



**Town of North Castle**  
**Residential Project Review Committee**  
17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan:

Rosenstein Residence

Initial Submittal  Revised Preliminary

Street Location:

10 Hobby Lane, Bedford, NY

Zoning District: R-2A Property Acreage: 2.939 Tax Map Parcel ID: 102.04-2-7

Date: 1/4/2020

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

<input type="checkbox"/>	9. Description of method of water supply and sewage disposal and location of such facilities
<input type="checkbox"/>	10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<input type="checkbox"/>	11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<input type="checkbox"/>	12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<input type="checkbox"/>	13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.
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**Town of North Castle Building Department**

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

[www.northcastleny.com](http://www.northcastleny.com)

**Application for Revision to Approved Plans**

Note: Two (2) sets of construction documents must be submitted with application w/ \$75.00 fee.

Permit #: \_\_\_\_\_

Date: 9/2/2020

Project Address: 10 Hobby Lane, Bedford, NY

I understand that this application does not permit the revised work without express consent and approval from the Town of North Castle Building Department.

Applicants Name: John G Scarlato JR Architect

Applicants Signature: [Signature]

Phone #: (914) 273-7350

Mobile #: (914) 714-0152

E-mail: JG Scarlato @ Gmail.com

Architect/ Engineer Name: John G Scarlato JR Architect

Phone #: (914) 273-7350

Mobile #: 914 714-0152

E-mail: JG Scarlato @ Gmail.com

Description of Revision (In detail):

Revised Rear Deck and outside kitchen & Roof Added over outside kitchen.

**Office use only**

Fee Collected: \_\_\_\_\_

2 Sets of Plans: \_\_\_\_\_

Reviewed By: \_\_\_\_\_

Bldg. Inspector signoff: \_\_\_\_\_



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: [planning@northcastleny.com](mailto:planning@northcastleny.com).

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)

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# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 10 Hobby Lane, Bedford, NY

### Section III- DESCRIPTION OF WORK:

Revised Deck and outside Kitchen with New Roof  
Added. No Footprint Change.

### Section III- CONTACT INFORMATION:

APPLICANT: John G Scarlato Jr Architect  
ADDRESS: 33 Byram Hill Rd, Armonk, NY 10504  
PHONE: (914) 273-7350 MOBILE: (914) 714-0152 EMAIL: JGScarlato@gmail.com

### PROPERTY OWNER:

Stuart & Ellen Rosenstein  
ADDRESS: 10 Hobby Lane  
PHONE: \_\_\_\_\_ MOBILE: (914) 525-9000 EMAIL: stu@townsquaremedia.com

PROFESSIONAL: John G Scarlato Jr Architect  
ADDRESS: 33 Byram Hill Rd, Armonk, NY 10504  
PHONE: (914) 273-7350 MOBILE: 914 714-0152  
EMAIL: JGScarlato@gmail.com

### Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 102.04-2-7



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
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 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: Rosenstein Res Date: 1/4/2020

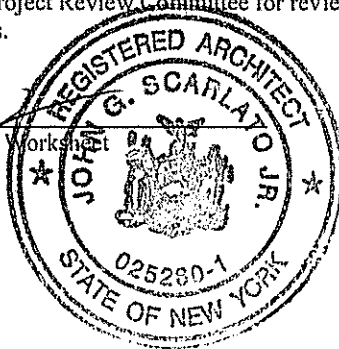
Tax Map Designation or Proposed Lot No.: 102.04-2-7

Gross Lot Coverage

- |     |   |                |
|-----|---|----------------|
| 1.  | Total lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>128,022</u> |
| 2.  | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):   | <u>16,308</u>  |
| 3.  | BONUS maximum gross land cover (per Section 355-26.C(1)(b)):  |                |
|     | Distance principal home is beyond minimum front yard setback<br><u>15</u> x 10 = _____                              | <u>150</u>     |
| 4.  | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3  | <u>16,458</u>  |
| 5.  | Amount of lot area covered by principal building:<br><u>3816</u> existing + <u>1082</u> proposed =                  | <u>4898</u>    |
| 6.  | Amount of lot area covered by accessory buildings:<br><u>0</u> existing + <u>0</u> proposed =                       | <u>0</u>       |
| 7.  | Amount of lot area covered by decks:<br><u>0</u> existing + <u>0</u> proposed = <u>Deck over patios &amp; House</u> | <u>0</u>       |
| 8.  | Amount of lot area covered by porches:<br><u>68</u> existing + <u>0</u> proposed =                                  | <u>68</u>      |
| 9.  | Amount of lot area covered by driveway, parking areas and walkways:<br><u>5608</u> existing + <u>102</u> proposed = | <u>5710</u>    |
| 10. | Amount of lot area covered by terraces:<br><u>2000</u> existing + <u>0</u> proposed =                               | <u>2631</u>    |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:<br><u>752</u> existing + <u>0</u> proposed = | <u>752</u>     |
| 12. | Amount of lot area covered by all other structures:<br><u>0</u> existing + <u>0</u> proposed =                      | <u>0</u>       |
| 13. | Proposed gross land coverage: Total of Lines 5 - 12 =   | <u>14,059</u>  |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

[Signature]  
 Signature and Seal of Professional Preparing Worksheet



1/4/2020  
 Date



TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

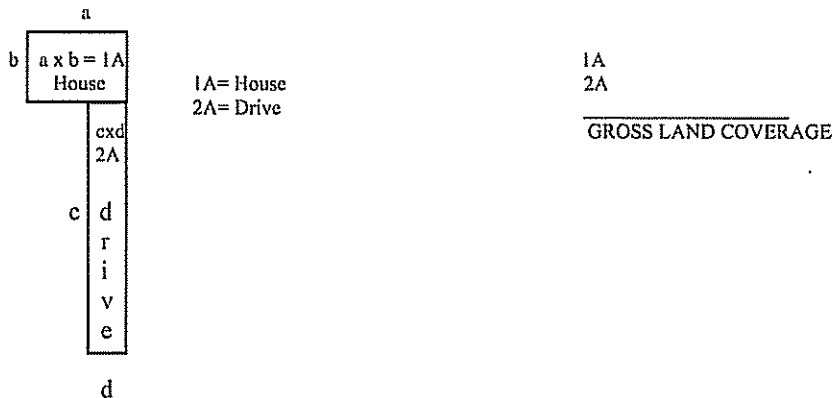
PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

## GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots <sup>1</sup> (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

\*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.





TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

January 29, 2019  
 Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastlennv.com](http://www.northcastlennv.com)

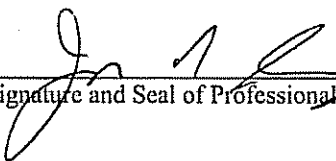
### FLOOR AREA CALCULATIONS WORKSHEET

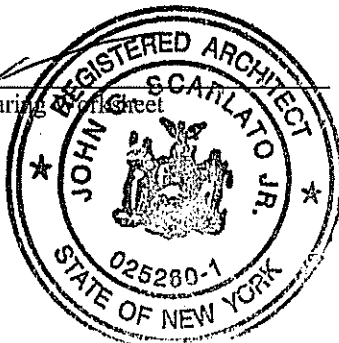
Application Name or Identifying Title: Rosenstein Residence Date: 1/4/2020  
 Tax Map Designation or Proposed Lot No.: 102.04-2-7

Floor Area

- |     |  |                 |
|-----|--|-----------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):   | <u>2.939 Ac</u> |
| 2.  | Maximum permitted floor area (per Section 355-26.B(4)):  | <u>11,758</u>   |
| 3.  | Amount of floor area contained within first floor:<br><u>3816</u> existing + <u>449</u> proposed =                             | <u>4265</u>     |
| 4.  | Amount of floor area contained within second floor:<br><u>2718</u> existing + <u>6</u> proposed =                              | <u>2718</u>     |
| 5.  | Amount of floor area contained within garage:<br><u>792</u> existing + <u>0</u> proposed =                                     | <u>792</u>      |
| 6.  | Amount of floor area contained within porches capable of being enclosed:<br><u>136</u> existing + <u>0</u> proposed =          | <u>136</u>      |
| 7.  | Amount of floor area contained within basement (if applicable – see definition):<br><u>0</u> existing + <u>1092</u> proposed = | <u>1092</u>     |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):<br><u>592</u> existing + <u>0</u> proposed =     | <u>592</u>      |
| 9.  | Amount of floor area contained within all accessory buildings:<br><u>0</u> existing + <u>0</u> proposed =                      | <u>0</u>        |
| 10. | Proposed floor area: Total of Lines 3 – 9 =  | <u>9595</u>     |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

  
 Signature and Seal of Professional Preparing Architect



1/4/2020  
 Date



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

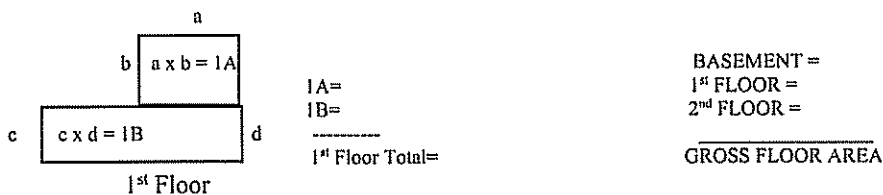
PLANNING DEPARTMENT  
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[www.northcastleny.com](http://www.northcastleny.com)

### GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

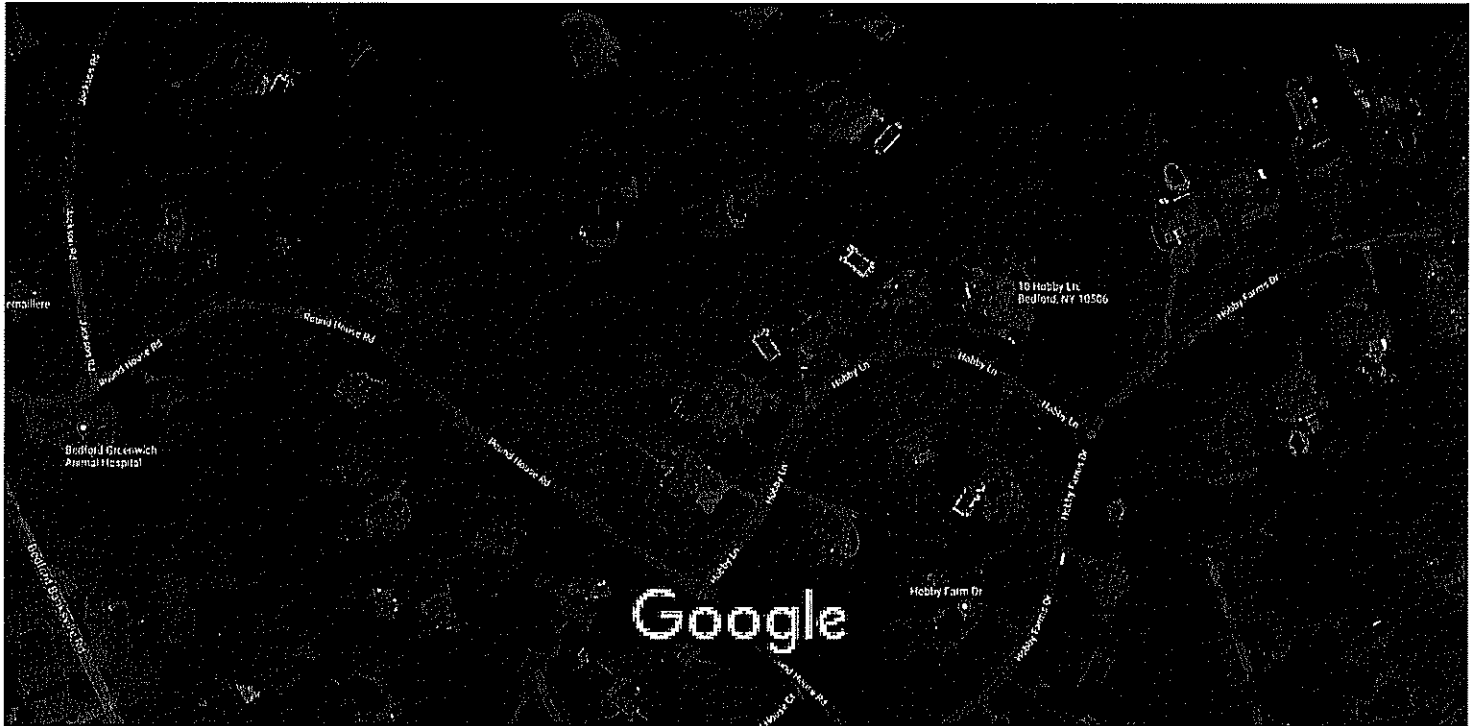
FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:


- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

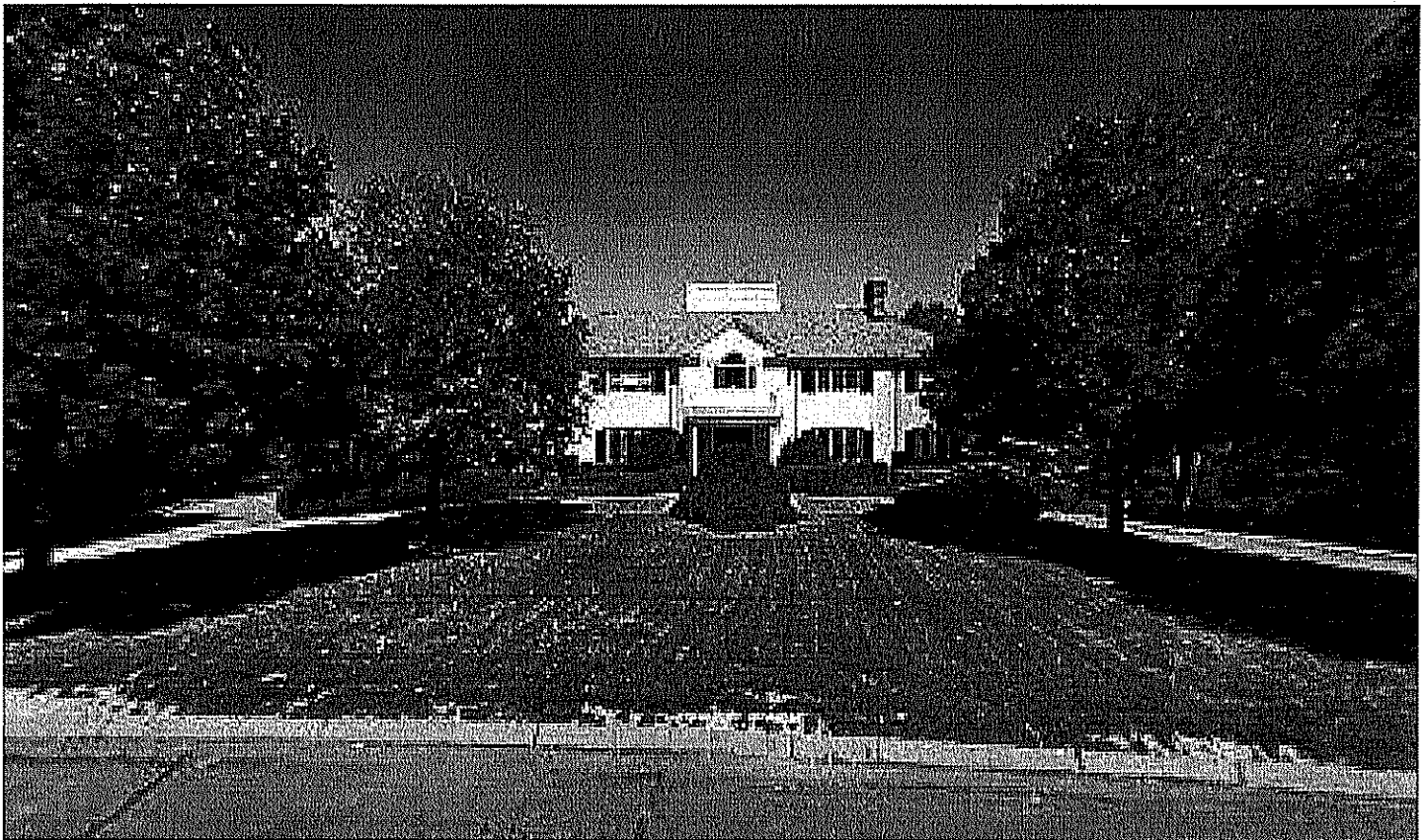
Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings <sup>1</sup> (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

\*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

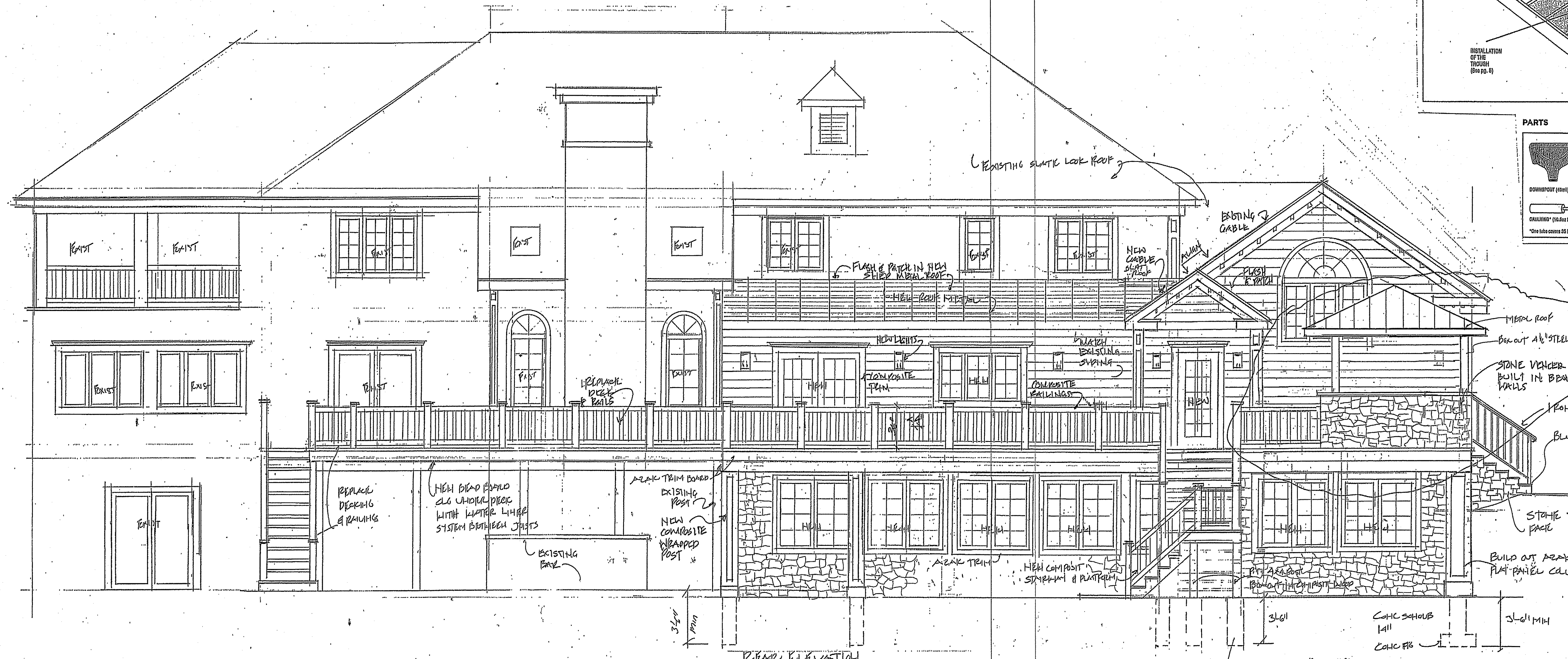
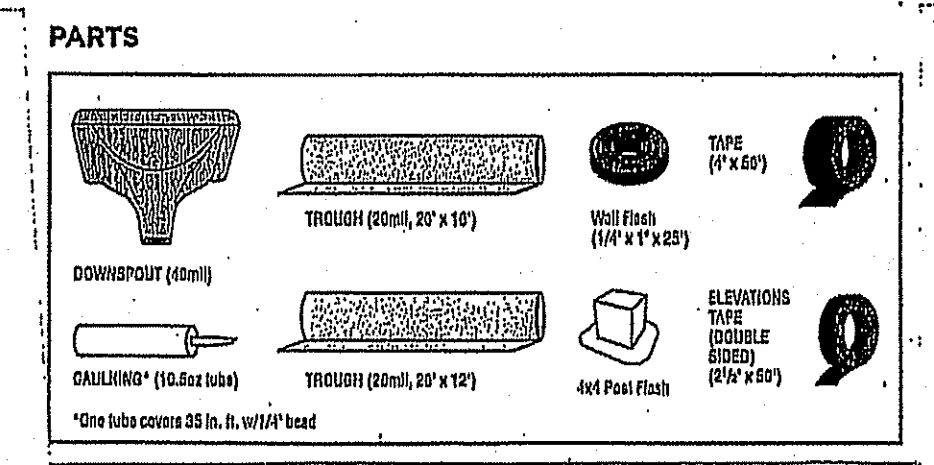
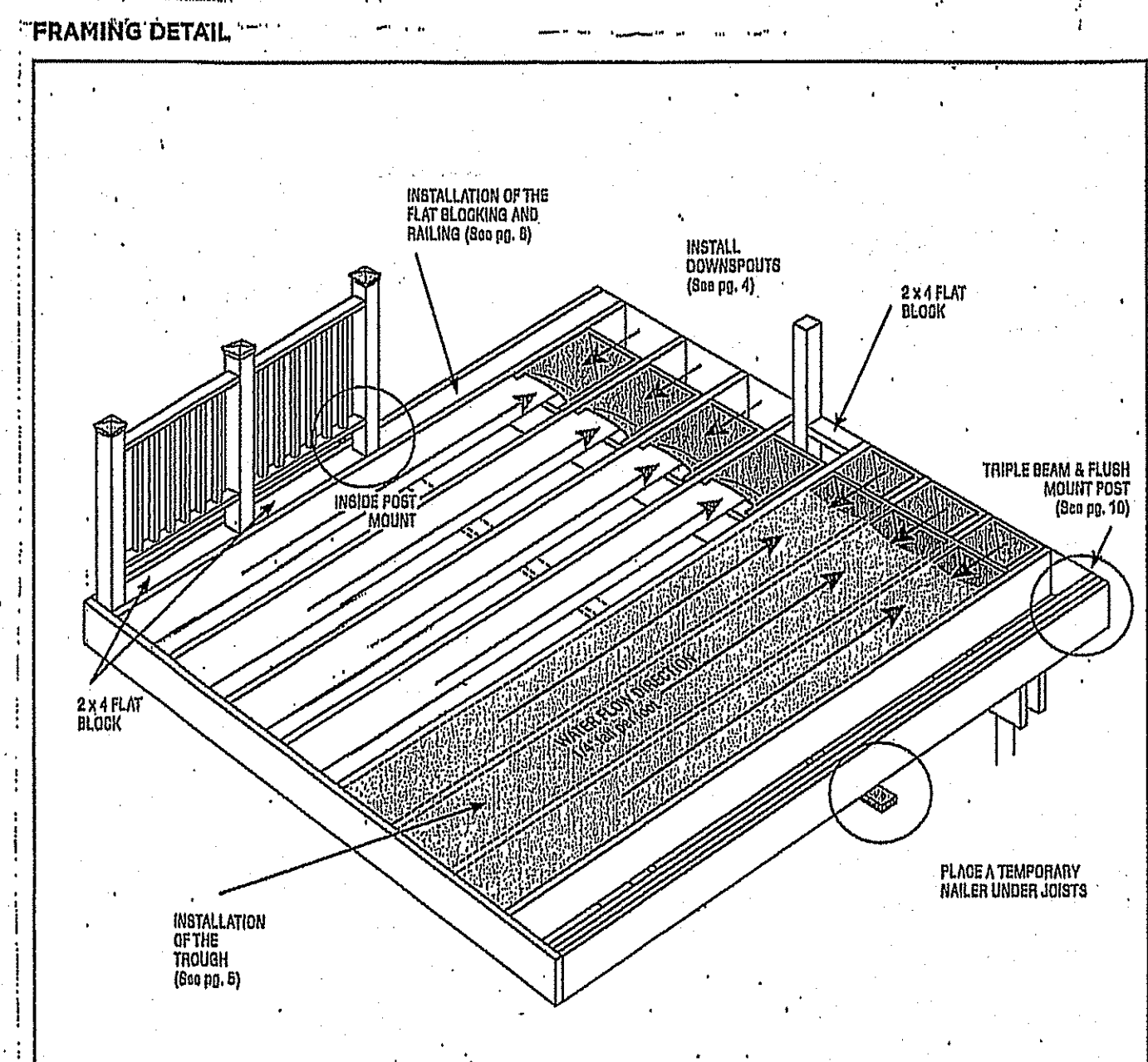
# Google Maps 10 Hobby Ln



Imagery ©2021 Maxar Technologies, New York GIS, USDA Farm Service Agency, Map data ©2021 100 ft 

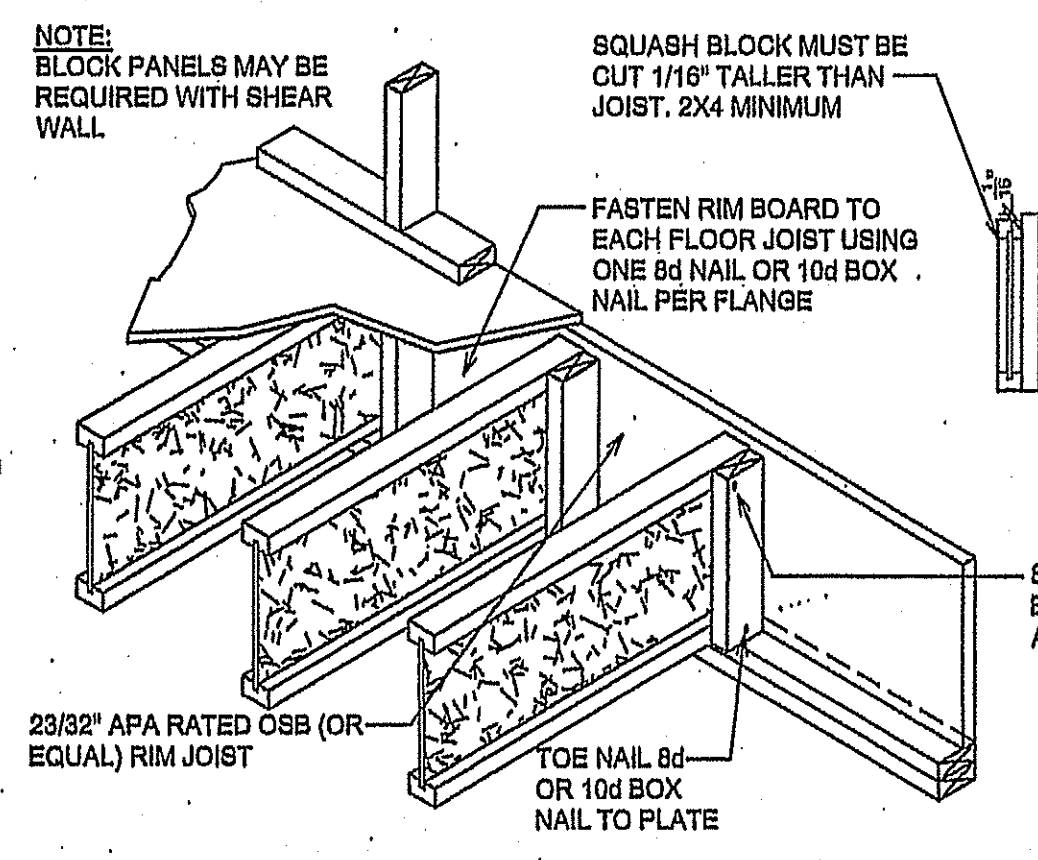






REVISOR REAR DECK & ROOF ADDED OVER KITCHEN AREA 8/15/20  
 BLUE SLATE STEP TREADS REVISOR PER BRAM REVIEW 4/25/19  
 ISSUED 7/30/18

JOHN G. SCARLA JR.  
 ARCHITECT  
 33 BIRCH HILL ROAD  
 ARMONK NY 10504  
 PHONE (914) 273-7350



SQUASH BLOCK AND RIM JOIST DETAIL  
 NOT TO SCALE

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED b FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAMED WALL R-VALUE	MASONRY WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE	CRAWL SPACE WALL R-VALUE
4a (mixed)	0.29	0.29	0.40	R-19	R-13	R-13	R-19	R-10	10, 2 FT.	R-10

RELEVANT NOTES PER 2015 IRC TABLE 402.1.2 FOR CLIMATE ZONE 4a.  
 a. R-values are minimum, U-factors are maximum. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.  
 b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exceptions: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.50.  
 c. "10/19" means R-10 continuous insulation on the interior or exterior of the floor or R-19 cavity insulation at the interior of the basement wall.  
 d. R-5 shall be added to the required slab edge R-values for heated slabs.  
 e. The first value is cavity insulation, the second value is continuous insulation, so "13+ 5" means R-13 cavity insulation plus R-5 continuous insulation.  
 f. The second R-value applies when more than half the insulation is on the interior of the mass wall.

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA FOR RESIDENTIAL DISTRICTS

CLIMATE ZONE	GROUND SNOWLOAD (Lbs/sf)	WIND SPEED (mph)	TOPOGRAPHIC WIND SPEED EFFECTS	REGION	SPECIAL WIND DESIGN CATEGORY	WIND Borne DEBRIS ZONE CATEGORY	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH (ft)	ICE PROTECTION REQUIRED	WINTER DESIGN YEAR	ICE BARBER UNDERLAYMENT	FLOOD HAZARD INDEX	AIR FREEZE INDEX (\$00)	MEAN ANNUAL HEATING DEGREE DAYS
4a (mixed)	20	115/120	NO	NO	NO	C	SEVERE	42"	YES	15	REC'D	NO	500	52.2	

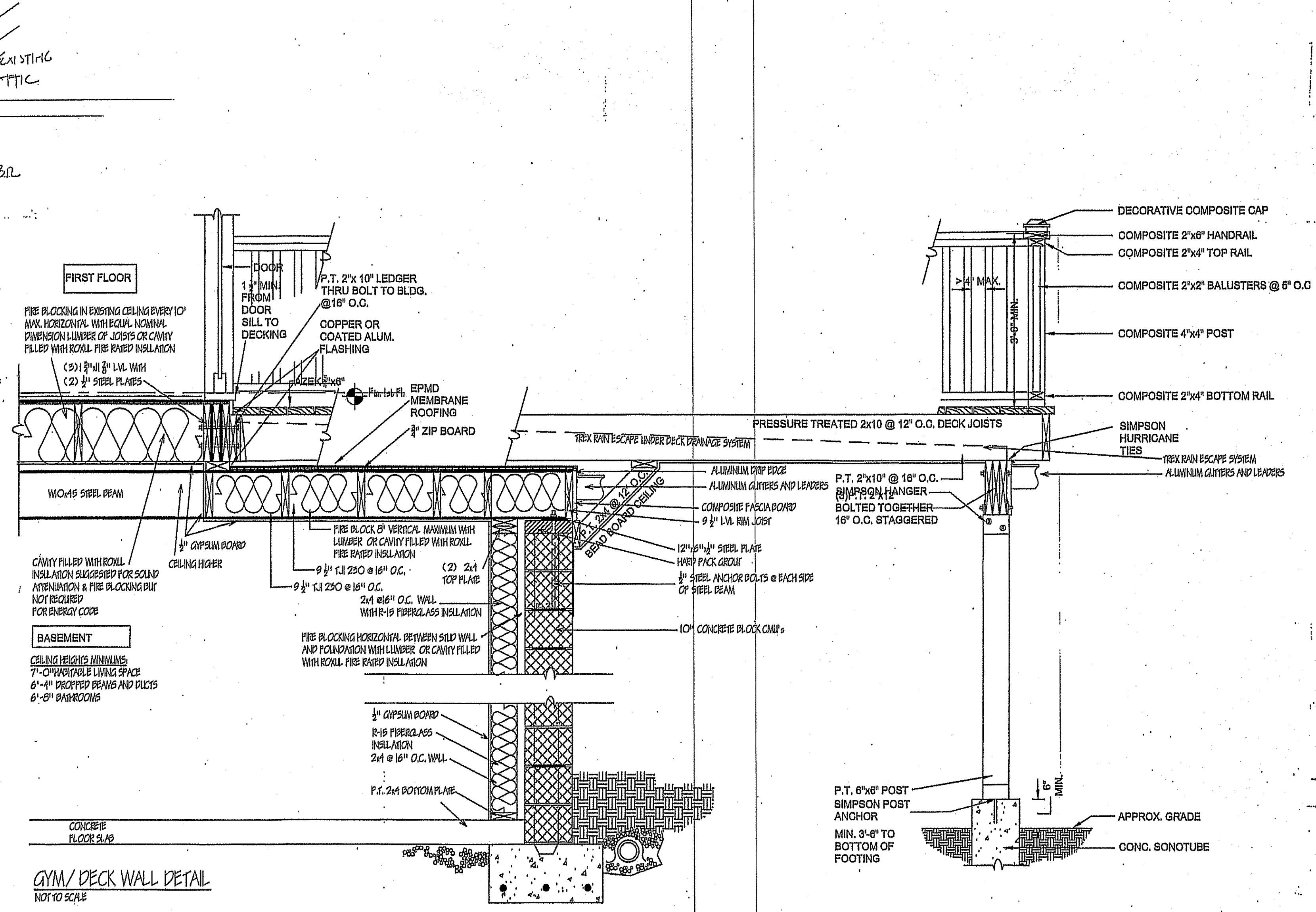
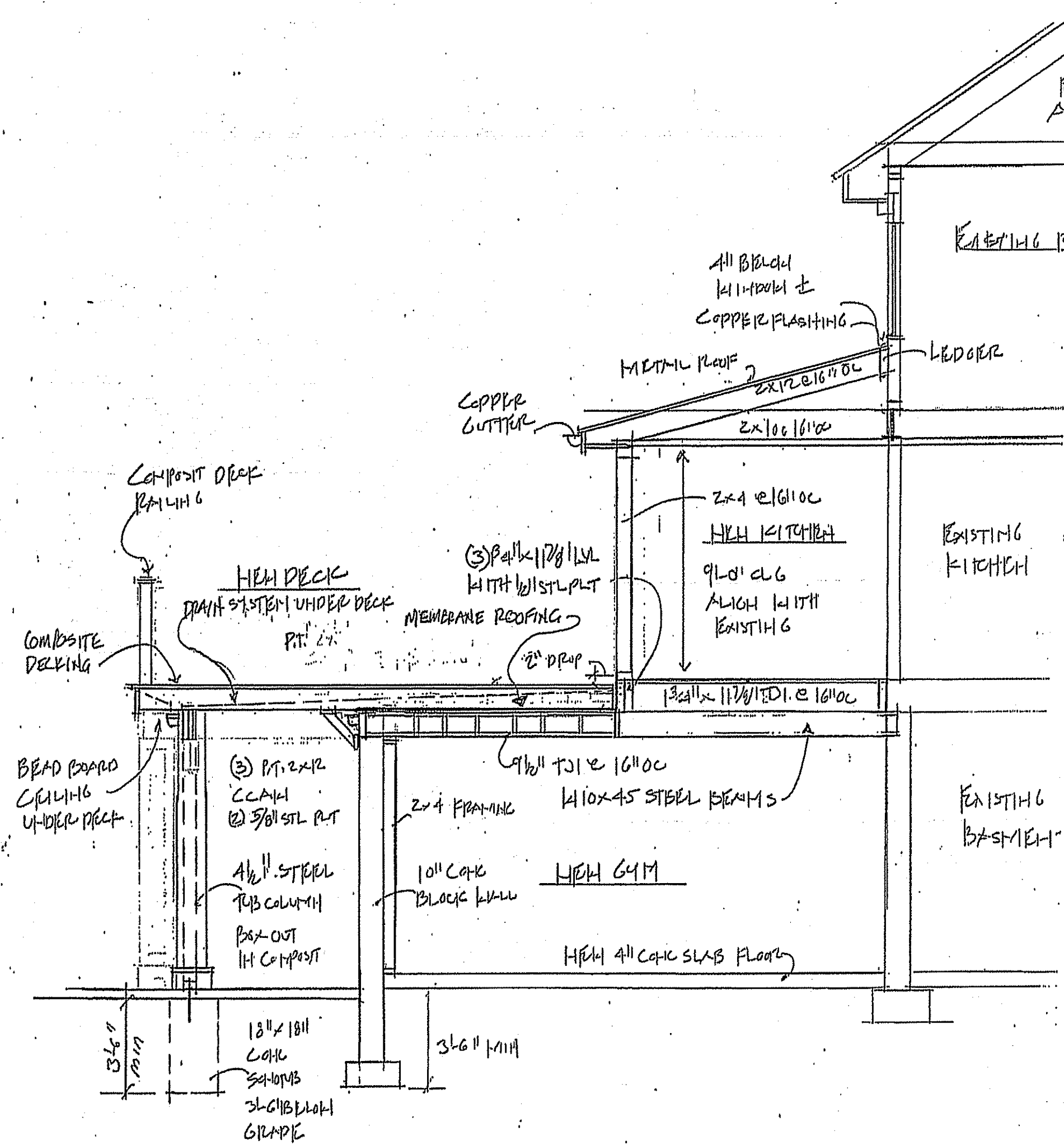
ROSENSTEIN RESIDENCE  
 10 HOBBY LANE  
 BEDFORD NY 10506

REAR ELEVATION

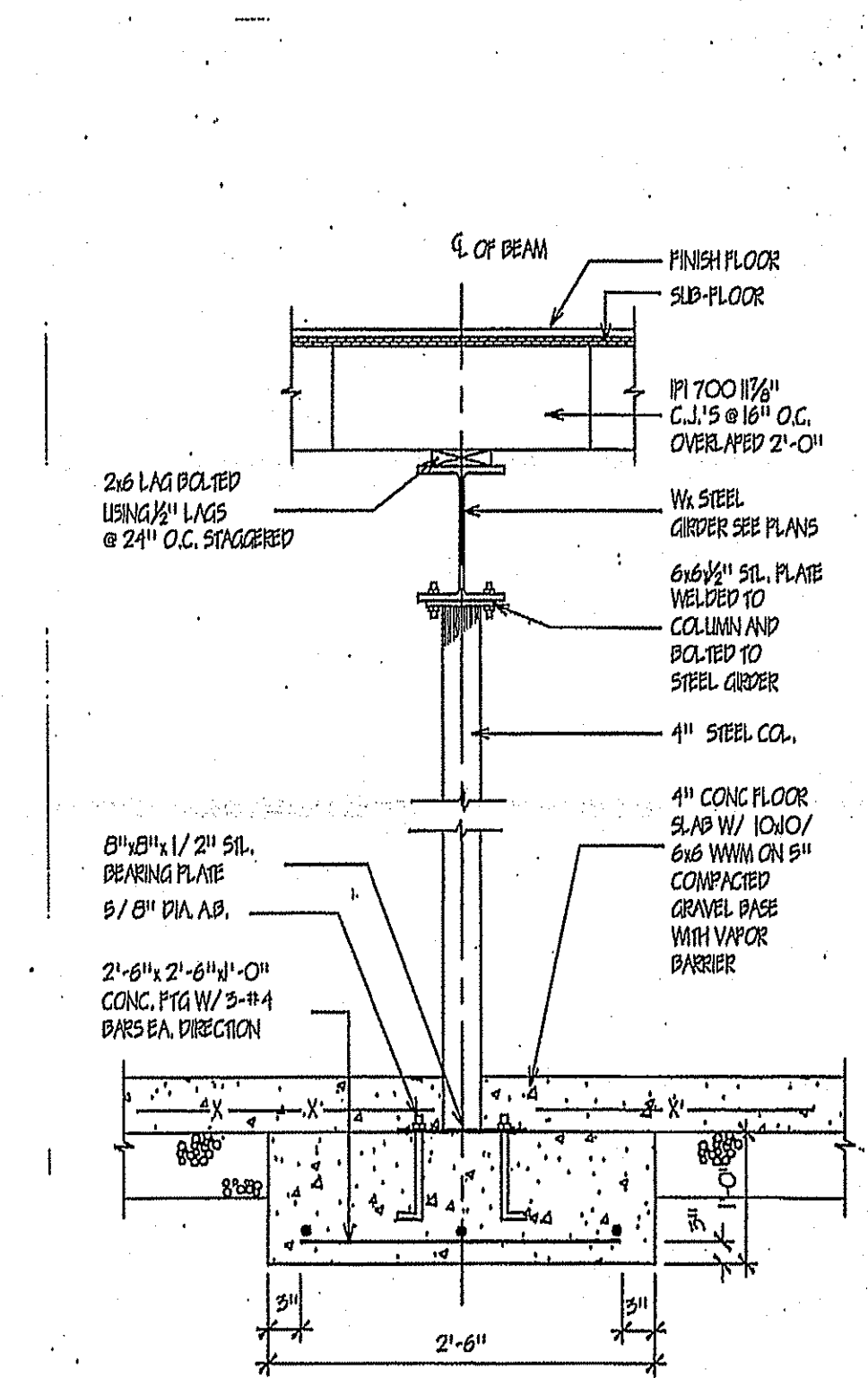
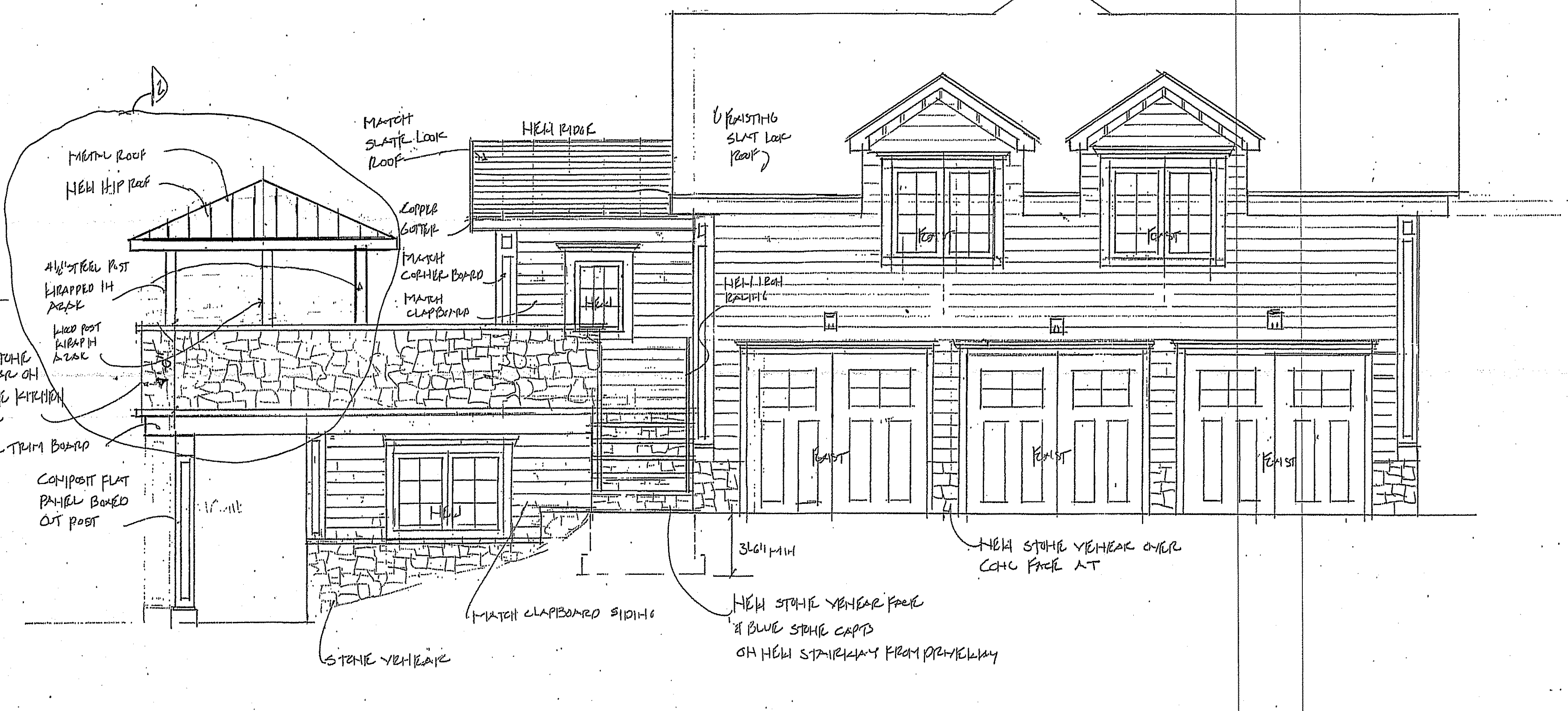
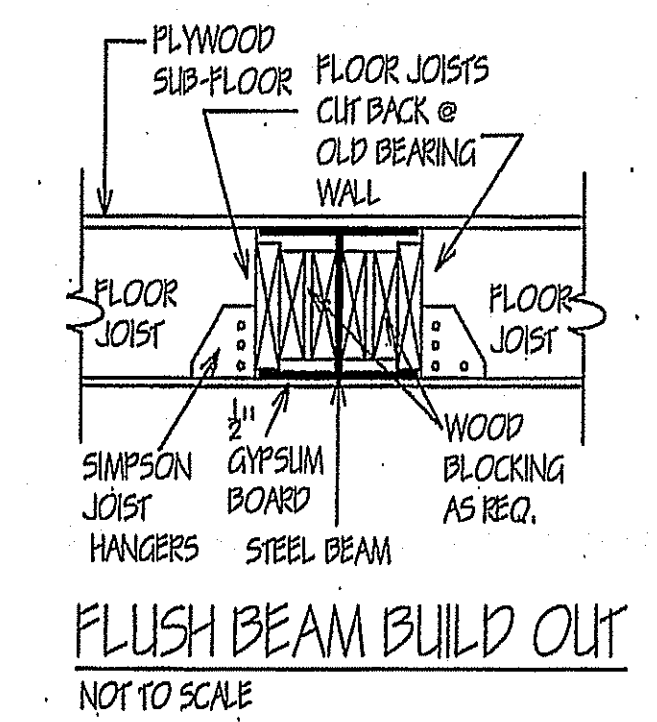


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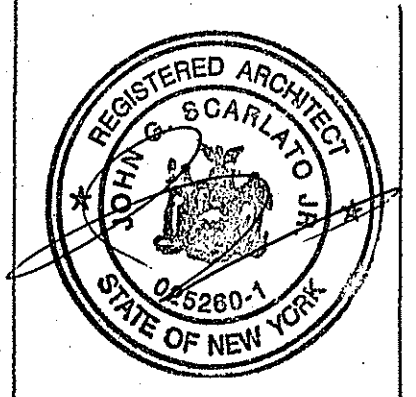
- ### GENERAL NOTES
- ALL WORK SHALL CONFORM TO THE OFFICIAL CODES, RULES AND REGULATIONS OF 2015 INTERNATIONAL RESIDENTIAL CODE, 2015 INTERNATIONAL BUILDING CODE, 2015 INTERNATIONAL EXISTING BUILDING CODE, 2015 INTERNATIONAL ENERGY CONSERVATION CODE AND 2015 INTERNATIONAL FIRE CODE.
  - CONTRACTOR SHALL PROTECT AND BRACE ALL WORK FROM DAMAGE DURING CONSTRUCTION.
  - ALL WORK TO BE PLUMB & TRUE. ALL PLUMBING WORK TO BE IN ACCORDANCE WITH NYS PLUMBING CODE. ALL ELECTRICAL WORK TO BE IN COMPLIANCE WITH NYS AND N.E.C. ALL HVAC WORK TO BE IN COMPLIANCE WITH ASHRAE STANDARDS, LATEST EDITION. ALL PLUMBERS AND ELECTRICIANS SHALL BE LICENSED AND INSURED. ALL CONTRACTORS AND SUB-CONTRACTORS ARE RESPONSIBLE FOR ANY ADDITIONAL PERMITS, APPROVALS, AND INSPECTIONS THEIR PERTICULAR TRADE MAY REQUIRE.
  - LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY, FREE FROM ROT, LARGE AND LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED. ALL NEW LUMBER SHALL CONFORM TO 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE CHAPTER 6, SPECIFICALLY, TABLE R602.4(1) TO R602.4(10). PROVIDE BLOCKING, NAILERS, ROUGH FRAMING HARDWARE AS REQUIRED. ALL BEAMS, JOISTS AND RATERS TO BE SET WITH NATURAL GROWN UP. PROVIDE DOUBLE RATTERS AND HEADERS ABOVE ALL ROOF SLOTTINGS UNLESS OTHERWISE NOTED. ALL LUMBER SHALL BEAR VISIBLE GRADE STAMP. ALL STRUCTURAL LUMBER, T&I, T&I, LVL OR EQUIVALENT SHALL BE INSTALLED PER DRAWING AND MANUFACTURERS SPECIFICATIONS. ALL HANDLING AND INSTALLATION PROCEDURES MUST BE SUPPLIED BY THE MANUFACTURER AND SHALL BE FOLLOWED. STRUCTURAL AND ENGINEERED LUMBER SHALL NOT BE ALLOWED TO GET WET AT ANY TIME.
  - USE OF ANY TRUSS TYPE, PRE-ENGINEERED OR TIMBER CONSTRUCTION WILL REQUIRE A SIGN BE PLACED AT OR ADJACENT TO THE ELECTRIC METER WITH SPECIFICATIONS PROVIDED BY THE ARCHITECT.
  - ALL CONCRETE WORK, DETAILS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ACI 318 AND ACI 308 OR PCA 100, AND THE INTERNATIONAL RESIDENTIAL CODE 2015 SECTION R404. ALL CONCRETE SHALL BE TYPE I, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
  - REINFORCING BARS TO CONFORM TO 2015 INTERNATIONAL RESIDENTIAL CODE SECTION R404.1.3.2. REINFORCING SHALL BE ACCURATELY INSTALLED TO REQUIRED ELEVATION AND SECURELY TIED IN PLACE SO AS TO PREVENT DISPLACEMENT DURING CONCRETING.
  - CONTRACTORS TO VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO ARCHITECT. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
  - ALL FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL HAVING A MINIMUM SAFE BEARING CAPACITY OF 2 TONS PER SQUARE FOOT. BRACE ALL RETAINING WALLS OR FOUNDATION WALLS AS REQUIRED. BACKFILL WITH APPROVED MATERIAL. BACKFILLING UNDER SLABS, AROUND PIERS ON EACH SIDE OF FOUNDATION WALLS SHALL BE DONE IN LAYERS NOT TO EXCEED 16 INCHES. COMPACTION SHALL BE 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. EXCAVATION MUST BE FREE OF WATER WHILE FOUNDATION WORK IS IN PROGRESS. TRUCKS, BULLDOZERS, AND OTHER HEAVY EQUIPMENT SHALL BE OPERATED WITH CAUTION AND IN SUCH A MANNER AS TO CAUSE NO DAMAGE TO FOUNDATION SYSTEMS.
  - ALL STRUCTURAL STEEL SHALL BE NEW, CLEAN, STRAIGHT, AND SHALL CONFORM TO THE LATEST EDITION FOR ASTM DESIGNATION A-36 OR A-500 FOR ALL "I" SECTIONS. ALL STRUCTURAL STEEL WORK SHALL COMPLY WITH SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND CONSTRUCTION OF STRUCTURAL STEEL FOR BUILDING OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION LATEST EDITION. PROVIDE STEELER ANGLES OR PLATES UNDER ALL POSTS, COLUMNS OR STUBS THAT ARE CARRIED BY STEEL BEAMS AND IN THE WEB OF BEAMS CANTILEVERED OVER COLUMNS OR BEAMS SUPPORTING HANGERS. UNLESS OTHERWISE NOTED PROVIDE 6x6x12" BEARING ON CONCRETE MASONRY IF ANY.
  - HEADERS TO BE (3) 2"x10" IN 2x4 WALLS AND (2) 2"x10" IN 2x4 WALLS UNLESS OTHERWISE NOTED.
  - INSULATION IN FLOOR, WALL AND CEILING APPLICATIONS SHALL BE OF COMBINATIONS OF FIBERGLASS, CONTINUOUS RIGID, OR BLOWN OR SPRAYED CELLULOUS INSULATION TYPES TO CONFORM TO THE IBC 2015 CHAPTER 4, WESTCHESTER COUNTY IS COMPLIANCE 4.
  - TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2015 IRC ENERGY COMPLIANCE CODE WITH NYS AMENDMENTS.
  - ALL FOOTINGS TO BE A MINIMUM OF 3'-0" BELOW GRADE, OR LOCAL FROST DEPTH AS SPECIFIED BY ARCHITECT, UNDERPIN WHEN NECESSARY.
  - BUILDING TO CONFORM TO ANY LOCAL SUPPLEMENTAL CODE.
  - PROVIDE BLOCKING AS REQUIRED TO BEARING POSTS ONTO GIRDER OR BEAM CONDITIONS AND VERIFY ALL BEARING TO FOOTING.
  - ALL DECK RAILS AND STAIR HANDRAILS TO BE IN COMPLIANCE WITH 2015 IRC SECTION 311 OR CURRENT CODE OR SUPPLEMENTAL CODES.
  - ALL ROOF FRAMING SYSTEMS SHALL BE INSTALLED WITH HIGH WIND CONNECTORS IN COMPLIANCE WITH 2015 IRC CHAPTER 8.
  - ALL POSTS TO FOUNDATION FOR THE PURPOSE OF SUPPORTING ROOF OR OTHER BEAMS SHALL BE BLOCKING AS SPECIFIED BY ARCHITECT OR A MINIMUM OF 4x4 NOMINAL DIMENSION FROM STRUCTURAL ELEMENT TO BE SUPPORTED CONTINUOUS TO A SOLID MASONRY FOUNDATION THAT EXTENDS BELOW REQUIRED FROST DEPTH AND RESTS ON A FOOTING OF TYPICAL CONSTRUCTION.
  - ALL SIMPSON STRONG-TIE CONNECTORS AND ANCHORS ARE DESIGNED WITH SPECIFIC LOADS AND CAPACITIES. SUBSTITUTIONS OF THESE HANGERS FOR DIFFERENT MODEL NUMBERS THAN SPECIFIED BY ARCHITECT OR ENGINEER IS FORBIDDEN WITHOUT VERIFYING THE REPLACEMENT PART WITH DESIGN PROFESSIONAL.



Revised Rear Deck & Roof over outdoor Kitchen 8/15/20  
 Revised PIR PLAN REVIEW 4/25/19  
 ISSUE 7/30/18

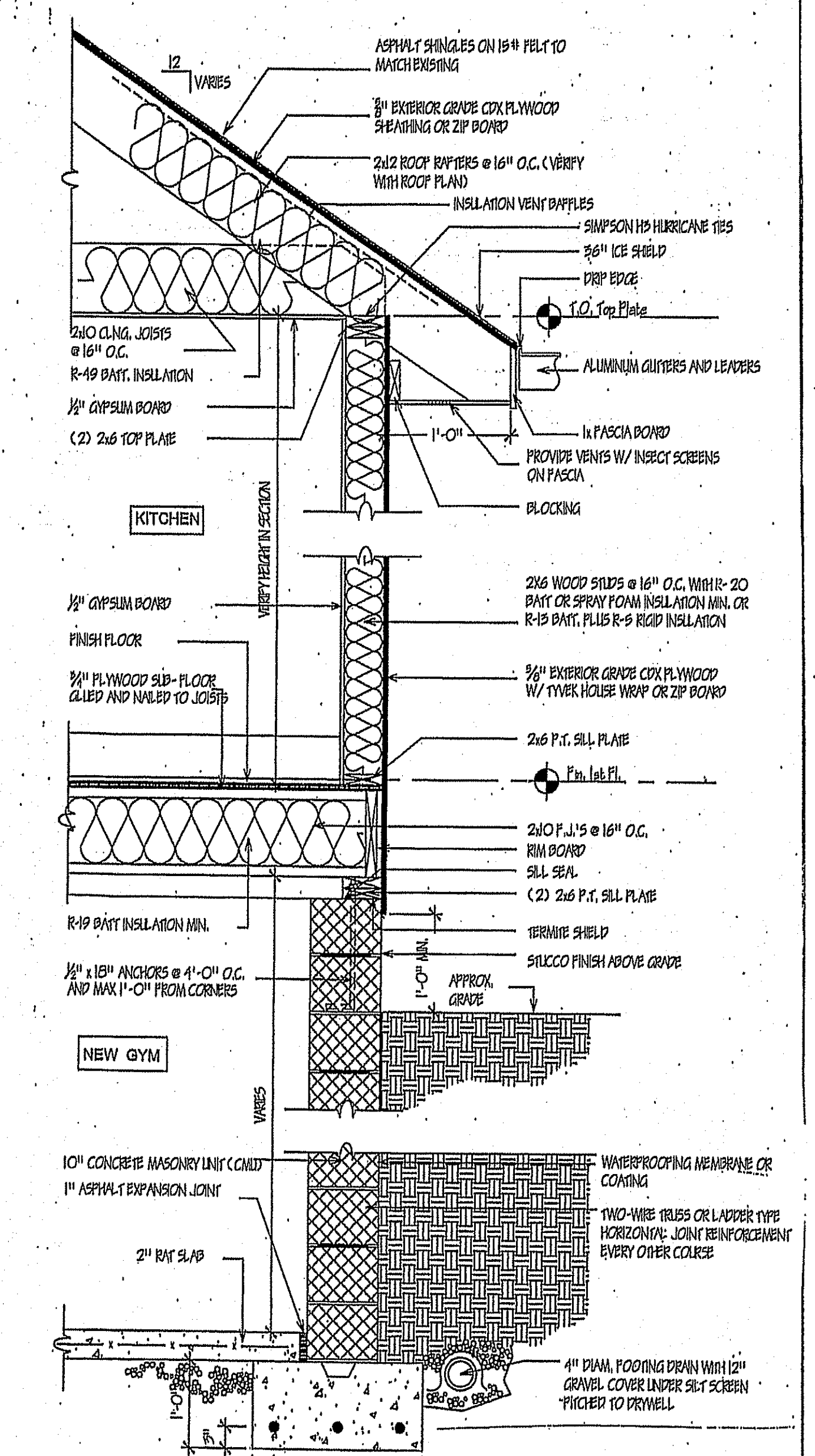
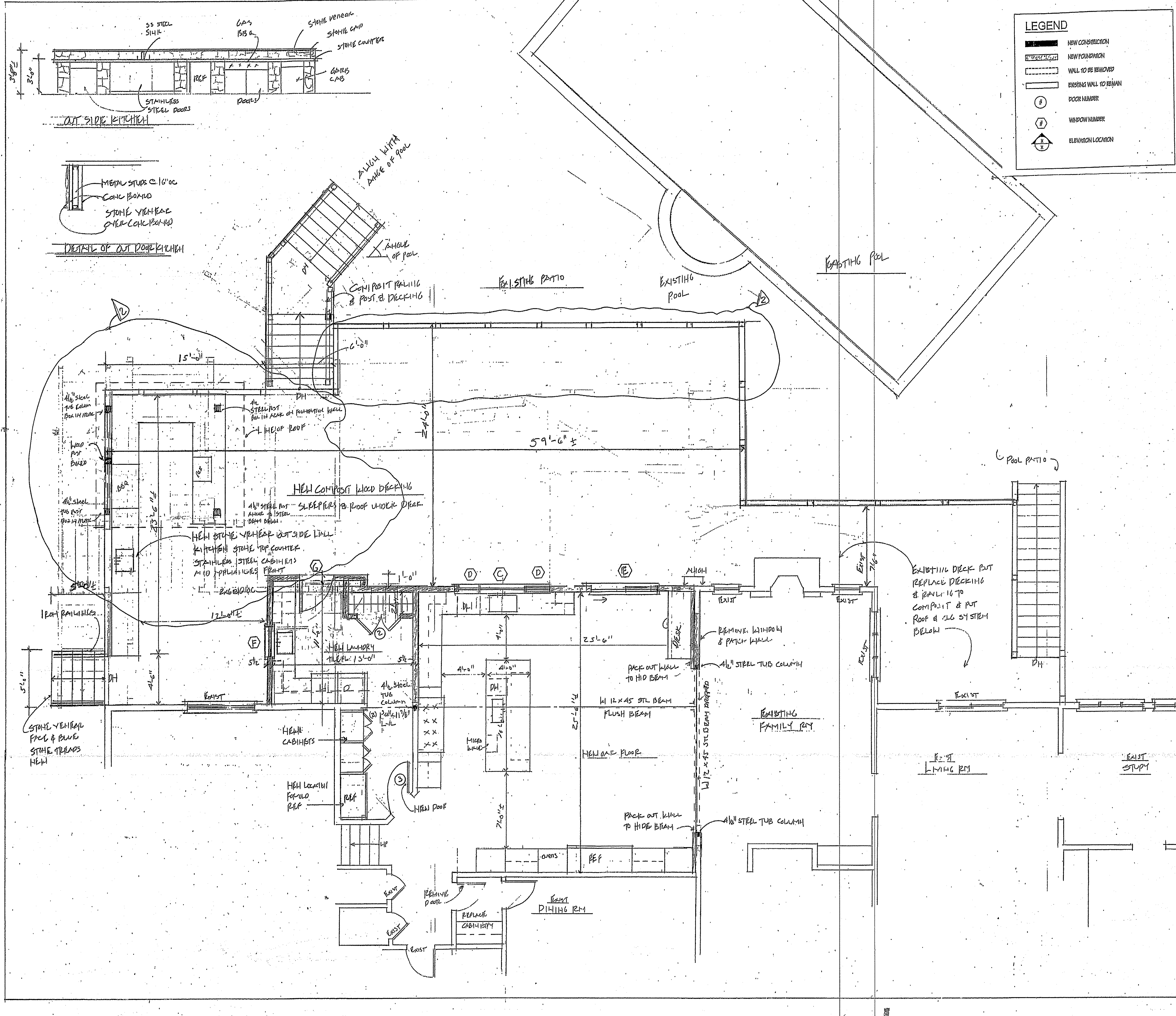
JOHN G. SCARLATO JR.  
 ARCHITECT  
 33 BYRON HILLED  
 AERONAUT NY 10504  
 PHONE 914 273-7850

POSTENSTEIN RESIDENCE  
 10 HOBBS LANE  
 BEDFORD NY 10506  
 SIDE ELEVATION



A-2





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ROSEH STEIN RESIDENCE  
10 HOBBY LANE  
BEDFORD, NY 10506

FIRST FLOOR PLAN

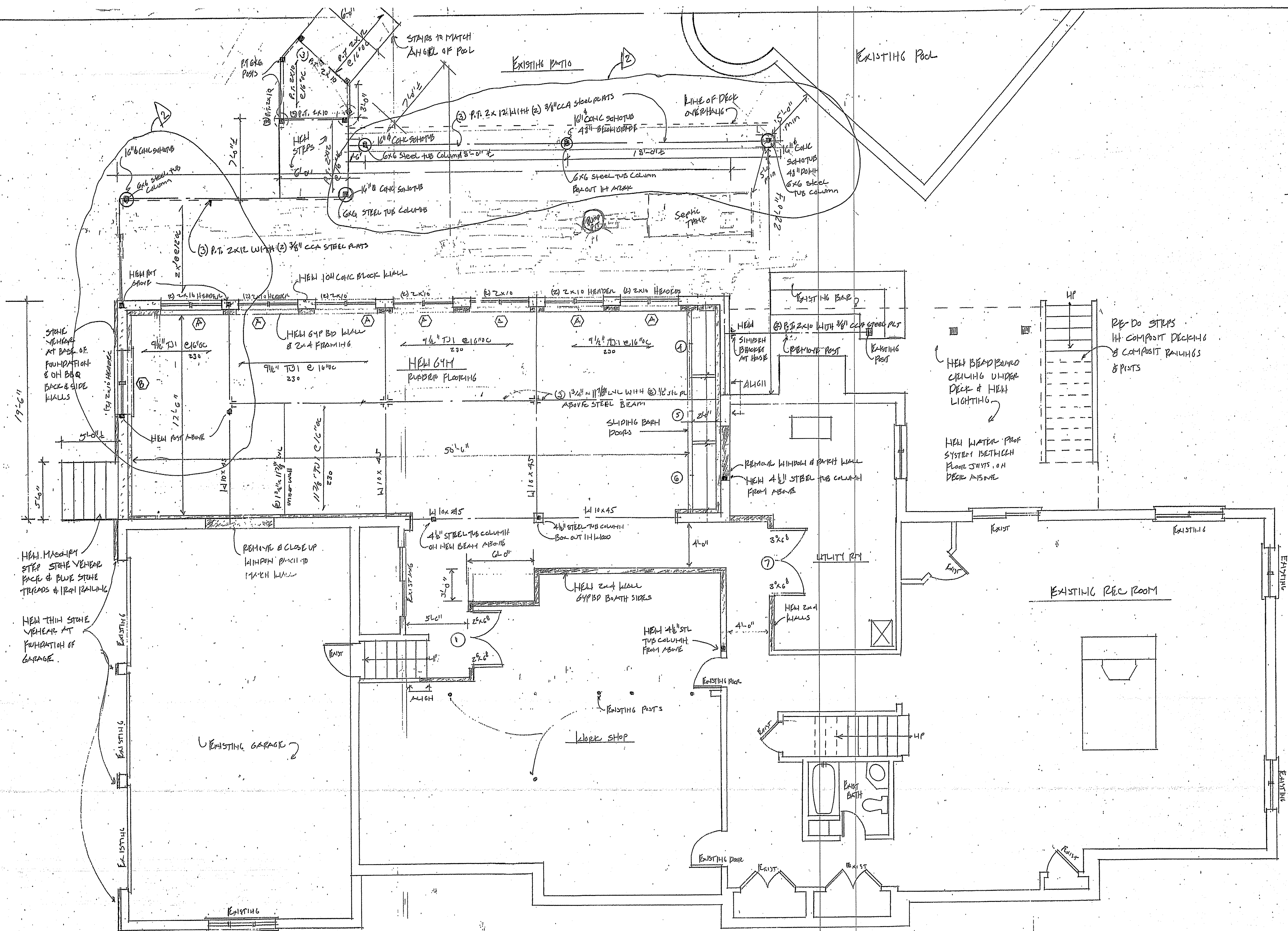
REGISTERED ARCHITECT  
JOHN G. SCARLAO JR.  
125280-1  
STATE OF NEW YORK

A-3



**LEGEND**

- NEW CONSTRUCTION
- NEW FOUNDATION
- WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- ⊙ DOOR NUMBER
- ⊕ WINDOW NUMBER
- ⊙ ELEVATION LOCATION



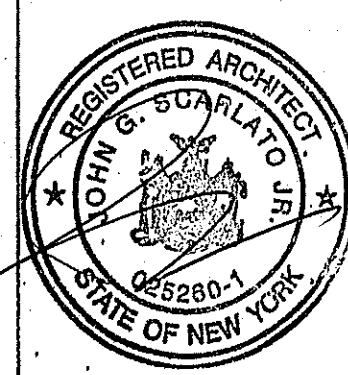
Revised Deck and Roof over outdoor Kitchen

REVISED PER PLAN 4/25/19  
 REVIEW  
 ISSUED 7/30/18

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ROSENSTEIN RESIDENCE  
 16 HOBBS LANE  
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BASMENT PLAN



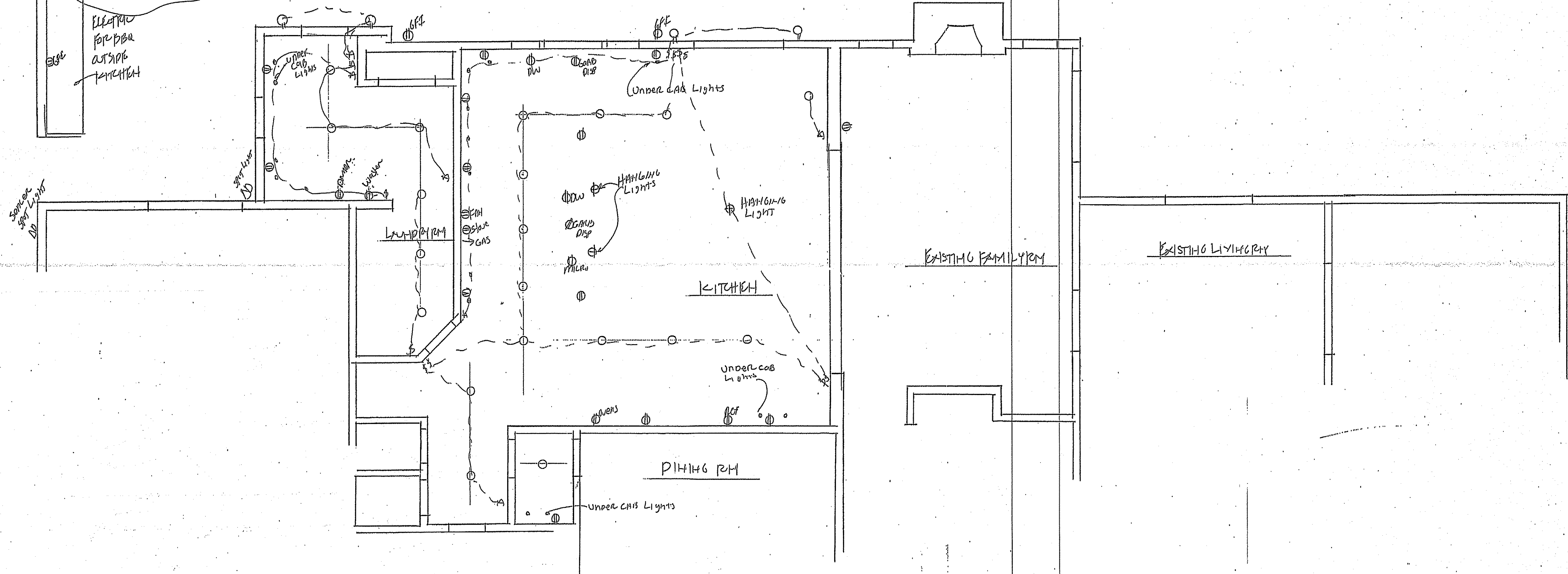
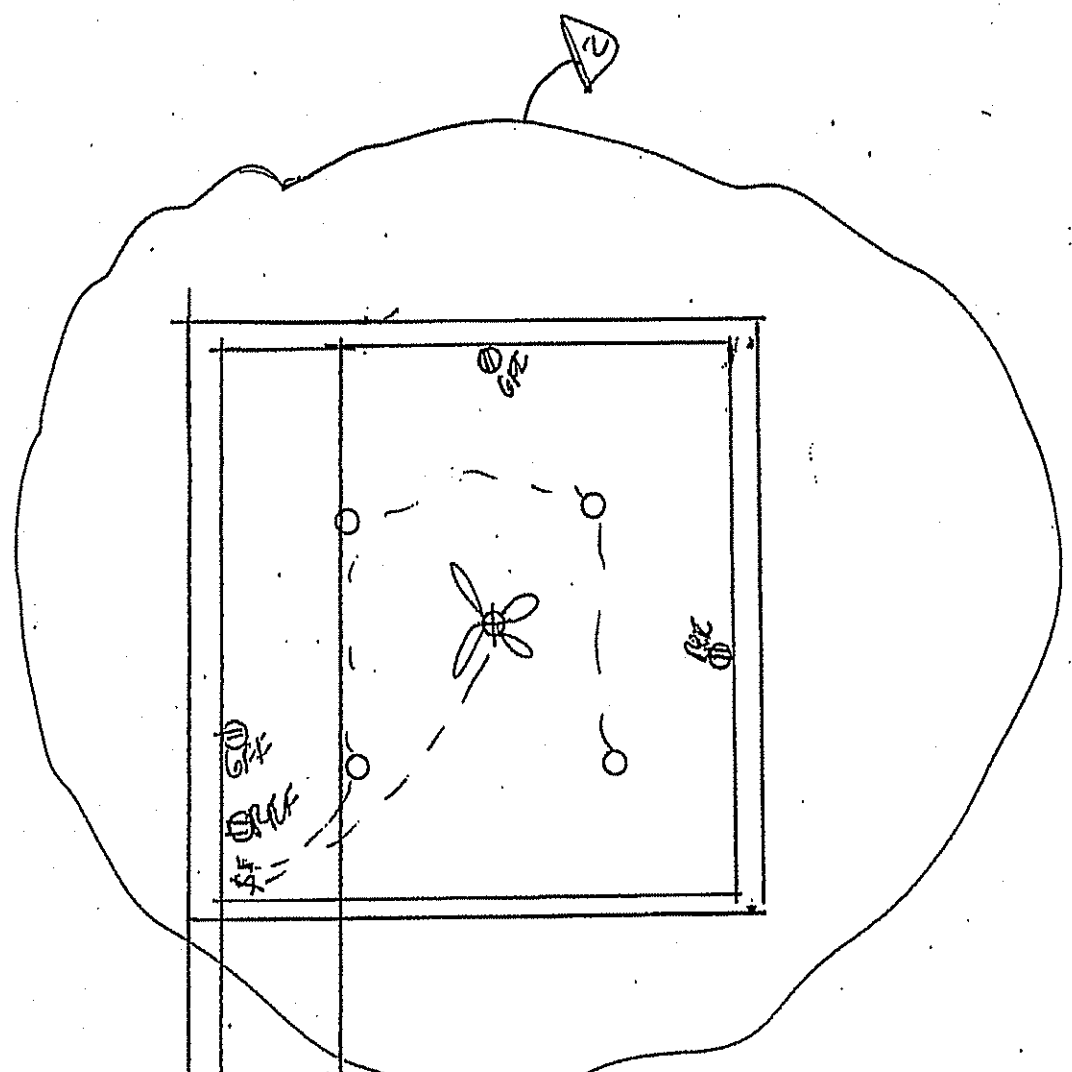
A-4

WINDOW SCHEDULE					
I	MANUFACTURER	MANUFACTURER MODEL #	ROUGH OPENING W X H	# REQ.	NOTES
A	Andersen	CX 25	5'-3 1/4" x 5'-0 3/8"	7	
B		CX 24	5'-3 1/4" x 4'-0 1/2"	1	
C		P3030	3'-0 1/2" x 3'-0 1/2"	1	various window heights with kitchen
D		C13	2'-0 5/8" x 3'-0 1/2"	2	various window heights with kitchen
E		FWG 60611E	6'-0" x 6'-11"	1	
F		CLW13	2'-4 7/8" x 3'-0 1/2"	1	
G		FWH 31611	3'-1" x 6'-11"	1	
H					
I					
J					
K					

DOOR SCHEDULE									
LOCATION #	TO	FROM	SIZE WIDTH X HEIGHT	DOOR			FRAME MATERIAL	REMARKS	
				LOCK	MATERIAL	TYPE			
1	Basement	Workshop	(2) 2'x6'	PASSAGE	Pine	6 Panel	Wood	Match Existing	
2	Mud Rm	Closet	(2) 2'x6'	PASSAGE	Pine	6 Panel	Wood	Match House	
3	Kitchen	Mud Rm	2'x6'	PASSAGE	Pine	6 Panel	Wood	Match House	
4	Gym	Closet	(2) 3'x8' Barn	PASSAGE	Wood	Barn	Track		
5	Gym	Closet	(2) 3'x8' Barn	PASSAGE	Wood	Barn	Track		
6	Gym	Closet	(2) 3'x8' Barn	PASSAGE	Wood	Barn	Track		
7	Utility Rm	HALL	(2) 3'x6'	PASSAGE	Pine	6 Panel	Wood		
8									
9									
10									
11									
12									
13									
14									
15									

ELECTRICAL LEGEND	
⊕	NEW DECORA SWITCH SINGLE POLE
⊕3	NEW DECORA 3 WAY SWITCH
⊕4	NEW DECORA 4 WAY SWITCH
⊕D	NEW DECORA DIMMER SWITCH
⊕R	NEW DECORA RECEPTICAL
⊕GFI	NEW DECORA GFI RECEPTICAL
⊕C	NEW DECORA CUPD RECEPTICAL
△	NEW PHONE OUTLET
⊕	NEW TV CABLE OUTLET
○	NEW RECESSED WHITE DOWNLIGHT 5" BAFFEL
○	NEW RECESSED WHITE DOWNLIGHT 5" BAFFEL WITH LENS
⊕	WIRED SMOKE DETECTOR
⊕	WIRED CARBON MONOXIDE DETECTOR
⊕	WIRED SMOKE / CARBON COMBO DETECTOR
⊕	HEAT DETECTOR
⊕	JUNCTION BOX FOR LIGHT FIXTURE
⊕	WALL SCONCE JUNCTION BOX
⊕	WALL LIGHT JUNCTION BOX
FAN	BATHROOM EXHAUST FAN

**NOTE:**  
 AS PER 2015 IRC SECTIONS R314 AND R315 AND NEW YORK STATE 2017 SUPPLEMENTAL CODES, THIS PROJECT WILL REQUIRE FULL COMPLIANCE WITH SMOKE AND CARBON MONOXIDE DETECTORS THROUGHOUT THE HOUSE INCLUDING AREAS NOT DEPICTED OUTSIDE OF THE MAIN SCOPE OF WORK.  
 INCLUDED AREAS ARE THE BEDROOMS AND ADJACENT HALLWAYS, AND ON EACH LEVEL OF HOME. THE DETECTORS MAY BE BATTERY OPERATED WHERE CEILING FINISHES ARE NOT BEING REMOVED TO EXPOSE THE FRAMING, AND ONLY NEED BE HARDWIRED WHERE THERE IS ACCESS TO AN UNFINISHED ATTIC FOR WIRING.  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE DETECTORS ARE TO CODE BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED.



2 Revison Deck and Roof over outside kitchen 8/15/20

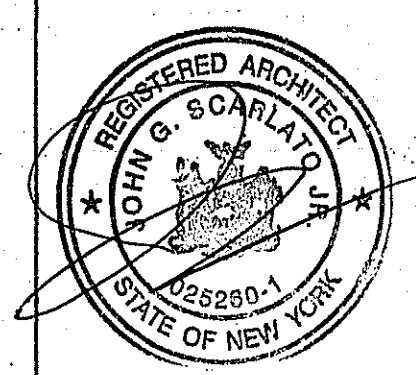
REVISED PER BLAH REVIEW 4/25/19

ISSUED 7/30/18

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FIRST FLOOR REFLECTED  
 CEILING & ELECTRICAL PLAN



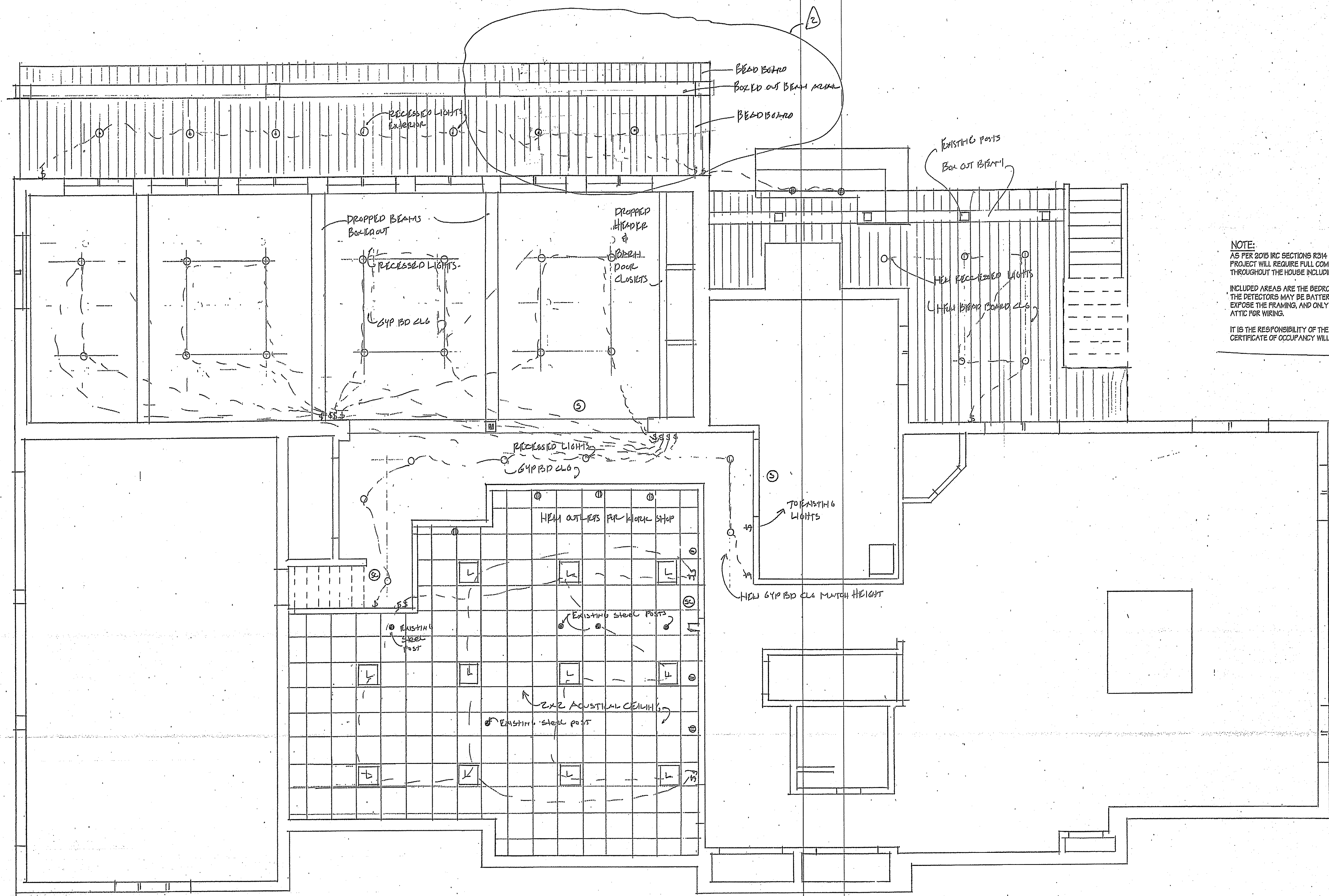
A-5



**ELECTRICAL LEGEND**

- ⊕ NEW DECORA SWITCH SINGLE POLE
- ⊕ NEW DECORA 3 WAY SWITCH
- ⊕ NEW DECORA 4 WAY SWITCH
- ⊕ NEW DECORA DIMMER SWITCH
- ⊕ NEW DECORA RECEPTICAL
- ⊕ NEW DECORA GFI RECEPTICAL
- ⊕ NEW DECORA GFI RECEPTICAL
- ⊕ NEW PHONE CABLE
- ⊕ NEW TV CABLE OUTLET
- NEW RECESSED WHITE DOWN LIGHT 5" BAFFLE
- NEW RECESSED WHITE DOWN LIGHT 5" BAFFLE WITH LENS
- ⊕ WIRELESS SMOKE DETECTOR
- ⊕ WIRELESS CARBON MONOXIDE DETECTOR
- ⊕ WIRELESS SMOKE / CARBON COMBO DETECTOR
- ⊕ HEAT DETECTOR
- ⊕ JUNCTION BOX FOR LIGHT FIXTURE
- ⊕ WALL SCONCE JUNCTION BOX
- ⊕ WALL LIGHT JUNCTION BOX
- ⊕ BATHROOM EXHAUST FAN

**NOTE:**  
 AS PER 2018 IRC SECTIONS R314 AND R315 AND NEW YORK STATE 2017 SUPPLEMENTAL CODES, THIS PROJECT WILL REQUIRE FULL COMPLIANCE WITH SMOKE AND CARBON MONOXIDE DETECTORS THROUGHOUT THE HOUSE INCLUDING AREAS NOT DEPICTED OUTSIDE OF THE MAIN SCOPE OF WORK.  
 INCLUDED AREAS ARE THE BEDROOMS AND ADJACENT HALLWAYS, AND ON EACH LEVEL OF HOME THE DETECTORS MAY BE BATTERY OPERATED WHERE CEILING FINISHES ARE NOT BEING REMOVED TO EXPOSE THE FRAMING, AND ONLY NEED BE HARDWIRED WHERE THERE IS ACCESS TO AN UNFINISHED ATTIC FOR WIRING.  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE DETECTORS ARE TO CODE BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED.



REUSED DECK AND RAFTER OUTDOOR KITCHEN

REVISED PEP PLAN REVIEW 11/21/19

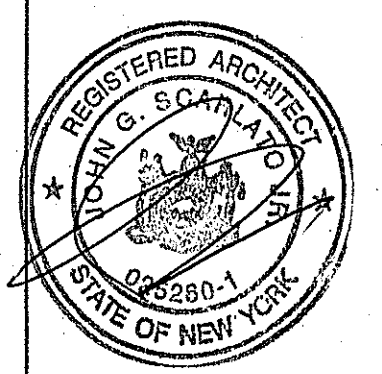
13500 7-30-18

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BASEMENT REFINISHED CEILING/  
 ELECTRICAL PLAN

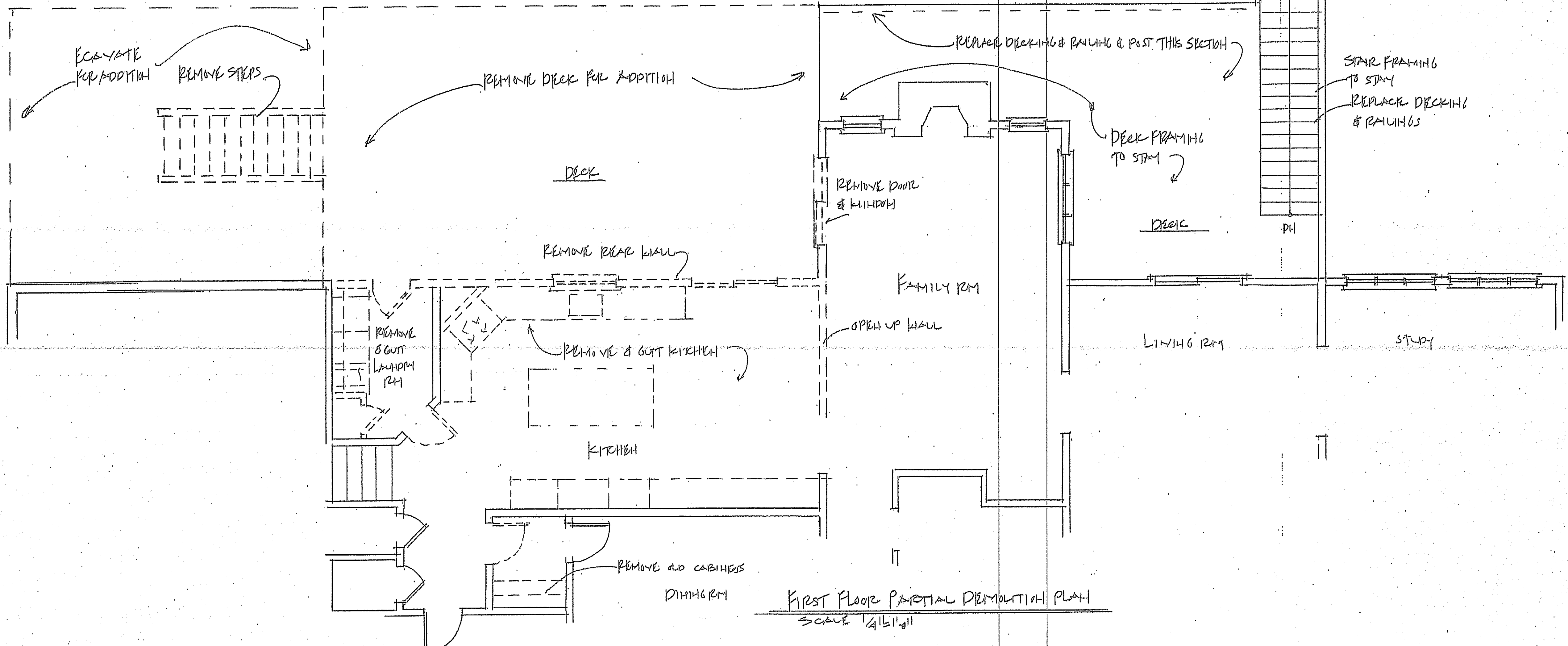
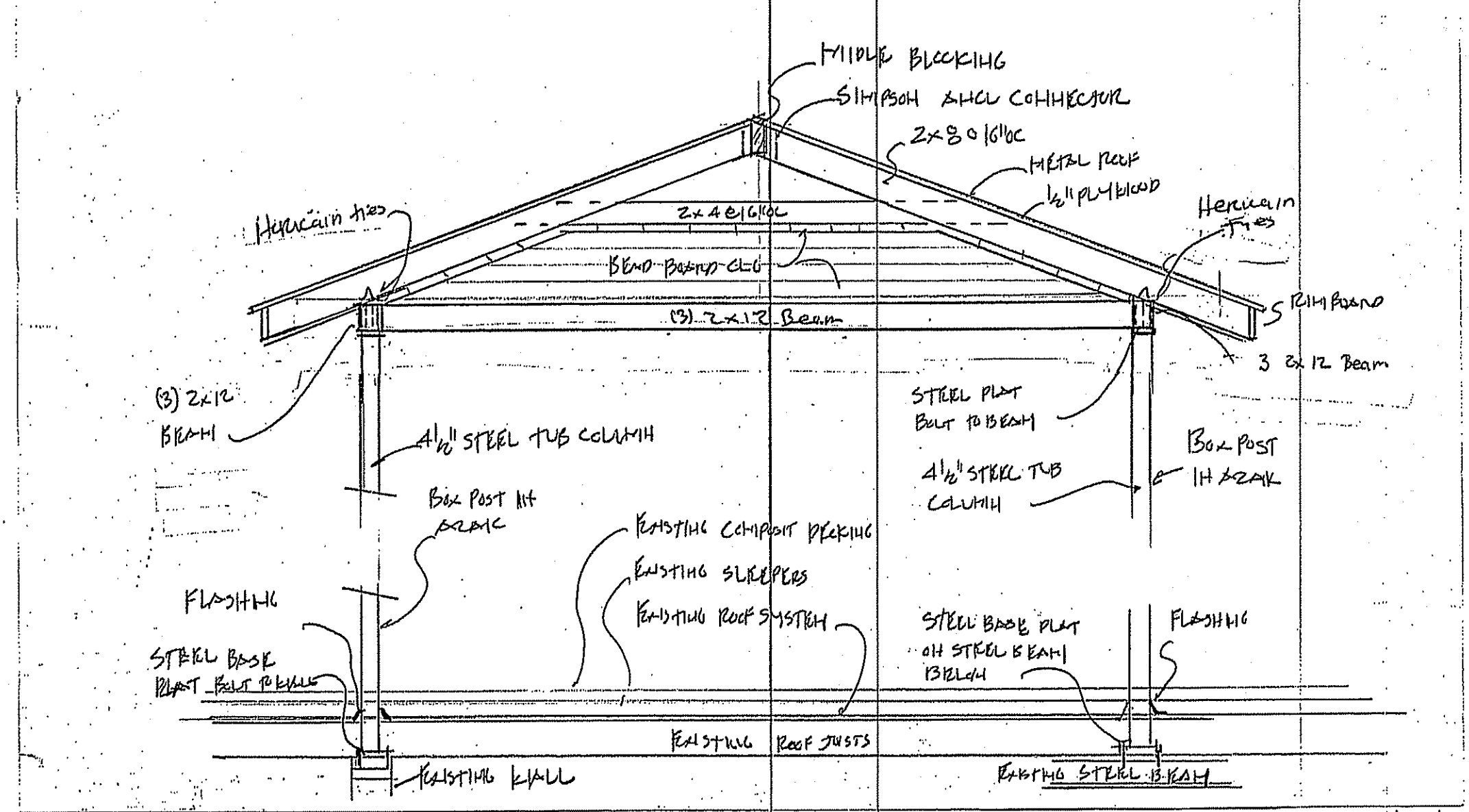
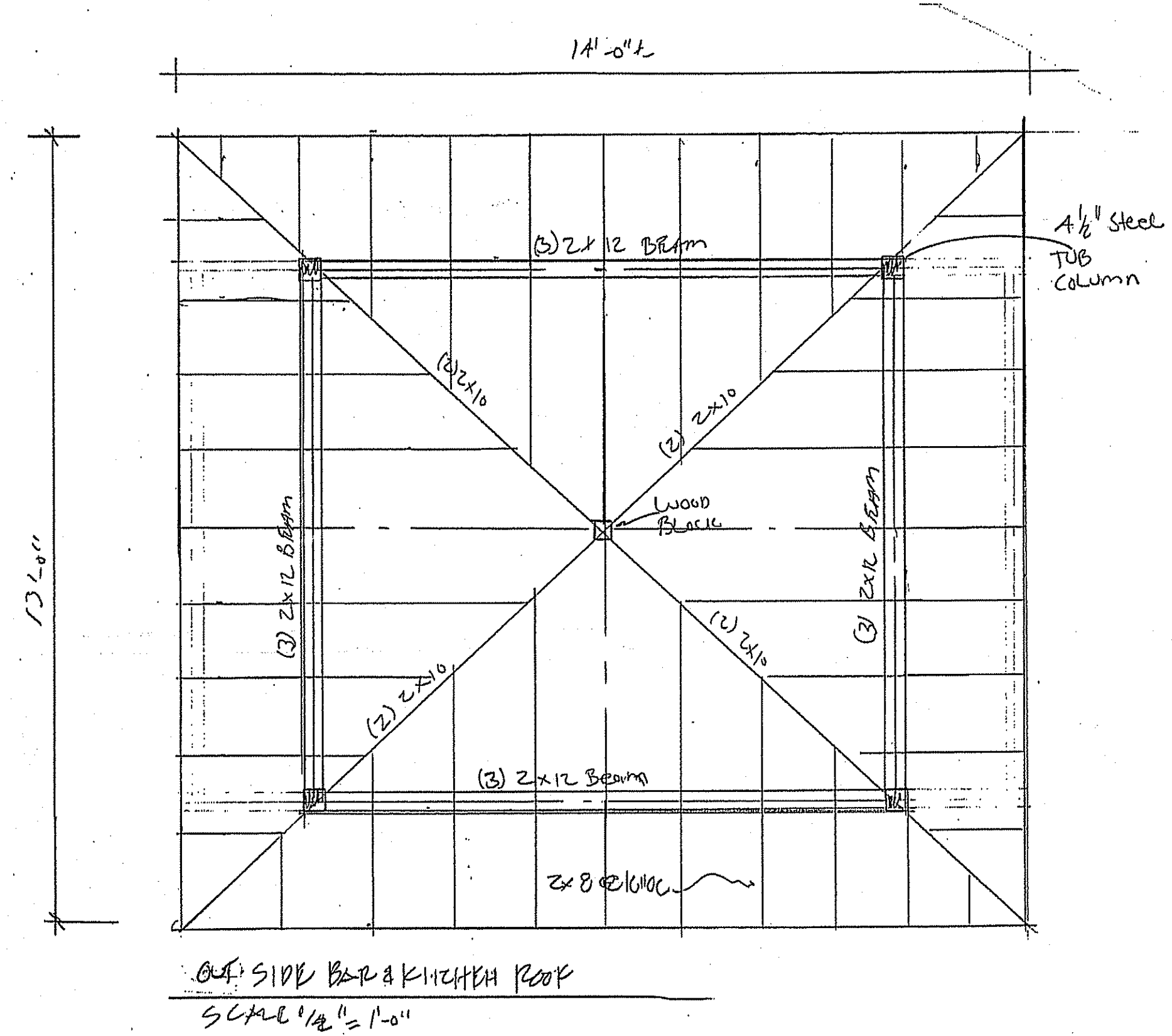
BASEMENT REFINISHED CEILING/ELECTRICAL PLAN  
 SCALE: 1/4" = 1'-0"



A-6

**LEGEND**

	NEW CONSTRUCTION
	NEW FOUNDATION
	WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	DOOR NUMBER
	WINDOW NUMBER
	ELEVATION LOCATION



2 Revised Deck and Roof over outside Kitchen 8/15/20

Revised 7/30/20  
~~ISSUED~~ 7/30/18

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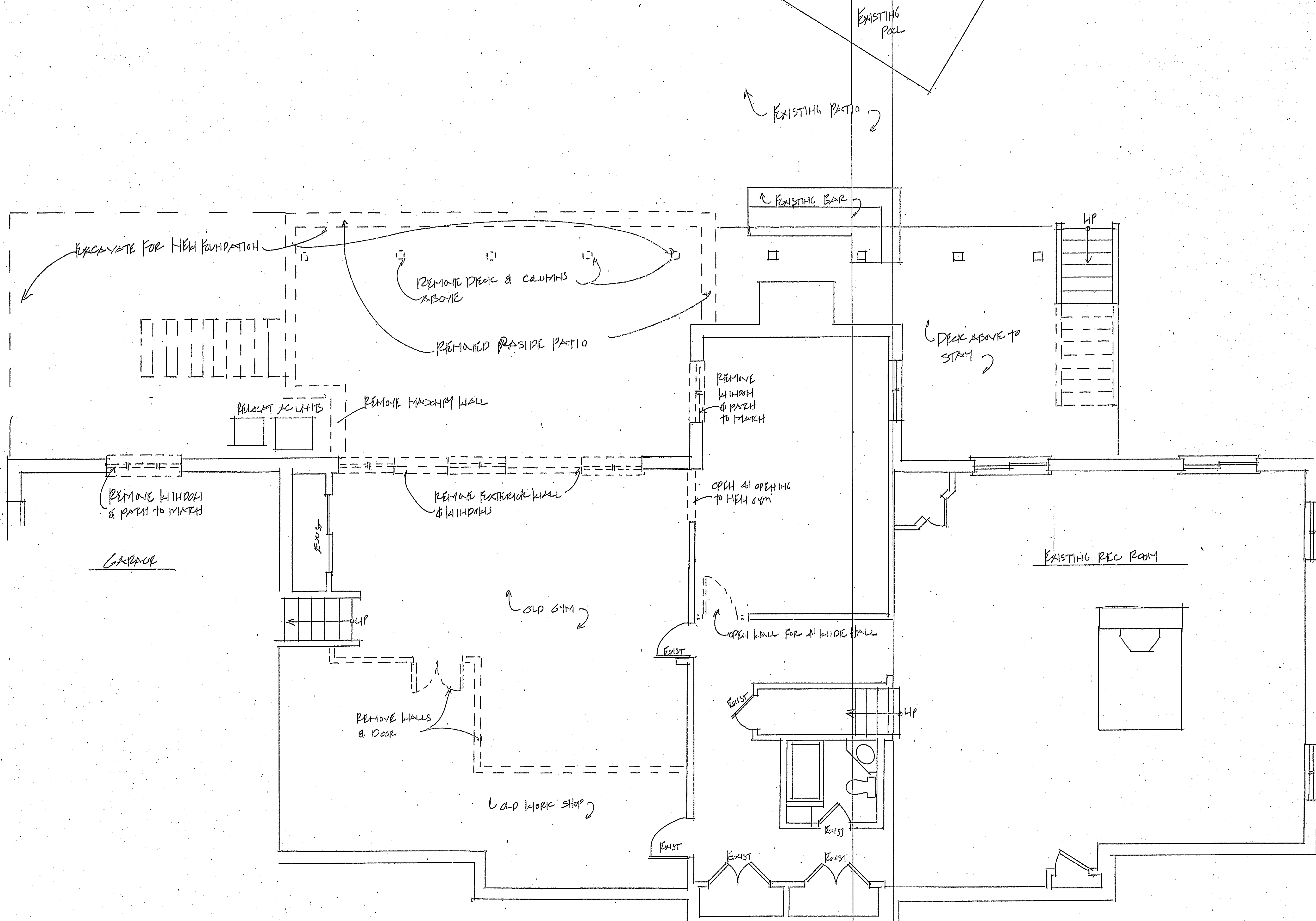
ROSENSTEIN RESIDENCE  
 10 HOBBY LANE  
 BEDFORD, NY

FIRST FLOOR PARTIAL DEMOLITION  
 PLAN



A-7





BASMENT DEMOLITION PLAN  
SCALE 1/4" = 1'-0"

RE-ISSUED 8/15/20  
 REVISED PER PLAN REVIEW 4/25/19  
 ISSUED 7/30/18

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ROSENSTEIN RESIDENCE  
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 BED FORD, NY 10506  
 BASMENT DEMOLITION PLAN



A-8



