



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43
Fax: (914) 273-3554
www.northcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)



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RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 5 Quinby Ridge Road, Armonk, NY _____

Section III- DESCRIPTION OF WORK:

Proposed pool, retaining walls, removal of trees, & site re-grading.

Section III- CONTACT INFORMATION:

APPLICANT: Adam & Andrea Russin _____

ADDRESS: 5 Quinby Ridge Road, Armonk, NY _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROPERTY OWNER: Adam & Andrea Russin _____

ADDRESS: 5 Quinby Ridge Road, Armonk, NY _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: John Petroccione P.E. _____

ADDRESS: 2 Lake Street, Suite #203, Monroe NY 10950 _____

PHONE: _____ MOBILE: _____

EMAIL: jpetroccionepe@yahoo.com / info@rain-concepts.com (alternate) _____

Section IV- PROPERTY INFORMATION:

Zone: R-2A _____ Tax ID (lot designation) 107.02-2-7 _____



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Site Plan Adam & Andrea Russin

Initial Submittal Revised Preliminary

Street Location: 5 Quinby Ridge Road, Armonk, NY

Zoning District: R-2A Property Acreage: 2.024 Tax Map Parcel ID: 107.02-2-7

Date: 12/28/20

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Site Plan Adam & Andrea Russin Date: 12/28/20

Tax Map Designation or Proposed Lot No.: 107.02-2-7

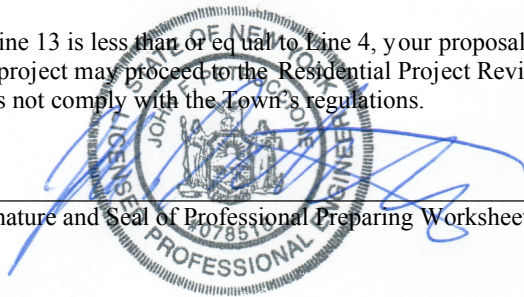
Gross Lot Coverage

- | | | |
|-----|---|-----------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>2.024 Ac.</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>13,270 Sq. Ft.</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
<u>171</u> x 10 = <u>1,710</u> | <u>1,710 Sq. Ft.</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>14,980 Sq. Ft.</u> |
| 5. | Amount of lot area covered by principal building :
<u>4,664</u> existing + <u>0</u> proposed = | <u>4,664 Sq. Ft.</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>0</u> existing + <u>0</u> proposed = | <u>0 Sq. Ft.</u> |
| 7. | Amount of lot area covered by decks :
<u>1,118</u> existing + <u>313</u> proposed = | <u>1,431 Sq. Ft.</u> |
| 8. | Amount of lot area covered by porches :
<u>0</u> existing + <u>0</u> proposed = | <u>0 Sq. Ft.</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u>7,297</u> existing + <u>0</u> proposed = | <u>7,297 Sq. Ft.</u> |
| 10. | Amount of lot area covered by terraces :
<u>0</u> existing + <u>0</u> proposed = | <u>0 Sq. Ft.</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u>189</u> existing + <u>877</u> proposed = | <u>1,066 Sq. Ft.</u> |
| 12. | Amount of lot area covered by all other structures :
<u>353</u> existing + <u>61</u> proposed = | <u>414 Sq. Ft.</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>14,872 Sq. Ft.</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

1/3/21
Date





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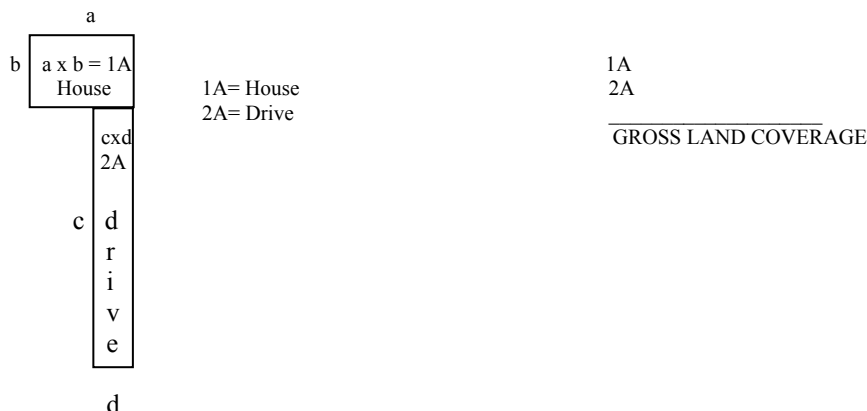
PLANNING DEPARTMENT
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GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.

- PROJECT NOTES:**
- OWNER / APPLICANT:
ADAM & ANDREA RUSSIN
5 QUINBY RIDGE RD,
ARMONK, NY 10504
 - PROJECT SITE ADDRESS:
5 QUINBY RIDGE RD,
ARMONK, NY 10504
 - SURVEY BOUNDARY & TOPOGRAPHY INFORMATION
FROM MAP PREPARED BY:
TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD, PLEASANTVILLE, NY
 - SECTION 107.02 BLOCK 2 LOT 7
TOTAL AREA OF PARCEL = 2.024 ACRES
 - WATERSHED BASIN:
INLAND LONG ISLAND SOUND BASIN
 - USDA SOIL TYPE:
CrC- CHARLTON-CHATFIELD COMPLEX, 0-15% SLOPES, VERY ROCKY
CuD- CHATFIELD-CHARLTON COMPLEX, 15-35% SLOPES, VERY ROCKY
CuD- CHATFIELD-HOLLIS-ROCK OUTCROP COMPLEX, 15-35% SLOPES
AS PER USDA NATIONAL RESOURCES
CONSERVATION SERVICE SOIL SURVEY MAPS
 - TOTAL AREA OF DISTURBANCE = APPROX. 12,000 SF
 - ESTIMATED START DATE: 3/1/2021
ESTIMATED FINISH DATE: 3/1/2022

ZONING TABLE - R-2A DISTRICT			
LOT	MINIMUM	EXISTING	PROPOSED
AREA	2.0 ACRES	2.024 ACRES	NO CHANGE
FRONTAGE	150'	88'	NO CHANGE
WIDTH	150'	88'	NO CHANGE
DEPTH	150'	426'	NO CHANGE
YARDS			
FRONT	50'	221'	NO CHANGE
SIDE	30' / 30'	31' / 40'	NO CHANGE
REAR	50'	151'	97'

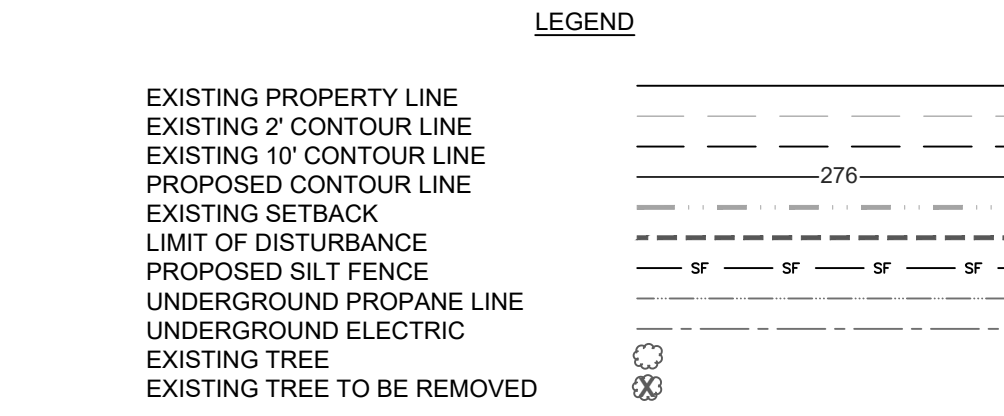
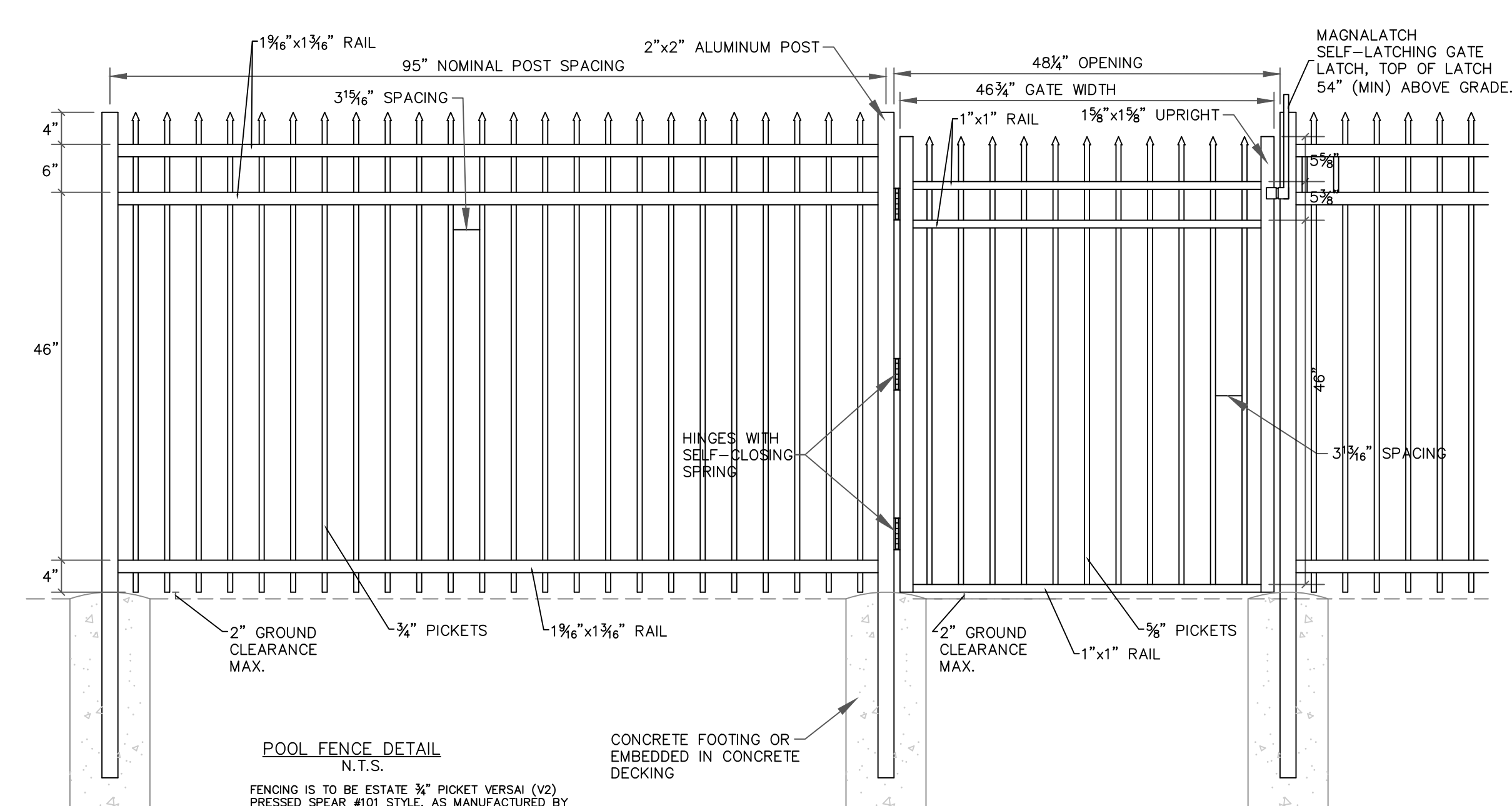
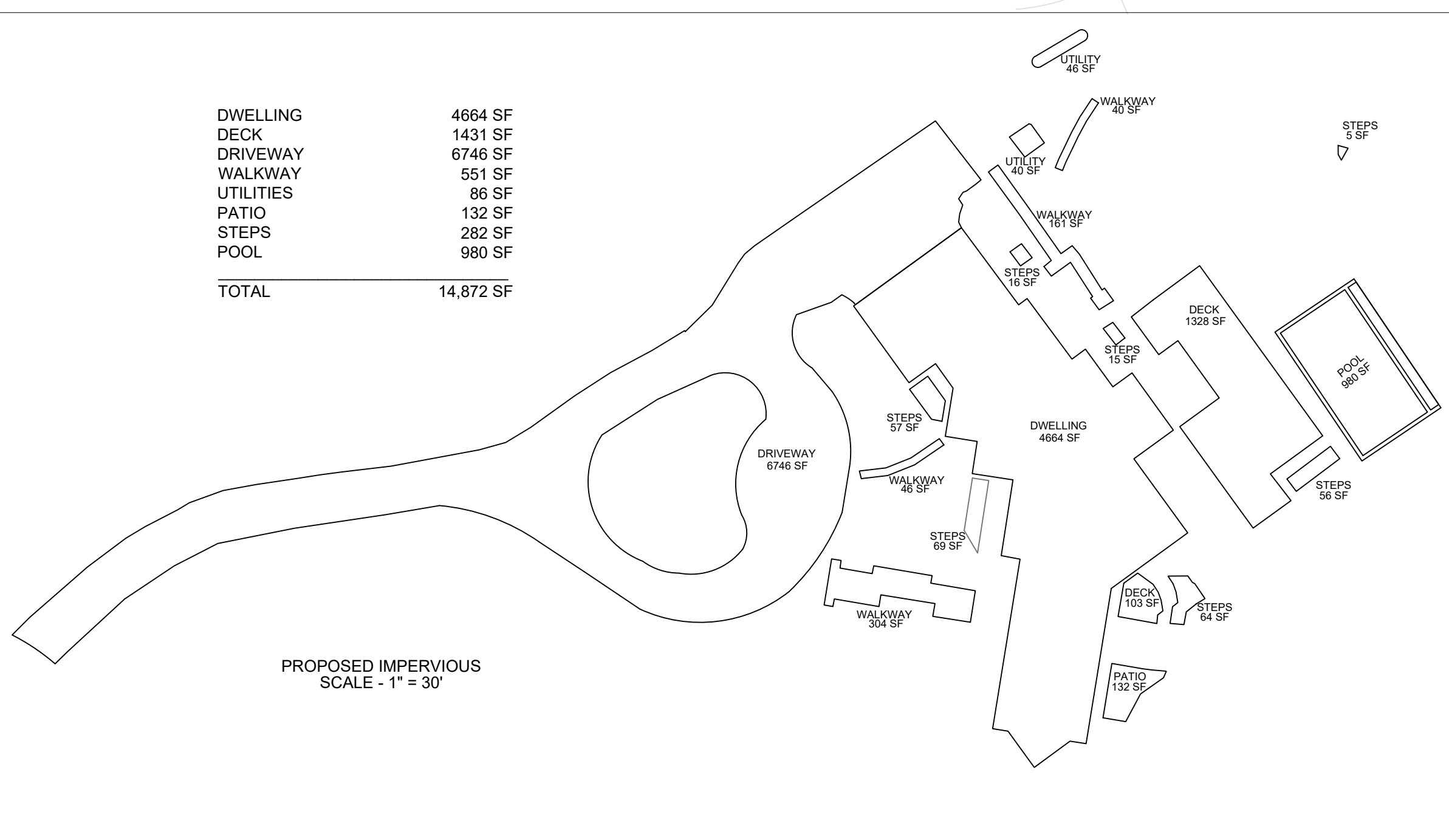
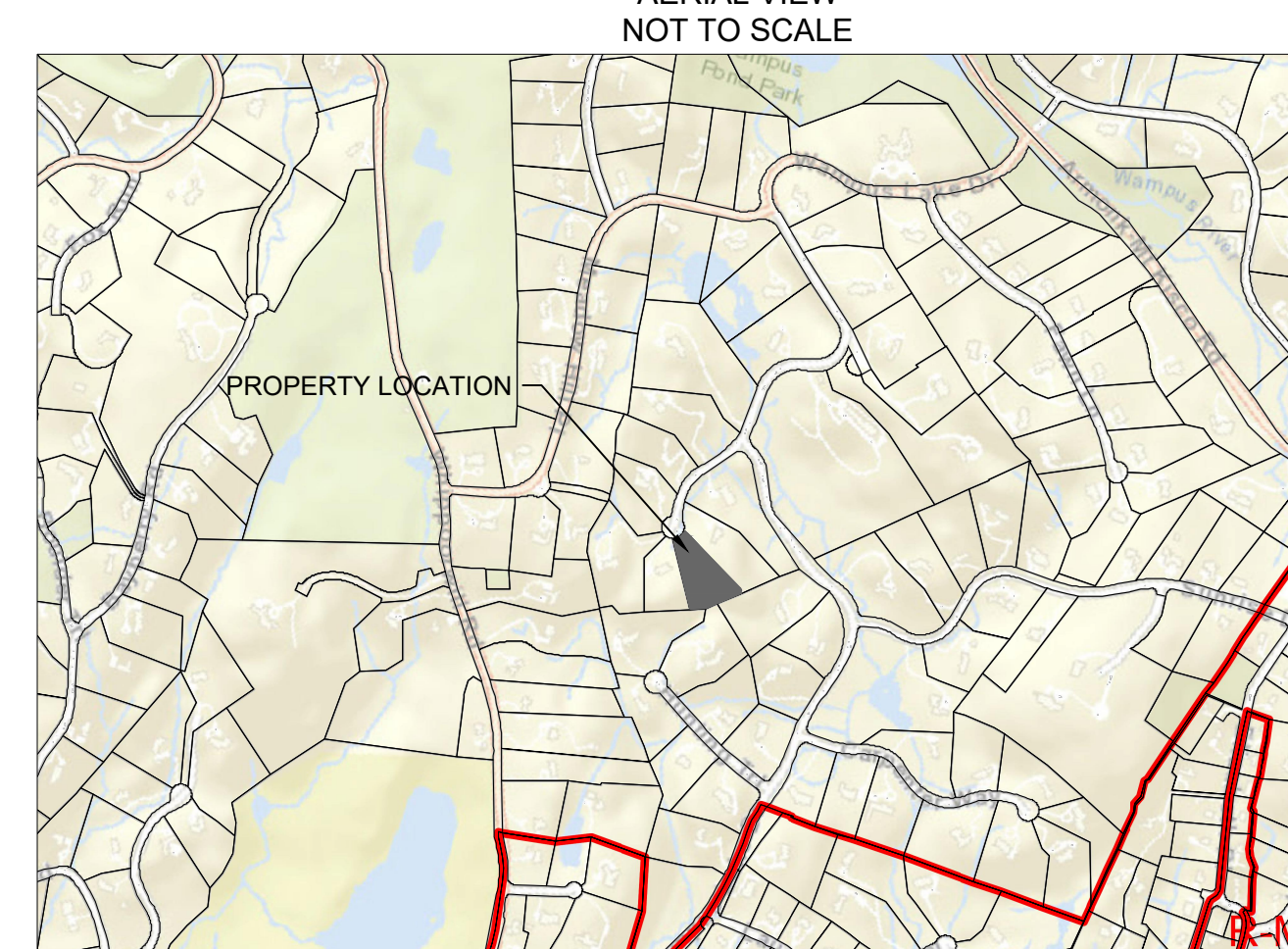
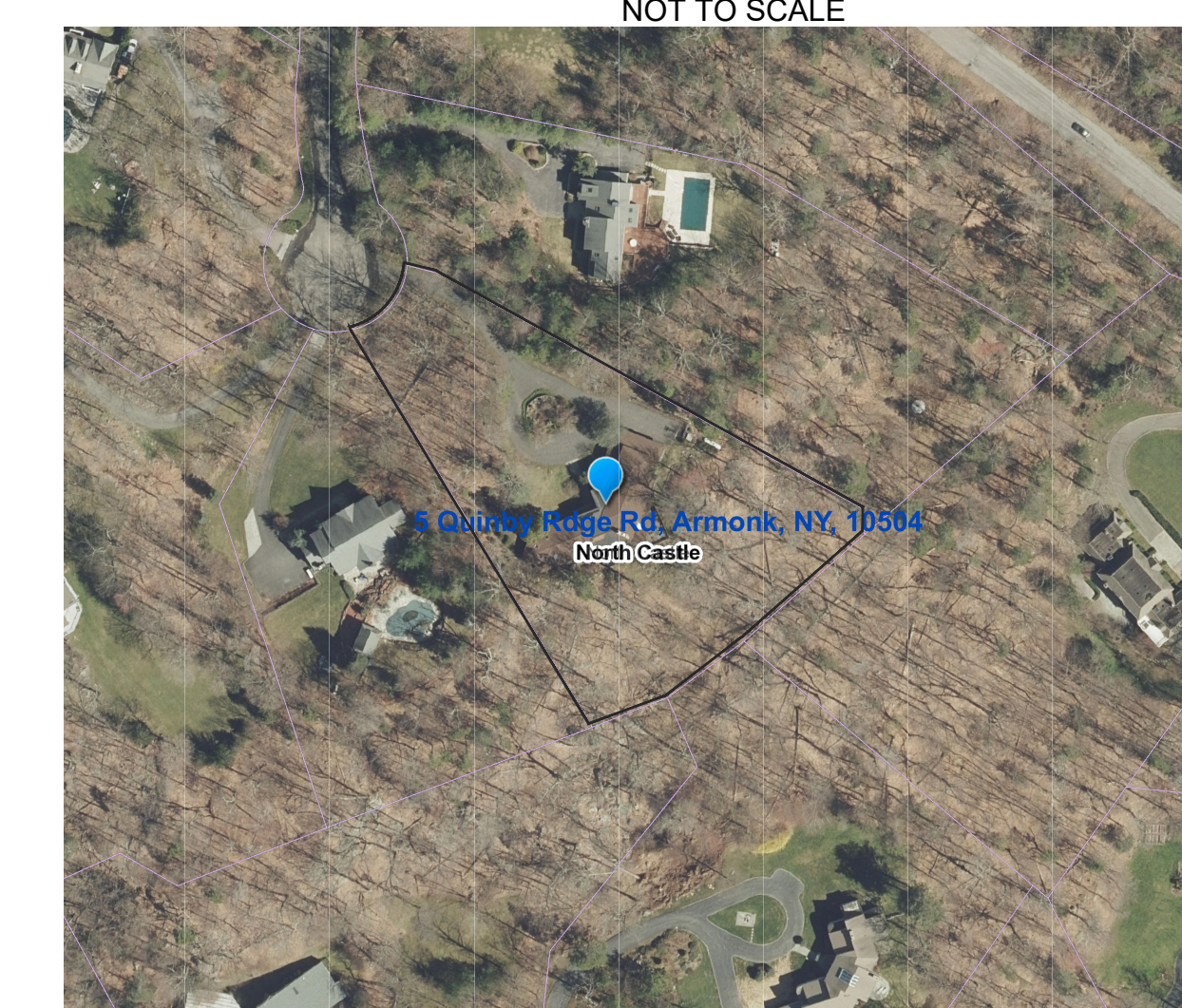
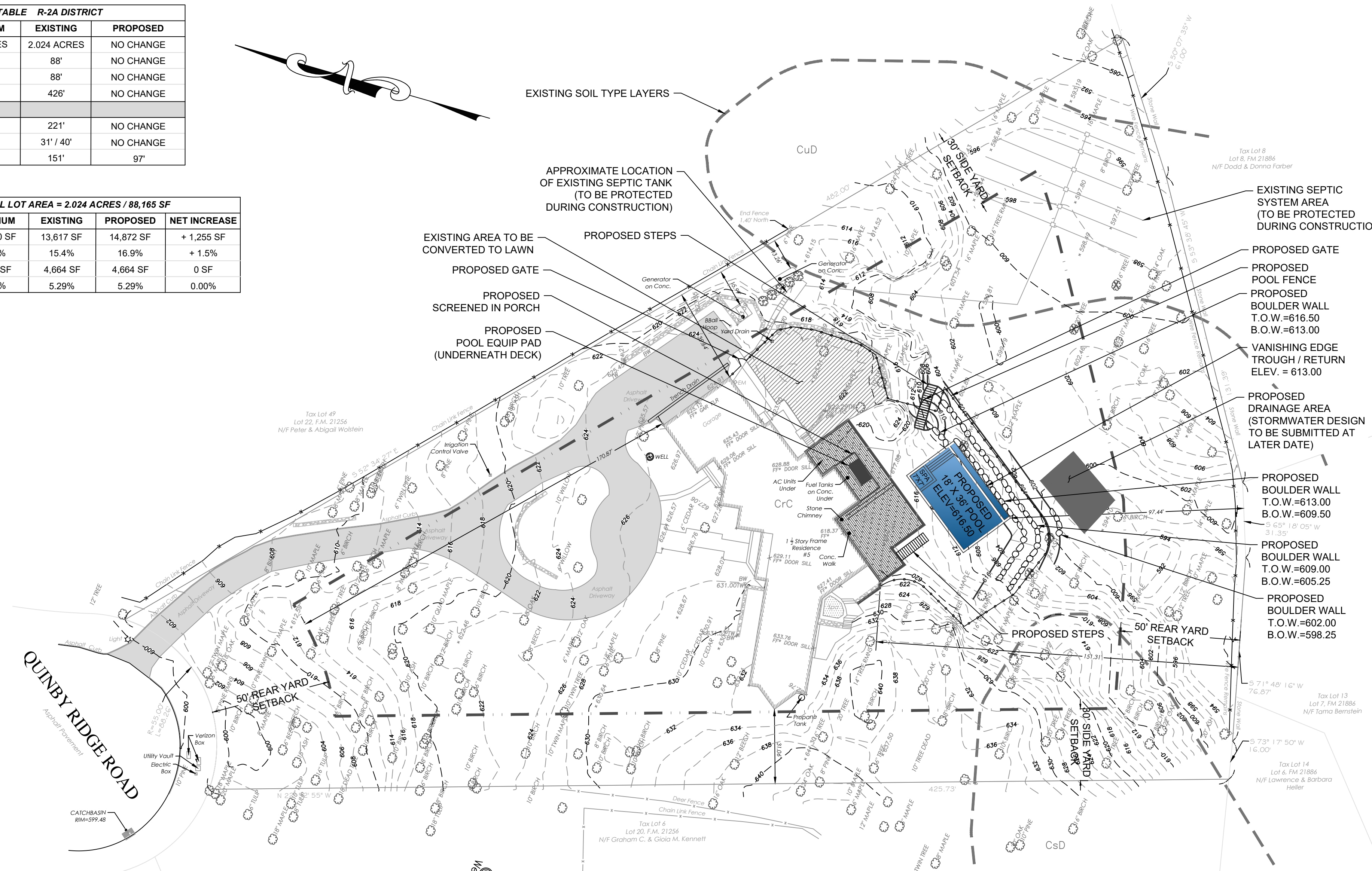
R-2A DISTRICT - TOTAL LOT AREA = 2.024 ACRES / 88,165 SF				
COVERAGE	MAXIMUM	EXISTING	PROPOSED	NET INCREASE
GROSS LAND COVERAGE	14,980 SF	13,617 SF	14,872 SF	+ 1,255 SF
GROSS LAND COVERAGE	17.0%	15.4%	16.9%	+ 1.5%
BUILDING COVERAGE	7,593 SF	4,664 SF	4,664 SF	0 SF
BUILDING COVERAGE	8.00%	5.29%	5.29%	0.00%

PROPOSED CONSTRUCTION SCHEDULE

- OBTAIN PLAN AND PERMIT APPROVALS FROM TOWN OF NORTH CASTLE.
- FIELD STAKE LIMITS OF DISTURBANCE ON AS SHOWN PRIOR TO CONSTRUCTION.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AS SHOWN.
- REMOVE SELECTED TREES & INSTALL SILT FENCING AS SHOWN, CALL FOR INSPECTIONS IF REQUIRED.
- REMOVE EXISTING DECK PORTION, SPA & BOULDER RETAINING WALLS AS SHOWN.
- INSTALL PROPOSED BOULDER RETAINING WALLS AS SHOWN.
- EXCAVATE AND INSTALL POOL & SPA, PERFORM ROUGH GRADING AROUND POOL & SPA.
- GRADE AND INSTALL NEW STEPS.
- PERFORM FINAL SITE GRADING, TOPSOIL, SEED & HAY OR OTHERWISE STABILIZE ALL DISTURBED AREAS, PERFORM FINAL PLANTINGS AS DIRECTED BY LANDSCAPE ARCHITECT.
- AFTER SITE IS DETERMINED TO BE STABILIZED BY TOWN ENGINEER OR AUTHORIZED OTHER, SEDIMENT AND EROSION CONTROLS MAY BE REMOVED.

MAINTENANCE SCHEDULE

- ALL EROSION CONTROL PRACTICES WILL BE INSPECTED REGULARLY FOR STABILITY AND OPERATION AT MINIMUM ONCE WITHIN EVERY WEEK OR FOLLOWING ANY SIGNIFICANT RAINFALL EVENT. REPAIRS SHOULD BE MADE IMMEDIATELY UPON NOTICE OF FAILURE.
- SEDIMENT TO BE REMOVED FROM SILT FENCE ONCE LEVELS REACH 50% OF HEIGHT OF EXPOSED FENCE OR BULGES APPEAR.
- ALL DISTURBED AREAS FOR TRENCHING ETC., TO BE BACKFILLED IMMEDIATELY AND ROUGH GRADED.



SITE PLAN
ADAM & ANDREA RUSSIN

5 QUINBY RIDGE RD
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NY

487 E MAIN STREET
SUITE # 230
MOUNT KISCO, NY 10549
P/F: 1-800-786-1909
WWW.RAIN-CONCEPTS.COM
INFO@RAIN-CONCEPTS.COM

RAIN CONCEPTS

STATE OF NEW YORK
COUNTY OF WESTCHESTER
1/3/21

JOHN PETROCCIONE P.E. LICENSE NO. 078516 DATE
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NEW YORK EDUCATION LAW.

JOHN PETROCCIONE P.E.
LICENSE NO. 078516
129 NEPTUNE DRIVE, MONROE, NEW YORK 10950

REVISIONS:

12/16/20	INITIAL PREPARATION
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SCALE = 1" = 30' SHEET 1 OF 2

*CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT POOL FENCING IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE NYS BUILDING CODE

PROJECT NOTES:

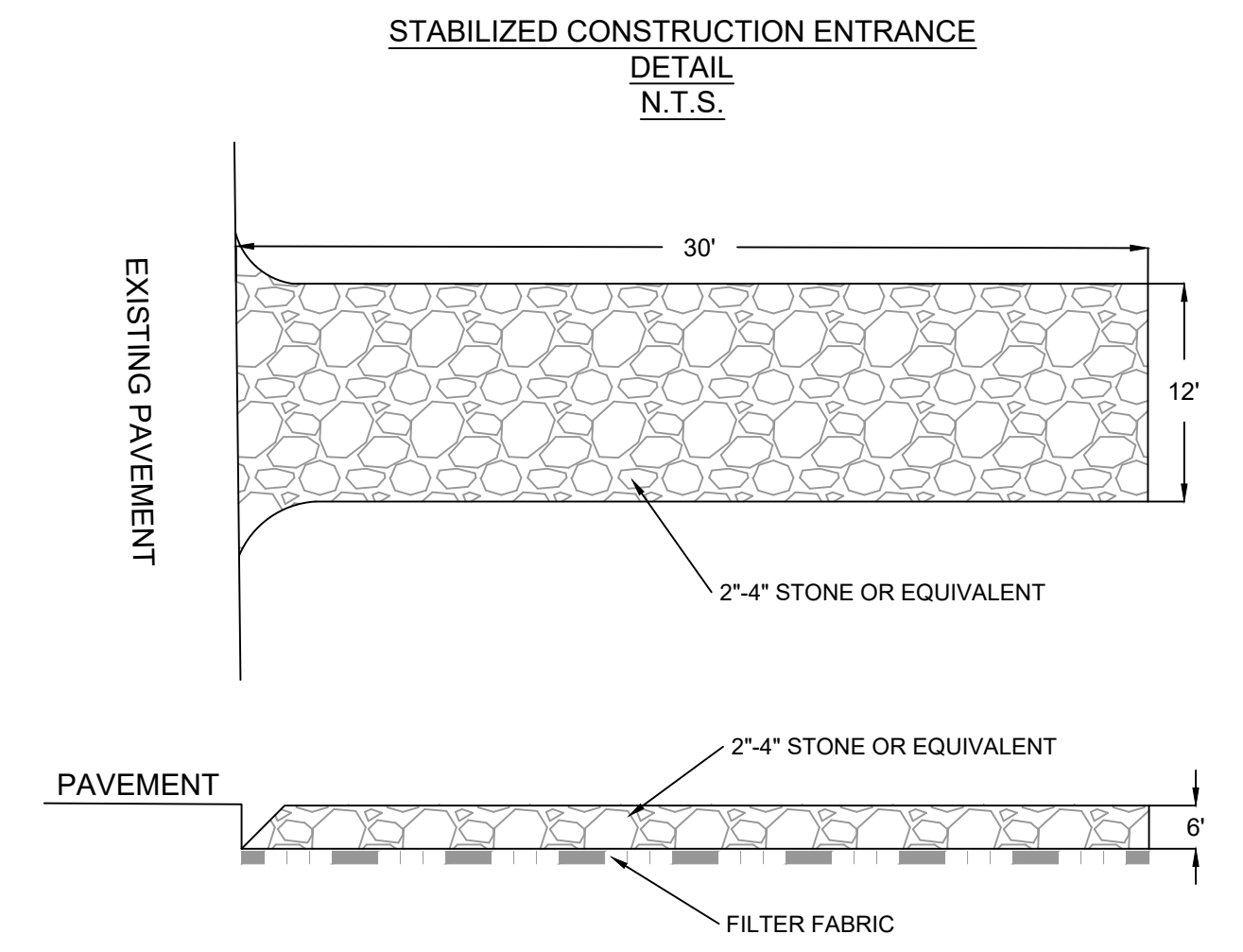
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CuD- CHATFIELD-HOLLIS-ROCK OUTCROP COMPLEX, 15-35% SLOPES
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- TOTAL AREA OF DISTURBANCE = APPROX. 12,000 SF
- ESTIMATED START DATE: 3/1/2021
ESTIMATED FINISH DATE: 3/1/2022

PROPOSED CONSTRUCTION SCHEDULE

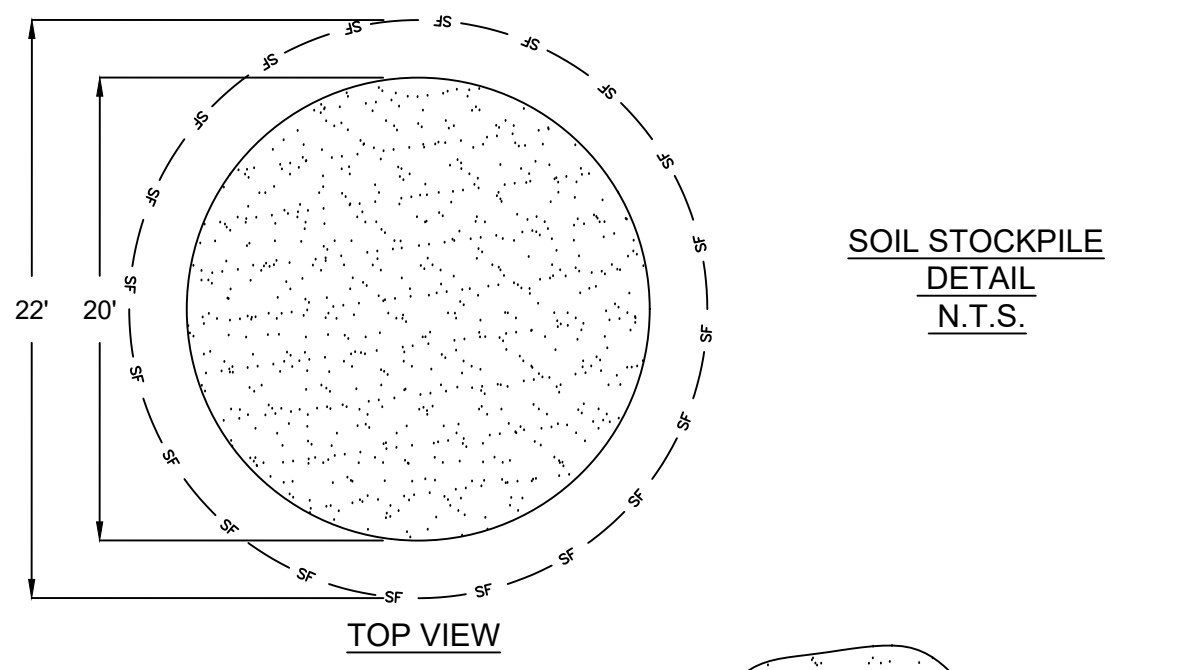
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- AFTER SITE IS DETERMINED TO BE STABILIZED BY TOWN ENGINEER OR AUTHORIZED OTHER, SEDIMENT AND EROSION CONTROLS MAY BE REMOVED.

MAINTENANCE SCHEDULE

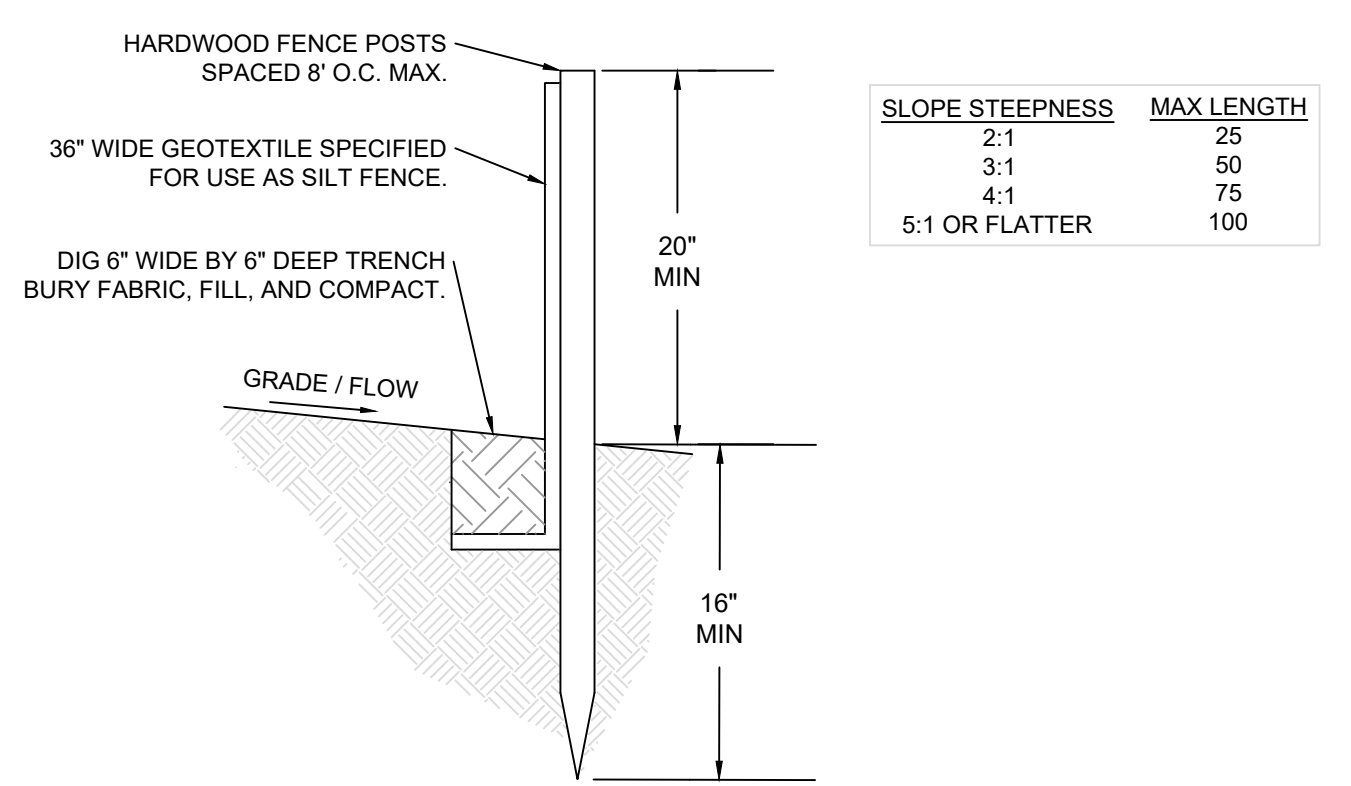
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- SEDIMENT TO BE REMOVED FROM SILT FENCE ONCE LEVELS REACH 50% OF HEIGHT OF EXPOSED FENCE OR BULGES APPEAR.
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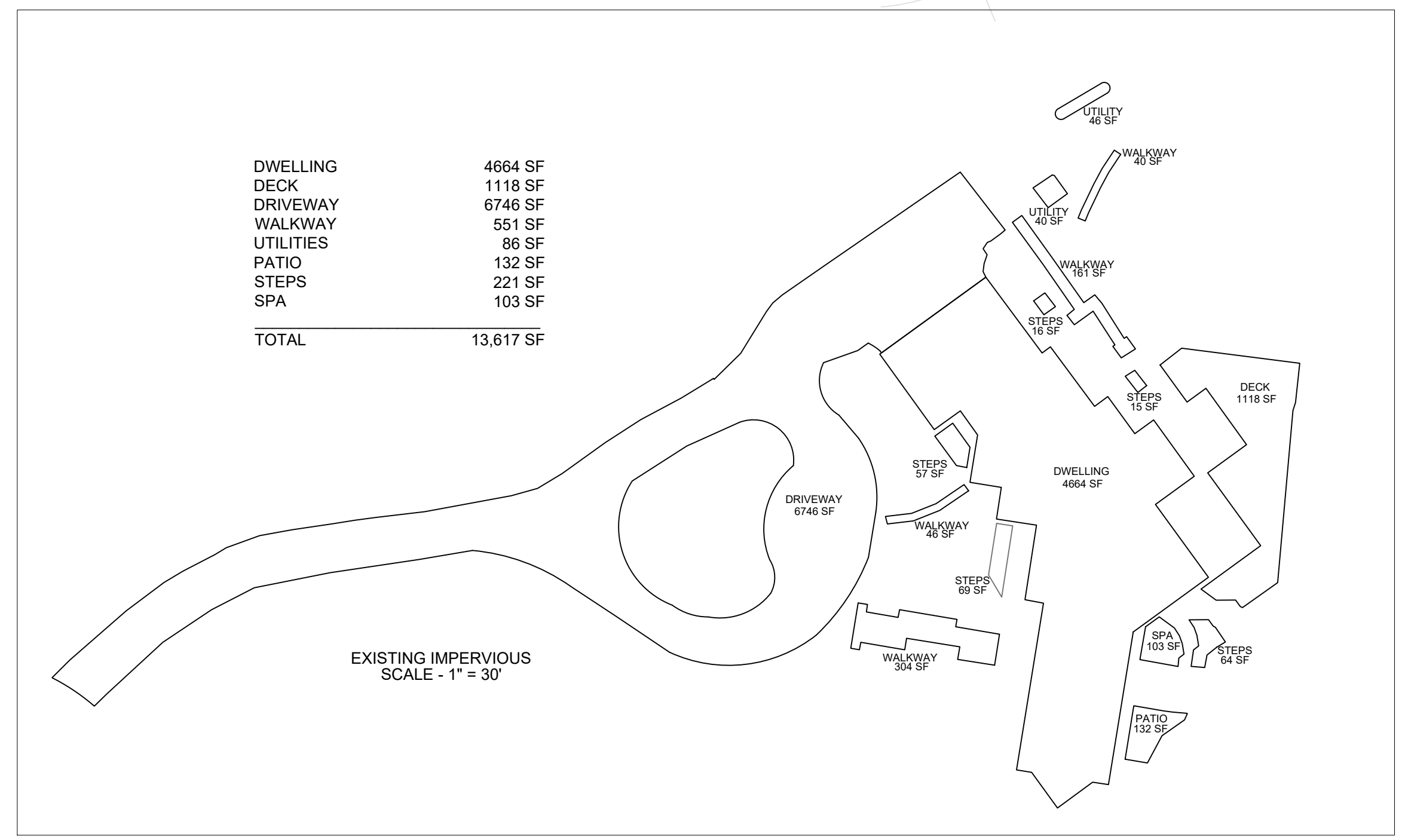
- NOTES:
- USE 2" TO 4" STONE OR RECLAIMED CONCRETE EQUIVALENT.
 - MINIMUM ENTRANCE LENGTH 30', MINIMUM ENTRANCE WIDTH 13', FOR RESIDENTIAL APPLICATIONS
 - MINIMUM GRAVEL DEPTH NOT LESS THAN 6"
 - WOVEN GEO-TEXTILE FABRIC TO BE PLACED OVER ENTIRE AREA BEFORE STONE IS PLACED.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACING OF SOILS OR SEDIMENT ONTO PUBLIC ROADWAYS. ANY OR ALL SEDIMENT TRACKED ONTO ROADWAY SHOULD BE REMOVED ACCORDINGLY.
 - NO VEHICLE WASHING IS PERMITTED ON OR AROUND CONSTRUCTION ENTRANCE.
 - PERFORM PERIODIC INSPECTIONS AS NEEDED, REMOVE AND REPLACE GRAVEL AS RECOMMENDED FROM SUCH INSPECTIONS.



- STOCKPILE EXISTING SOILS
MAX SLOPE 1:1
- SURROUND WITH SILT FENCE
- SOIL STOCKPILE
DETAIL
N.T.S.
- NOTES:
- STOCKPILE SOILS MAX SLOPE 1:1
 - SURROUND SOIL STOCKPILE COMPLETELY WITH SILT FENCE TO BE INSTALLED AS PER SILT FENCE DETAIL PROVIDED.
 - WHEN REMOVAL OF SILT FENCE IS REQUIRED TO ACCESS SOILS SILT FENCE MUST BE REPLACED IMMEDIATELY OR BEFORE END OF WORK SAME DAY. SILT FENCE IS TO BE REPLACED IF BULGES OR DAMAGE APPEARS.
 - IF STOCKPILE WILL REMAIN DORMANT FOR PERIOD OF 3 MONTHS OR MORE IT SHOULD BE COVERED WITH TARP OR SEEDED TEMPORARILY TO REDUCE POSSIBLE EROSION.



- SILT FENCE NOTES:
- FILTER FABRIC TO BE FASTENED SECURELY TO POSTS WITH STAPLES WITH MAXIMUM SPACING 8" ON CENTER.
 - ALL SILT FENCE SHALL RUN PARALLEL TO CONTOURS
 - ALL SILT FENCE SHALL MEET THE MINIMUM REQUIREMENTS AS STATED UNLESS OTHERWISE NOTED AND APPROVED BY THE BUILDING INSPECTOR OR ENGINEER
 - WHEN TWO SECTIONS OF SILT FENCE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN SEDIMENT LEVELS REACH 1/2 HEIGHT OF EXPOSED FENCE OR BULGES APPEAR.
 - PREFABRICATED UNITS, ENVIROFENCE, GEOFAB, OR APPROVED EQUAL, MAY E USED IN LIEU OF THE ABOVE METHOD PROVIDING THE UNIT IS INSTALLED AS PER ABOVE DETAIL.
 - FENCE POSTS (FOR PREFAB UNITS); THE LENGTH SHALL BE MIN 36" WITH WOOD POSTS OF SOUND HARDWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQ/IN. STEEL POSTS SHALL BET AND U SECTIONS WEIGHING NO LESS THAN 1 LB PER LINEAL FT.



DWELLING	4664 SF
DECK	1118 SF
DRIVEWAY	6746 SF
WALKWAY	551 SF
UTILITIES	86 SF
PATIO	132 SF
STEPS	221 SF
SPA	103 SF
TOTAL	13,617 SF

LEGEND

- EXISTING PROPERTY LINE
- EXISTING 2' CONTOUR LINE
- EXISTING 10' CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING SETBACK
- LIMIT OF DISTURBANCE
- PROPOSED SILT FENCE
- UNDERGROUND PROPANE LINE
- UNDERGROUND ELECTRIC
- EXISTING TREE
- EXISTING TREE TO BE REMOVED

TREE REMOVAL - INVENTORY				
LABEL	SIZE	SPECIES	CONDITION	STATUS
#1	10"	BIRCH	GOOD	TO BE REMOVED
#2	24"	ASH	GOOD	TO BE REMOVED
#3	20"	MAPLE	GOOD	TO BE REMOVED
#4	20"	TREE	GOOD	TO BE REMOVED
#5	16"	TREE	GOOD	TO BE REMOVED

EROSION CONTROL & REMOVAL PLAN
ADAM & ANDREA RUSSIN
 5 QUINBY RIDGE RD
 TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY, NY

487 E MAIN STREET
 SUITE # 230
 MOUNT KISCO, NY 10549
 P/F: 1-800-786-1909
 WWW.RAIN-CONCEPTS.COM
 INFO@RAIN-CONCEPTS.COM

RAIN CONCEPTS
CONCEPTS IN EROSION CONTROL, WATER MANAGEMENT & LANDSCAPE

STATE OF NEW YORK
 JOHN PETROCCIONE P.E. LICENSE NO 078516
 1/31/21 DATE
UNAUTHORIZED ALTERATION OF ANYTHING TO A PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

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REVISIONS:

12/16/20	INITIAL PREPARATION
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SCALE = 1" = 30' SHEET 2 OF 2