



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 8 HALLOCK PLACE - PIECTK

Section III- DESCRIPTION OF WORK:

IN GROUND POOL & SPA. THIS IS A 5 ACRE SITE.
A POOL WAS PROPOSED ON THE ORIGINAL
ENVIRONMENTAL/SITE PLAN. I HAVE ATTACHED
A COPY. THE POOL SITE WE ARE PROPOSING IS
LEVEL. TWO TREES WILL BE REMOVED. 1 TREE
IS DEAD, BOTH ARE WHITE OAKS.

Section III- CONTACT INFORMATION:

APPLICANT: FRANK GIULIANO. LANDSCAPE ARCHITECT
ADDRESS: 8 PINE TREE DRIVE - KATONAH, NY 10536
PHONE: _____ MOBILE: 914-954-4110 EMAIL: FG1ARCH@AOL.COM

PROPERTY OWNER: WALT & JESSICA PIECTK
ADDRESS: 8 HALLOCK PLACE - ARMONK NY 10504
PHONE: _____ MOBILE: 646-450-9258 EMAIL: _____

PROFESSIONAL: FRANK GIULIANO
ADDRESS: 8 PINE TREE DRIVE - KATONAH, NY 10536
PHONE: _____ MOBILE: 914-954-4110
EMAIL: FG1ARCH@AOL.COM

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 100.2/1/24



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: MASTER POOL PLAN · PIECTIC RES.

Initial Submittal Revised Preliminary

Street Location: 8 HALLOK PLACE

Zoning District: R-2A Property Acreage: 5 ACRES Tax Map Parcel ID: 100.2/1/24

Date: 1/29/21

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences



Town of North Castle
Residential Project Review Committee
 17 Bedford Road Armonk, New York 10504
 (914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: MASTER POOL PLAN - PIECTIC RES.

Initial Submittal Revised Preliminary

Street Location: B HALLOK PLACE

Zoning District: R-2A Property Acreage: 5 ACRES Tax Map Parcel ID: 100.2/1/24

Date: 1/29/21

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

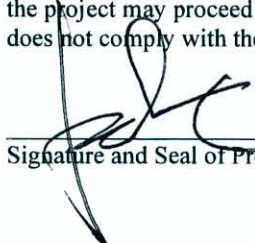
GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 8 HALLOCK PLACE Date: 1/29/21
 Tax Map Designation or Proposed Lot No.: 2/3/7-B

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 217,800
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 23,071
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)): 3,700
 Distance principal home is beyond minimum front yard setback 370 x 10 = _____
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 26,771
5. Amount of lot area covered by **principal building**: 4791 existing + 0 proposed = (with GARAGE) 4,791
6. Amount of lot area covered by **accessory buildings**: 0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**: 0 existing + 0 proposed = 0
8. Amount of lot area covered by **porches**: 2164 existing + 0 proposed = 2164
9. Amount of lot area covered by **driveway, parking areas and walkways**: _____ existing + _____ proposed = 8,525
10. Amount of lot area covered by **terraces**: DRIVE 5,400, COURT 2,750, WALK 175 + 200
750 existing + 2140 proposed = 2,910
11. Amount of lot area covered by **tennis court, pool and mechanical equip**: 0 existing + 1035 proposed = 1035
12. Amount of lot area covered by **all other structures**: 0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 19,425

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet



1/29/21
 Date



Town of North Castle Building Department

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

www.northcastleny.com

Residential Building Permit Application

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

Section I- PROJECT ADDRESS: 8 HALLOK PLACE DATE: 1/29/21

Section II- CONTACT INFORMATION: (Please print clearly. All information must be current.)

APPLICANT: FRANK GIULIANO

ADDRESS: 8 PINE TREE DR. KATONAH, NY 10536

PHONE: _____ MOBILE: 914-954-4110 EMAIL: FGIARCH@AOC.COM

PROPERTY OWNER: WALT & SERRICA PIECTK

ADDRESS: 8 HALLOK PLACE - ARMONK N.Y. 10504

PHONE: _____ MOBILE: _____ EMAIL: PIECTKW@YAHOO.COM

Section III- DESCRIPTION OF WORK: (Any work conducted outside of the house requires approval from the RPRC unless the proposed action is minor in nature and complies with 355-26 C (3) of the Town of North Castle code.)

IN GROUND POOL & SPA

Section IV- USE AND OCCUPANCY:

EXISTING/ CURRENT USE: RESIDENTIAL

PROPOSED RESIDENTIAL:

One Family Dwelling Two Family Dwelling Townhouse Detached Accessory Structure

Section V- PERMIT FEES: (\$100 app fee plus \$14 per \$1000, cost of construction and a \$75 CO fee.)

ESTIMATED COST OF CONSTRUCTION (Based on fair market value labor & material) \$ 175,000

AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is \$20,000 or more.



Town of North Castle Building Department

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

www.northcastleny.com

Tree Removal Application

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

Section I- PROJECT ADDRESS: 8 HALLOOK PLACE DATE: 1/29/21

Section II- CONTACT INFORMATION: (Please print clearly. All information must be current)

APPLICANT: FRANK GIULIANO.

ADDRESS: 8 PINE TREE DRIVE.

PHONE: _____ MOBILE: 914-954-4110 EMAIL: FG1ARCH@AOL.COM

PROPERTY OWNER: WALT & JESSICA PIECTK

ADDRESS: 8 HALLOOK PLACE - ARMONK NY 10504

PHONE: _____ MOBILE: 516-450-9258 EMAIL: PIECHKW@TAHOOCOM

Tree Company: T-B-D.

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

Section III- REGULATED ACTIVITY: (Check all that apply)

- ____ Removal of a tree within a property's regulated setback zone or landscaped buffer zone.
- ____ Removal of a significant tree.
- ____ Removal of any tree in the wetlands, within clearing lines, or conservation easements.
- ____ Clearing/Thinning.
- ____ Removal of any tree within the right of way.
- ____ Removal in any calendar year of more than ten (10) trees on any lot.

Section IV- DESCRIPTION OF WORK: (Please include how many trees will be removed)

REMOVAL OF 1 DEAD 18" OAK & 1 22" WHITE OAK

Section V- FUTURE PLANS:

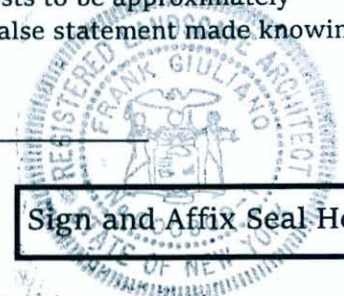
Do you have any intention of tearing down the house to build a new house within the next six (6) months. Yes No

Town of North Castle Building Department

Section V- (Continued)

I FRANK GIULIANO do hereby affirm and certify as follows: (i) I am the architect/engineer (circle one) licensed by the State of New York; (ii) I have reviewed the plans, drawings and specifications for this application and am fully familiar with the proposed construction; (iii) based on my experience, I estimate the total cost of construction including all labor, all materials, all professional fees and all associated costs to be approximately \$ 175,000, and (iv) pursuant to Penal Law 210.45, I acknowledge that a false statement made knowingly is a Class A misdemeanor

Signature: [Handwritten Signature] Date: 1/29/21



Section VI- CONTACT INFORMATION: (Please print clearly. All information must be current)

ARCHITECT/ ENG: FRANK GIULIANO, LANDSCAPE ARCH.
ADDRESS: 8 PINE TREE DR. KATONAH, NY 10536
PHONE: _____ MOBILE: 914.954.4110
EMAIL: FGIARCH@AOC.COM

CONTRACTOR: _____
ADDRESS: _____
PHONE: _____ MOBILE: _____ EMAIL: _____

PLUMBER: _____
ADDRESS: _____
PHONE: _____ MOBILE: _____ EMAIL: _____

ELECTRICIAN: _____
ADDRESS: _____
PHONE: _____ MOBILE: _____ EMAIL: _____

Section VII- APPLICANT CERTIFICATION

I hereby certify that I have read the instructions & examined this application and know the same to be true & correct. All provisions of laws & ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature: [Handwritten Signature] Date: 1/29/21

Section VIII- AFFIDAVIT OF OWNER AUTHORIZATION IF APPLICABLE: (To be notarized)

STATE OF NEW YORK }
COUNTY OF WESTCHESTER } SS:

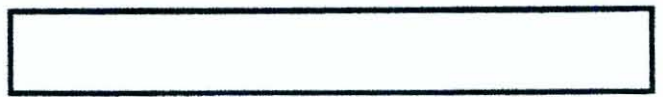
(Handwritten mark)

The applicant FRANK GIULIANO has proper consent from said owner to make this application as submitted and said owner agrees to all terms and conditions placed upon same.

Owner's Name (PRINT) JESSICA Z WALTER PIECYK Owner's Signature *Jessica Piecyk*

Sworn to before me this 29th day of JANUARY, 2021

Notary Signature COVID



Notary Stamp Here

OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Zone: _____ Section: _____ Block: _____ Lot: _____

Building Department Checklist:

- Does this permit require RPRC approval? Yes No
- GC License Work. Comp. Liability. Ins. Disability Two sets of documents
- Permit Fee _____ Payment: Check #: _____ Cash Credit Card

Name on check: _____

Received By: _____ Application No.: _____

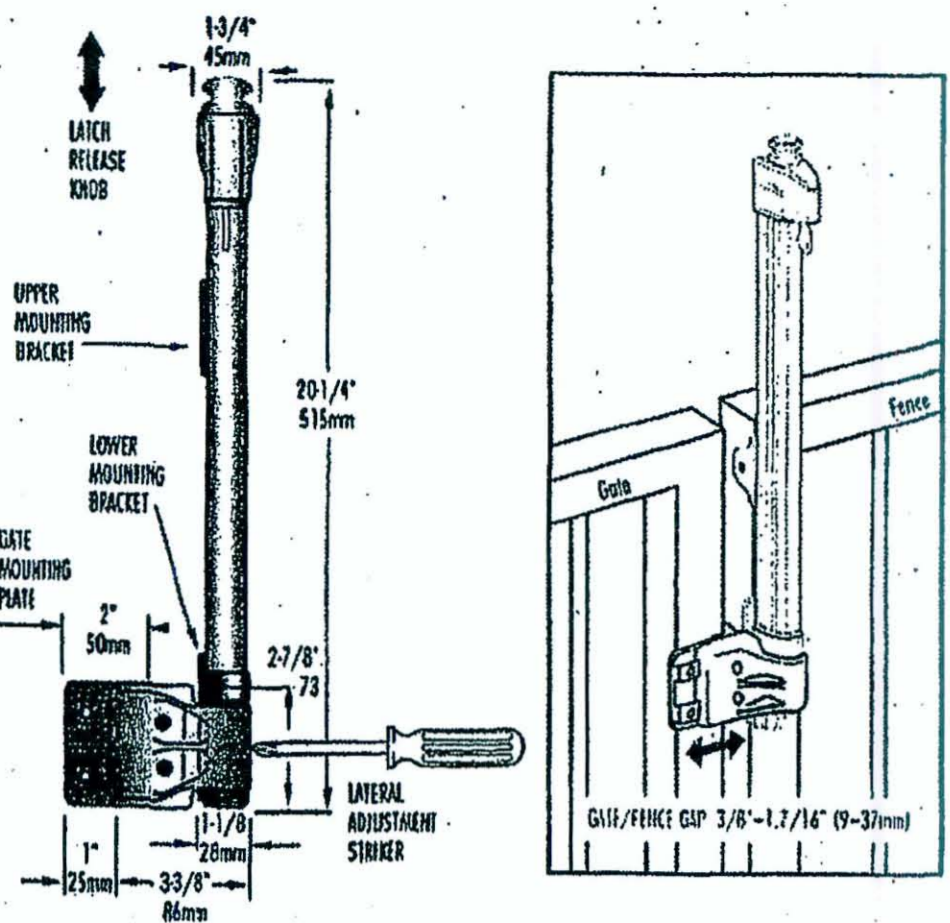
BUILDING INSPECTOR APPROVAL

- Has all the conditions of the RPRC been met? Yes NA
- Is a Flood Development permit required? Yes No

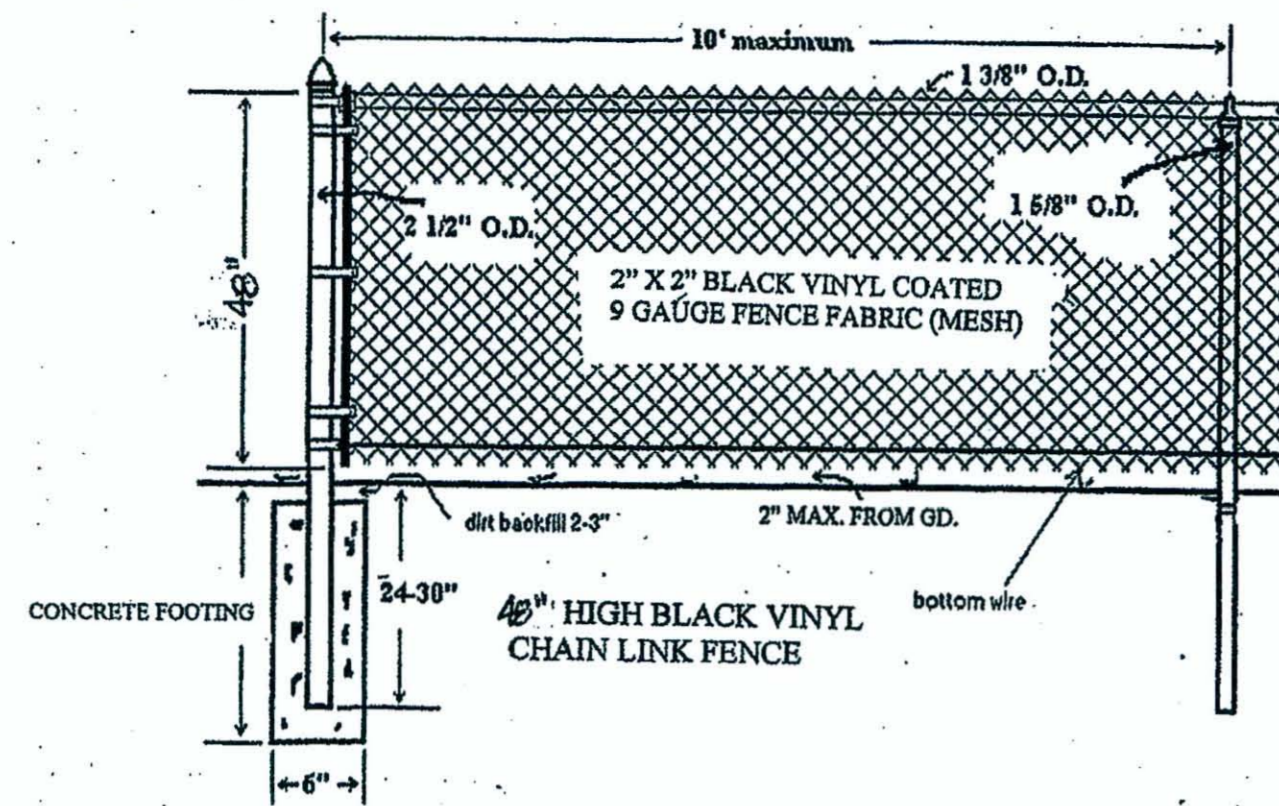
Reviewed By: _____ Date: _____

Building Inspector Approval: _____ Date: _____

Conditions: _____



GATE MAGNA-LATCH (top pull)
As per NYS code



POOL NOTES:

IN-GROUND POOL DESIGNED IN CONFORMANCE WITH ANSI/APSP/ICC 4 PER SECTION R326.3.2 OF THE 2020 NYS RESIDENTIAL CODE.

IN-GROUND SPA DESIGNED IN CONFORMANCE WITH ANSI/APSP/ICC 6 PER SECTION R326.3.3 OF THE 2020 NYS RESIDENTIAL CODE.

POOL AND SPA ALARMS: ALL DOORS, OPENING TO THE POOL ENCLOSURE SHALL BE FITTED WITH A "POOLGUARD" ALARM #DAPT-WT, WHICH MEETS NYS POOL BARRIER CODE. ASTM F2208, And as per NYS R326.7 per 2020 NYS residential code.

POOL COVER SHALL COMPLY WITH ASTM F1346.

ALL WINDOWS WITHIN THE POOL ENCLOSURE SHALL BE FITTED WITH A "WINDOW STOP" SO THAT WINDOWS ARE RESTRICTED TO LESS THAN 4" WHEN OPEN.

ALL WINDOWS AND DOORS SHALL MEET NYS 2020 NYSRBC.

PORTABLE WATER PROTECTION: POOL WATER AUTO FILL: THE "POOL MISER" WATER AUTO FILL IS EQUIPPED WITH A BUILT IN CHECK VALVE - TO PROTECT POTABLE WATER SUPPLY. AS PER SECTION P2902 OF THE 2020 NYS RESIDENTIAL CODE.

ENTRAPMENT PROTECTION FOR SWIMMING POOL AND SPA SHALL MEET SECTION R326.5 OF THE 2020 NYS RESIDENTIAL CODE.

ALL SUCTION FITTINGS SHALL COMPLY WITH ANSI/APSP/ICC 7 PER SECTION R326.5.1 OF THE 2020 NYS RESIDENTIAL CODE.

ATMOSPHERIC VACUUM RELIEF SHALL COMPLY WITH ANSI/A112.19.17 OR AN APPROVED GRAVITY DRAINAGE SYSTEM PER SECTION R326.6.3 OF THE 2020 NYS RESIDENTIAL CODE.

TEMPORARY FENCING: TEMPORARY FENCING SHALL BE INSTALLED DURING CONSTRUCTION AT THE PERIMETER OF THE POOL CONSTRUCTION AREA. SAID FENCE SHALL BE 4' HIGH AND NON-CLIMBABLE - FENCE SHALL MEET NYS RESIDENTIAL CODE FOR POOL ENCLOSURES. SAID FENCE CAN ONLY BE REMOVED WHEN THE PERMANENT FENCE - MEETING POOL ENCLOSURE CODE, IS INSTALLED. AS PER SECTION R326.4.1 OF THE 2020 NYS RESIDENTIAL CODE.

PERMANENT POOL FENCE:

There shall be installed and maintained on said lot, and completely enclosing the pool and pool equipment pad, fencing and gates. Said fencing shall meet (NY R326.4.2), **But that shall be 4'-0" high, black, vinyl coated chain link fence** or as noted on the plan. Hardware and supports shall also be black vinyl coated. Gates shall be self-closing and self-latching AND LOCKABLE, designed to keep and capable of keeping such gates securely closed and locked at all times, when not in actual use. Latch shall be Magna-Latch as approved by 2020 NYS pool enclosure code. Gates shall open away from pool area as per 2020 NYS code. Bottom of the fence shall not exceed 2" from finished grade. AS PER (NYS R326.4.2.3 THROUGH NYS R326.4.2.7.3)

CONTRACTOR SHALL PROVIDE PROTECTION OF ADJOINING PROPERTIES AS PER B3307.1 of the 2015 international building code.

SWIMMING POOL AND SPA SPECIFICATIONS:

PERMITS: Pool contractor shall submit their own, signed and sealed, engineered construction drawings and engineering drawings to obtain all necessary permits from the Town of North Castle, NY. All Permit fees by owner.

GENERAL: Any questions related to pool design or layout shall be directed to this office. Pool contractor shall supply and install all equipment necessary to operate the pool and all related equipment, including all electrical and plumbing connections. Propane or Gas service and connections by owner. Pool shall be grounded in strict accordance with the latest addition of AEI 680 of the national electrical and state board of fire underwriters. No pool terrace included in this proposal. Pool contractor shall install silt fencing.

STRUCTURE: Reinforcing bars for pool and spa shall be #4 bars, 12" on center both vertically and horizontally, in walls and floor where pool is 4 foot or less in water depth, and 6" on center both vertically and horizontally, in walls and floor where pool is more than 4 foot in water depth. Shot-crete shall be 4000 PSI, min., pool walls shall be 8" minimum thickness. Pool interlocking bond beam shall be 12" wide minimum. Pool contractor shall grade within 15' of the proposed pool. Pool is 22' x 45'

DEPTH: Pool water depths shall be 3'-6" in shallow end and 6'-6" in deep end or as per owner. Spa shall be 48" in water depth.

EQUIPMENT: Two (2) skimmers permanently set into bond beam, and a minimum of four returns, by Hayward products, Inc. or approved equal. FIVE (5) JANDY "NICHELESS LED LIGHTS" GEN. 2 underwater pool lights, locations as directed by the Architect. All electrical switches including Jandy panel shall be located in the house as directed by owner. Filter shall be a Jandy, CL-580 - Pro Series Cartridge filter. All pool and spa pumps shall be Jandy VS FloPro 2.7 HP Pumps or approved equal, High Performance pumps. A 399,000 BTU, Jandy propane or natural gas pool heater shall be installed. Salt chlorine generating system, sized to pool.

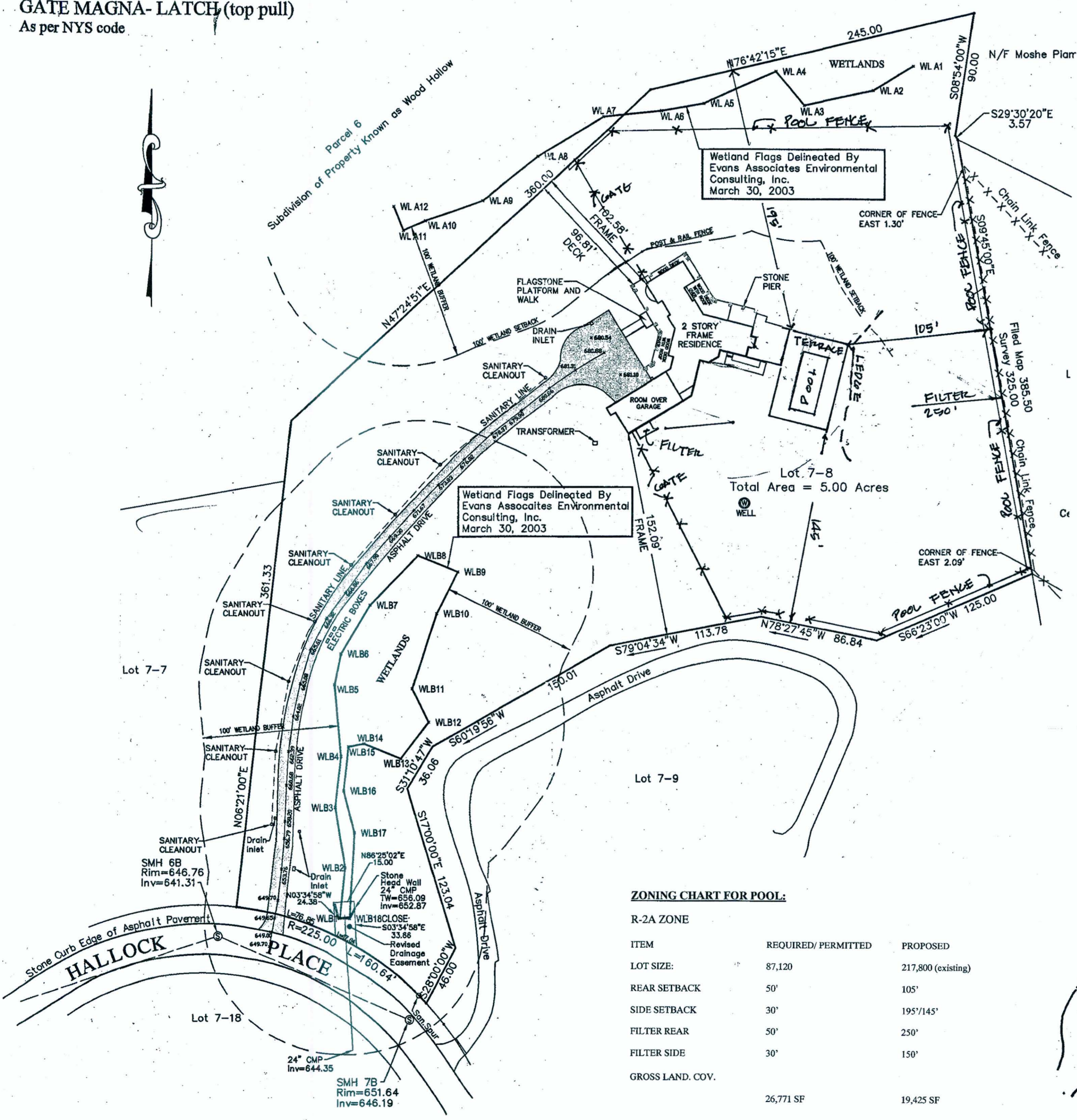
Eight (8) spa jets shall be installed in spa, installed to client requirements, two side wall intakes (not in floor), spa jets shall be connected to two (2) 2.5 HP full rated, Hayward spa jet pumps. One (1) spa air bubbler, A Jandy "Aqua Link" 8, automatic computer system, installed in the house. Spa wall coping shall match pool coping, except spa coping shall be finished on inside and outside edges, and be 10" wide. Entire spa coping is spillway. Pool water by owner. An automatic pool filler unit by Pool Miser in pool and "check Valve" by pool contractor as per Code.
One (1) JANDY "NICHELESS LED" underwater spa light.
One Polaris 3900 Sport, with 3/4 HP pump, installed. Two GFI outlets at pool side, and one GFI at filter pad, by pool contractor. A spa side 4 function controller, A "Meyco Lite" mesh (green) winter safety swimming pool cover, installed, shall be included in the pool bid.

Installation of an automatic pool cover, by Cover Star, or approved equal, under coping tracks included, concrete cover box to be surfaced in stone to match pool coping, cover color to be selected by owner. Two anti - vortex 8" main drain with hydrostatic pressure valve in pool. All equipment shall be the latest models available and shall be approved by the architect. One each of the following: hand skimmer, wall brush, and manual cleaner unit with a 16' telescopic pole handle.

TILE, PLASTER and COPING: Tile in pool and spa, shall be a single row of 6" x 6" frost-proof tile, as selected by owner from samples supplied by Landscape Architect and Pool Co. Tile grout color shall match pool plaster color" Diamond Brit - Watercolor series" interior finish. Coping shall be Italian Bluestone "Blue Lake" stone, a consistent 2" thick, and 14" wide, Thermal surface and be "Eased Edge" or "Rock Face" coping. Both shallow end corners shall be "L" units at shallow end, no miter or butt joints.

OPTIONS: Pool contractor shall provide options for the following:

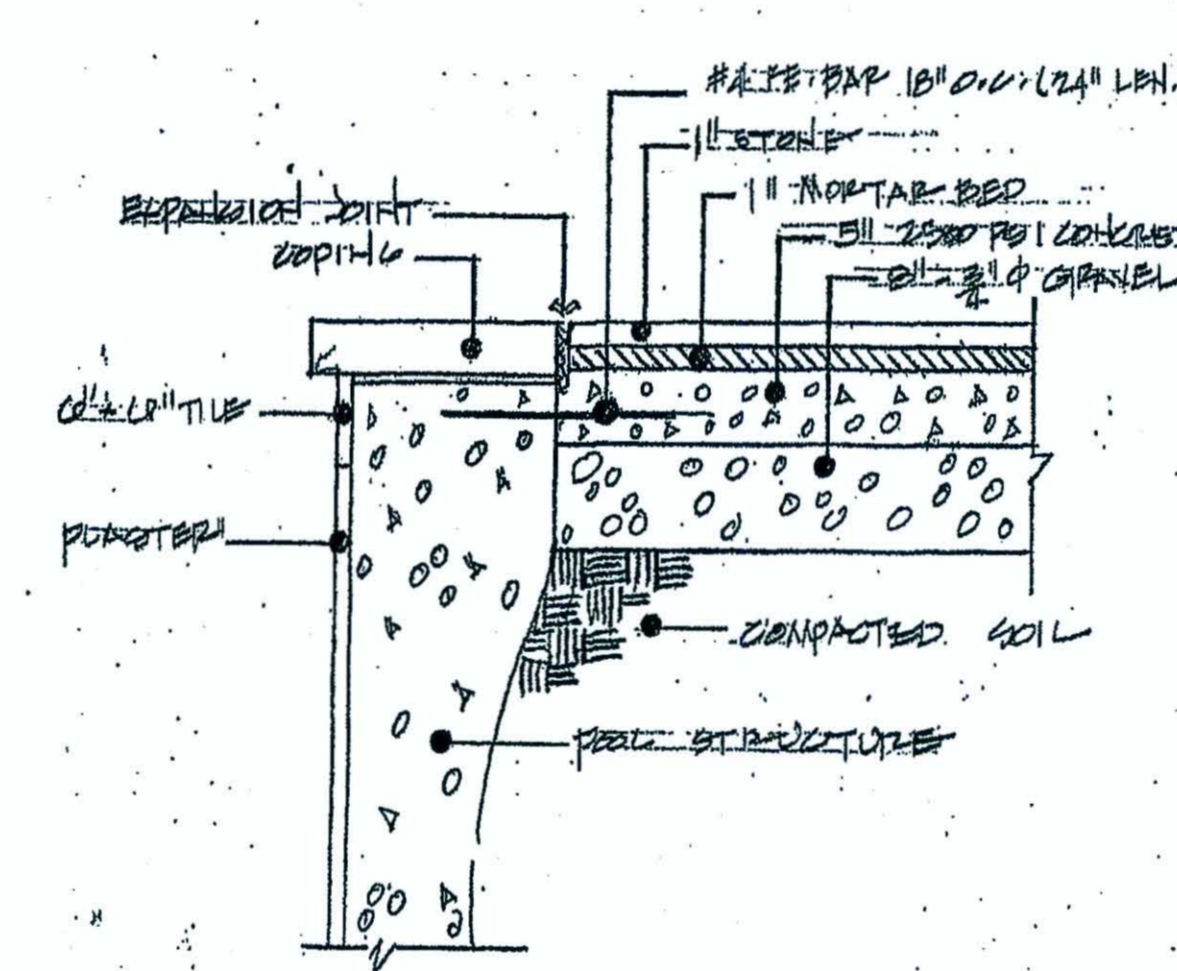
1. Jandy 'App' installed for remote WIFI operation. WIFI connection by owner.
2. One (1) bronze or stainless-steel umbrella stave installed in sun shelf.
3. Removal of excavated material from the site.



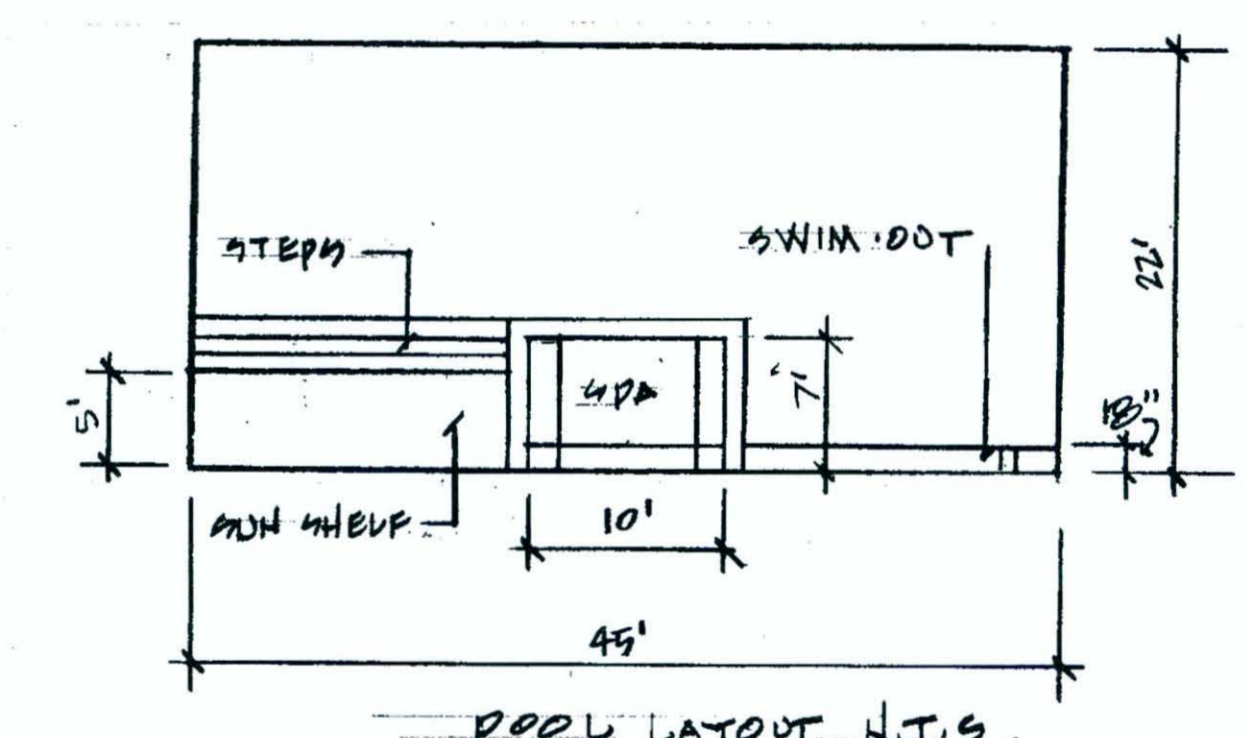
ZONING CHART FOR POOL:

R-2A ZONE

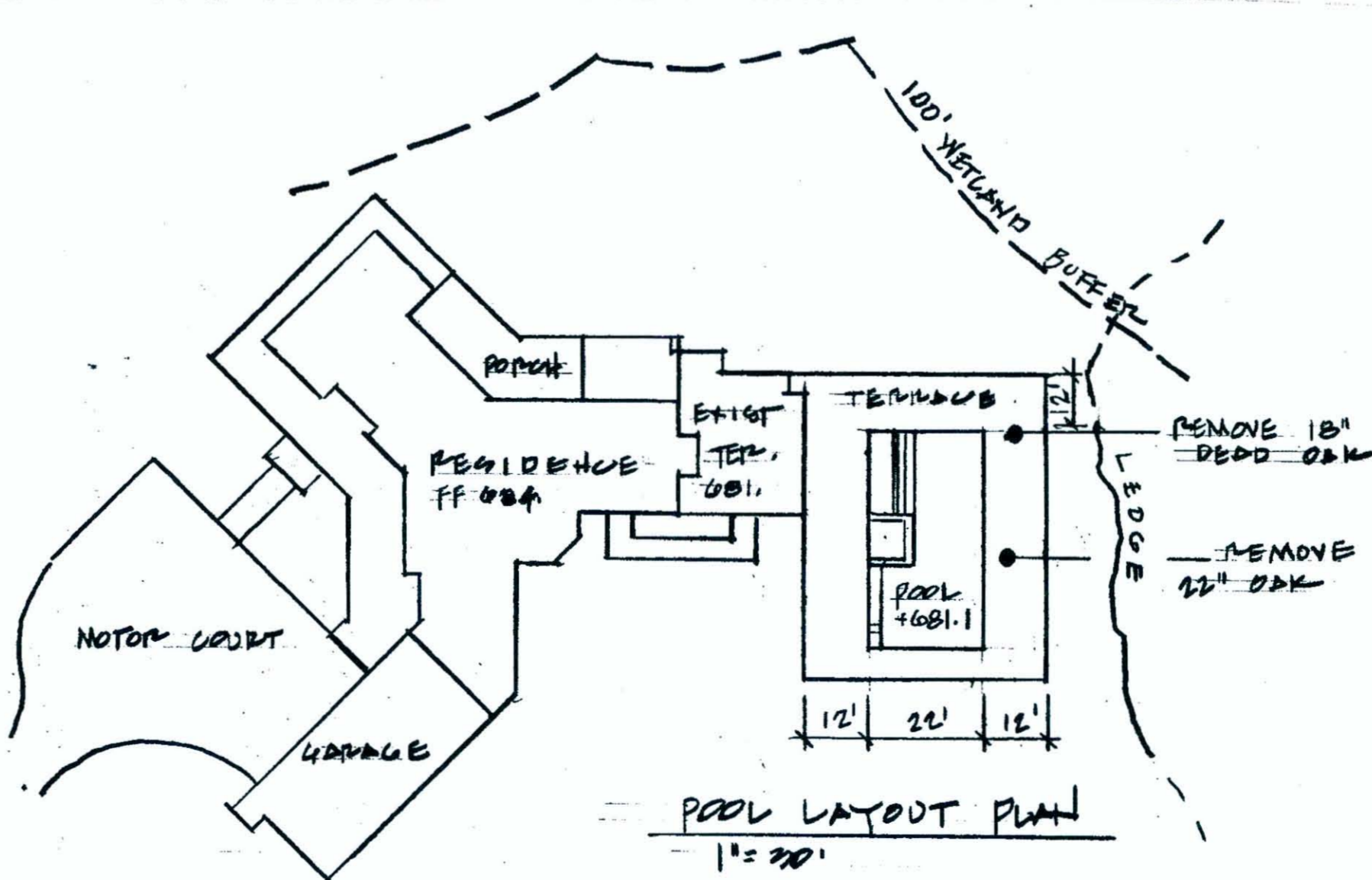
ITEM	REQUIRED/ PERMITTED	PROPOSED
LOT SIZE:	87,120	217,800 (existing)
REAR SETBACK	50'	105'
SIDE SETBACK	30'	195'/145'
FILTER REAR	50'	250'
FILTER SIDE	30'	150'
GROSS LAND. COV.	26,771 SF	19,425 SF



TERRACE DETAIL



POOL LAYOUT N.T.S.



POOL LAYOUT PLAN
1" = 20'

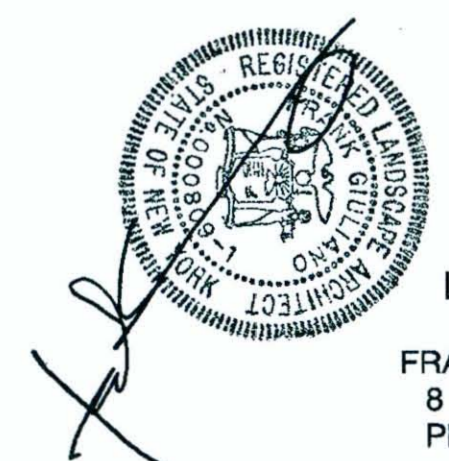
MASTER POOL PLAN

PIECYK RESIDENCE
8 HALLOCK PLACE
ARMONK, NY 10504

SEC. 100.2 - BLOCK 1 - LOT 24
FIRE AND AMB. DIS. #2
Byram Central School District

ZONE: R-2A JANUARY 28, 2021
LOT AREA: 217,800 SF - 5 ACRES'

FRANK GIULIANO - LANDSCAPE ARCHITECTS
8 PINE TREE DRIVE, KATONAH, N.Y. 10536
PH: 914.954.4110 FG1ARCH@AOL.COM



SURVEY BY:
TC MERRITTS
LAND SURVEYORS
914-769-8003

SITE PLAN 1" = 50'

Mitigation areas to be planted with the following quantities and species of native trees and shrubs:

- 5 Shade trees**
 - Quercus alba, White Oak
 - Quercus bicolor, Swamp White Oak
 - Quercus rubra, Red Oak
- 4 Conifer trees**
 - Pinus strobus, Eastern White Pine
- 6 Ornamental trees**
 - Amelanchier canadensis, Shadblow Serviceberry
 - Cercis canadensis, Eastern Redbud
 - Cornus florida, Flowering Dogwood
- 220 Ornamental shrubs**
 - 5 shrubs with a spread of 15'
 - Viburnum lentago, Nannyberry
 - 5 shrubs with a spread of 12'
 - Hamamelis virginiana, Common Witchhazel
 - 35 shrubs with a spread of 8'
 - Cornus racemosa, Grey Dogwood
 - Cornus sericea, Redosier Dogwood
 - Lindera benzoin, Spicebush
 - Viburnum dentatum, Arrowwood Viburnum
 - 70 shrubs with a spread of 6'
 - Ilex verticillata, Common Winterberry
 - Kalmia latifolia, Mountain Laurel
 - Myrica pennsylvanica, Northern Bayberry
 - Vaccinium corymbosum, Highbush Blueberry
 - 70 shrubs with a spread of 4'
 - Aronia melanocarpa, Black Chokeberry
 - Clethra alnifolia, Summersweet Clethra
 - Rosa rugosa, Rugosa Rose
 - 15 shrubs with a spread of 3'
 - Hypericum prolificum, Shrubby St. Johnswort
 - 20 shrubs with a spread of 2'
 - Vaccinium angustifolium, Lowbush Blueberry
- Native Northeast seed mixes**
 - 2.5 lbs. Northeast upland native/naturalized wildflower mix
 - 3.75 lbs. Northeast upland wildflower/restoration erosion mix
 - 0.2 lb. Northeast wetland forest herb mix

Welland Permit # _____
 Date of Issuance _____
 Town Engineer _____

We acknowledge the conditions and modifications in the Welland Permit letter dated _____

Walter Plocyk _____
 Jessica Plocyk _____

LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- + 568.5 PROPOSED SPOT ELEVATION
- PROPOSED RESIDENCE & DRIVEWAY
- EXISTING STONE WALL
- CLEARING AND GRADING LIMIT LINE
- WLA5 WETLAND BOUNDARY LINE & FLAG NO.
- 100-FOOT WETLAND BUFFER LINE
- PROPOSED WETLAND BUFFER IMPACT AREA
- PROPOSED MITIGATION AREA
- EXISTING WETLAND
- PROPOSED SPLIT RAIL FENCE (OR EQUIVALENT)

- NOTES:**
- Property boundary, topography and utilities information provided by Thomas Merritt Associates, Land Surveyors.
 - Wetlands on the subject site were delineated in accordance with the Freshwater Wetlands and Drainage Law of the Town of North Castle (LL-209) and the technical criteria in the 1987 Army Corps of Engineers (ACOE) Wetland Delineation Manual (TR-Y-87-1). The field delineation was conducted on March 31, 2003 by an Environmental Analyst of Evans Associates Environmental Consulting, Inc.
 - In accordance with the recommendations of the Conservation Board, the following actions shall be undertaken:
 - selective thinning/removal of damaged and poor trees over 8" in diameter located around the periphery of the cleared area is identified;
 - selective removal of vegetation, especially seeded black birch in the vicinity of the rock ledge shall be done;
 - the ground surface in mitigation area #3 shall be restored to a natural slope by either removing the boulder rock piles or covering the soil for the mitigation planting.
 - Establish turfgrass on disturbance area for storm discharge to exist. headwall and alongside driveway outside of mitigation areas.

Section 2
 Block 3
 Lot 7-8
 Total Area =
 5.00 Acres

DIRECT WETLAND IMPACT	WETLAND BUFFER IMPACT	WETLAND BUFFER MITIGATION
0 S.F.	13,265 S.F.*	15,795 S.F.

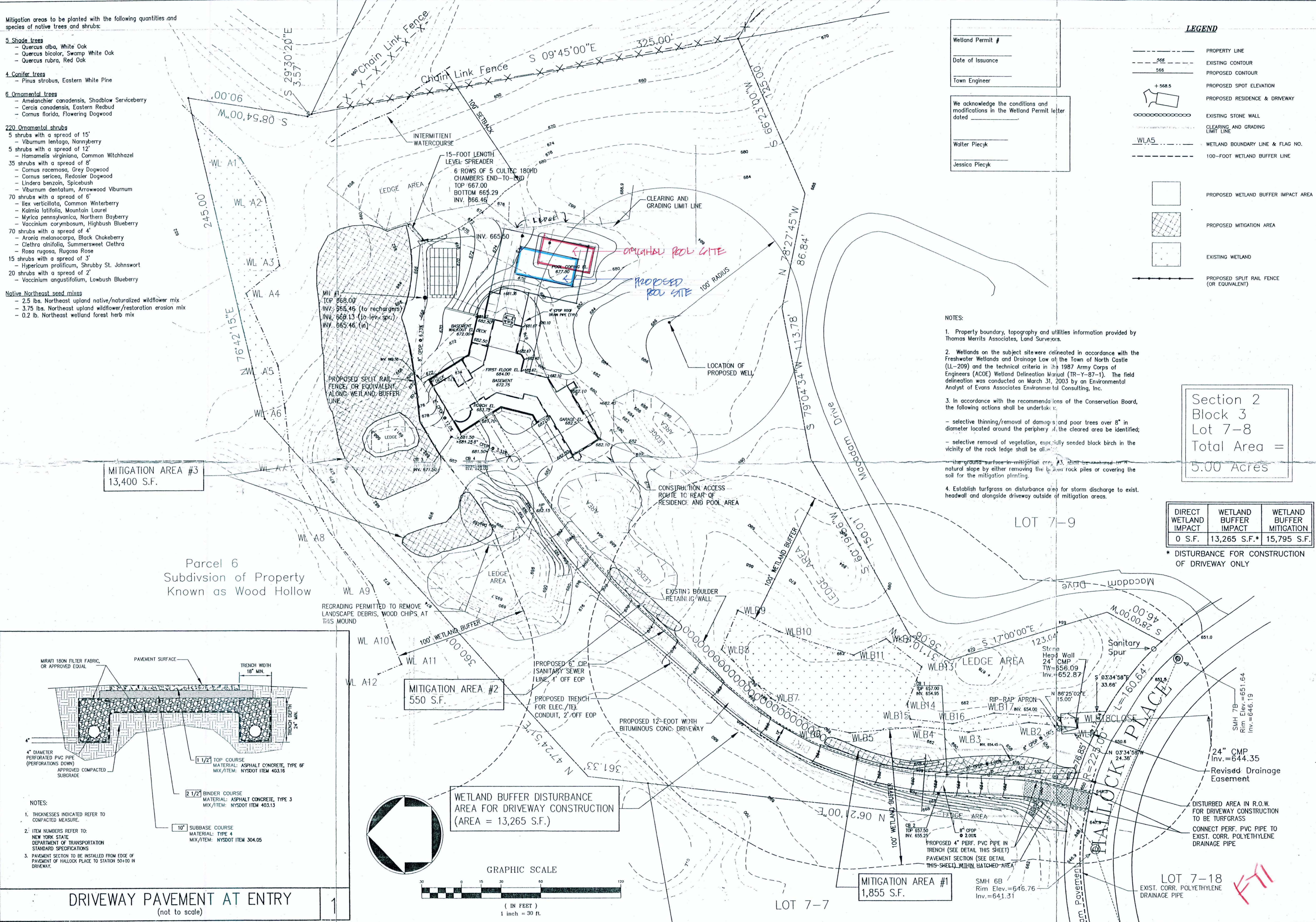
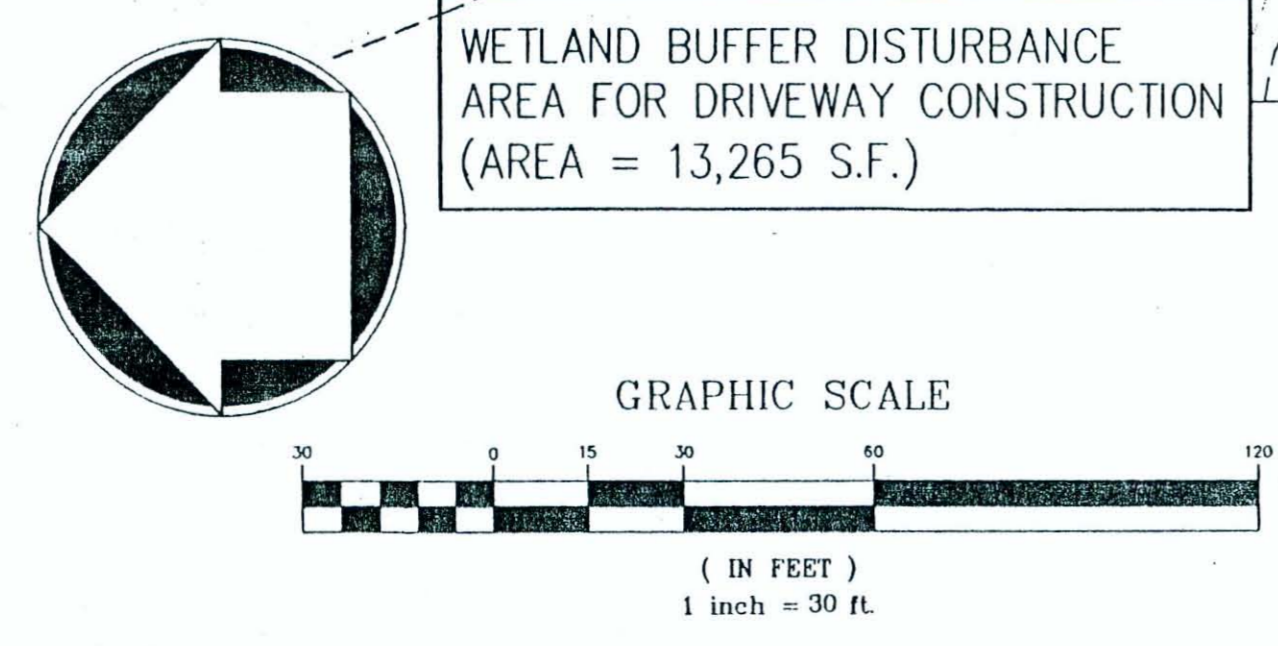
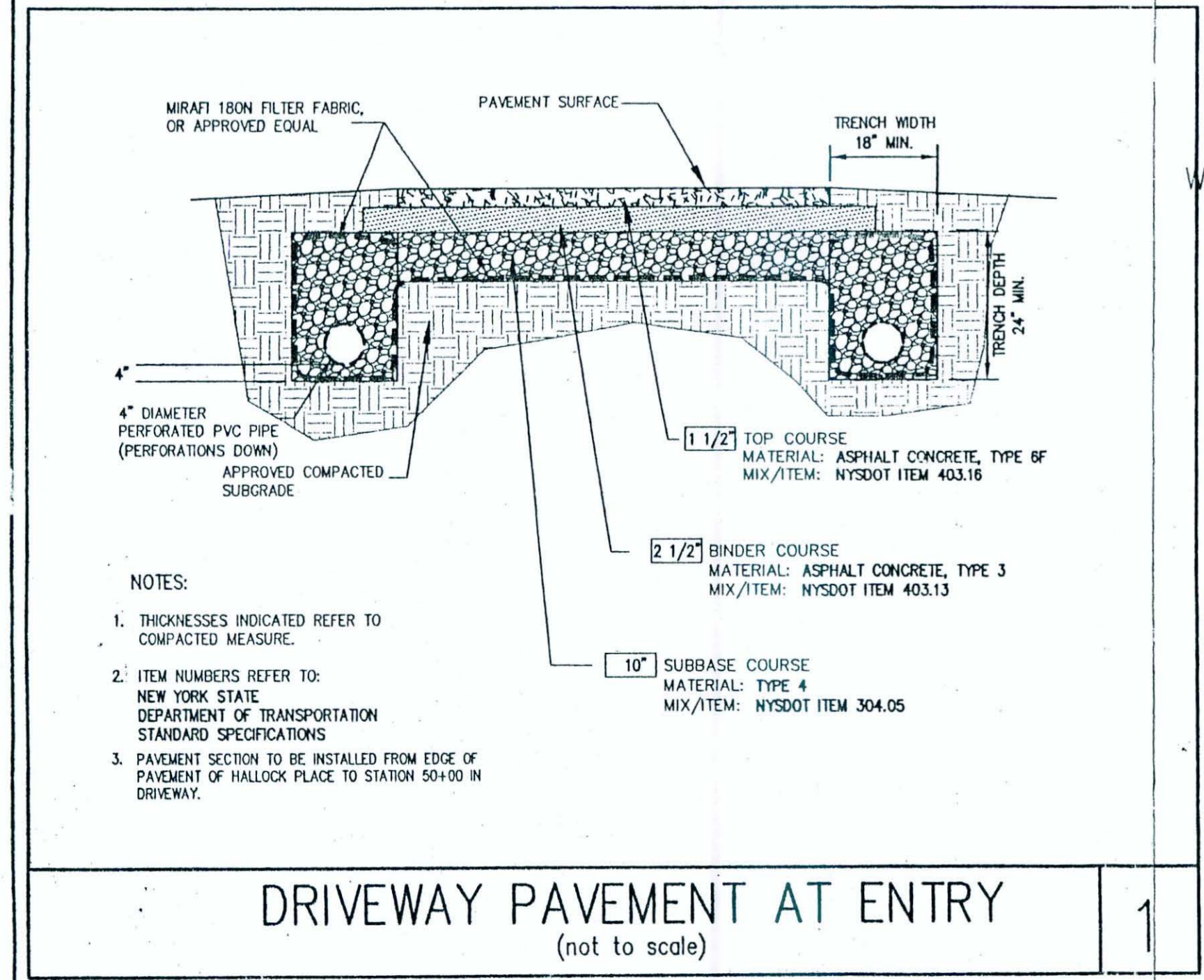
* DISTURBANCE FOR CONSTRUCTION OF DRIVEWAY ONLY

DATE: 08/24/2003
 Rev. 08/24/2003
 Rev. 08/24/2003
 Rev. 08/24/2003
 Rev. 08/24/2003
 Rev. 08/24/2003

REVISIONS: ISSUE NO. 1, 2, 3, 4, 5

ARCHITECT: GORDON KAHN AND ASSOCIATES
 200 West 72nd Street
 New York, NY 10023
 T. (212) 874-0233
 F. (212) 874-0755

ENVIRONMENTAL CONSULTANT: EVANS ASSOCIATES ENVIRONMENTAL CONSULTING, INC.
 205 Amity Road
 Bethany, Connecticut 06248
 T. (203) 383-0690
 F. (203) 383-0196



DWG. TITLE: MITIGATION PLAN

PROJECT NAME: PLOCYK RESIDENCE
 8 Hallock Place
 Town of North Castle, New York

Date: August 8, 2003
 Dwn. by: ALP
 Checked by: BE
 Doc. ID: 8-5-2003
 EAEC Proj. No.: 706
 DWG. NO.: MP-2