



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43
Fax: (914) 273-3554
www.northcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)



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RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT ADDRESS: __99 Byram Ridge Road, Armonk, NY 10504__

Section III- DESCRIPTION OF WORK

Proposed Expansion of existing One Family Dwelling

Section III- CONTACT INFORMATION:

APPLICANT: __Tom Abillama__

ADDRESS: __1955 Central Park Ave Yonkers, NY 10710__

PHONE: __914-668-4673__ MOBILE: _____ EMAIL: __tom@tfara.com__

PROPERTY OWNER: __Chris Kalian__

ADDRESS: __5 West Main Street, Elmsford, NY__

PHONE __914-426-2323__ MOBILE: _____ EMAIL __CKALIAN@RIDGEPARTNERS.COM__

PROFESSIONAL: __TABillama & Associates__ Tom Abillama __R.A.__

ADDRESS: __1955 Central Park Ave Yonkers, NY 10710__

PHONE: __914-668-4673__ MOBILE: _____

EMAIL: __tom@tfara.com__

Section IV- PROPERTY INFORMATION:

Zone: __R-1A__ Tax ID (lot designation) __Section 101.01__ Block 1__ Lot 13__



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: 99 Byram Ridge Rd.

Initial Submittal Revised Preliminary

Street Location: 99 Byram Ridge Rd. Armonk, NY

Zoning District: R-1A Property Acreage: 1.33 Tax Map Parcel ID: 101.01-1-13

Date: 99 Byram Ridge Rd

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

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 Fax: (914) 273-3554
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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

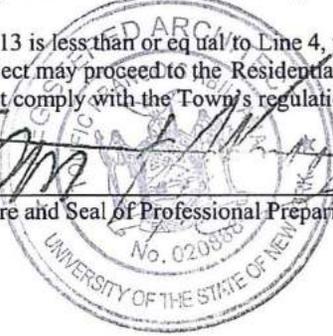
Application Name or Identifying Title: 99 Byram Ridge Rd Date: 12/10/20
 Tax Map Designation or Proposed Lot No.: Section 101.01 Block 1 Lot 13

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 1.19 Ac
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): 10095 SF
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
 _____ x 10 = _____
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 10095 SF
5. Amount of lot area covered by principal building:
1548 existing + 800 proposed = 2348 SF
6. Amount of lot area covered by accessory buildings:
0 existing + 0 proposed = 0
7. Amount of lot area covered by decks:
343 SF existing + 571 SF proposed = 914 SF
8. Amount of lot area covered by porches:
0 existing + 284 SF proposed = 284 SF
9. Amount of lot area covered by driveway, parking areas and walkways:
1454 SF existing + 1541 SF proposed = 3014 SF
10. Amount of lot area covered by terraces:
0 existing + 0 proposed = 0
11. Amount of lot area covered by tennis court, pool and mechanical equip:
0 existing + 3444 SF proposed = 3444 SF
12. Amount of lot area covered by all other structures:
0 existing + 0 proposed = 0
13. Proposed gross land coverage: Total of Lines 5 – 12 = 10004 SF

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

[Signature]
 Signature and Seal of Professional Preparing Worksheet



12/10/20
 Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

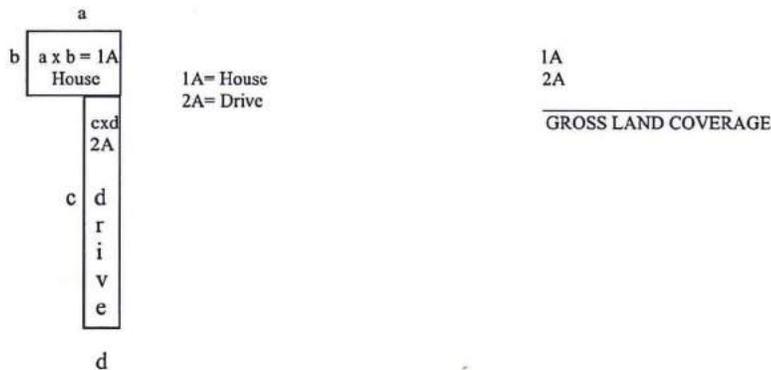
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GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



TOWN OF NORTH CASTLE
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January 29, 2019
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PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

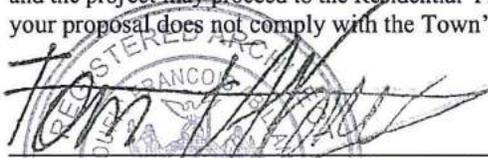
FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 99 Byram Ridge Rd Date: 12/10/10
 Tax Map Designation or Proposed Lot No.: Section 10101 Block 1 Lot 13

Floor Area

- | | | |
|-----|---|----------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>1.19 Ac</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>8389 SF</u> |
| 3. | Amount of floor area contained within first floor:
<u>1548 SF</u> existing + <u>300 SF</u> proposed = | <u>2348 SF</u> |
| 4. | Amount of floor area contained within second floor:
<u>0</u> existing + <u>1906 SF</u> proposed = | <u>1906 SF</u> |
| 5. | Amount of floor area contained within garage:
<u>0</u> existing + <u>307 SF</u> proposed = | <u>307 SF</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>0</u> existing + <u>463 SF</u> proposed = | <u>463 SF</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>1403</u> existing + <u>101 SF</u> proposed = | <u>1504 SF</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>7028 SF</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.



 Signature and Seal of Professional Preparing Worksheet

12/10/10
 Date





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GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



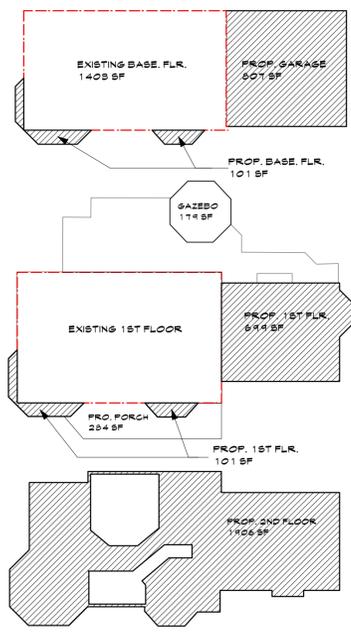
LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings ¹ (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

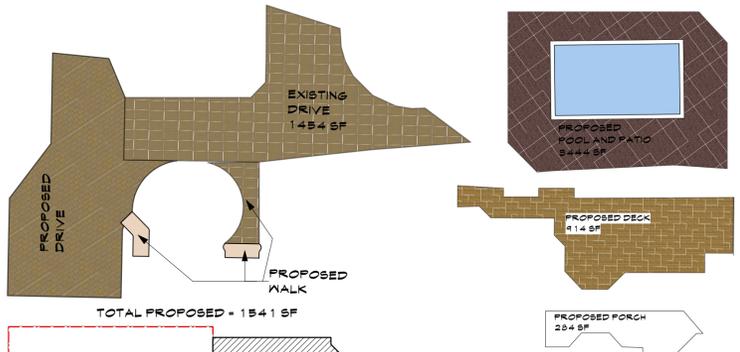


FLOOR AREA CALCULATION

1. AMOUNT OF FLOOR AREA CONTAINED WITHIN 1ST FLOOR
EXISTING (1548 SF) + PROPOSED(800 SF) = 2348 SF
 2. AMOUNT OF FLOOR AREA CONTAINED WITHIN 2ND FLOOR
EXISTING (0) + PROPOSED (1906 SF) = 1906 SF
 3. AMOUNT OF FLOOR AREA CONTAINED WITHIN GARAGE
EXISTING (0) + PROPOSED (807 SF) = 807 SF
 4. AMOUNT OF FLOOR AREA CONTAINED WITHIN PORCH
EXISTING (0) + PROPOSED (463 SF) = 463 SF
 5. AMOUNT OF FLOOR AREA CONTAINED WITHIN BASEMENT
EXISTING (1408) + PROPOSED (101 SF) = 1504 SF
 6. AMOUNT OF FLOOR AREA CONTAINED WITHIN ATTIC
EXISTING (0) + PROPOSED (0) = 0 SF
 7. AMOUNT OF FLOOR AREA CONTAINED WITHIN ALL ACCESSORY BUILDING
EXISTING (0) + PROPOSED (0) = 0 SF
- TOTAL FLOOR AREA**
= 2348 SF + 1906 SF + 807 SF + 463 SF + 1504 SF
= 7028 SF

TREE LEGEND

	EXISTING TREE TO BE REMOVED
	EXISTING TREE
	NEW PROPOSED TREE

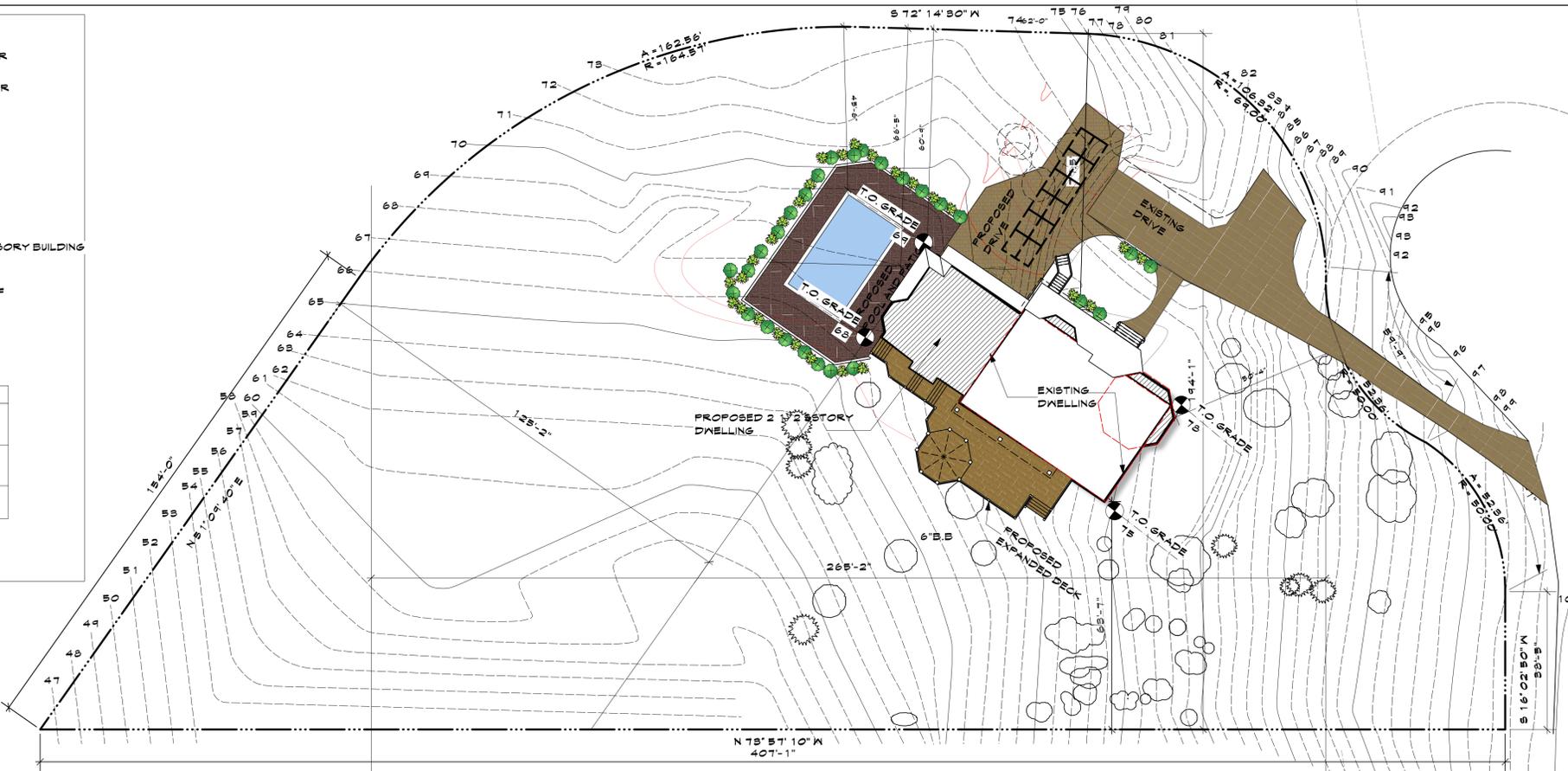


GROSS LAND COVERAGE

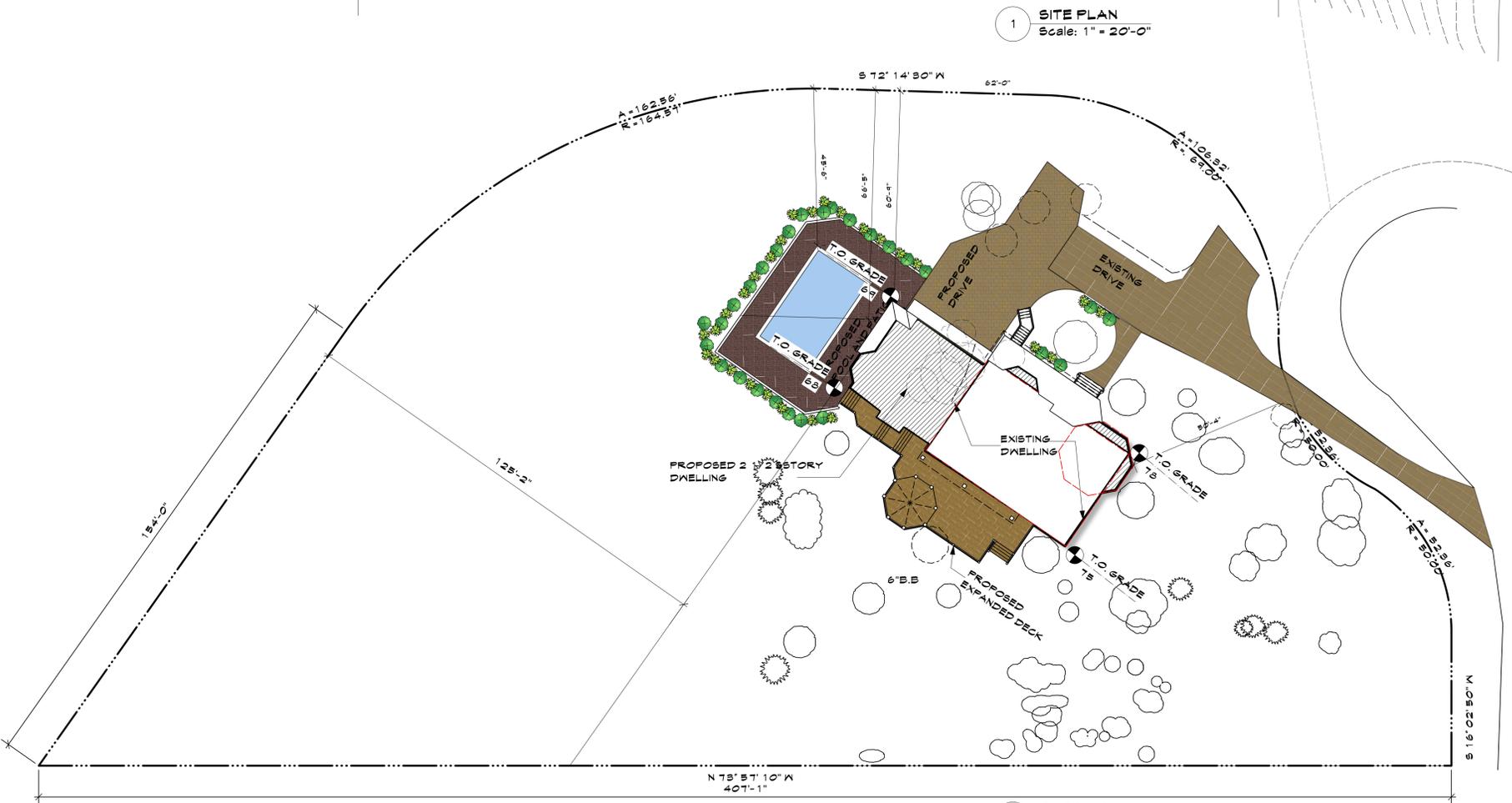
1. AMOUNT OF LOT AREA COVERED BY PRINCIPAL BUILDING
EXISTING (1548 SF) + PROPOSED(800 SF) = 2348 SF
 2. AMOUNT OF LOT AREA COVERED BY ACCESSORY BUILDING
EXISTING (0) + PROPOSED(0) = 0 SF
 3. AMOUNT OF LOT AREA COVERED BY DECK
EXISTING (243 SF) + PROPOSED (571 SF) = 814 SF
 4. AMOUNT OF LOT AREA COVERED BY PORCH
EXISTING (0) + PROPOSED (284 SF) = 284 SF
 5. AMOUNT OF LOT AREA COVERED BY DRIVENWAY, PARKING AREA, AND WALKWAY
EXISTING (1454 SF) + PROPOSED (1541 SF) = 3014 SF
 6. AMOUNT OF LOT AREA COVERED BY TERRACE
EXISTING (0) + PROPOSED (0) = 0 SF
 7. AMOUNT OF LOT AREA COVERED BY TENNIS COURT, POOL AND MECHANICAL EQUIP.
EXISTING (0) + PROPOSED (3444 SF) = 3444 SF
 8. AMOUNT OF LOT AREA COVERED BY ALL OTHER STRUCTURE
EXISTING (0) + PROPOSED (0) = 0 SF
- TOTAL LAND COVERAGE**
= 2348 SF + 814 SF + 284 SF + 3014 SF + 3444 SF
= 10004 SF

ZONING COMPLIANCE CHART

ZONING DISTRICT	R-1A, ONE FAMILY RESIDENCE DISTRICT	REQUIRED OR ALLOWED	PROPOSED	REMARK
MIN. LOT AREA	1 acres	1.33 acres	PERMITTED	
MIN. LOT FRONTAGE	125 FT	147'-8"	PERMITTED	
MIN. LOT WIDTH	125 FT	194'-1"	PERMITTED	
MIN. LOT DEPTH	150 FT	265'-2"	PERMITTED	
MIN. FRONT YARD	50 FT	50'-4"	PERMITTED	
MIN. SIDE YARD	25 FT	125'-2" FT	PERMITTED	
MIN. REAR YARD	40 FT	63'-7" FT	PERMITTED	
HEIGHT	30'-0"	30'-0" FT	PERMITTED	
BLDG. COVER%	9350 SF + 9% OF LOT AREA IN ACCESS OF 1.0 AC = 10644 SF	10004 SF	PERMITTED	
MAXIMUM PERMITTED GROSS FLOOR AREA	7727 SF + 6% OF LOT AREA IN ACCESS OF 1.0 AC = 9021 SF	7028 SF	PERMITTED	



1 SITE PLAN
Scale: 1" = 20'-0"



2 TREE REMOVAL
Scale: 1" = 20'-0"

BYRAM RIDGE ROAD

BYRAM RIDGE ROAD

NO.	REV.	DATE

OWNER:
MR. & MRS. CHRISTOPHER KALIAN

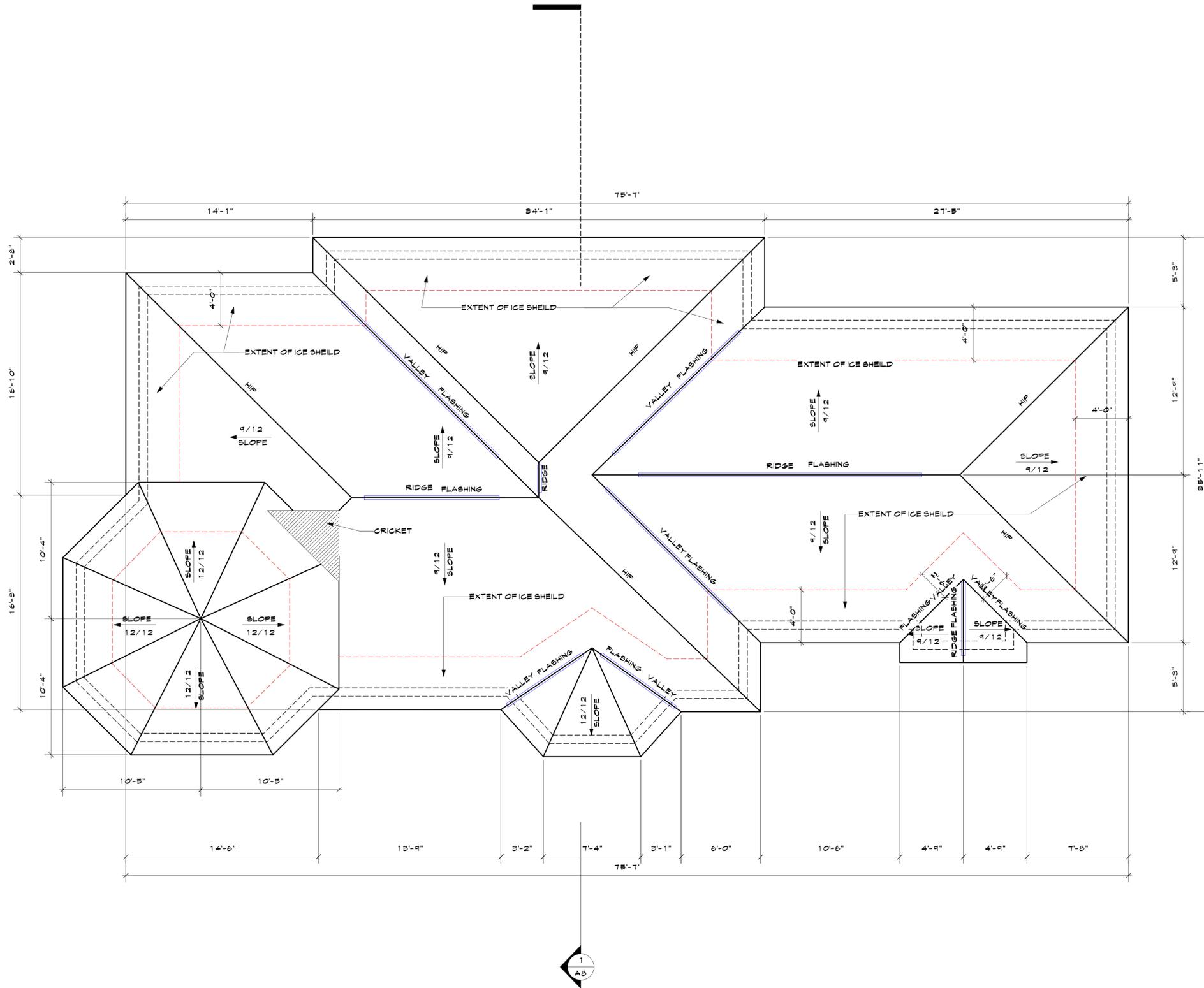
Tom Abillama Architects
1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
PHONE: 914 6684673
FAX: 914 668 1831
EMAIL: FILES@TFARA.COM



KEY PLAN
PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, N.Y
SBL: // ZONE:

SITE DIAGRAMS & ZONING

Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:
SP.2
Drawn By: AM Checked By: TFA
Plot Date: OCT.15.2020



NO. REV. DATE

OWNER:

MR. & MRS.
CHRISTOPHER
KALIAN



1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
PHONE: 914 6684673
FAX: 914 668 1831
EMAIL: FILES@TFARA.COM



SEAL

KEY PLAN

PROPOSED
ONE FAMILY
DWELLING
EXPANSION

99 BYRAM RIDGE RD.,
ARMONK, N.Y

SBL. // ZONE:

ROOF PLAN

Project ID / DATE: 2048 / 10.15.2020

Sheet Scale:

A.4

Drawn By: AM Checked By: TFA

Plot Date: OCT.15.2020

