

**Town of North Castle**  
**Residential Project Review Committee**  
17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan: EMILIO DIMATTEO

Initial Submittal  Revised Preliminary

Street Location: 7 STERLING ROAD SOUTH

Zoning District: R-2A Property Acreage: 2.005 Tax Map Parcel ID: 108.0A 1-4

Date: JAN 17, 2021

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

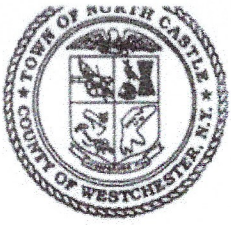
**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 7 STERLING ROAD SOUTH

### Section III- DESCRIPTION OF WORK:

PROPOSED ALTERATION TO FRONT ELEVATION  
OF EXISTING 1 FAMILY DWELLING,  
(NO CHANGE TO EXISTING SITE PLAN OR  
FOOTPRINT OF EXISTING DWELLING)

### Section III- CONTACT INFORMATION:

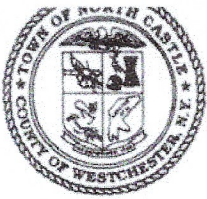
APPLICANT: EMILIO DIMATTEO  
ADDRESS: 7 STERLING ROAD SOUTH, ARMONK N.Y. 10504  
PHONE: 914-403-1942 MOBILE: 914-403-1942 EMAIL: EDIMATTEO@MSN.COM

PROPERTY OWNER: EMILIO DIMATTEO  
ADDRESS: 7 STERLING ROAD SOUTH, ARMONK NY 10504  
PHONE: 914-403-1942 MOBILE: 914-403-1942 EMAIL: EDIMATTEO@MSN.COM

PROFESSIONAL: NUNZIO PIETROSANTI P.E.  
ADDRESS: 63 DOVER LANE, YONKERS N.Y. 10710  
PHONE: 914-760-0628 MOBILE: 914-760-0628  
EMAIL: N.PIETROSANTI@AOL.COM

### Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 108.04 1-A



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

January 29, 2019  
 Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastlenv.com](http://www.northcastlenv.com)

### FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 7 STEPLING ROAD SOUTH Date: JAN 17, 2021  
 Tax Map Designation or Proposed Lot No.: 108.04 1-4

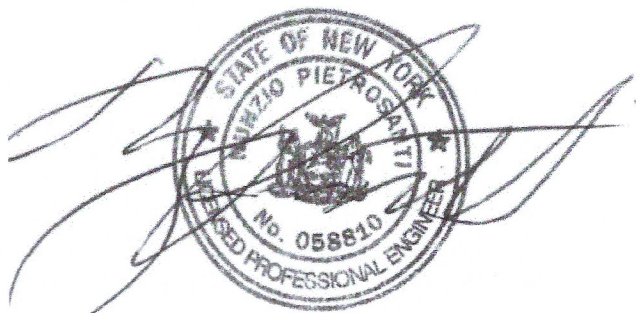
Floor Area

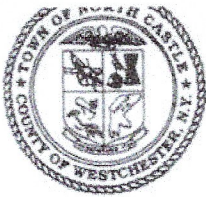
- |     |                                                                                                                                |                 |
|-----|--------------------------------------------------------------------------------------------------------------------------------|-----------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):                                                                 | <u>87,338</u> # |
| 2.  | <b>Maximum</b> permitted floor area (per Section 355-26.B(4)):                                                                 | <u>10,131</u> # |
| 3.  | Amount of floor area contained within first floor:<br><u>4584</u> existing + <u>0</u> proposed =                               | <u>4,584</u> #  |
| 4.  | Amount of floor area contained within second floor:<br><u>0</u> existing + <u>0</u> proposed =                                 | <u>0</u>        |
| 5.  | Amount of floor area contained within garage:<br><u>960</u> existing + <u>0</u> proposed =                                     | <u>960</u> #    |
| 6.  | Amount of floor area contained within porches capable of being enclosed:<br><u>324</u> existing + <u>144</u> proposed =        | <u>180</u> #    |
| 7.  | Amount of floor area contained within basement (if applicable – see definition):<br><u>3222</u> existing + <u>0</u> proposed = | <u>3222</u> #   |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):<br><u>0</u> existing + <u>0</u> proposed =       | <u>0</u>        |
| 9.  | Amount of floor area contained within all accessory buildings:<br><u>0</u> existing + <u>0</u> proposed =                      | <u>0</u>        |
| 10. | Proposed <b>floor area</b> : Total of Lines 3 – 9 =                                                                            | <u>8,946</u> #  |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

JAN 17, 2021  
 Date





TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northeastleny.com](http://www.northeastleny.com)

**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: 7 STEPLING ROAD SOUTH Date: JAN 17, 2021

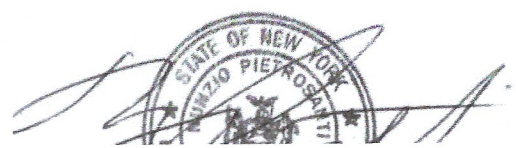
Tax Map Designation or Proposed Lot No.: 108.04 1-4

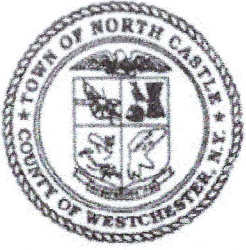
Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 87,338<sup>±</sup>
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): 13,270 + 16 = 13,286<sup>±</sup>
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):  
 Distance principal home is beyond minimum front yard setback  
88' x 10 = 880 880<sup>±</sup>
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 14,166<sup>±</sup>
5. Amount of lot area covered by principal building:  
4524 existing + -160 proposed = 4,424<sup>±</sup>  
-160 (POOF REMOVAL)
6. Amount of lot area covered by accessory buildings:  
0 existing + 0 proposed = 0
7. Amount of lot area covered by decks:  
1529 existing + 0 proposed = 1529<sup>±</sup>
8. Amount of lot area covered by porches:  
0 existing + 0 proposed = 0
9. Amount of lot area covered by driveway, parking areas and walkways:  
6622 existing + 6622 proposed = 6622<sup>±</sup>
10. Amount of lot area covered by terraces:  
0 existing + 0 proposed = 0
11. Amount of lot area covered by tennis court, pool and mechanical equip:  
0 existing + 0 proposed = 0
12. Amount of lot area covered by all other structures:  
0 existing + 0 proposed = 0
13. Proposed gross land coverage: Total of Lines 5 - 12 = 12,575<sup>±</sup>

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet \_\_\_\_\_ Date 1/17/21





**Town of North Castle Building Department**

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

www.northcastleny.com

**Residential Building Permit Application**

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

**Section I-** PROJECT ADDRESS: 7 STERLING ROAD SOUTH DATE: JAN 17, 2021

**Section II-** CONTACT INFORMATION: (Please print clearly. All information must be current.)

APPLICANT: EMILIO DIMATTEO

ADDRESS: 7 STERLING ROAD SOUTH

PHONE: 914-403-1942 MOBILE: 914-403-1942 EMAIL: EDIMATTEO@MSN.COM

PROPERTY OWNER: EMILIO DIMATTEO

ADDRESS: 7 STERLING ROAD SOUTH

PHONE: 914-403-1942 MOBILE: 914-403-1942 EMAIL: EDIMATTEO@MSN.COM

**Section III-** DESCRIPTION OF WORK: (Any work conducted outside of the house requires approval from the RPRC unless the proposed action is minor in nature and complies with 355-26 C (3) of the Town of North Castle code.)

PROPOSED ALTERATION TO FRONT ELEVATION OF EXISTING 1 FAMILY DWELLING (NO CHANGE TO EXISTING SITE PLAN OR FRONT PRINT OF EXISTING DWELLING)

**Section IV-** USE AND OCCUPANCY:

EXISTING/ CURRENT USE: ONE FAMILY DWELLING

PROPOSED RESIDENTIAL:

- One Family Dwelling
- Two Family Dwelling
- Townhouse
- Detached Accessory Structure

**Section V-** PERMIT FEES: (\$100 app fee plus \$14 per \$1000, cost of construction and a \$75 CO fee.)

ESTIMATED COST OF CONSTRUCTION (Based on fair market value labor & material) \$ 19,500.00

AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is \$20,000 or more.

TOWN OF NORTH CASTLE Building Department

Section V- (Continued)

I \_\_\_\_\_ do hereby affirm and certify as follows: (i) I am the architect/engineer (circle one) licensed by the State of New York; (ii) I have reviewed the plans, drawings and specifications for this application and am fully familiar with the proposed construction; (iii) based on my experience, I estimate the total cost of construction including all labor, all materials, all professional fees and all associated costs to be approximately \$ \_\_\_\_\_, and (iv) pursuant to Penal Law 210.45, I acknowledge that a false statement made knowingly is a Class A misdemeanor.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Sign and Affix Seal Here

Section VI- CONTACT INFORMATION: (Please print clearly. All information must be current)

ARCHITECT/ ENG: NUNZIO PIETROSANTI P.E.

ADDRESS: 63 ROVER LANE, YONKERS N.Y. 10710

PHONE: 914-760-0628 MOBILE: 914-760-0628

EMAIL: N.PIETROSANTI@AOL.COM

CONTRACTOR: ~~EDIMATTED DEVELOPMENT~~ GED M CONSTRUCTION CORP.

ADDRESS: 7 STEWART ROAD SOUTH, ARMONK NY 10504

PHONE: 914-403-1942 MOBILE: 914-403-1942 EMAIL: EDIMATTED@MSN.COM

PLUMBER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

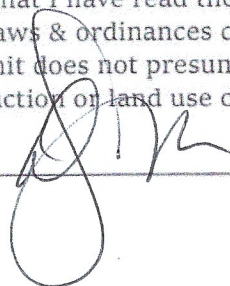
ELECTRICIAN: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

Section VII- APPLICANT CERTIFICATION

I hereby certify that I have read the instructions & examined this application and know the same to be true & correct. All provisions of laws & ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature:  Date: 1-18-21

TOWN OF NORTH CASTLE Building Department

Section VIII- AFFIDAVIT OF OWNER AUTHORIZATION IF APPLICABLE: (To be notarized)

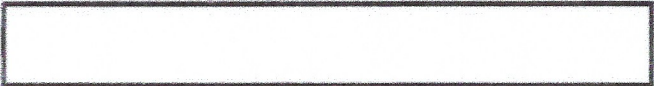
STATE OF NEW YORK }
COUNTY OF WESTCHESTER } SS:

The applicant EMILIO DIMATTEO has proper consent from said owner to make this application as submitted and said owner agrees to all terms and conditions placed upon same.

Owner's Name (PRINT) EMILIO DIMATTEO Owner's Signature

Sworn to before me this day of , 20

Notary Signature [Signature Line]



Notary Stamp Here

OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Zone: Section: Block: Lot:

Building Department Checklist:

- Does this permit require RPRC approval? Yes No
GC License Work. Comp. Liability. Ins. Disability Two sets of documents
Permit Fee Payment: Check #: Cash Credit Card
Name on check:

Received By: Application No.:

BUILDING INSPECTOR APPROVAL

- Has all the conditions of the RPRC been met? Yes NA
Is a Flood Development permit required? Yes No

Reviewed By: Date:

Building Inspector Approval: Date:

Conditions:





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Initial Submittal  Revised Preliminary

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Zoning District: R-2A Property Acreage: 2.005 Tax Map Parcel ID: 108.04 1-4

Date: JAN 17, 2021

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

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**RPRC COMPLETENESS REVIEW FORM**

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RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

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## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

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ADDRESS: 7 STERLING ROAD SOUTH

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APPLICANT: EMILIO DIMATTEO  
ADDRESS: 7 STERLING ROAD SOUTH, ARMONK N.Y. 10504  
PHONE: 914-403-1942 MOBILE: 914-403-1942 EMAIL: EDIMATTEO@MSN.COM

PROPERTY OWNER: EMILIO DIMATTEO  
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### Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 108.04 1-A



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
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January 29, 2019  
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### FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 7 STEPLING ROAD SOUTH Date: JAN 17, 2021  
 Tax Map Designation or Proposed Lot No.: 108.04 1-4

Floor Area

- |     |                                                                                                                                |                 |
|-----|--------------------------------------------------------------------------------------------------------------------------------|-----------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):                                                                 | <u>87,338</u> # |
| 2.  | <b>Maximum</b> permitted floor area (per Section 355-26.B(4)):                                                                 | <u>10,131</u> # |
| 3.  | Amount of floor area contained within first floor:<br><u>4584</u> existing + <u>0</u> proposed =                               | <u>4,584</u> #  |
| 4.  | Amount of floor area contained within second floor:<br><u>0</u> existing + <u>0</u> proposed =                                 | <u>0</u>        |
| 5.  | Amount of floor area contained within garage:<br><u>960</u> existing + <u>0</u> proposed =                                     | <u>960</u> #    |
| 6.  | Amount of floor area contained within porches capable of being enclosed:<br><u>324</u> existing + <u>144</u> proposed =        | <u>180</u> #    |
| 7.  | Amount of floor area contained within basement (if applicable – see definition):<br><u>3222</u> existing + <u>0</u> proposed = | <u>3222</u> #   |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):<br><u>0</u> existing + <u>0</u> proposed =       | <u>0</u>        |
| 9.  | Amount of floor area contained within all accessory buildings:<br><u>0</u> existing + <u>0</u> proposed =                      | <u>0</u>        |
| 10. | Proposed <b>floor area</b> : Total of Lines 3 – 9 =                                                                            | <u>8,946</u> #  |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town’s maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town’s regulations.

Signature and Seal of Professional Preparing Worksheet

Jan 17, 2021  
 Date





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**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: 7 STEPLING ROAD SOUTH Date: JAN 17, 2021  
 Tax Map Designation or Proposed Lot No.: 108.04 1-A

Gross Lot Coverage

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2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 13,270 + 16 = 13,286<sup>±</sup>
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):  
 Distance principal home is beyond minimum front yard setback  
88' x 10 = 880 880<sup>±</sup>
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 14,166<sup>±</sup>
5. Amount of lot area covered by **principal building**:  
4524 existing + -160 proposed = 4,424<sup>±</sup>  
-160 (ROOF REMOVAL)
6. Amount of lot area covered by **accessory buildings**:  
0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**:  
1529 existing + 0 proposed = 1529<sup>±</sup>
8. Amount of lot area covered by **porches**:  
0 existing + 0 proposed = 0
9. Amount of lot area covered by **driveway, parking areas and walkways**:  
6622 existing + 6622 proposed = 6622<sup>±</sup>
10. Amount of lot area covered by **terraces**:  
0 existing + 0 proposed = 0
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:  
0 existing + 0 proposed = 0
12. Amount of lot area covered by **all other structures**:  
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 12,575<sup>±</sup>

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

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## Residential Building Permit Application

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

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PROPOSED ALTERATION TO FRONT ELEVATION OF EXISTING 1 FAMILY DWELLING (NO CHANGE TO EXISTING SITE PLAN OR FRONT PRINT OF EXISTING DWELLING)

**Section IV-** USE AND OCCUPANCY:

EXISTING/ CURRENT USE: ONE FAMILY DWELLING

PROPOSED RESIDENTIAL:

- One Family Dwelling       Two Family Dwelling       Townhouse       Detached Accessory Structure

**Section V-** PERMIT FEES: (\$100 app fee plus \$14 per \$1000, cost of construction and a \$75 CO fee.)

ESTIMATED COST OF CONSTRUCTION (Based on fair market value labor & material) \$ 19,500.<sup>00</sup>

AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is \$20,000 or more.

TOWN OF NORTH CASTLE Building Department

Section V- (Continued)

I \_\_\_\_\_ do hereby affirm and certify as follows: (i) I am the architect/engineer (circle one) licensed by the State of New York; (ii) I have reviewed the plans, drawings and specifications for this application and am fully familiar with the proposed construction; (iii) based on my experience, I estimate the total cost of construction including all labor, all materials, all professional fees and all associated costs to be approximately \$ \_\_\_\_\_, and (iv) pursuant to Penal Law 210.45, I acknowledge that a false statement made knowingly is a Class A misdemeanor.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Sign and Affix Seal Here

Section VI- CONTACT INFORMATION: (Please print clearly. All information must be current)

ARCHITECT/ ENG: NUNZIO PIETROSANTI P.E.

ADDRESS: 63 ROVER LANE, YONKERS N.Y. 10710

PHONE: 914-760-0628 MOBILE: 914-760-0628

EMAIL: N. PIETROSANTI @ Aa.COM

CONTRACTOR: DIMATTEO DEVELOPMENT

ADDRESS: 7 STEPLING ROAD SOUTH, ARMONK NY 10504

PHONE: 914-403-1942 MOBILE: 914-403-1942 EMAIL: EDIMATTEO @ MSN.COM

PLUMBER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

ELECTRICIAN: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

Section VII- APPLICANT CERTIFICATION

I hereby certify that I have read the instructions & examined this application and know the same to be true & correct. All provisions of laws & ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

TOWN OF NORTH CASTLE Building Department

Section VIII- AFFIDAVIT OF OWNER AUTHORIZATION IF APPLICABLE: (To be notarized)

STATE OF NEW YORK }
COUNTY OF WESTCHESTER } SS:

The applicant EMILIO DIMATTEO has proper consent from said owner to make this application as submitted and said owner agrees to all terms and conditions placed upon same.

Owner's Name (PRINT) EMILIO DIMATTEO Owner's Signature

Sworn to before me this day of , 20

Notary Signature



Notary Stamp Here

OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Zone: Section: Block: Lot:

Building Department Checklist:

- Does this permit require RPRC approval? Yes No
GC License Work. Comp. Liability. Ins. Disability Two sets of documents
Permit Fee Payment: Check #: Cash Credit Card

Name on check:

Received By: Application No.:

BUILDING INSPECTOR APPROVAL

- Has all the conditions of the RPRC been met? Yes NA
Is a Flood Development permit required? Yes No

Reviewed By: Date:

Building Inspector Approval: Date:

Conditions:



**SPECIFICATIONS**

- CONDITIONS**
1. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE NEW YORK STATE RESIDENTIAL AND BUILDING CODE AND ANY AND ALL OTHER APPLICABLE ORDINANCES, REGULATIONS, AND STANDARDS AS REQUIRED BY THE TOWN OF NORTH CASTLE, NEW YORK.
  2. ALL MANUFACTURED ITEMS SHALL BE INSTALLED OR APPLIED AS DIRECTED BY THE MANUFACTURERS RECOMMENDATIONS.
  3. CONTRACTOR TO INCLUDE ALL MATERIALS, LABOR, INCIDENTALS AND SERVICES FOR SATISFACTORY COMPLETION OF THE WORK.
  4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE STARTING THE WORK.
  5. CONTRACTOR SHALL PERFORM ALL WORK REQUIRED FOR THE TOTAL COMPLETION OF THE PROJECT, WHETHER OR NOT INDICATED ON THE DRAWINGS. THE INTENTION OF THE DRAWINGS IS FOR A COMPLETE AND PROPER FUNCTIONING OF THE ENTIRE PROJECT.

- INSURANCE**
1. CONTRACTOR, AND HIS SUBCONTRACTORS, SHALL MAINTAIN WORKMENS COMPENSATION INSURANCE AS WELL AS ADEQUATE LIABILITY INSURANCE DURING THE ENTIRE LENGTH OF THE JOB.
  2. OWNER SHALL PROVIDE ADEQUATE PROPERTY INSURANCE ON VALUE OF THE CONSTRUCTION, INCLUDING FIRE & VANDALISM.

- PERMITS & SURVEYS**
1. CONTRACTOR SHALL FURNISH ALL PERMITS, LICENSES AND APPROVALS NECESSARY TO COMPLETE THE WORK.
  2. BUILDING SHALL BE STAKED OUT BY A LICENSED SURVEYOR WHO SHALL FILE A FOUNDATION SURVEY PRIOR TO FRAMING & A FINAL SURVEY AT THE COMPLETION OF WORK.
  3. CONTRACTOR SHALL PROVIDE THE OWNER WITH A CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK.

- SITE MAINTENANCE**
1. JOB SITE SHALL BE KEPT CLEAN AT ALL TIMES, TRASH TO BE REMOVED FROM THE SITE WEEKLY.
  2. CARE SHALL BE TAKEN TO PROTECT THE TREES ON THE PROPERTY FROM THE METHODS AND MANNERS OF CONSTRUCTION, TRAFFICKING AND STORAGE OF MATERIALS. RETURN THOSE AREAS DAMAGED BY SUCH TO THEIR ORIGINAL CONDITION.

- EXCAVATION**
1. FOUNDATION DESIGN BASED ON MINIMUM 2 TON/SF. SOIL BEARING CAPACITY.
  2. EXCAVATE TO FROST LINE (3'-6" MIN) FOR ALL FOOTINGS PADS AND PIERS. NOTIFY THE ENGINEER OF ANY UNSUITABLE SUB-SOIL CONDITIONS IF ENCOUNTERED DURING EXCAVATION. (MIN. 3'-6" BELOW EXISTING GRADES)
  3. STOCKPILE ALL EXCAVATED SOIL FOR FUTURE REUSE AS FILL MATERIAL OR REMOVE AND DISPOSE OF AS REQUIRED.
  4. ALL FILL MATERIAL TO BE CLEAN FILL COMPACTION TO BE 95% MAX. 6" LIFTS.

- CONCRETE**
1. ALL CONCRETE FOR FOOTINGS SHALL BE MIN. 3500 PSI CONCRETE.
  2. PROVIDE CONCRETE FOOTINGS AND PIERS OF SIZES AS SHOWN ON THE DRAWINGS.
  3. ALL WORK SHALL BE IN ACCORDANCE WITH THE A.C.I. CODE 318 (LATEST EDITION).
  4. ALL REINFORCEMENT SHALL BE PLACED FREE FROM RUST OR OTHER COATINGS THAT MAY DESTROY THE BOND.
  5. WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM A185 (LATEST EDITION).

- MASONRY**
1. CONCRETE BLOCK TO BE HOLLOW LOAD BEARING BLOCK ASTM C-90-1985, TYPE N-1.
  2. MORTAR SHALL COMPLY WITH ASTM C170-1986, TYPE N.
  3. LIME SHALL BE TYPE S OR N AS PER ASTM C107-1979.
  4. SAND SHALL CONFORM TO ASTM C144-1984.
  5. WATER SHALL BE CLEAN AND POTABLE.
  6. ALL MASONRY TO BE LAID UP IN PORTLAND CEMENT MORTAR 1:3 MIX WITH 15% LIME MAXIMUM.
  7. ANCHOR BOLTS TO BE 1/2" DIA X 16" AT 6'-0" O.C. (MAX)
  8. BRICK VENEER & STONE TO BE SELECTED BY OWNER.

- STEEL**
1. ALL STEEL SHALL CONFORM TO ASTM A-36 & A-46 AND CONNECTIONS CONFORM TO AISC LATEST EDITION.
  2. ALL WELDING SHALL BE IN CONFORMANCE WITH THE AMERICAN WELDING SOCIETY STANDARDS.
  3. LINTELS FOR MASONRY & STONE SHALL BE NOTED ON STEEL LINTEL SCHEDULE ON DRAWING A-2.
  4. PROVIDE STEEL BEARING PLATES AT BEAM & COLUMN BEARING LOCATIONS, PROPERLY ANCHORED TO FOUNDATION WALL AS SHOWN ON DRAWINGS.

- FRAMING**
1. ALL BEAMS, JOISTS AND RAFTERS TO BE DOUGLAS FIR NO. 2 W/ MIN. FB = 1450 PSI.
  2. FLOOR LIVE LOAD 40 LBS/SF.
  3. ALL 2" X 6" WOOD SILLS SET ON CONCRETE TO BE PRESSURE TREATED. APPLY SILL SEAL.
  4. DOUBLE ALL JOISTS UNDER ALL PARTITIONS PARALLEL TO FRAMING. ALL GIRDERS TO BE BOLTED 2'-0" HIGH AND LOW WITH BOLTS 1/2" X LENGTH REQUIRED.
  5. BRIDGING SHALL BE 1-1/4" X 3" SPACED 6'-0" O.C. MAX.
  6. BLOCKING, BRIDGING, NAILERS AND FURRING TO BE NO. 1.

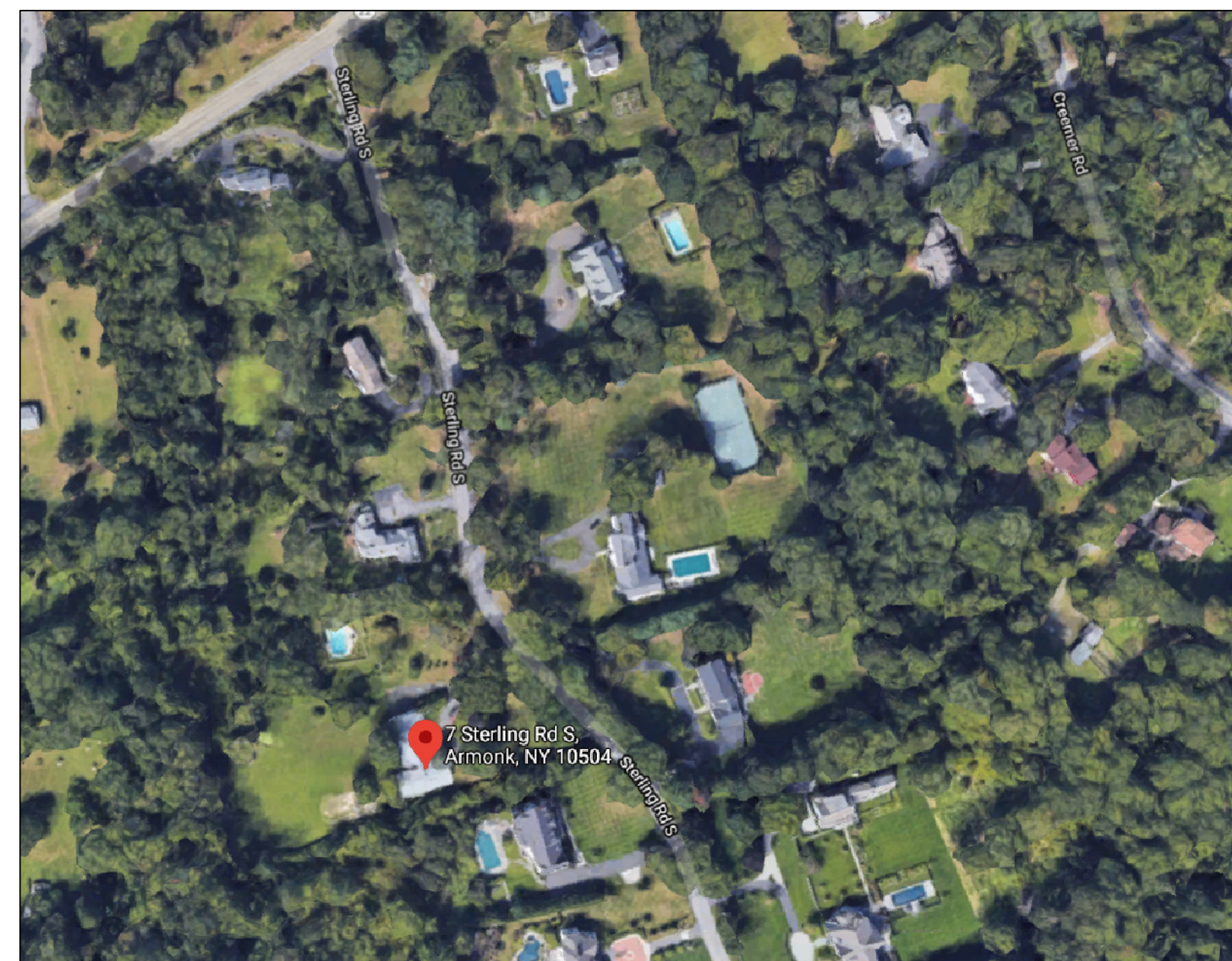
- SPECIAL NOTES:**
1. THE CONTRACTOR SHALL MAINTAIN CONTINUOUS SAFE INGRESS AND EGRESS TO AND FROM THE DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE OWNER.



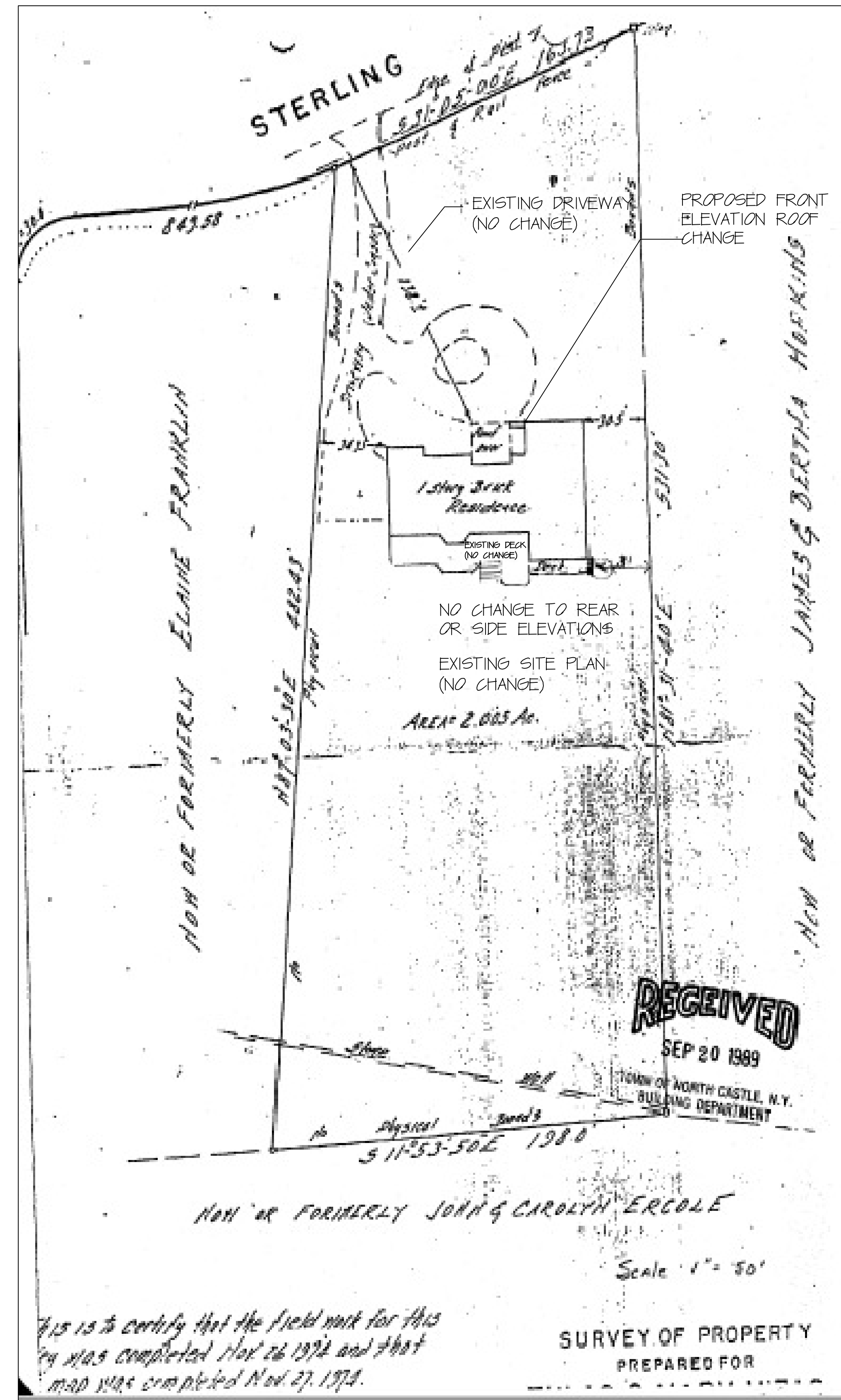
EXISTING FRONT ELEVATION FROM ROADWAY



EXISTING RIGHT SIDE ELEVATION



EXISTING AERIAL PHOTO



SITE PLAN

ZONING INFORMATION			
-----ZONE DISTRICT - R-2A -----			
YARD REQUIREMENTS			
YARD	REQUIRED	EXISTING	PROPOSED
FRONT	50.0'	138'-0" ±	130'-0"
SIDE YARD	30.0'	34.35'	34.35' (NO CHANGE)
SIDE YARD	30.0'	34.35'	34.35' (NO CHANGE)
REAR	50.0'	284.0' ±	284.0' ± (NO CHANGE)

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA				
GROUND SNOW LOAD	WIND DESIGN			
	Speed (mph)	Topographic Effects	Special Wind Region	Wind borne Debris Zone
20PSF	115 - 120 mph	None	Yes	Yes
SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE			
	Weathering	Frost Depth	Termite	
B	SEVERE	42"	MODERATE/HEAVY	
WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIREMENT	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMPERATURE
0° - 10°	YES		1000 OR LESS	52.2 F

**NOTE:**

- \* The above noted Geographic Design Criteria must be included on Building Permit Drawings as required.
- \* Flood Hazard indicate "YES" or "No". If YES indicate zone per FEMA maps on file in Engineering Dept.

DO NOT SCALE DRAWINGS

**PROPOSED ALTERATION TO FRONT ELEVATION FOR THE**

**DIMATTEO RESIDENCE**  
**AT**  
**7 STERLING ROAD S.**  
**ARMONK, NEW YORK**

PARCEL NO: 108.04 1-4  
 ZONE: R-2A

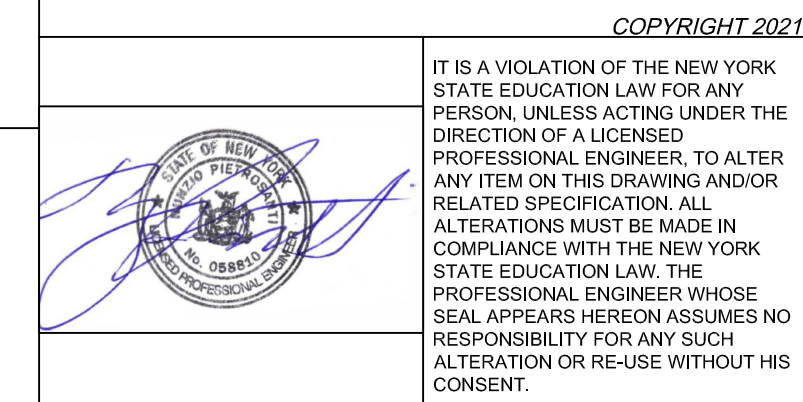


DO NOT SCALE DRAWINGS

No.	DESCRIPTION	DATE
<b>- REVISIONS -</b>		
DRAWING TITLE		
NOTES AND ZONING TABLE, SITE PLAN		

**Nunzio Pietrosanti, P.E.**  
 CONSULTING ENGINEER

63 Dover Lane  
 Yonkers, New York 10710  
 (914) 760-0628



PROJECT No: 020121  
 DATE: 1/12/21  
 SCALE: AS NOTED  
 DRAWN BY: F.D.  
 CHECKED BY: F.D.

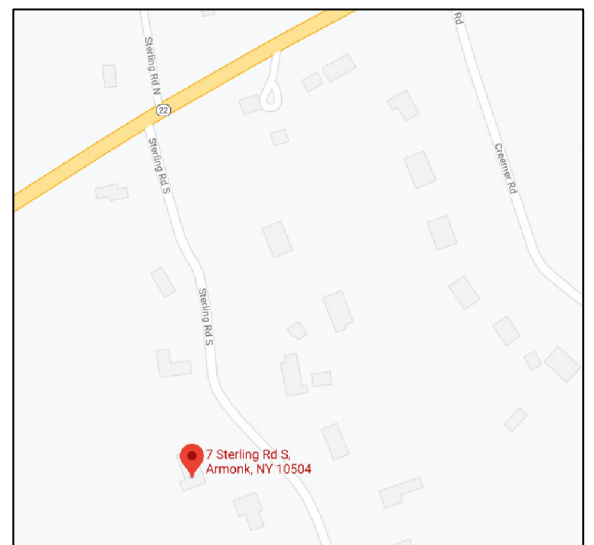
SHEET No  
 S-1

PROPOSED ALTERATION TO FRONT ELEVATION FOR THE

DIMATTEO RESIDENCE  
AT  
7 STERLING ROAD S.  
ARMONK, NEW YORK

PARCEL NO: 108.04 1-4  
ZONE: R-2A

PROJECT LOCATION



VICINITY MAP  
SCALE: N.T.S.

DO NOT SCALE DRAWINGS

No. DESCRIPTION DATE

- REVISIONS -

DRAWING TITLE  
FLOOR PLANS AND ELEVATIONS

Nunzio Pietrosanti, P.E.  
CONSULTING ENGINEER

63 Dover Lane  
Yonkers, New York 10710  
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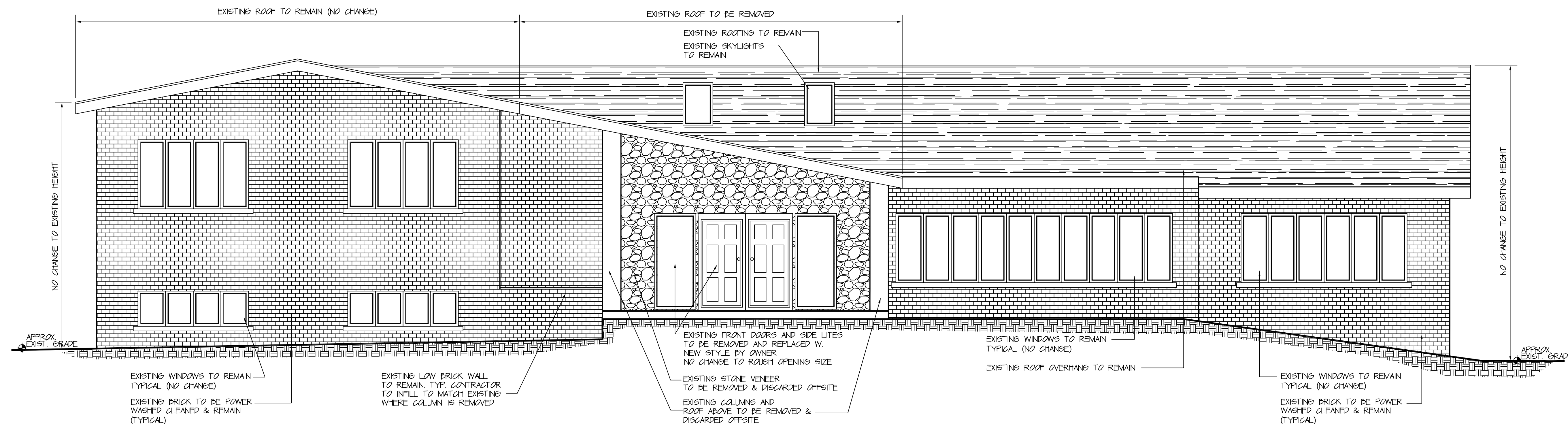


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DATE: 1/12/21  
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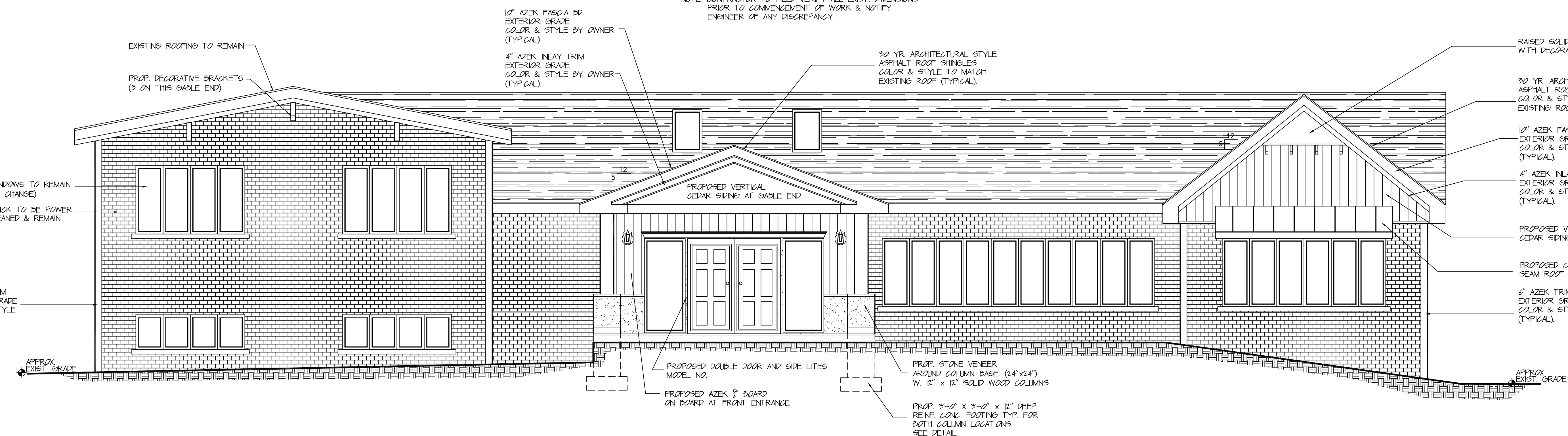
SHEET No  
A-1

DO NOT SCALE DRAWINGS



1 EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"  
NOTE: CONTRACTOR TO FIELD VERIFY ALL EXIST. DIMENSIONS PRIOR TO COMMENCEMENT OF WORK & NOTIFY ENGINEER OF ANY DISCREPANCY.



2 PROPOSED FRONT ELEVATION

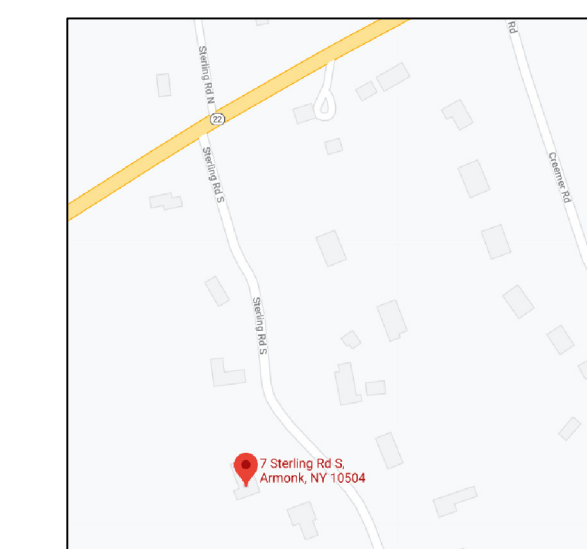
SCALE: 1/4" = 1'-0"  
NOTE: CONTRACTOR TO FIELD VERIFY ALL EXIST. DIMENSIONS PRIOR TO COMMENCEMENT OF WORK & NOTIFY ENGINEER OF ANY DISCREPANCY.

PROPOSED ALTERATION TO FRONT ELEVATION FOR THE

DIMATTEO RESIDENCE  
AT  
7 STERLING ROAD S.  
ARMONK, NEW YORK

PARCEL NO: 108.04 1-4  
ZONE: R-2A

PROJECT LOCATION



VICINITY MAP  
SCALE: N.T.S.

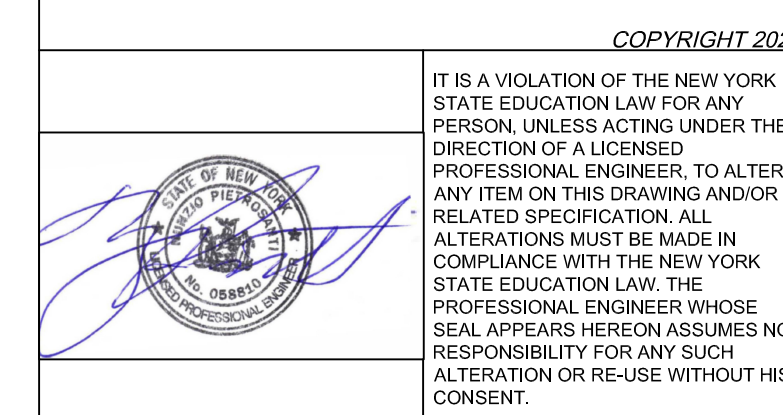
DO NOT SCALE DRAWINGS

No.	DESCRIPTION	DATE
<b>- REVISIONS -</b>		

DRAWING TITLE  
FLOOR PLANS AND ELEVATIONS

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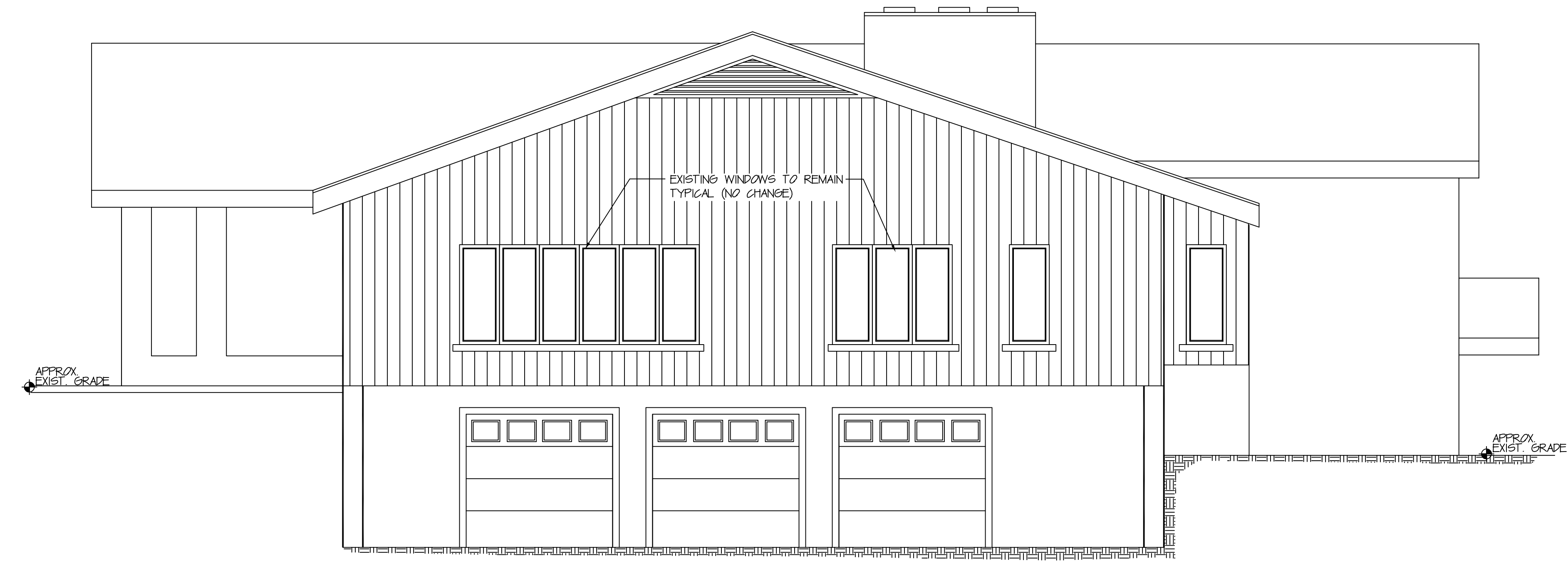
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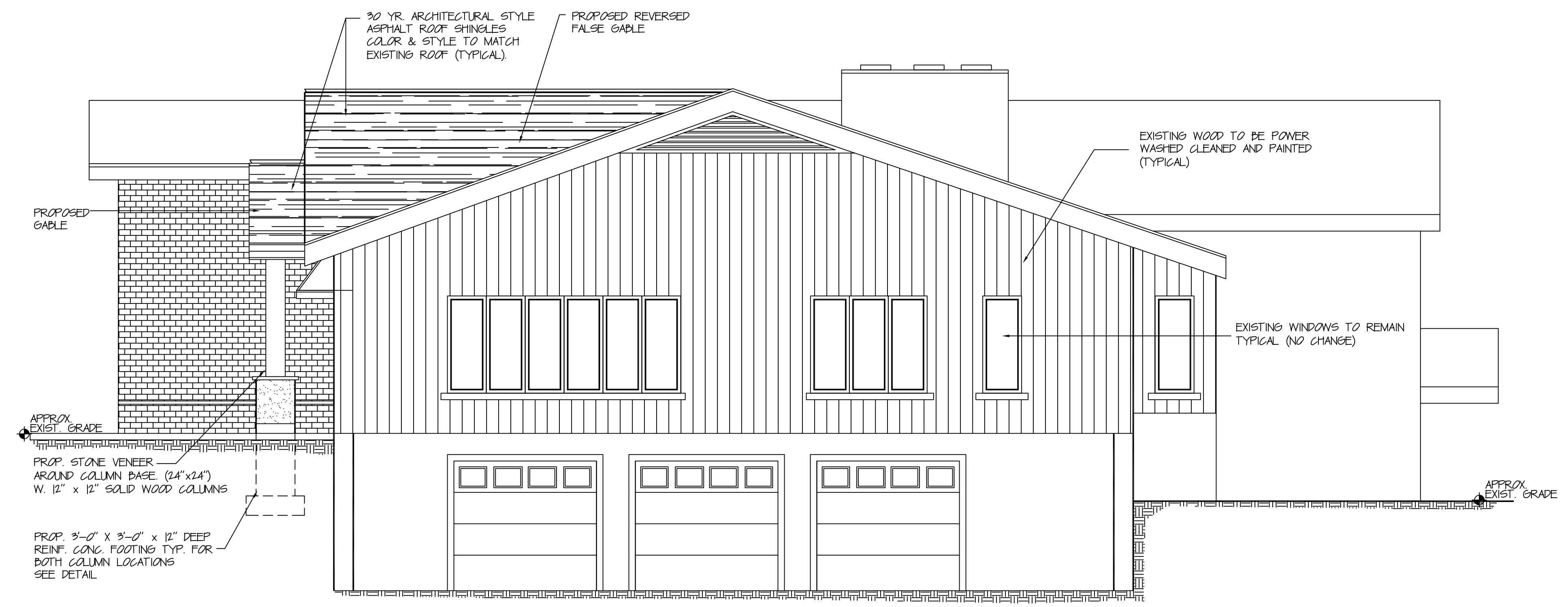
PROJECT No: 02-01-2021	SHEET No
DATE: 1/12/21	A-2
SCALE: AS NOTED	
DRAWN BY: F.D.	
CHECKED BY: F.D.	

DO NOT SCALE DRAWINGS



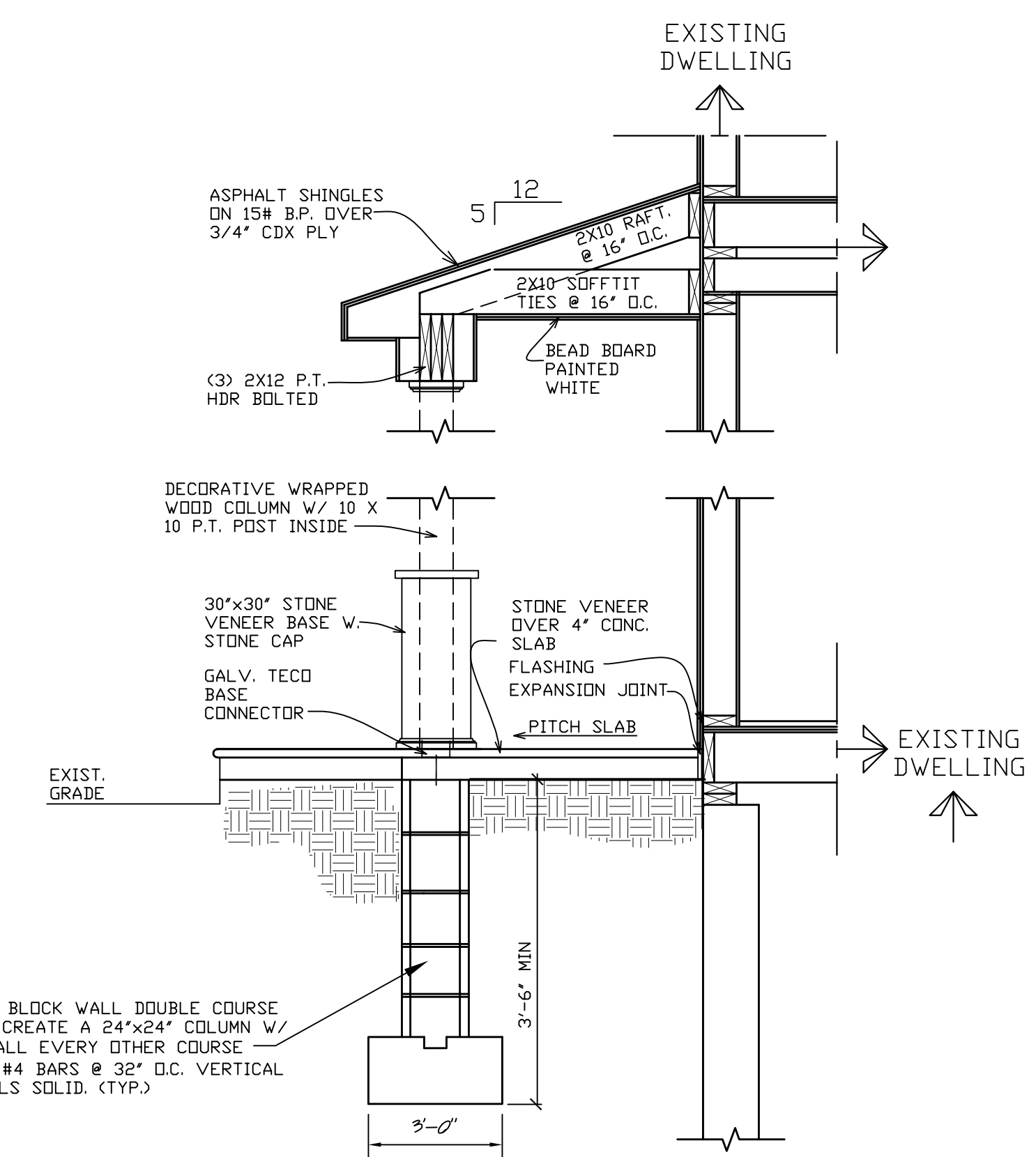
**1** EXISTING RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"  
NOTE: CONTRACTOR TO FIELD VERIFY ALL EXIST. DIMENSIONS PRIOR TO COMMENCEMENT OF WORK & NOTIFY ENGINEER OF ANY DISCREPANCY.



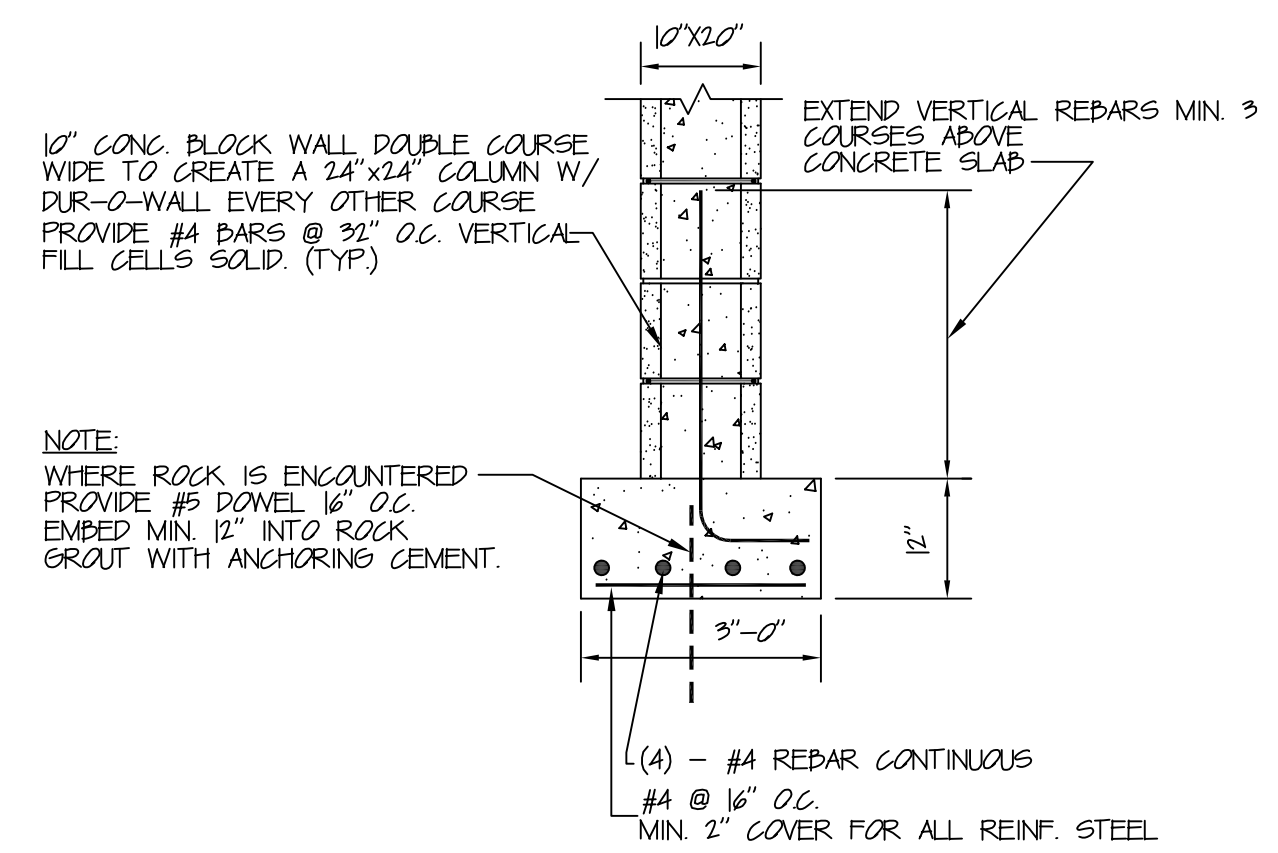
**2** PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"  
NOTE: CONTRACTOR TO FIELD VERIFY ALL EXIST. DIMENSIONS PRIOR TO COMMENCEMENT OF WORK & NOTIFY ENGINEER OF ANY DISCREPANCY.



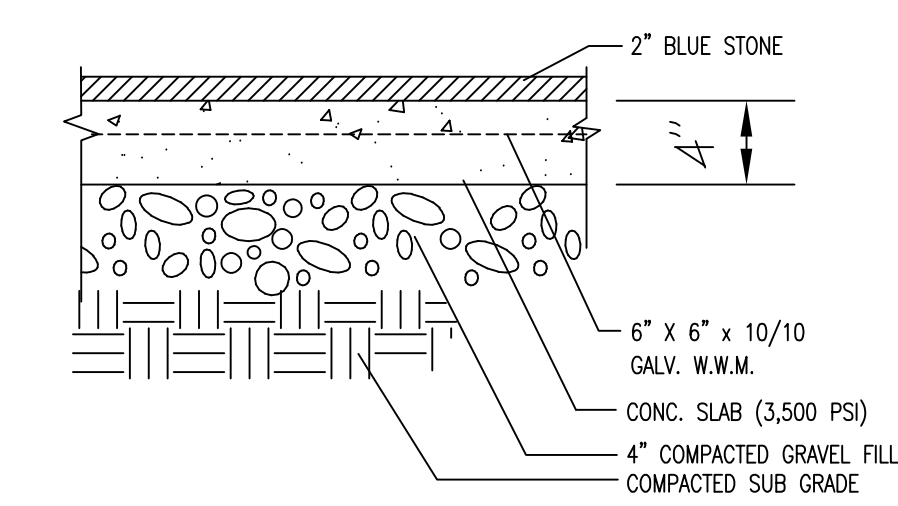
**3** FRONT PORTICO SECTION

N.T.S.



**4** FOUNDATION WALL & FOOTING DETAIL

N.T.S.



**5** CONCRETE PORCH DETAIL

N.T.S.

PROPOSED ALTERATION TO FRONT ELEVATION FOR THE

DIMATTEO RESIDENCE

AT  
7 STERLING ROAD S.  
ARMONK, NEW YORK

PARCEL NO: 108.04 1-4  
ZONE: R-2A

PROJECT LOCATION



VICINITY MAP  
SCALE : N.T.S.

DO NOT SCALE DRAWINGS

No. DESCRIPTION DATE

- REVISIONS -

DRAWING TITLE  
FLOOR PLANS AND ELEVATIONS

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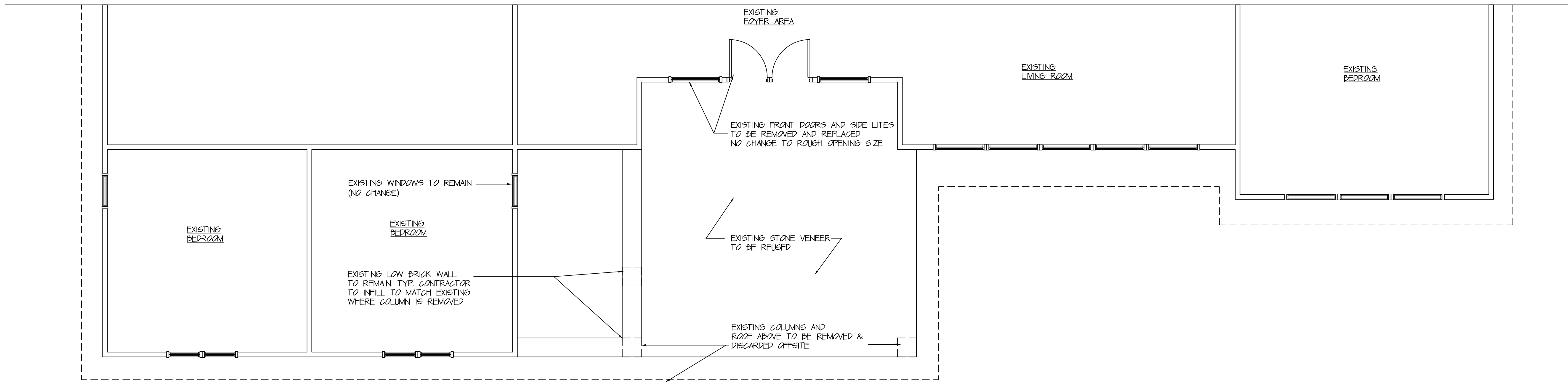


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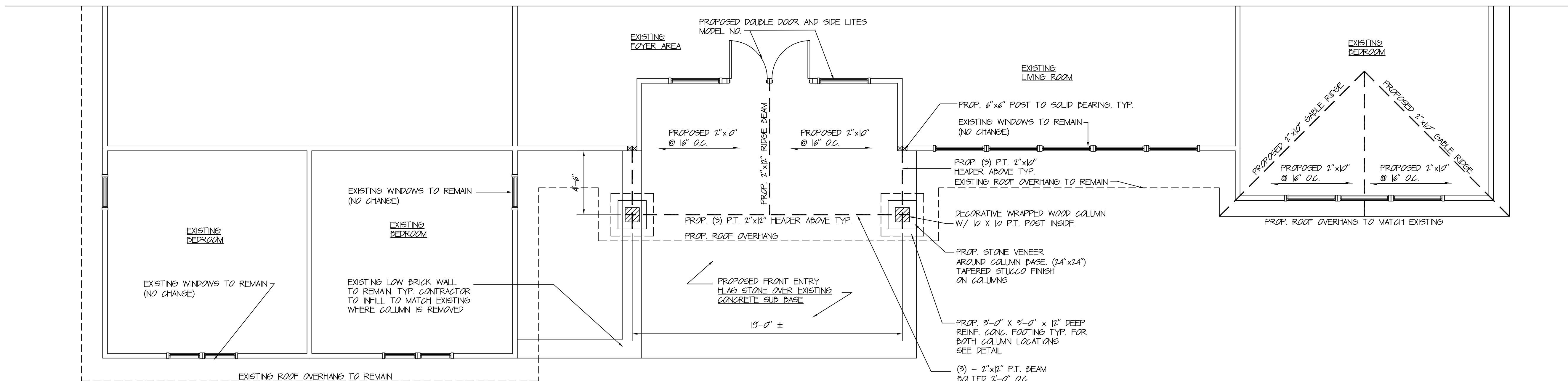
SHEET No  
A-3

DO NOT SCALE DRAWINGS



**1** EXISTING PARTIAL FIRST FLOOR / DEMOLITION PLAN

SCALE: 1/4" = 1'-0"  
NOTE: CONTRACTOR TO FIELD VERIFY ALL EXIST. DIMENSIONS PRIOR TO COMMENCEMENT OF WORK & NOTIFY ENGINEER OF ANY DISCREPANCY.



**2** PROPOSED PARTIAL FIRST FLOOR AND PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"  
NOTE: CONTRACTOR TO FIELD VERIFY ALL EXIST. DIMENSIONS PRIOR TO COMMENCEMENT OF WORK & NOTIFY ENGINEER OF ANY DISCREPANCY.

- NOTES:**
- ALL FASTENERS, CONNECTORS, SCREWS, NAILS ETC. TO BE CORROSIVE RESISTANCE.
  - ALL SCREWS TO BE EPOXY COATED AND CORROSIVE RESISTANCE.