



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43
Fax: (914) 273-3554
www.northcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)



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RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 5 Quinby Ridge Road, Armonk, NY _____

Section III- DESCRIPTION OF WORK:

Proposed pool, retaining walls, removal of trees, & site re-grading.

Section III- CONTACT INFORMATION:

APPLICANT: Adam & Andrea Russin Rain Concepts Corp. - Project Manager /designer

ADDRESS: 5 Quinby Ridge Road, Armonk, NY _____

PHONE: _____ MOBILE: 845-494-2551 EMAIL: info@rain-concepts.com
Rain concepts

PROPERTY OWNER: Adam & Andrea Russin _____

ADDRESS: 5 Quinby Ridge Road, Armonk, NY _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL.: John Petroccione P.E. - Engineer _____

ADDRESS: 2 Lake Street, Suite #203 _____

PHONE: _____ MOBILE: _____

EMAIL: jpetroccionepe@yahoo.com info@rain-concepts.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 107.02-2-7 _____



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Site Plan Adam & Andrea Russin

Initial Submittal Revised Preliminary

Street Location: 5 Quinby Ridge Road, Armonk, NY

Zoning District: R-2A Property Acreage: 2.024 Tax Map Parcel ID: 107.02-2-7

Date: 12/28/20

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Site Plan Adam & Andrea Russin Date: 12/28/20

Tax Map Designation or Proposed Lot No.: 107.02-2-7

Gross Lot Coverage

- | | | |
|-----|---|-----------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>2.024 Ac.</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>13,348 Sq. Ft.</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
<u>171</u> x 10 = <u>1,710</u> | <u>1,710 Sq. Ft.</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>15,058 Sq. Ft.</u> |
| 5. | Amount of lot area covered by principal building :
<u>4,664</u> existing + <u>0</u> proposed = | <u>4,664 Sq. Ft.</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>0</u> existing + <u>0</u> proposed = | <u>0 Sq. Ft.</u> |
| 7. | Amount of lot area covered by decks :
<u>1,118</u> existing + <u>481</u> proposed = | <u>1,599 Sq. Ft.</u> |
| 8. | Amount of lot area covered by porches :
<u>0</u> existing + <u>0</u> proposed = | <u>0 Sq. Ft.</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u>7,297</u> existing + <u>0</u> proposed = | <u>7,297 Sq. Ft.</u> |
| 10. | Amount of lot area covered by terraces :
<u>0</u> existing + <u>0</u> proposed = | <u>0 Sq. Ft.</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u>189</u> existing + <u>877</u> proposed = | <u>1,066 Sq. Ft.</u> |
| 12. | Amount of lot area covered by all other structures :
<u>353</u> existing + <u>61</u> proposed = | <u>414 Sq. Ft.</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>15,040 Sq. Ft.</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

3/1/21
Date





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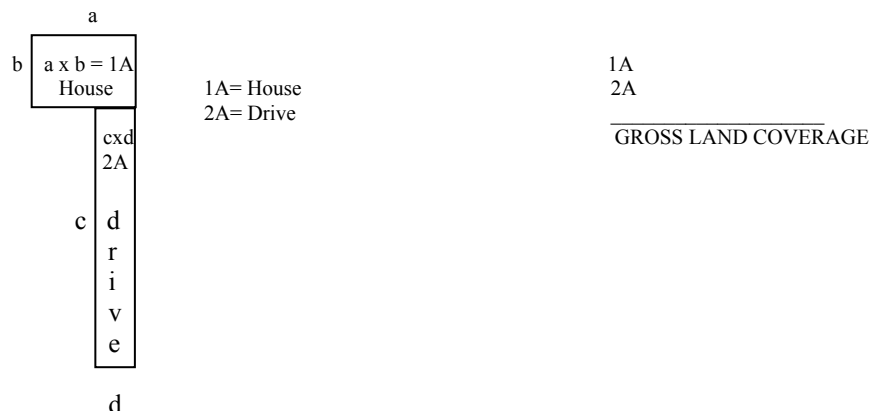
PLANNING DEPARTMENT
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GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.

- PROJECT NOTES:**
- OWNER / APPLICANT:
ADAM & ANDREA RUSSIN
5 QUINBY RIDGE RD,
ARMONK, NY 10504
 - PROJECT SITE ADDRESS:
5 QUINBY RIDGE RD,
ARMONK, NY 10504
 - SURVEY BOUNDARY & TOPOGRAPHY INFORMATION
FROM MAP PREPARED BY:
TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD, PLEASANTVILLE, NY
 - SECTION 107.02 BLOCK 2 LOT 7
TOTAL AREA OF PARCEL = 2.024 ACRES
 - WATERSHED BASIN:
INLAND LONG ISLAND SOUND BASIN
 - USDA SOIL TYPE:
CrC- CHARLTON-CHATFIELD COMPLEX, 0-15% SLOPES, VERY ROCKY
CuD- CHATFIELD-CHARLTON COMPLEX, 15-35% SLOPES, VERY ROCKY
CuD- CHATFIELD-HOLLIS-ROCK OUTCROP COMPLEX, 15-35% SLOPES
AS PER USDA NATIONAL RESOURCES
CONSERVATION SERVICE SOIL SURVEY MAPS
 - TOTAL AREA OF DISTURBANCE = APPROX. 14,000 SF
 - ESTIMATED START DATE: 4/1/2021
ESTIMATED FINISH DATE: 7/1/2021

ZONING TABLE R-2A DISTRICT			
LOT	MINIMUM	EXISTING	PROPOSED
AREA	2.0 ACRES	2.024 ACRES	NO CHANGE
FRONTAGE	150'	88'	NO CHANGE
WIDTH	150'	88'	NO CHANGE
DEPTH	150'	426'	NO CHANGE
YARDS			
FRONT	50'	221'	NO CHANGE
SIDE	30' / 30'	31' / 40'	NO CHANGE
REAR	50'	151'	97'

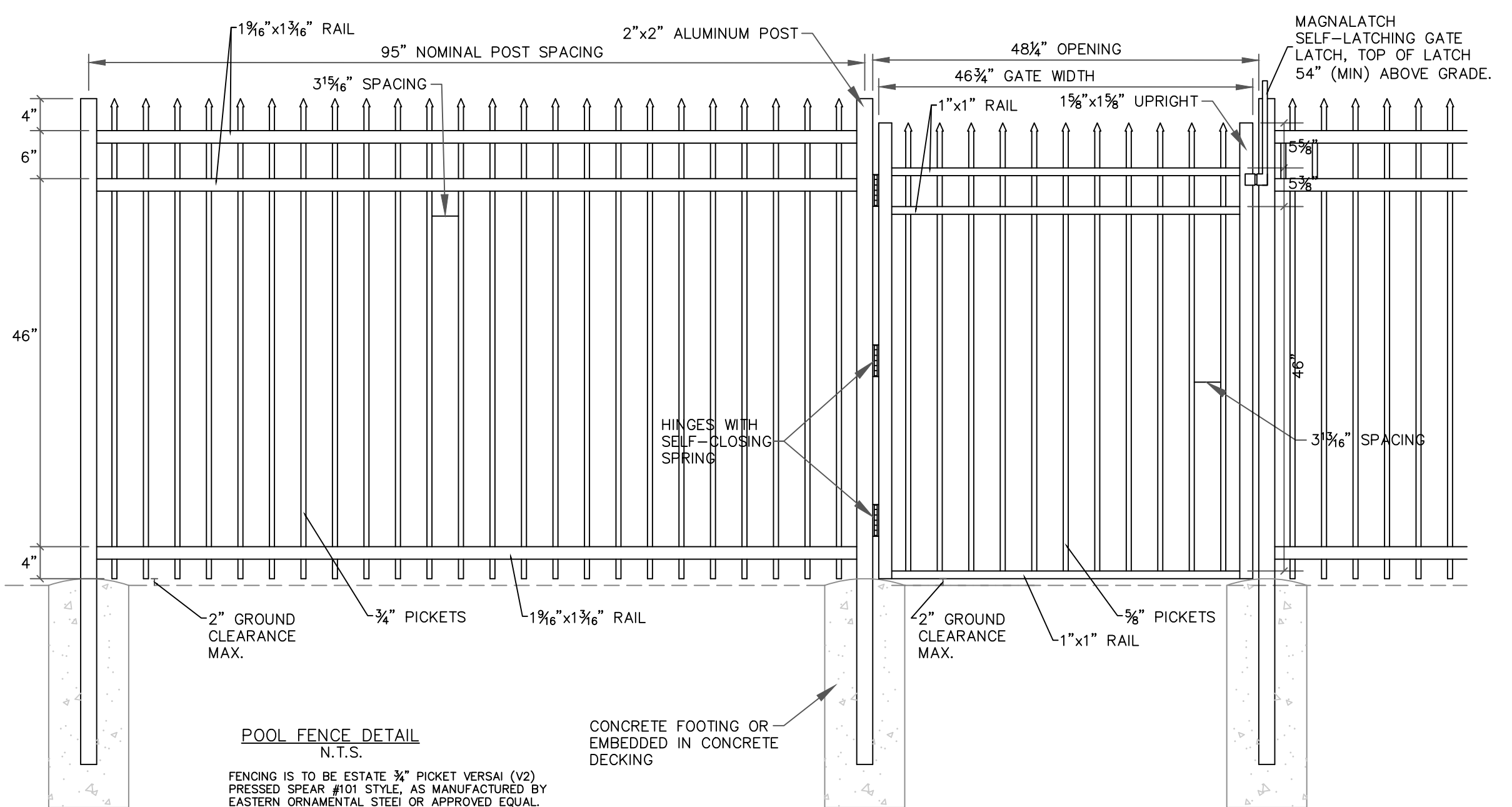
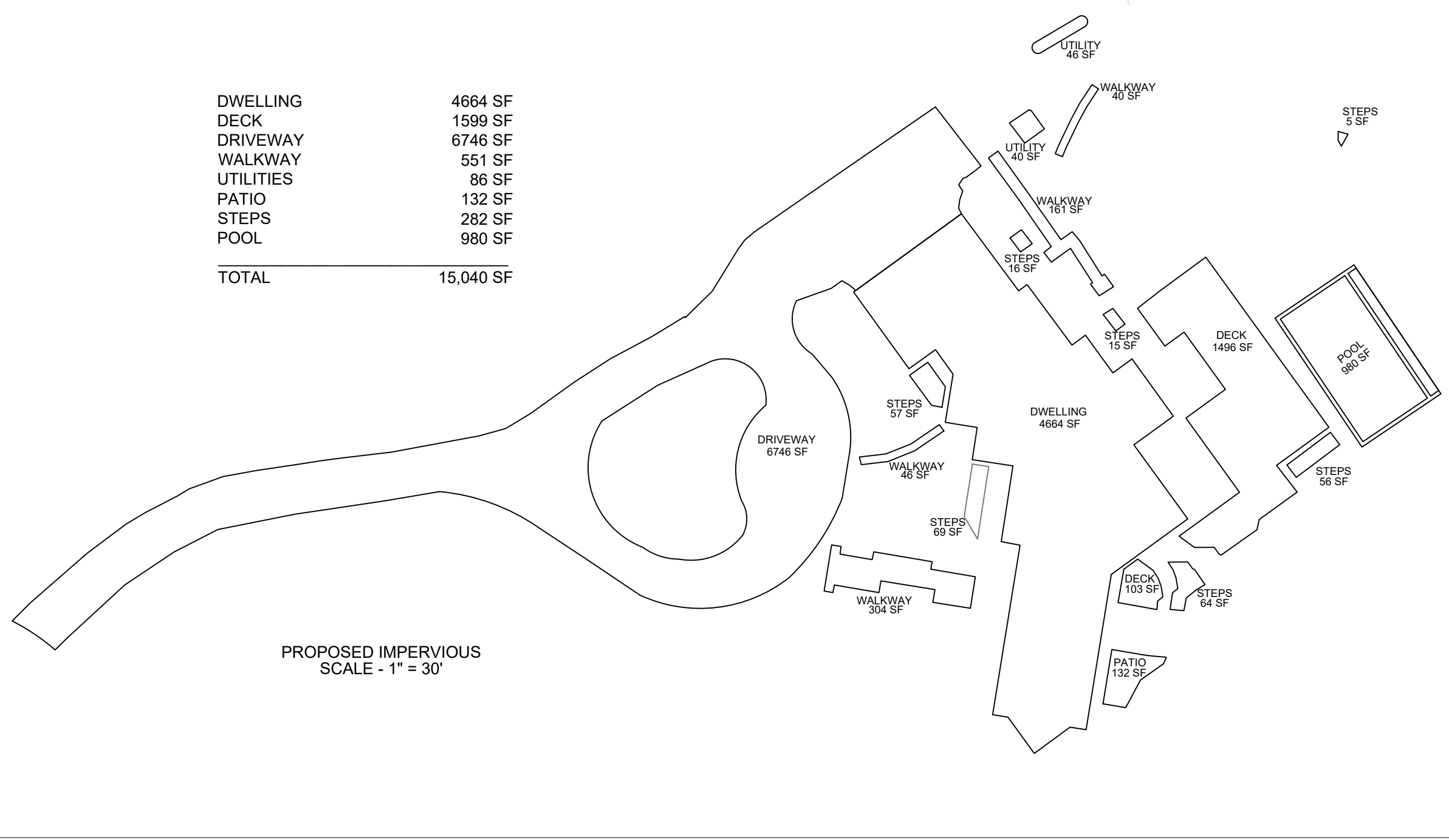
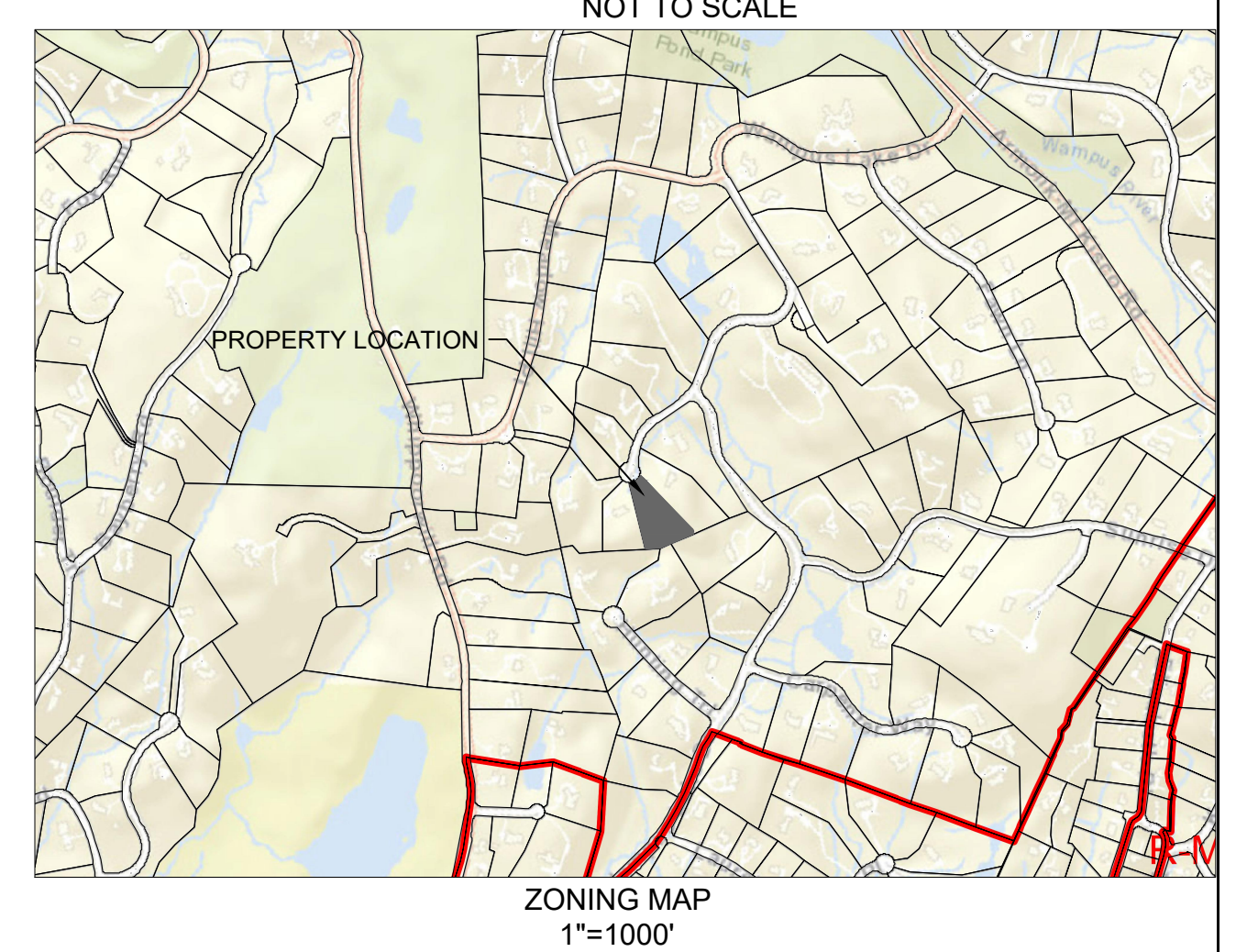
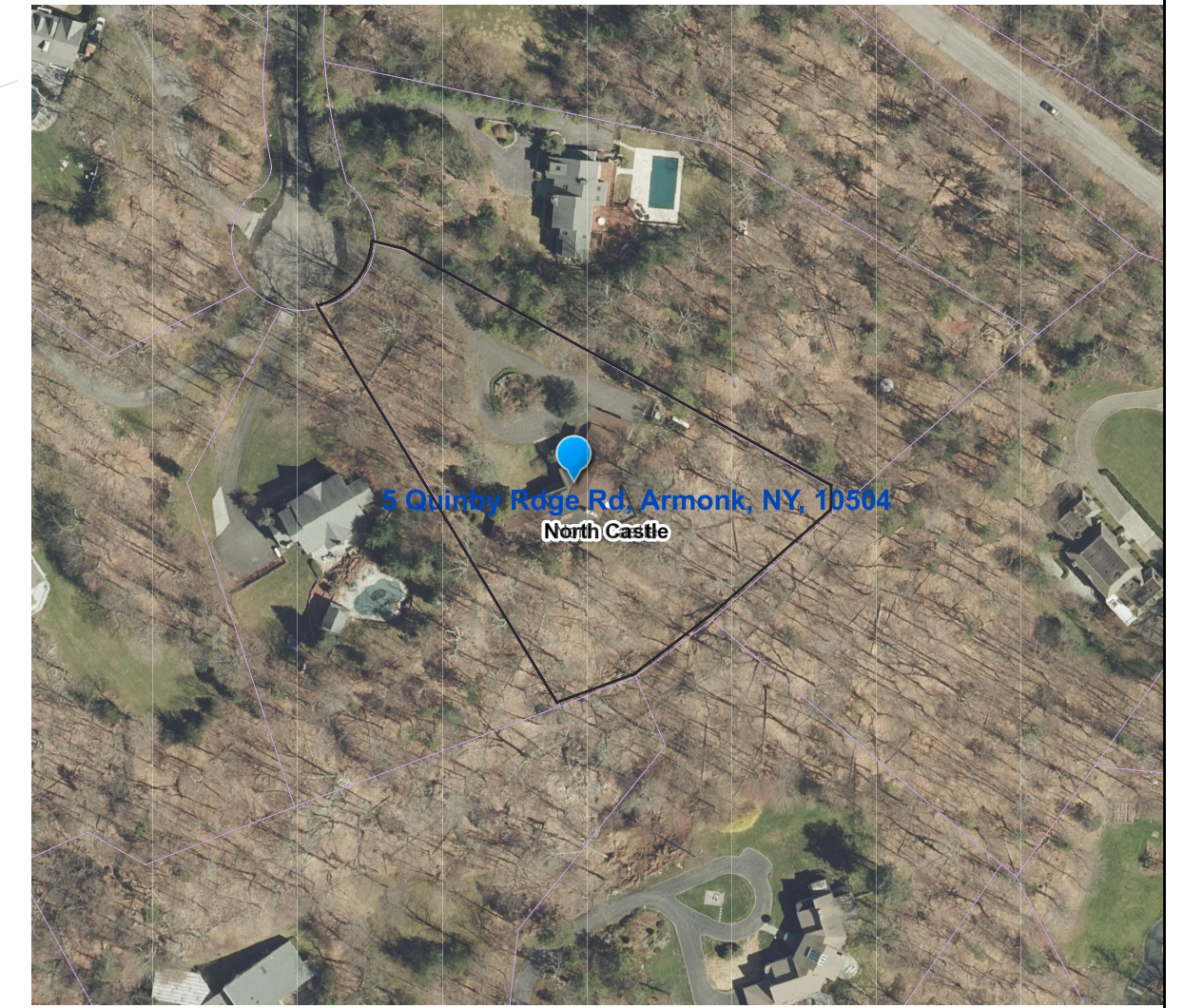
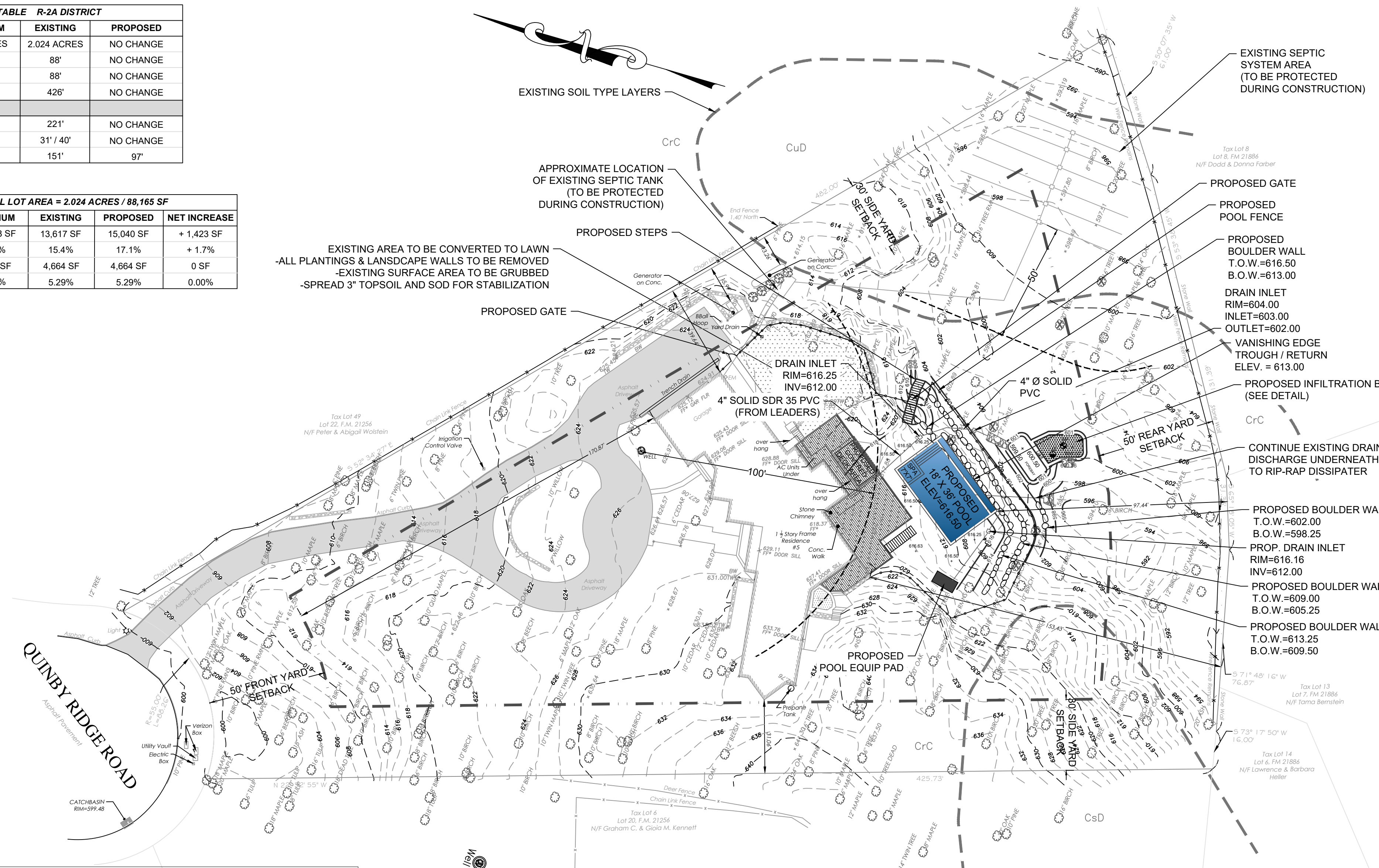
R-2A DISTRICT - TOTAL LOT AREA = 2.024 ACRES / 88,165 SF				
COVERAGE	MAXIMUM	EXISTING	PROPOSED	NET INCREASE
GROSS LAND COVERAGE	15,058 SF	13,617 SF	15,040 SF	+ 1,423 SF
GROSS LAND COVERAGE	17.1%	15.4%	17.1%	+ 1.7%
BUILDING COVERAGE	7,593 SF	4,664 SF	4,664 SF	0 SF
BUILDING COVERAGE	8.00%	5.29%	5.29%	0.00%

PROPOSED CONSTRUCTION SCHEDULE

- OBTAIN PLAN AND PERMIT APPROVALS FROM TOWN OF NORTH CASTLE.
- FIELD STAKE LIMITS OF DISTURBANCE ON AS SHOWN PRIOR TO CONSTRUCTION.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AS SHOWN.
- REMOVE SELECTED TREES & INSTALL SILT FENCING AS SHOWN, CALL FOR INSPECTIONS IF REQUIRED.
- REMOVE EXISTING DECK PORTION, SPA & BOULDER RETAINING WALLS AS SHOWN.
- INSTALL PROPOSED BOULDER RETAINING WALLS AS SHOWN.
- EXCAVATE AND INSTALL POOL & SPA, PERFORM ROUGH GRADING AROUND POOL & SPA.
- GRADE AND INSTALL NEW STEPS.
- PERFORM FINAL SITE GRADING, TOPSOIL, SEED & HAY OR OTHERWISE STABILIZE ALL DISTURBED AREAS, PERFORM FINAL PLANTINGS AS DIRECTED BY LANDSCAPE ARCHITECT.
- AFTER SITE IS DETERMINED TO BE STABILIZED BY TOWN ENGINEER OR AUTHORIZED OTHER, SEDIMENT AND EROSION CONTROLS MAY BE REMOVED.

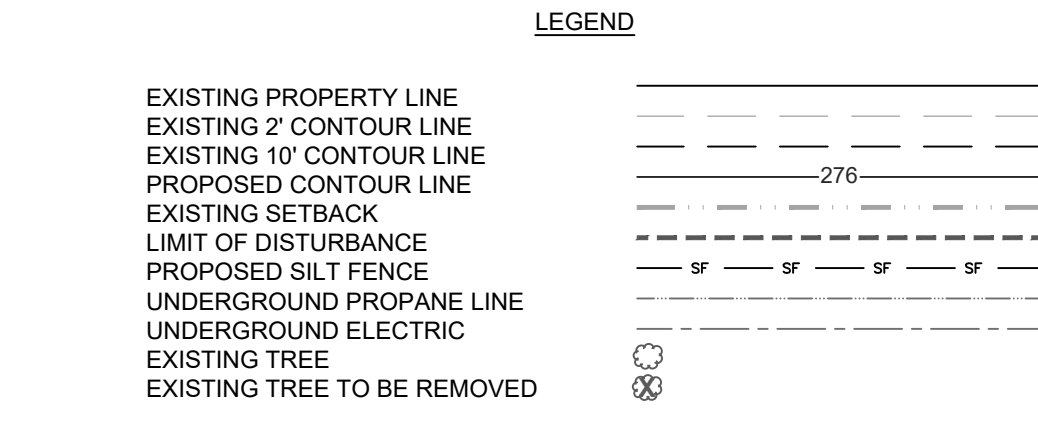
MAINTENANCE SCHEDULE

- ALL EROSION CONTROL PRACTICES WILL BE INSPECTED REGULARLY FOR STABILITY AND OPERATION AT MINIMUM ONCE WITHIN EVERY WEEK OR FOLLOWING ANY SIGNIFICANT RAINFALL EVENT. REPAIRS SHOULD BE MADE IMMEDIATELY UPON NOTICE OF FAILURE.
- SEDIMENT TO BE REMOVED FROM SILT FENCE ONCE LEVELS REACH 50% OF HEIGHT OF EXPOSED FENCE OR BULGES APPEAR.
- ALL DISTURBED AREAS FOR TRENCHING ETC., TO BE BACKFILLED IMMEDIATELY AND ROUGH GRADED.



*CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT POOL FENCING IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE NYS BUILDING CODE

TREE REMOVAL - INVENTORY				
LABEL	SIZE	SPECIES	CONDITION	STATUS
#1	10"	BIRCH	GOOD	TO BE REMOVED
#2	24"	ASH	GOOD	TO BE REMOVED
#3	20"	MAPLE	GOOD	TO BE REMOVED
#4	20"	TREE	GOOD	TO BE REMOVED
#5	16"	TREE	GOOD	TO BE REMOVED
#6	12"	MAPLE	GOOD	TO BE REMOVED



SITE PLAN
ADAM & ANDREA RUSSIN

5 QUINBY RIDGE RD
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NY

487 E MAIN STREET
SUITE # 230
MOUNT KISCO, NY 10549
P/F: 1-800-786-1909
WWW.RAIN-CONCEPTS.COM
INFO@RAIN-CONCEPTS.COM

STATE OF NEW YORK
JOHN PETROCCIONE P.E. LICENSE NO. 078516
DATE: 3/1/21
UNAUTHORIZED ALTERATION OF ANY PART OF THIS PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

JOHN PETROCCIONE P.E.
LICENSE NO. 078516
129 NEPTUNE DRIVE, MONROE, NEW YORK 10950

REVISIONS:	
03/01/21	RPRC RETURN
12/16/20	INITIAL PREPARATION

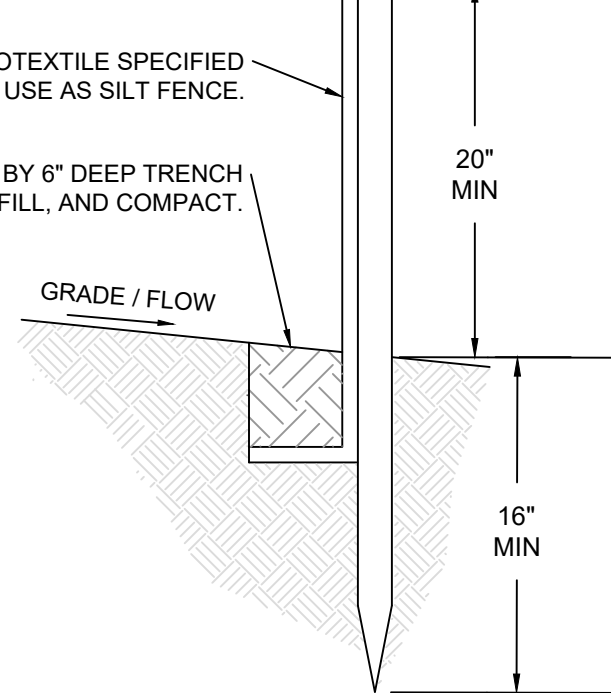
SCALE = 1" = 30' SHEET 1 OF 3

- PROJECT NOTES:**
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C-C- CHARLTON-CHATFIELD COMPLEX, 0-15% SLOPES, VERY ROCKY
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AS PER USDA NATIONAL RESOURCES
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 - TOTAL AREA OF DISTURBANCE = APPROX. 14,000 SF
 - ESTIMATED START DATE: 4/1/2021
ESTIMATED FINISH DATE: 7/1/2021

SILT FENCE NOTES:

- FILTER FABRIC TO BE FASTENED SECURELY TO POSTS WITH STAPLES WITH MAXIMUM SPACING 8" ON CENTER.
- ALL SILT FENCE SHALL RUN PARALLEL TO CONTOURS.
- ALL SILT FENCE SHALL MEET THE MINIMUM REQUIREMENTS AS STATED UNLESS OTHERWISE NOTED AND APPROVED BY THE BUILDING INSPECTOR OR ENGINEER
- WHEN TWO SECTIONS OF SILT FENCE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN SEDIMENT LEVELS REACH 1/2 HEIGHT OF EXPOSED FENCE OR BULGES APPEAR.
- PREFABRICATED UNITS: ENVIROFENCE, GEOFAB, OR APPROVED EQUAL, MAY BE USED IN LIEU OF THE ABOVE METHOD PROVIDING THE UNIT IS INSTALLED AS PER ABOVE DETAIL.
- FENCE POSTS (FOR PREFAB UNITS): THE LENGTH SHALL BE MIN 36" WITH WOOD POSTS OF SOUND HARDWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQIN. STEEL POSTS SHALL BE 1.5" DIA AND U SECTIONS WEIGHING NO LESS THAN 1 LB PER LINEAL FT.

HARDWOOD FENCE POSTS
SPACED 8' O.C. MAX.



SLOPE STEEPNESS	MAX LENGTH
2:1	25
3:1	50
4:1	75
5:1 OR FLATTER	100

**FILTER FABRIC
SILT FENCE DETAIL
N.T.S.**

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INFILTRATION RATE CALCULATIONS

PERCOLATION TEST DATA

HOLE DIAMETER = 6 IN.
MEASURED DROP = 9 IN.
TIME FOR DROP = 3 MIN.

DETERMINE INFILTRATIVE SURFACE AREA

BOTTOM AREA = $\pi R^2 = 0.20$ SF

MEASURED DROP = 9 IN.
AREA OF PERCOLATION HOLE = 0.20 SF
VOLUME = 0.14726 CF

INFILTRATION RATE IS THEREFORE:
 $\frac{0.14726 \text{ CF}}{0.20 \text{ SF}} = 0.7363 \text{ CF/SF/HR}$
 $= 180.000 \text{ IN/HR}$

REDUCING THIS VALUE TO 75%, TO ACCOUNT FOR SOIL CLOGGING, YIELDS:
 $= 135.000 \text{ IN/HR}$

25 YEAR / 24 HOUR CALCULATIONS

REQUIRED RAINFALL AMOUNT = 6.470 IN
TRIBUTARY IMPERVIOUS AREA = 1255 SF
CF / SF 24 HOUR SATURATION = 270.00 CF/SF 24 HR
TOTAL TRIBUTARY RUNOFF = 677 CF
REQUIRED BOTTOM SURFACE AREA = 2.51 SF

WATER QUALITY VOLUM CALCULATIONS

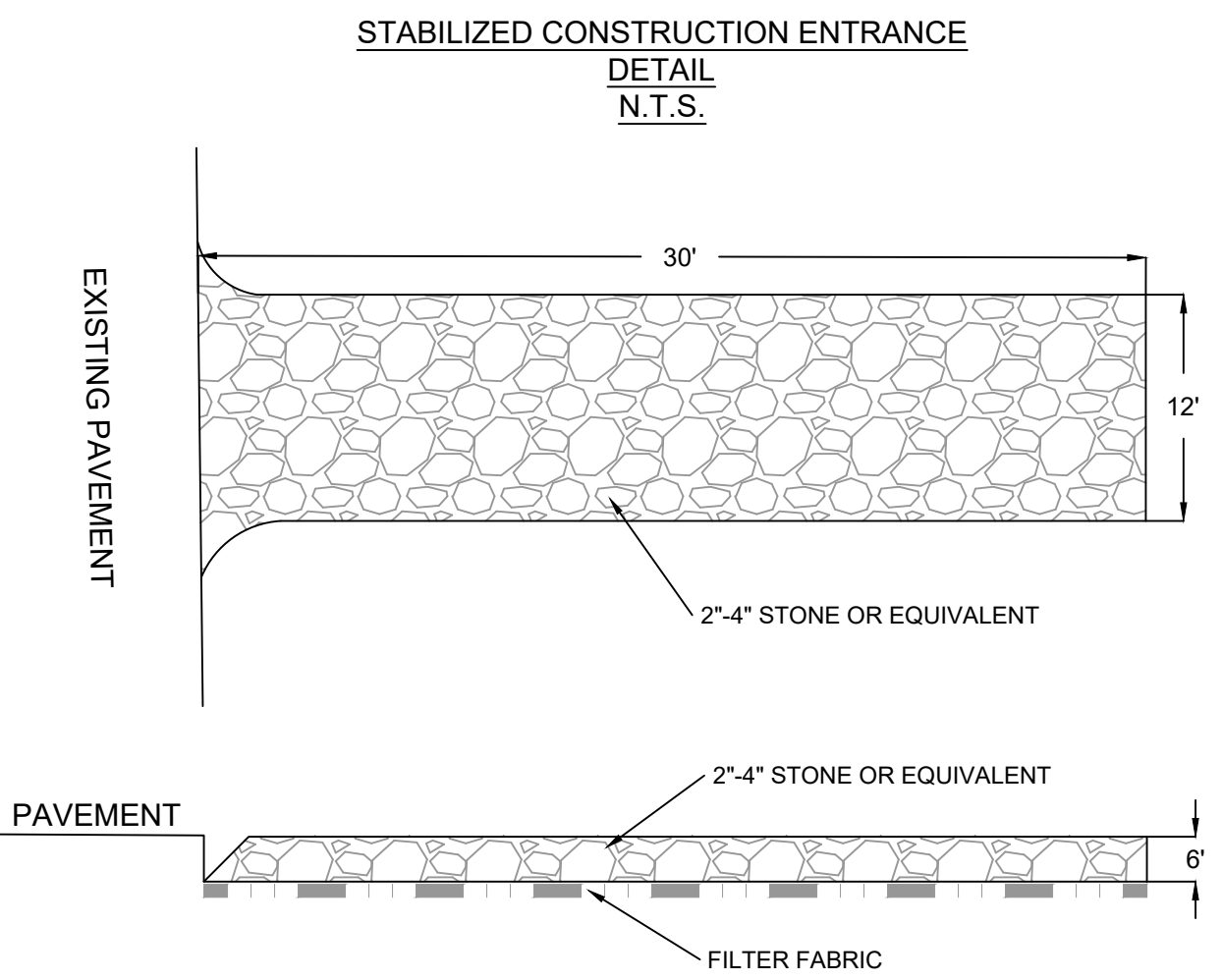
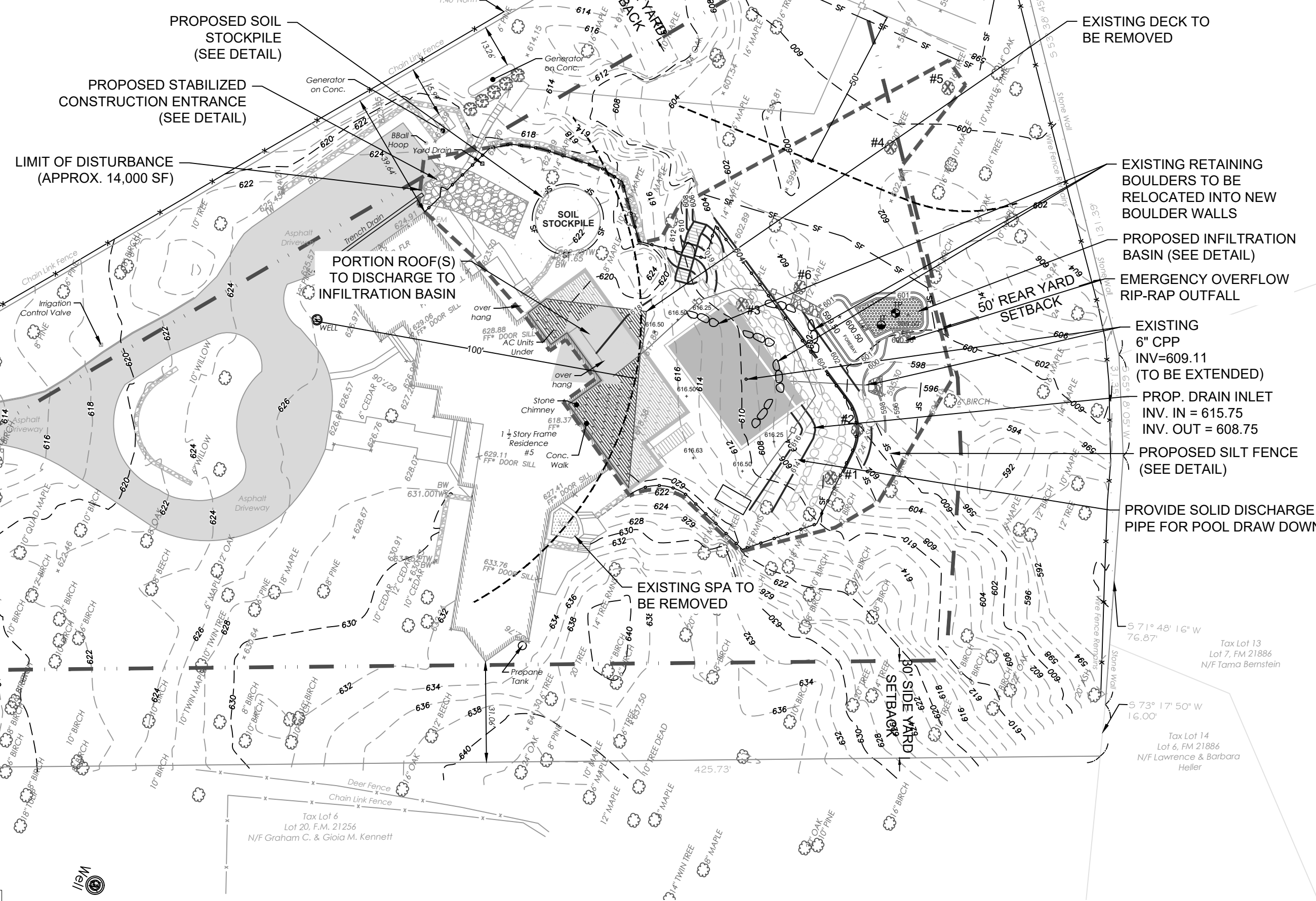
$WQv1 = (P)(Rv)(A)$
 12
WATER QUALITY VOLUME = 0.003563 ACRE FEET
TOTAL WQV VOLUME REQUIRED = 155.18 CUBIC FEET

A IMPERVIOUS AREA = 0.03 ACRES
P WESTCHESTER COUNTY = 1.5 INCH RAINFALL
 $Rv = 0.05 + 0.009 | I = 0.05 + (0.009)(100) = 0.95$

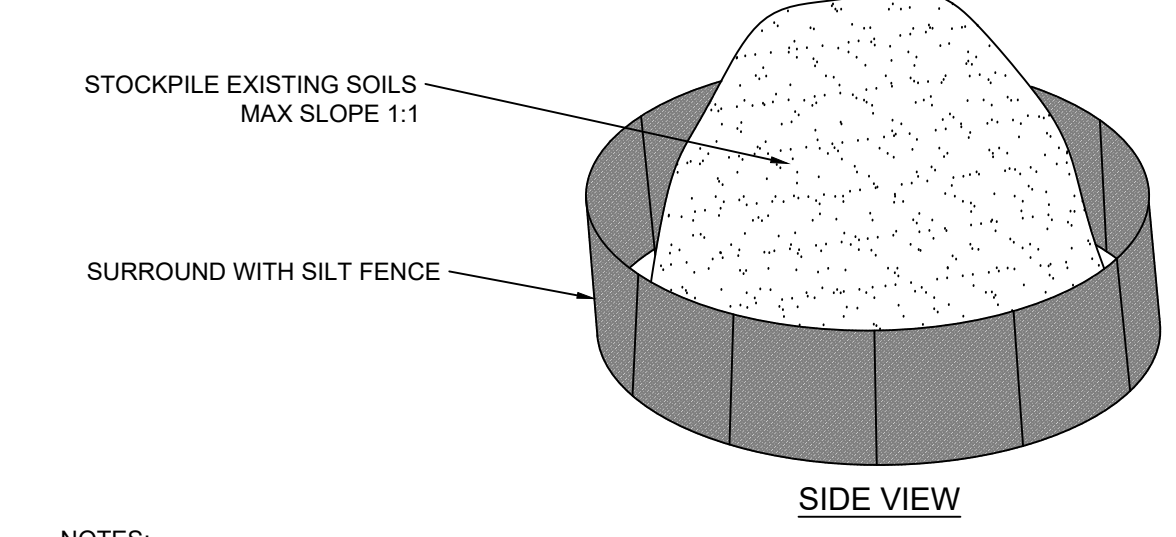
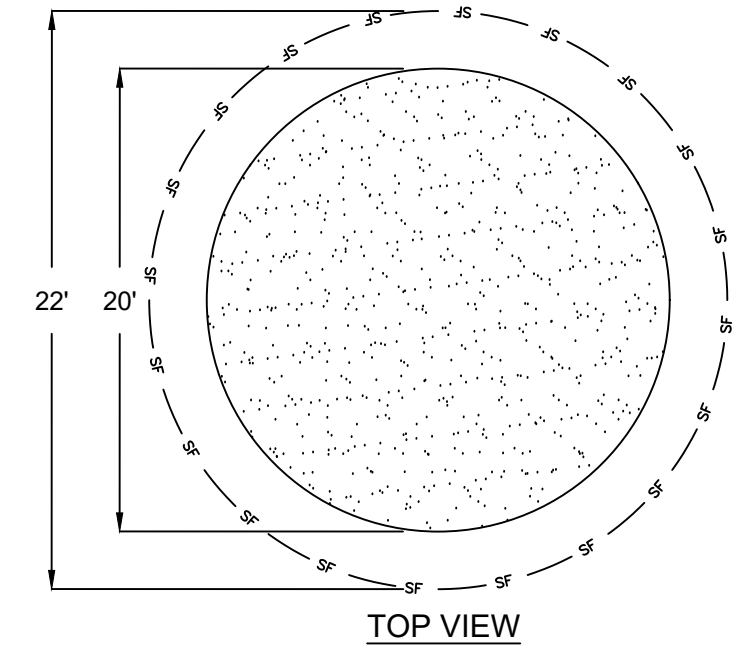
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#5	16"	TREE	GOOD	TO BE REMOVED
#6	12"	MAPLE	GOOD	TO BE REMOVED

LEGEND

- EXISTING PROPERTY LINE
- EXISTING 2' CONTOUR LINE
- EXISTING 10' CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING SETBACK
- LIMIT OF DISTURBANCE
- PROPOSED SILT FENCE
- UNDERGROUND PROPANE LINE
- UNDERGROUND ELECTRIC
- EXISTING TREE
- EXISTING TREE TO BE REMOVED

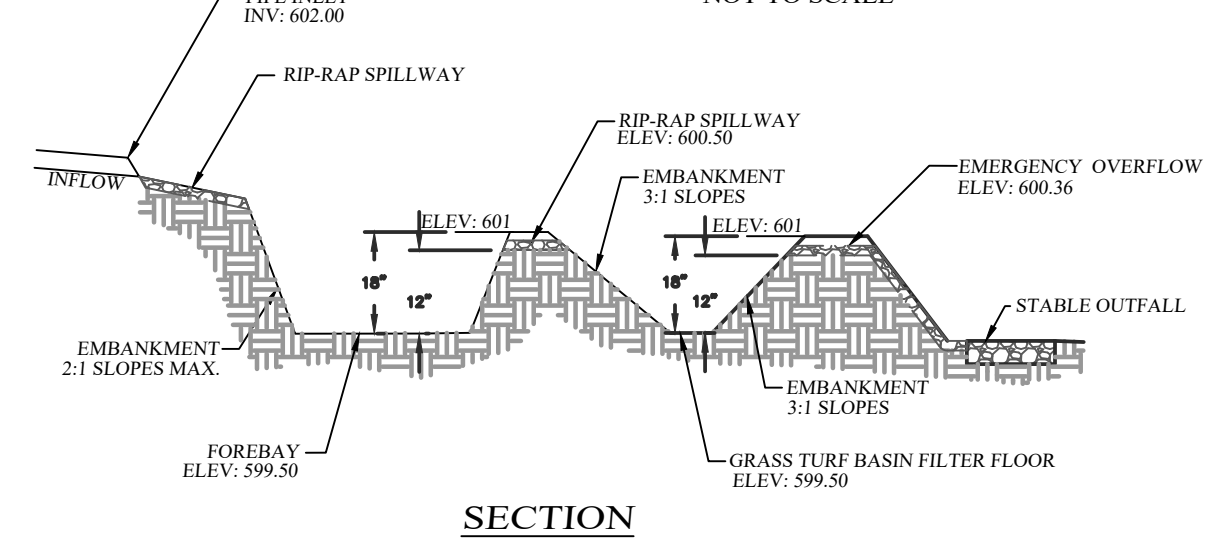


- NOTES:**
- USE 2" TO 4" STONE OR RECLAIMED CONCRETE EQUIVALENT.
 - MINIMUM ENTRANCE LENGTH 30', MINIMUM ENTRANCE WIDTH 13', FOR RESIDENTIAL APPLICATIONS
 - MINIMUM GRAVEL DEPTH NOT LESS THAN 6"
 - WOVEN GEO-TEXTILE FABRIC TO BE PLACED OVER ENTIRE AREA BEFORE STONE IS PLACED. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACING OF SOILS OR SEDIMENT ONTO PUBLIC ROADWAYS. ANY OR ALL SEDIMENT TRACKED ONTO ROADWAY SHOULD BE REMOVED ACCORDINGLY.
 - NO VEHICLE WASHING IS PERMITTED ON OR AROUND CONSTRUCTION ENTRANCE. PERFORM PERIODIC INSPECTIONS AS NEEDED, REMOVE AND REPLACE GRAVEL AS RECOMMENDED FROM SUCH INSPECTIONS.



- NOTES:**
- STOCKPILE SOILS MAX SLOPE 1:1
 - SURROUND SOIL STOCKPILE COMPLETELY WITH SILT FENCE TO BE INSTALLED AS PER SILT FENCE DETAIL PROVIDED.
 - WHEN REMOVAL OF SILT FENCE IS REQUIRED TO ACCESS SOILS SILT FENCE MUST BE REPLACED IMMEDIATELY OR BEFORE END OF WORK SAME DAY. SILT FENCE IS TO BE REPLACED IF BULGES OR DAMAGE APPEARS.
 - IF STOCKPILE WILL REMAIN DORMANT FOR PERIOD OF 3 MONTHS OR MORE IT SHOULD BE COVERED WITH TARP OR SEEDED TEMPORARILY TO REDUCE POSSIBLE EROSION.

INFILTRATION BASIN DETAIL
NOT TO SCALE



IMPERVIOUS AREA AND WATER QUALITY (WQV) CALCULATION

TOTAL PROPOSED IMPERVIOUS AREA TRIBUTARY TO INFILTRATION BASIN = 0.03 ACRE
TOTAL SITE AREA TRIBUTARY TO INFILTRATION BASIN = 0.03 ACRE
I, % IMPERVIOUS AREA = $0.03 / 0.03 = 1.0 = 100\%$
P, WESTCHESTER CTY = 1.5 IN. = 0.125 FT.
 $Rv = 0.05 + 0.009 | I = 0.05 + (0.009)(100) = 0.95$
 $WQv1 = (P)(Rv)(A) = (1.25)(0.95)(0.03) = 0.003563 \text{ ACRE-FT} = 155.18 \text{ CF}$
FOREBAY WQv1 VOLUME PROVIDED = $(19' \text{ long})(8.5' \text{ wide})(12' \text{ deep}) = 161.5 \text{ CF}$

INFILTRATION BASIN SURFACE AREA

REQUIRED SURFACE AREA = 2.51 SF
SURFACE AREA PROVIDED = 180 SF

TEST PIT DATA TP		INFILTRATION TEST DATA IT	
TEST PIT #1		INFILTRATION TEST #1 (24" DEPTH)	
0"-12"	TOPSOIL	3 MIN = 12" DROP	
12"-40"	MEDIUM TO COMPACT SANDY LOAM W/ ROCKS	3 MIN = 11" DROP	
	BEDROCK @ 40"	3 MIN = 10" DROP	
	NO GROUNDWATER	3 MIN = 9" DROP	
		USE 180"/HR	
*TOTAL DEPTH 40"		Done by: Rain Concepts Witnessed by: Kellard Sessions Eng.	

STORMWATER CALCULATIONS

TOTAL PROPOSED NET INCREASE IMPERVIOUS = 1,255 SF

AREAS OF INCREASED IMPERVIOUS
DECK AREA = 313 SF
POOL AREA = 980 SF
STEPS AREA = 61 SF

TOTAL AREA = 1,255 SF

POOL DRAWDOWN CALCULATIONS

TOTAL VOLUME OF DRAWDOWN = 324 CF
AREA OF POOL = 18 X 36 = 648 SF
POOL DRAWDOWN AMOUNT = 6"
648 SF X 0.5' = 324 CF

TOTAL STORAGE PROVIDED = 341.5 CF

FOREBAY VOLUME = 161.5 CF
INFILTRATION BASIN VOLUME = 180 CF

TOTAL VOLUME = 161.5 + 180 = 341.5 CF

EROSION/STORMWATER & REMOVALS PLAN
ADAM & ANDREA RUSSIN
5 QUINBY RIDGE RD
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NY

487 E MAIN STREET
SUITE # 230
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JOHN PETROCCIONE P.E.
LICENSE NO. 078516
129 NEPTUNE DRIVE, MONROE, NEW YORK 10950

REVISIONS:
03/01/21 RPRC RETURN
12/16/20 INITIAL PREPARATION

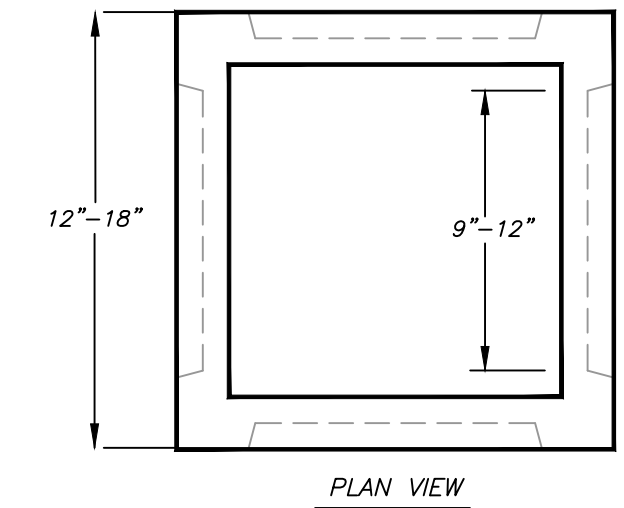
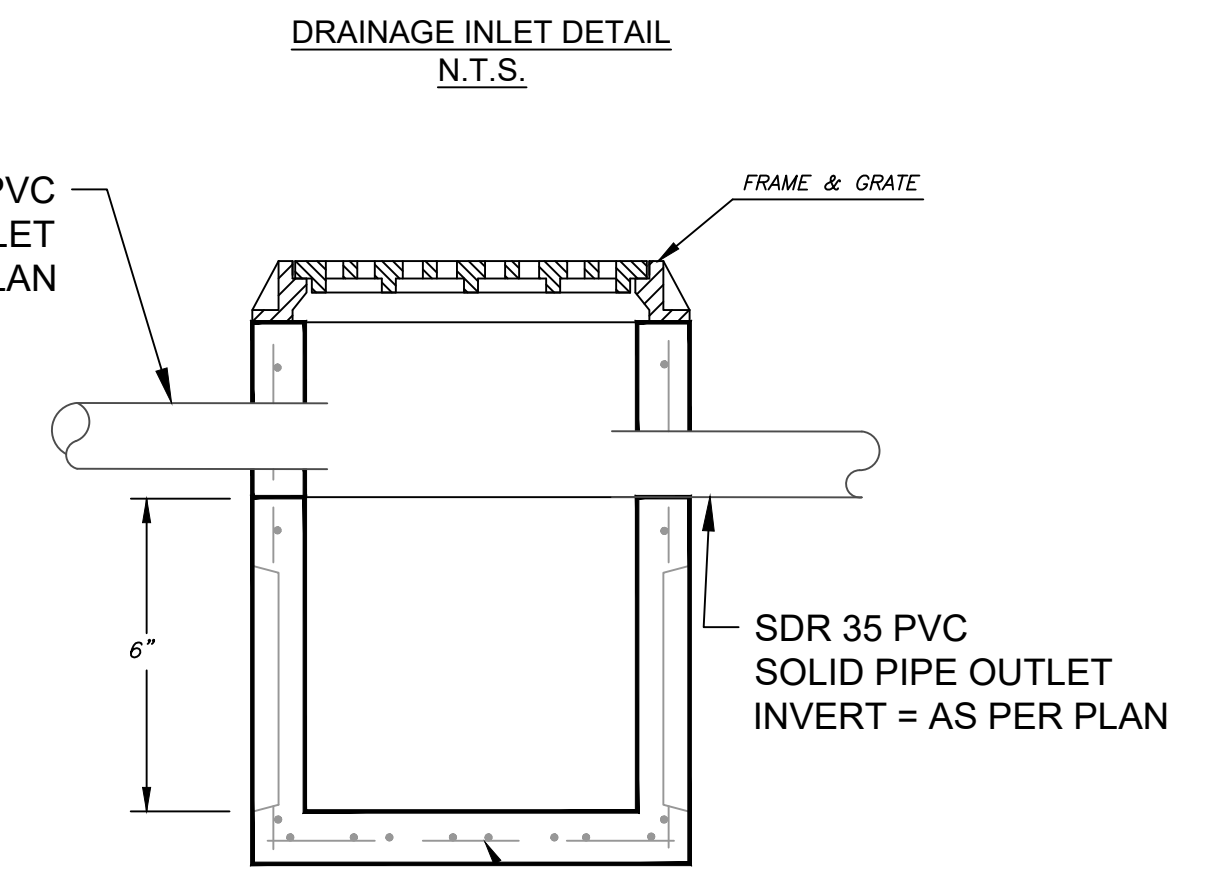
SCALE = 1" = 30'
SHEET 2 OF 3

EXISTING AREA TO BE CONVERTED TO LAWN
 -ALL PLANTINGS & LANDSCAPE WALLS TO BE REMOVED
 -EXISTING SURFACE AREA TO BE GRUBBED
 -SPREAD 3" TOPSOIL AND SOD FOR STABILIZATION

PROPOSED GATE
 PROPOSED POOL FENCE

APPROXIMATE LOCATION OF EXISTING SEPTIC TANK (TO BE PROTECTED DURING CONSTRUCTION)

LIMIT OF DISTURBANCE (APPROX. 14,000 SF)



DRAIN INLET
 RIM=604.00
 INLET=603.00
 OUTLET=602.00

PROPOSED INFILTRATION BASIN (SEE DETAIL)

EMERGENCY OVERFLOW RIP-RAP OUTFALL
 ELEV= 600.36

PROPOSED 4" SOLID SDR 35 PVC

EXISTING DRAINAGE PIPE EXTENDED (PROVIDE RIP-RAP)

PROPOSED BOULDER WALL
 T.O.W.=602.00
 B.O.W.=598.25

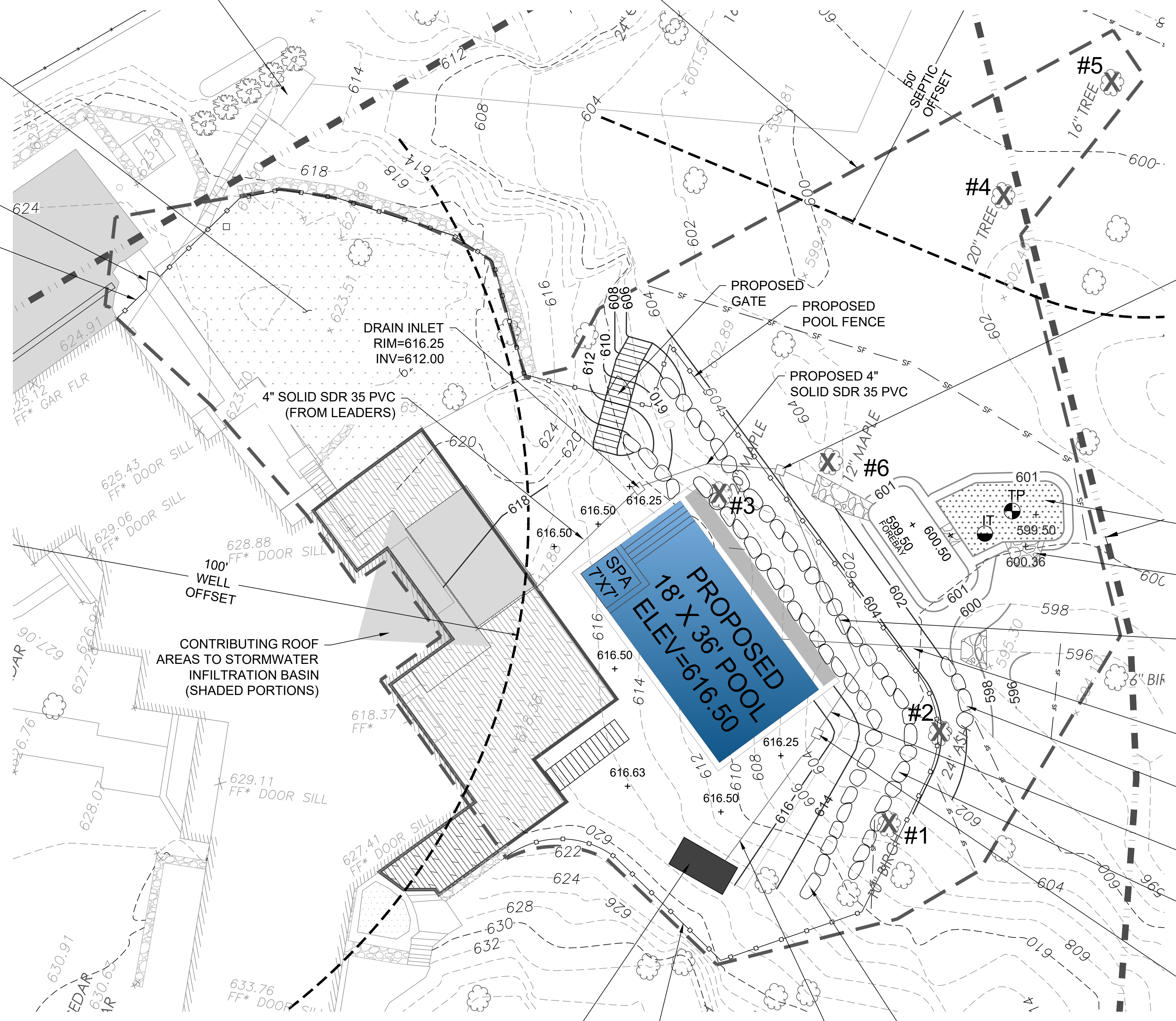
PROPOSED 4" SOLID SDR 35 PVC

PROPOSED BOULDER WALL
 T.O.W.=609.00
 B.O.W.=605.25

PROP. DRAIN INLET
 INV. IN = 616.36
 INV. OUT = 609.75

PROPOSED BOULDER WALL
 T.O.W.=613.25
 B.O.W.=609.50

PROVIDE SOLID DISCHARGE PIPE FOR POOL DRAW DOWN



DRAIN INLET
 RIM=616.25
 INV=612.00
 4" SOLID SDR 35 PVC (FROM LEADERS)

CONTRIBUTING ROOF AREAS TO STORMWATER INFILTRATION BASIN (SHADED PORTIONS)

100' WELL OFFSET

PROPOSED 18' X 36' POOL
 SPA 7' X 7'
 ELEV=616.50

PROPOSED POOL EQUIP PAD

PROPOSED POOL FENCE

EXPANDED VIEW

ADAM & ANDREA RUSSIN
 5 QUINBY RIDGE RD
 TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY, NY

487 E MAIN STREET
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 MOUNT KISCO, NY 10549
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RAIN CONCEPTS

STATE OF NEW YORK
 JOHN PETROCCIONE P.E. LICENSE NO 078516 DATE 3/1/21
 UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

JOHN PETROCCIONE P.E.
 LICENSE NO. 078516
 2 LAKE STREET, SUITE 203
 MONROE, NEW YORK 10950

REVISIONS:

03/01/21	RPRC RETURN
----------	-------------

SCALE = 1"=10' SHEET 3 OF 3

ABBREVIATIONS

ADA	AMERICANS WITH DISABILITIES ACT
ADJ	ADJACENT, ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
ANOD ALUM	ANODIZED ALUMINUM
APPRVD	APPROVED
ARCH	ARCHITECTURAL
AVG	AVERAGE
BATT	BLANKET INSULATION
BD	BOARD
BLDG	BUILDING
BR. RM	BEDROOM, ROOM
CAB	CABINET
CLG	CEILING
CER	CERAMIC
CHAN	CHANNEL
CIR	CIRCLE, CIRCULAR
CL	CENTERLINE
CLOS	CLOSET
CLR	CLEAR
CO	CARBON MONOXIDE
COL	COLUMN
COM	COMMERCIAL
CONC	CONCRETE
CONS	CONSTRUCTION
CONT	CONTINUOUS
CTR	CENTER
D	DEEP, DEPTH, DRAIN
DB	DECIBEL
DBL	DOUBLE
DED	DEDICATED
DEMO	DEMOLITION
DET, DTL	DETAIL
DIA, M	DIAMETER
DIM(S)	DIMENSION
DIST	DISTANCE
DN	DOWN
DR(S)	DOOR, DOORS
DW	DISHWASHER
DWG	DRAWING
ECC	ENERGY CONSERVATION CODE
EMER.	EMERGENCY
EF	EXHAUST FAN
ELEV	ELEVATION
ELEC	ELECTRICAL
EP (PNL)	ELECTRICAL PANEL
EQ	EQUAL
EQUIP	EQUIPMENT
EXIST'G	EXISTING
EXT	EXTERIOR, EXTENSION
FA	FIRE ALARM
FAR	FLOOR AREA RATIO
FEC	FIRE EXTINGUISHER CABINET
FIN	FINISH(ED)
FL, FLR	FLOOR
FIXT	FIXTURE
FR	FRAME, FIRE RATED
FTG	FOOTING
FURN	FURNITURE
G	ING
GA	GAUGE
GAL	GALLONS
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GFI	GROUND FAULT INTERRUPTER
GYP BD	GYPSONUM WALL BOARD
HD	HEAD
HDR	HEADER
HMM	HOLLOW METAL
HOR (I/2)	HORIZONTAL
H, HT	HEIGHT
HVAC	HEAT VENTILATION & AIR CONDITIONING
IN	INCH
INSUL	INSULATION
INT	INTERIOR
JAN	JANITORIAL
K	KELVIN, THOUSAND
L	LENGTH
LAV	LAVATORY
LF	LINEAR FEET
LH, RH(R)	LEFT, RIGHT HAND (REVERSE)
LT, LITE	LIGHT(S)
LVL	LAM. VENEER LUMBER
LVR	LOUVER
MAX, MIN	MAXIMUM, MINIMUM
MDF	MEDIUM DENSITY FIBER BOARD
MECH	MECHANICAL
MEZ	MEZZANINE
MTD	MOUNTED
MTL	METAL
MW	MICROWAVE
NA, N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
PDB	PARTICLE BOARD
PERF	PERFORATED
PERM	PERMANENT
P LAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
PTN	PARTITION
PSI, F	LBS PER SQUARE INCH, FOOT
PSL	PARALLEL STRAND LUMBER
PTAC	PACKAGE TERMINAL AIR UNIT
QUAD	QUADRUPLEX OUTLET
RAD, R	RADIUS
RCP	REFLECTED CEILING PLAN
REF	REFRIGERATOR
REQ, D	REQUIRED
RES	RESIDENTIAL
SC	SOLID CORE, SELF-CLOSING
SD	SMOKE DETECTOR
SF, SQ FT	SQUARE FEET
SIM	SIMILAR
SJNT	SEALANT
STL, ST	STAINLESS STEEL
SPECS	SPECIFICATIONS
SPRK	SPRINKLER
STD	STANDARD
STRUCT	STRUCTURAL
T	THERMOSTAT
TBD	TO BE DETERMINED
TEMP	TEMPORARY, TEMPERED
THK	THICKNESS
TRJ	TRUSS JOIST
TYF	TYPICAL
UNLESS OTHERWISE NOTED	
VCT	VINYL COMPOSITE TILE
VIF	VERIFY IN FIELD
W	WIDTH
W/WO	WITH, WITHOUT
WC	WATER CLOSET
WD	WASHER & DRYER
WOOD	WOOD
WH	WATER HEATER
WP	WATERPROOF
WT	WEIGHT

GENERAL NOTES

- THE G.C. SHALL PROMPTLY REPORT TO ARCHITECT ANY DISCREPANCIES OR DEFECTS IN THE CONSTRUCTION DOCUMENTS OR ANY RELATED DOCUMENTS THAT WOULD RENDER THEM UNSUITABLE FOR PROPER EXECUTION PRIOR TO PROCEEDING. FAILURE OF THE G.C. AND SUBCONTRACTORS TO REPORT DISCREPANCIES OR DEFECTS SHALL CONSTITUTE AN ACKNOWLEDGMENT THAT THE CONSTRUCTION WORK PERFORMED IS FIT OR SYSTEMS PROPERLY INSTALLED AS PER THE MANUFACTURER'S SPECIFICATIONS AND IN FULL COMPLIANCE WITH ALL GOVERNING AGENCY REQUIREMENTS.
- SHEETS WITHOUT BOTH ARCHITECT'S SEAL & SIGNATURE ARE NOT FOR CONSTRUCTION.
- ALTERATION OF THESE DOCUMENTS IS PROHIBITED. THE G.C. SHALL INDEMNIFY & HOLD DSB PLUS LLC HARMLESS FOR ANY & ALL LIABILITY IN PERPETUITY FOR UNAUTHORIZED USE OF THESE DRAWINGS IN RELATION TO THIS OR ANY OTHER PROJECT BY G.C..
- ALL WORK TO BE BUILT FROM SHOP DRAWINGS SUBMITTED FOR APPROVAL TO ARCHITECTS AND CORRESPONDING ENGINEERS.
- THE G.C. SHALL REQUEST STRUCTURAL ENGINEERING CONSULTATION SHOULD ANY STRUCTURAL WORK, INCLUDING ALTERATIONS OF STRUCTURAL MEMBERS OR FOUNDATION WORK BE REQUIRED.
- CONSTRUCTION REQUIREMENTS WILL BE THE MORE STRINGENT WHETHER INFORMATION IS CONTAINED WITHIN DRAWINGS, THE MANUFACTURER'S INSTALLATION GUIDELINES, SHOP DRAWINGS OR BUILDING CODE.
- ALL MATERIALS ARE ASSEMBLED OR TO BE BUILT AS PER MANUFACTURER'S SPECIFICATIONS. IF NOT AVAILABLE, G.C. WILL REQUIRE SUB CONTRACTORS TO PREPARE SHOP DRAWINGS FOR REVIEW BY DSB PLUS LLC PRIOR TO CONSTRUCTION.
- ARCHITECT WILL CONSIDER MATERIAL CHANGE REQUESTS ON AN INDIVIDUAL BASIS. CONTRACTOR SHALL SUBMIT SAMPLES AND CUTS FOR WRITTEN APPROVAL BY DSB PLUS LLC PRIOR TO THE START OF ANY WORK.
- G.C. TO MAINTAIN FIRE RATED CONSTRUCTION AS REQUIRED AT SHAFTS, STRUCTURAL MEMBERS, DEMISING WALLS, ETC.. WALLS MUST BE COMPLETELY SHEATHED & TAPED BEHIND CABINETS.
- G.C. TO VERIFY THAT SPACE IS PROPERLY DEMISED FROM ADJACENT SPACES.
- G.C. TO PROVIDE PROTECTION FROM DAMAGE DUE TO WEATHER, CONSTRUCTION & CIRCULATION (INCLUDING DELIVERIES BY 3RD PARTIES) TO AREA OF CONSTRUCTION & NEIGHBORING AREAS (INCLUDING FINISHES AND EQUIPMENT.) IF IN ANY WAY DISTURBED, WEAKENED OR DAMAGED, THE G.C. AT NO EXTRA EXPENSE TO THE OWNER SHALL RESTORE IT TO ITS ORIGINAL CONDITION.
- THE G.C. SHALL BE RESPONSIBLE FOR THE DELIVERY OF MATERIALS THROUGH CORRIDOR WIDTHS, DOOR/WINDOW OPENINGS, STAIRS & HOISTING EQUIPMENT.
- NOTIFICATION LETTERS TO ADJACENT PROPERTIES ARE TO BE ISSUED AT LEAST 10 DAYS PRIOR TO COMMENCEMENT OF WORK PROVIDING THE G.C. CONTACT INFORMATION.
- G.C. SHALL OBTAIN ALL NECESSARY PERMITS FROM GOVERNING AGENCIES PRIOR TO THE COMMENCEMENT OF THE WORK & WILL DISPLAY PERMITS IN A CLEARLY VISIBLE PUBLIC AREA.
- G.C. TO POST THEIR CONTACT INFORMATION IN A CLEARLY VISIBLE PUBLIC AREA.
- G.C. TO PROVIDE OWNER COPIES OF G.C. AND SUBCONTRACTOR'S PUBLIC LIABILITY INSURANCE, WORKMAN'S COMPENSATION INSURANCE, DISABILITY COVERAGE AND LICENSES & CERTIFICATIONS AS REQUIRED BY LOCAL CODE.
- G.C. SHALL PROVIDE COMPLETED PAPERWORK & CERTIFICATES OF INSPECTION UPON PROJECT COMPLETION.
- G.C. SHALL PAY ALL FEES RELATED TO THE CONSTRUCTION PROCESS & HIS POSSESSION OF THE SITE SUCH AS PERMIT FEES, UTILITIES & CONNECTION FEES, TAXES, C OF O APPLICATION FEES, SURVEYS AND INSPECTIONS.
- COPIES OF SIGNED CONTRACTOR'S AFFIDAVIT OF PAYMENT OF DEBTS AND CLAIMS, AND CONTRACTOR'S RELEASE OF LIENS ARE TO BE SUBMITTED UPON SUBSTANTIAL COMPLETION.
- ALL WINDOWS SHALL BE KEPT CLOSED IN THE WORK AREAS.
- ALL FIRE EXITS & EGRESS PATHS SHALL BE KEPT CLEAR AND ACCESSIBLE AT ALL TIMES.

FIRE STOPPING & SAFETY NOTES

- DO NOT DAMAGE EXISTING HOUSE FIRESTOPPING.
- IF A CONCEALED SPACE IS FOUND WHEN INSTALLING THE DECK LEDGER WITHIN THE HOUSE ENVELOPE VERIFY THAT PARTITIONS, FLOORS, ROOFS, STAIRS, FURRING & PIPE SPACES, THAT WOULD PERMIT THE PASSAGE OF FLAMES, SMOKE, FUMES OR HOT GASES FROM ONE CONCEALED AREA TO ANOTHER SHALL BE FIRE STOPPED TO FORM AN EFFECTIVE DRAFT BARRIER.
- PROVIDE A UL-LISTED FIRESTOPPING OR FIREPROOFING SYSTEM AS REQUIRED BY CODE AT ALL EXISTING OR NEW OPENINGS. WHERE PIPE CHASES ARE ENCLOSED IN MASONRY CONSTRUCTION, THE FIRE RATING MUST BE MAINTAINED AND WALLS THAT ARE DEMOLISHED IN THE COURSE OF THE WORK MUST BE RESTORED WITH SIMILAR CONSTRUCTION OR NEW CONSTRUCTION WITH THE SAME RATING. WHERE PIPING IS NOT LOCATED IN A RATED ENCLOSURE PROVIDE FIRESTOPPING SYSTEMS AS MANUFACTURED BY STI, HILTI, USG OR EQUAL UL LISTED PRODUCTS ARE ACCEPTABLE AND THEIR RATING MUST COINCIDE WITH THE FIRE RATING OF THE EXISTING ASSEMBLY. ORDINARY CEMENT, INSULATION AND OTHER NON-RATED SEALANTS AND PRODUCTS MAY NOT BE USED UNLESS PARTITIONS PROVIDE THE REQUIRED FIRE RATING. NOTE THAT FIRESTOPPING AND FIREPROOFING MUST BE INSTALLED UPON THE COMPLETION OF DEMOLITION AND PRIOR TO THE INSTALLATION OF ANY SHEATHING OR OTHER WORK THAT WILL BLOCK ACCESS TO ANY OPENINGS THAT MUST BE FIRESTOPPED.
- FIRE DIVISIONS, EXTERIOR CORNERS, EAVES, FIREPLACES, FLUES & CHIMNEYS, SPACES BETWEEN CHIMNEYS & WOOD JOISTS, BEAMS OR HEADERS SHALL BE FIRE STOPPED WITH NON-COMBUSTIBLE MATERIALS IN ACCORDANCE WITH LOCAL CODE.
- THE WORK SHALL COMPLY WITH LOCAL CODE BY COMPARTMENTATION OF VARIOUS AREAS, PROVIDING FOR SAFE ZONES.
- ADEQUATE FIREPROOFING TO BE REPLACED WHEN ACCIDENTALLY REMOVED DURING DEMOLITION AND NOT IN THE AREA OF WORK TO RECEIVE NEW FIREPROOFING.

CONCRETE NOTES

- CONCRETE WORK SHALL CONFORM TO ACI 318-77.
- ALL COURSE AGGREGATE FOR CONCRETE SHALL BE CRUSHED STONE OR GRAVEL
- CONCRETE FOR POURED IN PLACE CONSTRUCTION SHALL HAVE A MINIMUM ULTIMATE STRENGTH (F' C) OF 4000 P.S.I. AT 28 DAYS WHEN TESTED IN ACCORDANCE WITH "STANDARD METHOD OF TEST FOR COMPRESSIVE STRENGTH OF MOLDED CONCRETE CYLINDERS"(ASTM C39-66) RS 10-17.
- REINFORCING BARS SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185(GX6X10)10 W.W.M.)
- ALL REINFORCING MARKED CONTINUOUS ("CONT.") SHALL BE LAPPED "LCS" LENGTH AT SPLICE AND CORNERS, AND SHALL BE HOOKED OR EXTENDED "LCS" LENGTH AT NON-CONTINUOUS ENDS, SEE SCHEDULE OF EMBEDMENT AND SPLICE LENGTHS.
- PROVIDE CLEARANCE FROM THE FACE OF CONCRETE TO REINFORCED AS FOLLOWS:
SONOTUBE FOOTINGS: 3"
CONCRETE FORMED AGAINST EARTH AT BOTTOM: 3"
- REINFORCING SHALL BE HELD SECURELY IN POSITION WHILE PLACING CONCRETE IF REQUIRED; ADDITIONAL BARS OR STIRRUPS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS.
- SONOTUBE SHORING FOR FORM-WORK SHALL REMAIN IN PLACE UNTIL CONCRETE HAS ATTAINED STRENGTH TO WITH STAND IMPOSED LOADS WITHOUT OVERSTRESS.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AND LOCATIONS OF ALL SLOTS, PIPE SLEEVES, ANCHOR BOLTS, ETC. AND SHALL INSTALL THESE AS REQUIRED BY OTHER TRADES BEFORE PLACING CONCRETE.
- ALL FOUNDATION FOOTINGS, PIERS AND WALLS SHALL BE PLAIN CONCRETE (3,000 PSI.)
- ALL FOUNDATION CONCRETE SHALL HAVE A MINIMUM OF 5 1/2 BAGS OF CEMENT PER CUBIC YARD OF CONCRETE. THE MAXIMUM WATER/CEMENT RATIO FOR NON-AIR-ENTRAINED CONCRETE SHALL BE 8 GALLONS/SACK OF CEMENT; THE MAXIMUM WATER CEMENT RATIO FOR AIR-ENTRAINED CONCRETE SHALL BE 7 1/2 GALLONS/SACK OF CEMENT.
- EACH LOAD OF CONCRETE SHALL BE CERTIFIED BY THE PRODUCER TO THE OWNER, WHETHER PRODUCED AT A READY MIX PLANT OR SITE MIXED, AS TO THE CONCRETE STRENGTH AND ACTUAL QUANTITIES PER CUBIC YARD OF EACH MATERIAL, INCLUDING WATER, CONTAINED THEREIN. A COPY OF SUCH CERTIFICATE SHALL BE AVAILABLE TO THE DEPARTMENT DURING THE PROGRESS OF THE WORK AND FOR TWO YEARS THEREAFTER.
- ALL FOUNDATION CONCRETE THAT WILL BE EXPOSED TO FREEZING TEMPERATURES AFTER CURING SHALL BE AIR-ENTRAINED. 4" ABOVE BOTTOM OF FOOTINGS (3,000 PSI).
- AT LEAST 3 SPECIMENS SHALL BE MOLDED FOR EACH 50 YARDS OF CONCRETE POURED PER DAY BUT NO LESS THAN 3 TEST SPECIMENS PER DAY SHALL BE MADE IF LESS THAN 50 YARDS PER DAY ARE POURED. REPORTS OF THE TEST RESULTS OF THESE SPECIMENS SHALL BE FURNISHED TO THE ARCHITECT OF RECORD FOR FILING WITH THE DEPARTMENT (CYLINDER TESTS MUST BE TAKEN FOR EACH POUR).
- ALL FLOORS RESTING DIRECTLY ON THE GROUND SHALL BE CONSTRUCTED OF STONE CONCRETE AT LEAST 4" THICK WITH A MINIMUM OF 1 PART PORTLAND CEMENT TO A MAXIMUM OF 8 PARTS OF COARSE AND FINE AGGREGATES COMBINED. THIS CONCRETE IS UNCONTROLLED, NON-STRUCTURAL AND SHALL BE SUBJECT TO ANY TESTING OR INSPECTION REQUIREMENTS OF THE NYC DEPARTMENT OF BUILDINGS.
- THE CONTRACTOR SHOULD ALLOW AT LEAST 48 HOURS FOR SUB-GRADE INSPECTION PRIOR TO POURING OF CONCRETE FOOTING.

MTL DECK & HANDRAIL SPEC.S

- RAILINGWORKS ARCHITECTURAL RAILINGS: WIRE CABLING HANDRAILS BY NEXAN BUILDING PRODUCTS.
- TREX DECKING: T.B.D.
- SIZE: 5 3/4" DECK BOARD WIDTH X 1" THICK, INSTALLS ON 6" CENTERS. STANDARD DECKING LENGTHS 12', 16' & 20'.
- SPAN: 12" ON CENTER.
- DECKING MATERIAL TESTED TO 500 PSF LIVE-LOAD ON 12" CENTERS.

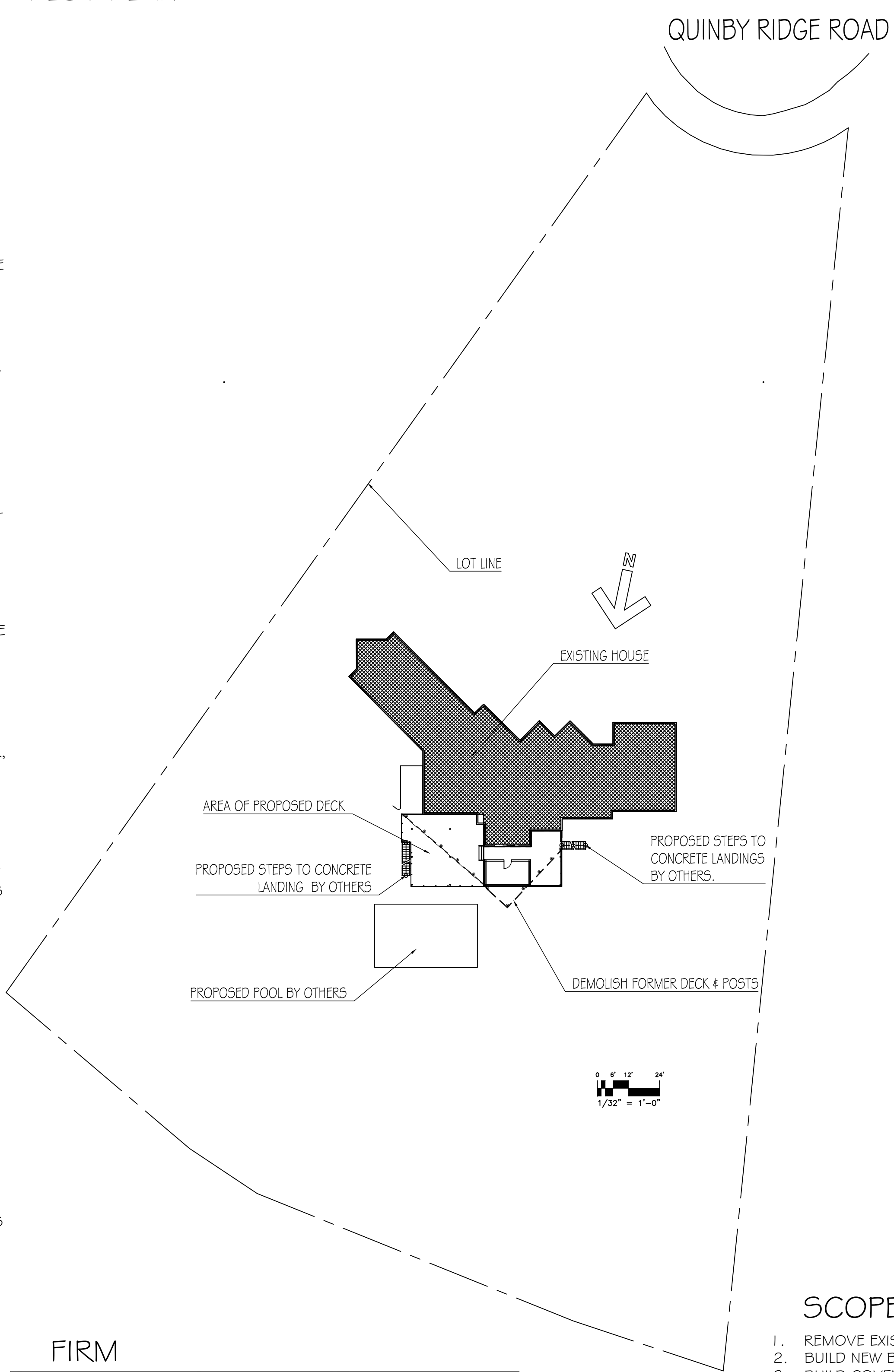
FOUNDATION NOTES

- FOUNDATIONS AND FOOTINGS SHALL REST ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 4000LB/SQ.FT. ADEQUACY OF BEARING STRATUM SHALL BE VERIFIED BY G.C. IN THE FIELD PRIOR TO POURING CONCRETE; ADJUST BOTTOM OF FOOTING ELEVATION AS REQUIRED.
- THE FOUNDATION CONTRACTOR SHALL OBTAIN COPIES OF THESE BORING DRAWINGS AND BECOME FAMILIAR WITH THEM BEFORE COMMENCING ANY FOUNDATION WORK. HE SHALL NOTIFY THE BUILDING DEPARTMENT IN WRITING AT LEAST 2 WORKING DAYS PRIOR TO POURING, ANY FOUNDATION CONCRETE THAT THE FOOTING SUB-GRADES ARE READY FOR INSPECTION
- ALL SONOTUBE FOOTINGS ARE SIZED AS INDICATED, ON DRAWINGS.

O.S.H.A. SAFETY NOTES

- G.C. MUST ENFORCE OSHA STANDARDS, MAINTAINING SAFE SITE CONDITIONS, PRACTICES & MAINTAINING EQUIPMENT.
- G.C. TO REMOVE ALL DAMAGED DEMO. BINS, LADDERS, CARTS, BAKERS & SCAFFOLDING.
- ALL ELECTRIC LIGHTING, EQUIPMENT & TOOLS MUST BE GROUNDED PROPERLY & UNPLUGGED DURING OFF HOURS.
- ALL TEMP. ELECTRICAL SERVICE FOR CONSTRUCTION TO BE TURNED OFF AT SOURCE AFTER WORKING HOURS. PROVIDE LOCK AT PANEL.

PLOT PLAN



SCOPE OF WORK

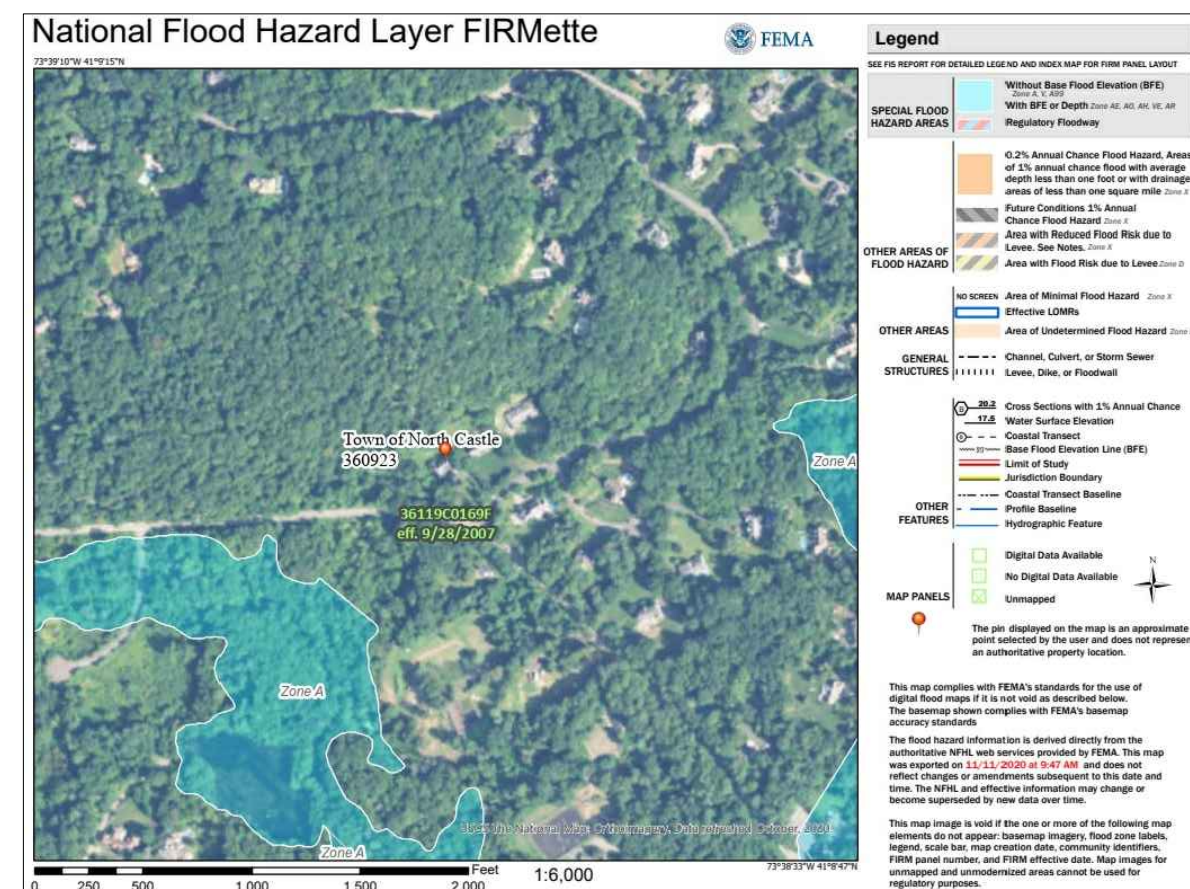
- REMOVE EXISTING DECK AND POSTS ON SONOTUBES.
- BUILD NEW BACKYARD DECK WITH STAIRS DOWN TO GARDEN GRADE.
- BUILD COVERED AREA ON DECK WITH MOSQUITO NETTING.

PERTINENT CODES

- DECK DESIGN CONFORMS TO 2020 NEW YORK STATE RESIDENTIAL CODE.

PLOT PLAN NOTES

- LICENSED PROFESSIONAL SURVEYOR TO STEAK OUT HOUSE LOCATIONS AND VERIFY ALL DISTANCES PRIOR TO EXCAVATION AND FOUNDATION WORK.
- DURING FOOTING EXCAVATION THE G.C. IS TO CONTACT ARCHITECT & STRUCTURAL ENGINEER REGARDING ANY CONDITIONS WHICH MAY AFFECT THE PERFORMANCE OF THE FOUNDATION.
- CLIENT TO PROVIDE SOILS REPORT OR TO HIRE A SOILS ENGINEER TO OBSERVE FOUNDATION EXCAVATION AND PROVIDE THAT TO THE ARCHITECT & STRUCTURAL ENGINEER.



FLOOD ZONE STATEMENT

- THIS PROJECT IS WITHIN THE (FIRM) FLOOD MAP NUMBER 36119C0169F, EFFECTIVE ON 09/28/2007.
- THIS PROJECT IS NOT WITHIN A FLOOD HAZARD AREA.

ARCHITECT:

dsb+
DSB PLUS LLC
244 5TH AVENUE, SUITE C37
NEW YORK, NY 10001
TEL.: (212) 404-6210
FAX.: (212) 812-5436
INFO@DSB-ARCHITECTS.COM
WWW.DSBPLUS.COM

BUILDER:

SITE INFO.:

WD FR 1 FAMILY RESIDENCE
PARCEL 5BL:
BLOCK:
LOT:
NUMBER OF BUILDINGS: 1
FLOORS: 2
TOTAL UNITS: 1
RESIDENTIAL UNITS: 1

DRAWING LIST:

G-1 COVER
A-1 CONSTRUCTION PLAN
A-2 ELEVATIONS & SECTIONS
A-3 CONSTRUCTION DETAILS

ISSUE DATE:

02/16/21 CLIENT REVIEW
02/26/21 ENGINEER COORD.

PROJECT INFO.:

**RUSSIN
RESIDENCE
DECK**

**5 QUINBY
RIDGE ROAD
ARMONK, NY**

SHEET NAME:

**GENERAL
NOTES**

SHEET NUMBER:

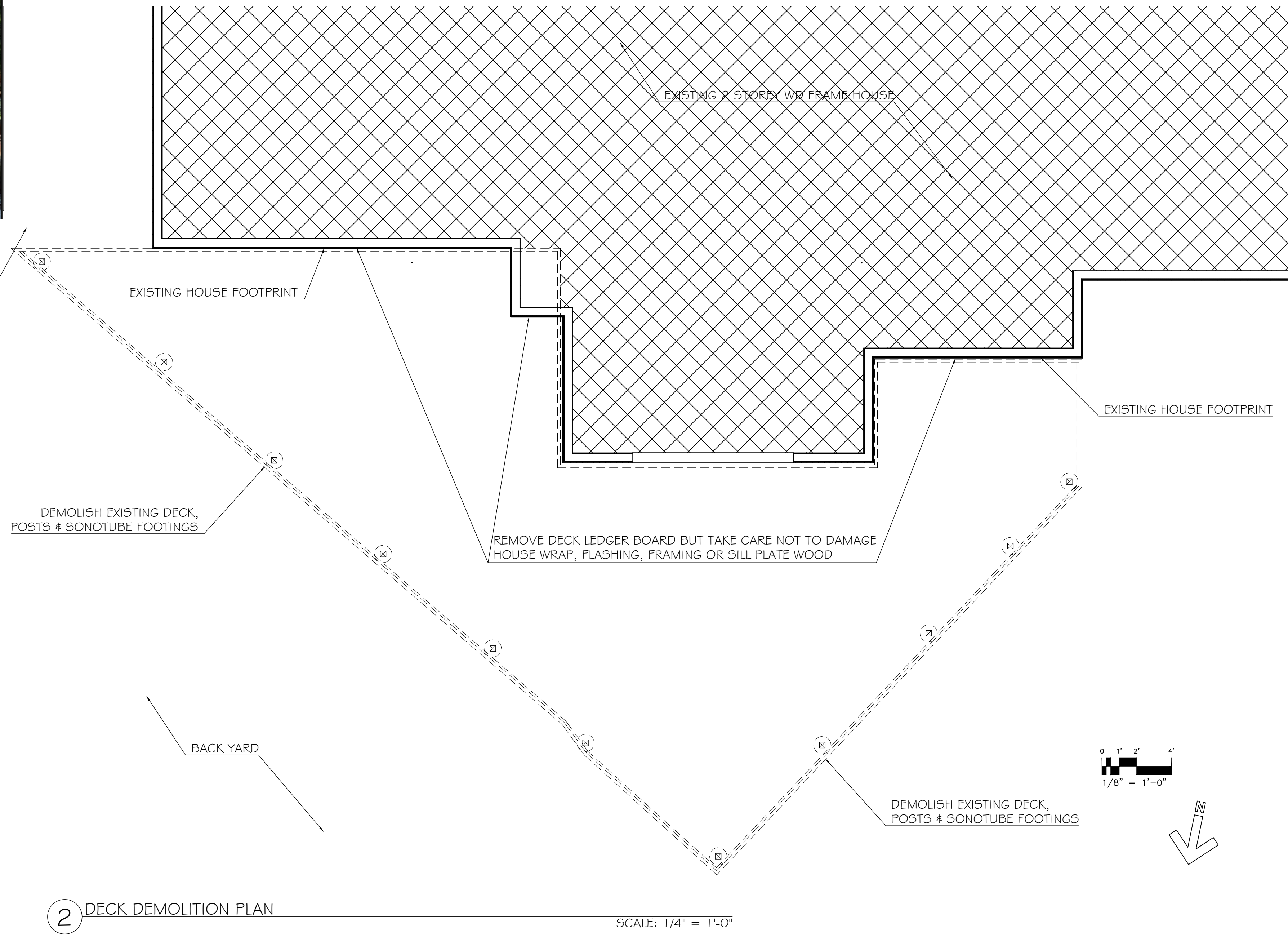


G-1.00

PG. 1 OF 6



1 PHOTO OF DECK TO REMAIN
SCALE: N.T.S.
BEYOND THIS POINT KEEP EXISTING DECK FRAMING AND REPLACE HANDRAILS AND DECK BOARDS



2 DECK DEMOLITION PLAN



3 PHOTO OF DECK TO BE DEMOLISHED
SCALE: N.T.S.

DEMOLISH EXISTING DECK, POSTS & SONOTUBE FOOTINGS

DEMOLITION NOTES

- HAZARDOUS MATERIAL REMOVAL AND ABATEMENT IS NOT PART OF THIS SCOPE OF WORK. IF DANGEROUS MATERIALS, LEAD PAINT OR ASBESTOS CONTAINING MATERIALS ARE ENCOUNTERED OR SUSPECTED, NOTIFY OWNER IMMEDIATELY. CEASE WORK IN THE AFFECTED AREA.
- ALL SURFACES OR FINISHES TO REMAIN, IF DAMAGED DURING DEMOLITION OR ANY STAGE OF THE WORK, SHALL BE REPAIRED BY THE G.C. AT HIS EXPENSE TO "LIKE NEW" CONDITION. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DOCUMENT ANY PRE-EXISTING DAMAGE AND TO NOTIFY ARCHITECT OF ANY SUCH DAMAGE PRIOR TO PRICING OR BIDDING.
- PROTECT AND SEAL ANY VENTILATION ACCESS OR EXHAUSTS DURING CONSTRUCTION AND SHUT DOWN SYSTEM SO AS TO KEEP THE SYSTEM PROTECTED.
- G.C. IS RESPONSIBLE TO REMOVE ALL SONOTUBE FOUNDATIONS AND ANCHORS AND LEDGER BOARDS WHICH ARE NOT TO BE USED AND TO PATCH SURFACES TO FLAT CONDITION.

ARCHITECT:

dsb+

D5B PLUS LLC
244 5TH AVENUE, SUITE C37
NEW YORK, NY 10001
TEL.: (212) 404-6210
FAX.: (212) 812-5436
INFO@D5B-ARCHITECTS.COM
WWW.D5BPLUS.COM

BUILDER:

SITE INFO:

WD FR 1 FAMILY RESIDENCE
PARCEL SBL:
BLOCK:
LOT:
NUMBER OF BUILDINGS: 1
FLOORS: 2
TOTAL UNITS: 1
RESIDENTIAL UNITS: 1

DRAWING LIST:

G-1 COVER
A-1 CONSTRUCTION PLAN
A-2 ELEVATIONS & SECTIONS
A-3 CONSTRUCTION DETAILS

ISSUE DATE:

02/16/21 CLIENT REVIEW
02/26/21 ENGINEER COORD.

PROJECT INFO:

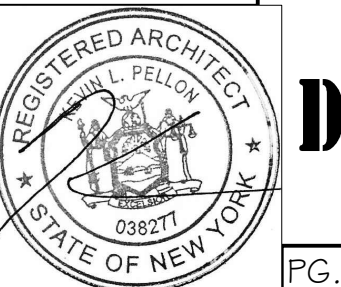
RUSSIN
RESIDENCE
DECK

5 QUINBY
RIDGE ROAD
ARMONK, NY

SHEET NAME:

DEMOLITION
PLAN

SHEET NUMBER:



D-1.00

PG. 2 OF 6

LEGEND

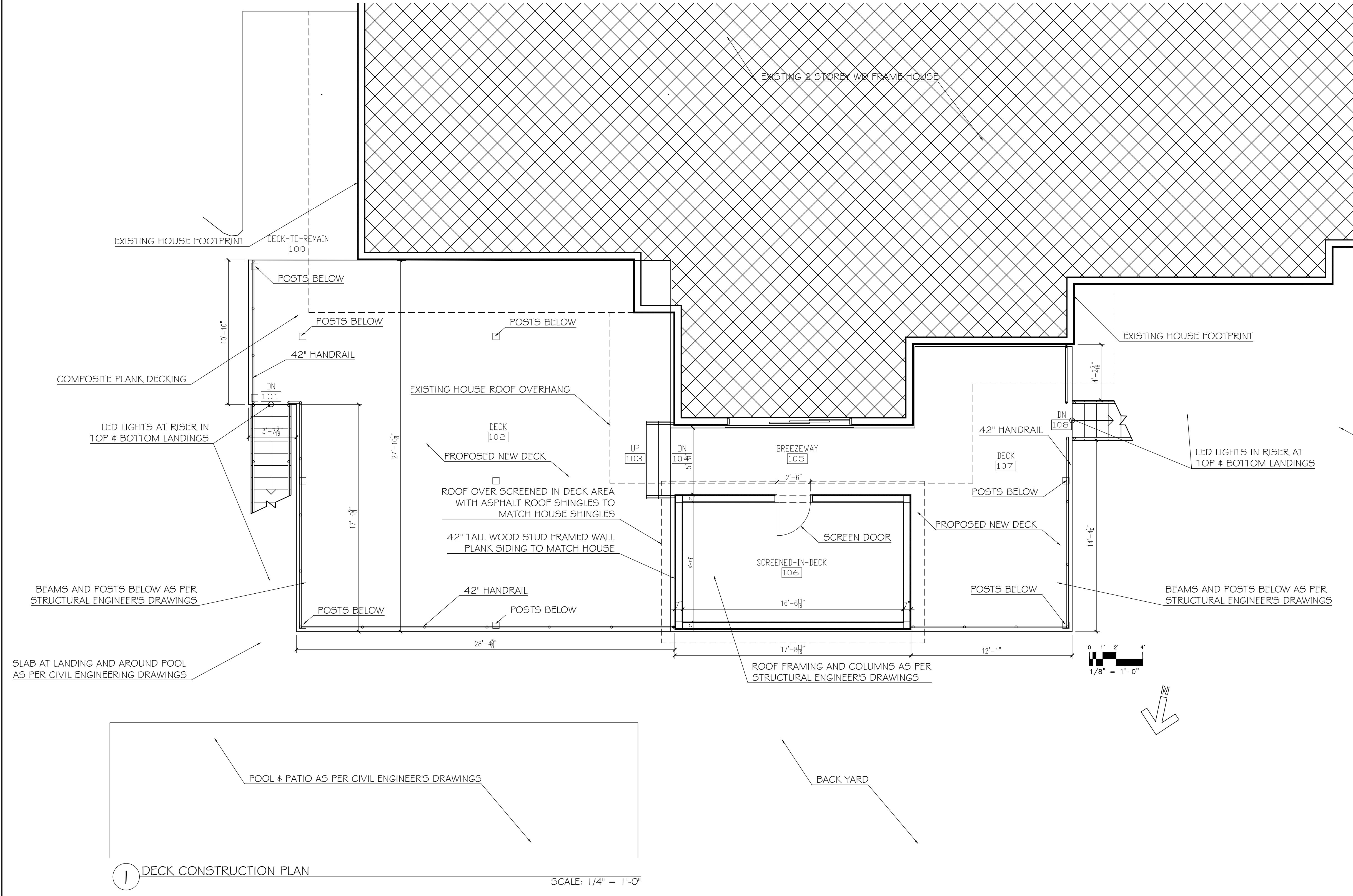
- ROOM NAME # NUMBER
- ELEVATION OR SECTION TAG
- EXISTING DOOR TO REMAIN
- EXISTING WALL TO REMAIN
- DEMOLISH DOOR
- DEMOLISH WALL
- REMOVE DECK & HANDRAIL
- DEMOLISH FOUNDATION AND POSTS

CONSTRUCTION NOTES

1. ALL DIMENSIONS IN THE DOCUMENTS ARE FROM THE FINISH FACE TO THE FINISH FACE, U.O.N..
2. NO FRAMING OF ANY TYPE IS TO BE CONCEALED PRIOR TO THE APPROPRIATE INSPECTION BY GOVERNING AUTHORITIES AND SHALL BE PROPERLY BRACED.
3. ALL WOOD TO BE PRESSURE TREATED OR SPECIALLY MADE FOR EXTERIOR USE. FOLLOW ALL MANUFACTURER'S REQUIREMENTS.
4. PROTECT EXISTING HOUSE ENVELOPE TO REMAIN INCLUDING DOOR & WINDOW HARDWARE, ELECTRICAL OUTLETS, LIGHTING, TANKS, AC CONDENSERS, GRILLES AND LOUVERS. PROTECT FROM APPLICATION OF SEALANTS, STAINS OR COATINGS FOR THE ADJACENT NEW DECK. REPAIR TO ARCHITECT'S ACCEPTANCE COATINGS DAMAGED BY SUBSEQUENT CONSTRUCTION ACTIVITIES. WHERE REPAIRS CANNOT BE MADE TO ARCHITECT'S ACCEPTANCE, RE-APPLY FINISH COATING TO NEAREST ADJACENT CHANGE OF SURFACE PLANE, IN BOTH HORIZONTAL AND VERTICAL DIRECTIONS.
5. ONLY MATERIALS (PRIMERS, PAINTS, COATINGS, VARNISHES, STAINS, LACQUERS, FILLERS, ETC.) LISTED IN THE LATEST EDITION OF THE MPI APPROVED PRODUCT LIST (APL) ARE ACCEPTABLE FOR USE ON THIS PROJECT. ALL SUCH MATERIAL SHALL BE FROM A SINGLE MANUFACTURER FOR EACH SYSTEM USED.

LOW V.O.C. NOTES

1. G.C. TO FOLLOW OZONE TRANSPORT COMMISSION GUIDELINES CONCERNING VOLATILE ORGANIC COMPOUNDS LIMITING THE USE OF OIL BASED MATERIALS & HOW THEY ARE APPLIED.
2. MONITOR & KEEP ODORS FROM AFFECTING NEIGHBORS.
3. NO SPRAYING OF V.O.C.'S IN RESIDENTIAL BUILDINGS.
4. PREFER ANY LACQUER TO BE SPRAYED OFF SITE IN AN APPROPRIATE BOOTH. IF ON SITE, TO BE LIMITED TO QUART CANS APPLIED W/ A HIGH VOLUME, LOW PRESSURE SPRAY DEVICE.

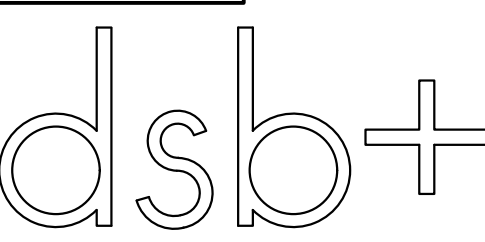


1 DECK CONSTRUCTION PLAN SCALE: 1/4" = 1'-0"

LEGEND

- NAME ROOM NAME & NUMBER
- ELEVATION OR SECTION TAG
- EXISTING DOOR TO REMAIN
- EXISTING WALL TO REMAIN
- NOT IN CONTRACT AREA

ARCHITECT:



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NEW YORK, NY 10001
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WWW.DSBPLUS.COM

BUILDER:

SITE INFO:

WD FR 1 FAMILY RESIDENCE
PARCEL SBL:
BLOCK:
LOT:
NUMBER OF BUILDINGS: 1
FLOORS: 2
TOTAL UNITS: 1
RESIDENTIAL UNITS: 1

DRAWING LIST:

G-1 COVER
A-1 CONSTRUCTION PLAN
A-2 ELEVATIONS & SECTIONS
A-3 CONSTRUCTION DETAILS

ISSUE DATE:

02/16/21 CLIENT REVIEW
02/26/21 ENGINEER COORD.

PROJECT INFO:

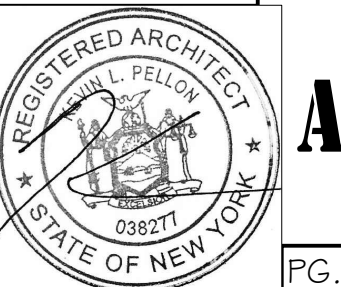
RUSSIN
RESIDENCE
DECK

5 QUINBY
RIDGE ROAD
ARMONK, NY

SHEET NAME:

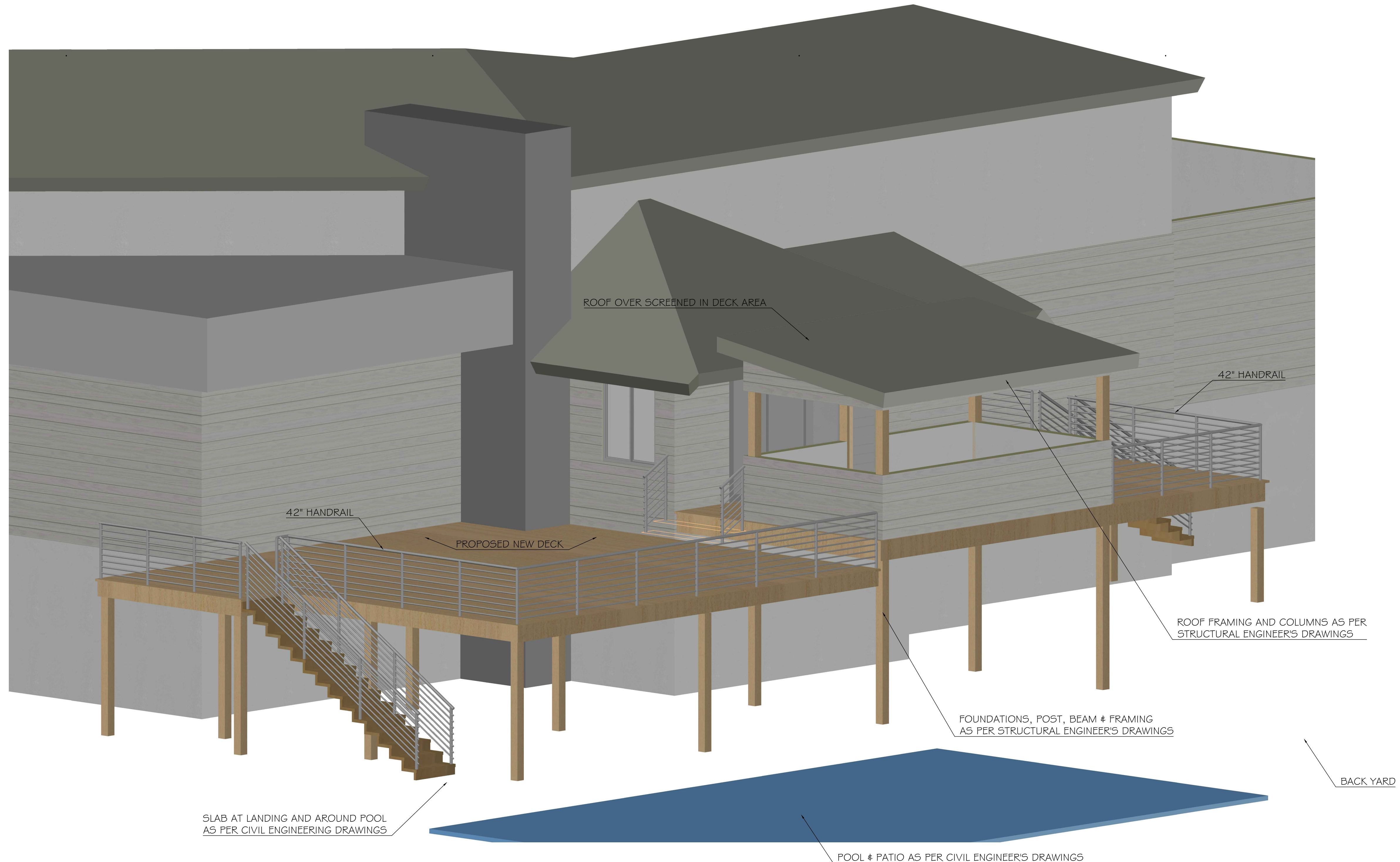
ISOMETRIC
VIEW

SHEET NUMBER:



A-2.00

PG. 4 OF 6



1 DECK CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

SITE INFO:
 WD FR 1 FAMILY RESIDENCE
 PARCEL 5BL:
 BLOCK:
 LOT:
 NUMBER OF BUILDINGS: 1
 FLOORS: 2
 TOTAL UNITS: 1
 RESIDENTIAL UNITS: 1

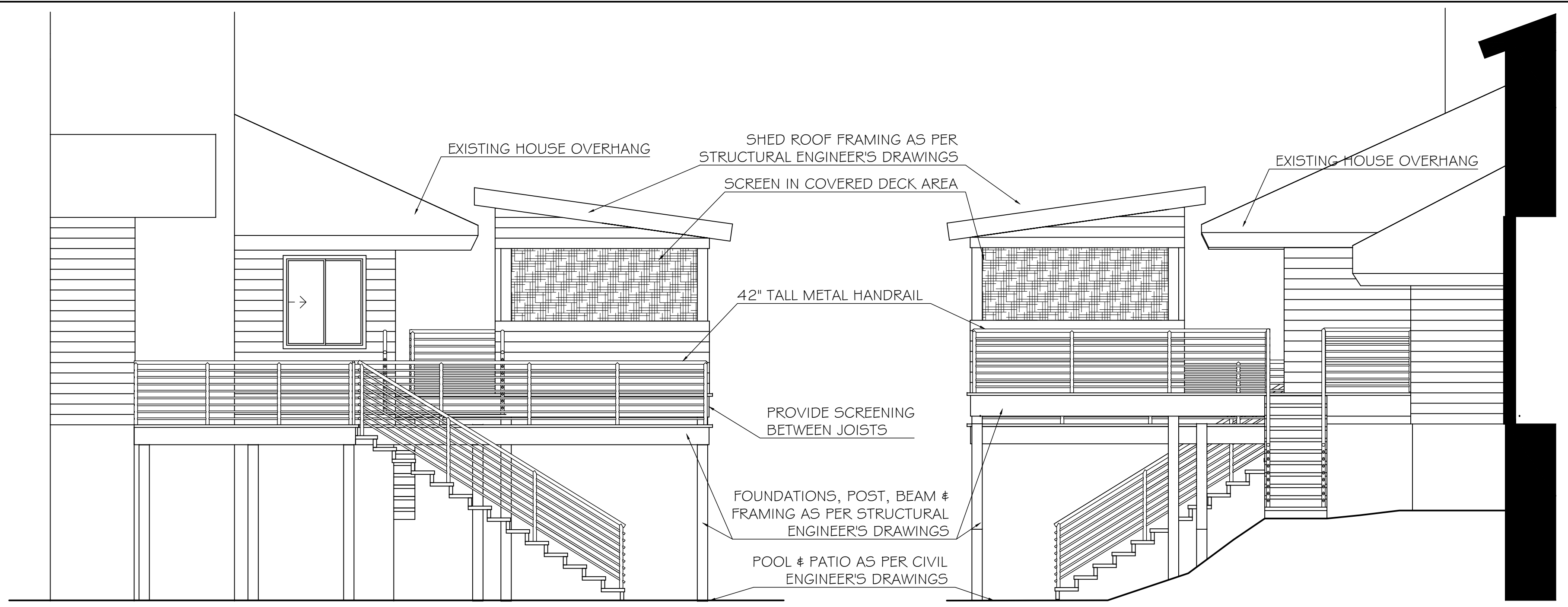
DRAWING LIST:
 G-1 COVER
 A-1 CONSTRUCTION PLAN
 A-2 ELEVATIONS & SECTIONS
 A-3 CONSTRUCTION DETAILS

ISSUE DATE:
 02/16/21 CLIENT REVIEW
 02/26/21 ENGINEER COORD.

PROJECT INFO:
**RUSSIN
 RESIDENCE
 DECK**
 5 QUINBY
 RIDGE ROAD
 ARMONK, NY

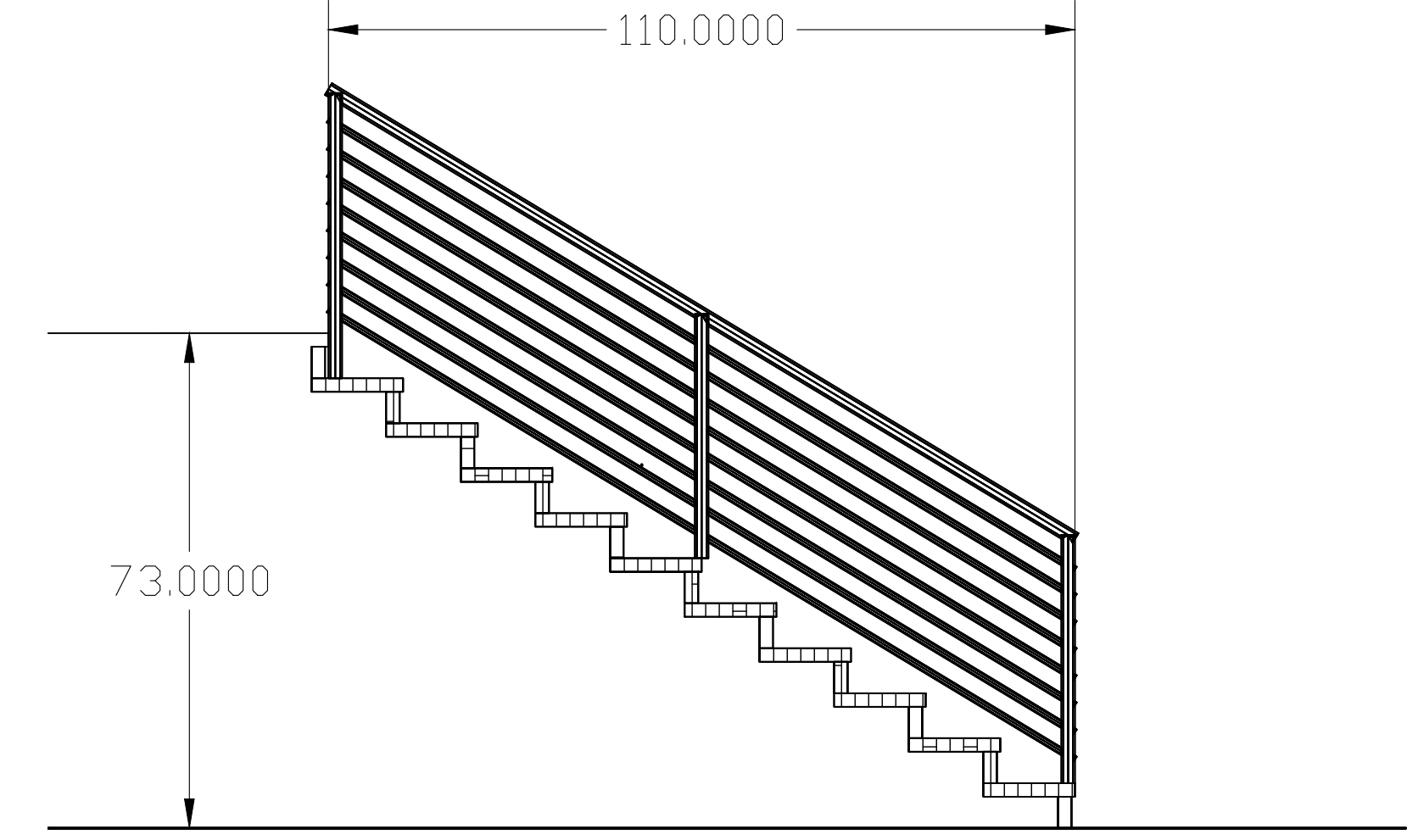
SHEET NAME:
**ELEVATIONS
 &
 SECTIONS**

SHEET NUMBER:
A-3.00
 REG. ARCHITECT
 STATE OF NEW YORK
 038271
 PG. 5 OF 6

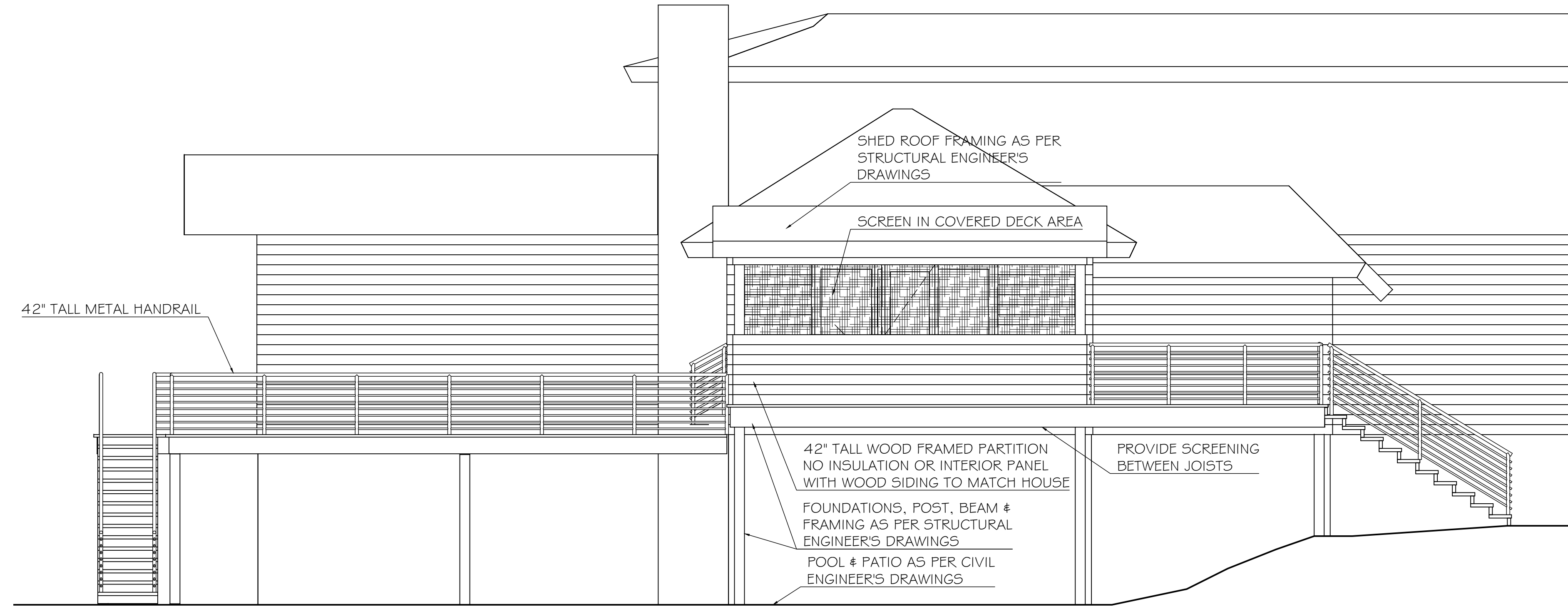


1 DECK SIDE ELEVATION SCALE: 1/4" = 1'-0"

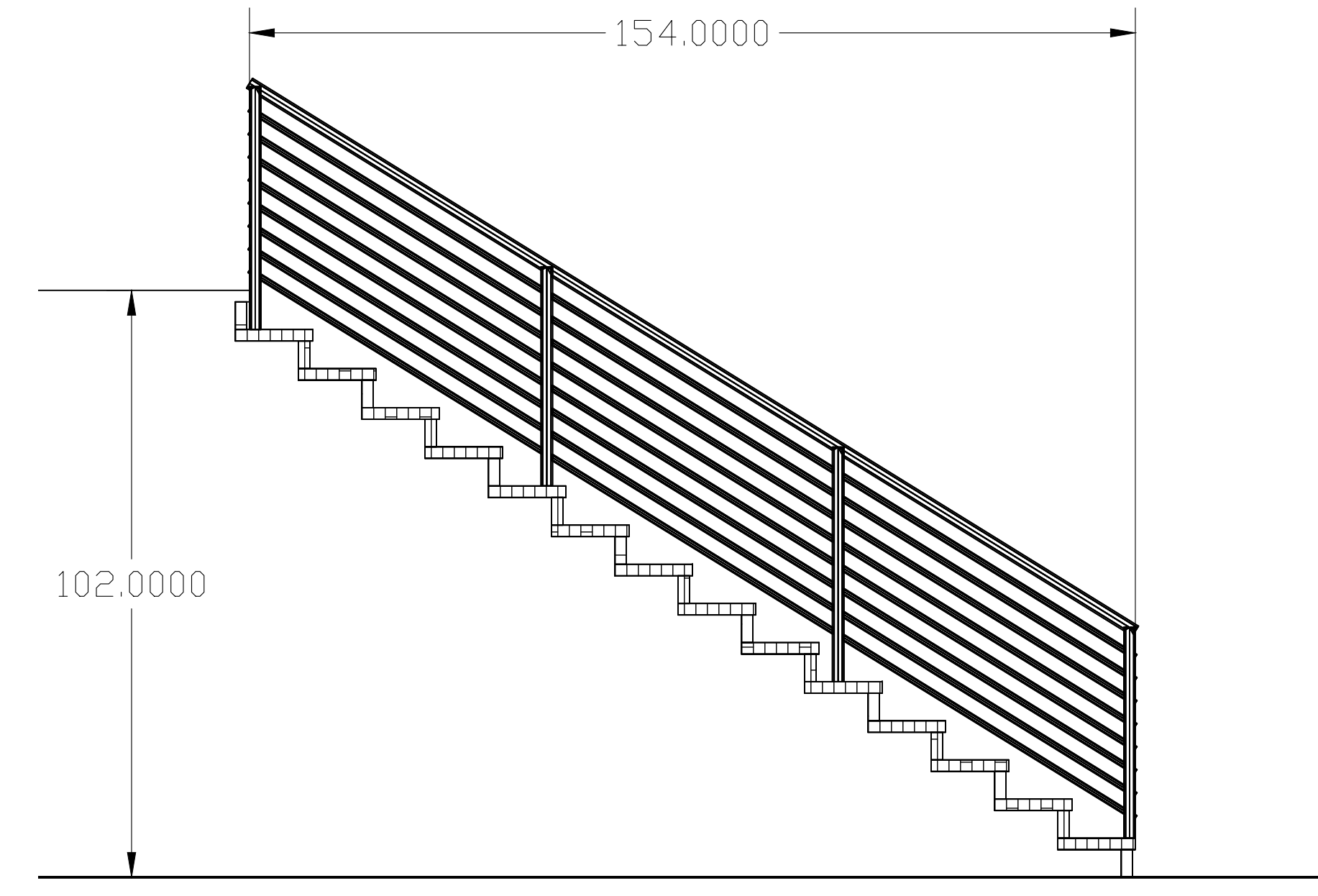
2 DECK SIDE ELEVATION SCALE: 1/4" = 1'-0"



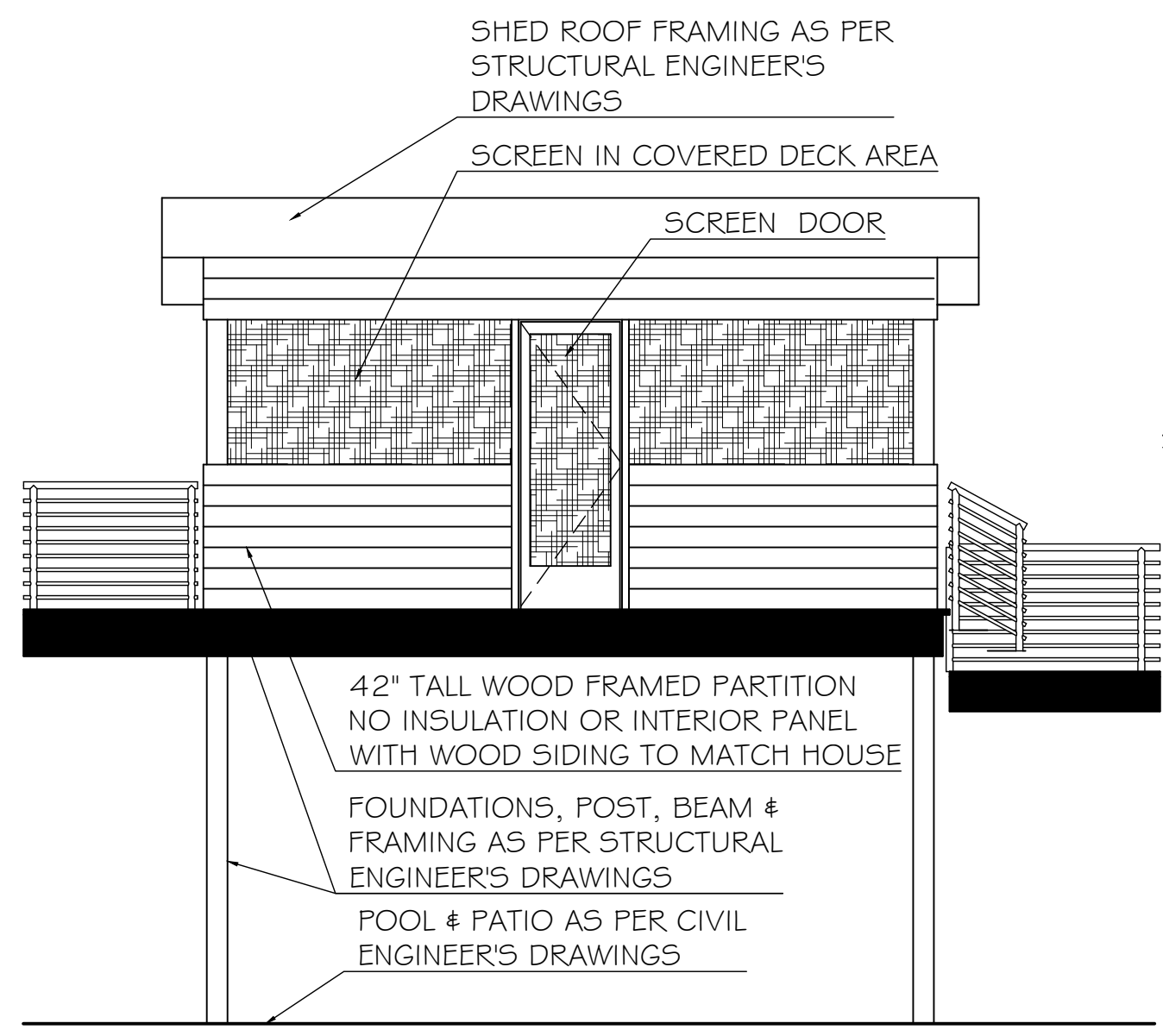
3 STAIR SECTION 6'-1" HEIGHT SCALE: 1/2" = 1'-0"



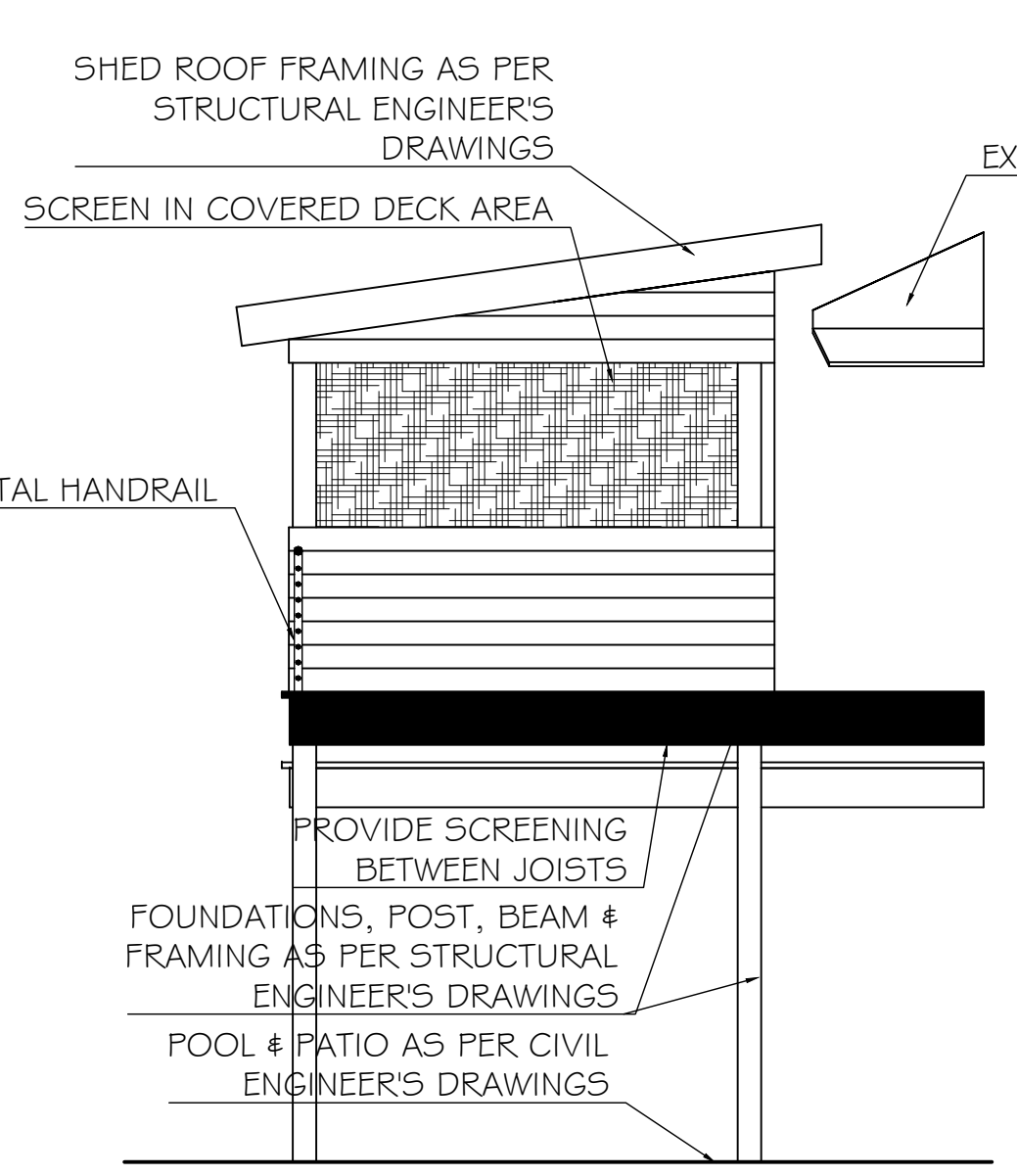
4 DECK CONSTRUCTION PLAN SCALE: 1/4" = 1'-0"



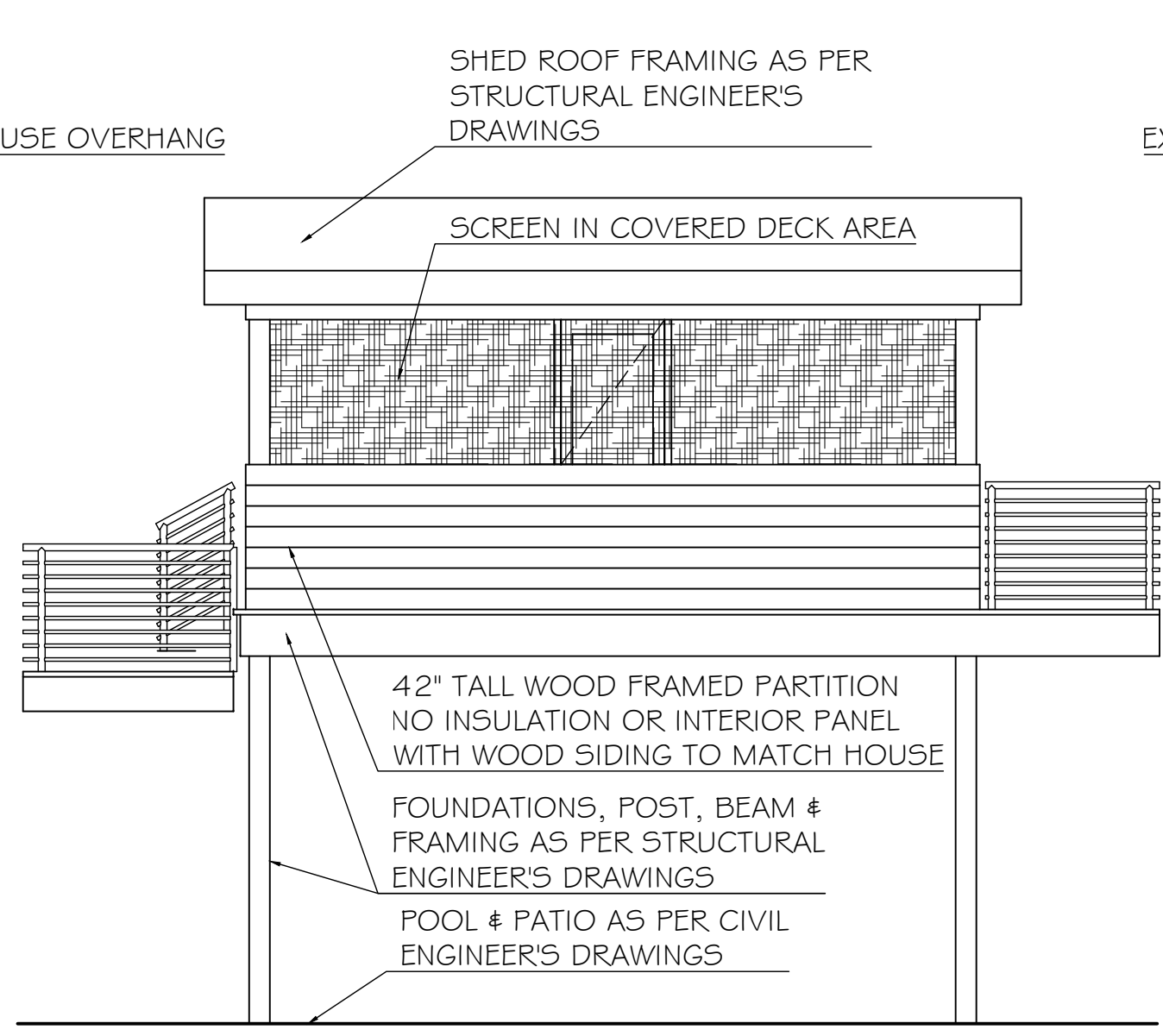
5 DECK CONSTRUCTION PLAN SCALE: 1/2" = 1'-0"



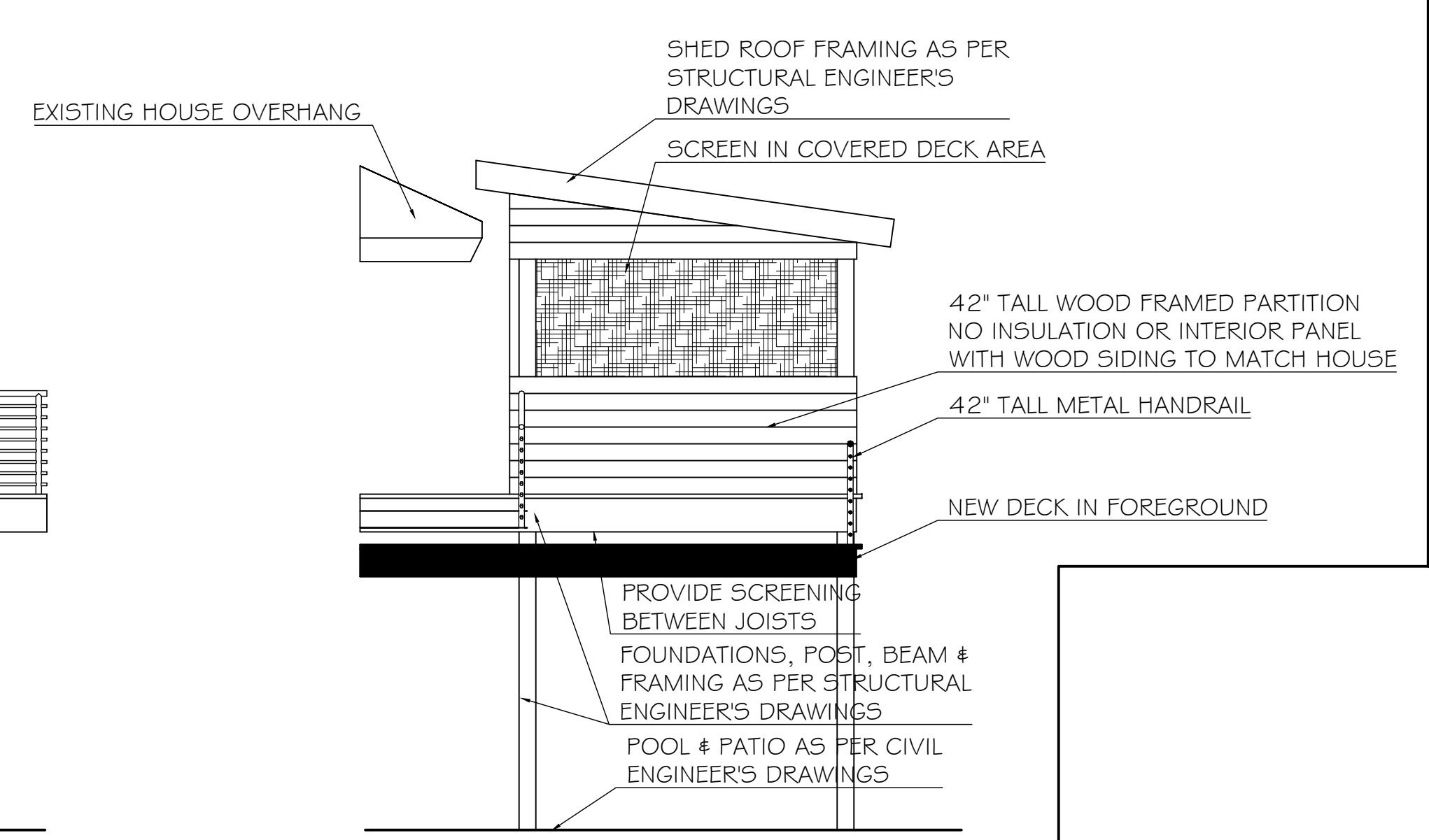
6 SCREENED IN DECK ELEVATION AT SCREEN DOOR SCALE: 1/4" = 1'-0"



7 SCREENED IN DECK SIDE ELEVATION SCALE: 1/4" = 1'-0"



8 SCREENED IN DECK YARD ELEVATION SCALE: 1/4" = 1'-0"



9 SCREENED IN DECK SIDE ELEVATION SCALE: 1/4" = 1'-0"

