

Town of North Castle Residential Project Review Committee

17 Bedford Road Armonk, New York 10504 (914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

	Name on Plan:			
☑Initial Submittal □Revised Preliminary				
1	t Location: ROCKWOOD RE			
Zonin	g District: R-10 Property Acreage: .474c Tax Map Parcel ID: 107.02-4-2			
Date:	Date: 12-09-20			
DEPA	ARTMENTAL USE ONLY			
Date l	Filed: Staff Name:			
Items	ninary Plan Completeness Review Checklist marked with a are complete, items left blank are incomplete and must be leted, "NA" means not applicable.			
<u></u> 1.	Plan prepared by a registered architect or professional engineer			
<u></u> }2.	Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets			
<u></u> В.	Map showing the applicant's entire property and adjacent properties and streets			
<u></u>	A locator map at a convenient scale			
 j̄.	The proposed location, use and design of all buildings and structures			
 ;	Existing topography and proposed grade elevations			
<u></u> □7.	Location of drives			
 }.	Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences			

RPRC COMPLETENESS REVIEW FORM

Page 2

Description of method of water supply and sewage disposal and location of such facilities		
10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work		
1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District		
2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.		
3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.		
More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: http://www.northcastleny.com/townhall.html		
On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.		

Property Address:

1 Rockwood Place Armonk, NY 10504

Applicant and Property owners:

Kristina and Richard Massari

Architect

Luis Saiz, Jr. - R.A. 41 Springdale Avenue White Plains, NY 10604 914 328 5874 office 914 328 5875 fax 914 954 8707 cell

Land Surveyor:

William E. James
William E. James Engineering and Land Surveying, PLLC
8 Cheanda Lane
Wallkill, NY 12589
Phone: (845) 566-6525



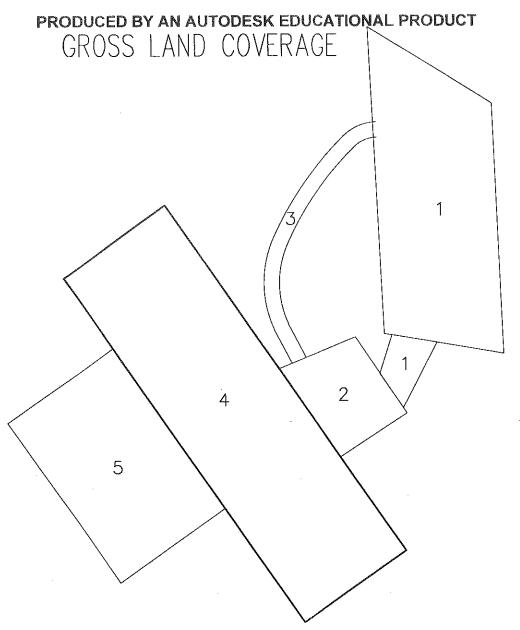
WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Applicat	ion Name or Identifying Title: MASSEL RESIDENCE Date:]	2-09-20
Тах Мар	Designation or Proposed Lot No.: 107.02-4-2	
Gross L	ot Coverage	
1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	20,301 of
2.	Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):	6,0904
3.	BONUS maximum gross land cover (per Section 355-26.C(1)(b)):	
	Distance principal home is beyond minimum front yard setback x 10 =	<u> 70</u>
4.	TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3	6,150sf
5.	Amount of lot area covered by principal building: 134	1,560sf
6.	Amount of lot area covered by accessory buildings:existing + proposed =	76sf
7.	Amount of lot area covered by decks:existing +proposed =	O
8.	Amount of lot area covered by porches:existing +403 proposed =	403sf
9.	Amount of lot area covered by driveway, parking areas and walkways: 1954 existing + - 335 proposed =	1619sf
10.	Amount of lot area covered by terraces: existing + proposed =	O_
11,	Amount of lot area covered by tennis court, pool and mechanical equip:existing + proposed :=	20sf
12.	Amount of lot area covered by all other structures:	0
13. Pro	gross land coverage: Total of Lines $5-12=$	3602sf
the proj	13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross lar ect may proceed to the Residential Project Review Committee for review. If Line 13 is greater to comply with the town's regulations.	r than Line 4 your proposal
Signatu	re de Seal of Professional Preparing Worksheet Date	



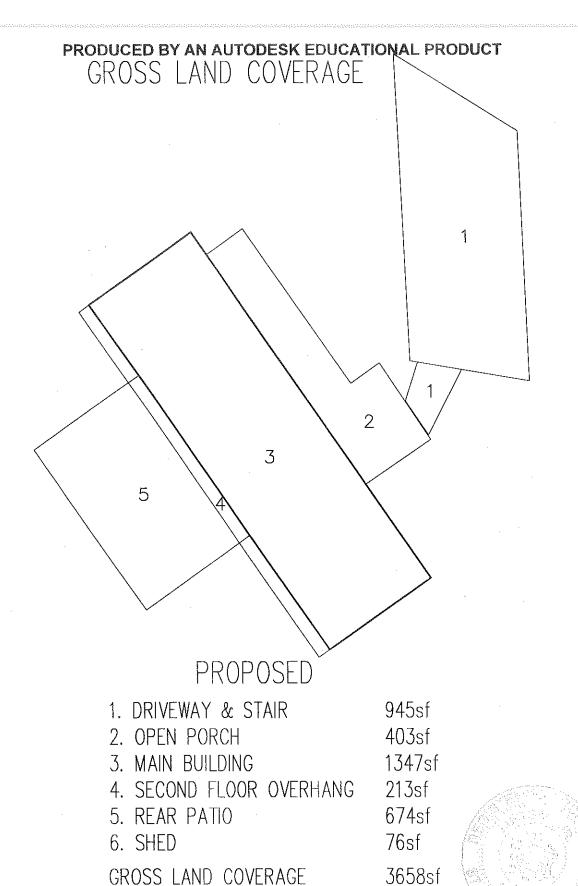
EXISTING CONDITIONS

1. DRIVEWAY & STAIR	945sf
2. FRONT PATIO	223sf
3. WALKWAY	112sf
4. MAIN BUILDING	1347sf
5. REÁR PATIO	674sf
6. SHED	76sf
GROSS LAND COVERAGE	3377sf



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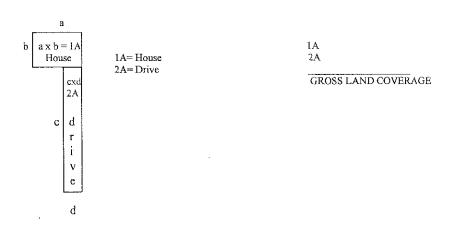
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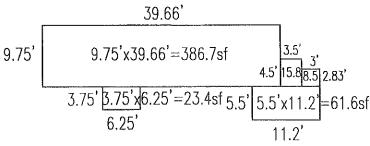
GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

- 1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
- 2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
- 3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
- 4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
- 5. A schematic illustration of the format is shown below



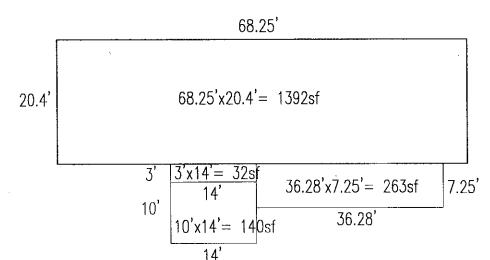
PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT GROSS FLOOR AREA



THIRD FLOOR 386.7sf+23.4sf+61.6sf+8.5sf+15.8sf=496sf

68.25'x22.4'= 1530sf 22.4

SECOND FLOOR



FIRST FLOOR

1392sf + 32sf + 140sf + 263sf = 1827sf

FIRST FLOOR=

1827sf

SECOND FLOOR=

1530sf

THIRD FLOOR=

496sf

GROSS FLOOR AREA = 3853sf

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WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

January 29, 2019 Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title:	MAGGARI REGIDENCE	Date: 12.09.20	
Tax Map Designation or Proposed Lot No.:	107.02-4-2		
Floor Area	•		
1. Total Lot Area (Net Lot Area for Lo	ots Created After 12/13/06):	20,301sf	
2. Maximum permitted floor area (per	r Section 355-26.B(4)):	5,545sf	
3. Amount of floor area contained with existing +		1,424sf	
4. Amount of floor area contained with existing + 1530	hin second floor: _ proposed =	1,530sf	
5. Amount of floor area contained with existing +			
6. Amount of floor area contained with existing + 403	hin porches capable of being enclosed: _proposed =	403sf	
7. Amount of floor area contained with O existing +	hin basement (if applicable – see definition): _ proposed =		
8. Amount of floor area contained with existing +	hin attic (if applicable – see definition): _ proposed =	496sf	
9. Amount of floor area contained with existing +	hin all accessory buildings: _ proposed =		
10. Pro posed floor area: Total of Lines	s 3 – 9 =	39295+	
If Line 10 is less than or equal to Line 2, your proposal complies with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.			
Signature and Seal of Professional Preparing	Worksheet De	2-09-20	
Signature and Sear of Professional Preparing	5 WOLKSHEEL DE	uc	



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GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

- 1. Scaled worksheets are to be pre pared base d upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
- 2. The floor area of each floor is to be divided int o s imple polygons (squares, rectangles, etc.) each being drawn on theplan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
- 3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
- 4. A similar summary table is to be provided listing the total floor a re of each floor within the resulting floor area of each building.
- 5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
- 6. A schematic illustration of the format is shown below.



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

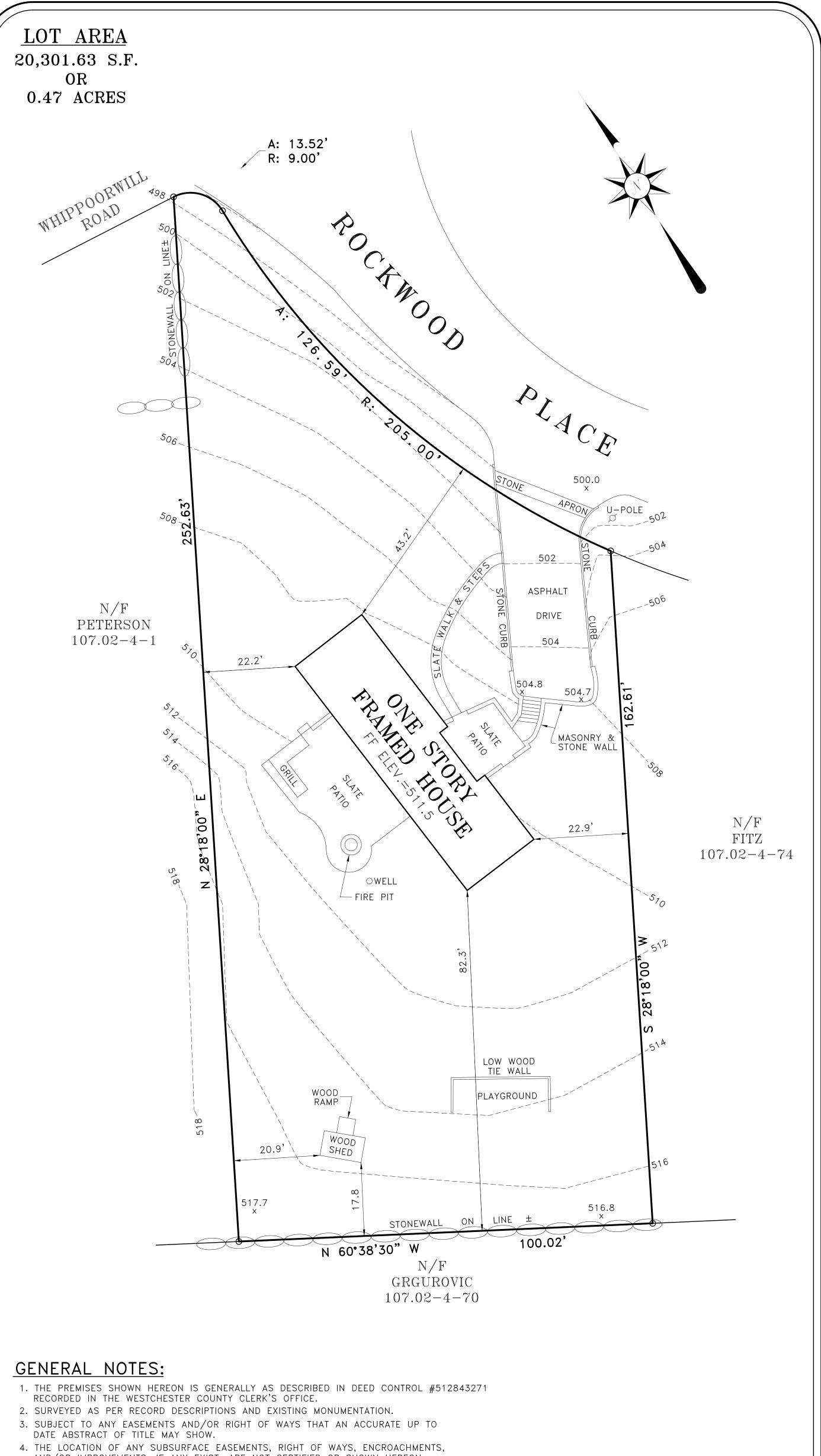
FLOOR AREA, GROSS -- The sum of the horiz ontal areas of the several stories of the building or buildings, excluding any floor area used for one ff-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor ab ove the basement is more than six feet above average grade.
- B. Where the finished surface of the floor ab ove the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings ¹ (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

^{*}Permitted gross floor area for tw o-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

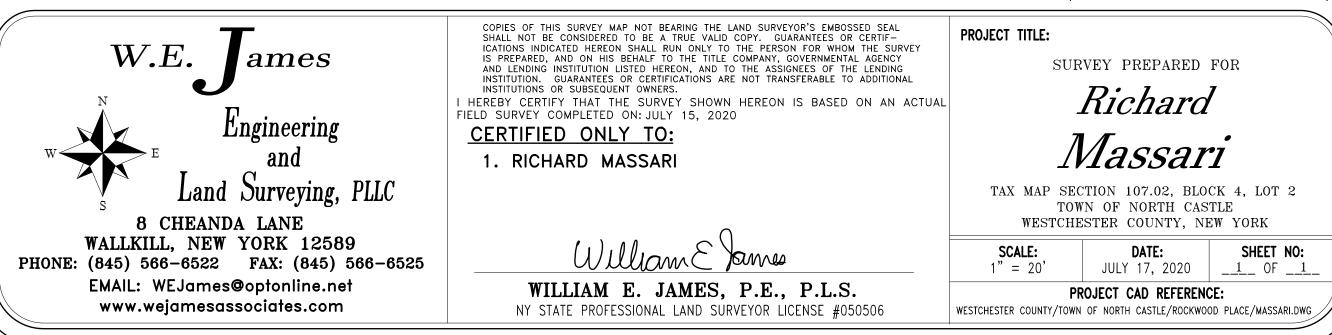
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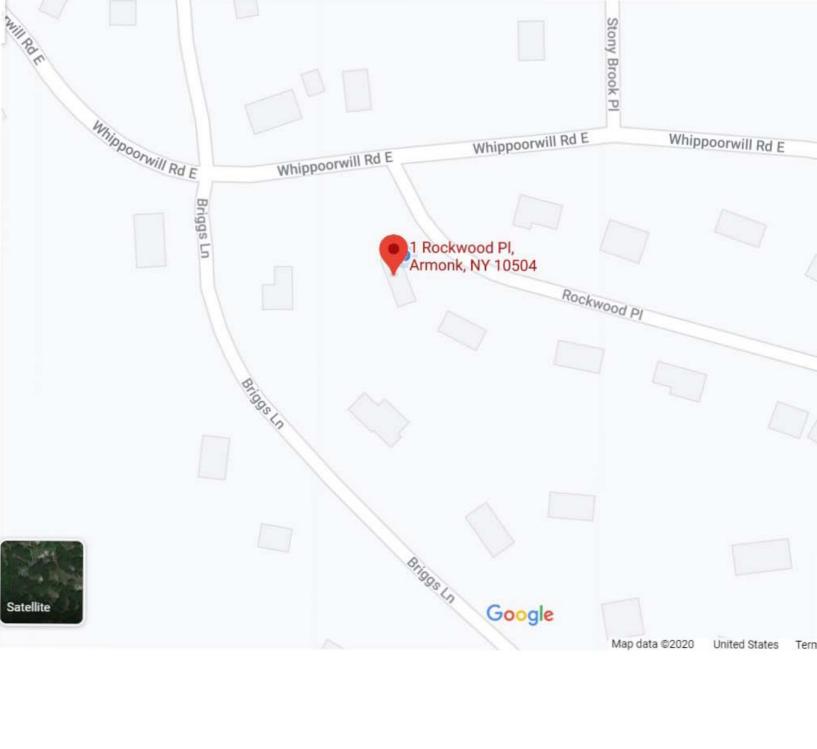
- AND/OR IMPROVEMENTS, IF ANY EXIST, ARE NOT CERTIFIED OR SHOWN HEREON.
- 5. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE ORIGINAL SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.
- 6. ANY ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PER SECTION 7209, SUBDIVISION 2.
- 7. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.

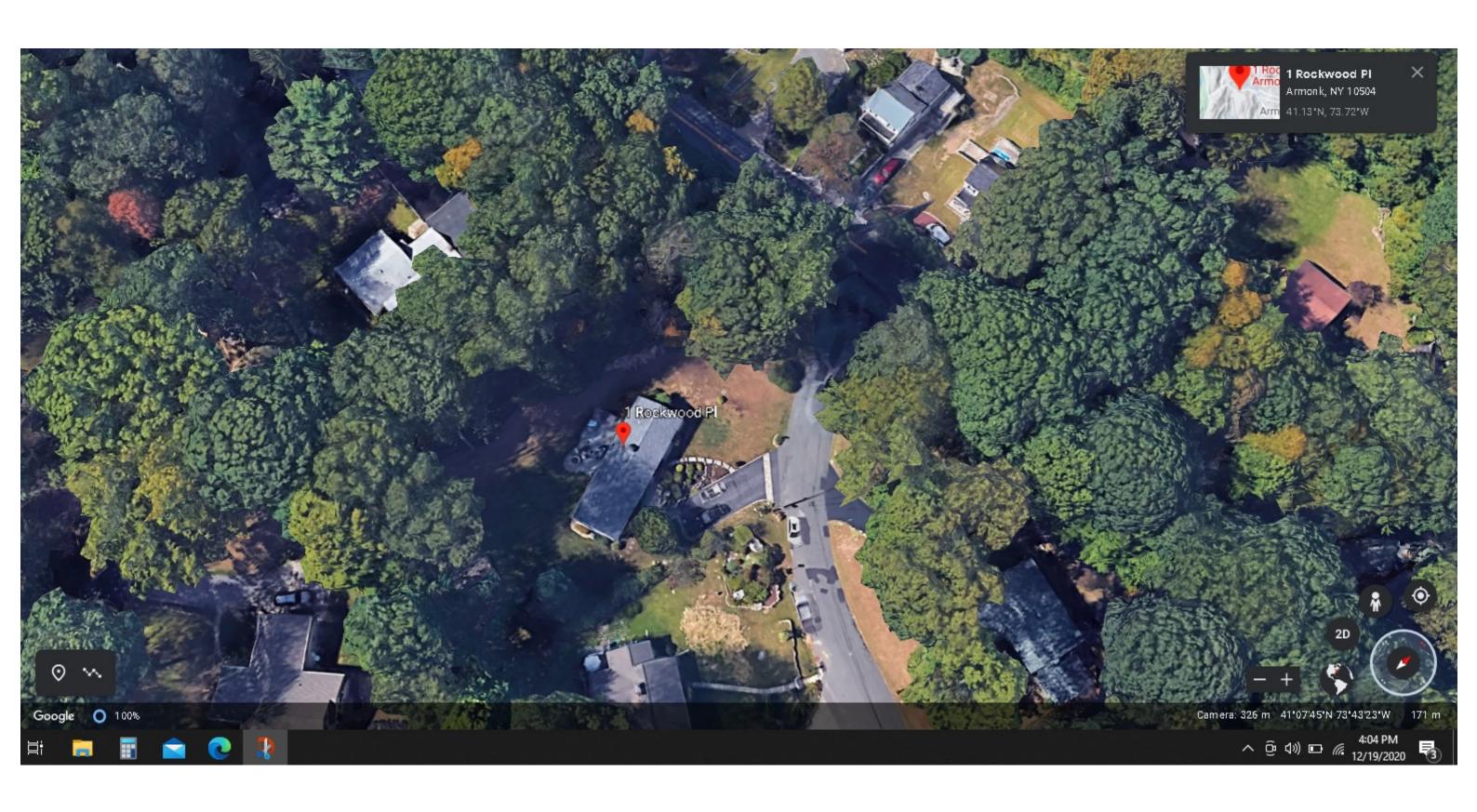
8. TOPOGRAPHIC DATUM BASED UPON APPROXIMATE USGS.

REVISED: JULY 25, 2020 (PROPERTLY LINE DETERMINATION ADJUSTED)



SARTESION WELL Tel. Attracció Vellas Henry ARMONE NEW YORK Ű CENTIFICATE OF COMPLETION (except for house newer connection, back-filling and Milder Charlest of Mealth







ZONING REQUIREMENTS

COVERAG	REAR YARD	30.0' 20301x30%= 6090sf	82.3' 1347sf	81.1' 1963sf
	SIDE YARD: ONE		22.2'	20.64
YARDS:	FRONT YARD	30.0'	43.2	37.29
USE		ONE FAMILY	ONE FAMILY	ONE FAMILY
ITEM		REQUIRED	EXISTING	PROPOSED
ZONE:		R-10	5 ,40 7 ,10	LOT SIZE: 20,30

I hereby certify that these plans have been designed in accordance with the NYS Energy Conservation Code. The Architect has not been retained for any supervision of the installation of materials at job site. The Contractor shall be responsible for & comply with all applicable

laws & regulations on NYS Energy Code.

EXTERIOR WALL

BELOW FLOOR

CONCRETE SLAB

Location: Armonk, NY

FENESTRATION

R-20

R-19

R-10, 24"

R-49 or R-38 2015 IECC R402.2.1

.32 U-F (LOW "E" GLAZING)

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

PLAN LEGEND

PROPOSED 2x6 EXTERIOR PARTITION w/ R-21 INSULATION

ZONING REQUIREMENTS

l hereby certify that these plans have been designed in accordance with the NYS Energy Conservation Code. The Architect has not beer

GENERAL NOTES

BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

CONTRACT, HE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE TIPS.

ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS DOCUMENTS & THE ACTUAL FIELD CONDITIONS SHALL BE

THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS & VERIFY ALL DIMENSIONS & FIELD CONDITIONS & SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMMISIONS, etc., SHALL BE IMMEDIATELY

REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.

WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN

THE CONTRACTOR SHALL MAINTAIN FOR THE EXIT LIGHTS ENTIRE DURATION OF THE WORK ALL EXITS, EXIT

OTHERWISE NOTED, DETAILS ARE USUALLY KEYED & NOTED "TYP." ONLY ONCE WHEN THEY FIRST OCCUR.

ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER OTHER DRAWINGS FOR LAYOUT DIMENSIONS & NUMBER

DIMENSIONS SHOWN ON PLANS ARE TO FACE OF GYPSUM BOARD, CONCRETE COLUMNS OR GRID LINES &

CONTRACTOR SHALL, IN THE WORK OF ALL TRADES, PERFORM ANY & ALL CUTTING, PATCHING RESTORING,

REPAIRING & THE LIKE NECESSARY TO COMPLETE THE WORK & RESTORE & DAMAGED SURFACES RESULTING

FROM THE WORK TO THEIR ORIGINAL CONDITION. ALL ROOF PATCHING SHALL RETURN AREA TO "LIKE NEW"

CONDITION. PRIOR TO BIDDING, G.C. TO VERIFY ANY ROOF WARRANTIES w/LANDLORD & INCLUDE IN CONTRACT.

EACH CONTRACTOR SHALL LEAVE THE SITE IN A NEAT, CLEAN & ORDERLY CONDITION UPON THE COMPLETION

OF HIS WORK ON A DAILY BASIS. ALL WASTE, RUBBISH & EXCESS MATERIALS SHALL BE REMOVED FROM THE

THE GENERAL CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS & FURNISH THE OWNER WITH THE CERTIFICAT

OCCUPANCY. CONTRACTOR TO ALSO PROVIDE A LIST OF NAMES, ADDRESSES & TELEPHONE NUMBERS FOR ALL

SUBCONTRACTORS, INCLUDING ALL OWNER PROVIDED SUBCONTRACTORS. A LETTER OF COMPLIANCE WITH THE

AMERICAN DISABILITY ACT SHALL ALSO BE PROVIDED. ALL ITEMS TO BE PERMANENTLY MOUNTED IN SEPARATE

OWNER'S PROJECT MANAGER. INCLUDE THIS INFORMATION IN THE PROJECT CLOSEOUT PACKAGE.

15. G.C. IS TO CARRY WORKMAN'S COMP. & DISABILITY INSURANCE AS REQUIRED BY NEW YORK STATE.

13. ONE (1) AS BUILT SET OF DRAWINGS SHALL REMAIN ON SITE IN PLAN TUBE HOLDER.

14. THE G.C. & SUB-CONTRACTORS SHALL OBTAIN & PAY FOR ALL REQUIRED PERMITS.

18. ALL DIMENSIONS ARE APPROPRIATE & MAY VARY DUE TO UNSEEN EXISTING CONDITIONS

THE AREA WILL BE MAINTAINED & CLEANED AT THE COMPLETION OF THE WORK.

16.. THE ARCHITECT HAS NOT BEEN RETAINED TO SUPERVISE CONSTRUCTION.

COUNTY OF WESTCHESTER.

8 1/2" x11" PICTURE FRAMES (3 TOTAL) IN MANAGER'S AREA AT FACE HEIGHT, AND ONE COPY PROVIDED TO

PUNCH LIST ITEMS ARE TO BE COMPLETED WITHIN 7 DAYS OF ISSUANCE & PRIOR TO CONSTRUCTION COMPLETION

THE G.C. SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE SITE & ADJOINING PROPERTIES

THE OWNER WILL PROVIDE ALL TEMPORARY POWER, LIGHT, WATER & TELEPHONE DURING THE CONSTRUCTION.

THE USE OF EXISTING TOILETS BY THE WORKMEN WILL BE PERMITTED, WITH THE UNDERSTANDING THAT

DURING THE COURSE OF THE WORK/PROJECT, NO CHANGES TO THE SCOPE WILL BE PERMITTED, UNLESS

ALL ELECTRICAL & PLUMBING WORK TO BE PERFORMED BY SUB-CONTRACTORS WHO ARE LICENSED IN THE

SPECIFICALLY REQUESTED/AUTHORIZED BY EITHER THE ARCHITECT OR DULY AUTHORIZED PERSONNEL.

SITE PROMPTLY. THE GENERAL CONTRACTOR SHALL BE RESPONSBLE FOR REMOVAL & DISPOSAL OF ALL

TRASH, INCLUDING OWNER-FURNISHED ITEMS & TRASH GENERATED BY OWNER'S CONTRACTORS FOR THE

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

OF ITEMS PROVIDED. UPON DISCOVERY OF DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS &

ENGINEERING DRAWINGS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.

FACE OF EXTERIOR MASONRY UNLESS OTHERWISE NOTED OR DETAILED.

LIGHTING, FIRE PROTECTION DEVICES & ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES & ORDINANCES.

"TYP." SHOULD MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. UNLESS

retained for any supervision of the installation of materials at job site. The Contractor shall be responsible for & comply with all applicable

PROPOSED EXTERIOR WALL TO BE INSULATED MAXIMUM R-VALUE

EXISTING

EXISTING TO BE DEMOLISHED

EXISTING PARTITIONS & WALLS

PROPOSED INTERIOR PARTITION

PROPOSED FOUNDATION WALL

REQUIRED

2.5 ST/30'

FRONT YARD

laws & regulations on NYS Energy Code.

COVERAGE

SIDE YARD: ONE 15.0

CODE REVIEW	GYPSUM WALL BOARD NOTES
BUILDING: 2020 RCNYS & ECCCNYS	1. Provide gypsum wallboard materials in sizes & types as indicated on the drawings.
CONSTRUCTION TYPE: 5-B	2. Deliver to the job site in original packages, bearing manufacturer's name.
USE GROUP CLASSIFICATION:	3. Keep materials flat, under cover & out of contact with damp surfaces until ready for use.4. Gold Bond (National Gypsum Co.), U.S. Gypsum Co., Donn products, approved by Architect.
EXISTING: SINGLE FAMILY (R3) PROPOSED: SINGLE FAMILY (R3) CATEGORY OF WORK: NEW ADDITION	5. Follow the manufacturer's instructions for first class workmanship in all respects materials & components, including preparation, layout, alignment, use of power tools, sequence of erection,
ALLOWARIEL CARS:	types & spacings of fasteners, applications of of tape, joint compound, taping compound & fitting around materials & electrical items. Seal & tape all joints, screw holes, nail holes.

LOT SIZE: 20.301sf

2.5ST/32'-4 3/4"

PROPOSED

ONE FAMILY

37.29

20.64

1963sf

81.1

FIRE STOPPING NOTES

Duct & pipe spaces & concealed spaces within partitions, walls, floors, roofs, stairs, furring, pipes spaces, column enclosures, etc. that would permit passage of flame, smoke, fumes or hot gases from one floor to another floor or roof spaces, or from one concealed area to another, shall be filled with

Successive applications (3) of spackling compound, with sanding to achieve a smooth, level

true surface, without waves, dimples or other defects, ready for painting.

- Fire stopping may be of combustible material consisting of wood not less than 2" nominal thickness with tight joints, except that non-combustible fire stopping shall be used in consealed spaces of fire divisions & where in contact with fireplaces, flues & chimneys.
- All hollow partitions & furred out spaces shall be fire stopped at each floor level. Fire stops shall be the full thickness of the hallow furred out spaces.
- Concealed spaces within stairs construction shall be fire stopped between stringers at the top & bottom of each flight of stairs so as not to communicate with spaces in the floor, roof or intermediate landing. Ceilinas that contribute to the required fire resistant rating of a floor or roof assembly shall be
- continuous between exterior walls, vertcal fire divisions, fire separations, corridor partitions or other partitions having at least the same fire resistance rating as the ceiling. The concealed space above such ceiling shall be fire stopped into areas not exceeding 3000sf for the full height of the concealed space.

CARPENTRY NOTES

- All structural lumber shall be Southern Yellow Pine #2 construction grade in sizes as undicated on plans. Grade marked prior to delivery to site.
- Wood beam shall be bridged with 1.1/4" x3" members or solid wood bridging spaced 8'-0" o.c. maximum. A minimum of 2" shall be maintained between all wood joists & beams adjacent to chimneys wood flooring shall be kept 1/2" from chimney.
- Provide all blocking & cutouts as required for medicine cabinets, access doors as required. Plumbing fixtures, H,V,A.C., etc. verify with Architect & Owner prior to start of carpentry work.
- The Carpentry Contractor shall be responsible to the level of all floors, sills, etc. & plumbing of all walls,
- All closets shall contain 1 1/2"dia. clothes pole, with intermediate supports as necessary, & 1"x12" paint grade pine shelf with intermediate supports as required.
- All interior doors shall match existing & shall be finished per Owners spec.
- All finished hardware shall be supplied by the Owner & installed by the Carpentry Contractor. The Carpenter shall be responsible for obtaining all necessary templates, etc. & insure the proper installation of all finished hardware. Carpenter shall provide brass butts, 180 degree swing & minimum 3 per door.

SMOKE DETECTORS NOTES

Detectors shall be either ionization chamber or photolectronic type & to comply with R314.1.1.

- Smoke detectors shall be installed as required by NYS Code Sect. R314 in dwelling units.
- promulgated by the commissioner or listed by an acceptable testing laboratory, such as: a. Underwriters Laboratory — North Brook. IL Units shall be installed in areas designated on plans; they shall be located on or near the ceiling &

Units to be approved by the Board of Standards & Appeals, accepted pursuant to rules & regulations

- within $15^{\circ}-0^{\circ}$ & within any rooms used for sleeping purposes; for dwelling units with multiple levels & when any level has only one means of egress, units shall be provided at all levels. Smoke detectors shall be installed as follows:
- a. Ceiling mounted closest edge of the unit shall be min. of 4" from any wall. b. Wall mounted — closest edge of unit shall be min. of 6" & a max. of 12" from ceiling.

ELECTRICAL NOTES

- The Contractor shall obtain all permits, approvals, affidavits, certificates, etc. & pay all fees as required by the local authorities & Fire Undewriters.
- All work shall be in strict accordance with all local laws & regulations & the National Electrical Code.
- The Contractor shall examine the exist. service & panel to determine it's capacity & condition & verify it's adequacy to serve the existing & the new equipment as indicated on plan. In the event that the Contractor determines that the service is not adequate, he shall provide a separate bid to install a new service & panel.
- All new fixtures shall be furnished by the Owner & installed by the electrical Contractor.
- . All bath, toilet & kitchen type outlets shall be GFI approved type.
- The Contractor shall obtain Electrical Underwriters Certification upon completion of his work.

PLUMBING NOTES

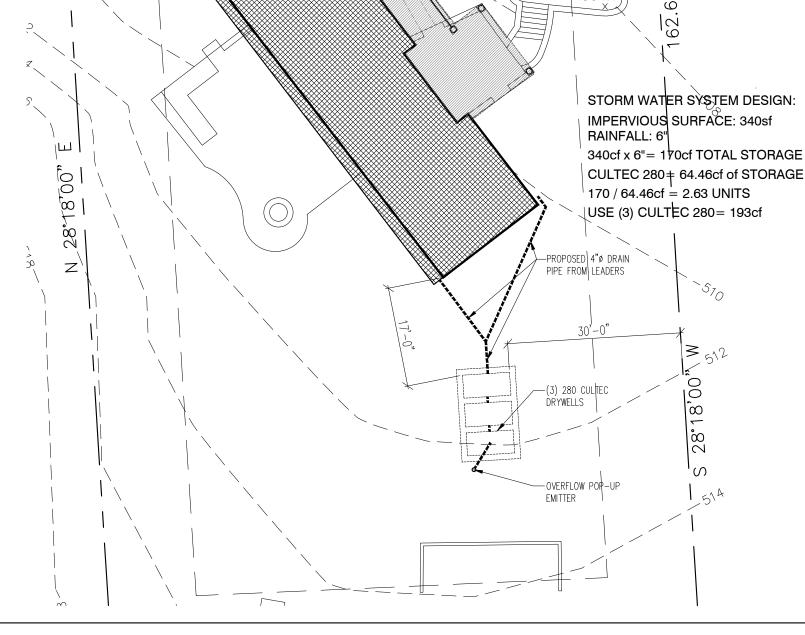
- All plumbing shall be in accordance with the local building construction code.
- The Contractor shall obtain all permits, approvals, affidavits, certifications, etc. & pay all fees as required by the local authorities.
- Provide all final connections, etc. to all fixtures, cases, etc.
- Hot water producing equipment to have a minimum 50 gallon capacity @ 140° & a minimum recovery gap at the water inlet, or a double check valve vented to discharge CO2 gas.

ENERGY CONSERVATION

- Window infiltration shall not exceed .5cfm per linear foot of crack when tested at impact pressure of 25mph wind. Door infiltration shall not exceed 1 cfm per linear foot of crack when tested at impact pressure of 25mph wind. Domestic water heater to have input of 75,000 btus or less with capacity of not less than 20gal. or more than 120gal. with recovery efficiency of 75%.
- Exterior joints around doors & windows, walls & ceilings, etc. shall be caulked, gasketed, weather stripped or otherwise sealed. The building or dwelling unit shall be tested and verified as having an air leakage rate not exceeding three air changes per hour. Testing shall be conducted in accordance with ASTM E 779 or ASTM E 1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be performed at any time after creation of all penetrations of the building thermal envelope. During testing:
- a. Exterior windows and doors, fireplace and stove doors shall be closed, but not sealed, beyond the intended weather—stripping or other infiltration control measures. b. Dampers including exhaust, intake, makeup air, backdraft and flue dampers shall be closed, but not sealed beyond intended
- c. Interior doors, if installed at the time of the test, shall be open. d. Exterior doors for continuous ventilation systems and heat recovery ventilators shall be closed and sealed.
- e. Heating and cooling systems, if installed at the time of the test, shall be turned off. f. Supply and return registers, if installed at the time of the test, shall be fully open.
- Where required by the code official, testing shall be conducted by an approved third party. A written report of the results of the test shall be prepared and signed by the party conducting the test and provided to the code official. The written report shall include: a. the name and place of business of the party conducting the test; b. the address of the building which was tested;
- c. the conditioned floor area of dwelling, calculated in accordance with ANSI Z65, except that conditioned floor area shall include areas where the ceiling height is less than 5 feet (1524 mm); d. measurement of the air volume lost at an internal pressurization of 0.2 inches w.g. (50 Pascals);
- f. a certification by the party conducting the test of the accuracy of the test results; and
- q. the signature of the party conducting the test

Massari Residence

1 Rockwood Place - Armonk, NY



CULTEC No.410 FILTER FABRIC —

6" SCHD.40 PVC 1/4" per ft. PITCH—

CULTEC RECHARGER 330HD: HORIZONTAL DRYWELL CHAMBER-LONG SECTION

└─1 1/2" WASHED STONE FILL ON TOP, SIDE & BASE OF HORIZ. DRYWELL CHAMBER

4" SCHD.40 PVC 1/4" per ft. PITCH

CULTEC No.410 FILTER FABRIC -1 1/2" WASHED STONE FILL ON TOP, SIDE & BASE OF HORIZ. DRYWELL CHAMBER-CULTEC RECHARGER 330HD: HORIZONTAL DRYWELL CHAMBER — 1 1/2" WASHED STONE FILL BASE—

CROSS SECTION

STORM RETENTION SYSTEM

EXCAVATION NOTES

The soil directly underlying footings, foundation piers & foundation walls shall be inspected by the engineer

after excavation & prior to construction of footings. The Dept. of Buildings shall be notified 3 working

days prior to construction of footings. A report of such inspections describing conditions found shall be

Soil value assumed at 2 tons per sq. ft.; subject to building inspectors approval.

filed with the Dept. of Building by the Engineer making the inspections

Difference in footing levels are to be stepped up or down at a 30degree angle.

Bottom of all exterior footing shall be a minimum of 3'-6" below adjoining grade.

Bottom of all footings shall be placed on undisturbed earth — unless otherwise noted.

STRAWBALES OR SILTFENCE

STOCKPILE

EROSION CONTROL MEASURES

FILTER FABRIC FLOW -BACKFILL -NATIVE SOIL TOE-IN METHOD DETAIL "A" INSTALLATION NOTES

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LOT AREA

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BY W.E.JAMES ENGINEERING DATED

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JULY 17, 2020

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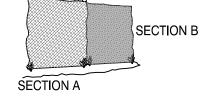
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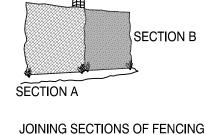
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ADDITION w/ REAR OVER

PETERSON

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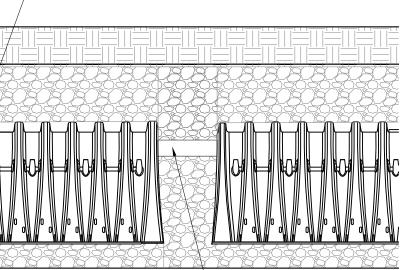
2. UNROLL A SECTION AT A TIME & POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW). 3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.

4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH & TAMP THE SOIL STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH. 5. JOIN SECTIONS AS SHOWN ABOVE

EROSION CONTROL MEASURES: SILT FENCE



SCALE: 1/16"= 1'-0"



SITE PLAN

COUPLER B/A

1. EXCAVATE A 4"x4" TRENCH ALONG THE LOWER PERIMETER OF THE SITE.

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

