY

TRUSHED STONE воттом

IMPRMEABLE LINER

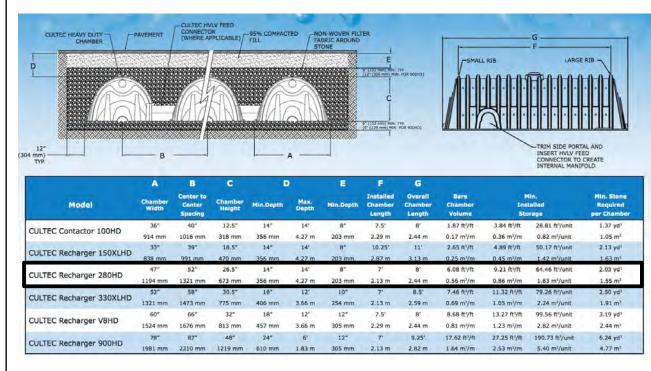
12-INCHES OF

MIN 10 FT FROM

& PROPERTY LINE

STRUCTURE

CULTEC RECHARGER 280HD



Storm Water Design

Storm Design based on a 9inch storm in 24 hours (Using 280XLHD shallow galley rechargers)

The existing lot involves 1 family dwelling, driveway, pool, deck.

The existing lot area is 58239 ft2. The total proposed impermeable surfaces (house

and paved areas) add up to 10,004 ft2. The following is a stormwater analysis for the above conditions.

Curve number for pre-developement: 75, Run off coeficient: 4.33 1. Obtain approved borrow soil materials off-site when satisfactory soil materials are not available Curve number for post-developement: 98, Run off coeficient: 6.96 PART 3-EXECUTION Delta in run off coeficient: 6.96-4.33 = 2.63 <u>Calculate volume:</u>

Area X Delta / 12 = Volume (ft3) 10004 x 2.63 / 12 = 2192 ft3

<u>Percolation Capacity</u>

of 20 minutes per inch)

(Perc test yielded a high of 6 minutes per inch we will use a conservation rate

Area of Perc----2.23 ft2 Volume of Perc----0.196 ft3

Soil Perc Rate (SR)= Volume/Area/Time = 0.196/3.01/60 minutes layer to a density equal to adjacent original ground.

 $= 0.0010852 \times 60 \times 24$ Sr = 1.562 or 1.11715 with 25% clogging

280HD; VOLUME PER UNIT: Chamber 64.46C.F.

Total PERCOLATION PER CULTEC:

5' X 9' X 1.11715 = 50.27 C.F.

Volume: 64.46 + 50.27 = 114.73 Cf Total Volume 2192 / 114.73 = 19.1 OR USE 3 CHAMBERS

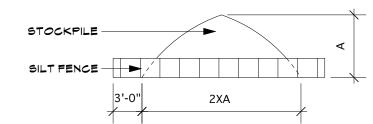
Proposed 20-280 Hd Rechargers.

CULTEC RECHARGER 280HD

Maintenance Guidelines

The following guidelines shall be adhered to for the operation and maintenance of the CULTEC stormwater

- A. The owner shall keep a maintenance log which shall include details of any events which would have an effect on the system's operational capacity
- The operation and maintenance procedure shall be reviewed periodically and changed to meet site
- Maintenance of the stormwater management system shall be performed by qualified workers and shall follow applicable occupational health and safety requirements.
- **D.** Debris removed from the stormwater management system shall be disposed of in accordance with



STOCKPILE PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR: LOCATION OF STOCKPILES. -TYPE OF STOCKPILE PROTECTION

. INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS T FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS; HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERIMETER CONTROL FOR A STOCKPILE INCLUDE WHETHER THE STOCKPILE IS LOCATED ON A PERVIOUS OR IMPERVIOUS SURFACE, THE RELATIVE HEIGHTS OF THE PERIMETER CONTROL AND STOCKPILE, THE ABILITY OF THE PERIMETER CONTROL TO CONTAIN THE STOCKPILE WITHOUT FAILING IN THE EVENT THAT MATERIAL FROM THE STOCKPILE SHIFTS OR SLUMPS AGAINST THE PERIMETER, AND OTHER FACTORS.

3 STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS. SOILS STOCKPILED FOR AN EXTENDED PERIOD (TYPICALLY FOR MORE THAN 60 DAYS) SHOULD BE SEEDED AND MULCHED WITH A TEMPORARY GRASS COVER ONCE THE STOCKPILE IS PLACED (TYPICALLY WITHIN 14 DAYS). USE OF MULCH ONLY OR A SOIL BINDER IS ACCEPTABLE IF THE STOCKPILE WILL BE IN PLACE FOR A MORE LIMITED TIME PERIOD (TYPICALLY 30-60 DAYS).

4. FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADIENT CONTROLS, INCLUDING PERIMETER CONTROL, ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

- E. No trees to be planted above cultec tanks and 15' away, ground planting and flower w/ shallow roots allowed
 - STOCKPILE PROTECTION DETAIL SP.2 ∕ NOT TO SCALE

-SITE CLEARING PART 1 - GENERAL

- 1.1 RELATED DOCUMENTS A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.
- 1.2 SUMMARY
- A. This Section includes the followina:
- . Removing trees and other vegetation.
- 2. Clearing and grubbing. 3. Topsoil stripping.
- Removing above-grade site improvements.
- B. Related Sections include the following: 1. Division 1 Section "Construction Facilities and Temporary Controls" for temporary security and protection facilities, and environmental protection measures during site operations.
- 2. Division 2 Section "Earthwork" for soil materials, excavating, backfilling, and site grading operations. 3. Division 2 Section "Landscaping" for finish grading placing and preparing topsoil for lawns and
- A. Topsoil: Natural or cultivated surface-soil layer containing organic matter and sand, silt, and clay
- friable, pervious, and black or a darker shade of brown, gray, or red than underlying subsoil; reasonably
- subsoil, clay lumps, gravel, and other objects more than 2 inches (50 mm) in diameter; and free of weeds, 1.4 MATERIALS OWNERSHIP
- A. Except for materials indicated to be stockpiled or to remain Owner's property, cleared materials shall
- Contractor's property and shall be removed from the site. 1.5 SUBMITTALS A. Photographs or videotape, sufficiently detailed, of existing conditions of trees and planting, adjoining
- construction, and site improvements that might be mis-constructed as damage caused by site clearing. B. Record drawings according to Division 1 Section "Contract Closeout." 1. Identify and accurately locate capped utilities and other subsurface structural, electrical, and
- mechanical conditions.
- 1.6 PROJECT CONDITIONS A. Traffic: Minimize interference with adjoining roads, streets, walks, and other adjacent occupied or
- facilities during site-clearing operations. 1. Do not close or obstruct streets, walks, or other adjacent occupied or used facilities without
- from Owner and authorities having jurisdiction.
- 2. Provide alternate routes around closed or obstructed traffic ways if required by authorities having

B. Improvements on Adjoining Property: Authority for performing indicated removal and alteration work

- property adjoining Owner's property will be obtained by Owner before award of Contract. C. Notify utility locator service for area where Project is located before site clearing.
- PART 2 PRODUCTS (Not Applicable) 2.1 SOIL MATERIALS A. Satisfactory Soil Materials: Requirements for satisfactory soil materials are specified in Division 2
- "Earthwork."
- A. Protect and maintain benchmarks and survey control points from disturbance during construction. B. Provide erosion-control measures to prevent soil erosion and discharge of soil-bearing water runoff
- airborne dust to adjacent properties and walkways.
- C. Locate and clearly flag trees and vegetation to remain or to be relocated.
- D. Protect existing site improvements to remain from damage during construction.
- 1. Restore damaged improvements to their original condition, as acceptable to Owner. 3.2 CLEARING AND GRUBBING A. Remove obstructions, trees, shrubs, grass, and other vegetation to permit installation of new
- construction Removal includes digging out stumps and obstructions and grubbing roots. 1. Do not remove trees, shrubs, and other vegetation indicated to remain or to be relocated.
- 2. Cut minor roots and branches of trees indicated to remain in a lean and careful manner where such roots and branches obstruct installation of new construction. 3. Completely remove stumps, roots, obstructions, and debris extending to a depth of 18 inches
- below exposed subgrade.
- 4. Use only hand methods for grubbing within drip line of remaining trees.
- B. Fill depressions caused by clearing and grubbing operations with satisfactory soil materials, unless
- excavation or earthwork is indicated.
- 1. Place fill material in horizontal layers not exceeding 8-inch (200 mm) loose depth, and compact each
- 3.3 TOP SOIL
- A. Remove sod and grass before stripping topsoil. B. Strip topsoil to whatever depths are encountered in a manner to prevent intermixing with underlying
- other waste materials
- C. Stockpile topsoil materials away from edge of excavations without intermixing with subsoil. Grade and shape
- stockpiles to drain surface water. Cover to prevent windblown dust. 1. Limit height of topsoil stockpiles to 72 inches (1800 mm).
- 2. Do not stockpile topsoil within drip line of remaining trees. Dispose of excess topsoil as specified
- waste material disposal.
- 3. Stockpile surplus topsoil and allow for re-spreading deeper topsoil. 3.4 SITE IMPROVEMENTS
- A. Remove existing above- and below-grade improvements as indicated and as necessary to facilitate construction.
- B. Remove slabs, paving, curbs, gutters, and aggregate base as indicated.
- A. Disposal: Remove surplus soil material, unsuitable topsoil, obstructions, demolished materials, and
- materials, including trash and debris, and legally dispose of them off Owner's property. END OF SECTION 02230
- SECTION 02300 EARTHWORK
- PART 1 GENERAL 1.1 RELATED DOCUMENTS
- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section. 1.2 SUMMARY
- A. This Section includes the following:
- 1. Preparing sub-grades for slabs-on-grade, walks, pavements, lawns, and plantings. 2. Excavating and backfilling for buildings and structures.
- 3. Drainage course for slabs-on-grade. 4. Sub-base course for concrete walks and pavements.
- 5. Base course for asphalt paving. 6. Subsurface drainage backfill for walls and trenches.
- 7. Excavating and backfilling trenches within building lines
- 8. Excavating and backfilling trenches for buried mechanical and electrical utilities and pits for buried B. Related Sections include the following:
- 1. Division 1 Section "Construction Facilities and Temporary Controls." 2. Division 2 Section "Site Clearing" for site stripping, grubbing, removing topsoil, and protecting trees
- 3. Division 2 Section "Landscaping" for finish grading, including placing and preparing topsoil for lawns and plantings. 4. Division 3 Section "Cast-in-Place Concrete" for granular course over vapor retarder.
- 5. Division 15 through 16 Sections for excavating and backfilling buried mechanical and electrical utilities and buried utility structures. 1.3 DEFINITIONS
- A. Backfill: Soil materials used to fill an excavation. 1. Initial Backfill: Backfill placed beside and over pipe in a trench, including haunches to support sides
- 2. Final Backfill: Backfill placed over initial backfill to fill a trench. B. Base Course: Layer placed between the sub base course and asphalt paving.
- C. Bedding Course: Layer placed over the excavated subgrade in a trench before laying pipe. D. Borrow: Satisfactory soil imported from off-site for use as fill or backfill. E. Drainage Course: Layer supporting slab-on-grade used to minimize capillary flow of pore water.
- 1 CONTRACTOR SHALL DO ALL DEMOLITION REQUIRED FOR THE COMPLETION

F. Excavation: Removal of material encountered above subgrade elevations.

- OF WORK SHOWN ON DRAWINGS. 2- HE SHALL ALLOW NO DEBRIS TO ACCUMULATE AND SHALL HAUL AWAY FROM SITE ALL DEBRIS AT
- CONTRACTOR'S EXPENSE 3- HE SHALL PROVIDE PROTECTION OF ALL ADJACENT OR NEIGHBOURING PROPERTY FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST. HE SHALL PROTECT UTILITY LINES AS
- 6. UNLESS OTHERWISE AGREED BY SEPARATE CONTRACT, THIS ARCHITECT HAS NOT BEEN RETAINED FOR CONSTRUCTION ADMINISTRATION RELATED TO THE WORK THEREOF

1. Additional Excavation: Excavation below subgrade elevations as directed by Architect. Additional the Work 2. Bulk Excavation: Excavations more than 10 feet (3 m) in width and pits more than 30 feet (9 m) in either length or width.

EXTENT OF SOIL EROSION

CONTROL STRIP

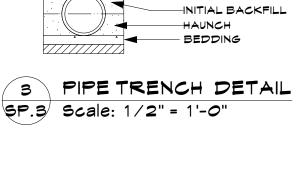
- 3. Unauthorized Excavation: Excavation below subgrade elevations or beyond indicated dimensions without direction by Architect. Unauthorized excavation, as well as remedial work directed by Architect, shall be without additional compensation. G. Fill: Soil materials used to raise existing grades.
- H. Structures: Buildings, footings, foundations, retaining walls, slabs, tanks, curbs, mechanical and electrical appurtenances, or other man-made stationary features constructed above or below the round surface. I. Sub base Course: Layer placed between the subgrade and base course for asphalt paving, or layer placed between the subgrade and a concrete pavement or walk.
- J. Subgrade: Surface or elevation remaining after completing excavation, or top surface of a fill or backfill immediately below sub base, drainage fill, or topsoil materials. K. Utilities include on-site underground pipes, conduits, ducts, and cables, as well as underground services within
- 1.4 SUBMITTALS
- A. Product Data: For the following: 1. Each type of plastic warning tape.
- 2. Drainage fabric. 3. Separation fabric.
- B. Samples: For the following: 1. 30-lb (14-kg) samples sealed in airtight containers, of each proposed soil material from on-site or
- borrow sources. 2. 12-by-12-inch (300-by-300-mm) sample of drainage fabric.
- 3. 12-by-12-inch (300-by-300-mm) sample of separation fabric. C. Material Test Reports: From a qualified testing agency indicating and interpreting test results for compliance of the following with requirements indicated:
- 1. Classification according to ASTM D 2487 of each on-site or borrow soil material proposed for fill and 2. Laboratory compaction curve according to ASTM D 698 for each on-site or borrow soil material proposed for fill and backfill.
- D. Seismic survey agency report, for record purposes. 1.5 QUALITY ASSURANCE A. Geotechnical testing Agency Qualifications: An independent testing agency qualified according to ASTM E
- 329 to conduct soil materials and rock-definition testing, as documented according to ASTM D 3740 and ASTME 548.

SOIL EROSION NOTES:

- 1. PRIOR TO STARTING ANY CONSTRUCTION, TEMPORARY SILT TRAPS, SEDIMENTATION FENCES AND OTHER APPROVED SOIL CONTROL MEASURES SHALL BE PLACED AS REQUIRED. ADDITIONAL SEDIMENT CONTROL MEASURES SHALL BE INSTALLED WHERE DEEMED NECESSARY, TO SUPPLEMENT THE EROSION CONTROL DETAILS AS SHOWN ON THIS DRAWING.
- 2. CONTRACTOR SHALL TAKE EXTRA CARE WITH RESPECT TO LAND EXPOSED DURING DEVELOPMENT. THE EXPOSED LAND AREA SHALL BE KEPT TO A MIN. TIME PERIOD. PERMANENT SITE IMPROVEMENT METHODS AND STRUCTURES SHALL TAKE PLACE AT THE EARLIEST POSSIBLE OPPORTUNITY.
- 3. CONTRACTOR SHALL ENSURE THE MAINTENANCE OF SOIL EROSION FENCES
- 4. CONTRACTOR SHALL ALLOW TO A MINIMUM POSSIBLE THE SEDIMENTATION DEBRIS TO THE PUBLIC AND PRIVATE ADJOINING AREAS AND SHALL ASSUME RESPONSIBILITY FOR SUCH CONDITIONS. HE SHALL BRUSH CLEAN ALL DEBRIS FROM SIDEWALKS AND STREETS.

AS PER REQUIREMENTS OF MUNICIPAL AUTHORITIES HAVING JURISDICTION THEREOF.

5. METHODS FOR OPEN EXCAVATION EMBANKMENTS NOT REQUIRING SILT FENCES OR STRAM BALES CAN BE EMPLOYED SUBJECT TO SOIL CONDITIONS AND WHERE SLOPES DO NOT EXCEED A PITCH OF 8" IN 12".LOOSE STONE AND ROCK SHALL REMOVED FROM SITE, COMPACTED AND SEEDED TOP SOIL SHALL BE INSTALLED FOR SOIL PROTECTION.



UNDISTURBED GROND

DEMOLITION NOTE:

SHORING AND BRACING:

REMOVING OLD BRACE.

CONTRACTOR TO REMOVE ALL STRUCTURES AND PAVEMENTS

AS REQUIRED. CONTRACTOR TO ABIDE BY ALL ENVIRONMENTAL

OF THE VILLAGE OF LARCHMONT AND THE COUNTY OF WESTCHESTER

AS INDICATED WITHOUT UNDERMINING THE STRUCTURAL

TO REMOVE ALL FOUNDATIONS AND FOOTINGS

REQUIREMENTS, SUCH AS NOISE, DUST CONTROL,

ASBESTOS ABATEMENT, RODENT CONTROL, ETC.

IN PROPPER MANNER AND AS PER REQUIREMENTS

ANY STRUCTURAL DAMAGE PRIOR TO DEMOLITION.

INTEGRITY OF THE ADJACENT NEIGHBORING PROPERTIES.

ALL MATERIALS TO BE REMOVED SHALL BE DISPENSED OF

CONTRACTOR TO MAKE OWNER/ARCHITECT AWARE OF

1- CONTRACTOR SHALL PROTECT SITE FROM CAVING

AND SOIL MOVEMENT.HE SHALL LOCATE SYSTEMS TO

2- CONTRACTOR SHALL LOCATE BRACING TO CLEAR

PERMANENT WORK. INSTALL NEW BRACE PRIOR TO

COLUMNS, FLOOR FRAMING CONSTRUCTION, AND OTHER

CLEAR PERMANENT CONSTRUCTION AND TO PERMIT

FORMING AND FINISHING OF CONCRETE SURFACES.

-PAVEMENT, H; MIN. COVER TO BE 2 FINAL BACKFILL

FINISHED GRADE

MINIMUM COVER TO FLEXIBLE OR RIGID

R-5900-A (OR EQUAL) HEAVY DUTY FRAME AND LIL

SP.3 NOT TO SCALE

Scale: 1" = 20'-0'

4.0" [100 mm] SDR-35 / SCH 40 PVC (INSERTED 8.0" [203 mm] INTO CHAMBER 2" X 2" X 36" MIN. HEIGHT FILTER CLOTH (STABI-LINKA T140N BY MIRAFI) TO BE FASTENED SECURELY TO POSTS @ TOP AND MID SECTIONS AND EMBEDDED MIN. 6" MIN. INTO GROUND. OVERLAPS TO BE MIN. 6"

BILT FENCE

SOIL STOCKPILE AREA SEE DETAI

PROPOSED REL

STRUCTURE

FIELD PLACED CLASS "C" CONCRETE MAINTAIN 6.0" [152 mm] CLEARANCE BETWEEN HEAVY DUTY LID AND PVC CLEAN-OUT CAP 4.0" [100 mm] SDR-35 / SCH. 40 PVC ENDCAP CLEAN-OUT ADAPTER W/ SCREW-IN CAP 4.0" [100 mm] SDR-35 / SCH. 40 PVC RISER - 4.0" [100 mm] SDR-35 / SCH. 40 PVC COUPLING PLAN VIEW TRIM CHAMBER INSPECTION PORT KNOCK-OUT TO MATCH O.D. OF 4.0" [100 mm] INSPECTION PORT PIPE CONCRETE TO HARDWOOD FENCE POST @ 10'-0" OC MAX. POSTS TO BE DRIVEN 16" MIN. INTO GROUND. 6" PVC INLET PIPE _ FROM INFILTRATORS SILT FENCE DETAIL

12.0" [300 mm] SDR-35 / SCH. 40 PVC COLLAR

OUTLET CONTROL STRUCTURE (OCS)

2'-6"



ELEVATION

TRACKING PAD DIAGRAM

NOTE 1: PITCH ALL PIPES 1/8"

***NOTE: ROADWAY &

SUPERINTENDENT

RIGHT-OF-WAY SHALL BE

PERFORMED TO HIGHWAY

SHOULDER CO. MITHIN VILLAGE

"THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURE IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS". ""AS BUILT DRAWING" OF THE SITE IMPROVEMENT SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FO REVIEWS

PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY". "INFILTRATION SYSTEM ACCESS PORTS SHALL TO SHOWN ON THE AS BUILT"

"INFILTRATION SYSTEM AND OVERFLOW LOCATIONS SHALL BE SHOWN ON THE"AS-BUILT"

"PROPOSED SOIL SLOPES EXCEEDING 1:2 (V.H) SHALL BE RIP-RAPPED AND SHALL NOT EXCEED 1:1 (V.H)" "THE RESTORATION WORK FOR ANY CONSTRUCTION WITHIN THE VILLAGE RIGHT OF THE MAY SHALL PERFORMED

TO THE SATISFACTION OF THE VILLAGE ENGINEER AND BUILDING INSPECTOR CUT/FILL MATERIAL SHALL NOT BE IMPORTED TO OR EXPORTED FROM THE SITE

REV.

MR. & MRS.

CHRISTOPHER

KALIAN

OWNER:

PROVIDE

TRACKING PAD

DATE

Architects

955 CENTRAL PARK AVENUE

YONKERS, NEW YORK PHONE: 914 6684673 FAX: 914 668 1831 EMAIL: FILES@TFARA.COM



KEY PLAN

PROPOSED ONE FAMILY **DWELLING EXPANSION** 99 BYRAM RIDGE RD.,

ARMONK, N.Y

ZONE:

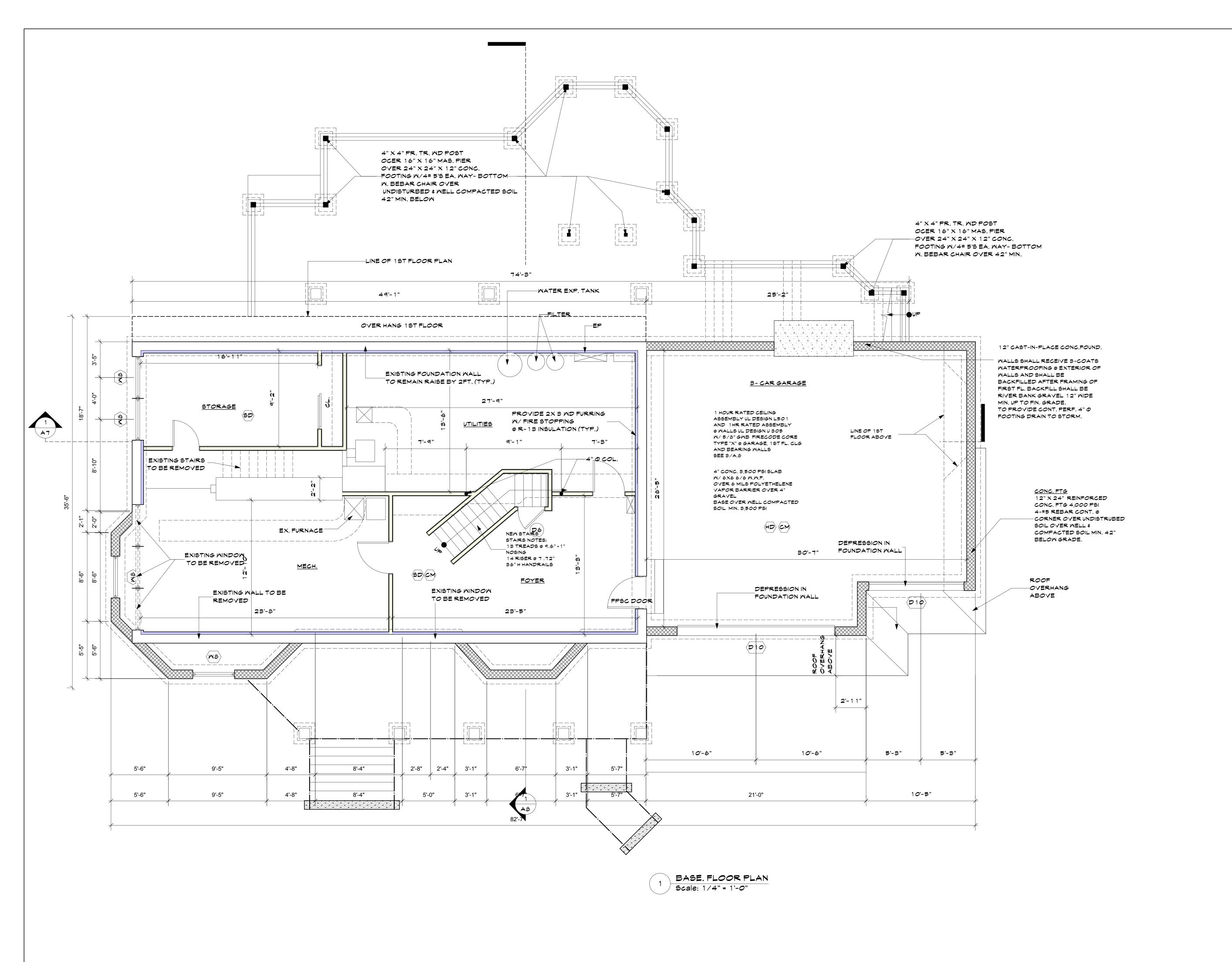
STORMWATER CALCULATIONS AND DESIGN

Project ID / DATE : 2048/ 10.15.2020

Sheet Scale:



Drawn By: AM Checked By: TFA OCT.15.2020



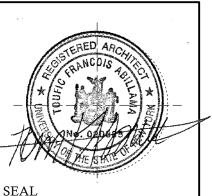
NO. REV. DATE

OWNER:

MR. & MRS. CHRISTOPHER KALIAN



1955 CENTRAL PARK AVENUE YONKERS, NEW YORK PHONE: 914 6684673 FAX: 914 668 1831 EMAIL: FILES@TFARA.COM



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ONE FAMILY
DWELLING
EXPANSION

99 BYRAM RIDGE RD., ARMONK, N.Y

SBL: // ZONE:

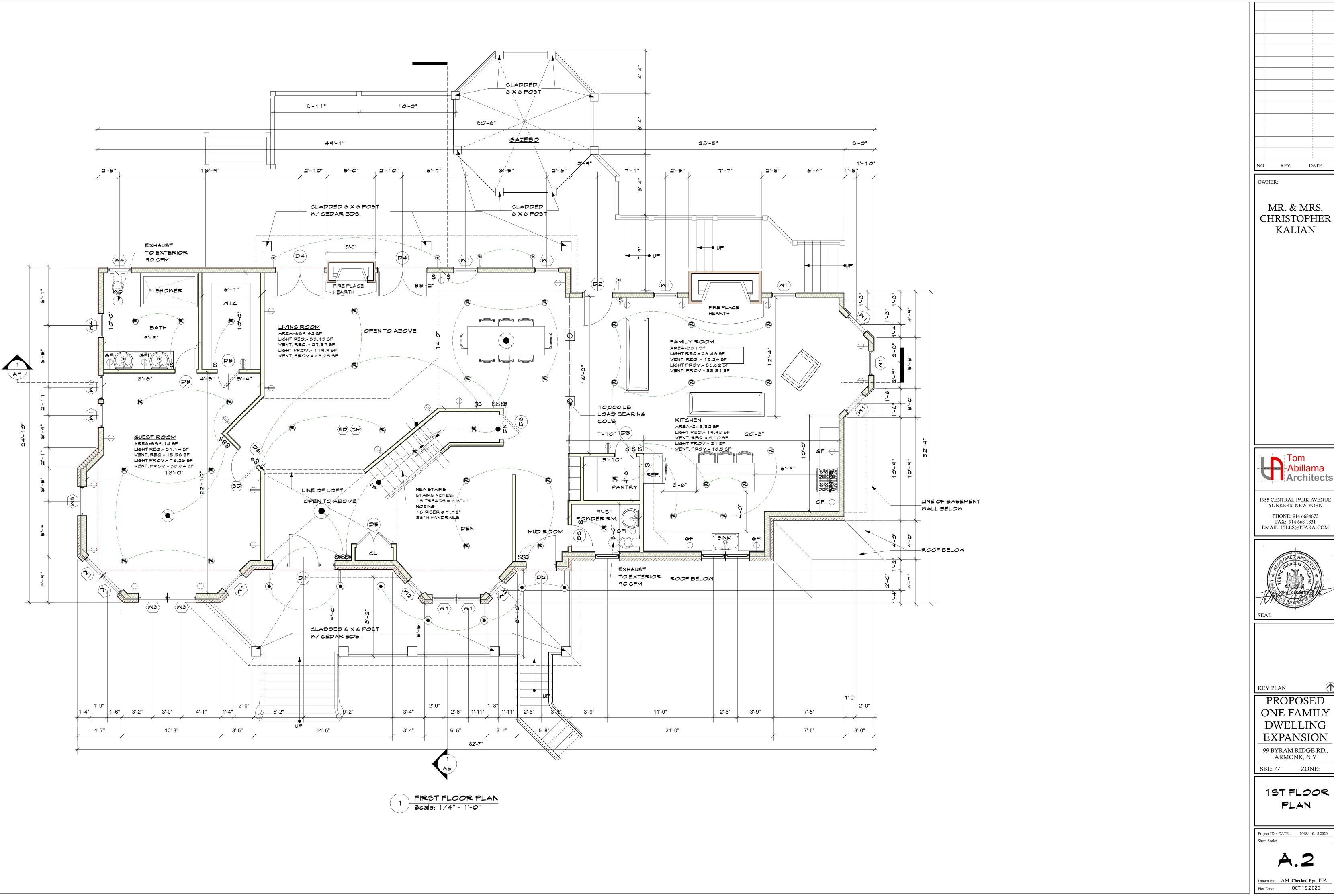
BASMENT FLOOR PLAN

Project ID / DATE : 2048/ 10.15.2020 Sheet Scale:

A. 1

 Drawn By:
 AM
 Checked By:
 TFA

 Plot Date:
 OCT.15.2020



NO. REV. DATE

MR. & MRS. CHRISTOPHER KALIAN



PHONE: 914 6684673 FAX: 914 668 1831 EMAIL: FILES@TFARA.COM



PROPOSED ONE FAMILY **DWELLING EXPANSION**

99 BYRAM RIDGE RD., ARMONK, N.Y

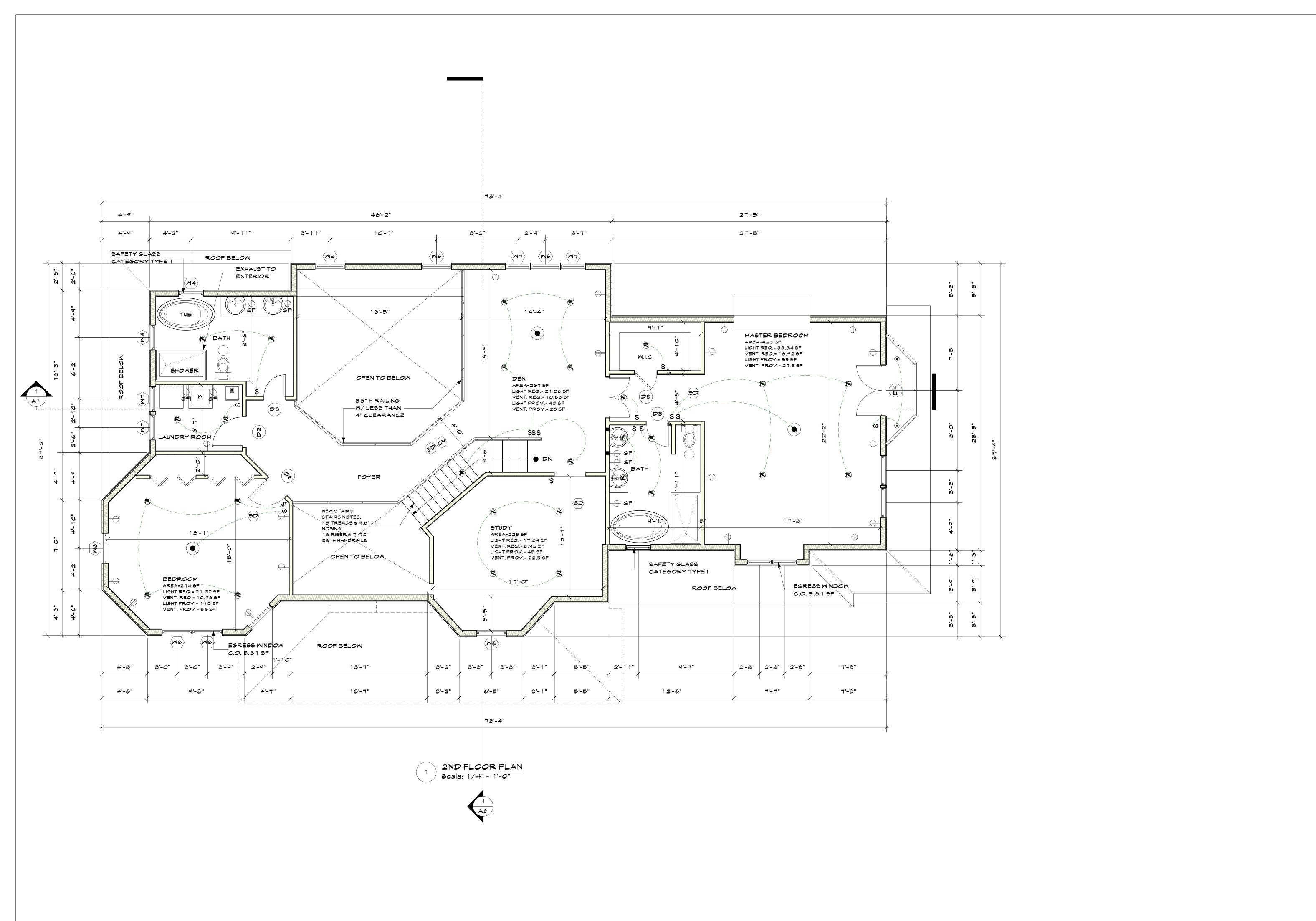
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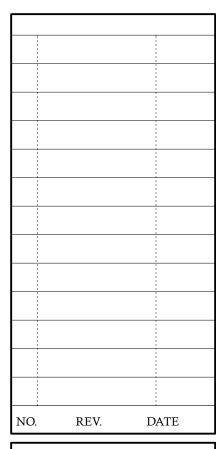
1ST FLOOR PLAN

Project ID / DATE : 2048/ 10.15.2020



Drawn By: AM Checked By: TFA



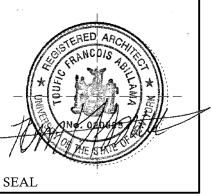


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KEY PLAN

PROPOSED
ONE FAMILY
DWELLING
EXPANSION

99 BYRAM RIDGE RD., ARMONK, N.Y

SBL: // ZONE:

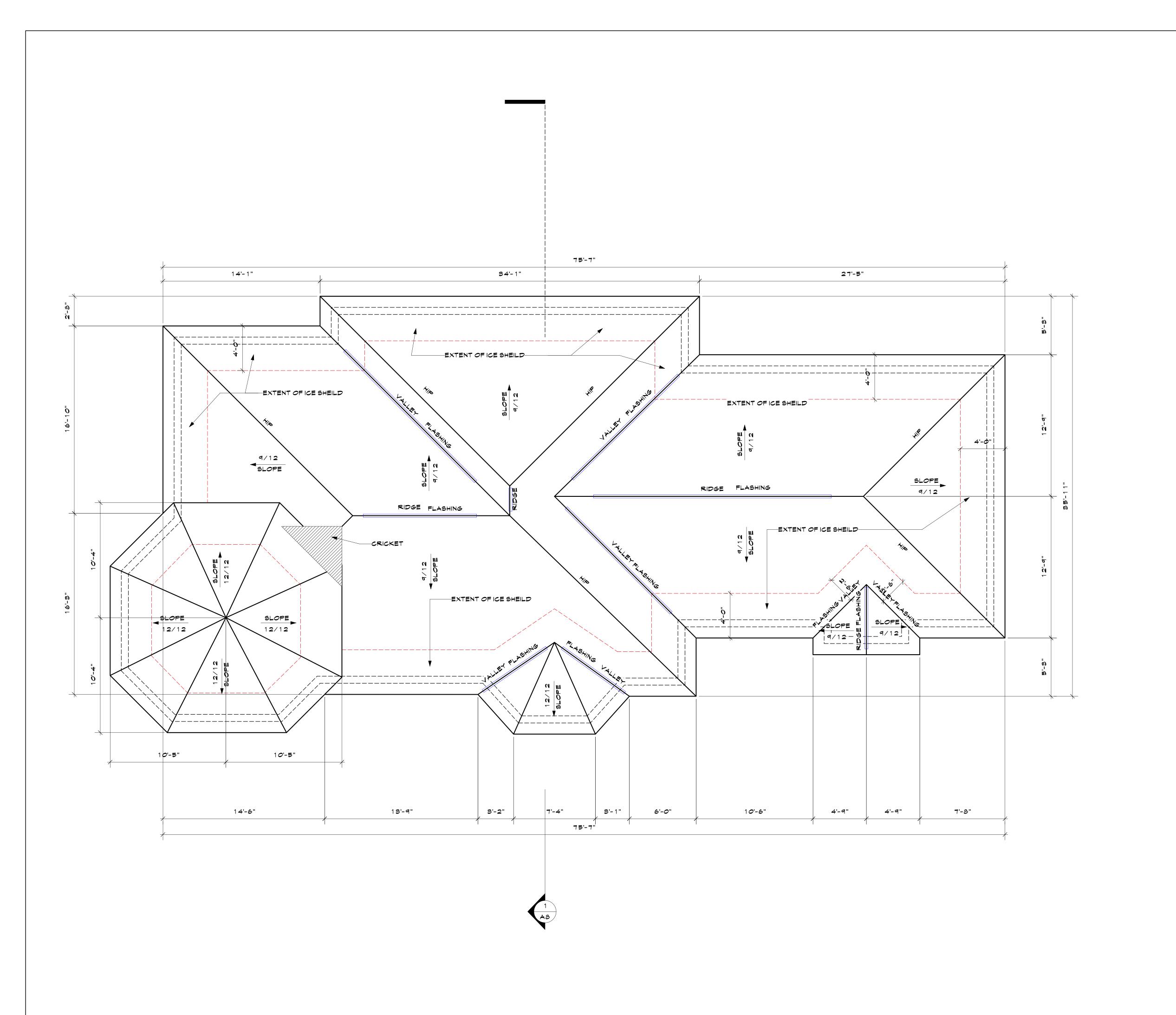
2ND FLOOR PLAN

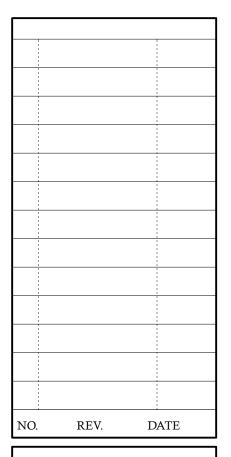
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Sheet Scale:



 Drawn By:
 AM Checked By: TFA

 Plot Date:
 OCT.15.2020





OWNER:

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KEY PLAN

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DWELLING
EXPANSION

99 BYRAM RIDGE RD., ARMONK, N.Y

SBL: // ZONE:

ROOF PLAN

Project ID / DATE : 2048/ 10.15.2020 Sheet Scale:

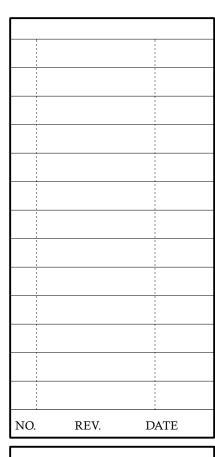
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 AM
 Checked By:
 TFA

 Plot Date:
 OCT.15.2020





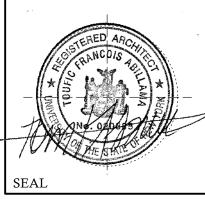


OWNER:

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KEY PLAN

PROPOSED
ONE FAMILY
DWELLING
EXPANSION

99 BYRAM RIDGE RD., ARMONK, N.Y

RIGHT SIDE, REAR ELEVATIONS

Project ID / DATE : 2048/ 10.15.2020
Sheet Scale:



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 OCT.15.2020