

**Town of North Castle**  
**Residential Project Review Committee**  
17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan:

MASSARI RESIDENCE

Initial Submittal  Revised Preliminary

Street Location:

1 ROCKWOOD RD

Zoning District: R-10 Property Acreage: .47AC Tax Map Parcel ID: 107.02-4-2

Date: 12-09-20

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

<input type="checkbox"/>	9. Description of method of water supply and sewage disposal and location of such facilities
<input type="checkbox"/>	10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<input type="checkbox"/>	11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<input type="checkbox"/>	12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<input type="checkbox"/>	13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.
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**Property Address:**

1 Rockwood Place  
Armonk, NY 10504

**Applicant and Property owners:**

Kristina and Richard Massari

**Architect**

Luis Saiz, Jr. - R.A.  
41 Springdale Avenue  
White Plains, NY 10604  
914 328 5874 office  
914 328 5875 fax  
914 954 8707 cell

**Land Surveyor:**

William E. James  
William E. James Engineering and Land Surveying, PLLC  
8 Cheanda Lane  
Walkill, NY 12589  
Phone: (845) 566-6525



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

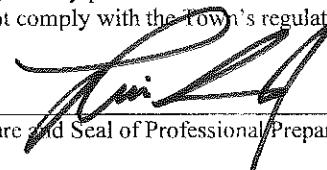
GROSS LAND COVERAGE CALCULATIONS WORKSHEET

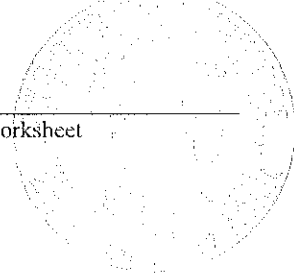
Application Name or Identifying Title: MAGNARI RESIDENCE Date: 12-09-20  
 Tax Map Designation or Proposed Lot No.: 107.02-4-2

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 20,301 sf
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): 6,090 sf
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):  
 Distance principal home is beyond minimum front yard setback  
7 x 10 = 70
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 6,150 sf
5. Amount of lot area covered by principal building:  
1347 existing + 213 proposed = 1,560 sf
6. Amount of lot area covered by accessory buildings:  
76 existing + 0 proposed = 76 sf
7. Amount of lot area covered by decks:  
0 existing + 0 proposed = 0
8. Amount of lot area covered by porches:  
0 existing + 403 proposed = 403 sf
9. Amount of lot area covered by driveway, parking areas and walkways:  
1954 existing + -335 proposed = 1619 sf
10. Amount of lot area covered by terraces:  
0 existing + 0 proposed = 0
11. Amount of lot area covered by tennis court, pool and mechanical equip:  
20 existing + 0 proposed = 20 sf
12. Amount of lot area covered by all other structures:  
0 existing + 0 proposed = 0
13. Proposed gross land coverage: Total of Lines 5 – 12 = 3602 sf

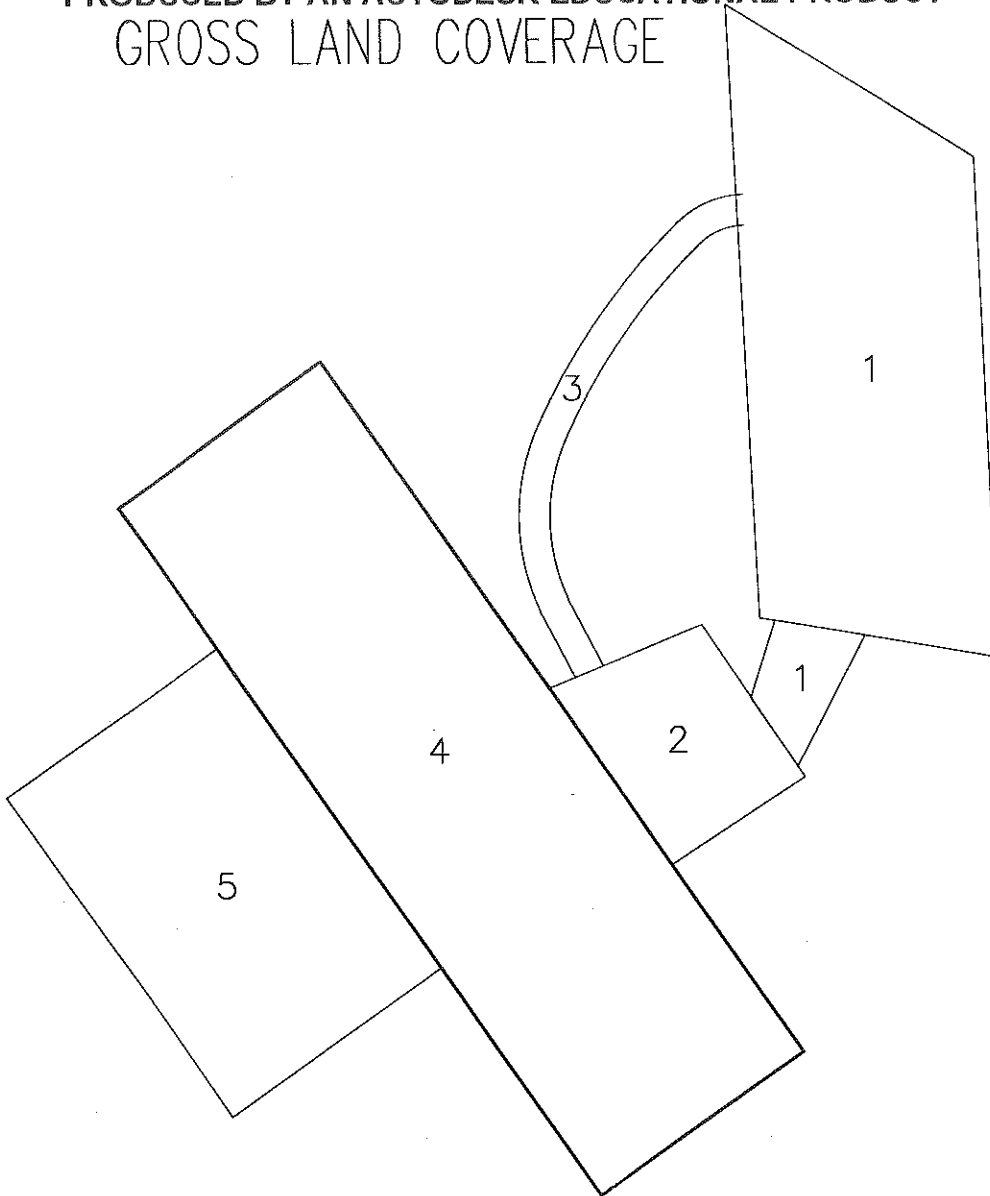
If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

  
 Signature and Seal of Professional Preparing Worksheet



12-09-20  
 Date

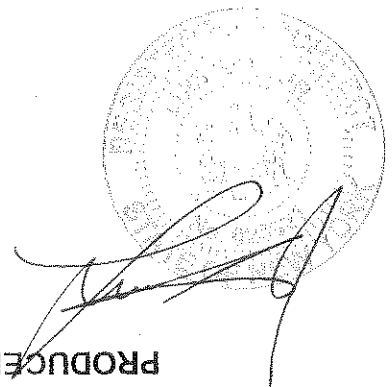
PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT  
GROSS LAND COVERAGE



EXISTING CONDITIONS

1. DRIVEWAY & STAIR	945sf
2. FRONT PATIO	223sf
3. WALKWAY	112sf
4. MAIN BUILDING	1347sf
5. REAR PATIO	674sf
6. SHED	76sf
GROSS LAND COVERAGE	3377sf

6

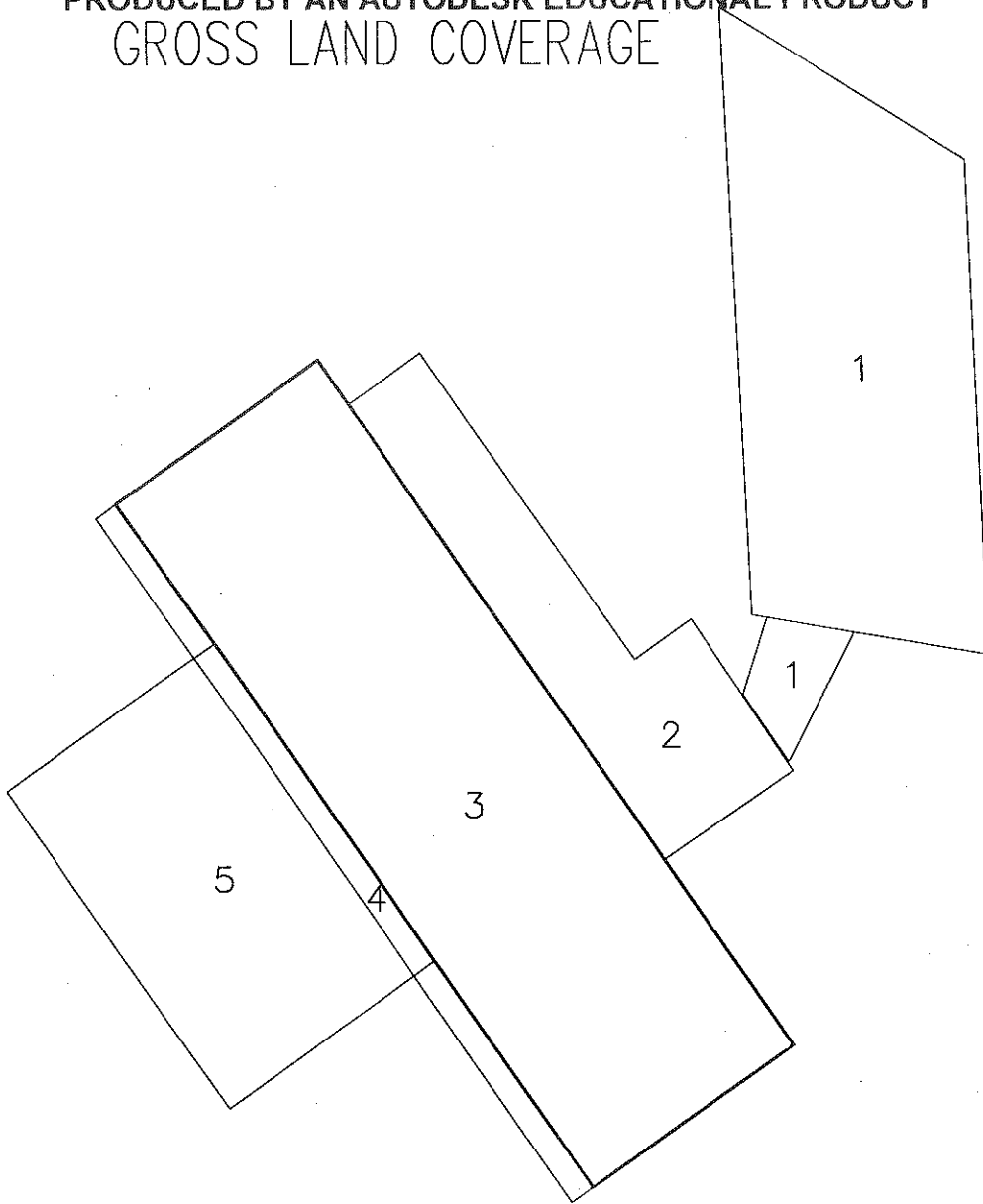


PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

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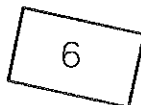
PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT  
GROSS LAND COVERAGE



PROPOSED

1. DRIVEWAY & STAIR	945sf
2. OPEN PORCH	403sf
3. MAIN BUILDING	1347sf
4. SECOND FLOOR OVERHANG	213sf
5. REAR PATIO	674sf
6. SHED	76sf
GROSS LAND COVERAGE	3658sf





TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
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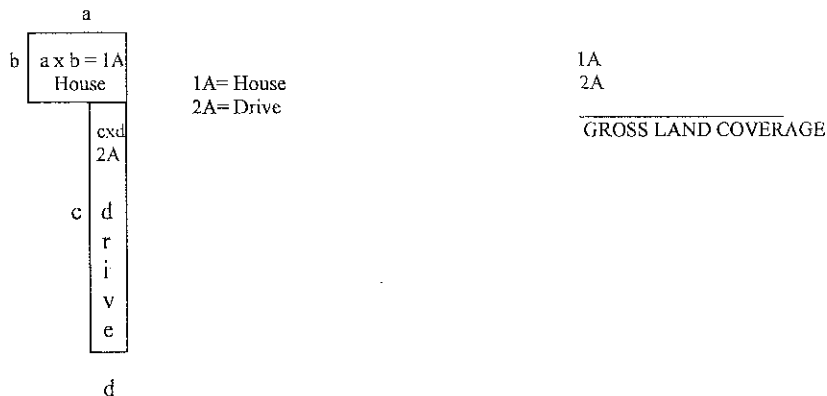
PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

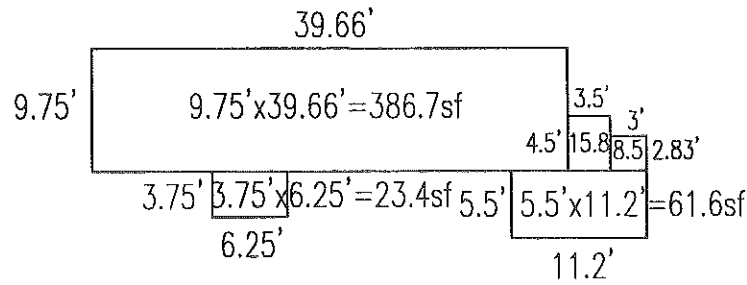
### GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below

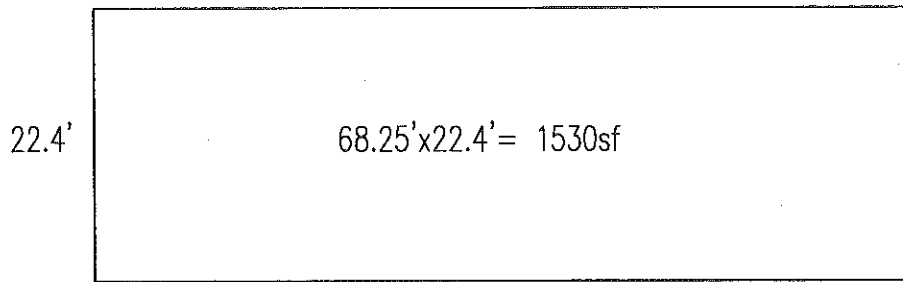


# GROSS FLOOR AREA

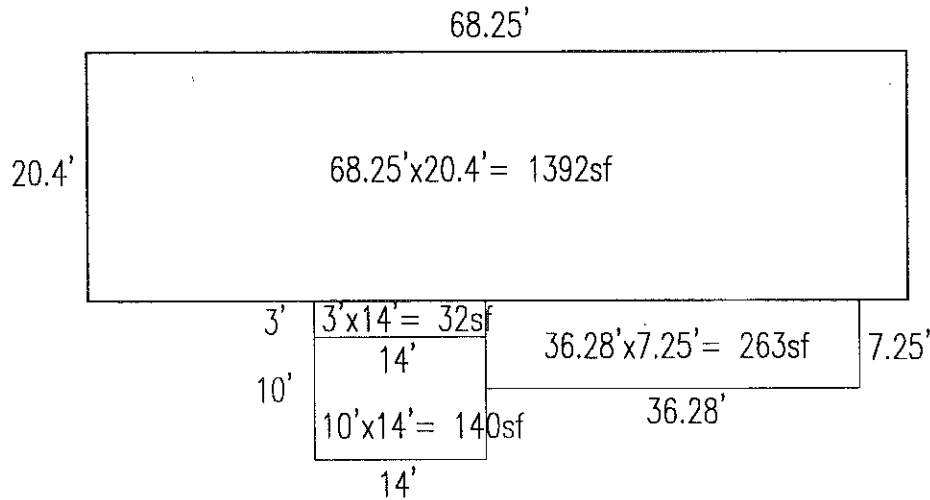


## THIRD FLOOR

$386.7sf + 23.4sf + 61.6sf + 8.5sf + 15.8sf = 496sf$



## SECOND FLOOR



## FIRST FLOOR

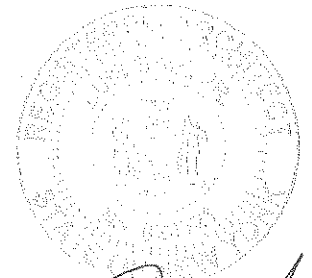
$1392sf + 42sf + 140sf + 263.95sf = 1827.95sf$

FIRST FLOOR= 1827sf

SECOND FLOOR= 1530sf

THIRD FLOOR= 496sf

GROSS FLOOR AREA= 3853sf







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PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

January 29, 2019  
 Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
 www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

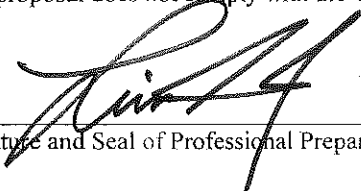
Application Name or Identifying Title: MASSARI RESIDENCE Date: 12-09-20

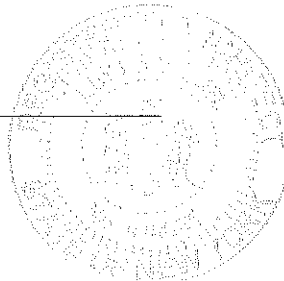
Tax Map Designation or Proposed Lot No.: 107.02-4-2

Floor Area

- |     |   |                 |
|-----|---|-----------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>20,301sf</u> |
| 2.  | Maximum permitted floor area (per Section 355-26.B(4)):   | <u>5,545sf</u>  |
| 3.  | Amount of floor area contained within first floor:<br><u>1347</u> existing + <u>77</u> proposed =                           | <u>1,424sf</u>  |
| 4.  | Amount of floor area contained within second floor:<br><u>0</u> existing + <u>1530</u> proposed =                           | <u>1,530sf</u>  |
| 5.  | Amount of floor area contained within garage:<br><u>0</u> existing + <u>0</u> proposed =                                    | <u>0</u>        |
| 6.  | Amount of floor area contained within porches capable of being enclosed:<br><u>0</u> existing + <u>403</u> proposed =       | <u>403sf</u>    |
| 7.  | Amount of floor area contained within basement (if applicable – see definition):<br><u>0</u> existing + <u>0</u> proposed = | <u>0</u>        |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):<br><u>0</u> existing + <u>496</u> proposed =  | <u>496sf</u>    |
| 9.  | Amount of floor area contained within all accessory buildings:<br><u>76</u> existing + <u>0</u> proposed =                  | <u>76sf</u>     |
| 10. | Proposed floor area: Total of Lines 3 – 9 =   | <u>3929sf</u>   |

If Line 10 is less than or equal to Line 2, your proposal complies with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

  
 Signature and Seal of Professional Preparing Worksheet



12-09-20  
 Date



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 WESTCHESTER COUNTY  
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 Armonk, New York 10504-1898

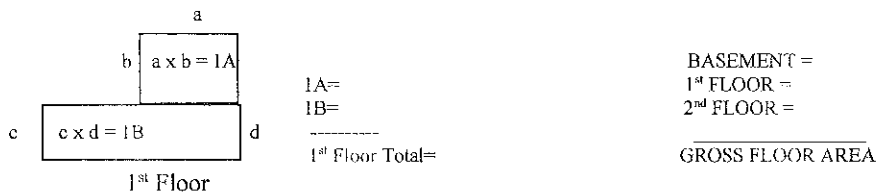
PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
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Telephone: (914) 273-3542  
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[www.northcastleny.com](http://www.northcastleny.com)

### GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



LOT AREA, NET -- Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

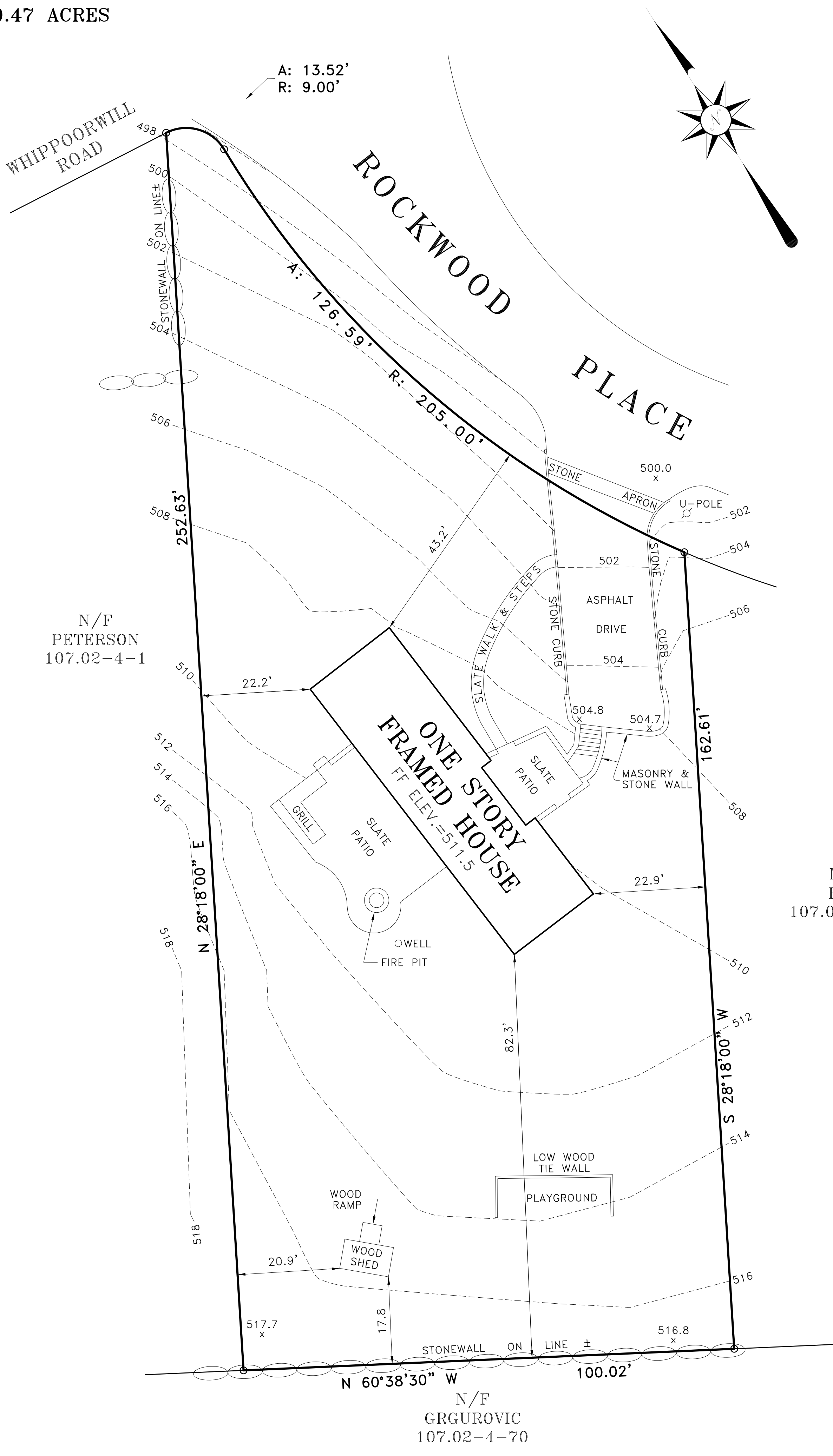
FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings <sup>1</sup> (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

\*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

**LOT AREA**  
 20,301.63 S.F.  
 OR  
 0.47 ACRES



**GENERAL NOTES:**

1. THE PREMISES SHOWN HEREON IS GENERALLY AS DESCRIBED IN DEED CONTROL #512843271 RECORDED IN THE WESTCHESTER COUNTY CLERK'S OFFICE.
2. SURVEYED AS PER RECORD DESCRIPTIONS AND EXISTING MONUMENTATION.
3. SUBJECT TO ANY EASEMENTS AND/OR RIGHT OF WAYS THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
4. THE LOCATION OF ANY SUBSURFACE EASEMENTS, RIGHT OF WAYS, ENCROACHMENTS, AND/OR IMPROVEMENTS, IF ANY EXIST, ARE NOT CERTIFIED OR SHOWN HEREON.
5. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE ORIGINAL SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.
6. ANY ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PER SECTION 7209, SUBDIVISION 2.
7. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.
8. TOPOGRAPHIC DATUM BASED UPON APPROXIMATE USGS.

REVISED: JULY 25, 2020 (PROPERTLY LINE DETERMINATION ADJUSTED)

**W.E. James**  
 Engineering  
 and  
 Land Surveying, PLLC  
 8 CHEANDA LANE  
 WALLKILL, NEW YORK 12589  
 PHONE: (845) 566-6522 FAX: (845) 566-6525  
 EMAIL: WEJames@optonline.net  
 www.wejamesassociates.com

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A TRUE VALID COPY. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON: JULY 15, 2020

**CERTIFIED ONLY TO:**  
 1. RICHARD MASSARI

*William E. James*  
**WILLIAM E. JAMES, P.E., P.L.S.**  
 NY STATE PROFESSIONAL LAND SURVEYOR LICENSE #050506

**PROJECT TITLE:**  
 SURVEY PREPARED FOR  
**Richard Massari**  
 TAX MAP SECTION 107.02, BLOCK 4, LOT 2  
 TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 20'	DATE: JULY 17, 2020	SHEET NO: 1 OF 1
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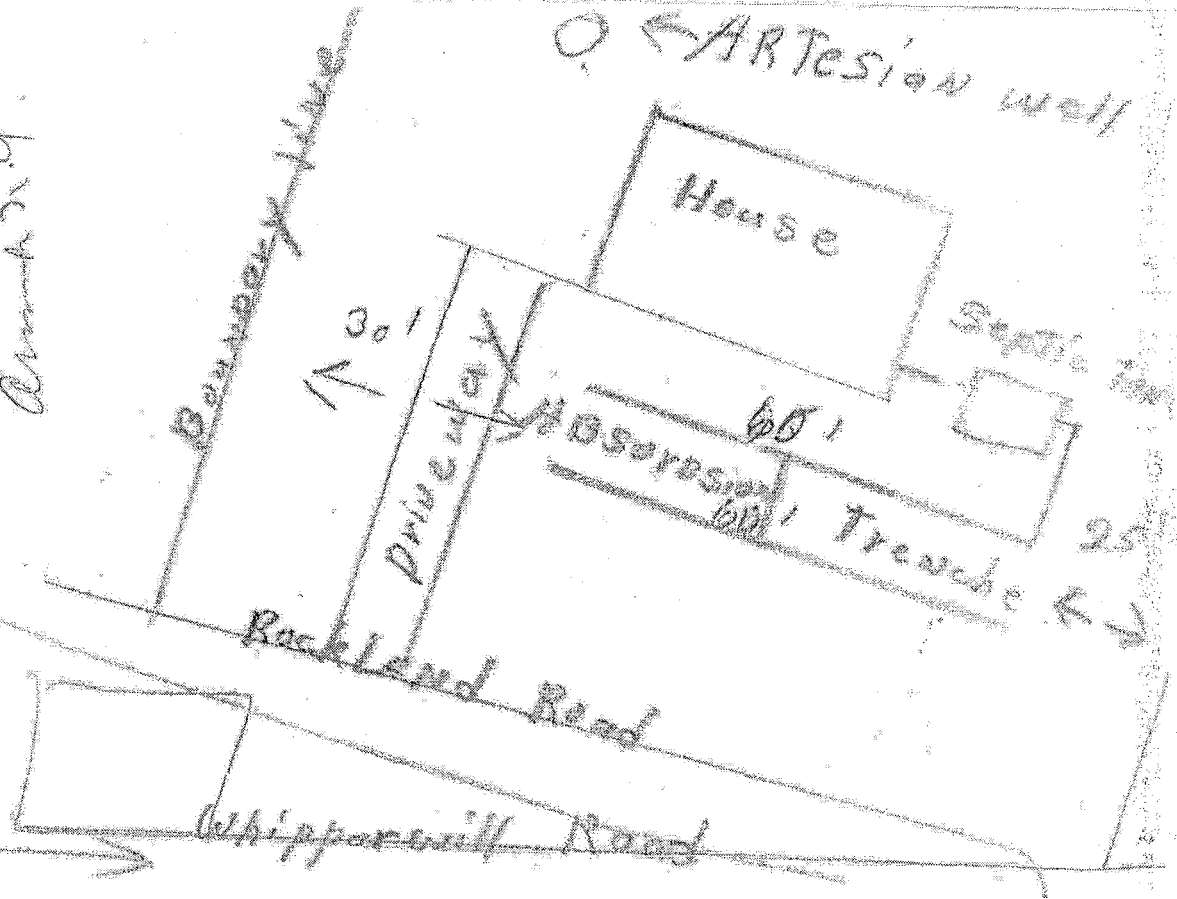
**PROJECT CAD REFERENCE:**  
 WESTCHESTER COUNTY/TOWN OF NORTH CASTLE/ROCKWOOD PLACE/MASSARI.DWG

TEL. ANIMONK VILLAGE

**DEE MUNOZ**  
ANIMONK, NEW YORK

*Harold J. Kalk*  
*W.S. Greer Farms*  
*Animonk N.Y.*

*Munoz*



Maryland Avenue

Separate Sewerage System

**OWNER: DEE MUNOZ**

RECORD OF FIELD INSPECTION

Builder: **DEE MUNOZ**

Permit Issued: **6/15/15**

Dates Inspected: **6/15/15**

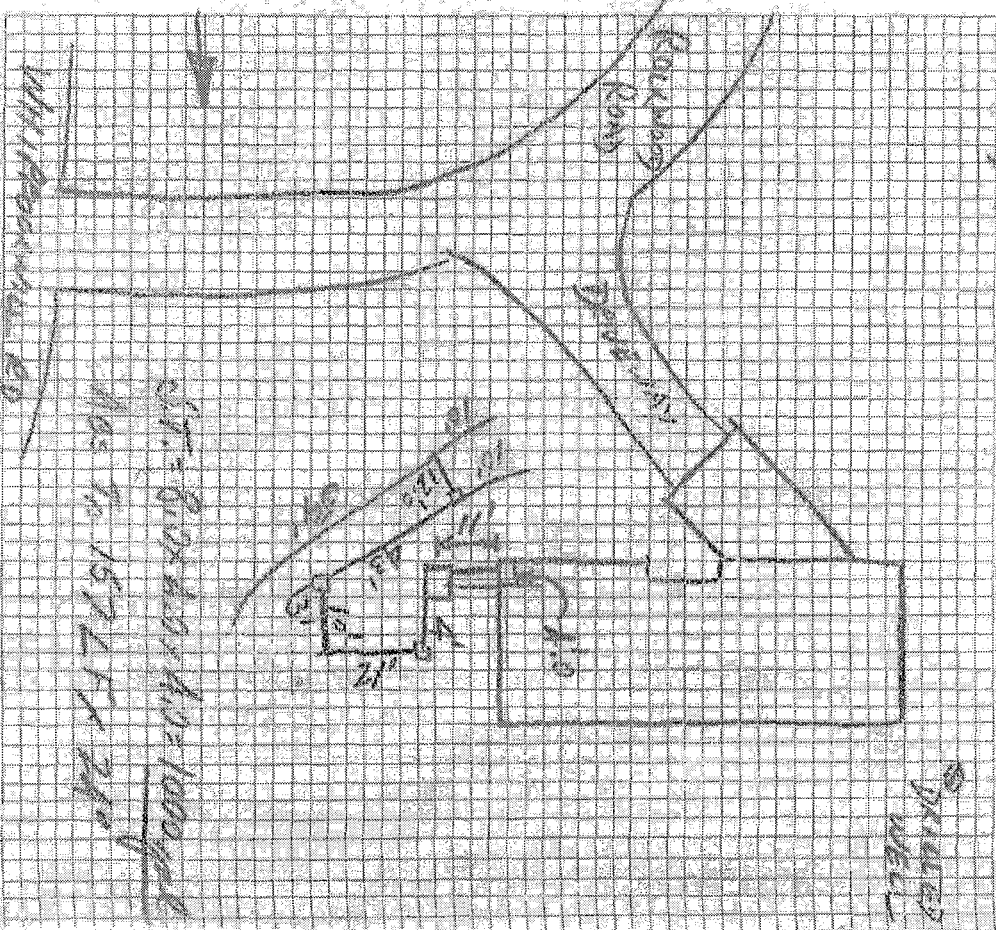
BY: **DEE MUNOZ**

Municipality: **NORTH CASTLE**

Section/Ward: **2**

Block: **11**

Lot: **21**



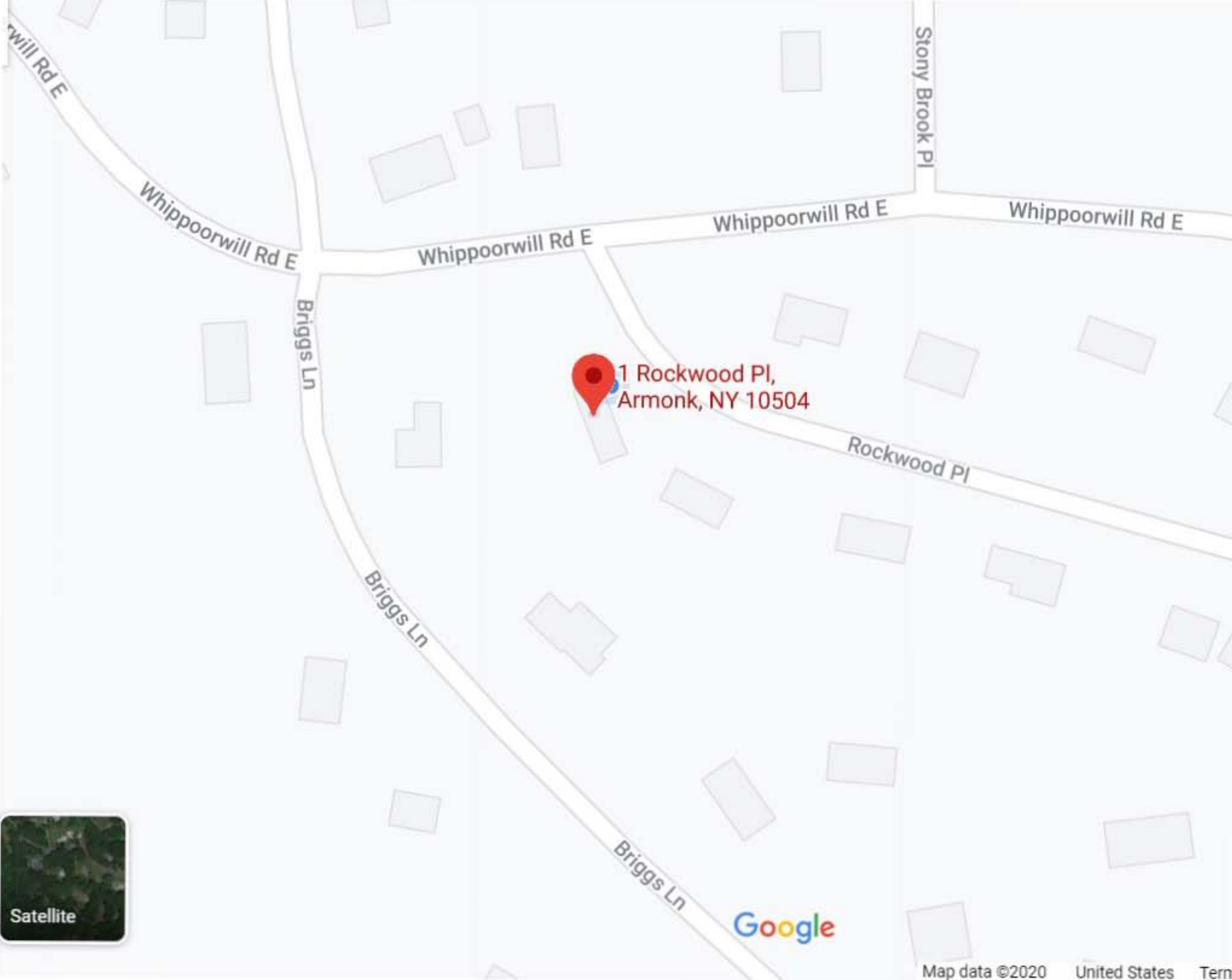
CERTIFICATE OF COMPLETION (except for house sewer connection, back-filling and final grading)

Date: **5-11-16**

William A. Brunfield, Jr. M.D., Commissioner

The *San Engineer* By *Dee Munoz* Westchester County Department of Health

**10-29**

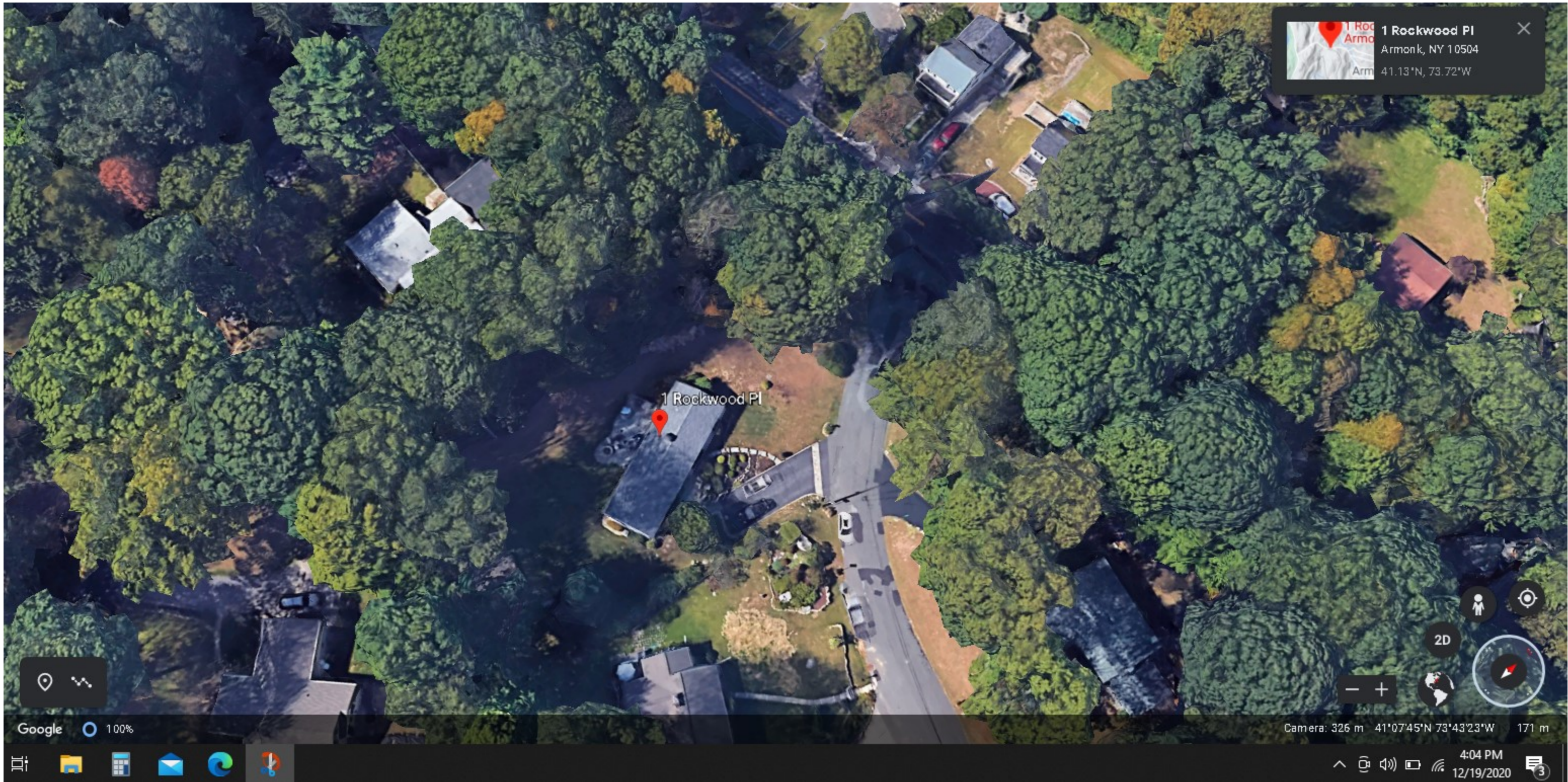



1 Rockwood Pl,  
Armonk, NY 10504





Google

Map data ©2020 United States Term






 **1 Rockwood Pl**  
Armonk, NY 10504  
Armonk, NY 41.13°N, 73.72°W

1 Rockwood Pl

Google 100%

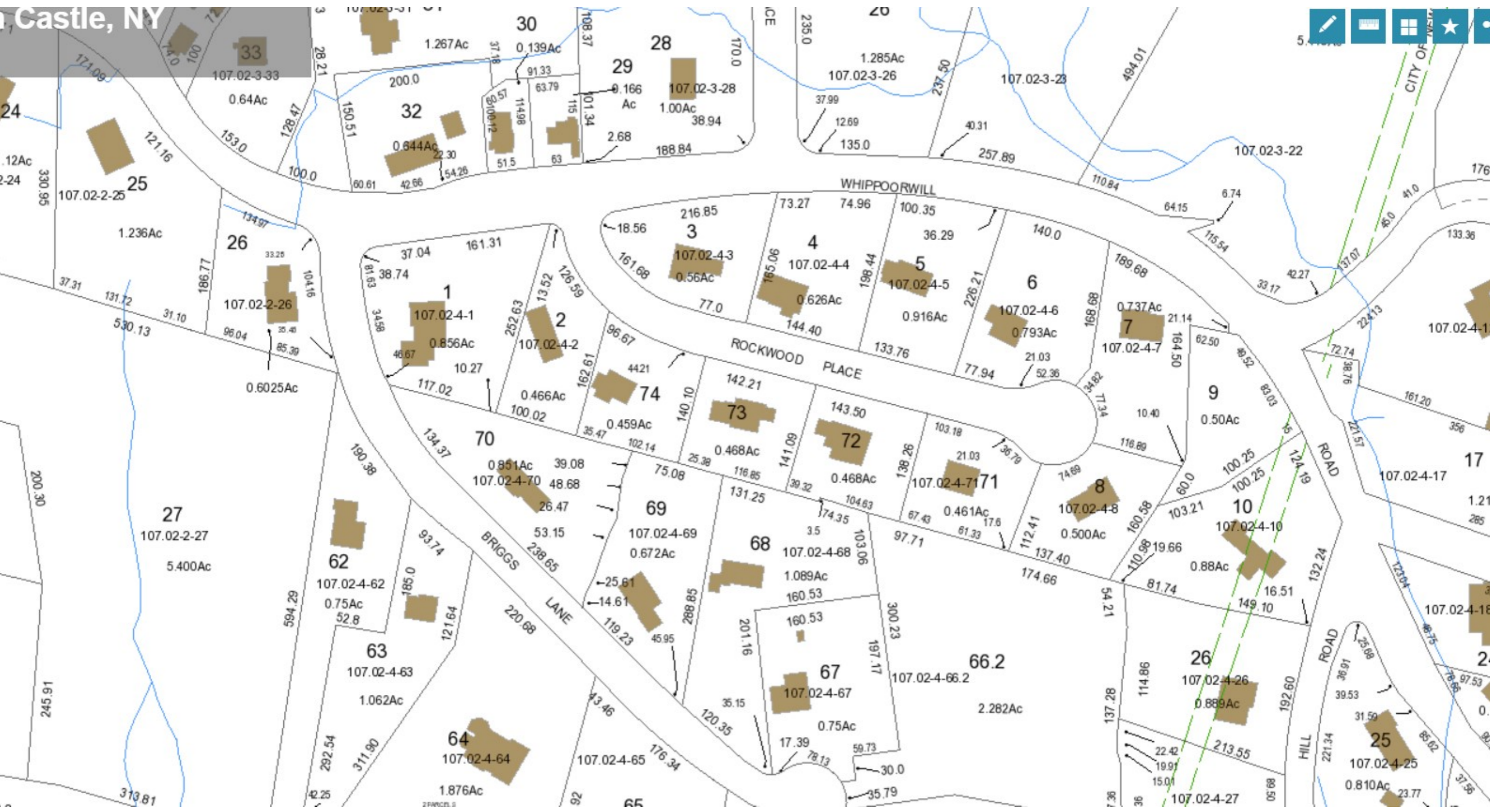
 2D  
  


Camera: 326 m 41°07'45"N 73°43'23"W 171 m



 4:04 PM  
12/19/2020 



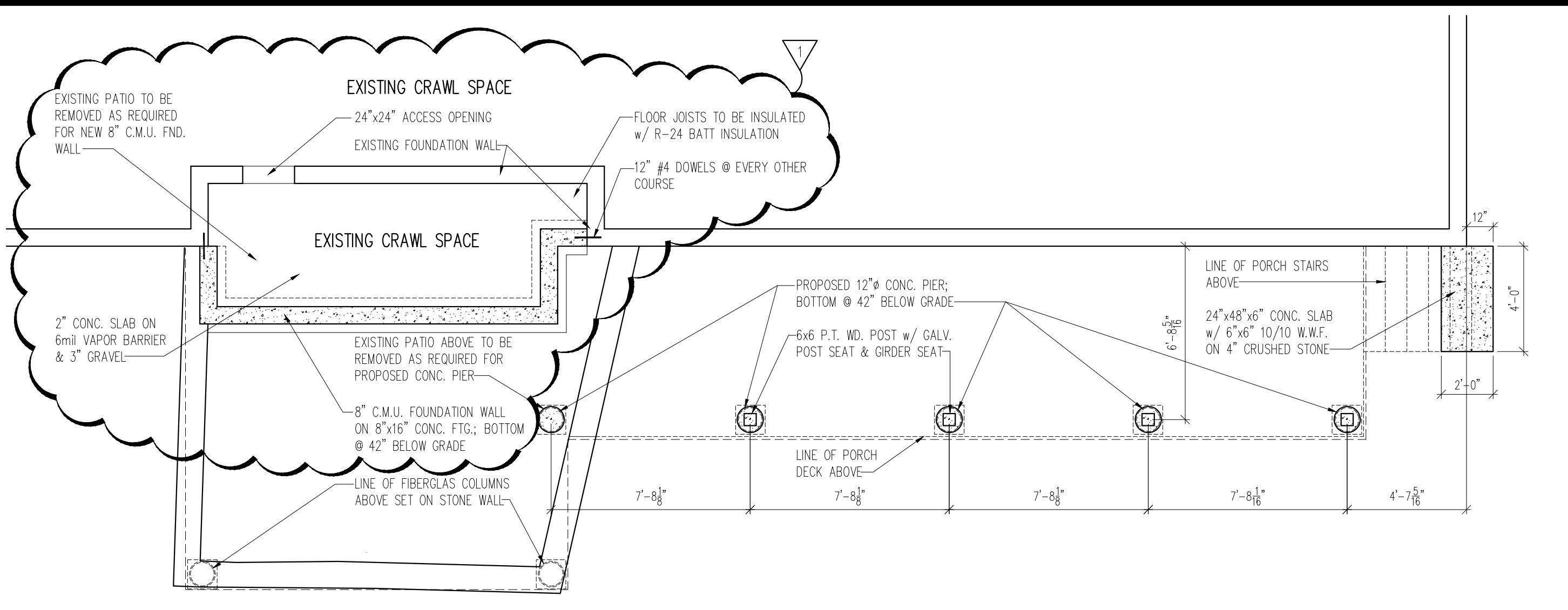


# ZONING REQUIREMENTS

ZONE:	R-10		LOT SIZE: 20,301sf
ITEM	REQUIRED	EXISTING	PROPOSED
USE	ONE FAMILY	ONE FAMILY	ONE FAMILY
YARDS: FRONT YARD	30.0'	43.2'	37.29'
SIDE YARD: ONE	15.0'	22.2'	20.64'
REAR YARD	30.0'	82.3'	81.1'
COVERAGE	20301x30%= 6090sf	1347sf	1963sf
FAR		.066	.097
HEIGHT	2.5 ST/30'	1.5 ST/15'	2.5ST/32'-4 3/4"

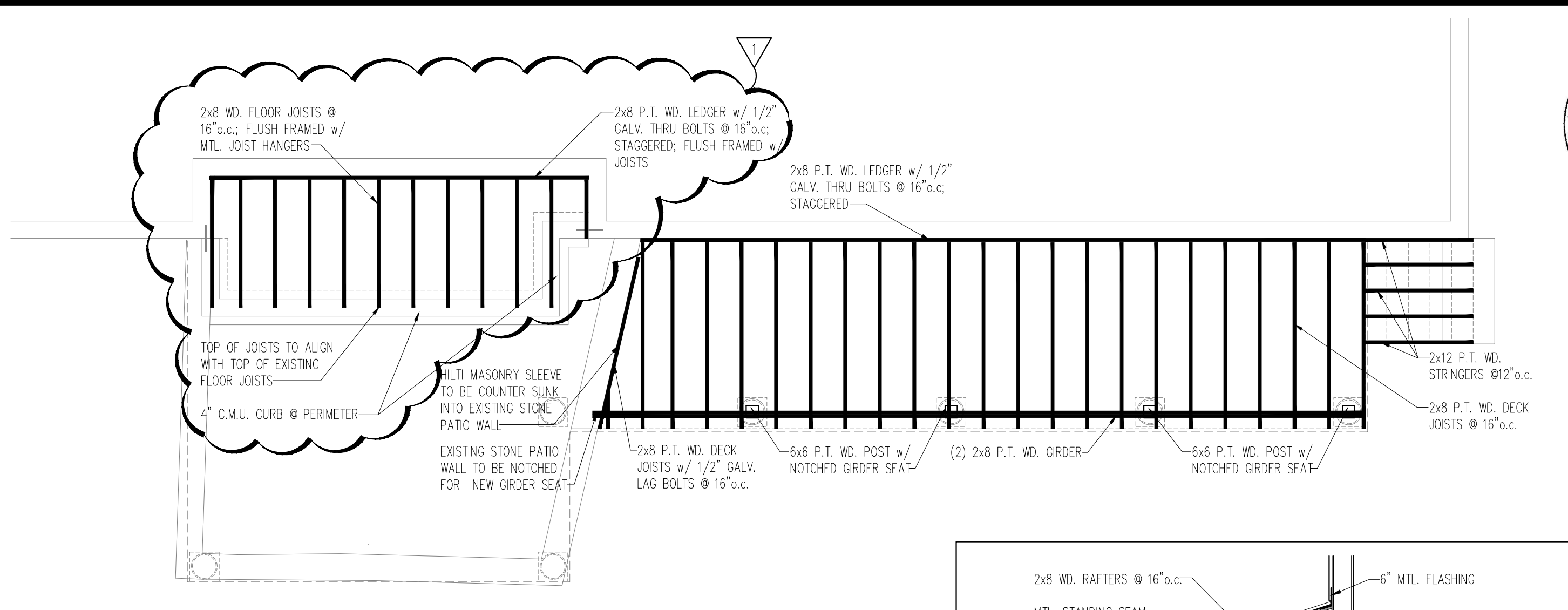
I hereby certify that these plans have been designed in accordance with the NYS Energy Conservation Code. The Architect has not been retained for any supervision of the installation of materials at job site. The Contractor shall be responsible for & comply with all applicable laws & regulations on NYS Energy Code.





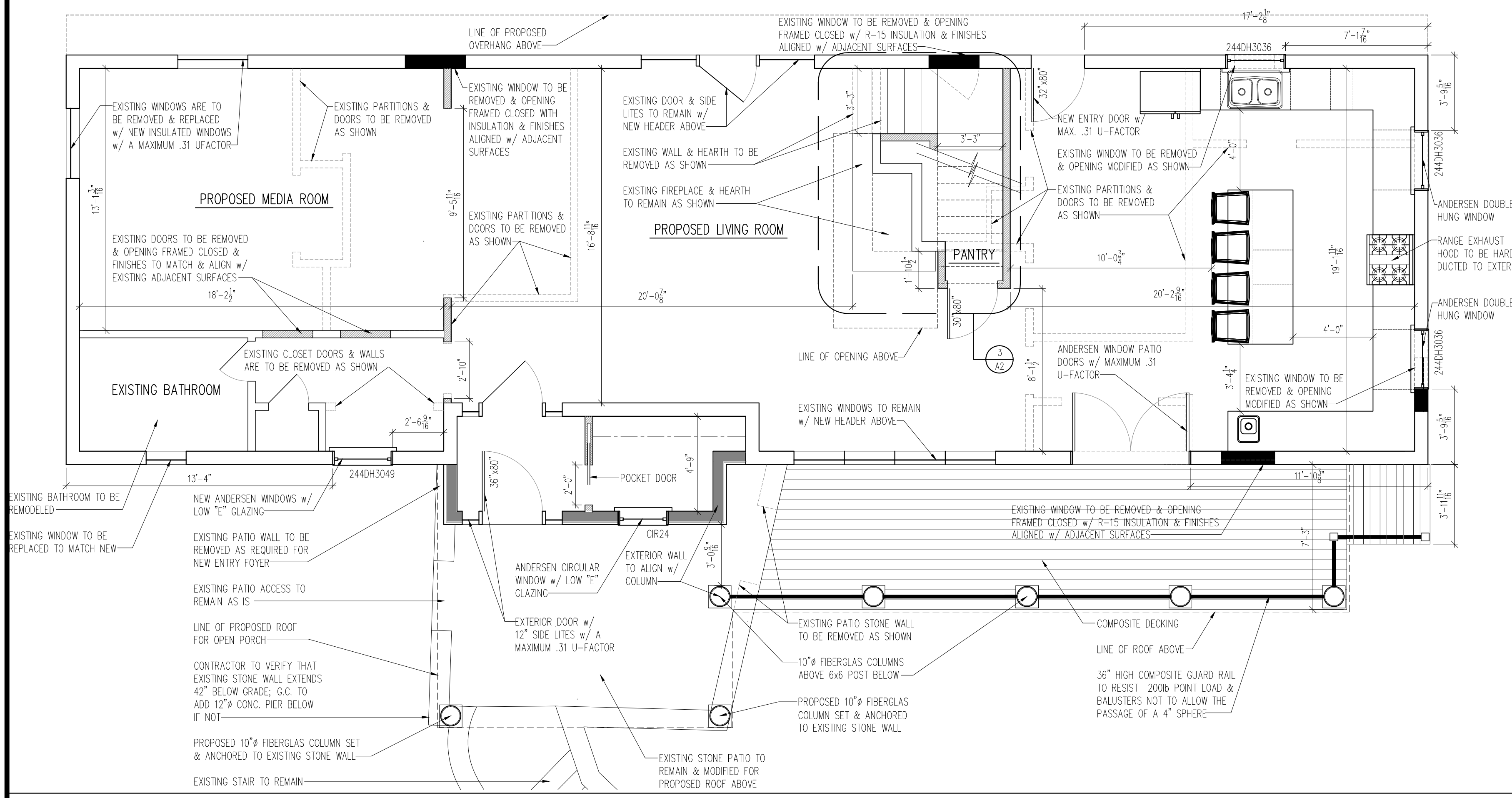
PARTIAL FOUNDATION PLAN @ DECK

SCALE: 1/4" = 1'-0"



OPEN PORCH DECK FRAMING PLAN

SCALE: 1/4" = 1'-0"

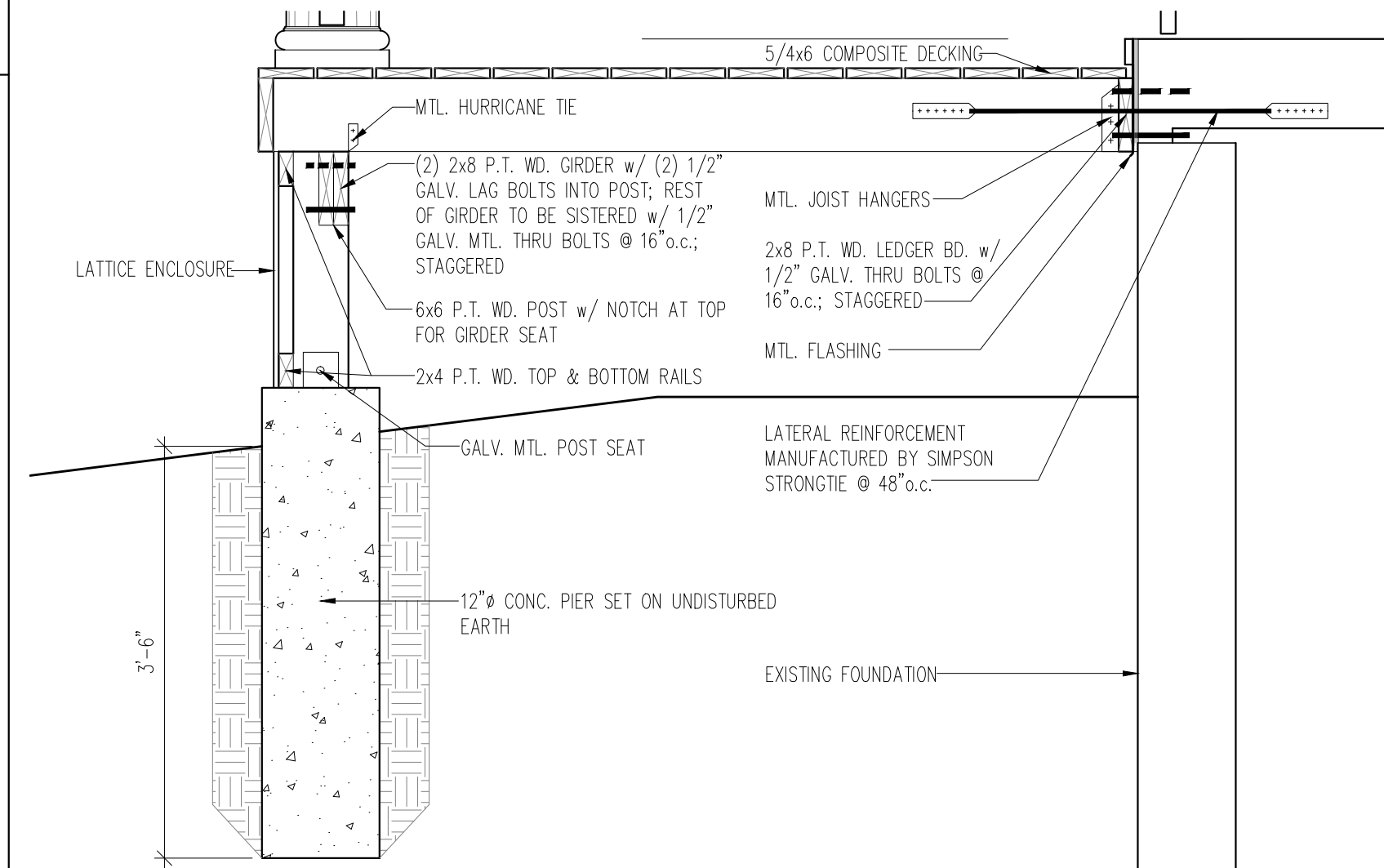


FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

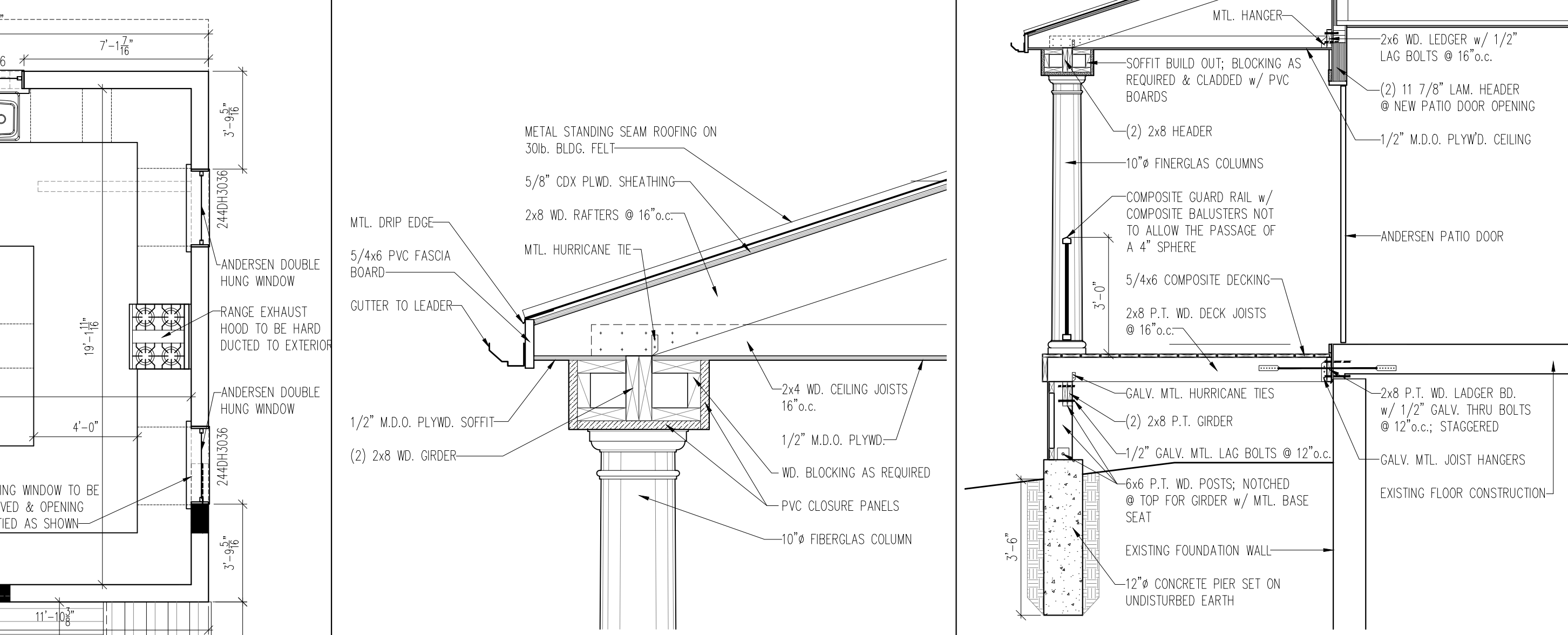
CONCRETE & FOUNDATION NOTES

1. Plain conc. to have a min. cement factor of 5 bags per cu. yd. Conc. max. 8.5 gal. water/bag of cement & develop a strength of 3000psi when tested. At least 2 test cylinders for each day of pouring.
2. Average conc. shall be used where steel reinf. is required. Minimum compressive bag cement to be: 7.25 gal. for non air entrained, 6.25 gal. for air entrained slump to be between 4" & 6"
3. Where steel wire mesh is used, conc. mix shall be one part cement, two parts sand & five parts coarse aggregate. Wire mesh is used min. tensile strength 55,000psi.
4. Foundation walls & footing to be of plain conc. & to rest on virgin soil of class 8-65 (2 tons/sf) or better to be verified by the Engineer before placing footings & be carried down to a min. of 42" below grade where exposed to frost.
5. Foundation walls below grade to be waterproofed with asphalt or equal.
6. Concrete exposed to the weather & all conc. garage floors shall have a mix designed with entrained air.
7. When underpinning is required no work to be started until separate application or amendment relating to underpinning is approved.
8. Conc. floors on grade to rest on not more than 24" of clean tamped sand back fill with 6"x6" 10/10 w.w.f. in 6" slab or as otherwise noted. Floor on more than 24" of fill to be redesigned as a supported slab & no work to be done until amendment is approved.
9. Footing to be stepped at a max. of 30deg. slope so as not to exert any lateral pressure on adjacent footings or foundation walls.



FRONT PORCH DECK CROSS SECTION

SCALE: 3/4" = 1'-0"

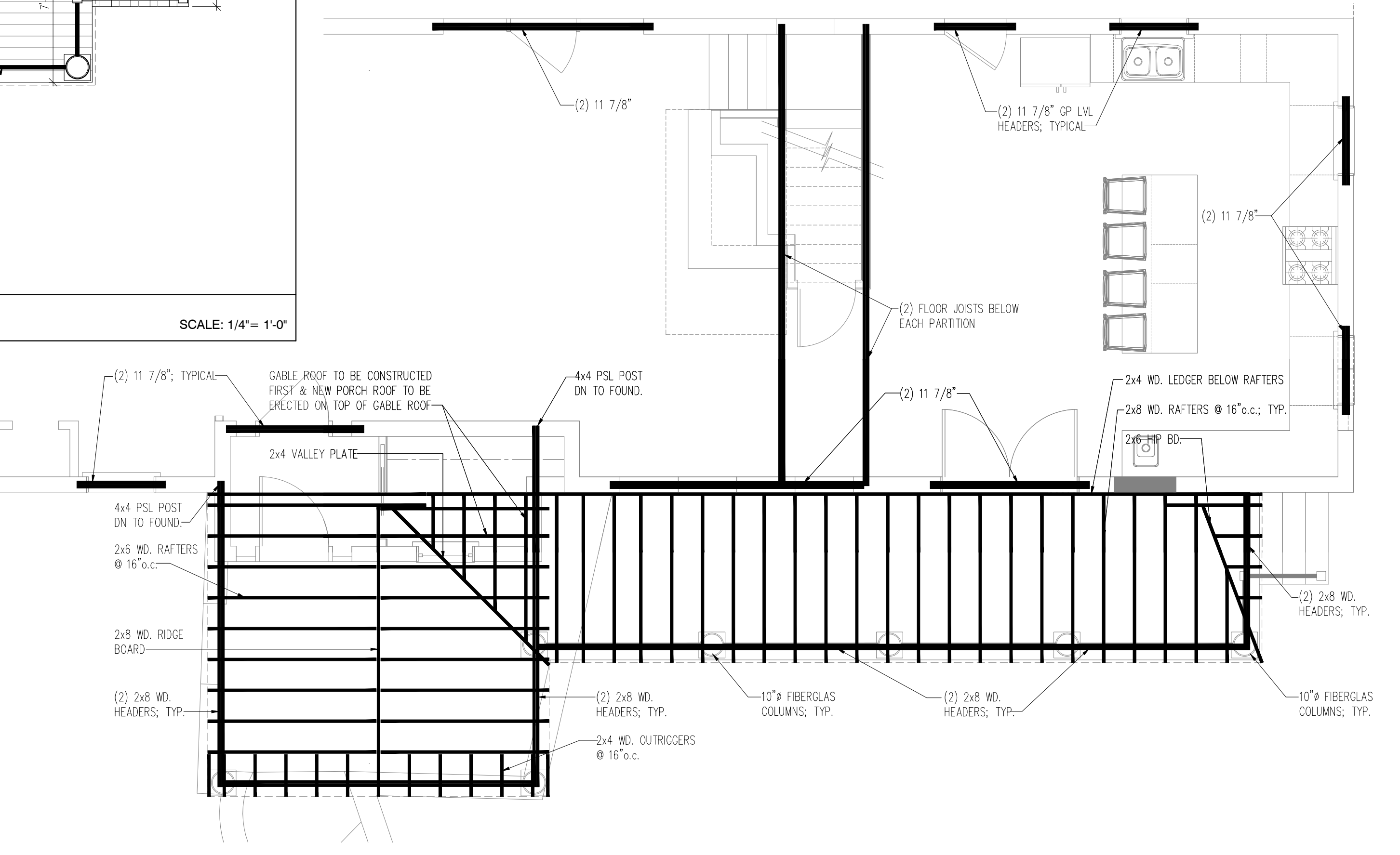


PORCH ROOF EAVE DETAIL

OPEN PORCH SECTION

SCALE: 1" = 1'-0"

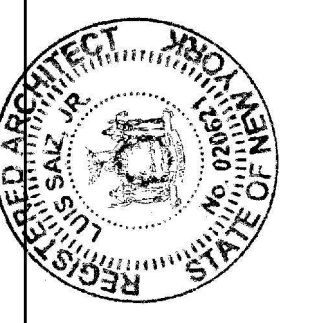
SCALE: 3/8" = 1'-0"



FIRST FLOOR & OPEN PORCH ROOF FRAMING PLAN

SCALE: 1/2" = 1'-0"

2 GARAGE STAIR CROSS SECTION



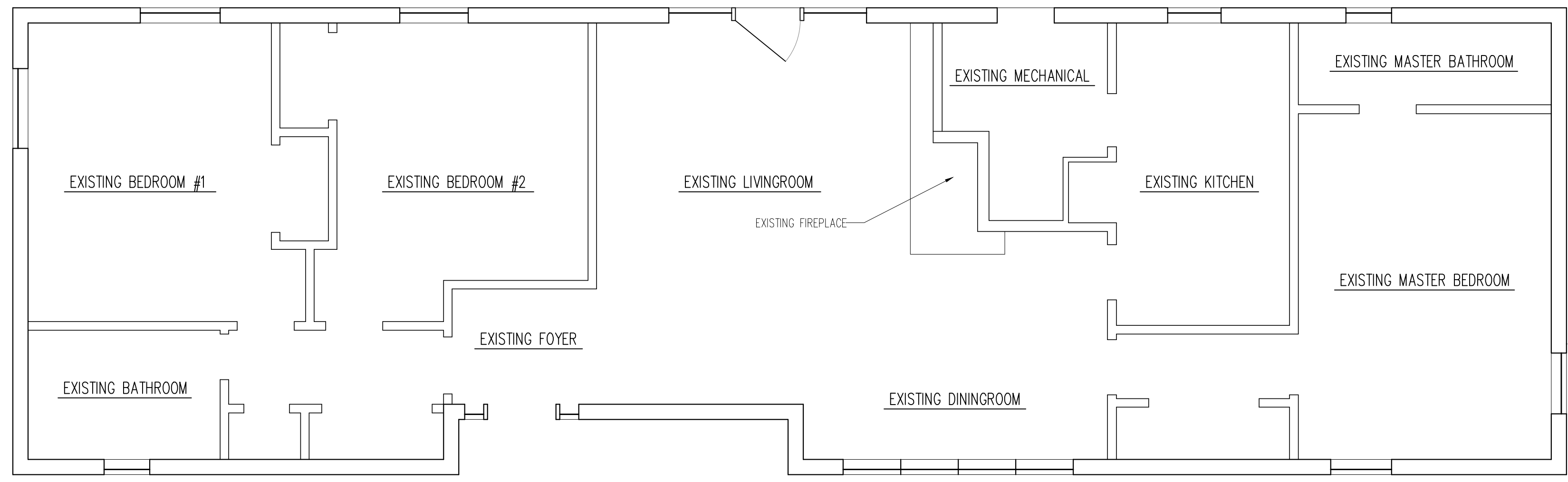
**Luis Saiz, Jr. - Architect**  
 White Plains, N.Y. 10604  
 41 Springdale Avenue  
 LSJR@PRODIGY.NET  
 914-328-5874

NO.	DATE	BY	REVISIONS
1	11/30/20	LSJR	REV. TO VESTIBULE

SCALE: AS SHOWN  
 JOB NO.: XXX  
 CHECKED BY: XXX  
 DRAWN BY: LSJR  
 DATE: OCTOBER 25, 2020

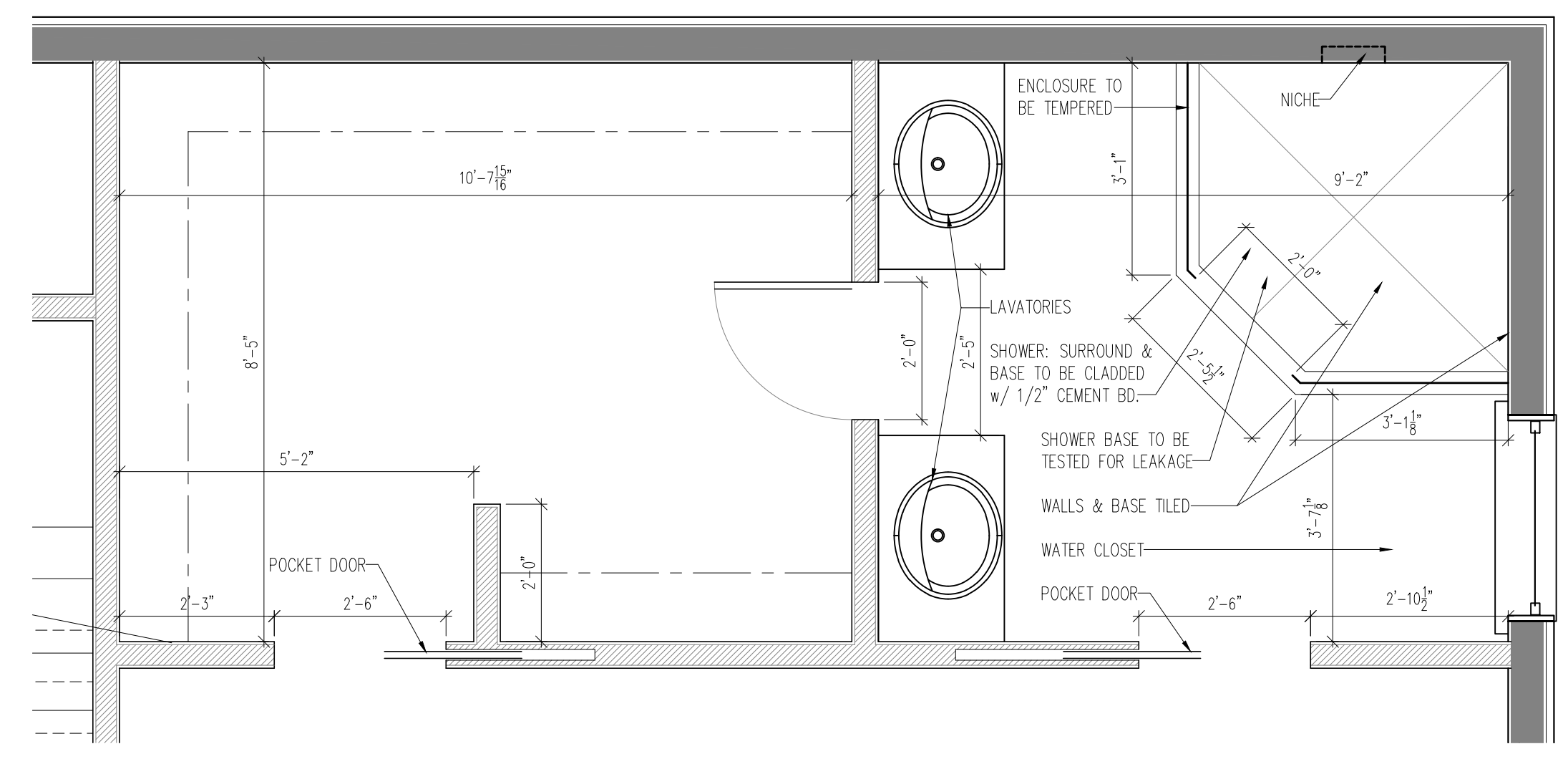
PROPOSED addition to  
 1 ROCKWOOD PLACE - ARMONK, NY  
 FOR RICHARD & KRISTINA MASSARI

PROPOSED FLOOR PLANS & DETAILS SHEET: **A1**



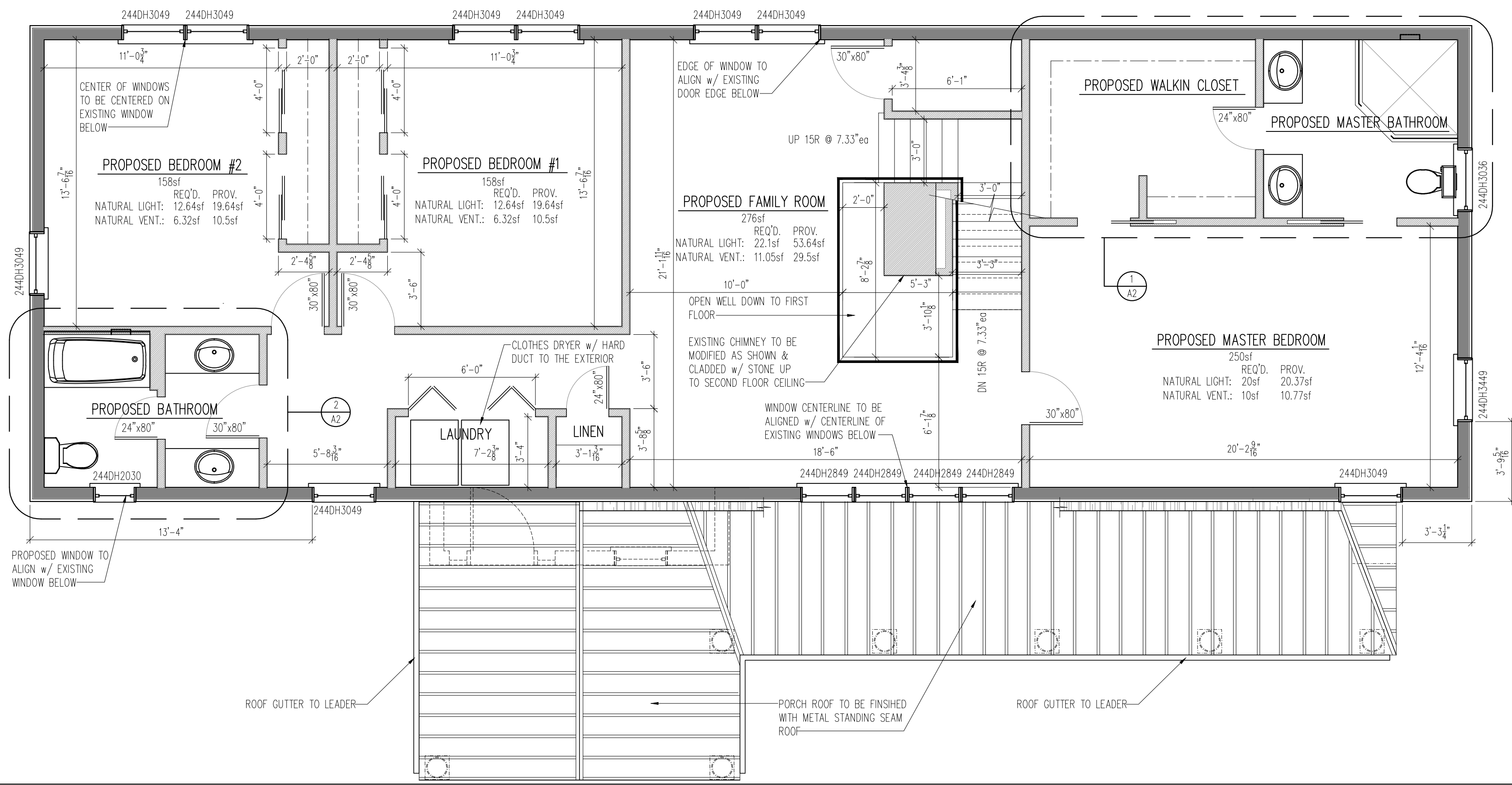
EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



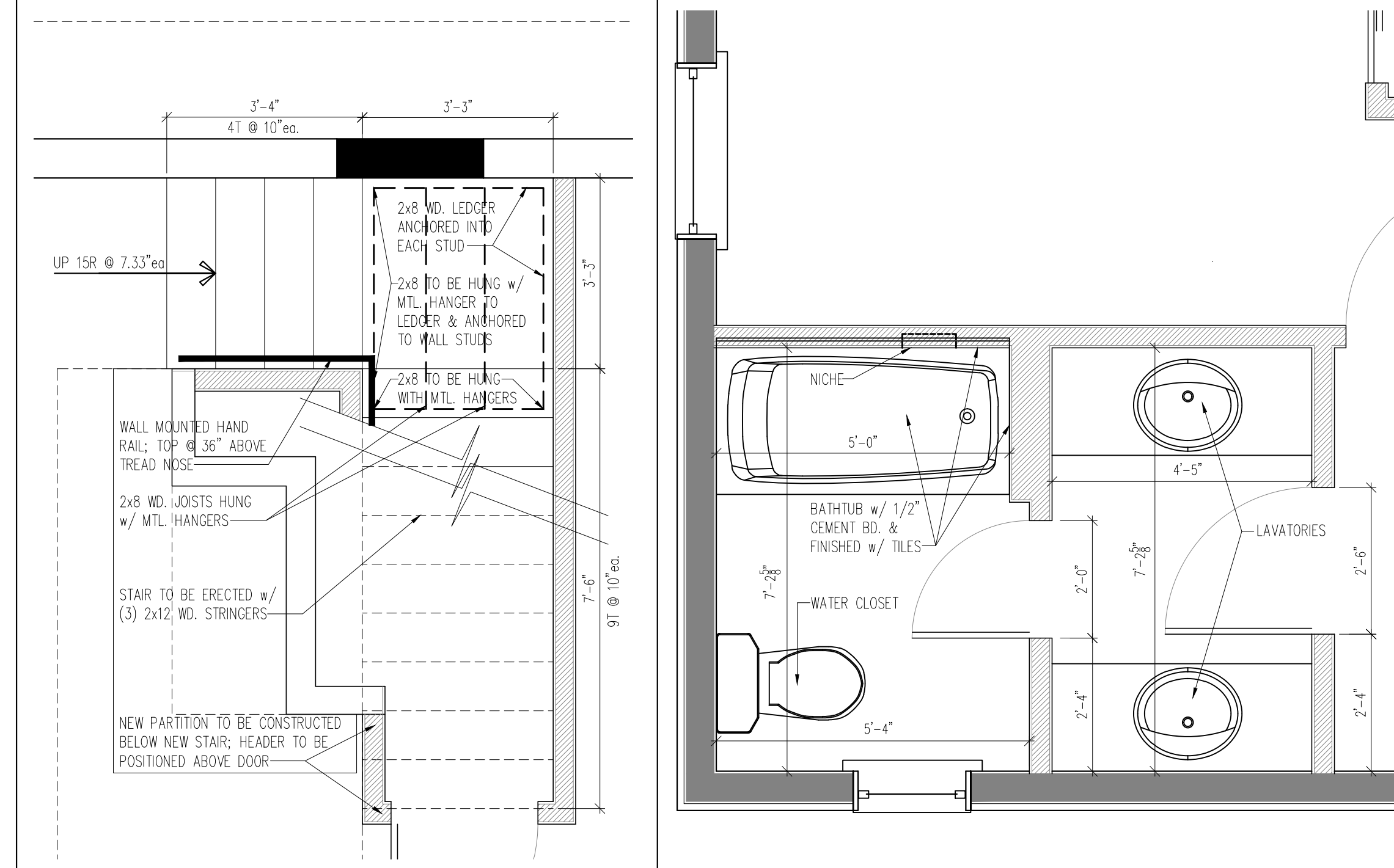
1 PARTIAL PLAN: MASTER BATHROOM & WALK-IN CLOSET

SCALE: 1/2" = 1'-0"



PROPOSED SECOND FLOOR CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

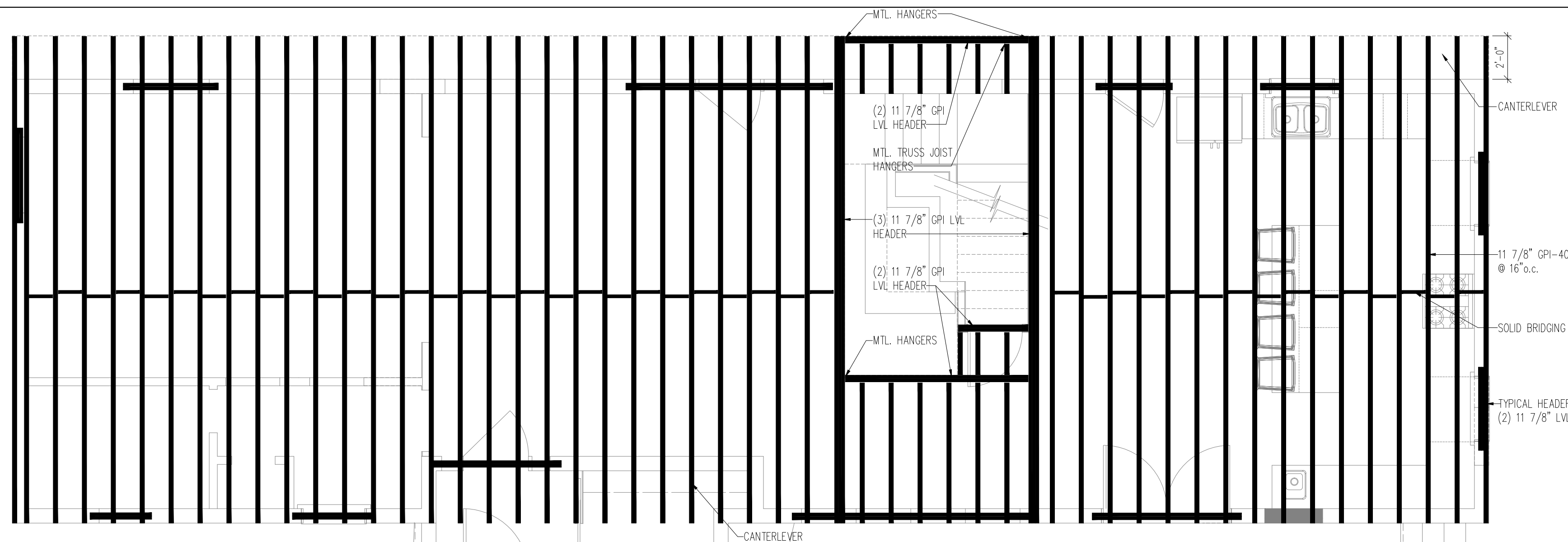


2 PARTIAL PLAN: STAIR

SCALE: 1/2" = 1'-0"

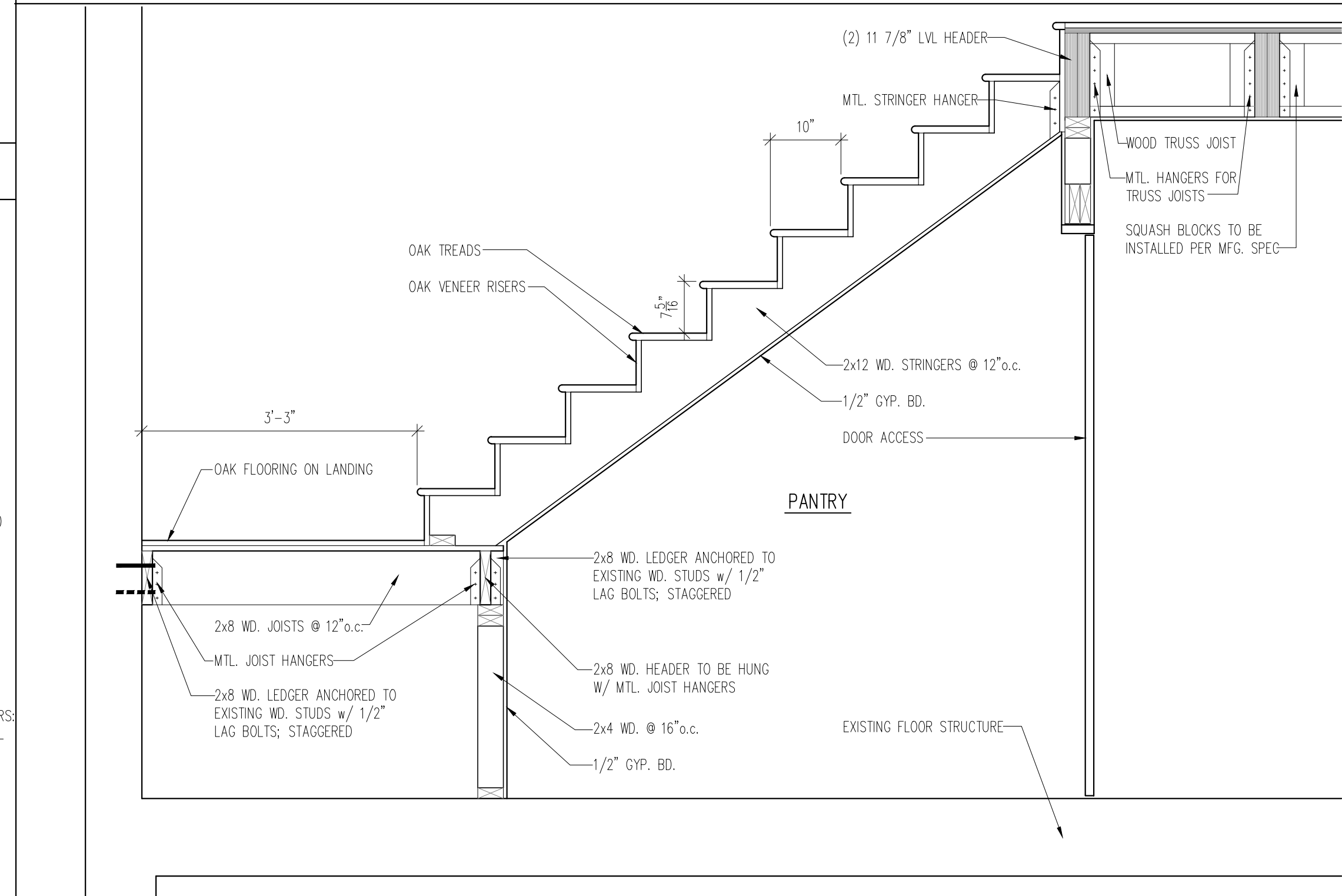
3 PARTIAL PLAN: BATHROOM

SCALE: 1/2" = 1'-0"



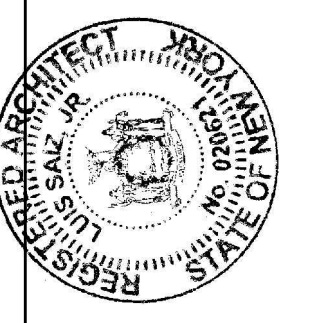
SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



STAIR & LANDING CROSS SECTION

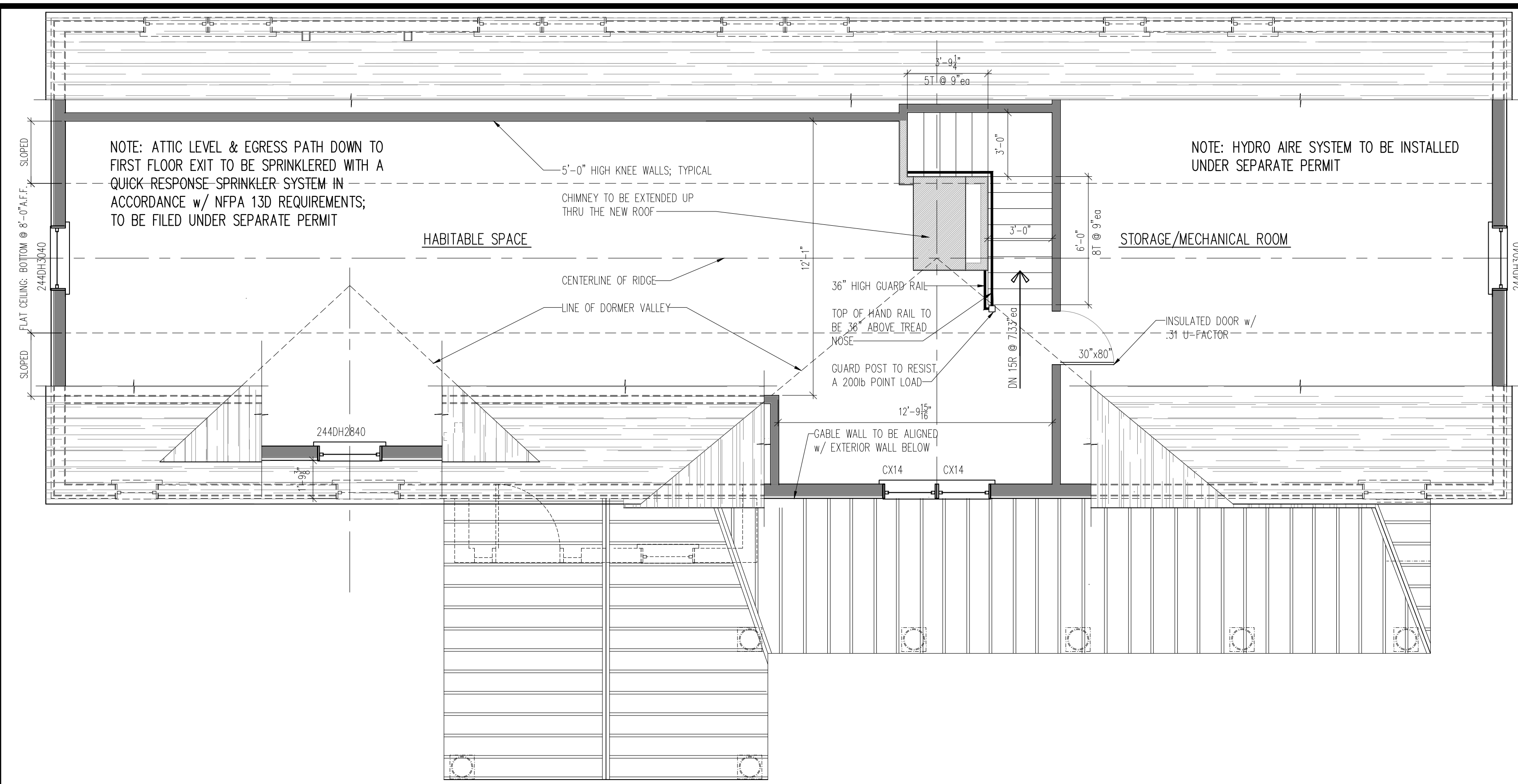
SCALE: 3/4" = 1'-0"



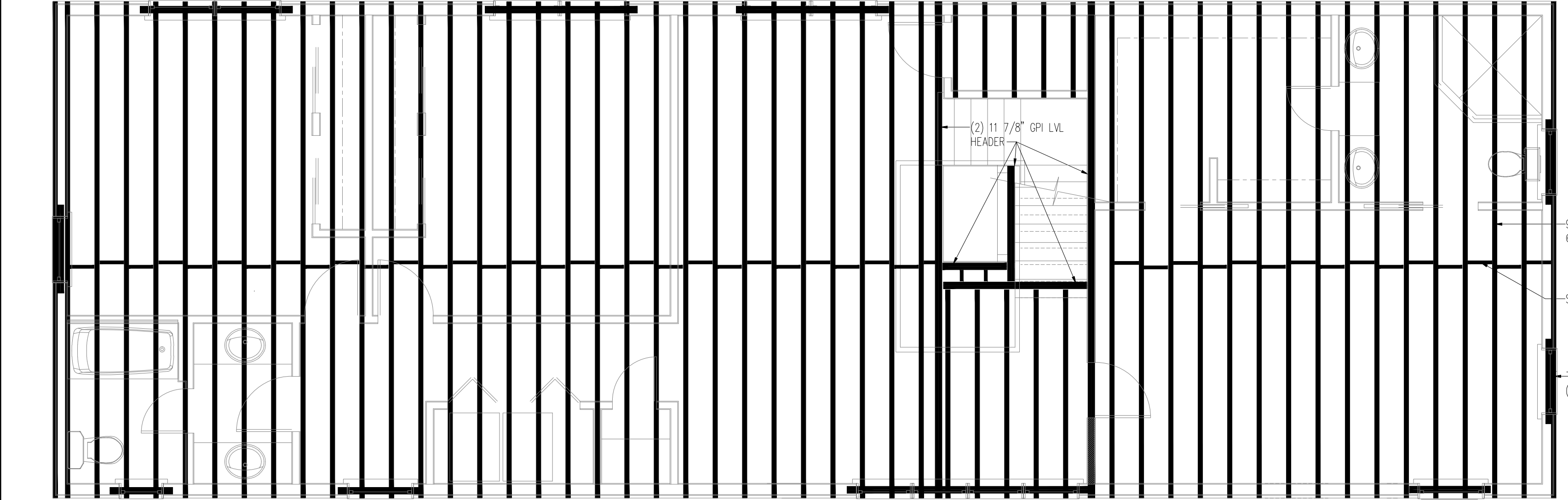
Luis Saiz, Jr. - Architect  
41 Springdale Avenue White Plains, N.Y. 10604  
LSJR@PRODIGY.NET  
914-328-5874

Table with columns: REVISIONS, NO., DATE, BY. Includes a section for AS SHOWN, JOB NO., CHECKED BY, DRAWN BY, and DATE.

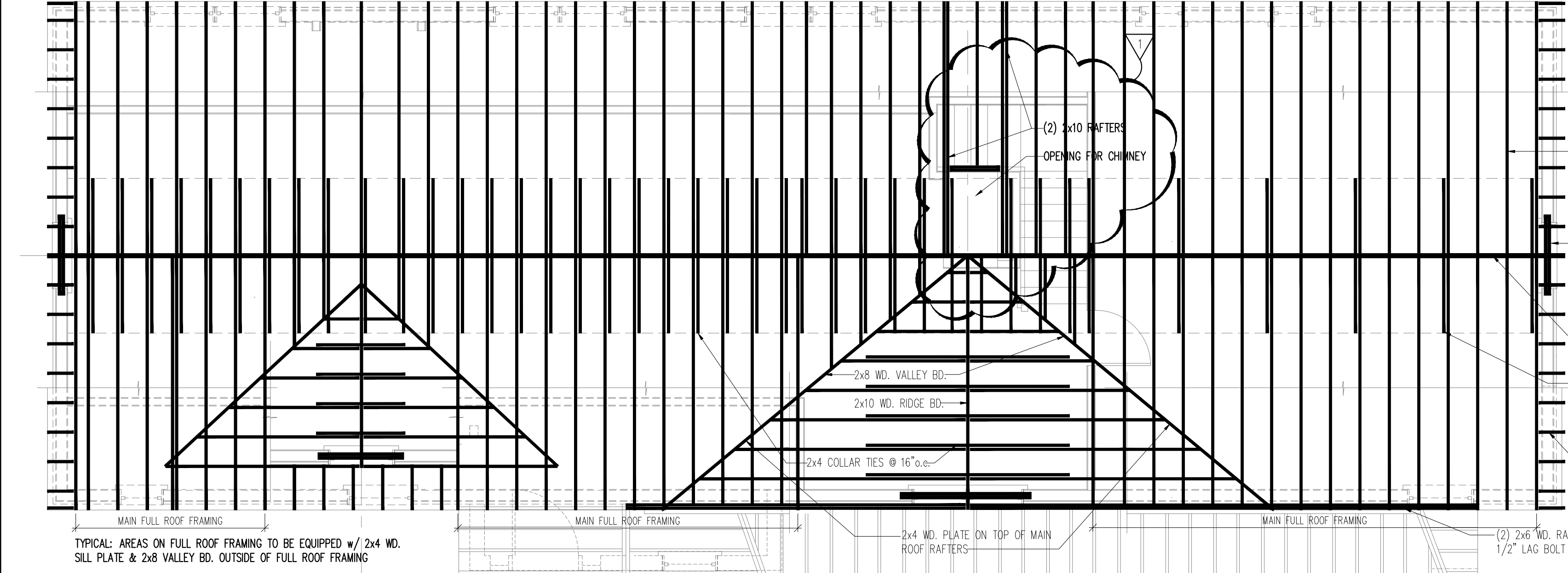
PROPOSED addition to  
1 ROCKWOOD PLACE - ARMONK, NY  
FOR RICHARD & KRISTINA MASSARI  
PROPOSED FLOOR PLANS & DETAILS  
SHEET: **A2**



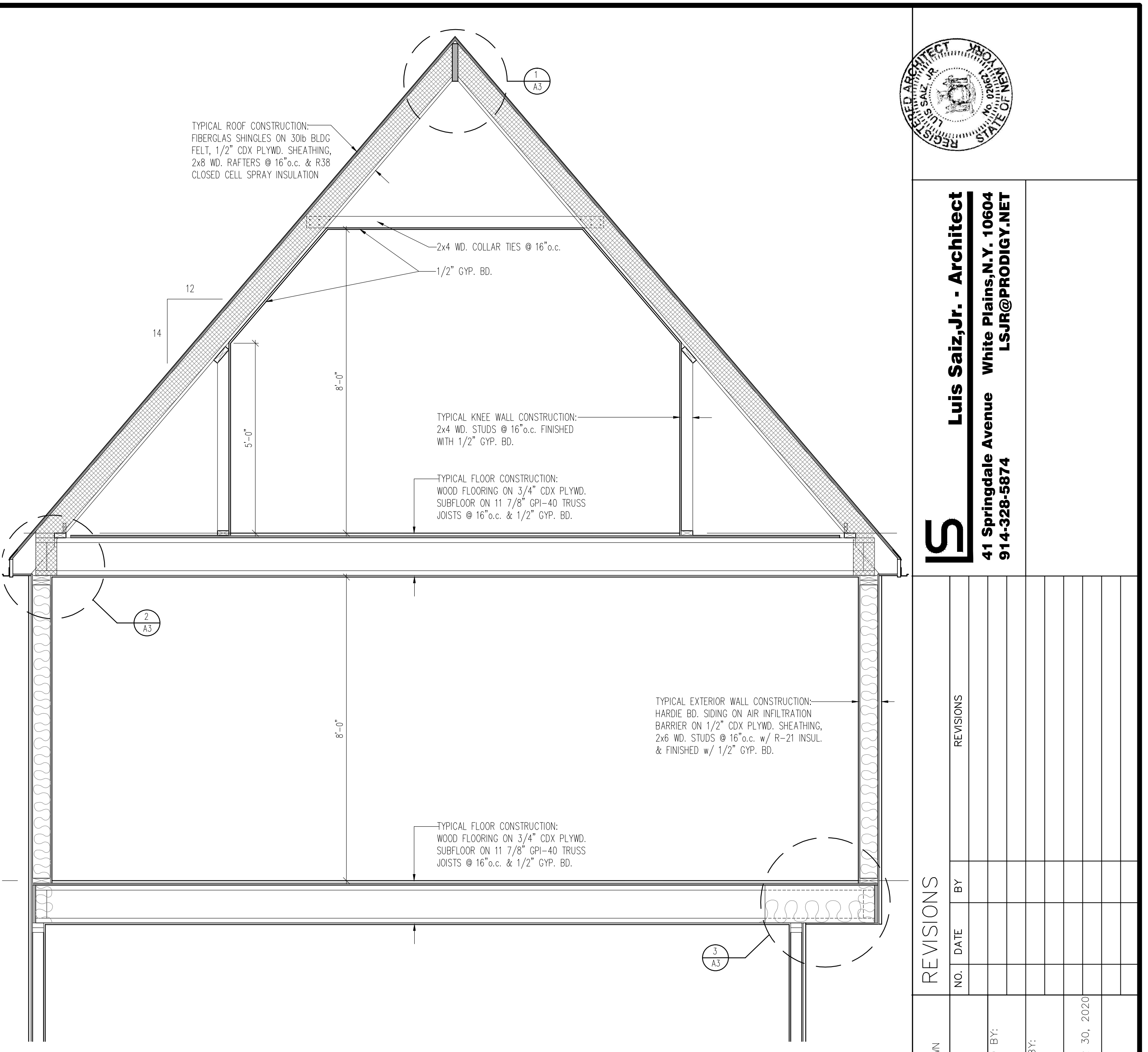
PROPOSED ATTIC FLOOR CONSTRUCTION PLAN SCALE: 1/4" = 1'-0"



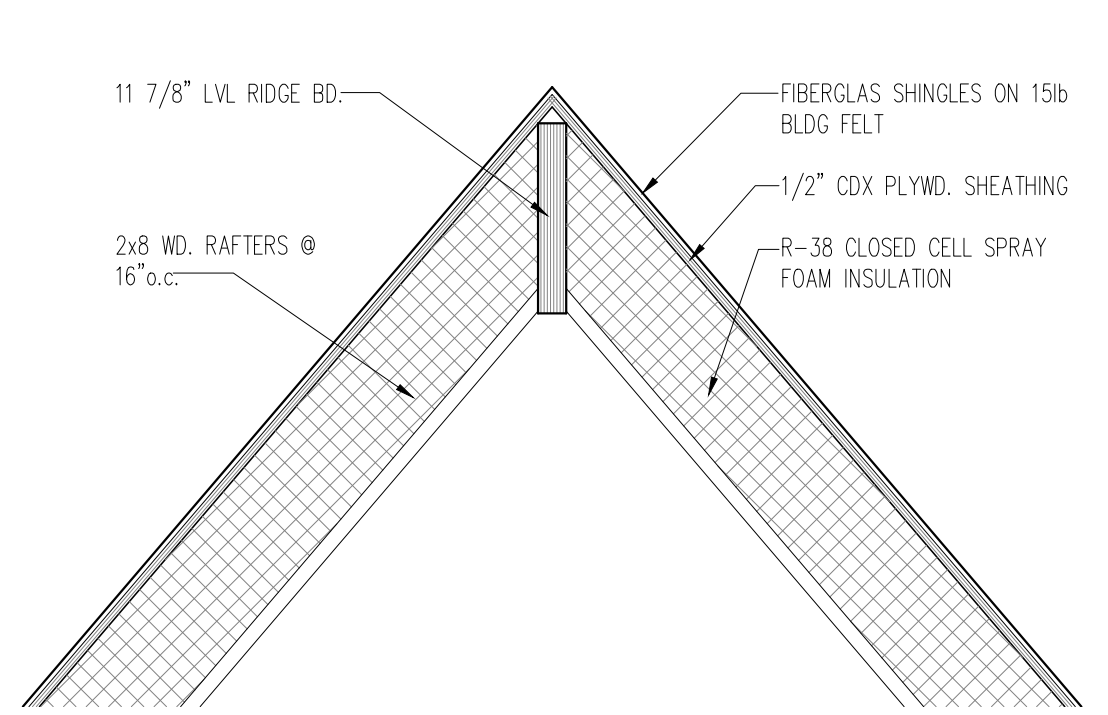
ATTIC FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"



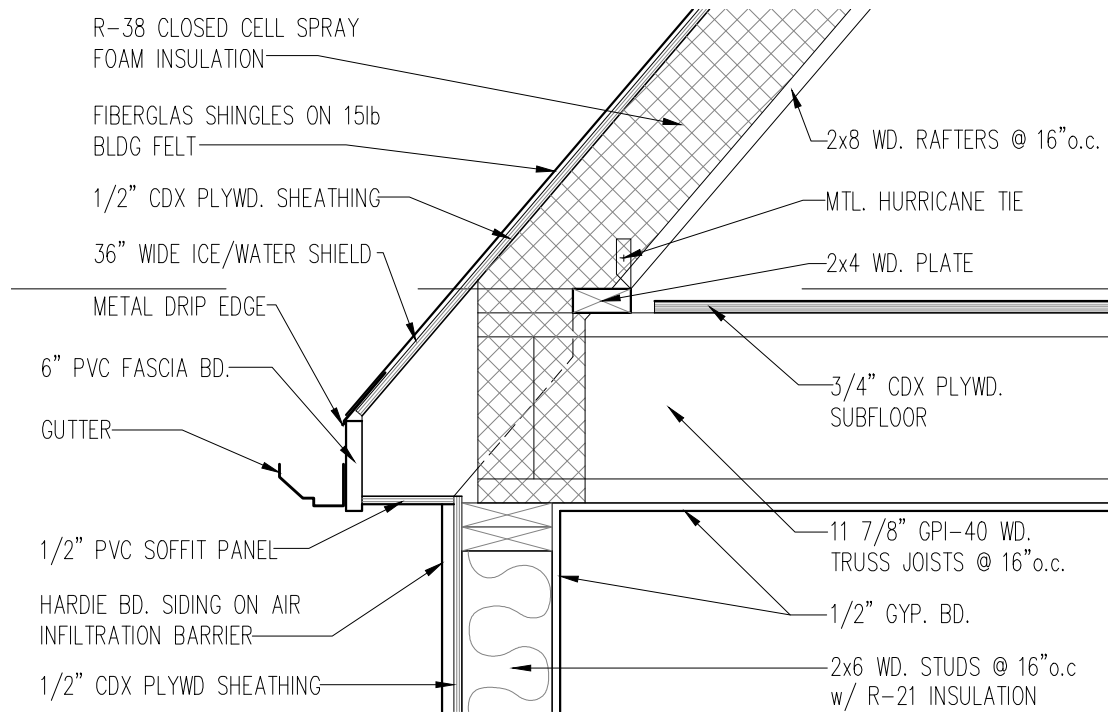
ROOF FRAMING PLAN SCALE: 1/4" = 1'-0"



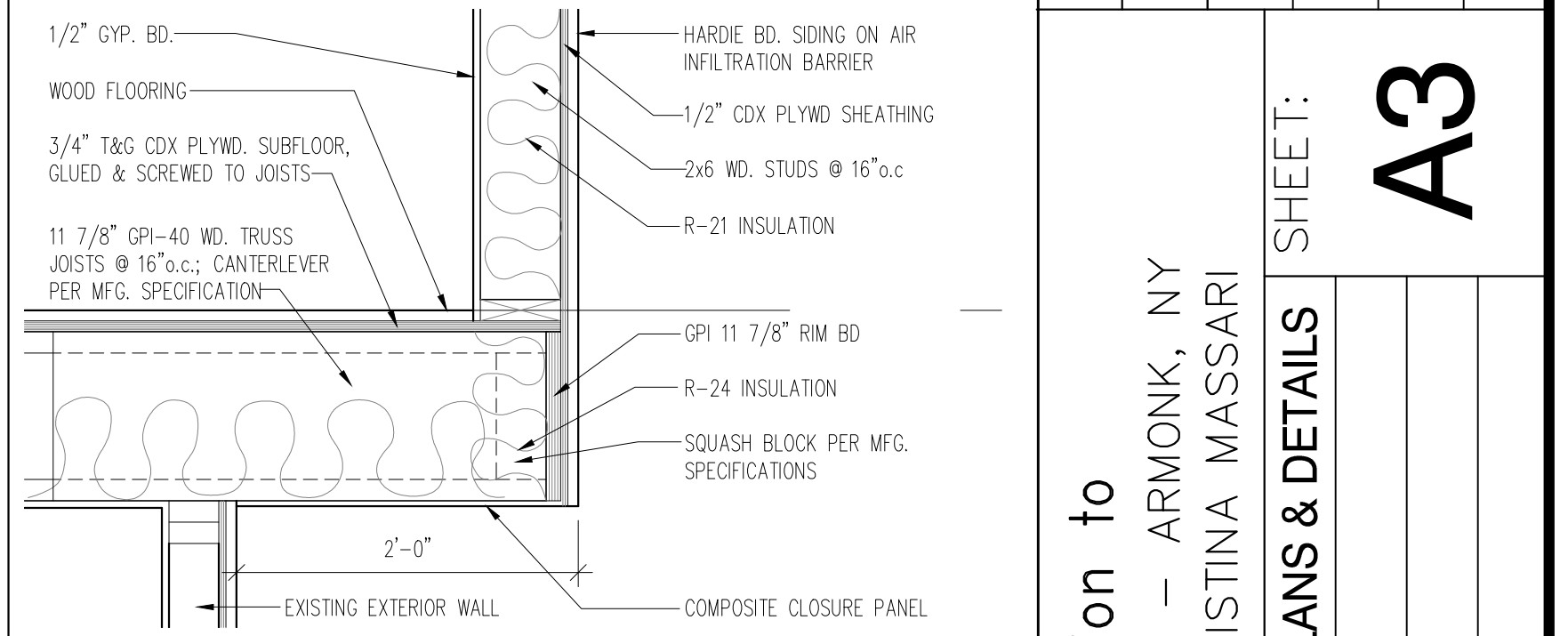
A CROSS SECTION SCALE: 1/2" = 1'-0"



1 ROOF RIDGE DETAIL SCALE: 1" = 1'-0"



2 ROOF EAVE DETAIL SCALE: 1" = 1'-0"



3 SECOND FLOOR OVERHANG SCALE: 1" = 1'-0"

REGISTERED ARCHITECT STATE OF NEW YORK  
LUISSAIZ, JR. ARCHITECT P.C.  
41 Springdale Avenue White Plains, N.Y. 10604  
914-328-5874  
LSJR@PRODIGY.NET

**Luis Saiz, Jr. - Architect**  
White Plains, N.Y. 10604  
41 Springdale Avenue  
914-328-5874  
LSJR@PRODIGY.NET

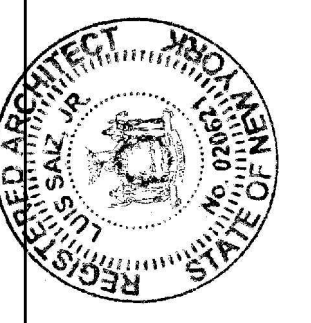
NO.	DATE	BY	REVISIONS	
			DESCRIPTION	DATE

SCALE: AS SHOWN  
JOB NO.: XXXX  
CHECKED BY: XXXX  
DRAWN BY: LSJR  
DATE: OCTOBER 30, 2020

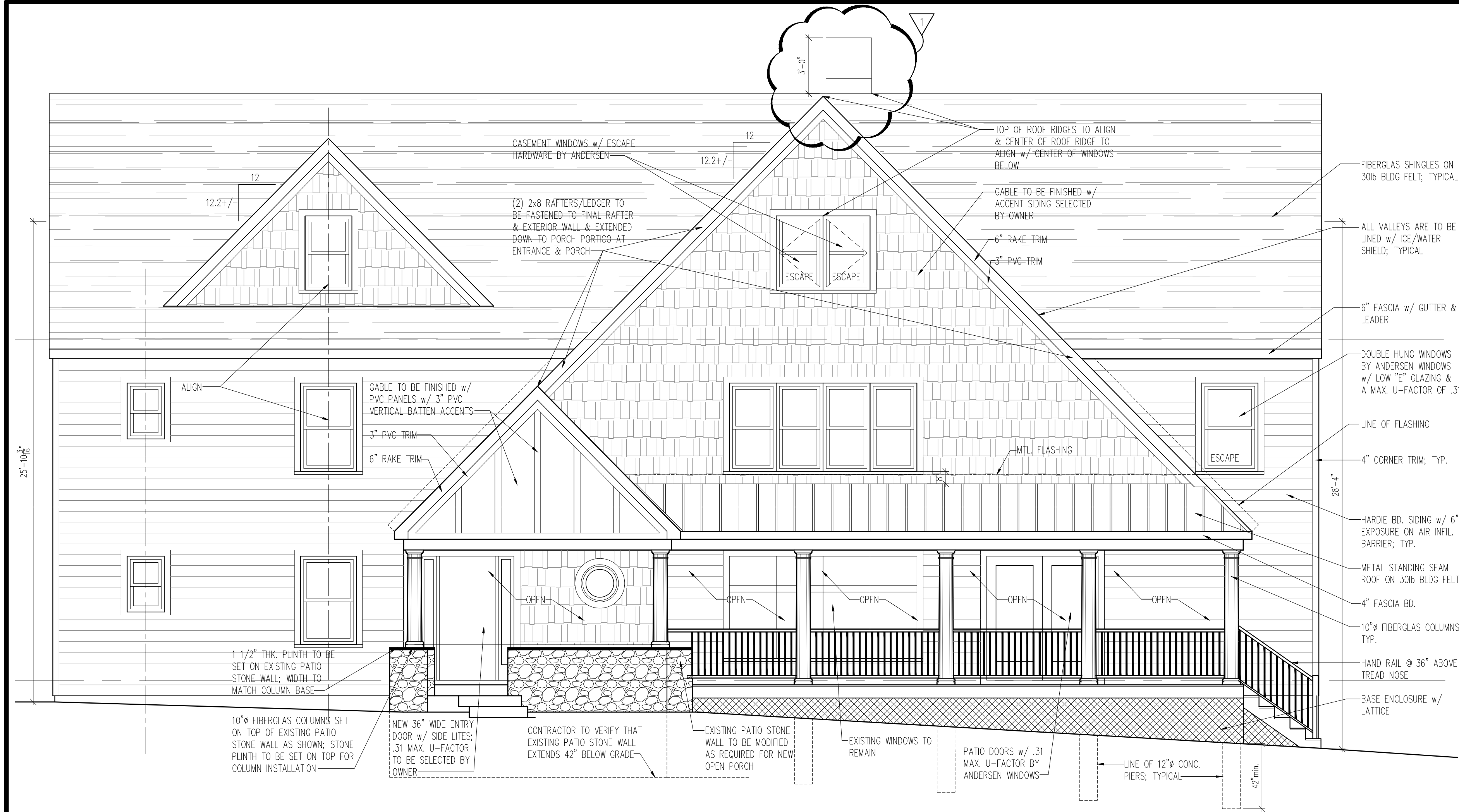
PROPOSED addition to  
1 ROCKWOOD PLACE - ARMONK, NY  
FOR RICHARD & KRISTINA MASSARI

PROPOSED FLOOR PLANS & DETAILS  
& CROSS SECTION

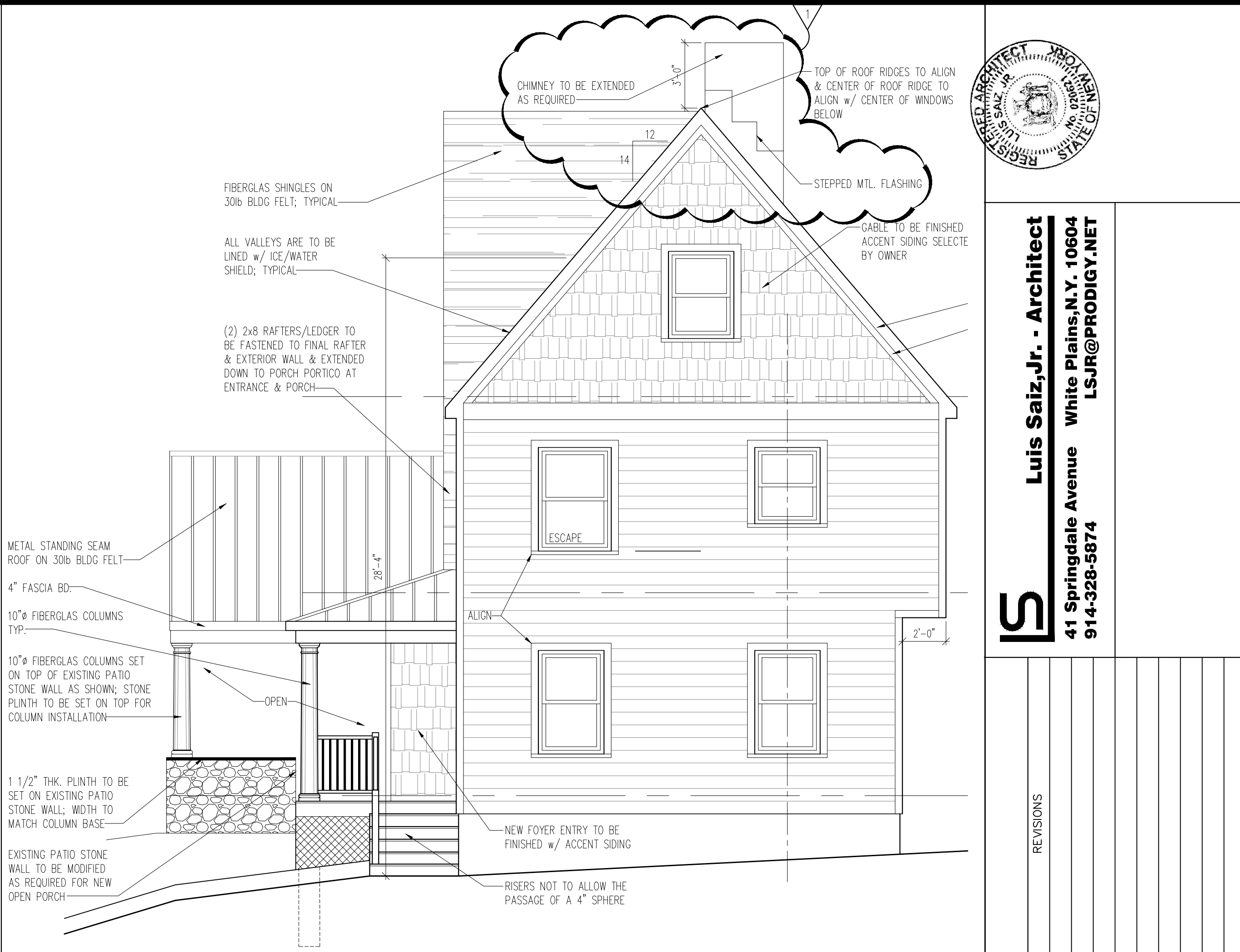
SHEET: **A3**



**Luis Saiz, Jr. - Architect**  
 41 Springdale Avenue White Plains, N.Y. 10604  
 914-328-5874  
 LSJR@PRODIGY.NET



EXTERIOR WEST ELEVATION SCALE: 1/4" = 1'-0"



EXTERIOR SOUTH ELEVATION SCALE: 1/4" = 1'-0"



EXTERIOR EAST ELEVATION SCALE: 1/4" = 1'-0"



EXTERIOR NORTH ELEVATION SCALE: 1/4" = 1'-0"

REVISIONS	
NO.	DATE

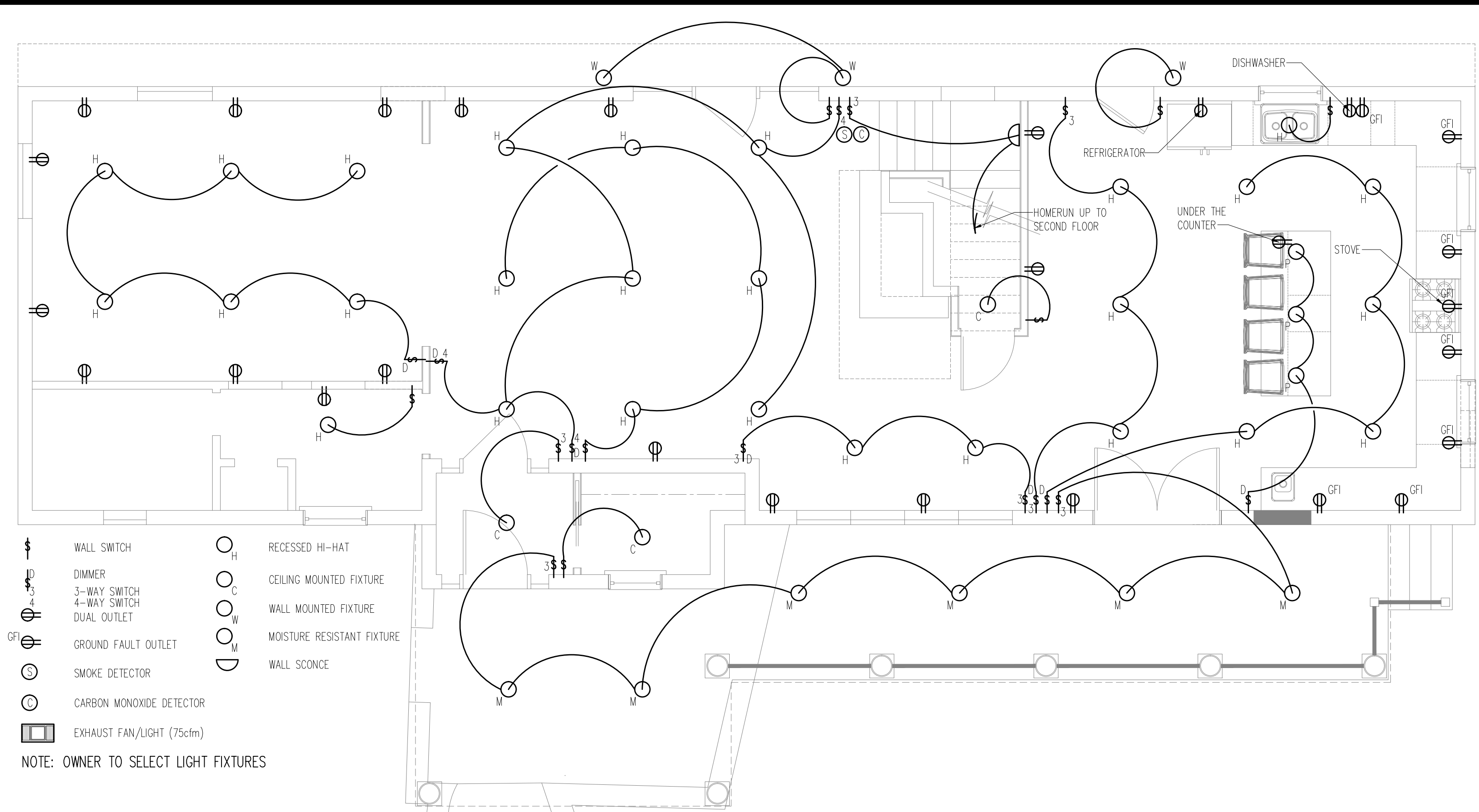
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 CHECKED BY: XXX  
 DRAWN BY: LSJR  
 DATE: NOVEMBER 02, 2020

PROPOSED addition to  
 1 ROCKWOOD PLACE - ARMONK, NY  
 FOR RICHARD & KRISTINA MASSARI  
 EXTERIOR ELEVATIONS

SHEET: **A4**

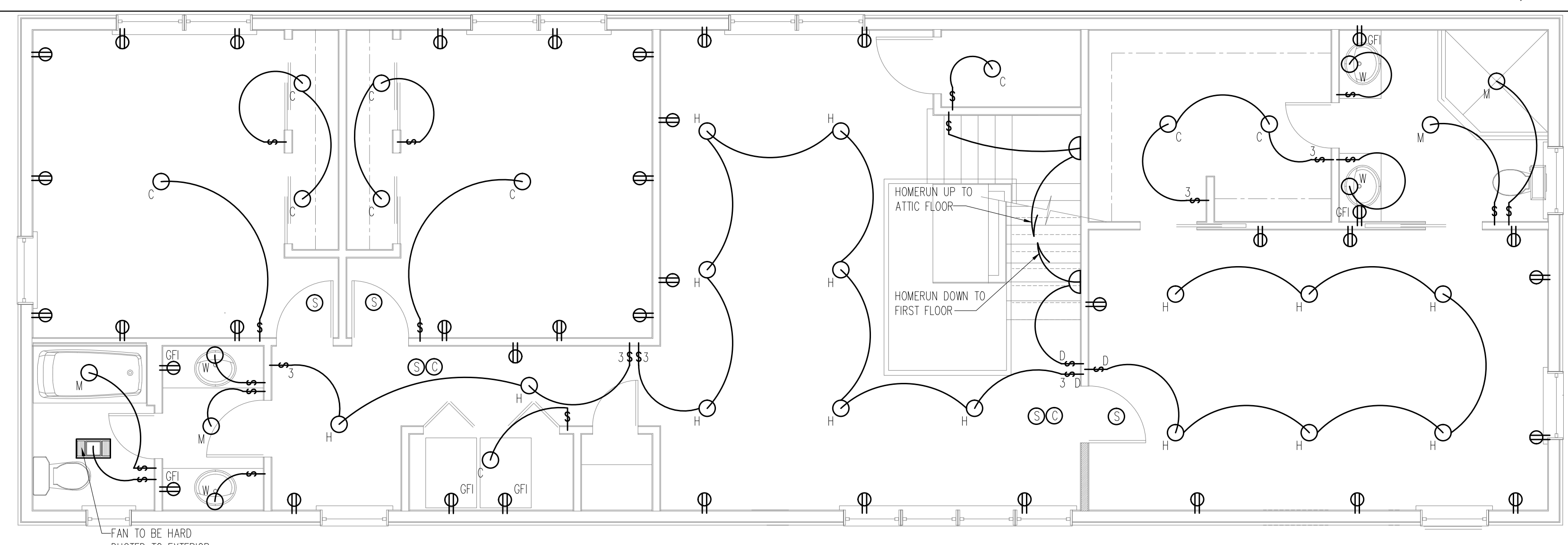
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PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT



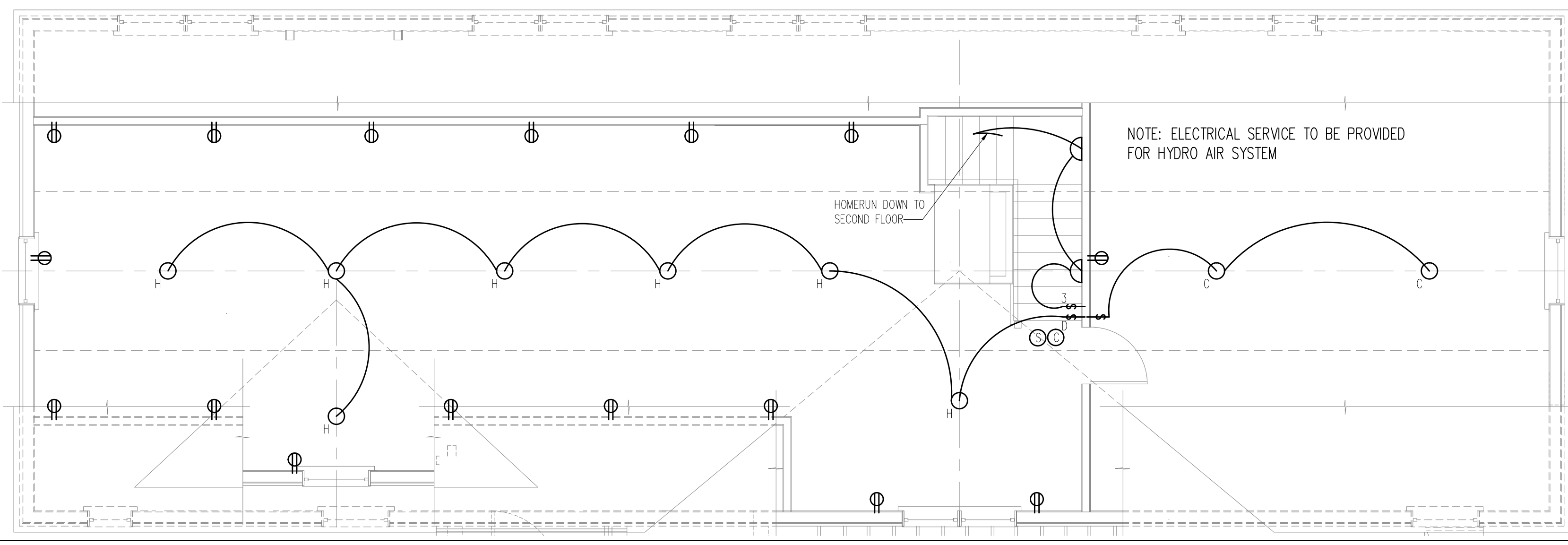
FIRST FLOOR UTILITY PLAN

SCALE: 1/4" = 1'-0"



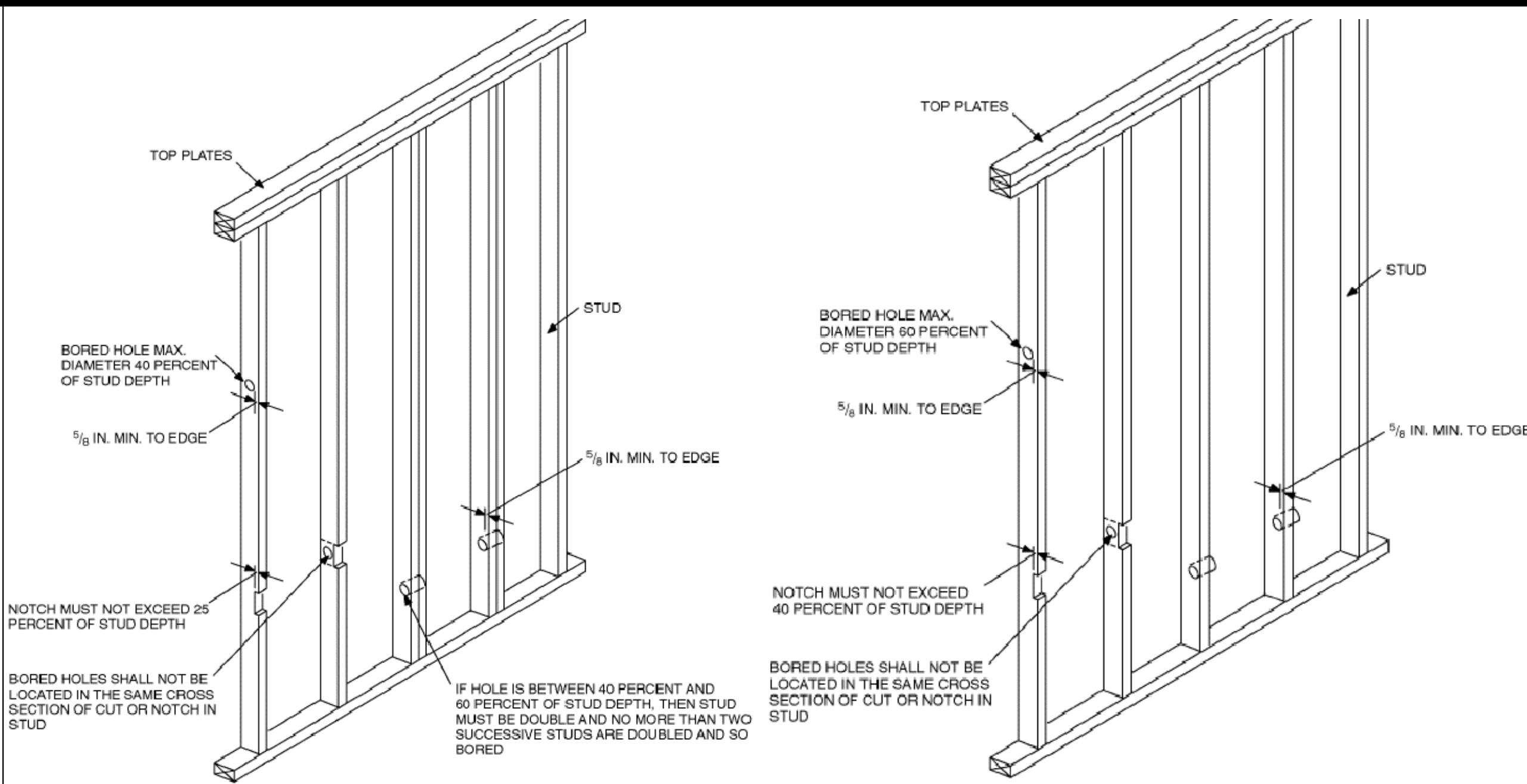
SECOND FLOOR UTILITY PLAN

SCALE: 1/4" = 1'-0"

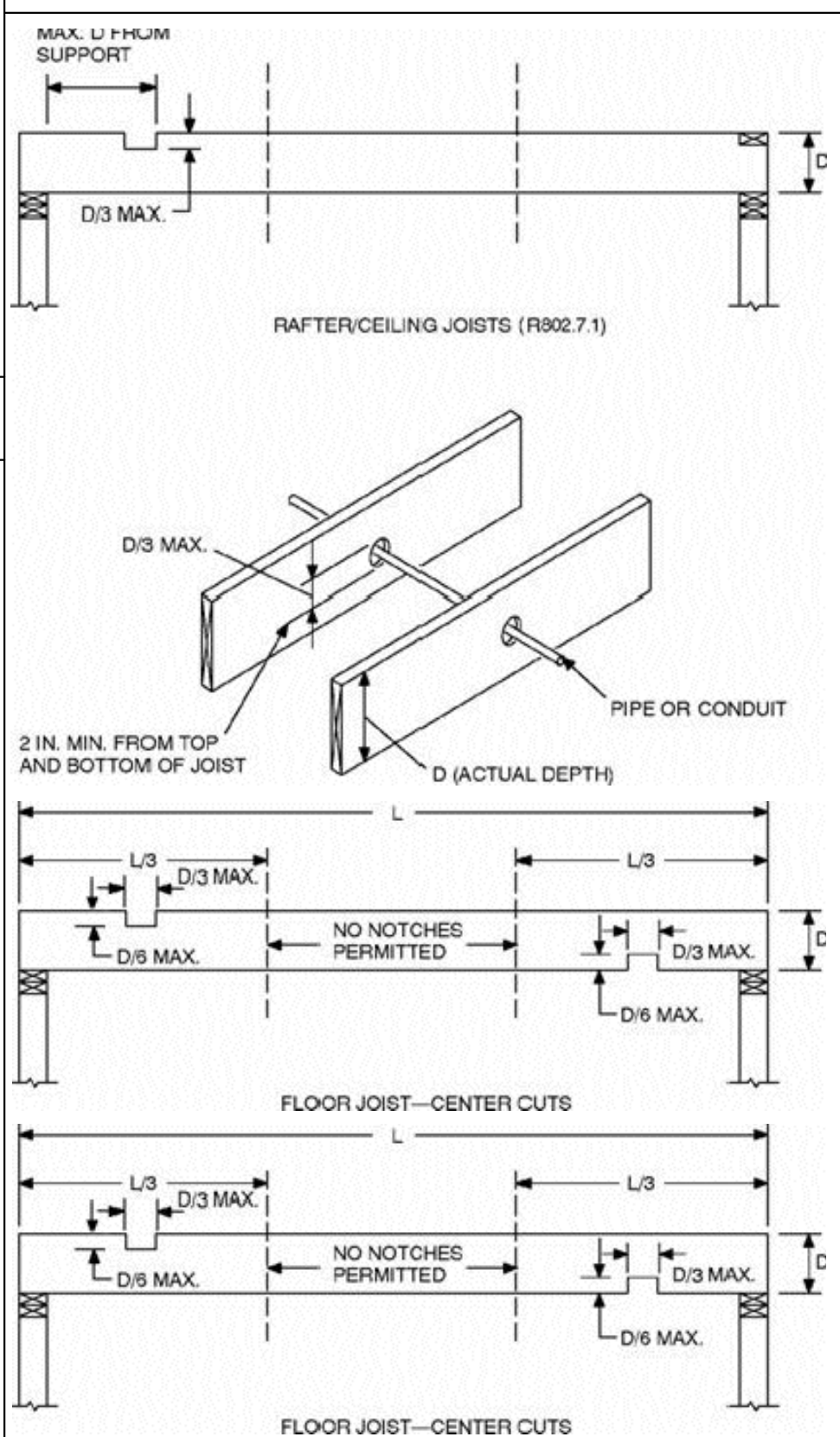


ATTIC FLOOR UTILITY PLAN

SCALE: 1/4" = 1'-0"



WALL STUD NOTCHING



JOIST NOTCHING

**ALLOWABLE HOLES - TJI® Joists**

MIN. DISTANCE FROM TABLE A

MIN. DISTANCE FROM TABLE B

1/2" HOLE MAY BE CUT ANYWHERE IN WEB OUTS OF HATCHED ZONE

DO NOT CUT HOLES LARGER THAN 1 1/2" IN CANTILEVER

NO FIELD CUT HOLES IN HATCHED AREAS

(APPLIES TO ALL HOLES EXCEPT KNOCKOUTS)

CLOSELY GROUPED ROUND HOLES ARE PERMITTED IF THE GROUP PERIMETER MEETS REQUIREMENTS FOR ROUND OR SQUARE HOLES

NO FIELD CUT HOLES IN HATCHED ZONES

**TABLE A - END SUPPORT**  
MINIMUM DISTANCE FROM EDGE OF HOLE TO INSIDE FACE OF NEAREST END SUPPORT

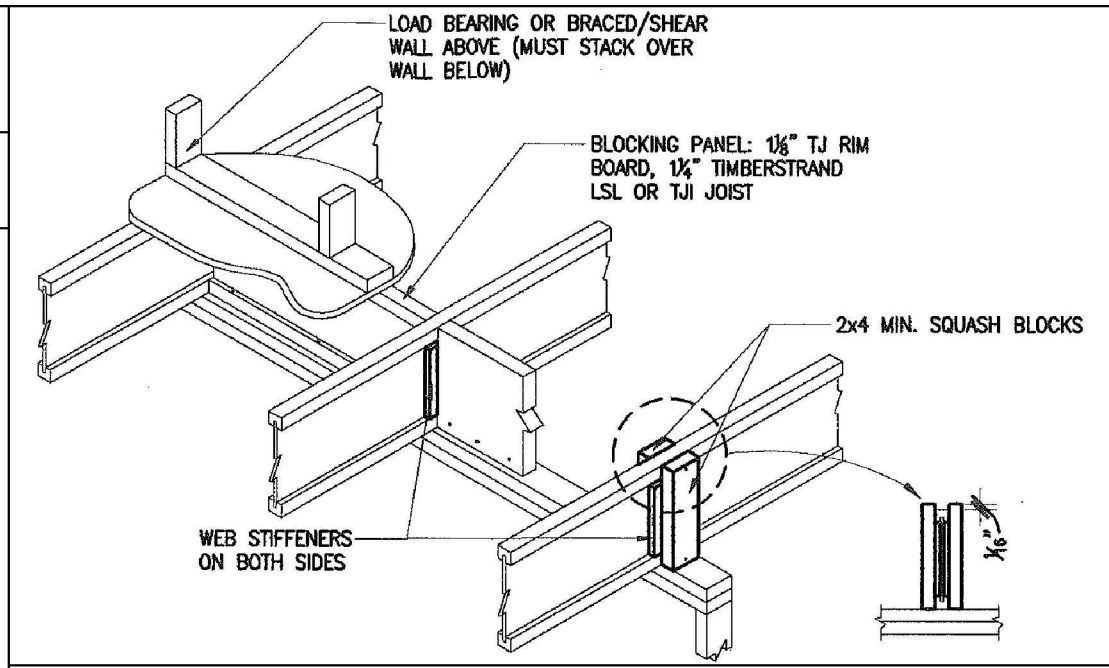
JOIST DEPTH	TJI®	ROUND HOLE SIZE							SQUARE OR RECTANGULAR HOLE SIZE						
		2"	3"	4"	5"	6 1/2"	7"	8 1/4"	2"	3"	4"	5"	6 1/2"	7"	8 1/4"
110	1'-0"	1'-0"	1'-6"	1'-6"	2'-0"	2'-6"	3'-0"	3'-6"	1'-0"	1'-6"	2'-0"	2'-6"	4'-6"	5'-0"	6'-0"
210	1'-0"	1'-6"	2'-0"	2'-0"	3'-0"	3'-6"	4'-0"	4'-6"	1'-0"	1'-6"	2'-6"	3'-0"	5'-0"	5'-6"	6'-6"
230	1'-0"	1'-6"	2'-0"	2'-6"	3'-0"	3'-6"	4'-6"	5'-0"	1'-0"	2'-0"	2'-6"	3'-6"	5'-6"	6'-6"	7'-0"
360	1'-6"	2'-0"	3'-0"	3'-6"	4'-6"	5'-0"	7'-0"	7'-6"	1'-6"	2'-6"	3'-6"	4'-6"	6'-6"	6'-6"	7'-6"
560	1'-6"	2'-6"	3'-0"	4'-0"	5'-6"	6'-0"	8'-0"	8'-0"	2'-6"	3'-6"	4'-6"	5'-6"	7'-0"	7'-6"	8'-0"

**TABLE B - INTERMEDIATE OR CANTILEVER SUPPORT**  
MINIMUM DISTANCE FROM EDGE OF HOLE TO INSIDE FACE OF NEAREST INTERMEDIATE OR CANTILEVER SUPPORT

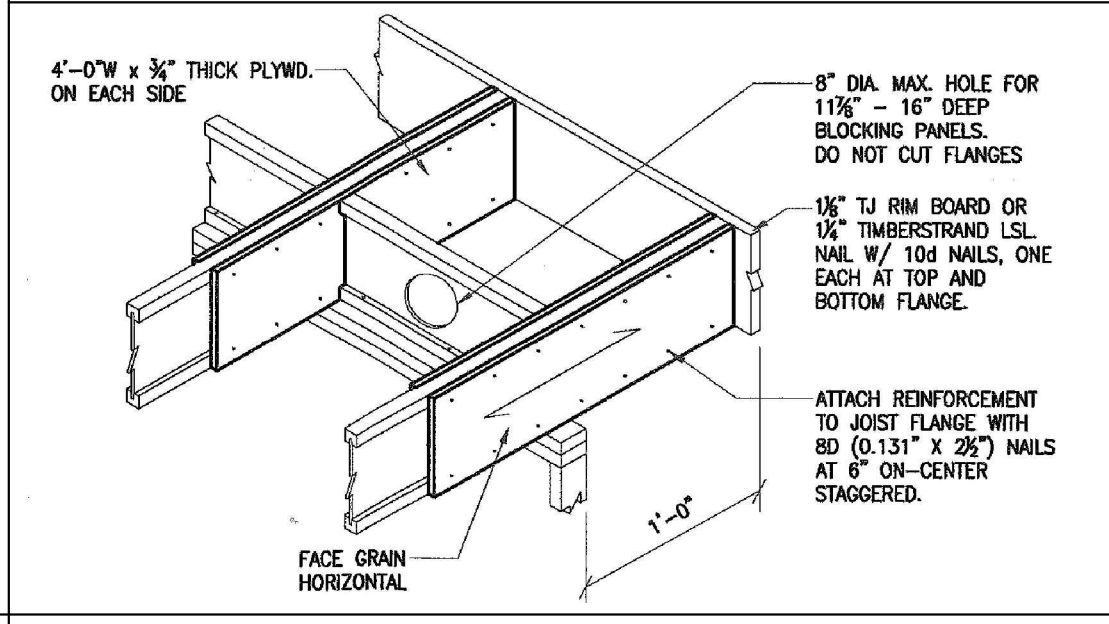
JOIST DEPTH	TJI®	ROUND HOLE SIZE							SQUARE OR RECTANGULAR HOLE SIZE						
		2"	3"	4"	5"	6 1/2"	7"	8 1/4"	2"	3"	4"	5"	6 1/2"	7"	8 1/4"
110	1'-0"	1'-0"	1'-6"	1'-6"	2'-6"	4'-0"	4'-6"	5'-6"	1'-0"	1'-6"	2'-6"	4'-0"	7'-0"	7'-0"	9'-6"
210	1'-0"	1'-0"	1'-6"	2'-0"	3'-0"	4'-6"	5'-0"	6'-0"	1'-0"	1'-6"	2'-6"	3'-0"	5'-0"	5'-6"	6'-6"
230	1'-0"	2'-0"	2'-6"	3'-6"	5'-0"	5'-6"	10'-0"	1'-0"	2'-6"	3'-6"	5'-0"	8'-6"	9'-0"	10'-0"	10'-0"
360	2'-0"	3'-0"	4'-0"	5'-6"	7'-0"	7'-6"	11'-0"	2'-0"	3'-6"	5'-0"	7'-0"	9'-6"	9'-6"	11'-0"	11'-0"
560	1'-6"	3'-0"	4'-6"	5'-6"	8'-0"	8'-6"	12'-0"	3'-0"	4'-6"	6'-0"	8'-0"	10'-6"	11'-0"	12'-0"	12'-0"

- Leave 1/2" of web (minimum) at top and bottom of hole. **DO NOT cut joist flanges.**
- Tables are based on uniform load tables in current design literature.
- For simple span (5' minimum), uniformly loaded joists used in residential applications, one maximum size round hole may be located at the center of the joist span provided that no other holes occur in the joist.

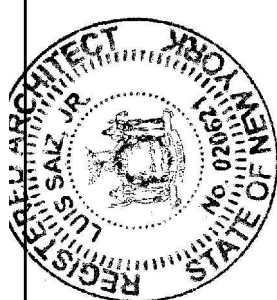
TJI ALLOWANCE HOLES DIAGRAM



TJI SQUASH BLOCKS DETAIL



TJI CANTILEVER DETAIL



**Luis Saiz, Jr. - Architect**  
White Plains, N.Y. 10604  
41 Springdale Avenue  
914-328-5874  
LSJR@PRODIGY.NET

**REVISIONS**

NO.	DATE	BY	REVISIONS

SCALE: AS SHOWN  
JOB NO.: XXXX  
CHECKED BY: XXXX  
DRAWN BY: LSJR  
DATE: NOVEMBER 02, 2020

**PROPOSED addition to**  
1 ROCKWOOD PLACE - ARMONK, NY  
FOR RICHARD & KRISTINA MASSARI

**EXTERIOR ELEVATIONS**

**SHEET: A5**