



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: [planning@northcastleny.com](mailto:planning@northcastleny.com).

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)

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## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

**Section I- PROJECT ADDRESS:** 15 Maple Way, Armonk NY

**Section III- DESCRIPTION OF WORK:** \_\_\_\_\_

Construction of a new pool cabana

**Section III- CONTACT INFORMATION:**

APPLICANT: Mark W. Fritz Architects AIA  
ADDRESS: 133 Fernwood Road, Trumbull, CT 06611  
PHONE: 914-946-7766 MOBILE: 203-981-8930 EMAIL: MWFARCHITECTS@GMAIL.COM

PROPERTY OWNER: Brian & Jessica Marcus  
ADDRESS: 15 Maple Way, Armonk NY  
PHONE: 516-770-5264 MOBILE: EMAIL: jessica.lauren.marcus@gmail.com

PROFESSIONAL: Mark W. Fritz Architects AIA  
ADDRESS: 133 Fernwood Road, Trumbull, CT 06611  
PHONE: 914-946-7766 MOBILE: 203-981-8930  
EMAIL: MWFARCHITECTS@GMAIL.COM

**Section IV- PROPERTY INFORMATION:**

Zone: R-2A Tax ID (lot designation) 101.04-2-80



**Town of North Castle  
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan: Marcus Residence

Initial Submittal  Revised Preliminary

Street Location: 15 Maple Way, Armonk, NY

Zoning District: R-2A Property Acreage: 2.17 Tax Map Parcel ID: 101.04-2-80

Date: January 25, 2021

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
**Director of Planning**

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**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: MARCUS RESIDENCE Date: 01/25/2021

Tax Map Designation or Proposed Lot No.: 101.04-2-80

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 94,133 S.F.
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 13,796 S.F.
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):  
 Distance principal home is beyond minimum front yard setback  
9.6 x 10 = 96 96 S.F.
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 13,892 S.F.
5. Amount of lot area covered by **principal building**:  
2,582 S.F. existing + 0 proposed = 2,582 S.F.
6. Amount of lot area covered by **accessory buildings**:  
140 existing + 720 proposed = 860 S.F.
7. Amount of lot area covered by **decks**:  
741 S.F. existing + 0 proposed = 741 S.F.
8. Amount of lot area covered by **porches**:  
0 existing + 0 proposed = 0
9. Amount of lot area covered by **driveway, parking areas and walkways**:  
3,990 S.F. existing + 169 S.F. proposed = 4,159 S.F.
10. Amount of lot area covered by **terraces**:  
0 existing + 2,436 S.F. proposed = 2,436 S.F.
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:  
0 existing + 990 S.F. proposed = 990 S.F.
12. Amount of lot area covered by **all other structures**:  
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 11,768 S.F.

If Line 13 is less than or equal to Line 4 your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Adam R. Kaufman  
 Signature and Seal of Professional Planner



01/25/2021  
 Date

-2-1

Wanda

Tax Lot 101.04-2-2  
N/F William & Lisa  
Friedlander

PROPERTY LINE

PROPERTY LINE

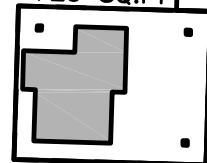
MAPLE WAY

PROPERTY LINE

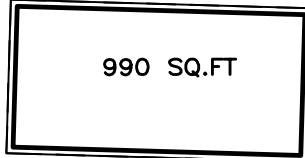
140 SQ.FT



720 SQ.FT



990 SQ.FT



1,750 SQ.FT

296 SQ.FT

41 SQ.FT

2582 SQ.FT

686 SQ.FT

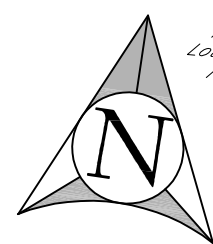
741 SQ.FT

3822 SQ.FT

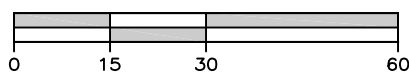
Approximate Location of  
15' Drainage Easement Per  
Survey By Others

Drainage Easement  
Per Filed Map 1,3994

15.0'



Tax Lot 101.04-2-79  
Lot 353, Filed Map 1,3994  
N/F Michael & Stacey  
Oestreich



SCALE: 1" = 30'

NOTE: LINES SHOWN ARE CLOSED  
COMPUTER POLYLINE ENTITIES.

ALFONZETTI ENGINEERING, P.C.  
1100 ROUTE 52, CARMEL, N.Y. 10512  
845 - 228 - 9800

MARCUS RESIDENCE  
15 MAPLE WAY, ARMONK 10504  
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NY

GROSS LAND COVERAGE  
JANUARY 25, 2021



**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
17 Bedford Road  
Armonk, New York 10504-1898

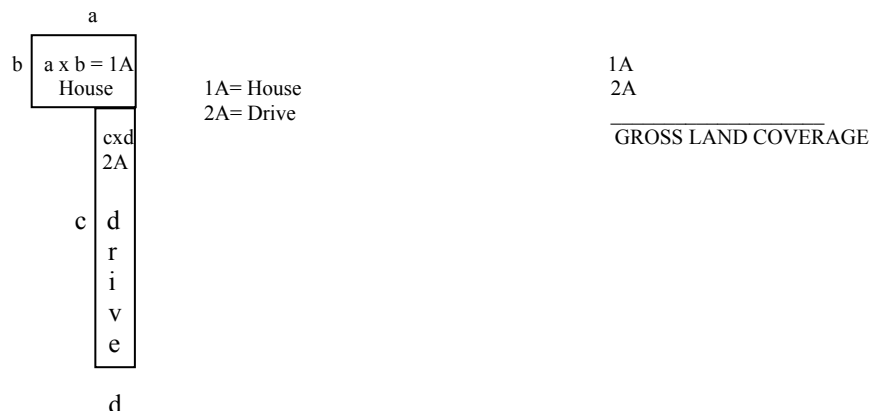
**PLANNING DEPARTMENT**  
Adam R. Kaufman, AICP  
Director of Planning

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[www.northcastleny.com](http://www.northcastleny.com)

## GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots <sup>1</sup> (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

\*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.





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PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

January 29, 2019  
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## FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Marcus Residence Date: Jan. 25, 2021

Tax Map Designation or Proposed Lot No.: \_101.04-2-80

### Floor Area

- |     |   |                  |
|-----|---|------------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>94,169.96</u> |
| 2.  | <b>Maximum</b> permitted floor area (per Section 355-26.B(4)):  | <u>10,403.99</u> |
| 3.  | Amount of floor area contained within first floor:<br>_ <u>1723</u> existing + <u>0</u> proposed = 1723 _                       | <u>1723</u>      |
| 4.  | Amount of floor area contained within second floor:<br>_ <u>1712</u> existing + <u>0</u> proposed = <u>1712</u>                 | <u>1712</u>      |
| 5.  | Amount of floor area contained within<br>garage: <u>463</u> existing + <u>0</u> proposed <u>463</u><br>=                        | <u>463</u>       |
| 6.  | Amount of floor area contained within porches capable of being<br>enclosed: <u>0</u> existing + <u>0</u> proposed = <u>0</u>    | <u>0</u>         |
| 7.  | Amount of floor area contained within basement (if applicable – see<br>definition): <u>NA</u> existing + _____ proposed = _____ | <u>NA</u>        |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):<br>_____ existing + _____ proposed = _____        | <u>NA</u>        |
| 9.  | Amount of floor area contained within all accessory<br>buildings: <u>0</u> existing + <u>224</u> proposed<br>=                  | <u>224</u>       |
| 10. | Proposed <b>floor area</b> : Total of Lines 3 – 9 = _____   | <u>4109.00</u>   |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



January 25, 2021  
Date



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**WESTCHESTER COUNTY**  
 17 Bedford Road  
 Armonk, New York 10504-1898

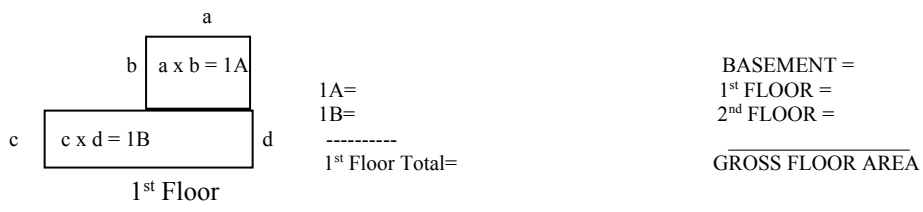
**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
**Director of Planning**

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### GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



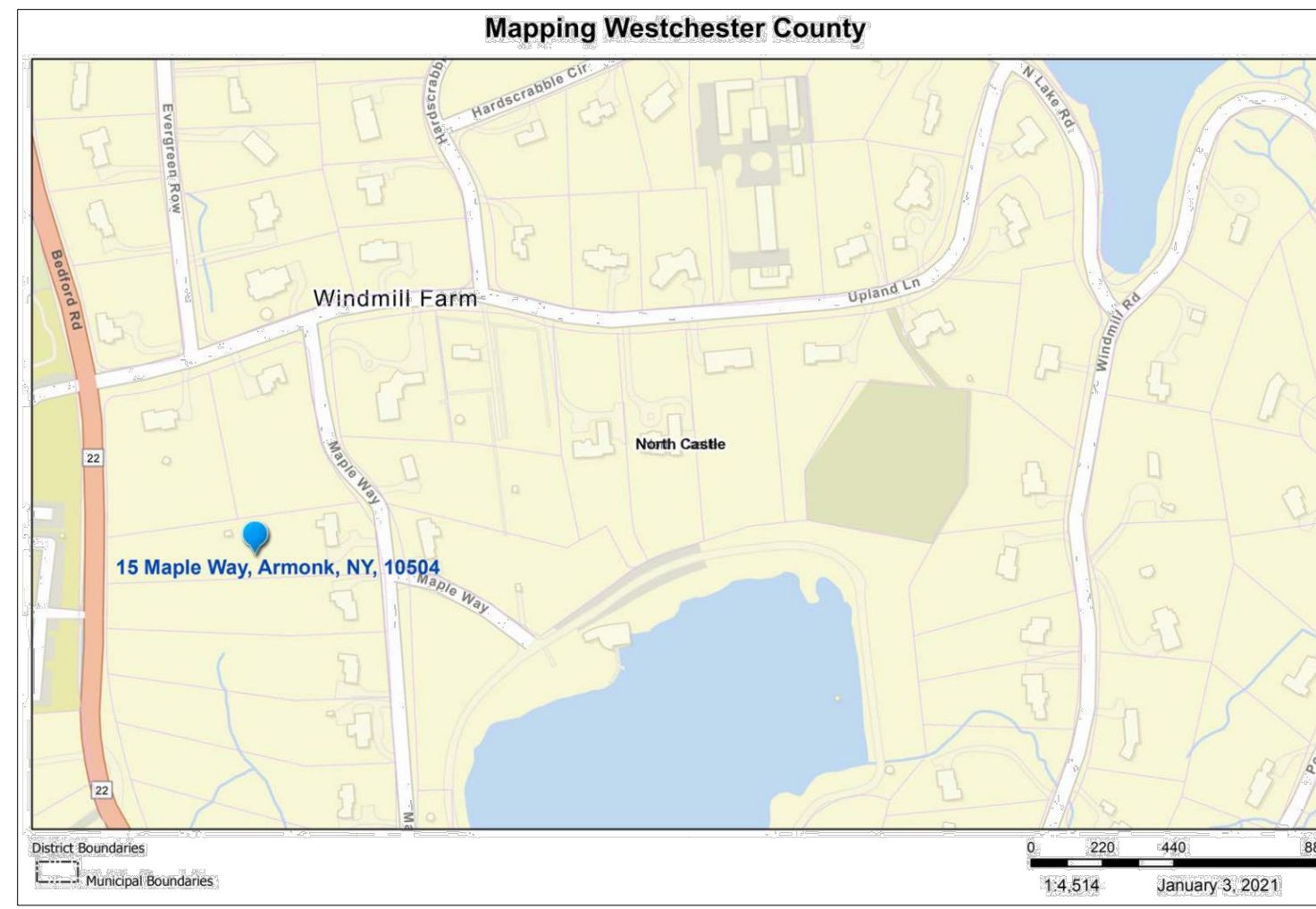
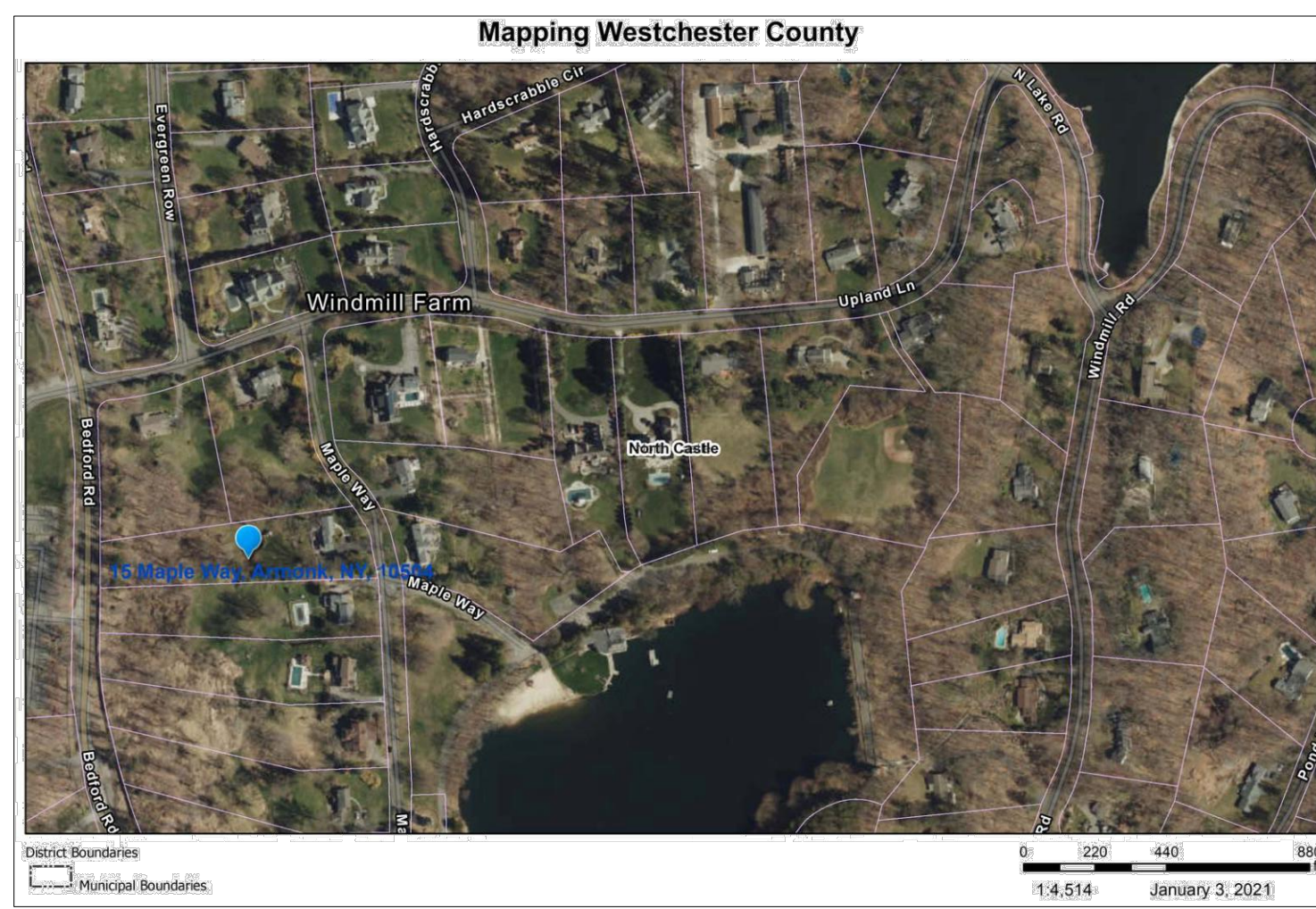
LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings <sup>1</sup> (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

\*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.



# MARCUS RESIDENCE CABANA 15 MAPLE WAY ARMONK, NEW YORK 10504

## ZONING CODE DATA for CABANA

15 MAPLE WAY ARMONK, NEW YORK  
Zone R-2A  
TAX MAP 101.04-2-00  
Zoning District: Single Family Residence

Code	Requirements	Proposed
Lot Area	87,120 sq. ft.	94,169.96 sq. ft.
Minimum Lot Width	150 ft.	172 FT.
Minimum Yards:		
Side (cabana)	30 ft.	35 FT
Rear (cabana)	50 ft.	347 FT
Maximum Height:	15 ft. cabana	14 ft to ridge;
CABANA SQ.FT.	200 SQ.FT.	224 SQ. FT

## 2020 RESIDENTIAL CODE OF NEW YORK STATE BUILDING CODE DATA

Use & Occupancy Classification: Residential Group R-3 per 302.1;  
Construction Classification: Construction Type IV per 602  
of the 2015 International Building Code

Floor Construction Other Elements	No Rating	
	No Rating	No Rating
Design Loads	Live/ Snow	Dead
First Floor	40 psf.	10 psf.
Second Floor	30 psf.	10 psf.
Attic	20 psf.	10 psf.
Roof	20 psf.	10 psf.

**Mark Fritz Architects**  
133 Fernwood Road, Trumbull  
Connecticut, 06611  
Phone: 203-880-9800  
MWFARCHITECTS@AOL.COM

CONSULTANTS

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OWNER  
**MARCUS RESIDENCE  
15 MAPLE WAY  
ARMONK, NEW YORK  
10504**



MARK	DATE	DESCRIPTION
	1/7/21	CONSTRUCTION PLAN

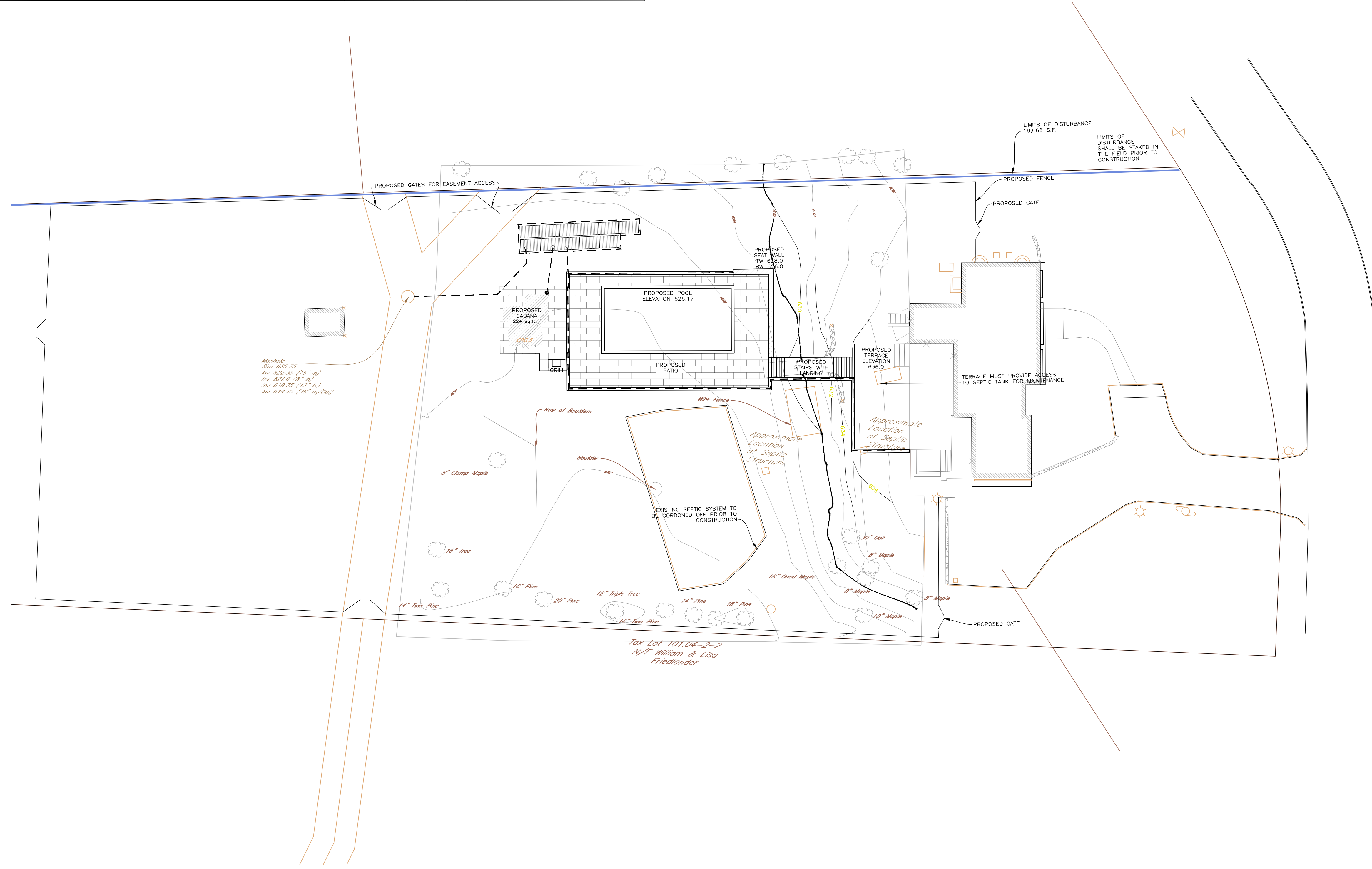
PROJECT NO: 2032  
CAD DWG FILE: 15 MAPLEWAY  
SHEET TITLE  
**CABANA  
PLOT PLAN**

SHEET **T-1**

### CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

[REFER TO TABLE R301.2(1) OF THE RESIDENTIAL CODE OF NEW YORK STATE]

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQ	FLOOD HAZARD
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
30 PSF	130	C	SEVERE	42"	MODERATE/HEAVY	MODERATE/HEAVY	7°F	YES	FIRM SEPT.28, 2007



## Energy Conservation Code

N1104.1 (R404) A MINIMUM OF 75% OF LAMPS INSTALLED IN PERMANENT FIXTURES (RECESSED LIGHTING) SHALL BE HIGH EFFICIENCY LAMPS

## ENERGY EFFICIENCY CRITERIA

CLIMATE ZONE: 4A WESTCHESTER COUNTY  
DOOR U-FACTOR:

UNINSULATED METAL:	1.20
INSULATED METAL:	0.60
WOOD:	0.50
INSULATED NON-METAL:	
45% MAX GLAZE	
DOUBLE PANE:	0.35

THERMAL ENVELOPE:  
GLAZED FENESTRATION U-FACTOR: U-0.35  
SKYLIGHTS: U-0.35  
CEILING R-VALUE: R-49  
WOOD FRAME WALL R-VALUE: R-20 CAVITY  
MASS WALL R-VALUE: R-13 CAVITY + R-3 CONTINUOUS  
FLOOR R-VALUE: R-13/17  
BASEMENT WALL R-VALUE: R-13 CAVITY  
SLAB R-VALUE: R 10, 2 FT  
CRAWL SPACE WALL R VALUE: R-10 CONTINUOUS

1 THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER; ALL BREAKS IN THE AIR BARRIER SHALL BE SEALED.

## LEGEND

- DOOR NUMBER
  - WINDOW NUMBER
  - PAIRED CONCRETE
  - NEW 2x4 STUD WALL @ 16\"/>
- BEAM
- N NEW
  - EX EXISTING
  - FTG FOOTING
  - BEW BOTTOM EACH WAY
  - CLJ COLLAR JOIST
  - CT COLLAR TIE
  - RT RAFTER TIE
  - RR ROOF RAFTER
  - FJ FLOOR JOIST
  - CO CASED OPENING
  - FPSC SELF CLOSING FIRE DOOR



6" DIAMETER  
**PRE ENGINEERED  
WOOD PLACKARD**  
(in accordance with Title 19 NYCRR PART 1265)  
THE LOCATION OF THE PLACKARD SHALL BE APPROVED IN THE FIELD BY THE BUILDING INSPECTOR.

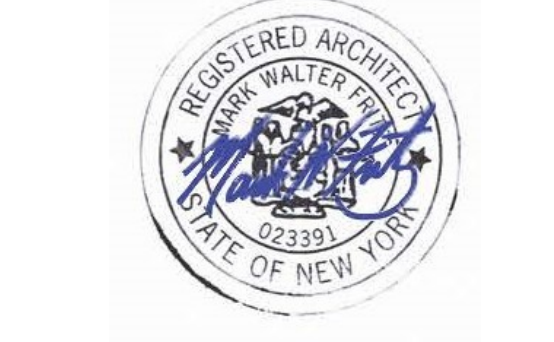


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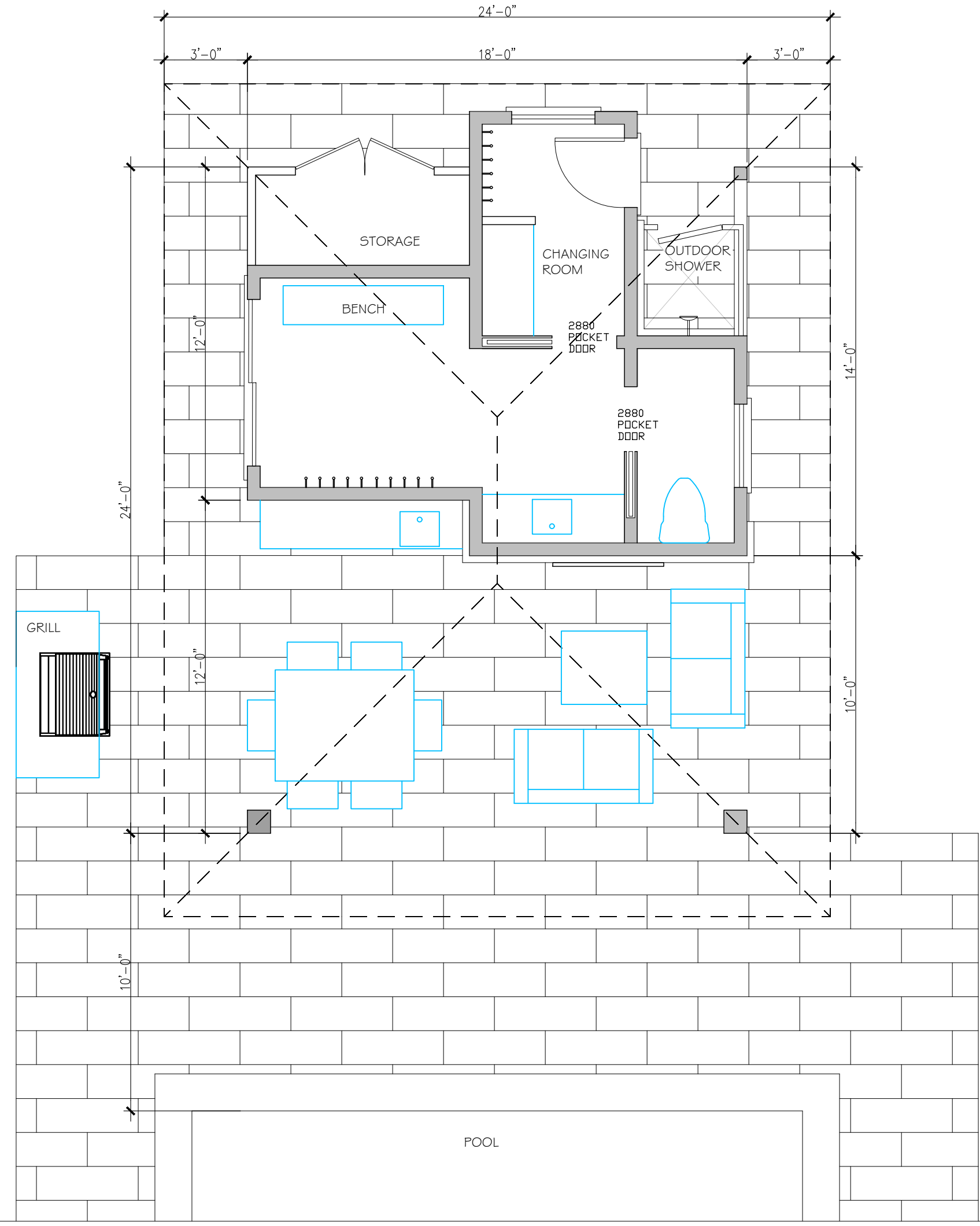


MARK	DATE	DESCRIPTION

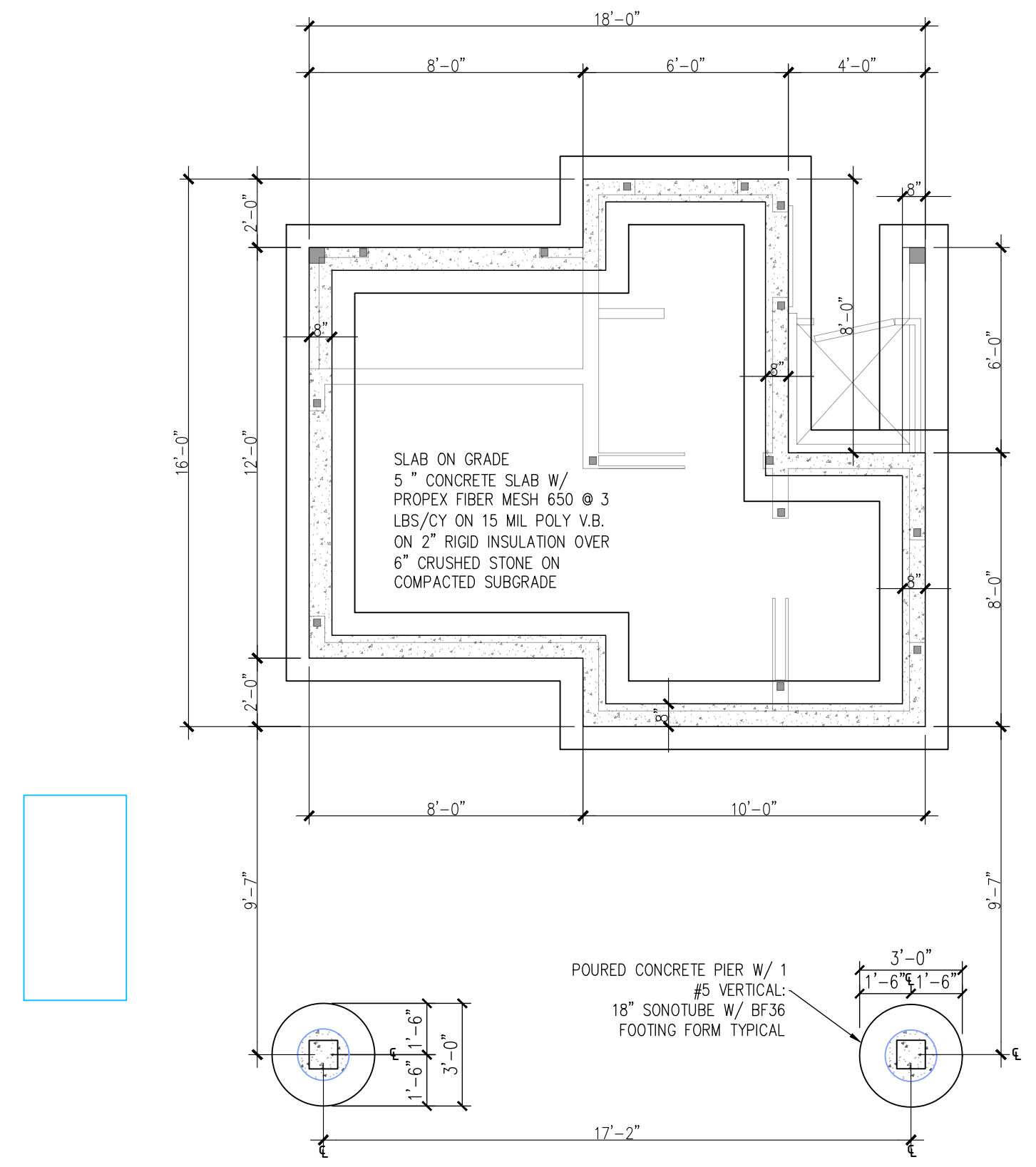
PROJECT NO: 2032  
CAD DWG FILE: 15 MAPLEWAY

SHEET TITLE  
CABANA  
FLOOR  
PLANS

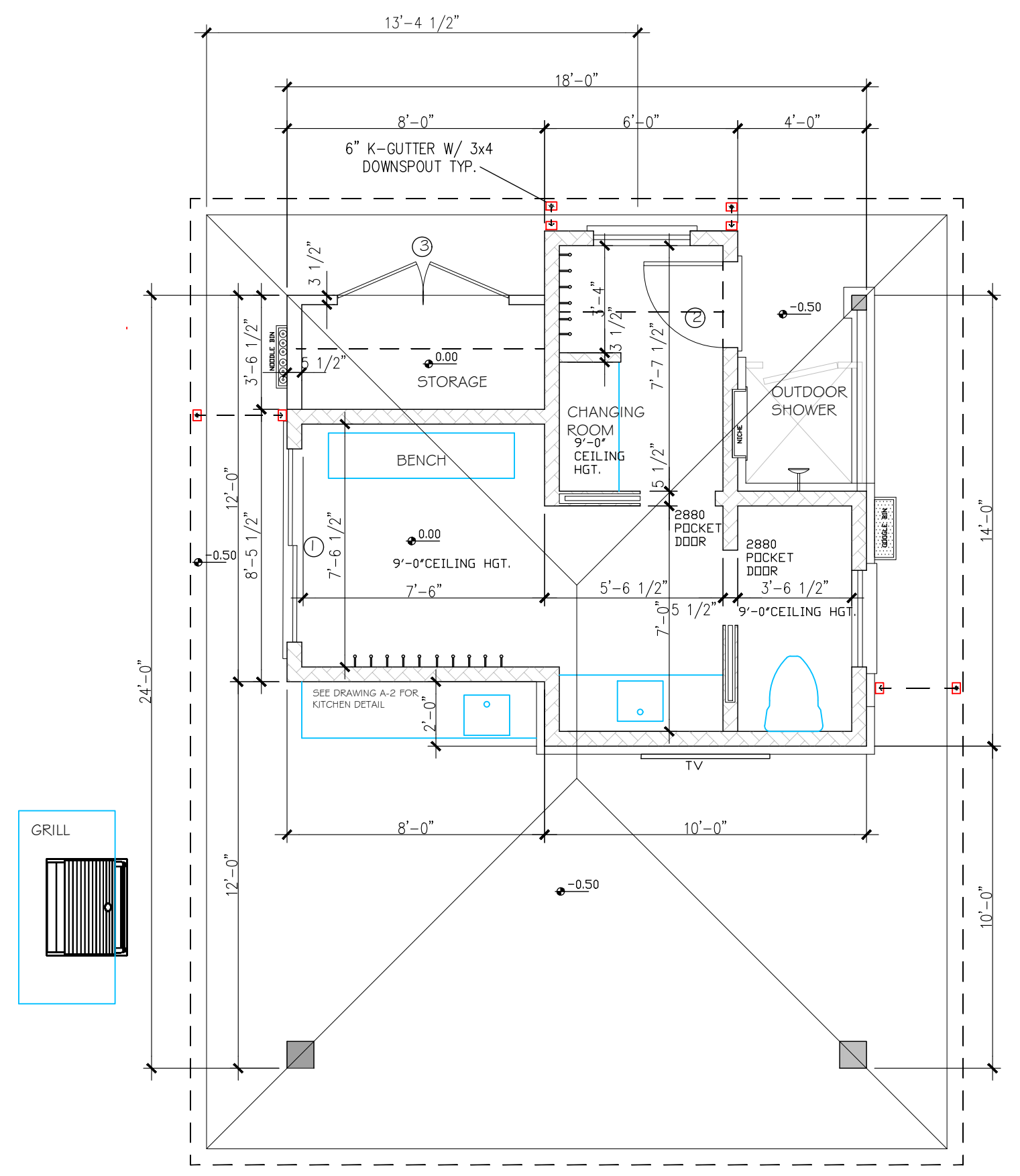
SHEET **A-1**



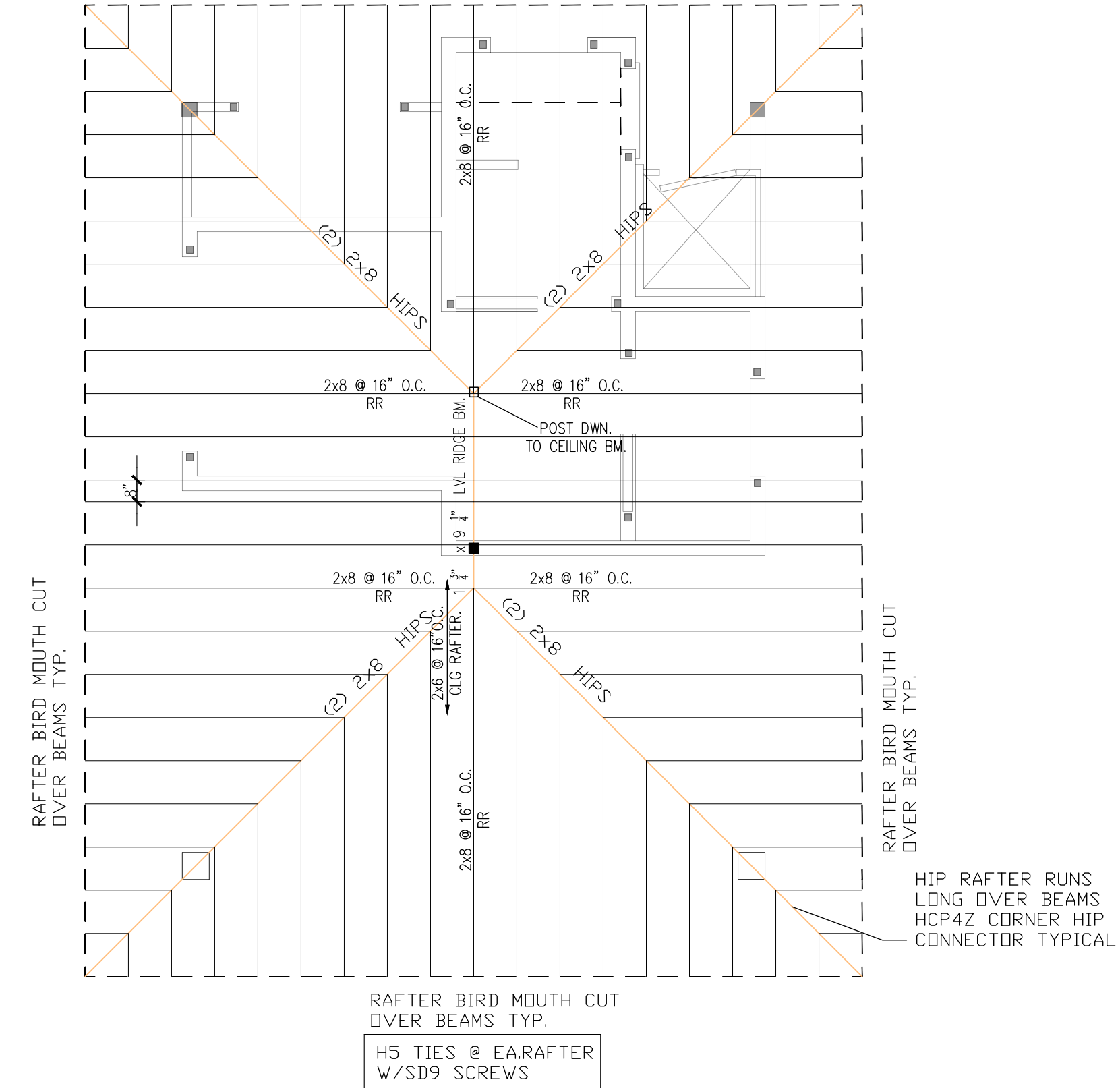
**LAYOUT PLAN**  
1/4"=1'-0"



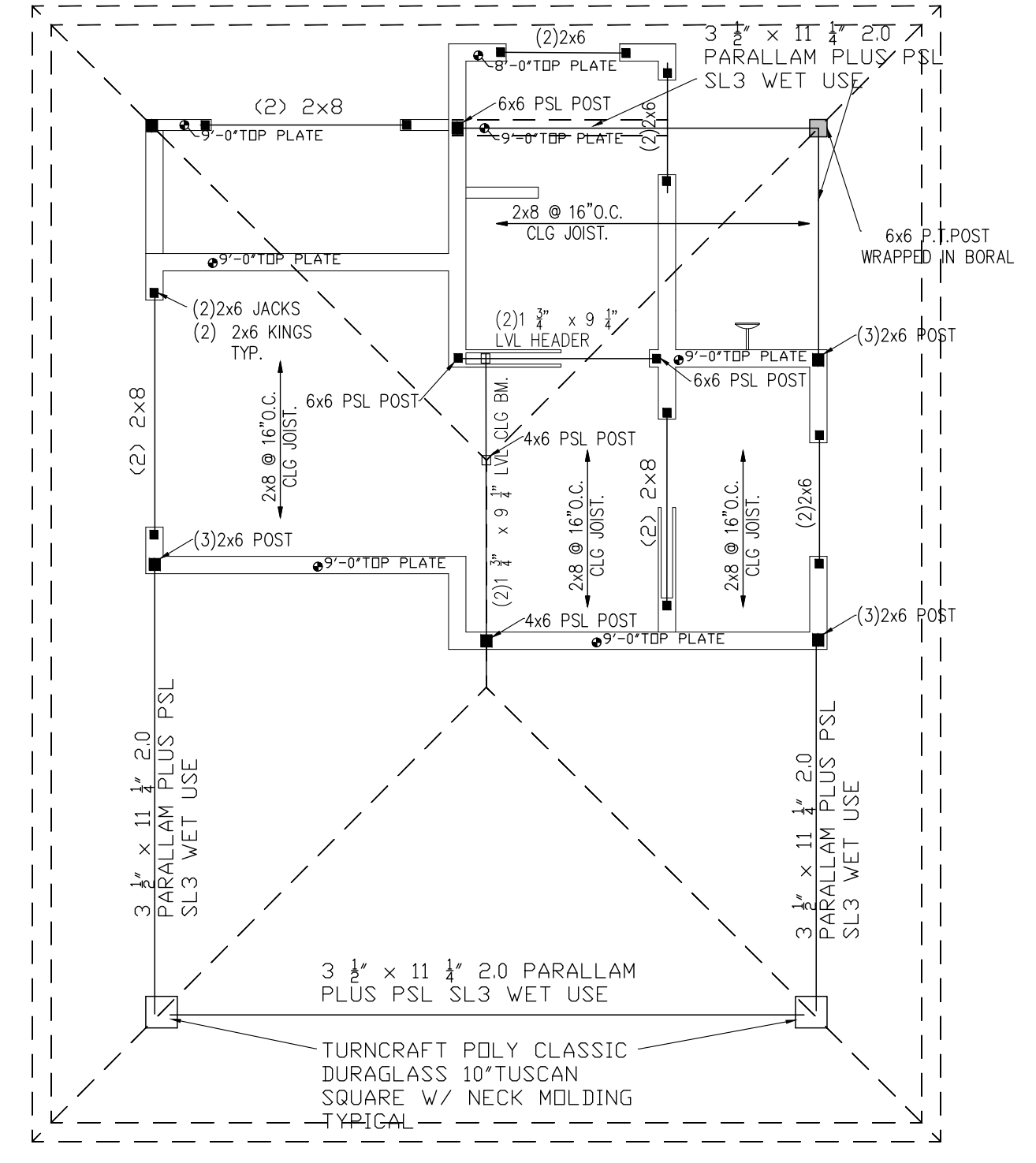
**FOUNDATION PLAN**  
1/4"=1'-0"



**CONSTRUCTION PLAN**  
1/4"=1'-0"



**ROOF FRAMING PLAN**  
1/4"=1'-0"



**STRUCTURAL FRAMING PLAN**  
1/4"=1'-0"

CONSULTANTS

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OWNER  
**MARCUS RESIDENCE**  
 15 MAPLE WAY  
 ARMONK, NEW YORK  
 10504

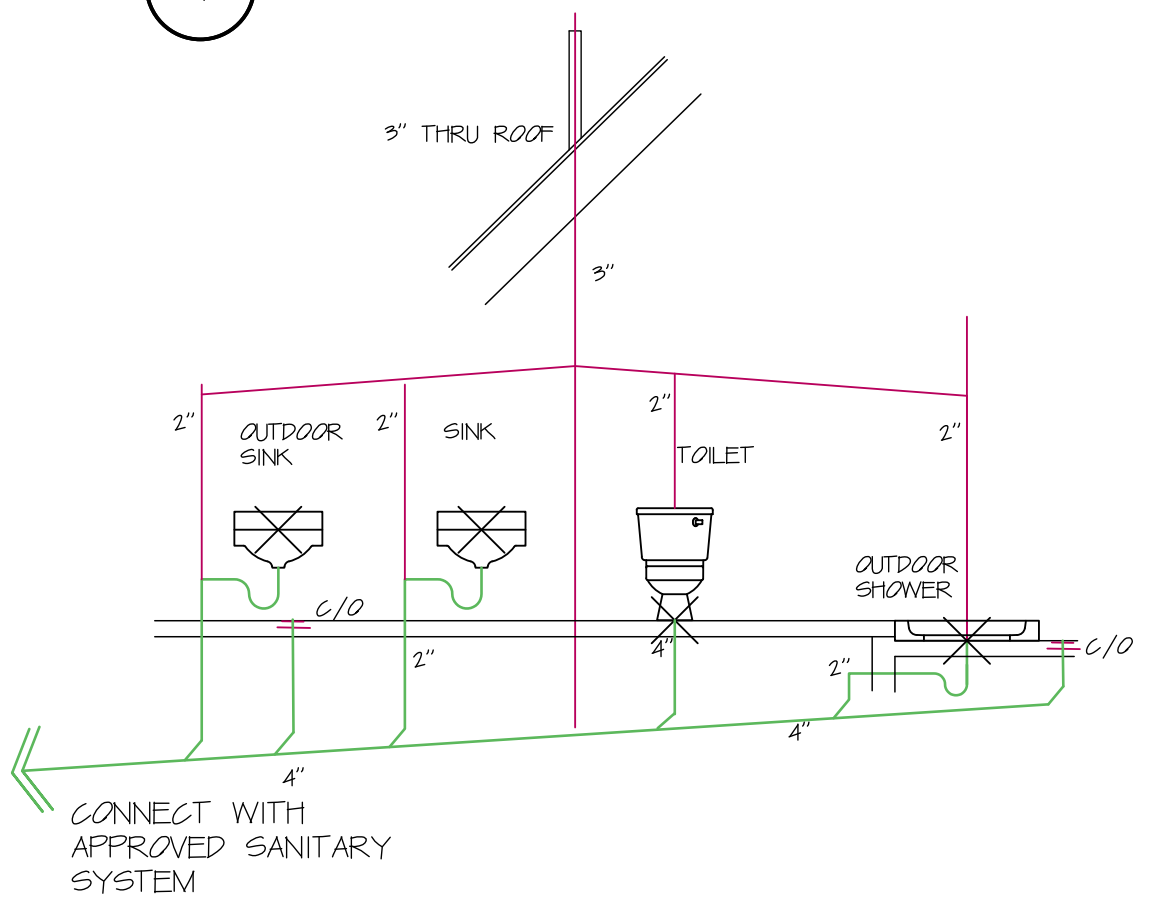


1/7/21	CONSTRUCTION PLAN
MARK	DATE DESCRIPTION

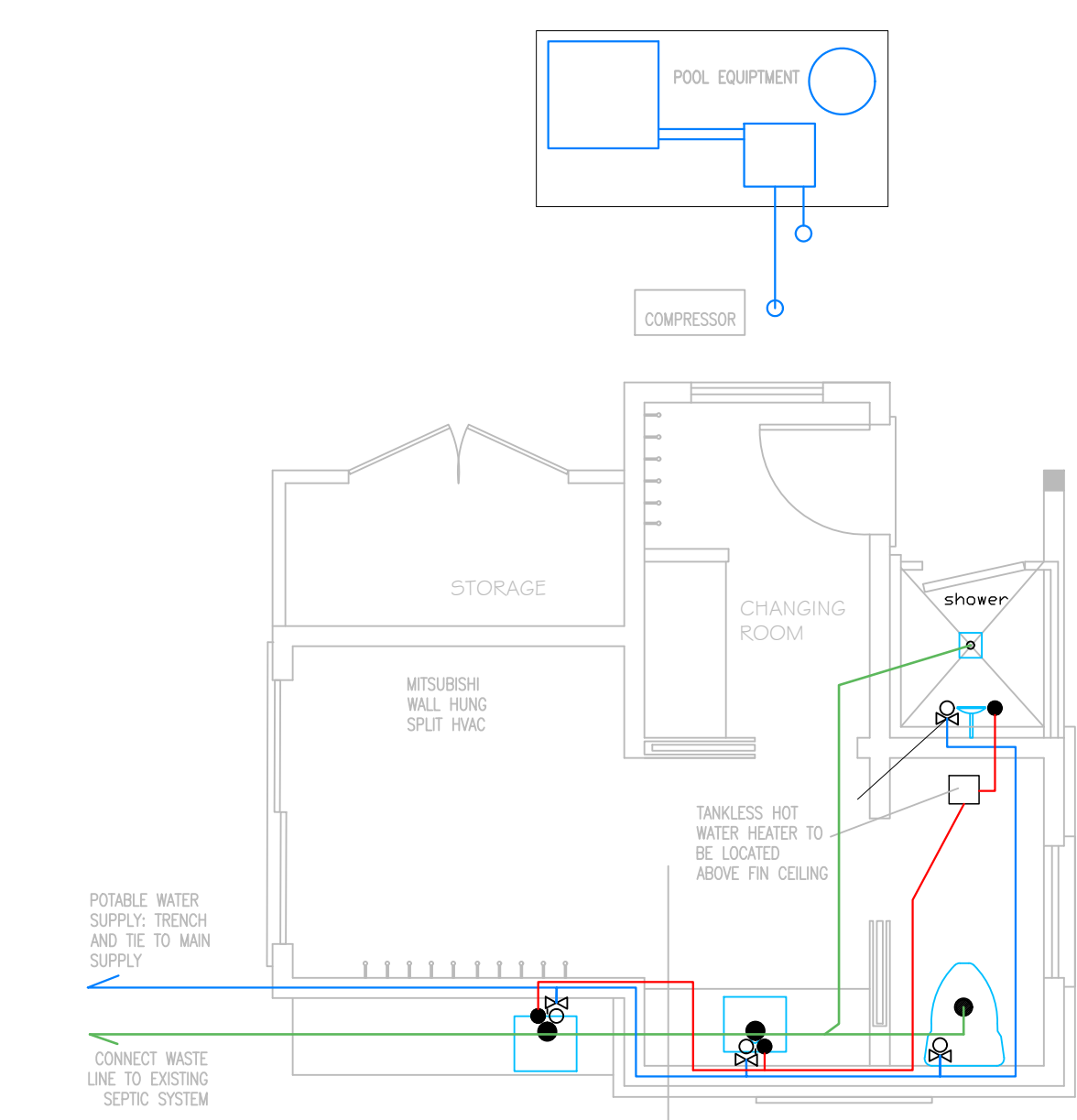
PROJECT NO: 2032  
 CAD DWG FILE: 15 MAPLEWAY

SHEET TITLE  
**MECHANICAL & ELEVATIONS**

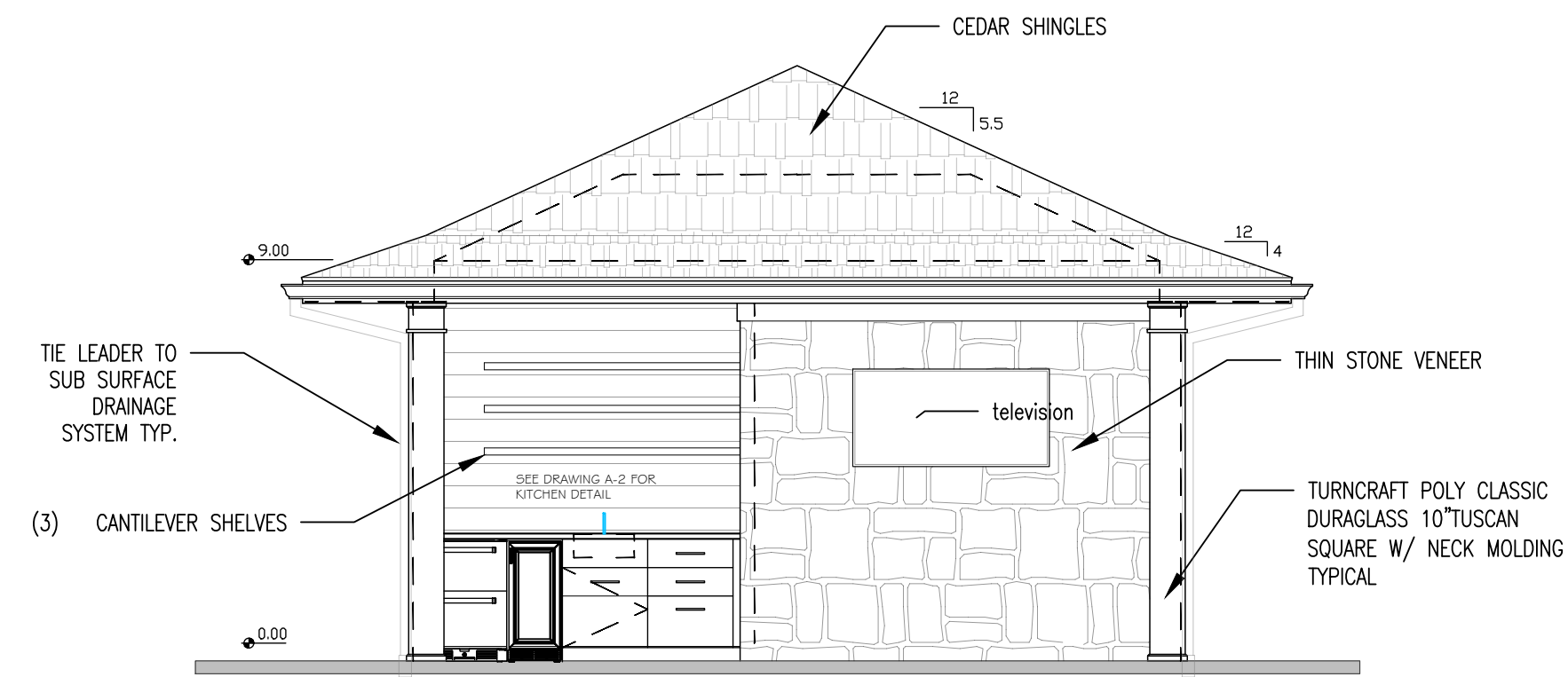
**1 SANITARY DIAGRAM**



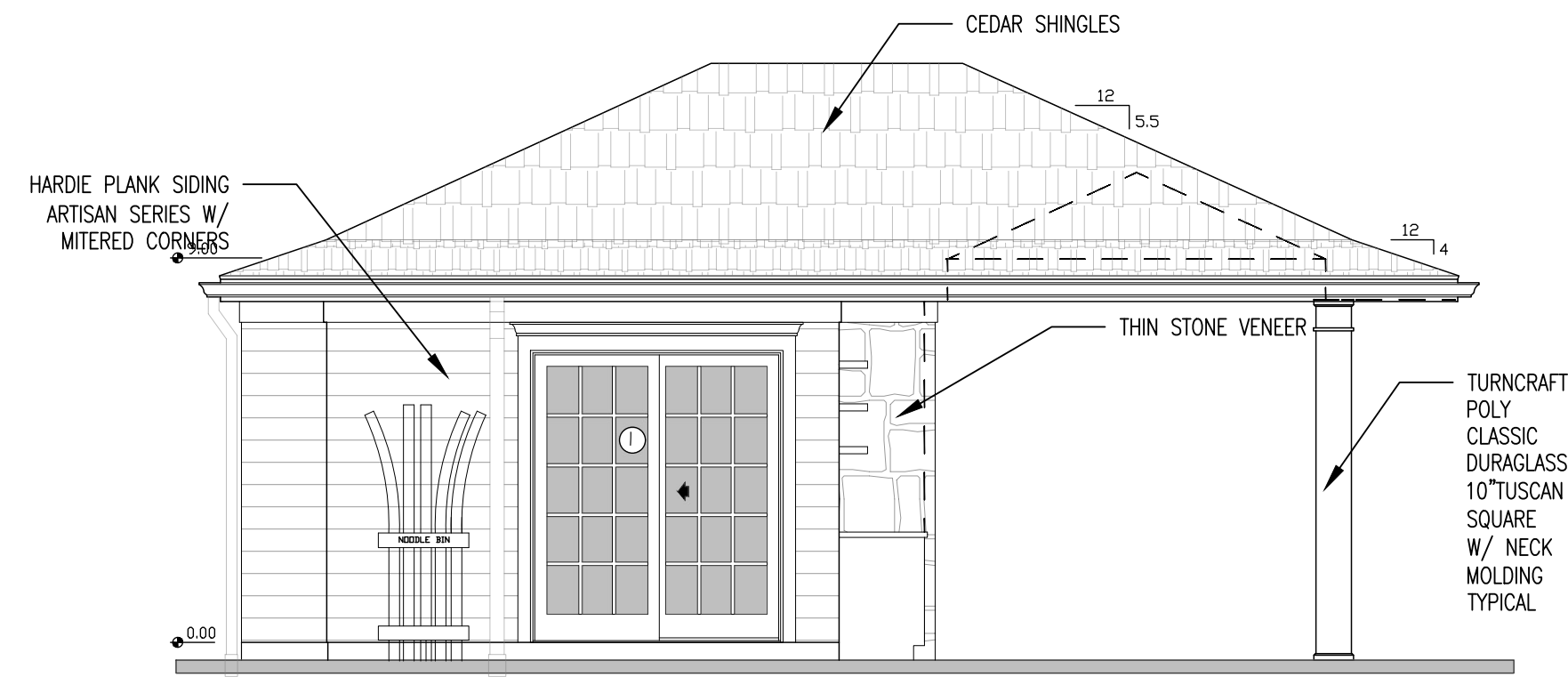
NOTES  
 FIXTURES SHOWN ABOVE IN SCHEMATIC ORDER PLUMBING SUB TO SEE FLOOR PLANS AND APPROVED SEPTIC ENGINEERING PLANS FOR ALL WASTE LINE LAYOUTS.  
 IF THE PLUMBING SUB HAS A CONDITION THAT REQUIRES A NON CODE STRUCTURAL MODIFICATION HE SHALL REPORT THE CONDITION TO THE GC PRIOR TO MAKING ANY CUTS AND THE ISSUE WILL SOLVED WITH THE ARCHITECT. ANY NON CODE MODIFICATIONS THAT CAUSE BUILDING DEPARTMENT VIOLATIONS SHALL BE REPLACED AT THE PLUMBING SUBS COST AND EXPENSE.



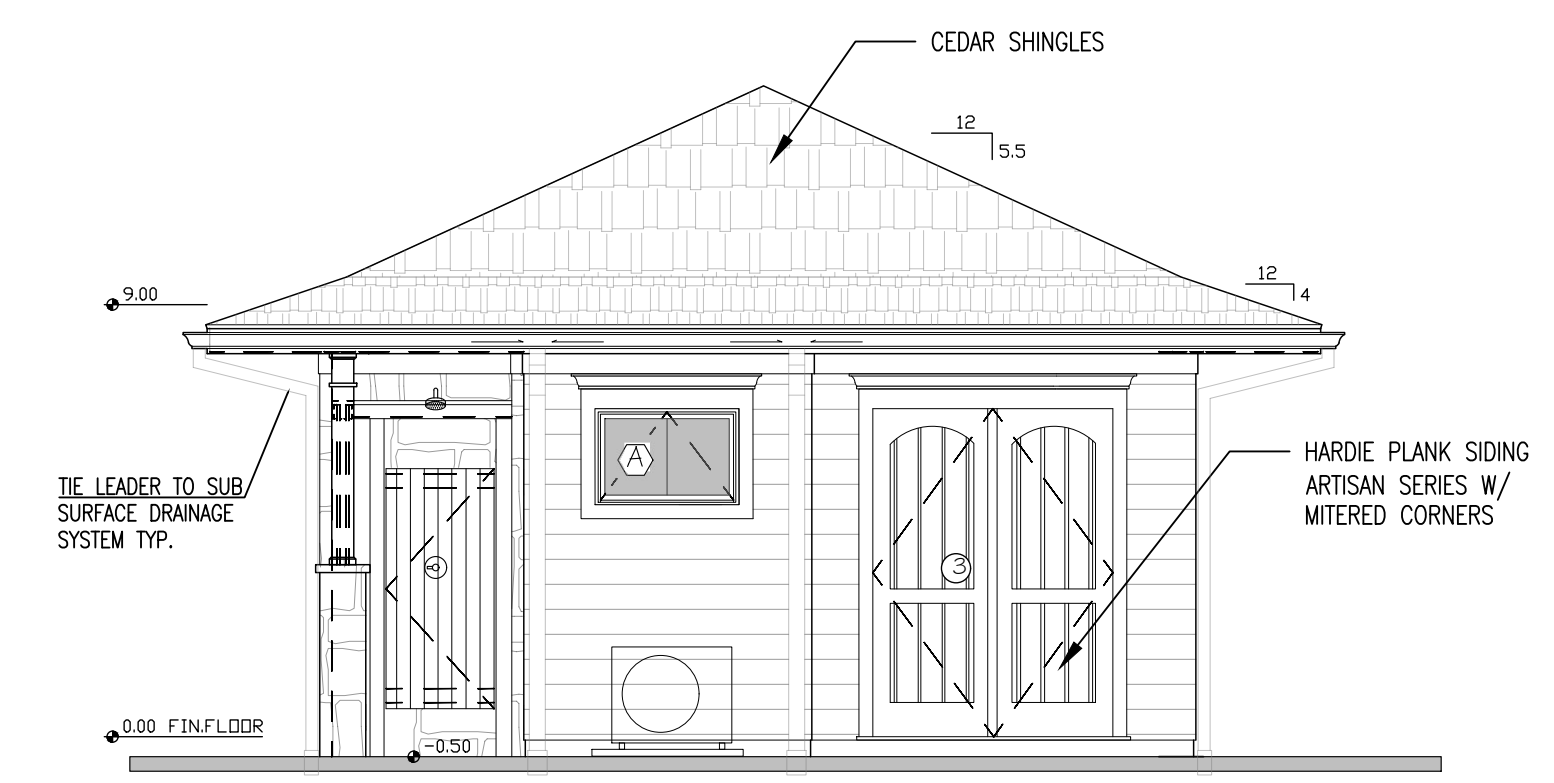
**PLUMBING PLAN**  
 1/4"=1'-0"



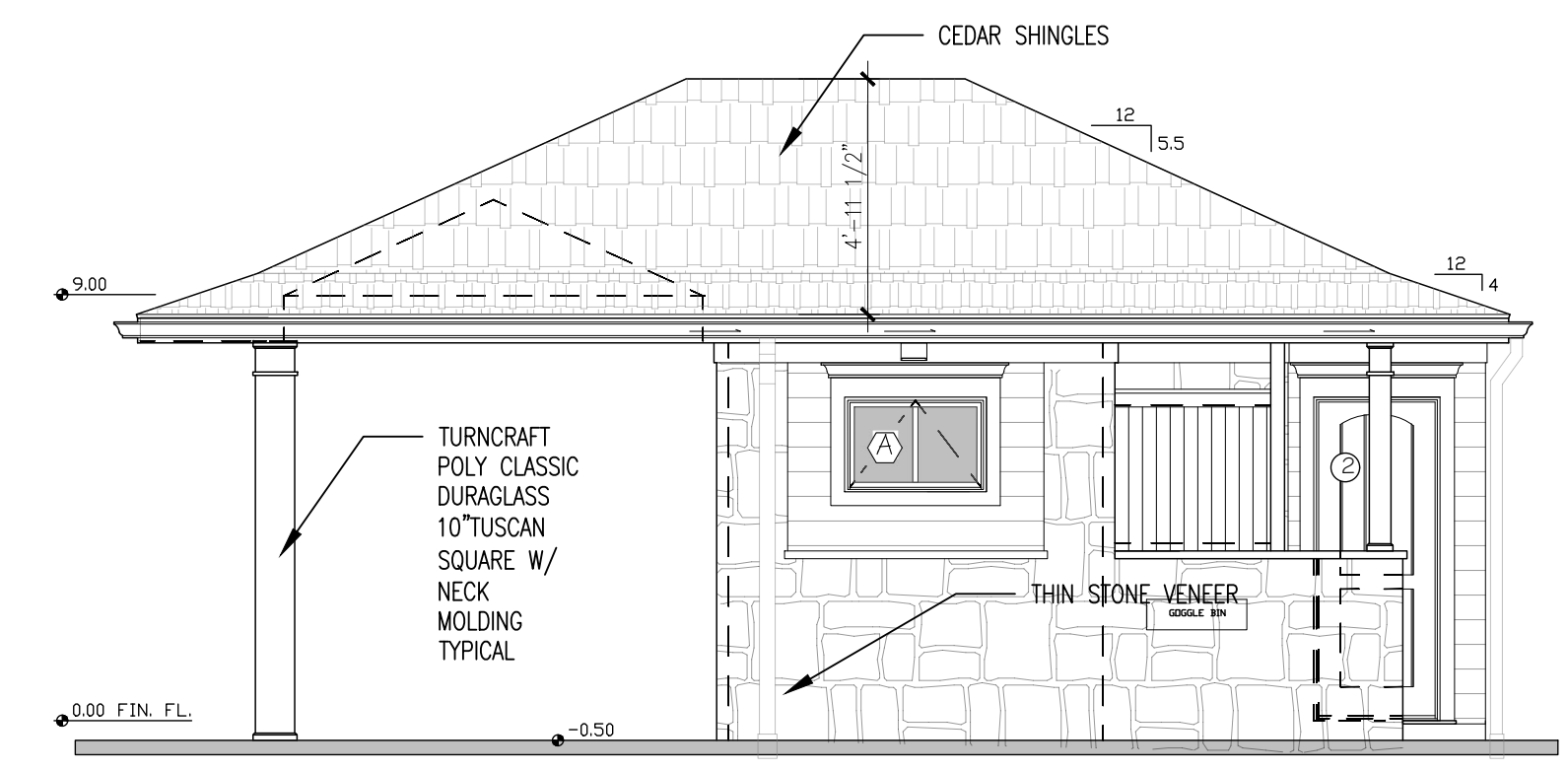
**EAST ELEVATION**  
 1/4"=1'-0"



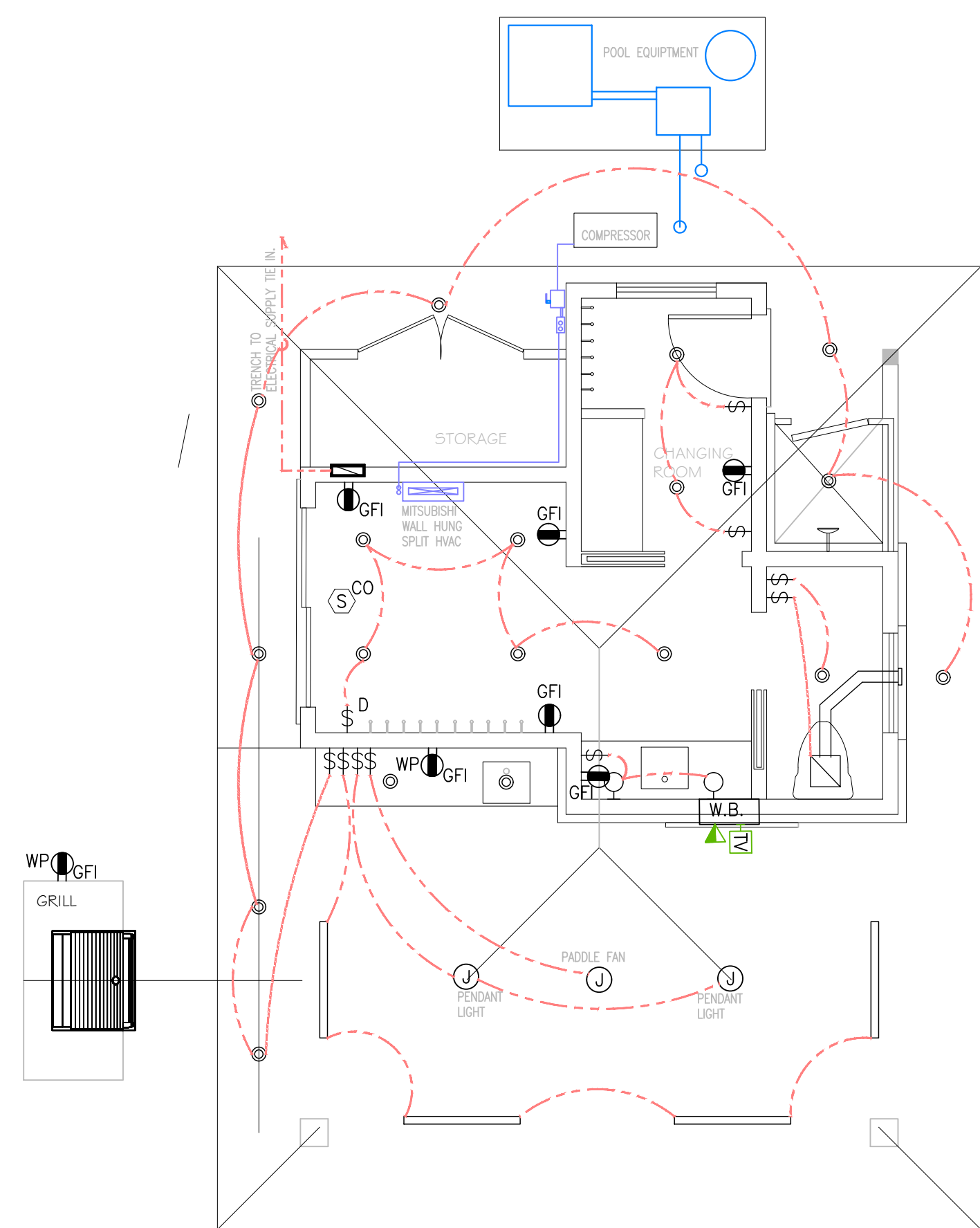
**SOUTH ELEVATION**  
 1/4"=1'-0"



**SOUTH ELEVATION**  
 1/4"=1'-0"



**NORTH ELEVATION**  
 1/4"=1'-0"

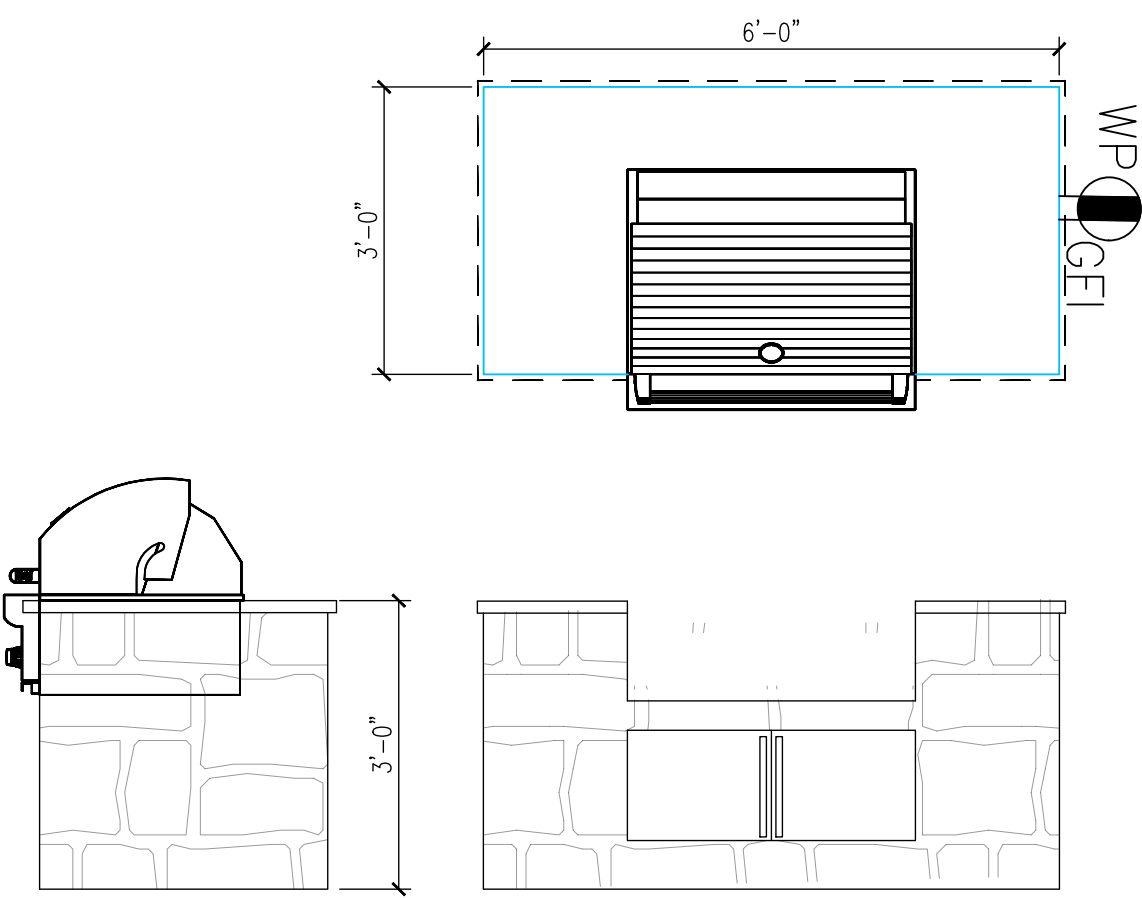


**ELECTRICAL SYMBOL LIST**  
 (NOT ALL SYMBOLS SHOWN ARE NECESSARILY USED ON THIS PROJECT)

SYMBOL	DESCRIPTION
[Symbol]	20A, 125V DECORA STYLE DUPLEX RECEPTACLE FLUSH WALL MOUNTED
[Symbol]	20A, 125V DECORA STYLE GFCI TYPE DUPLEX RECEPTACLE FLUSH WALL MOUNTED
[Symbol]	20A, 125V GFCI TYPE WEATHER RESISTANT DUPLEX RECEPTACLE IN WEATHER PROOF ENCLOSURE
[Symbol]	SPECIAL PURPOSE RECEPTACLE - FLUSH MOUNTED
[Symbol]	CEILING MOUNTED JUNCTION BOX WITH FINAL EQUIPMENT CONNECTION
[Symbol]	WALL MOUNTED TELEVISION OUTLET W/ 3/4" EMPTY CONDUIT AND DRAG LINE
[Symbol]	WALL MOUNTED CATS WIRE
[Symbol]	WATER PROOF PWB WALL BOX
[Symbol]	CEILING MOUNTED LINE VOLTAGE (RESIDENTIAL TYPE) COMBINATION SMOKE/ CARBON MONOXIDE DETECTOR
[Symbol]	EXHAUST FAN VENT TO EXTERIOR
[Symbol]	RECESSED DOWN LIGHT FIXTURE LED TYPICAL EXTERIOR LOCATIONS: WATER PROOF LENSE
[Symbol]	WALL MOUNTED LIGHT FIXTURE
[Symbol]	SINGLE POLE WALL MOUNTED LIGHT SWITCH D = DIMMER
[Symbol]	SERVICE (SUB) PANEL
[Symbol]	"INFRAHEAT" INFRARED RADIANT STRIPS #CD4024

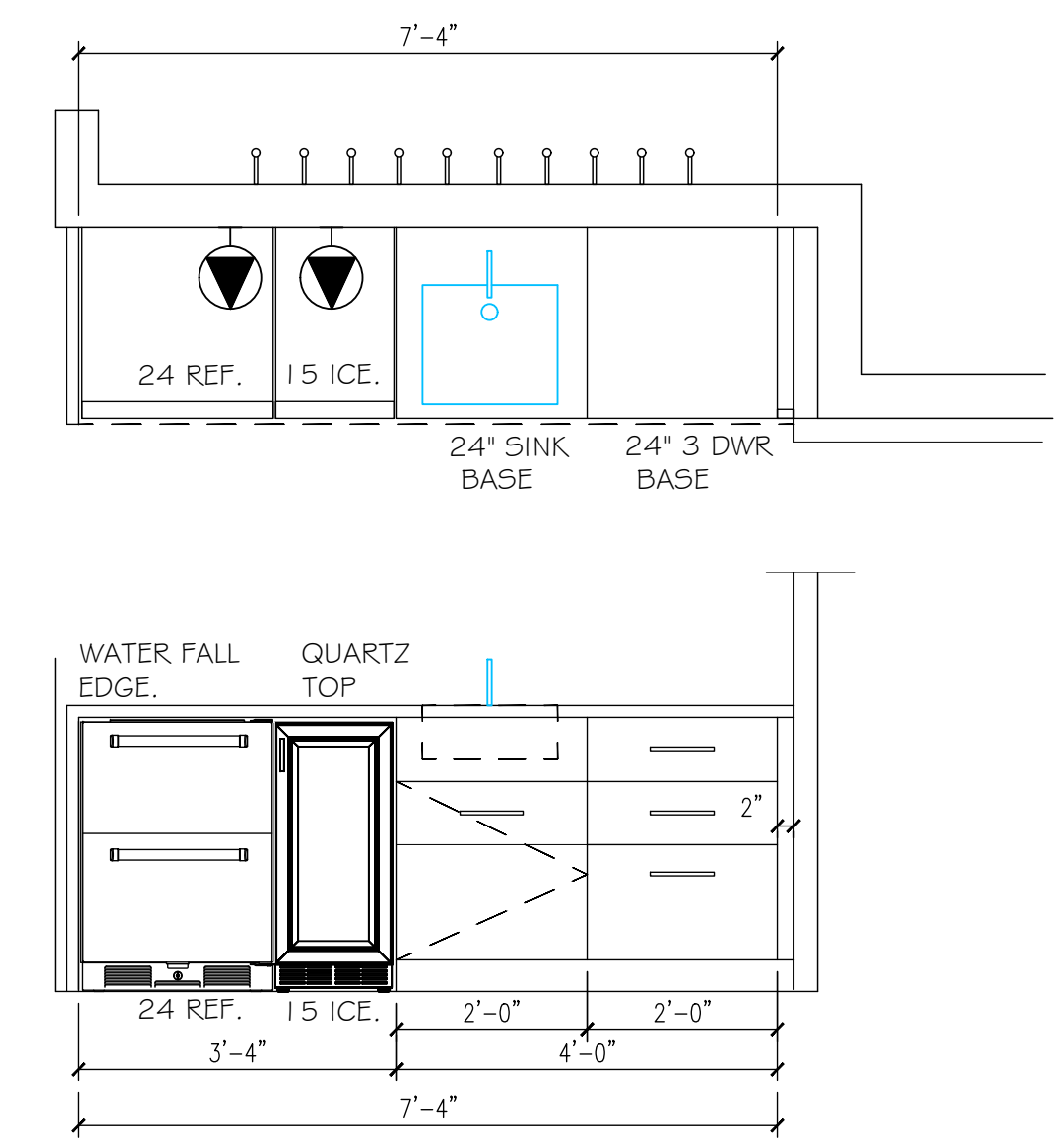
NOTES  
 PHILIPS LIGHTOLIER LYTECASTER LED DOWNLIGHTS TYPICAL 4" APERTURE, 1500 LUMENS  
 DIMMERS: 210V LUTRON

**ELECTRICAL PLAN**  
 1/4"=1'-0"



- BUILT-IN GAS GRILL:**
- COUNTER TOP TO BE QUARTZ.
  - THIN STONE VENEER TYPICAL
  - OWNER TO PROVIDE STAINLESS STEEL GRILL AND STORAGE DOOR.
  - PLUMBER TO PROVIDE GAS LINE.

**BUILT-IN GRILL**  
 1/2"=1'-0"



**OUTDOOR KITCHEN**  
 1/2"=1'-0"

- OUTDOOR KITCHEN:**
- ALL EXTERIOR CABINERY TO BE WEATHER PROOF. OWNER TO SELECT FINISH AND COLOR.
  - CABINET MAKER TO PROVIDE SHOP DRAWINGS
  - COUNTER TOP TO BE QUARTZ WITH WATERFALL CLOSURE END.
  - OWNER TO PROVIDE STAINLESS STEEL SINK AND FAUCET SET.
  - OWNER TO PROVIDE APPLIANCES FOR OUT DOOR USE.

# SPECIFICATIONS

## GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
- THE CONTRACTOR SHALL FIELD MEASURE AND VERIFY ALL EXISTING CONDITIONS. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH THE RULES OF THE GOVERNING AGENCY HAVING JURISDICTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING SAFE WORKING CONDITIONS AND OBSERVING ALL SAFETY PROTOCOLS OF THE GOVERNING AGENCY AND THE OWNER. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENTS SHALL APPLY. CARE SHALL BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR THE STRUCTURE.
- FURNISH ALL SCAFFOLDING, HOISTING EQUIPMENT AND ANY OTHER EQUIPMENT THAT MAY BE REQUIRED TO PERFORM THE WORK IN A SAFE AND ORDERLY MANNER.

## CONCRETE

- QUALITY CONTROL STANDARDS AND TOLERANCES
- FOLLOW THESE STANDARDS: PLACE CONCRETE ACCORDING TO ACI 301. REINFORCING TO COMPLY WITH ACI 301 AND RELATED ACI, CRSI, AND ASTM STANDARDS. FORMWORK TO COMPLY WITH ACI 301, 318, AND ACI 347. TOLERANCE STANDARDS FOR LEVEL, PLUMB, AND ALIGNED CONSTRUCTION SHALL BE AS PER ACI 117.

## FORMWORK MATERIALS

- REINFORCING BARS: DEFORMED STEEL BARS, GRADE 60, TYPE S, TO COMPLY WITH ASTM A 615. PLAIN FINISH BARS MAY BE USED IN SPIRAL FABRICATION TO COMPLY WITH CRSI REBAR DETAILING.
- WELDED WIRE REINFORCING: DEFORMED TO COMPLY WITH ASTM A 497. PLAIN TO COMPLY WITH ASTM A 185.

## CONCRETE MATERIALS

- CONCRETE INGREDIENTS: PORTLAND CEMENT ASTM C 150 NORMAL-TYPE I, AGGREGATE, FINE AND COURSE AS PER ASTM C 33, WATER AS PER ASTM C 94, CLEAN, FREE OF SALT OR ANY CHEMICALS THAT MIGHT INTERFERE WITH THE CONCRETE.
- ADMIXTURES AND MISCELLANEOUS MATERIALS: AIR ENTRAINING ADMIXTURE AS PER ASTM C 260 AND MANUFACTURER'S INSTRUCTIONS, WATER REDUCING, RETARDING, ACCELERATING ADMIXTURES AS PER ASTM C 494 AND MANUFACTURER'S INSTRUCTIONS, BONDING AGENT: POLYMER RESIN, NON-SHRINK GROUT: NON-METALLIC MINERAL AGGREGATE, CEMENT, WATER REDUCING MATERIALS AS PER ASTM C 494 AND AS PER MANUFACTURER'S INSTRUCTIONS.

## CONCRETE MIXTURE

- ALL MIXTURES TESTS TO ASSURE COMPLIANCE WITH STANDARDS AS PER ACI 301. PROVIDE CONCRETE READY-MIXED IN COMPLIANCE WITH ASTM C 94. CONCRETE STRENGTH WILL CONFORM TO ACI 301, 318, AND APPLICABLE BUILDING CODE REQUIREMENTS. COMPRESSIVE STRENGTH OF 3,000 PSI IN 7 DAY TEST. COMPRESSIVE STRENGTH OF 3,600 PSI IN 28 DAY TEST.

## CONCRETE PROTECTION FOR REINFORCING STEEL

- SLABS: 3/4"
- BEAMS: 1-1/2"
- COLUMNS: 2"
- CONCRETE PLACED ON GROUND: 3"

## STRUCTURAL STEEL FRAMING

- PROVIDE STRUCTURAL STEEL AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL WORK MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS, AISC SPECIFICATIONS FOR DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AND THE AISC CODE OF STANDARD PRACTICE.
- STEEL PLATES, BARS, AND OTHER SHAPES SHALL BE AS PER ASTM A36; ANCHOR BOLTS AS PER ASTM A307, NUTS, BOLTS, WASHERS AS PER ASTM A325, UNFINISHED THREADED FASTENERS AS PER ASTM A307, GRADE A, REGULAR. ARC WELDING ELECTRODES AS PER AWS CODE AND ASTM A233, AS REQUIRED FOR INTENDED USE.
- PRIMER: SSPC 15, TYPE I, RED OXIDE.

## ROOF ASSEMBLY

- INSTALL CEDAR SHINGLES OVER GRADE. TRI-FLEX XT- INSTALL WITH CAP NAILS OR CAP STAPLES.
- PROVIDE ICE AND WATER-SHIELD AT ALL EAVES AND VALLEYS. INSTALL FROM OVERHANG EDGE TO 2'-0" FROM INSIDE FACE OF EXTERIOR WALLS TYPICAL.
- ROOFING IS TO BE INSTALLED OVER 1/4" LATTICE, ON ROOF RAFTERS.
- ALL FLASHING TO BE 1/4" OZ BRIGHT COPPER AT VALLEYS AND ROOF EAVES.
- RIDGE/SOFFIT VENTS BY COR-A-VENT WHERE VENTED ASSEMBLY IS CALLED FOR.
- FASCIA AND EXTERIOR TRIM TO BE BORAL TRIM BOARDS. PRIME AND PAINTED TWO COATS EXTERIOR FLAT LATEX.
- SOFFITS AND MATERIAL ON EXTERIOR CEILING WILL BE BORAL OR EQUAL NOMINAL 4" V GROOVE TRIM. PRIME AND PAINTED TWO COATS EXTERIOR FLAT LATEX.

## WALL ASSEMBLY

- EXTERIOR WALL SIDING TO BE JOHN HARDIE ARTISAN COLLECTION, MITERED CORNERS, (NO CORNER BOARDS).
- ARTISAN CLAPBOARD SHALL RECEIVE TWO COATS EXTERIOR FLAT LATEX.
- 2x6 WALL STUDS @ 16" O.C. 1/2" PLY WOOD SHEATHING.
- INSULATION WILL BE "NU-WOOL" OR APPROVED EQUAL. R21 SPRAY-IN-PLACE CELLULOSE, INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

## FIRST FLOOR ASSEMBLY

- 5" POURED CONCRETE SLAB ON GRADE OVER 2" RIGID INSULATION R10.

## CEILING ASSEMBLY

- 2x8 @ 16" O.C. AS NOTED ON THE PLANS.
- INSULATION TO BE "NU-WOOL" OR APPROVED EQUAL. SPRAY-IN-PLACE CELLULOSE (R=6 INCH), INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AT ELEVATED AREA.

## EXTERIOR TRIM AND FLASHING

- ALL EXTERIOR WINDOW AND DOOR TRIM WILL BE NOMINAL 2x4 STOCK MATERIAL BORAL TRIM BOARD.
- PROVIDE WATER TIGHT 1/4" OZ COPPER PAN FLASHING AT ALL WINDOW SILLS, WINDOW & DOOR HEADS, COLUMN CAPS AND OVER STONE BANDING.

## DOORS AND WINDOWS

### SEE DOOR AND WINDOW SCHEDULES SHEET

### EXTERIOR SHOWER ENCLOSURE ASSEMBLY

- PRIVACY PANEL AND SHOWER DOOR: USE 1/4" MATEVERDE PREMIUM IPE FROM GENERAL WOODRAFT (NEW LONDON). SEE DRAWINGS FOR DETAILS.

## INTERIOR DOORS

- INTERIOR DOORS WILL BE PRE-HUNG, TWO PANEL, SOLID CORE, MDF DOORS UNLESS NOTED OTHERWISE ON DOOR SCHEDULE SHEET.

## HARDWARE PACKAGES

- PROVIDE HARDWARE AS FOLLOWS:
  - LATCH, KEYS LOCK @ EXTERIOR DOORS
  - LATCHED PRIVACY LOCK @ BATH & CHANGING ROOM
  - KEYED LOCK SET AT STORAGE CLOSET.
- ALL INTERIOR HARDWARE WILL BE OIL RUBBED BRONZE, STYLE AS SELECTED BY THE OWNER.

## INTERIOR TRIM

- ALL TRIM WILL BE NON-FINGERJOINTED, FREE FROM KNOTS, EXCESSIVE FLAT GRAIN OR OTHER VISIBLE DEFECTS. INTERIOR WALLS OF CABANA SHALL BE SHIP-LAP.
- ALL INTERIOR TRIM, PRIME AND PAINTED WITH TWO COATS SEMI GLOSS PAINT.
- WINDOWS WILL HAVE PROJECTING SILLS AND APRONS.

## DRYWALL/PAIN/FINISHING NOTES

- PROVIDE MOISTURE RESISTANT 1/2" GWB THROUGHOUT BATHROOMS, AND CEMENT BACKING BEHIND ALL PROPOSED TILE SURFACES.
- ALL NEW DRYWALL TO BE 1/2" GWB AND WILL BE PRIME AND PAINTED (2) COATS INTERIOR FLAT LATEX. OWNER TO SELECT COLOR. PAINT WILL BE BENJAMIN MOORE.
- TRIMWORK WILL BE SANDED SMOOTH TO RECEIVE A PRIMER AND (2) COATS INTERIOR TRIM PAINT BY BENJAMIN MOORE, OWNER TO SELECT COLOR.

## FLOORING

- SCHLUTER DITRA 4 DITRA-XL UNCOUPLING AND WATERPROOFING MEMBRANE SHALL BE USED AT ALL TILE, STONE FLOORING SURFACES.

## FRAMING NOTES

- FRAMING LUMBER SHALL BE EQUAL TO ANY OF THE FOLLOWING:
  - HEM-FIR, NO. 2 GRADE, Fb=850 PSI, Fv=750 PSI, E=1,300,000 PSI
  - HEM-FIR, NORTH NO. 1 NO. 2 GRADE, Fb=1,000 PSI, Fv=750 PSI, E=1,600,000 PSI
  - S-P-F, NO. 1 NO. 2 GRADE, Fb=875 PSI, Fv=700 PSI, E=1,400,000 PSI
  - DOUG FIR, LARCH, No. 1/ No. 2 GRADE, Fb=825, Fv=95, E=1,600,000

## STUD FRAMING SHALL BE EQUAL TO ANY OF THE FOLLOWING:

- HEM-FIR, STUD GRADE, Fc=800 PSI, E=1,200,000 PSI
- S-P-F, STUD GRADE, Fc=675, E=1,200,000 PSI

## FLOOR SHEATHING SHALL BE 3/4" T&G PLY WOOD.

## EXTERIOR WALL SHEATHING SHALL BE 1/2" PLY WOOD SHEATHING.

- ALL FRAMING INDICATED LVL SHALL BE LAMINATED VENEER LUMBER AS MANUFACTURED BY TRUS-JOIST OR EQUAL, 1-800-628-3997. MINIMUM ALLOWABLE STRESS SHALL BE Fb=2600 PSI, E=1,900,000 PSI.
- JOISTS AND GIRDERS SHALL HAVE FULL 4" MIN. BEARING AT FOUNDATION WALLS.
- ALL BRIDGING SHALL BE 5/4x3 X-BRIDGING AT 8'-0" CENTERS FOR CONVENTIONAL FRAMING.
- USE SIMPSON STRONG TIE METAL FRAMING ACCESSORIES AS SPECIFIED. USE NAILING AS RECOMMENDED BY THE MANUFACTURER.
- TOE NAILING OF JOISTS TO FLASH HEADERS IS NOT PERMITTED; USE 16GA STANDARD JOIST HANGERS WHERE JOISTS FRAMED TO SIDE OF HEADER.
- PROVIDE AC POST CAP & BASE AND FC FRAMING CLIPS AT POST BASE FOR ALL INTERIOR AND EXTERIOR GIRDER/HEADER SPANS GREATER THAN 5'-0" CLEAR SPAN.
- ALL SHEATHING SHALL BE NAILED WITH 5D NAILS, 6" CENTERS AT EDGE AND 10" CENTERS IN FIELD.
- BUILT-UP GIRDERS AND HEADERS SHALL BE FASTENED TOGETHER AS FOLLOWS:
  - FOR UP TO 3 PILES, USE 2 ROWS OF NAILS STAGGERED AT 12" CENTERS USE 16D NAILS.
  - FOR MORE THAN 3 PILES, USE 2 ROWS OF 1/2" DIA. THROUGH BOLTS @ 12" CENTERS.
- PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO FRAMING.
- WHERE CEILING JOISTS ARE PERPENDICULAR TO RAFTERS AND WALLS PROVIDE METAL STRAP TIES FROM RAFTERS AND WALLS AT 4'-0" AND EXTEND TO ENGAGE NOT LESS THAN FOR CEILING JOISTS.

## INSULATION

- AT AREAS OF THE WORK WHERE EXISTING EXTERIOR WALLS, CEILING/ATTIC, AND FLOOR ABOVE BASEMENT ARE EXPOSED, PROVIDE INSULATIONS AS FOLLOWS:
  - ROOF/ATTIC LEVEL: R-48
  - WALLS: R-21
  - FIRST FLOOR OVER BASEMENT: R-30

## ELECTRICAL POWER DISTRIBUTION

- PROVIDE AND INSTALL COMPLETE ELECTRICAL SERVICE, POWER AND LIGHTING AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL WORK SHALL COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND GOVERNING BUILDING AND SAFETY CODES.
- STORE MATERIALS INDOORS, PROTECTED FROM DIRT, MOISTURE, CONTAMINANTS, AND WEATHER.
- EXAMINE AND VERIFY THAT JOB CONDITIONS ARE SATISFACTORY FOR SAFE AND ACCEPTABLE WORK. MAINTAIN AND USE UP-TO-DATE CONSTRUCTION DOCUMENTS ON SITE. MAINTAIN AND USE UP-TO-DATE TRADE STANDARDS AND MANUFACTURER'S INSTRUCTIONS.
- CONFIRM THERE IS NO CONFLICT BETWEEN THIS WORK AND GOVERNING BUILDING AND SAFETY CODES. CONFIRM THERE ARE NO CONFLICTS BETWEEN THIS WORK AND WORK OF OTHER TRADES. CONFIRM THAT WORK OF OTHER TRADES THAT MUST PRECEDE THIS WORK HAS BEEN COMPLETED. MEET ALL REQUIREMENTS TO SECURE WARRANTY.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE TEMPORARY POWER, POWER POLE, CONNECTION TO UTILITY, AND TEMPORARY METER AS REQUIRED FOR CONSTRUCTION.
- SERVICE ENTRANCE CABLE, COPPER CONDUCTOR, 600 VOLT INSULATION, TYPE SE, MAIN DISTRIBUTION PANELS: NEMA FB 1, CIRCUIT BREAKER TYPE. PROVIDE SURFACE CABINET WITH SCREW COVER AND HINGED DOOR, COPPER BUS AND GROUND BUS, 10/220 VOLTS.
- UNDERGROUND FEEDER AND BRANCH CIRCUIT CABLE, COPPER CONDUCTOR, 600V INSULATION, TYPE UF.
- WIRING, NONMETALLIC SHEATHED CABLE, SIZE 14 THROUGH 1 AWG, COPPER CONDUCTOR, 600 VOLT INSULATION, TYPE NM.
- CONDUIT, JUNCTION BOXES, AND ELECTRICAL WIRE CONNECTORS SHALL BE AS REQUIRED BY THE LOCAL BUILDING CODE.
- PROVIDE COMPLETE SWITCHES, RECEPTACLES, WALL PLATES AND RELATED MATERIALS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- PROVIDE AC POST CAP & BASE AND FC FRAMING CLIPS AT POST BASE FOR ALL INTERIOR AND EXTERIOR GIRDER/HEADER SPANS GREATER THAN 5'-0" CLEAR SPAN.
- ALL SWITCHES, QUIET OPERATING SWITCH RATED 20 AMPERES AND 110-220 VOLTS AC. COLOR AND SWITCH TYPE AS SELECTED BY THE ARCHITECT. WALL DIMMERS, LINEAR SLIDE TYPE, COLOR SELECTED BY ARCHITECT. RATED FOR 600 WATTS MINIMUM, SIZE AS PER CIRCUIT.
- RECEPTACLES, TYPE 5-20 R, PLASTIC FACE, COLOR AS SELECTED BY THE ARCHITECT. SPECIFIC PURPOSE RECEPTACLES AS SHOWN ON THE DRAWINGS.
- EXTERIOR WEATHERPROOF COVER PLATES SHALL BE GASKETED CAST METAL WITH HINGED GASKETED COVERS.
- UPON COMPLETION, SECURE ALL REQUIRED INSPECTIONS, AND APPROVALS OF THE COMPLETED SYSTEM. MAKE ALL REQUIRED ADJUSTMENTS AND CORRECTIONS AT NO ADDED COST TO THE OWNER.

## INTERIOR DOOR NOTES:

### TOILET ROOM & CHANGING ROOM

- INTERIOR DOORS LISTED HEREIN ARE GENERIC IN BRAND. CONTRACTOR TO REVIEW DOOR QUALITY AND DESIGN OPTIONS WITH CLIENT PRIOR TO ORDERING ANY DOORS.
- ALL GLASS IN DOORS (IF ANY) TO BE TEMPERED.
- GAP AT UNDERSIDE OF DOOR LIMITED TO 1/8" OFF FINISHED FLOOR.
- POCKET DOORS TO RECEIVE HAFLE HAWA POCKET DOOR TRACK.
- ALL HINGES AND DOOR HARDWARE TO BE REVIEWED WITH CLIENT PRIOR TO ORDERING. (OIL RUBBED BRONZE FINISH)

## UPON COMPLETION, SECURE ALL REQUIRED INSPECTIONS, AND APPROVALS OF THE COMPLETED SYSTEM. MAKE ALL REQUIRED ADJUSTMENTS AND CORRECTIONS AT NO ADDED COST TO THE OWNER.

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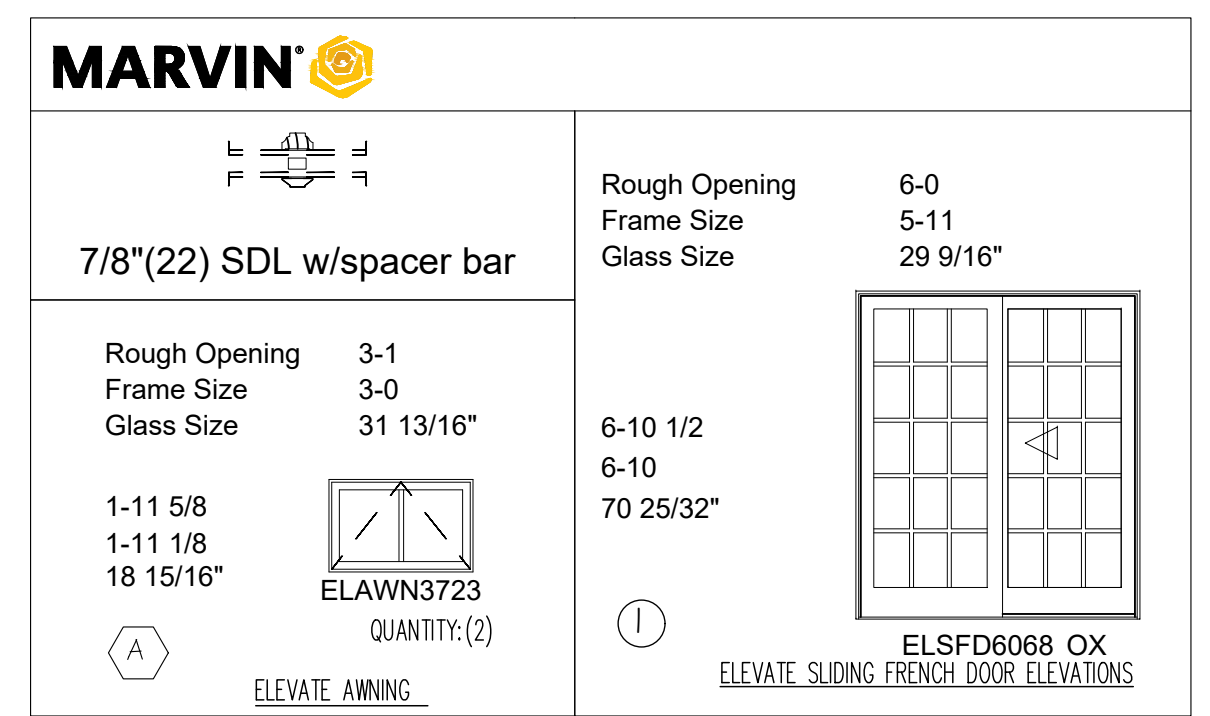
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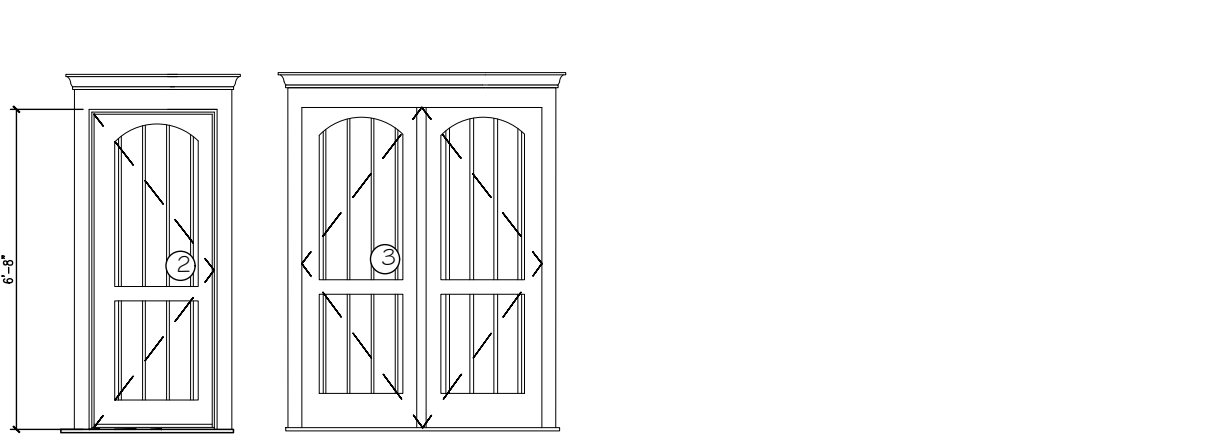
## WINDOW NOTES:

- WINDOWS SHALL BE STOCK SIZE MARVIN, WITH SCREENS, COLOR TO BE BLACK.
- DIMENSION SHOWN ARE UNIT DIMENSION (OUTSIDE OF FRAME TO FRAME) DIMENSION.
- WINDOWS ARE U 26 OR BETTER.
- WINDOWS WILL BE DOUBLE GLAZED LOW E II, ARGON FILLED, WITH SIMULATED DIVIDED LIGHTS.
- EXTERIOR FRAMES AND HARDWARE TO MATCH TRIM. COLOR WHITE.
- PROVIDE 1/4" OZ COPPER HEAD AND PAN FLASHING AT ALL WINDOWS.

## INTERIOR DOOR NOTES:

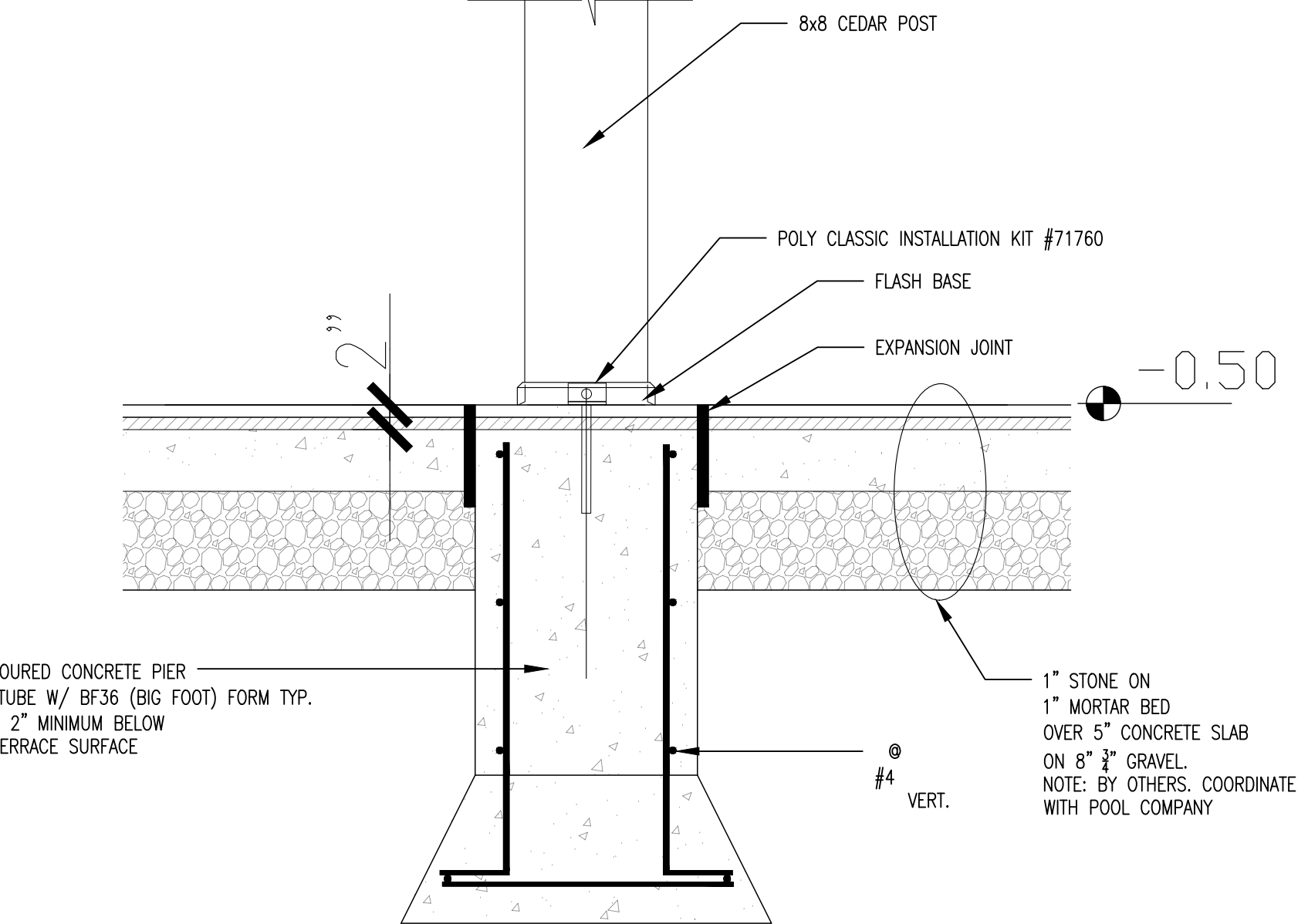
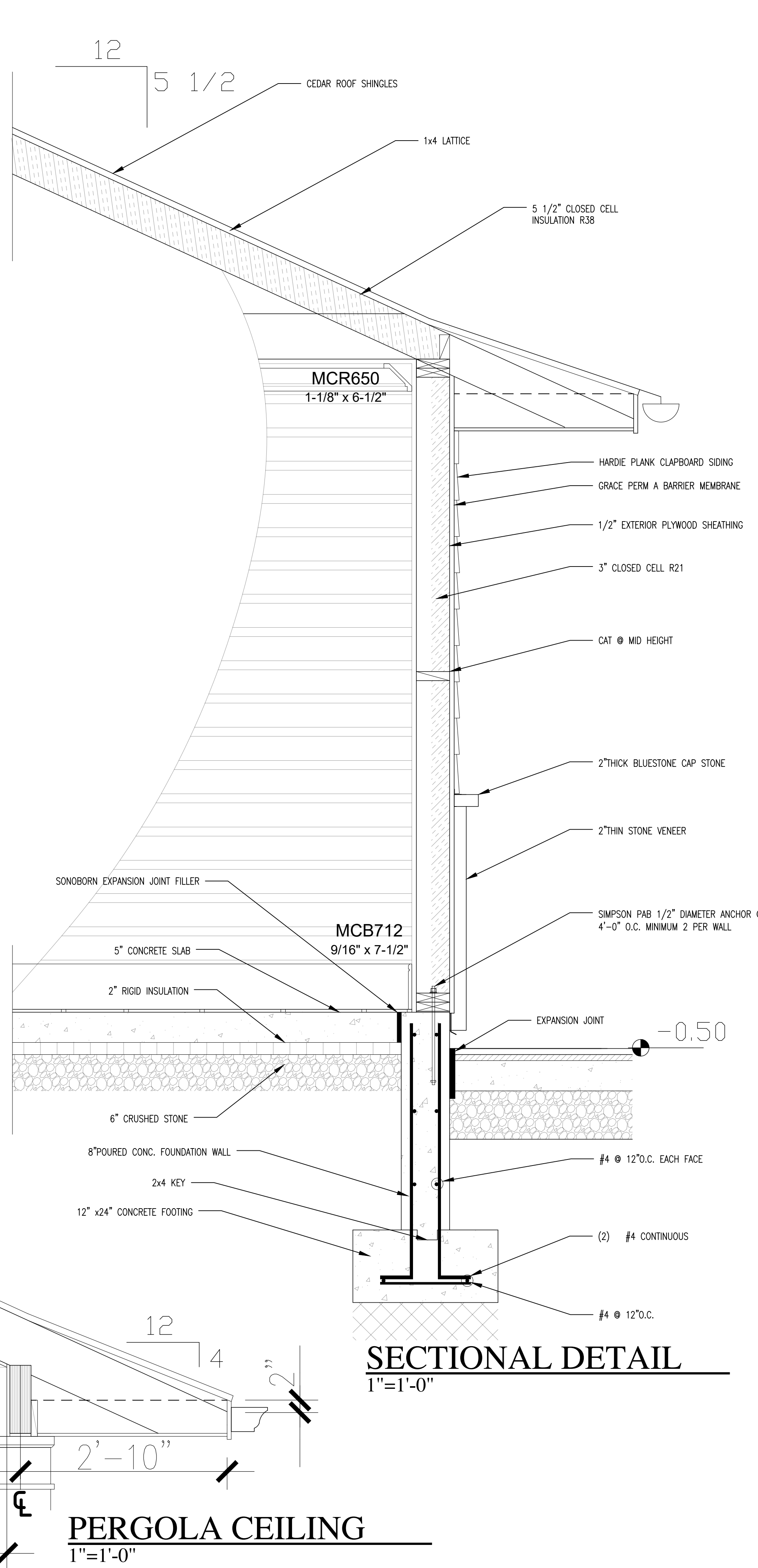
### TOILET ROOM & CHANGING ROOM

- INTERIOR DOORS LISTED HEREIN ARE GENERIC IN BRAND. CONTRACTOR TO REVIEW DOOR QUALITY AND DESIGN OPTIONS WITH CLIENT PRIOR TO ORDERING ANY DOORS.
- ALL GLASS IN DOORS (IF ANY) TO BE TEMPERED.
- GAP AT UNDERSIDE OF DOOR LIMITED TO 1/8" OFF FINISHED FLOOR.
- POCKET DOORS TO RECEIVE HAFLE HAWA POCKET DOOR TRACK.
- ALL HINGES AND DOOR HARDWARE TO BE REVIEWED WITH CLIENT PRIOR TO ORDERING. (OIL RUBBED BRONZE FINISH)



## EXTERIOR DOOR NOTES:

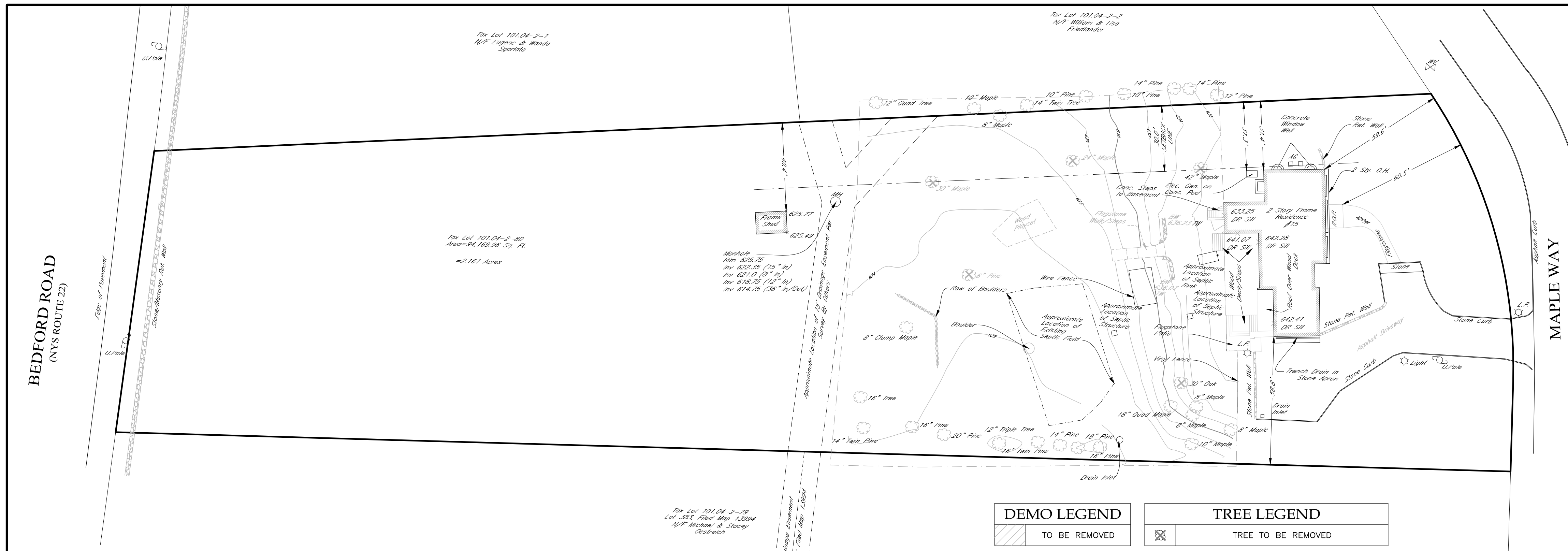
- PROVIDE 1/4" OZ COPPER HEAD AND PAN FLASHING AT ALL DOORS.
- DOOR SUPPLIER IS TO REPORT ANY DISCREPANCIES IN TYPES OR SIZES SHOWN HERE IN AND/OR ANY UNSPECIFIED VERTICAL/ HORIZONTAL DIMENSIONS TO THE ARCHITECT.
- DOOR # 2 TO HAVE LOCKSET OIL RUBBED BRONZE.
- DOOR #3 TO HAVE ASTRAGAL STRIP. PROVIDE DEAD BOLT/ LOCKSET.
- DOOR HARDWARE TO BE OIL RUBBED BRONZE.
- DOOR #2 & #3 TO BE PLASTRO "SMOOTH" DRSSG FINISH TO BE WHITE.



## COLUMN PIER DETAIL

1"=1'-0"





BEDFORD ROAD  
(NYS ROUTE 22)

MAPLE WAY

**EROSION CONTROL NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2"-3" DIAMETER CRUSHED STONE 6" DEEP.
- TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
- ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 5:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
- THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED.
- SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
- ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).

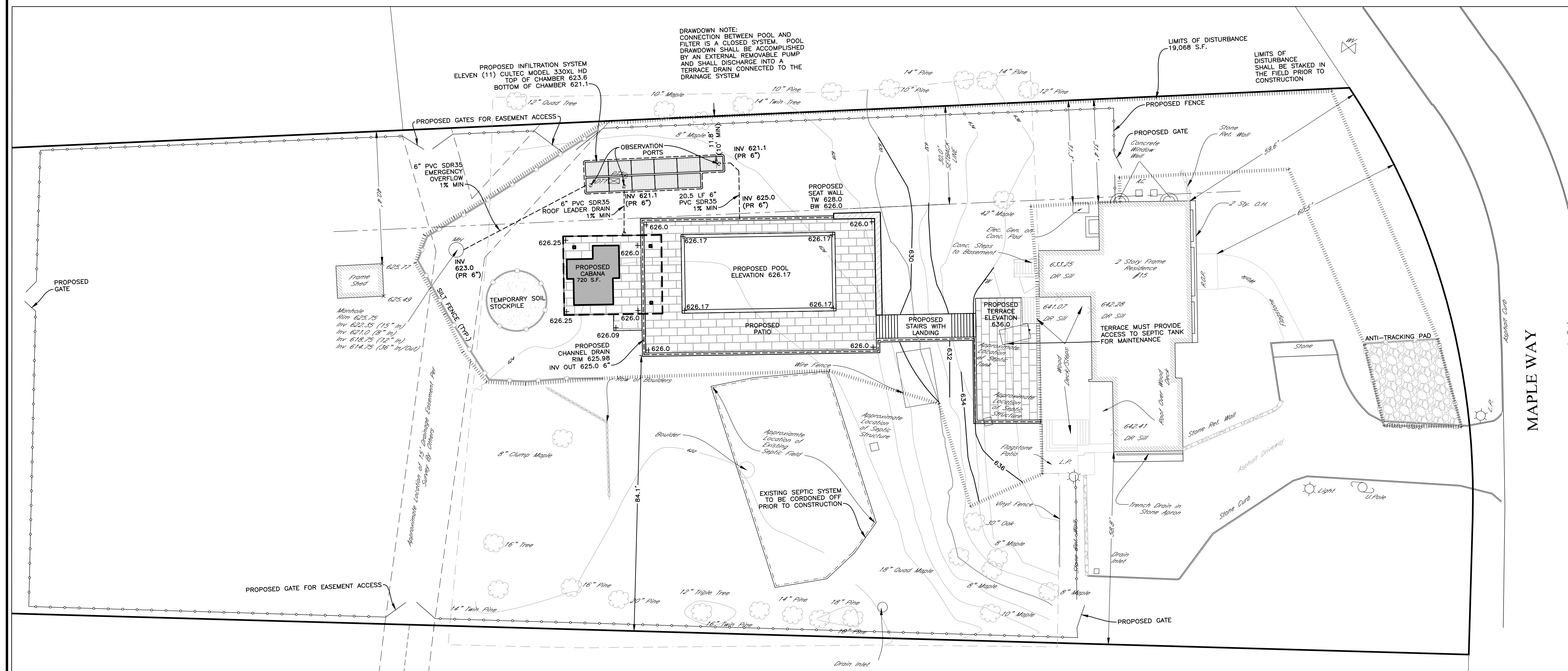


**CONSTRUCTION NOTES:**

- THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 833) PRIOR TO THE START OF CONSTRUCTION.
- THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
- EROSION AND SEDIMENT CONTROL MEASURES, SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
- AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
- ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
- THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
- UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
- ALL PROPOSED OR DISTURBED SLOPES, 1H:2V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
- IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
- NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED, IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.
- OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.

**DETENTION SYSTEM CALCULATIONS**

STORMWATER MITIGATION CALCULATION	
DRAINAGE STUDY AREA 1: PATIO AND POOL	
PROPOSED IMPERVIOUS AREA	S.F. 3326
NET INCREASE IMPERVIOUS AREA	S.F. 3326
DESIGN STORM (25 YR.):	IN. 6.46
HYDROLOGIC SOIL TYPE:	B/D
EXISTING CN:	61
PROPOSED CN:	98
REQUIRED STORAGE VOLUME CALCULATION	
EX. RUNOFF DEPTH:	IN. 2.32
PR. RUNOFF DEPTH:	IN. 6.22
DELTA RUNOFF DEPTH:	IN. 3.90
INCREASE IN RUNOFF VOLUME:	C.F. 1081.5
POOL WIDTH:	FT. 45
POOL LENGTH:	FT. 22
POOL DRAWDOWN DEPTH:	IN. 6
DRAWDOWN VOLUME:	C.F. 495.0
REQUIRED 25 YR STORAGE VOLUME:	C.F. 1081.5
DRYWELL INFORMATION	
LENGTH OF 1 CHAMBER:	FT. 8.5
WIDTH OF 1 CHAMBER:	FT. 4.33
HEIGHT OF CHAMBER:	FT. 2.54
WIDTH OF STONE SURROUNDING CHAMBER:	FT. 1
DEPTH OF STONE UNDER CHAMBER:	FT. 0.5
STONE VOID RATIO:	0.33
VOLUME PER DRYWELL (AS PER MANUFACTURER):	C.F./L.F. 7.46
TRENCH SIZE	
TRENCH WIDTH:	FT. 6.33
TRENCH LENGTH (UNIT LENGTH):	FT. 1
TRENCH HEIGHT:	FT. 3.04
TRENCH VOLUME:	C.F./L.F. 19.26
STONE VOID VOLUME:	C.F. 3.90
PERCOLATION AREA:	S.F./L.F. 6.33
PERCOLATION RATE:	MIN./IN. 60
PERCOLATION HOLE DIAMETER:	IN. 10
WATER LEVEL DROP	IN. 1
AVERAGE DEPTH OF WATER	IN. 8.5
PERCOLATION HOLE BOTTOM AREA:	S.F. 0.55
PERCOLATION HOLE SIDE AREA:	S.F. 1.85
PERCOLATION HOLE TOTAL AREA:	S.F. 2.40
PERCOLATION VOLUME CHANGE	C.F. 0.045
ADJUSTED PERCOLATION RATE:	C.F./S.F./DAY 0.45
PERCOLATION VOL PER DAY:	C.F./DAY/L.F. 2.9
SOIL CLOGGING FACTOR:	25%
PERCOLATION WITH CLOGGING:	C.F./DAY/L.F. 2.2
TOTAL VOLUME OF CHAMBERS:	C.F./DAY/L.F. 13.5
REQUIRED LENGTH CHAMBERS:	L.F. 80.03
Required Number of Chambers @ 7.5 L.F./Chamber:	10.67
Proposed Number of Chambers	11



FOR CABANA DETAILS PLEASE REFER TO MARK FRITZ ARCHITECTS PLAN ENTITLED "MARCUS RESIDENCE, 15 MAPLE WAY, ARMONK, NEW YORK 10504"

FOR FENCING, GATE, AND LANDSCAPING DETAILS PLEASE REFER TO FRANK GIULIANO - LANDSCAPE ARCHITECTS PLAN ENTITLED "MASTER POOL PLAN, MARCUS RESIDENCE, 15 MAPLE WAY, ARMONK, NY 10504"

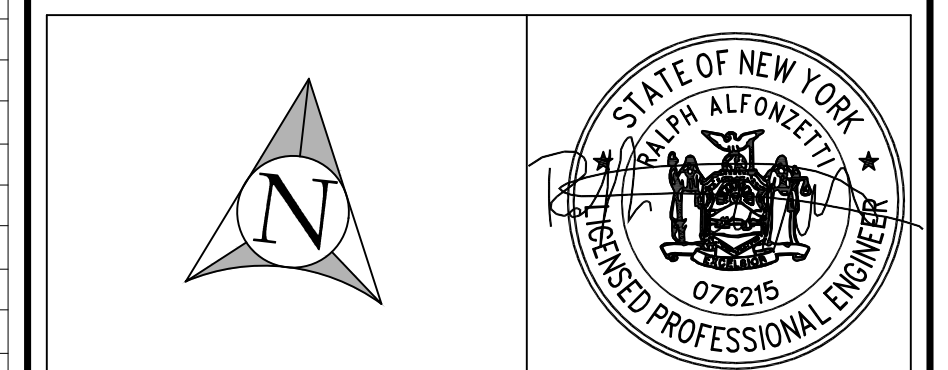
**PERCOLATION TEST DATA**

PT1 60 MIN./IN.

**DEEP TEST HOLE DESCRIPTIONS**

DT1 0"-8" TOPSOIL  
8"-84" SILTY SANDS

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



**ALFONZETTI ENGINEERING, P.C.**  
 1100 ROUTE 52, CARMEL, N.Y. 10512  
 845 - 228 - 9800

**SITE DATA**

OWNER/APPLICANT: BRIAN AND JESSICA MARCUS  
 SITE ADDRESS: 15 MAPLE WAY, ARMONK, NY 10504  
 TAX MAP #: 101.04-2-80  
 LOT AREA: 2.161 ACRES  
 ZONING: R-2A

REVISIONS: JANUARY 25, 2021

**S.M.E.C. PLAN**  
 SEPTEMBER 28, 2020

PROJECT: **MARCUS RESIDENCE**  
 NORTH CASTLE, WESTCHESTER, NEW YORK

REVISIONS: 01, 02



