



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 9 Wrights Mill Rd, Armonk NY 10504

### Section III- DESCRIPTION OF WORK:

Expansion of one garage bay  
Alterations of spaces over existing garage

### Section III- CONTACT INFORMATION:

APPLICANT: Teodoro Siguena/Teo Siguena architect PLLC

ADDRESS: 460 Old POst Road, Bedfdord NY 10506

PHONE: 914-234-6289 MOBILE: 914-519-7722 EMAIL: ts@teosiguena.com

PROPERTY OWNER: Jonathan Stern

ADDRESS: 9 Wrights Mill Rd, Armonk NY 10504

PHONE: \_\_\_\_\_ MOBILE: 914-500-5563 EMAIL: jsstern.nissan@gmail.com

PROFESSIONAL: Teodoro Siguena/Teo Siguena architect PLLC

ADDRESS: 460 Old POst Road, Bedfdord NY 10506

PHONE: 914-234-6289 MOBILE: 914-519-7722

EMAIL: ts@teosiguena.com

### Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 100.02-1-33



**Town of North Castle  
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan: Stern Residence

Initial Submittal  Revised Preliminary

Street Location: 9 Wrights Mill Rd, Armonk NY 10504

Zoning District: R-2A Property Acreage: 3.497 Tax Map Parcel ID: 100.02-1-33

Date: 1-28.2021

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

<input checked="" type="checkbox"/>	9. Description of method of water supply and sewage disposal and location of such facilities
<input checked="" type="checkbox"/>	10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<input checked="" type="checkbox"/>	1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<input type="checkbox"/> NA	2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<input type="checkbox"/> NA	3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.
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TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
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## GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Stern Residence Date: 1-28-21

Tax Map Designation or Proposed Lot No.: 100.02-1-33

### Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 3.497 / 152,329.00
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 18,160.68
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):  
Distance principal home is beyond minimum front yard setback  
87 x 10 = 870 870.00
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 19,030.68
5. Amount of lot area covered by **principal building**:  
4,535 existing + 280 proposed = 4,815.00
6. Amount of lot area covered by **accessory buildings**:  
0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**:  
0 existing + 0 proposed = 0
8. Amount of lot area covered by **porches**:  
253 existing + 0 proposed = 253
9. Amount of lot area covered by **driveway, parking areas and walkways**:  
7,997 existing + 310 proposed = 8,307
10. Amount of lot area covered by **terraces**:  
3,367 existing + 0 proposed = 3,367
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:  
1,158 existing + 0 proposed = 1,158
12. Amount of lot area covered by **all other structures**:  
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 17,900.00 SF

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



1-28-21  
Date



TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

January 29, 2019  
Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

## FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Stern Residence Date: 1-28-21

Tax Map Designation or Proposed Lot No.: 100.02-1-33

### Floor Area

- |     |   |                    |
|-----|---|--------------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>152,329.00</u>  |
| 2.  | <b>Maximum</b> permitted floor area (per Section 355-26.B(4)):  | <u>12,730.36</u>   |
| 3.  | Amount of floor area contained within first floor:<br>— <u>3,405</u> existing + <u>0</u> proposed =                           | <u>3,405.00</u>    |
| 4.  | Amount of floor area contained within second floor:<br>— <u>3,649</u> existing + <u>0</u> proposed =                          | <u>3,649.00</u>    |
| 5.  | Amount of floor area contained within garage:<br>— <u>877</u> existing + <u>280</u> proposed =                                | <u>1,157.00</u>    |
| 6.  | Amount of floor area contained within porches capable of being enclosed:<br>— <u>253</u> existing + <u>0</u> proposed =       | <u>253.00</u>      |
| 7.  | Amount of floor area contained within basement (if applicable – see definition):<br>— <u>0</u> existing + <u>0</u> proposed = | <u>0</u>           |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):<br>— <u>0</u> existing + <u>0</u> proposed =    | <u>0</u>           |
| 9.  | Amount of floor area contained within all accessory buildings:<br>— <u>0</u> existing + <u>0</u> proposed =                   | <u>0</u>           |
| 10. | Proposed <b>floor area</b> : Total of Lines 3 – 9 =   | <u>8,464.00</u> SF |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



1-28-21  
Date

TRUE WATERMARK PAPER HOLD TO LIGHT TO VIEW HEAT SENSITIVE RFD IMAGE DISAPPEARS WITH HEAT

TEO SIGUENZA ARCHITECT PLLC

460 OLD POST ROAD  
BEDFORD, NY 10506

2743



Date JAN. 27. 2021

1-2/210

Pay to the order of TOWN OF NORTH CASTLE.

\$ 750<sup>00</sup>

Seven Hundred and Fifty. <sup>00</sup>/<sub>100</sub>

Dollars



JPMORGAN CHASE BANK, N.A.  
WWW.CHASE.COM



For 9 Wrights Mill Rd / RPRC Application Fee

Pamela Udi Siguenza  
Ch

⑈002743⑈ ⑆021000021⑆

779518265⑈





9 Wrights Mill Rd,  
Armonk, NY 10504

Hollow Ridge Rd Hollow Ridge Rd

Hollow Ridge Rd

Hollow Ridge Rd

Wrights Mill Rd

Wrights Mill Rd

Mallock Pl

# STERN RESIDENCE

## PROPOSED GARAGE BAY ADDITION

9 WRIGHT MILL ROAD, ARMONK, NY

**TEO SIGÜENZA**  
ARCHITECT  
460 OLD POST ROAD 2A BEDFORD, N. Y. 10506  
TEL: 914.234.6289 FAX: 914.234.0619  
www.teosiguenza.com

**GENERAL NOTES:**  
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**DRAWING LIST:**

- T101.00 TITLE SHEET & LIST OF DRAWINGS**
- SP-1.00 SITE PLAN**
- A100.00 PROPOSED BASEMENT / FOUNDATION PLAN**
- A101.00 PROPOSED FIRST FLOOR, 2F FRAMING & ELECTRICAL PLAN**
- A102.00 PROPOSED SECOND FLOOR, 2F CEILING FRAMING & ELECTRICAL PLAN**
- A103.00 PROPOSED ROOF & FRAMING PLAN**
- A200.00 PROPOSED EXTERIOR ELEVATIONS**
- A201.00 PROPOSED EXTERIOR ELEVATIONS & SECTION**

**NOTE:**

- The building is designed with the 2020 NYS Residential code & 2020 NYS energy code.
- Fire stop will be installed in all horizontal areas where there are chases or furred out walls & include all framed bays every 10' per code.
- Entire home will have hard wired and interconnected smoke and carbon monoxide alarms installed per code for new areas and other areas that have no work being done can follow the property maintenance and fire code regulations.
- For areas where new spray foam insulation is to be used and is uncovered such as in attic areas, the required fire rating such as intumescent paint cover will be applied per code.
- All required bathroom exhaust fans and clothes dryer exhausts will be installed directly to exterior.
- Shower or tub glass enclosures will have tempered safety glass per code. Any interior or exterior doors with glazing and any windows 18" or less to the ground shall have Tempered safety glass per code.
- The designated placard (Type V for floor and roof) will need to be installed on exterior wall in area approved by inspector & placed prior to CO application.

THE ENERGY CONSERVATION IN ACCORDANCE WITH THE 2020 INTERNATIONAL ENERGY CONSERVATION CODE (TABLE R402.1.2)										
Minimum										
Climate Zone	Glazing U-Factor	Skylight U-Factor	Glazing SHGC-Factor	Ceiling R-Value	Wood frame wall R-Value	Mass wall R-Value	Floor R-Value	Basement Wall R-Value	Slab Perimeter R-Value and Depth	Crawl Space Wall R-Value and Depth
4	0.27	0.50	0.40	R-49	R-20+5 or 13+10	15/20	R-30	R-15/19	R-10, 4 ft.	R-15/19

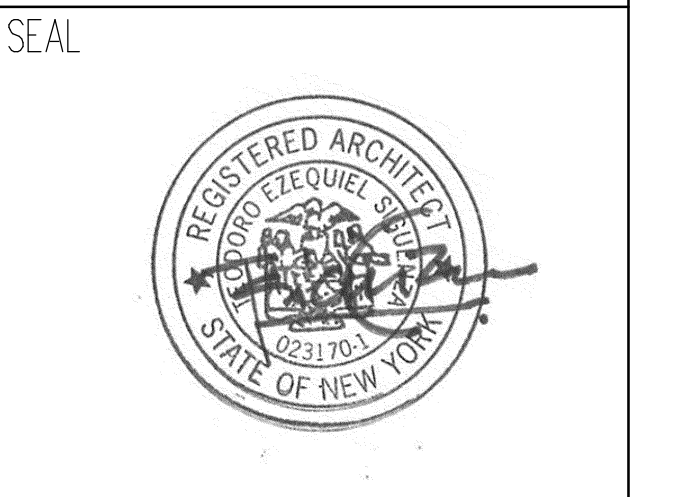
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA IN ACCORDANCE WITH THE 2020 NYS RESIDENTIAL CODE TABLE 301.2(1) FOR ZONE 4 (WESTCHESTER COUNTY)													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITES					
30	115 MPH	NO	YES	NO	C	SEVERE	42"	MODERATE TO HEAVY	15 DAY	YES	4/24/84 REV 11/1/07	1500	48.5°

DATE:	REVISION

PROJECT  
**STERN RESIDENCE  
PROPOSED GARAGE BAY ADDITION**

**9 WRIGHT MILL ROAD  
ARMONK, NY**

DRAWING TITLE  
**TITLE SHEET & LIST OF  
DRAWINGS**



DATE  
**1-28-21**

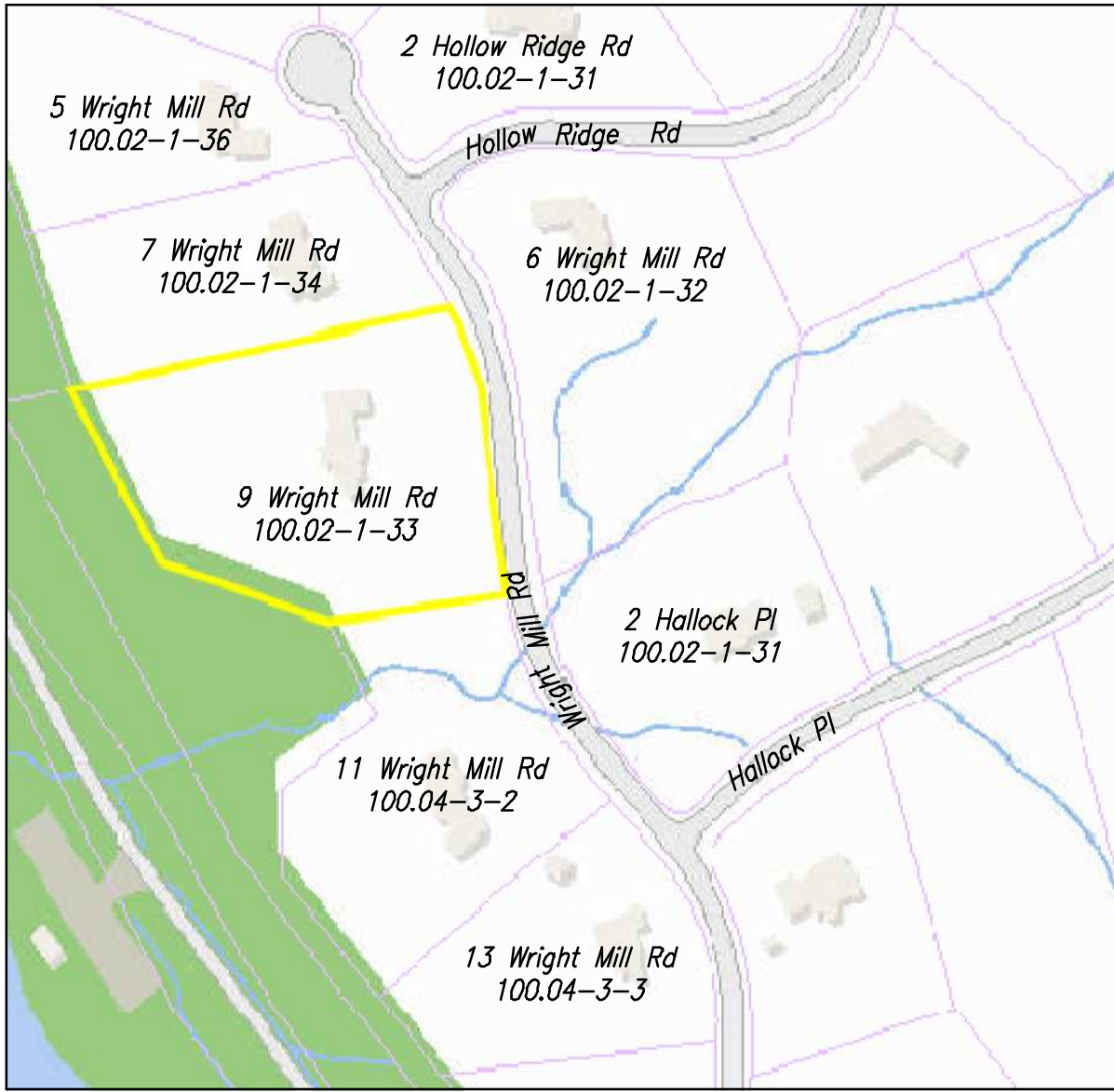
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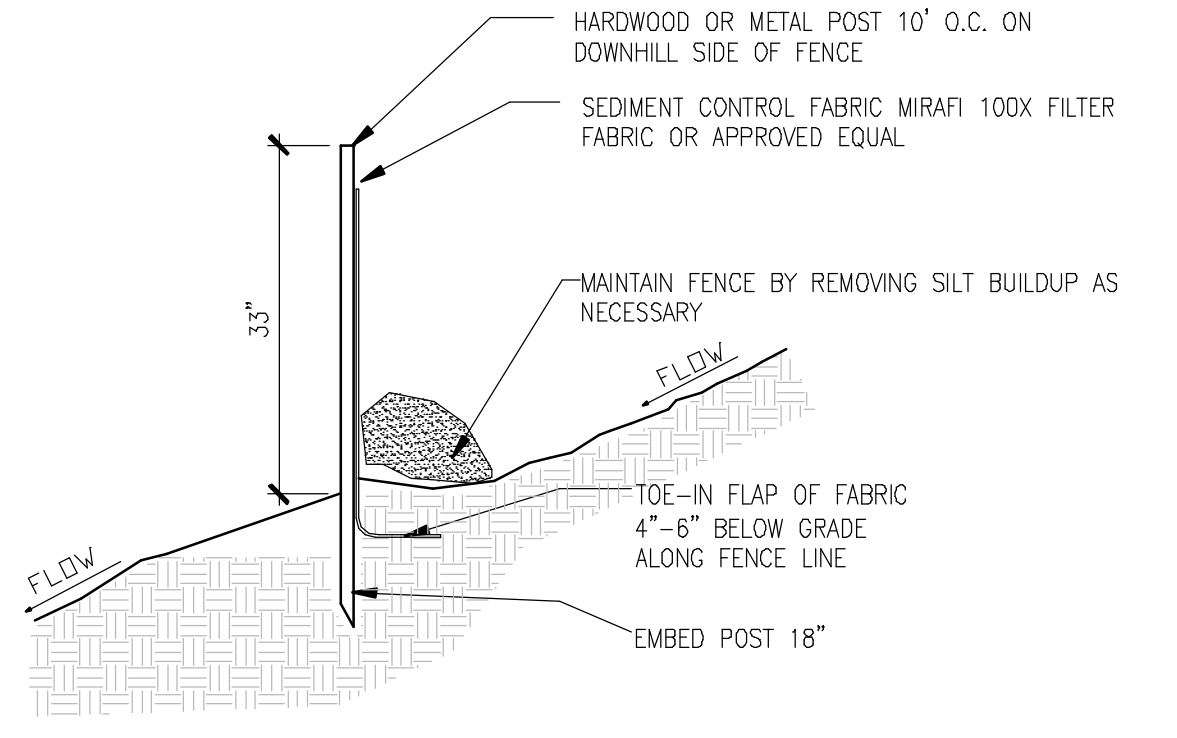
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ZONING TABULATION			
Owner: Mr. & Mrs. Stern		Municipality: Town of North Castle	
Address: 9 Wright Mill Road		Section : 100.02 Block: 1 Lot: 33	
Armonk, NY		Total Land Area: 152,329 SF/3.497 Acres	
		Zoning District: R-2A	
Topic	Required	Existing	Proposed
Minimum Lot Area	87,120 SF	152,329 SF	152,329 SF
Minimum Front Yard	50 FT	150.96'	137'-2"
Minimum Side Yard	30 FT	74.81'	77'-8"
Minimum Rear Yard	50 FT	246'-0"±	246'-0"±



LOCATION MAP



SILT FENCE DETAIL

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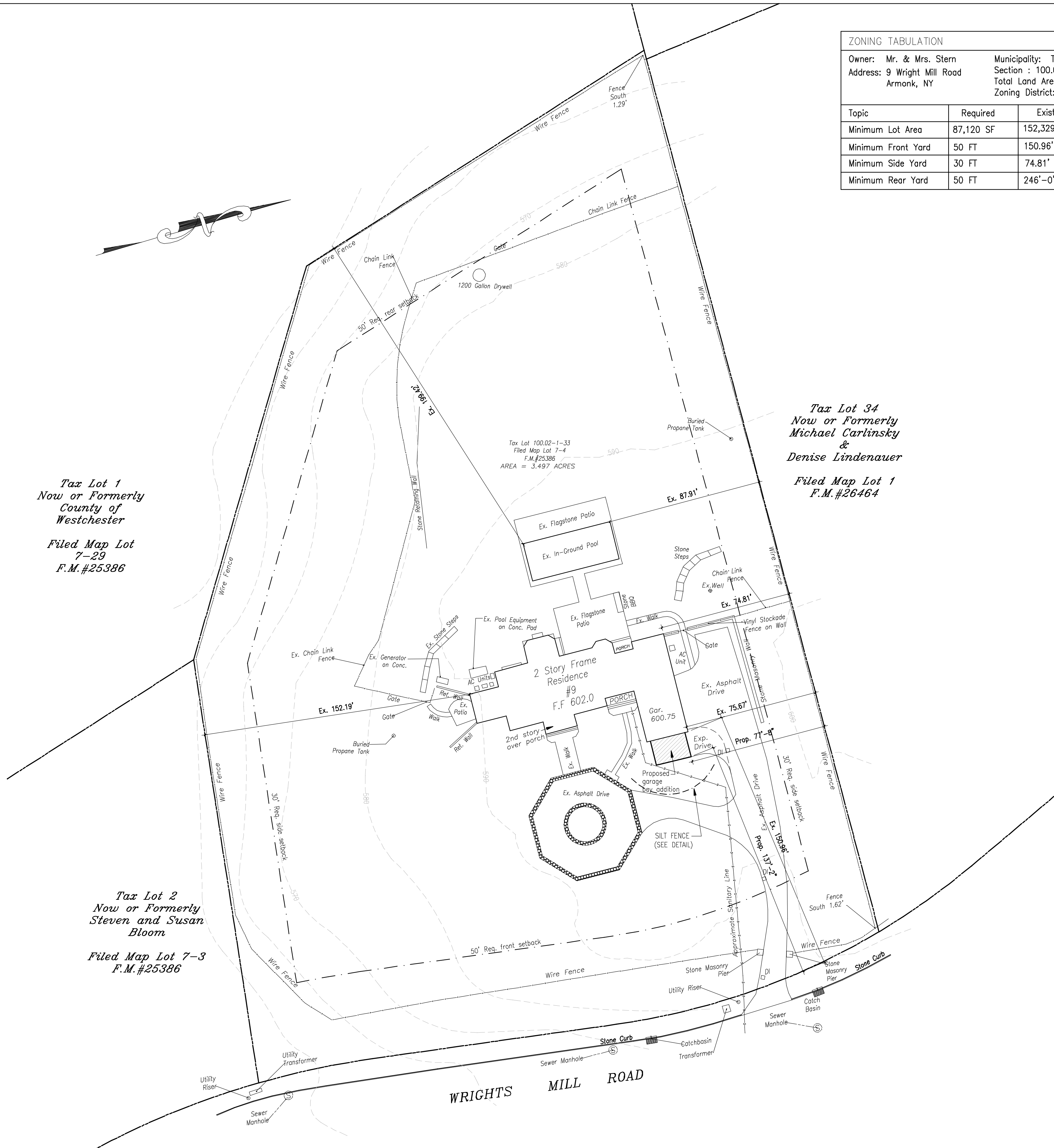
EROSION CONTROL NOTES

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- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established.
- Timely maintenance of sediment control structures is the responsibility of the Contractor. All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as ordered by the landscape architect, and in accordance with the standards set forth per local codes.
- All topsoil not to be used for final grading shall be stripped from the work area first and placed in a stabilized stockpile or fill area. All topsoil required for final grading and stored on site shall be limed, fertilized, temporarily seeded and mulched within 14 days.
- Any disturbed areas that will be left exposed more than 21 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The Contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.

**NO TREE REMOVAL IS PROPOSED**

Name of the Application:	STERN RESIDENCE
Name & Address of Owner:	NICOLE STERN 9 WRIGHT MILL ROAD ARMONK, NY
Name & Address of Architect: Licensed Professional and Applicant	Teo Siguenza, Architect 460 Old Post Road, Suite 2A Bedford, N.Y. 10506
Name & Address of Survey:	TC MERRITTS LAND SURVEYOR 394 Bedford road, Pleasantville, NY 10570



**Tax Lot 34**  
**Now or Formerly**  
**Michael Carlinsky**  
**&**  
**Denise Lindenauer**  
**Filed Map Lot 1**  
**F.M.#26464**

**Tax Lot 1**  
**Now or Formerly**  
**County of**  
**Westchester**  
**Filed Map Lot**  
**7-29**  
**F.M.#25386**

**Tax Lot 2**  
**Now or Formerly**  
**Steven and Susan**  
**Bloom**  
**Filed Map Lot 7-3**  
**F.M.#25386**

**TEO SIGUENZA**  
**ARCHITECT**  
460 OLD POST ROAD 2A BEDFORD, N.Y. 10506  
TEL: 914.234.6289 FAX: 914.234.0619  
www.teosiguenza.com

GENERAL NOTES:  
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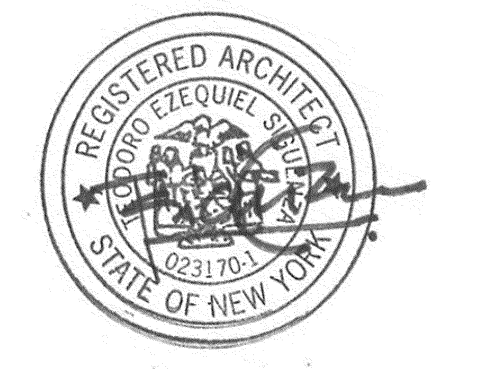
DATE:	REVISION

PROJECT  
**STERN RESIDENCE**  
**PROPOSED GARAGE BAY ADDITION**

**9 WRIGHT MILL ROAD**  
**ARMONK, NY**

DRAWING TITLE  
**SITE PLAN**

SEAL



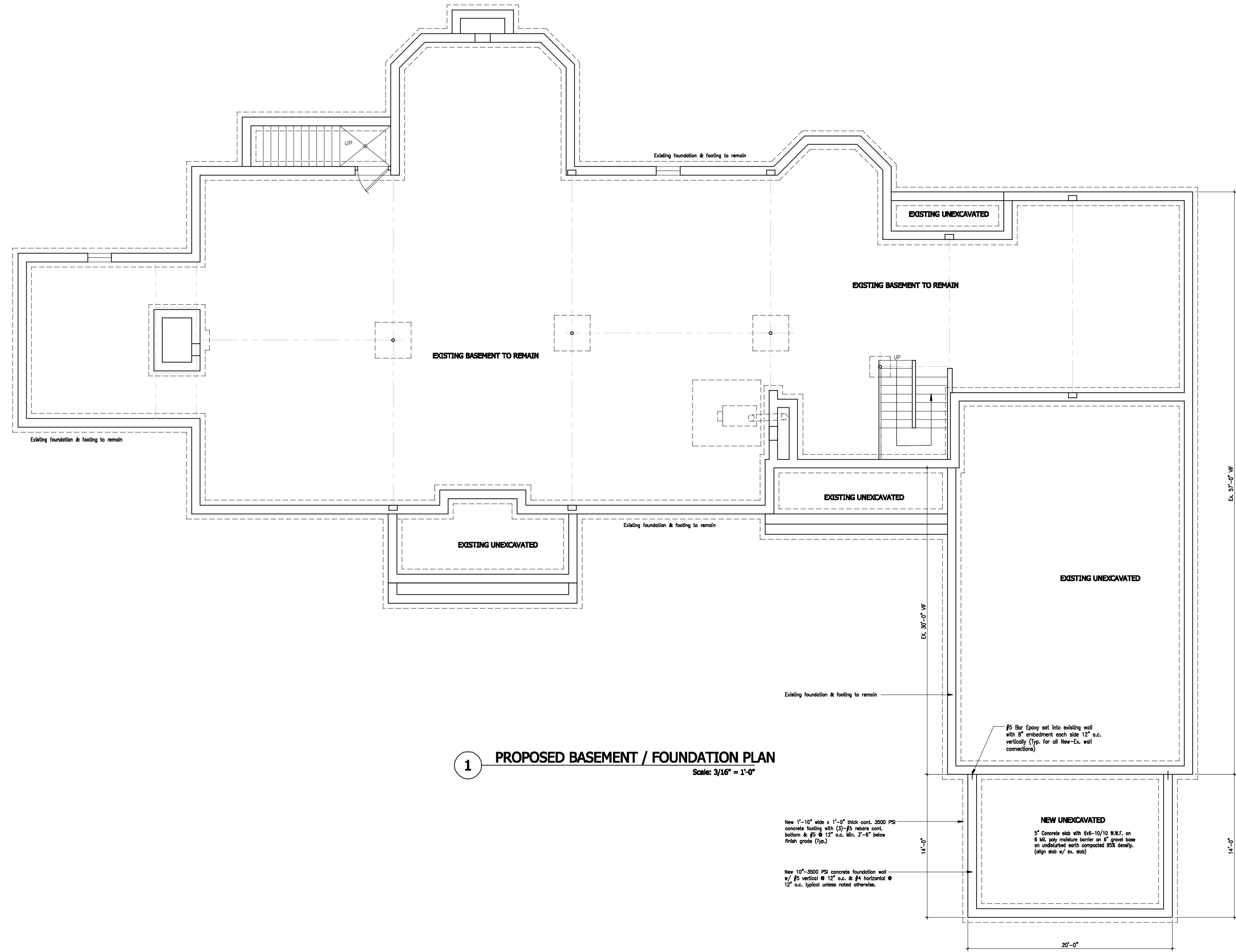
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**1 PROPOSED BASEMENT / FOUNDATION PLAN**  
 Scale: 3/16" = 1'-0"

New 1'-10" wide x 1'-0" thick cont. 3500 PSI concrete footing with (3)-#5 rebara cont. bottom & #5 @ 12" o.c. Min. 3'-0" below finish grade (Typ.)

New 10"-3000 PSI concrete foundation wall w/ #5 vertical @ 12" o.c. & #4 horizontal @ 12" o.c. typical unless noted otherwise.

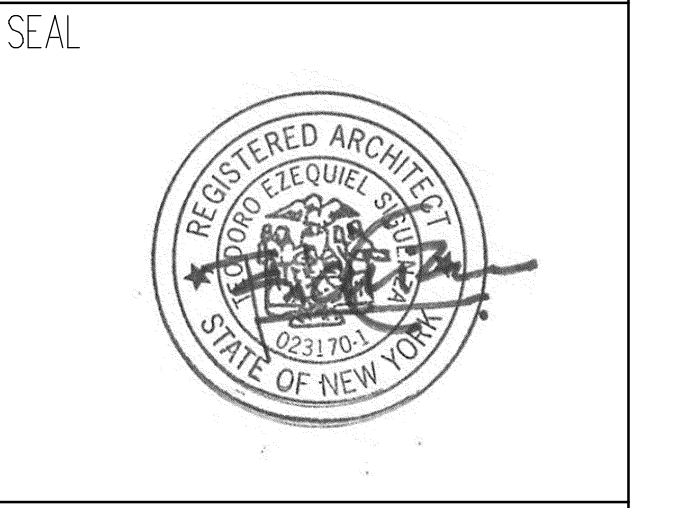
#5 Bar Epoxy set into existing wall with 8" embedment each side 12" o.c. vertically (Typ. for all New-Ex. wall connections)

**NEW UNEXCAVATED**  
 5" Concrete slab with 6#-10/10 W.W.F. on 6 MIL poly moisture barrier on 4" gravel base on undisturbed earth compacted 95% density. (align slab w/ cu. slab)

DATE	REVISION

PROJECT  
**STERN RESIDENCE**  
**PROPOSED GARAGE BAY ADDITION**  
 9 WRIGHT MILL ROAD  
 ARMONK, NY

DRAWING TITLE  
**PROPOSED FOUNDATION /**  
**BASEMENT PLAN**



DATE  
**1-28-21**

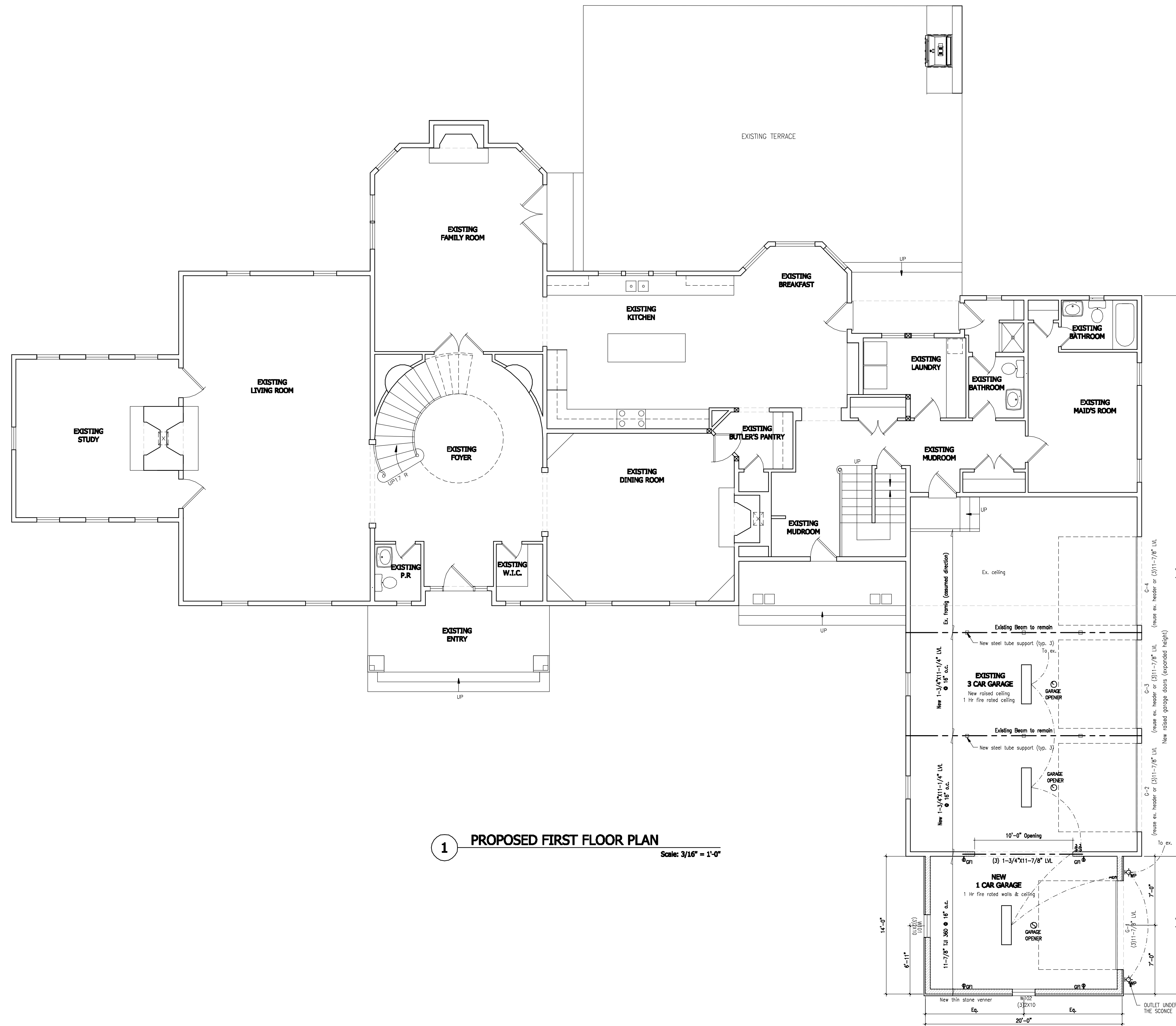
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**1 PROPOSED FIRST FLOOR PLAN**  
 Scale: 3/16" = 1'-0"

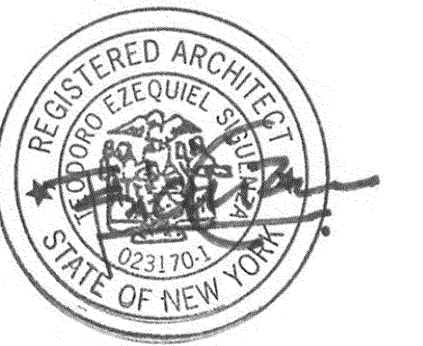
DATE:	REVISION:

PROJECT  
**STERN RESIDENCE**  
**PROPOSED GARAGE BAY ADDITION**

**9 WRIGHT MILL ROAD**  
**ARMONK, NY**

DRAWING TITLE  
**PROPOSED FIRST FLOOR,**  
**2F FRAMING PLAN ( 1F CEILING)**  
**& ELECTRICAL PLAN**

SEAL



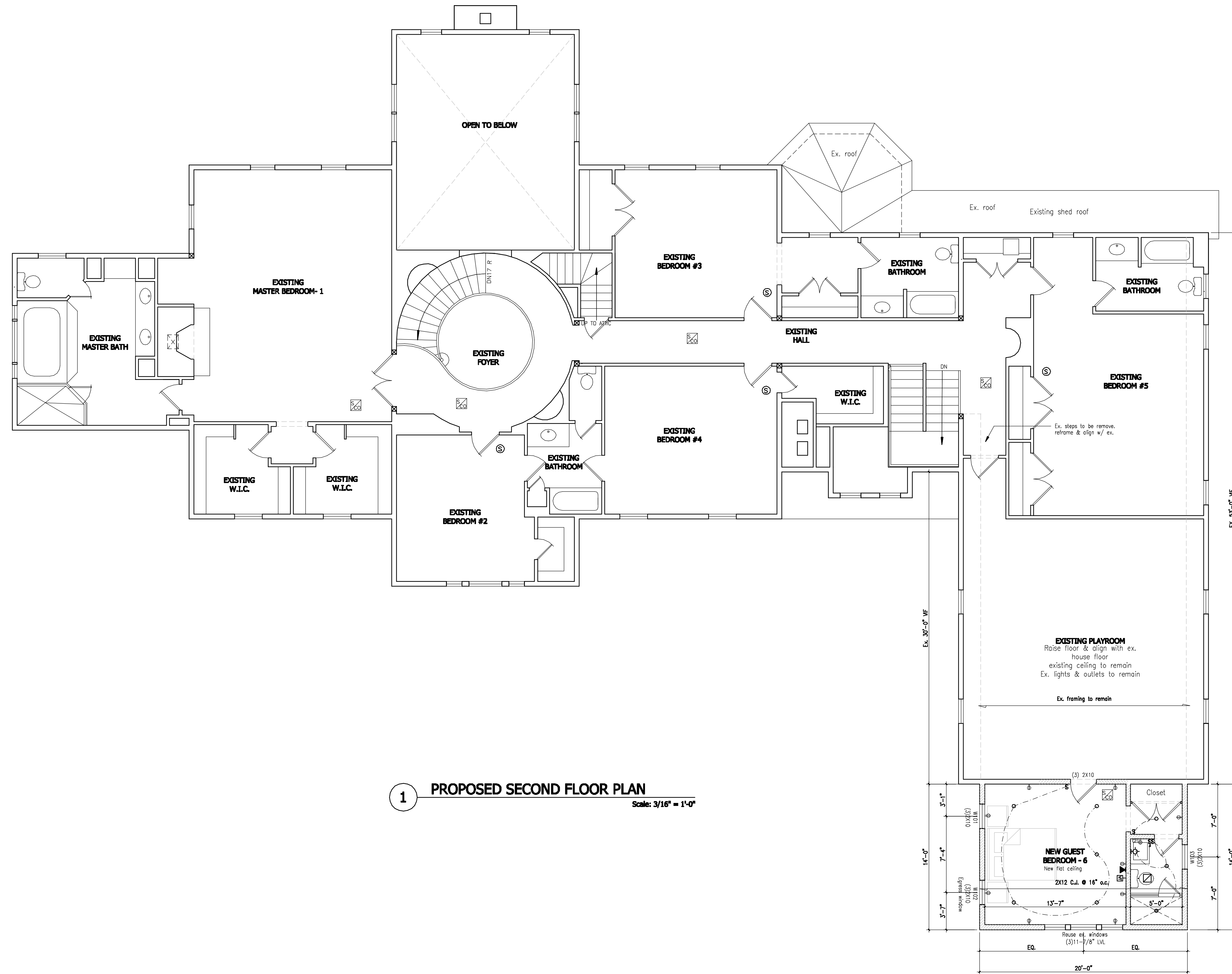
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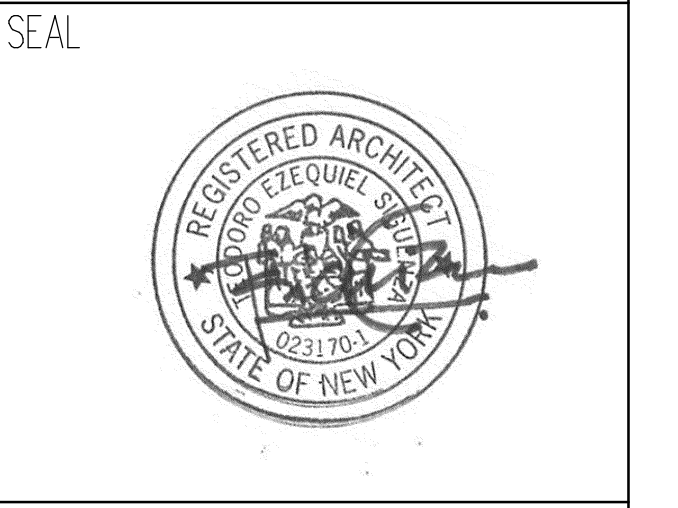


**1 PROPOSED SECOND FLOOR PLAN**  
 Scale: 3/16" = 1'-0"

DATE:	REVISION

**PROJECT**  
**STERN RESIDENCE**  
**PROPOSED GARAGE BAY ADDITION**  
**9 WRIGHT MILL ROAD**  
**ARMONK, NY**

**DRAWING TITLE**  
**PROPOSED SECOND FLOOR &**  
**2F CEILING FRAMING PLAN**



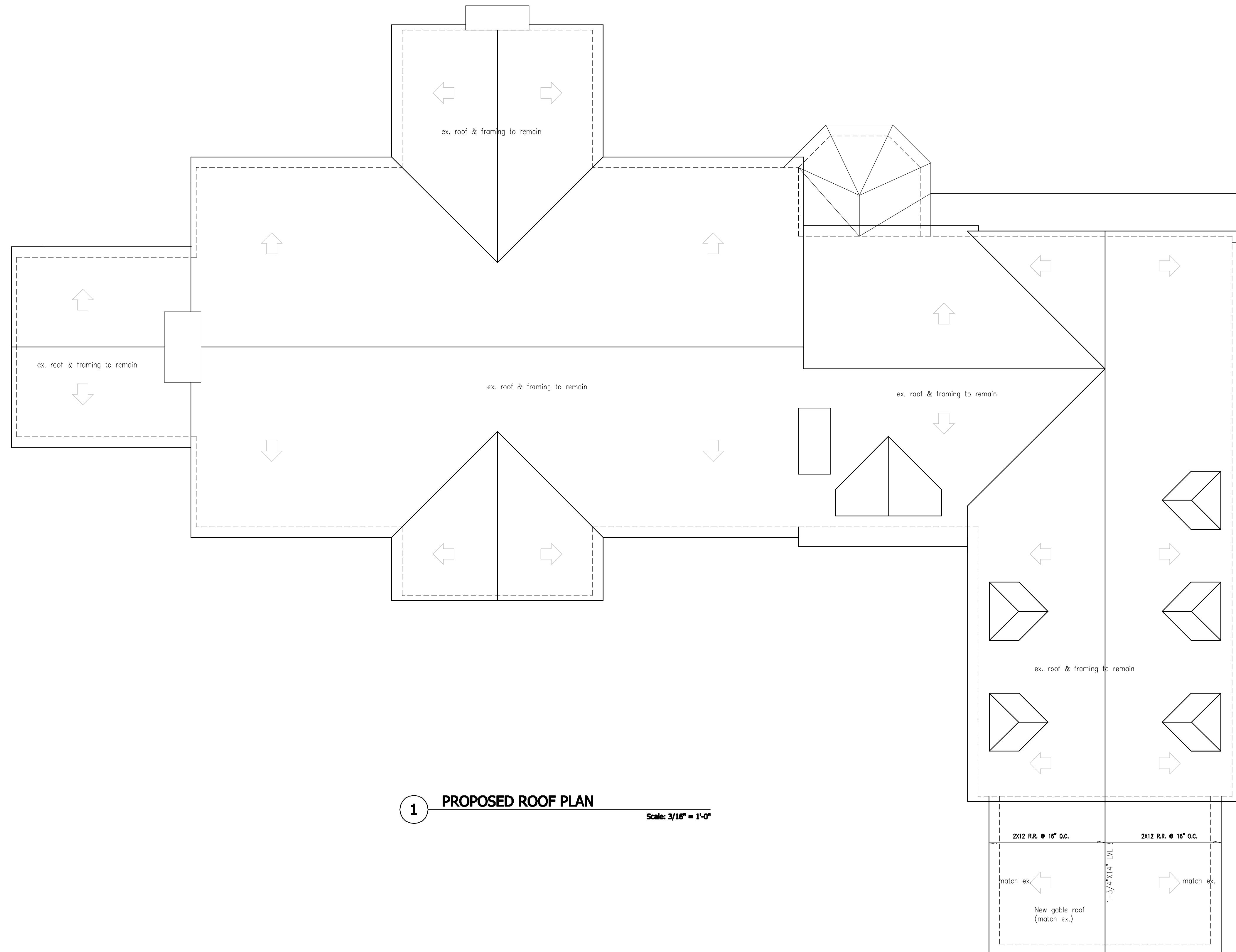
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**12-7-20**

**SCALE**  
**3/16" = 1'-0" or as Noted**

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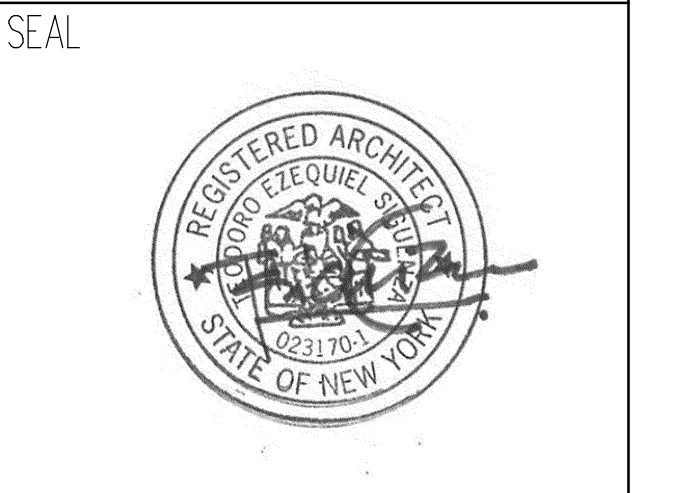


**1** PROPOSED ROOF PLAN  
 Scale: 3/16" = 1'-0"

DATE:	REVISION

PROJECT  
**STERN RESIDENCE**  
**PROPOSED GARAGE BAY ADDITION**  
**9 WRIGHT MILL ROAD**  
**ARMONK, NY**

DRAWING TITLE  
**PROPOSED ROOF AND**  
**ROOF FRAMING PLAN**



DATE  
**12-7-20**

SCALE  
**3/16" = 1'-0" or as Noted**

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**A103.00**

PAGE NO.



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DATE	REVISION

PROJECT  
**STERN RESIDENCE**  
**PROPOSED GARAGE BAY ADDITION**

9 WRIGHT MILL ROAD  
 ARMONK, NY

DRAWING TITLE  
**PROPOSED EXTERIOR ELEVATION**



DATE  
**1-28-21**

SCALE  
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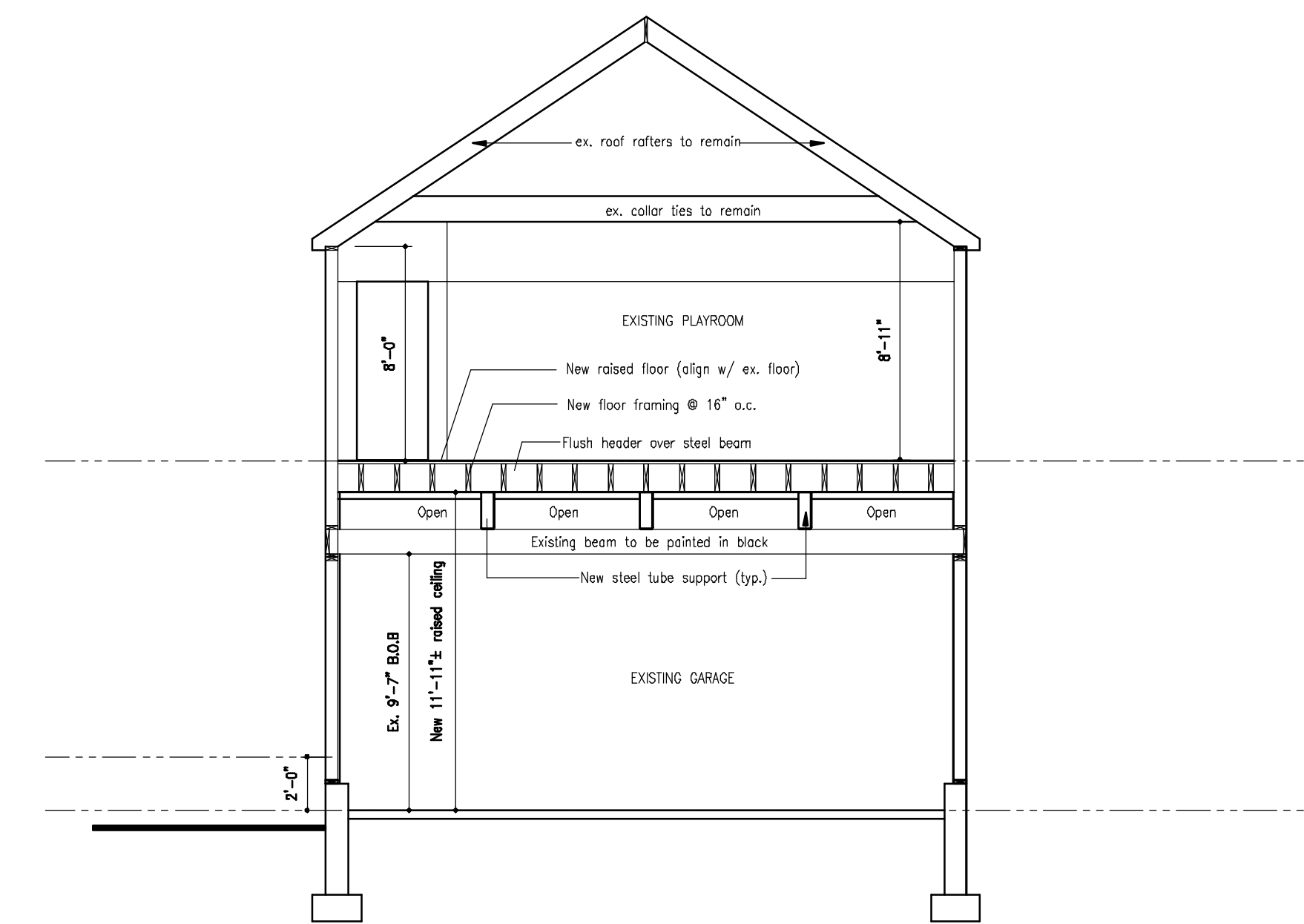
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**1 PROPOSED RIGHT SIDE ELEVATION**  
 3/16" = 1'-0"



**2 PROPOSED LEFT SIDE ELEVATION**  
 3/16" = 1'-0"



**3 SECTION THRU EX. GARAGE**  
 3/16" = 1'-0"

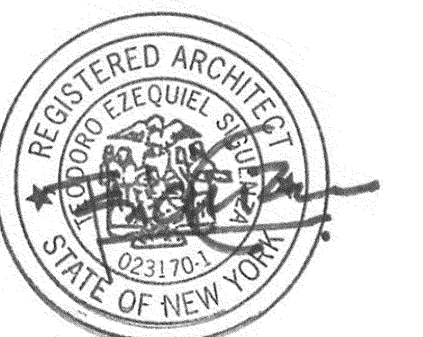
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PROJECT  
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**PROPOSED GARAGE BAY ADDITION**

**9 WRIGHT MILL ROAD**  
**ARMONK, NY**

DRAWING TITLE  
**PROPOSED EXTERIOR ELEVATION**

SEAL



DATE  
**1-28-21**

SCALE  
**3/16" = 1'-0" or as Noted**

DRAWING NO.  
**A201.00**

PAGE NO.