



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 1 LEISURE FARM DRIVE - WEISS RES.

### Section III- DESCRIPTION OF WORK:

IN Ground Pool. NO TREES ARE BEING REMOVE. REAR YARD IN LEVEL - LITTLE TO NO GRADING NEEDED. THE FRONT MOTOR COURT WILL BE RETURNED TO LAWN - THIS TO ACCOMODATE LOT COVERAGE. A 6' HIGH - SOLID PRIVACY FENCE IS PROPOSED ON THE EAST SIDE - REAR YARD. THIS FENCE IS TO PROTECT OWNER FROM THE 2 NEAPOLITAN MASTIFF DOGS THAT NEIGHBOR LETS ROAM

Section III- CONTACT INFORMATION: PROPERTY DAY & NIGHT. PROPERTY IS HEAVILY SCREENED.

APPLICANT: FRANK GIULIANO

ADDRESS: 8 PINE TREE DRIVE. KATONAH, NY 10536

PHONE: \_\_\_\_\_ MOBILE: 914.954.4110 EMAIL: FG1ARCH@AOL.COM

### PROPERTY OWNER:

JARED & NADIA WEISS

ADDRESS: 1 LEISURE FARM DR. ARMONK N.Y. 10504

PHONE: \_\_\_\_\_ MOBILE: 914.275.5335 EMAIL: JAREDWEISS9@OUTLOOK.COM

PROFESSIONAL: FRANK GIULIANO - LANDSCAPE ARCHITECT

ADDRESS: 8 PINE TREE DR. KATONAH NY 10536

PHONE: \_\_\_\_\_ MOBILE: 914.954.4110

EMAIL: FG1ARCH@AOL.COM

### Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 101.3/2/12



**Town of North Castle  
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan:

MASTER POOL PLAN - WEISS RES.

Initial Submittal  Revised Preliminary

Street Location:

1 LEISURE FARM DRIVE - ARMONK

Zoning District: R-1A Property Acreage: 1.068 Tax Map Parcel ID: 101.3/2/12

Date: JAN. 29, 2021

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

WEISS RES.

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 1 LEISURE FARM DR Date: 2/29/21  
 Tax Map Designation or Proposed Lot No.: 101.3/2/12

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 46,522
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): 9,646
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):  
 Distance principal home is beyond minimum front yard setback 43  
 x 10 = 430
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 10,046
5. Amount of lot area covered by principal building:  
3680 existing + 0 proposed = 3680
6. Amount of lot area covered by accessory buildings:  
140 existing + 0 proposed = 140
7. Amount of lot area covered by decks:  
880 existing + 0 proposed = 880
8. Amount of lot area covered by porches:  
0 existing + 0 proposed = 0
9. Amount of lot area covered by driveway, parking areas and walkways:  
 existing + proposed = 3,875
10. Amount of lot area covered by terraces:  
0 existing + 400 proposed = 400
11. Amount of lot area covered by tennis court, pool and mechanical equip:  
0 existing + 1035 proposed = 1035
12. Amount of lot area covered by all other structures:  
0 existing + 0 proposed = 0
13. Proposed gross land coverage: Total of Lines 5 – 12 = 10,010

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

Date 1/29/21



**Town of North Castle Building Department**

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

www.northcastleny.com

**Residential Building Permit Application**

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

**Section I-** PROJECT ADDRESS: 1 LEISURE FARM DRIVE DATE: 1/29/21

**Section II-** CONTACT INFORMATION: (Please print clearly. All information must be current.)

APPLICANT: FRANK GIULIANO

ADDRESS: 8 PINE TREE DR. KATONAH, NY 10536

PHONE: \_\_\_\_\_ MOBILE: 914.954.4110 EMAIL: FGIARCH@AOL.COM

PROPERTY OWNER: JARED & HADIA WEISS

ADDRESS: 1 LEISURE FARM DRIVE. ARMONK

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: JAREDWEISS9@OUTLOOK.COM

**Section III-** DESCRIPTION OF WORK: (Any work conducted outside of the house requires approval from the RPRC unless the proposed action is minor in nature and complies with 355-26 C (3) of the Town of North Castle code.)

IN GROUND POOL & SPA

**Section IV-** USE AND OCCUPANCY:

EXISTING/ CURRENT USE: RESIDENTIAL + FAMILY

PROPOSED RESIDENTIAL:

- One Family Dwelling
- Two Family Dwelling
- Townhouse
- Detached Accessory Structure

**Section V-** PERMIT FEES: (\$100 app fee plus \$14 per \$1000, cost of construction and a \$75 CO fee.)


ESTIMATED COST OF CONSTRUCTION (Based on fair market value labor & material) \$ 125,000

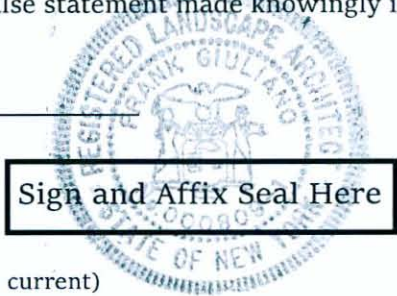
AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is \$20,000 or more.

# Town of North Castle Building Department

## Section V- (Continued)

I FRANK GIULIANO do hereby affirm and certify as follows: (i) I am the architect/engineer (circle one) licensed by the State of New York; (ii) I have reviewed the plans, drawings and specifications for this application and am fully familiar with the proposed construction; (iii) based on my experience, I estimate the total cost of construction including all labor, all materials, all professional fees and all associated costs to be approximately \$ 125,000, and (iv) pursuant to Penal Law 210.45, I acknowledge that a false statement made knowingly is a Class A misdemeanor.

Signature:  Date: 1/29/21



## Section VI- CONTACT INFORMATION: (Please print clearly. All information must be current)

ARCHITECT/ ENG: FRANK GIULIANO. LANDSCAPE ARCHITECT  
ADDRESS: 8 PINE TREE DRIVE KATONAH, NY 10536  
PHONE: \_\_\_\_\_ MOBILE: 914.954 4110  
EMAIL: FG1ARCH@AOL.COM

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

PLUMBER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

ELECTRICIAN: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

## Section VII- APPLICANT CERTIFICATION

I hereby certify that I have read the instructions & examined this application and know the same to be true & correct. All provisions of laws & ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature:  Date: 1/29/21

Town of North Castle Building Department

Section VIII- AFFIDAVIT OF OWNER AUTHORIZATION IF APPLICABLE: (To be notarized)

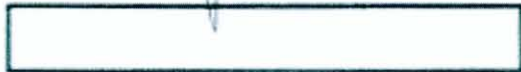
STATE OF NEW YORK )
COUNTY OF WESTCHESTER ) SS:

The applicant Frank Giuliardo has proper consent from said owner to make this application as submitted and said owner agrees to all terms and conditions placed upon same.

Owner's Name (PRINT) Jared Weiss Owner's Signature [Signature]

Sworn to before me this 27 day of January, 20 21

Notary Signature COVID-19



Notary Stamp Here

OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Zone Section Block Lot

Building Department Checklist:

- Does this permit require RPRC approval? Yes No
GC License Work. Comp. Liability. Ins. Disability Two sets of documents
Permit Fee Payment: Check # Cash Credit Card

Name on check:

Received By: Application No.

BUILDING INSPECTOR APPROVAL

Has all the conditions of the RPRC been met? Yes NA

Is a Flood Development permit required? Yes No

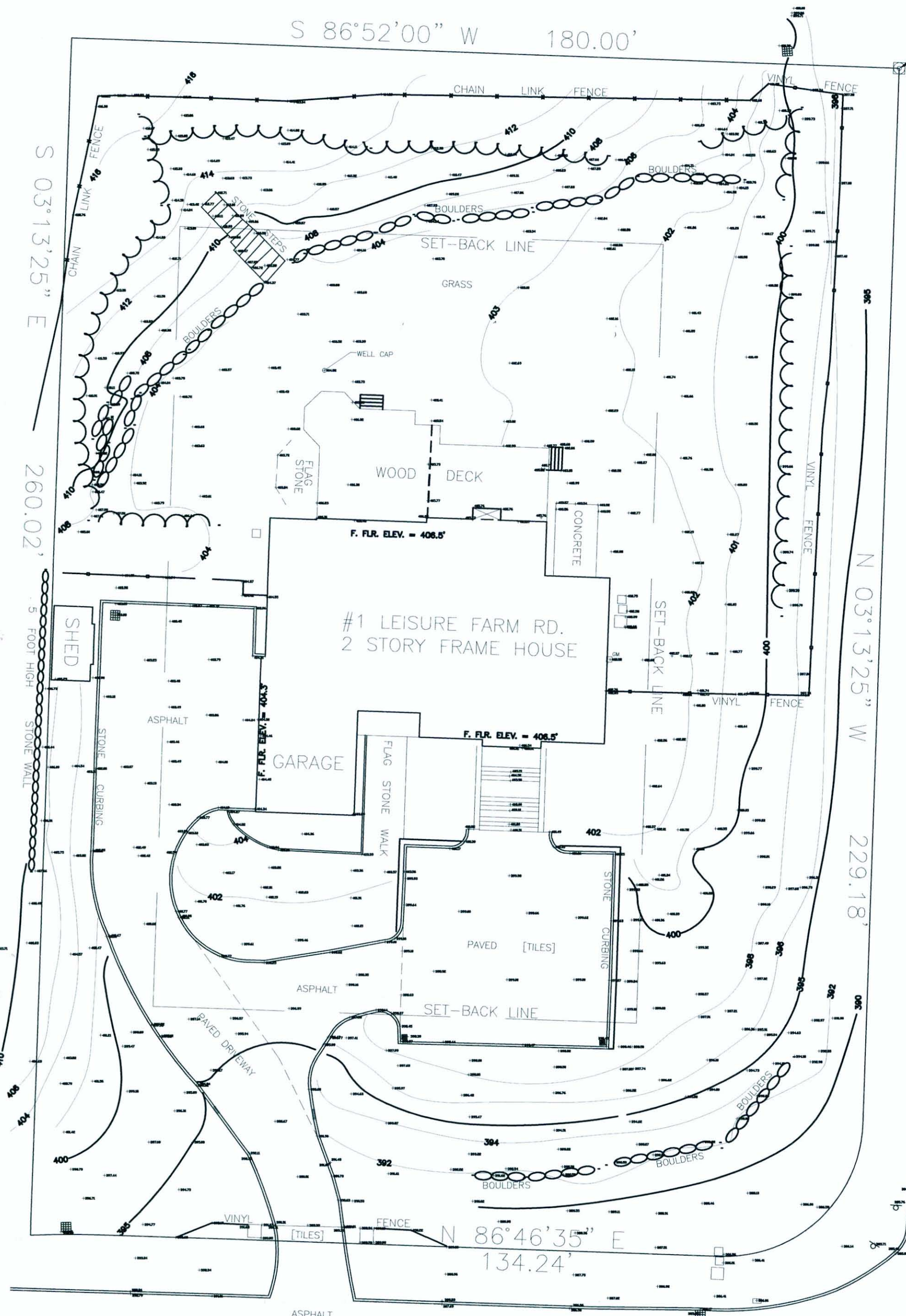
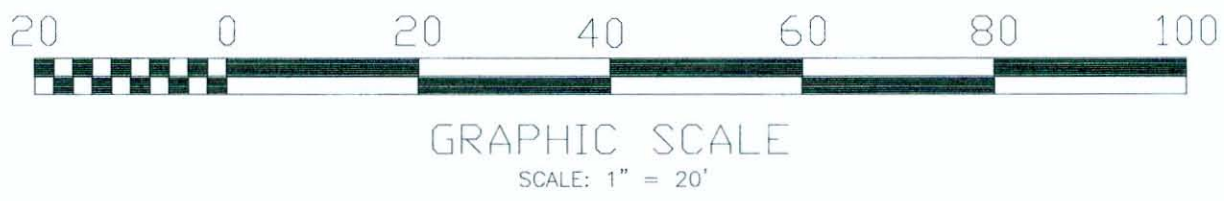
Reviewed By: Date:

Building Inspector Approval: Date:

Conditions:



WELSH ENGINEERING & LAND SURVEYING, P.C.  
 12 CAMPWOODS GROUNDS  
 OSSINING, N.Y. 10562



**LEGEND**

PROPERTY LINE	_____
CURB	=====
EDGE OF PAVEMENT	_____
SET-BACK LINE	_____
BUILDING LINE	_____

COX  
 AVENUE

**NOTES**

1. FIELD SURVEY WAS CONDUCTED OCTOBER 1, 2003 AND JAN. 2021 BY WELSH ENGINEERING & LAND SURVEYING, P.C.
2. BEARINGS AND NORTH ARROW REFER TO CLIENT PROVIDED SURVEY PREPARED BY ESE ENGINEERING, DATED 10/16/00.
3. THIS IS AN AS-BUILT SURVEY. DRAINAGE EASEMENT (FROM SUBDIVISION) IS NOT SHOWN.
4. THIS SURVEY IS SUBJECT TO ANY STATE OF FACTS A FULL AND CURRENT TITLE REPORT MAY REVEAL.

Unauthorized alteration or addition to this survey is a violation of section 7209, subdivision 2, of the New York State Education Law. Copies of this survey map not bearing the land surveyor's inked or embossed seal shall not be considered to be a valid copy.

*FYI*

LEISURE FARM ROAD

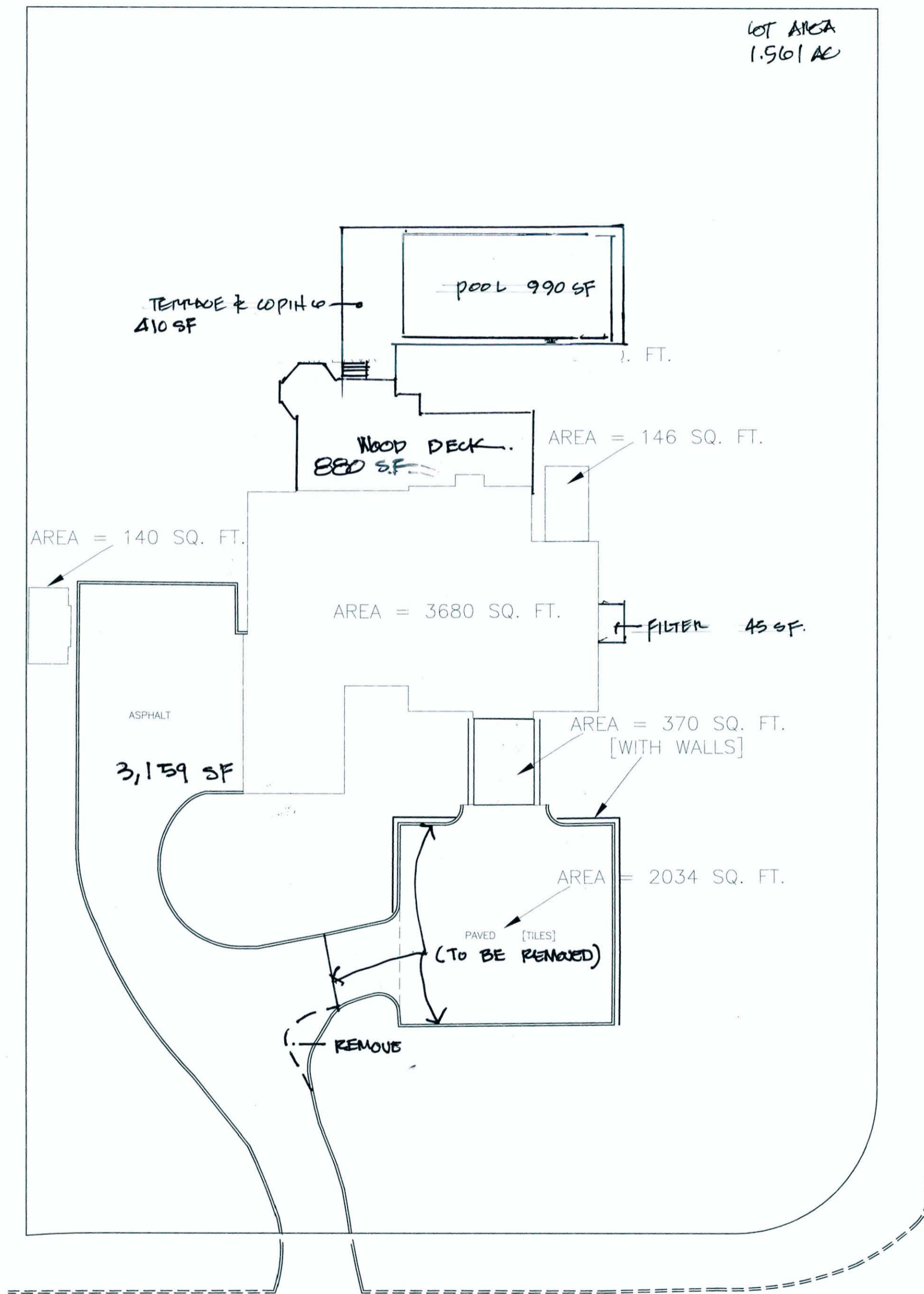
CONCRETE MONUMENT

DATE: \_\_\_\_\_  
 WILLIAM J. WELSH N.Y. STATE LAND SURVEYOR LIC. # 49626

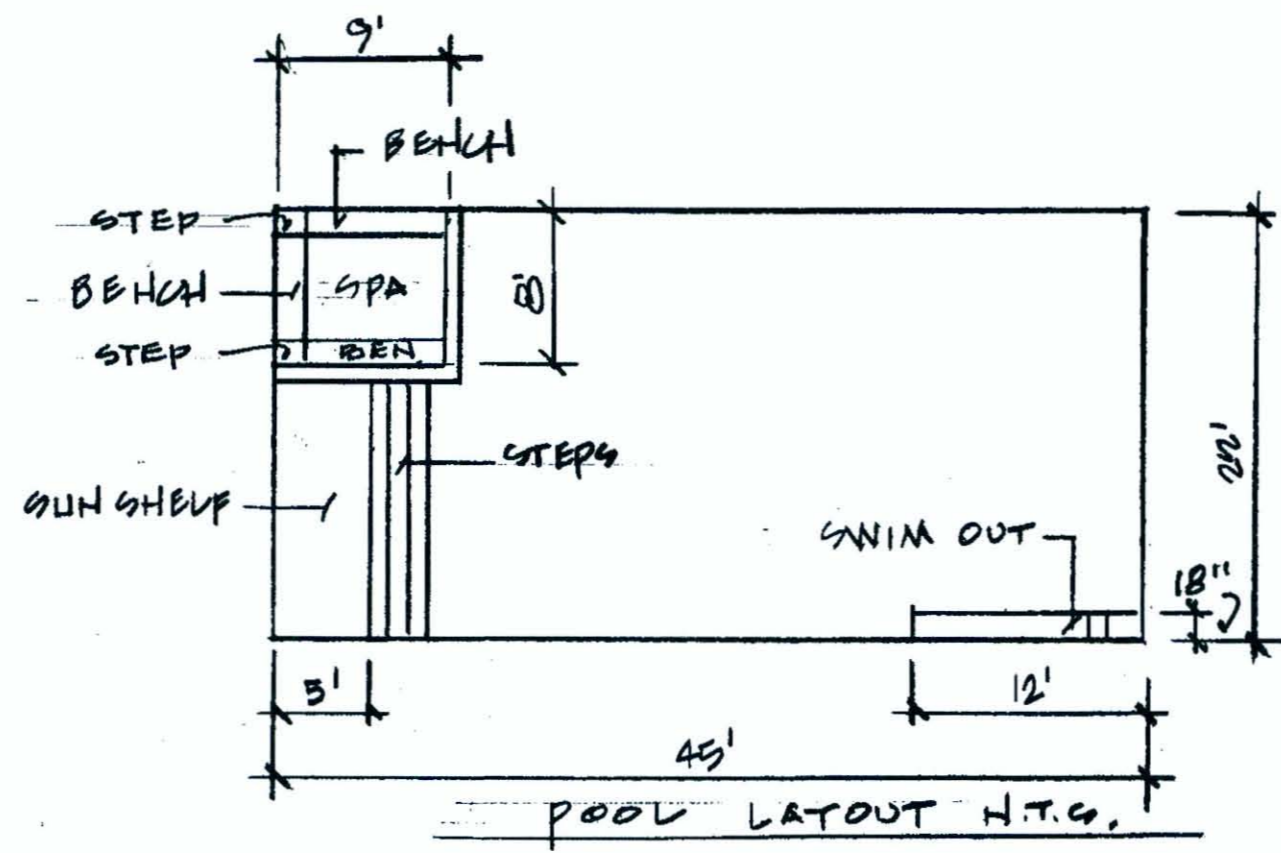
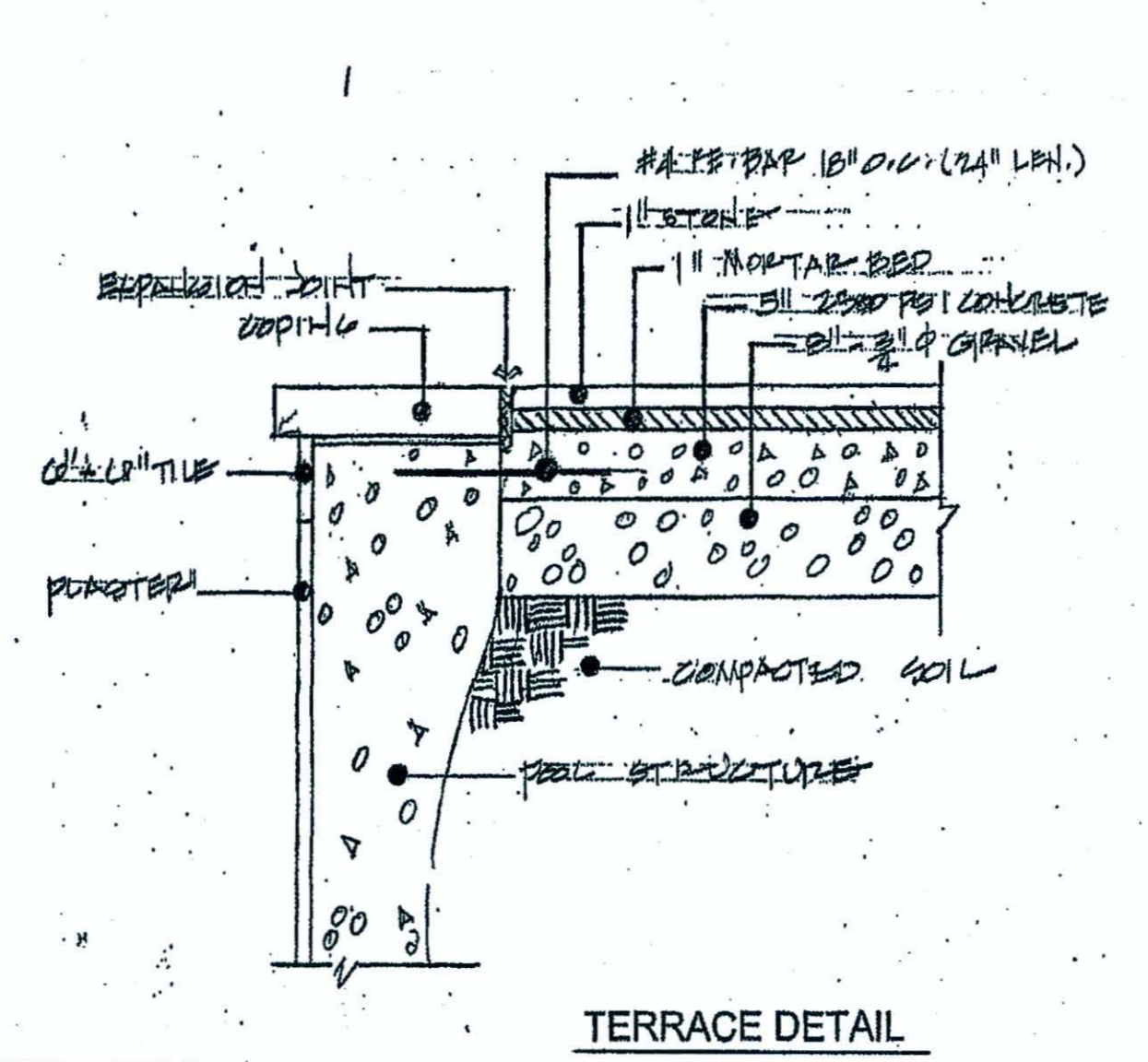
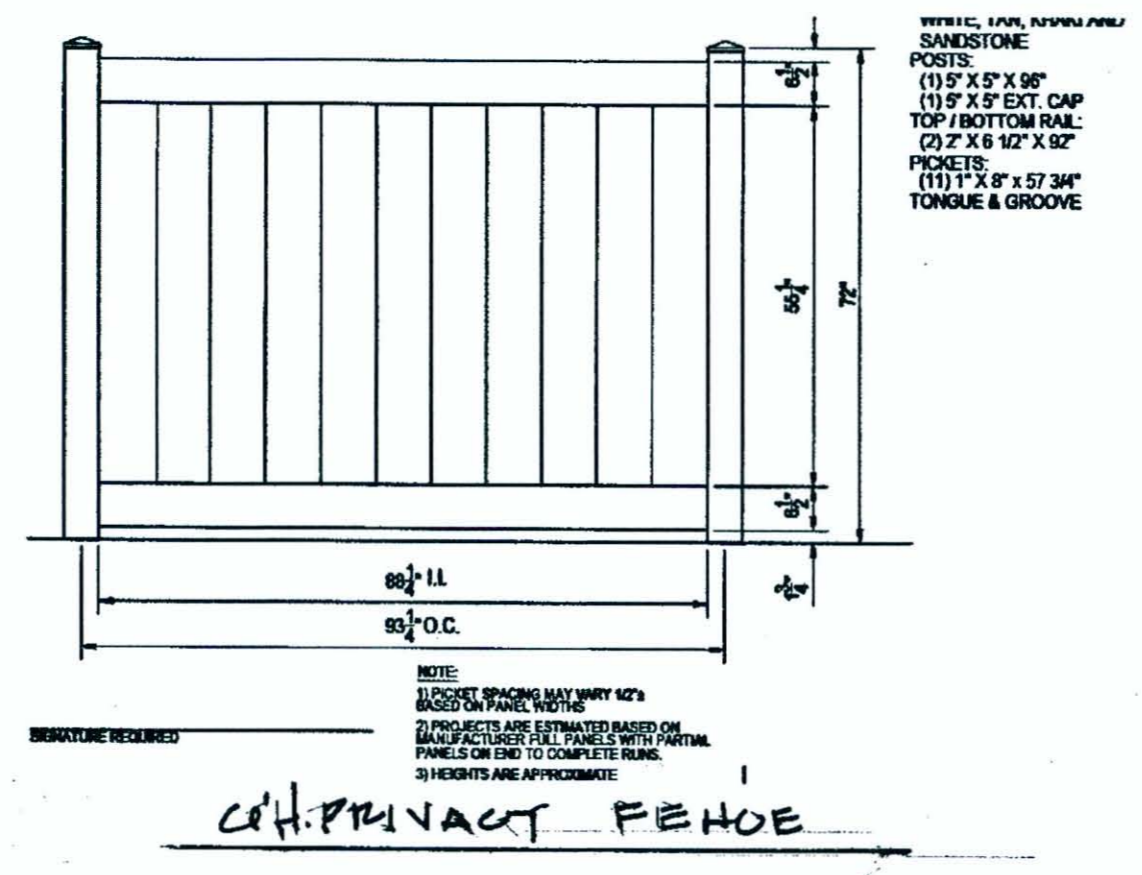
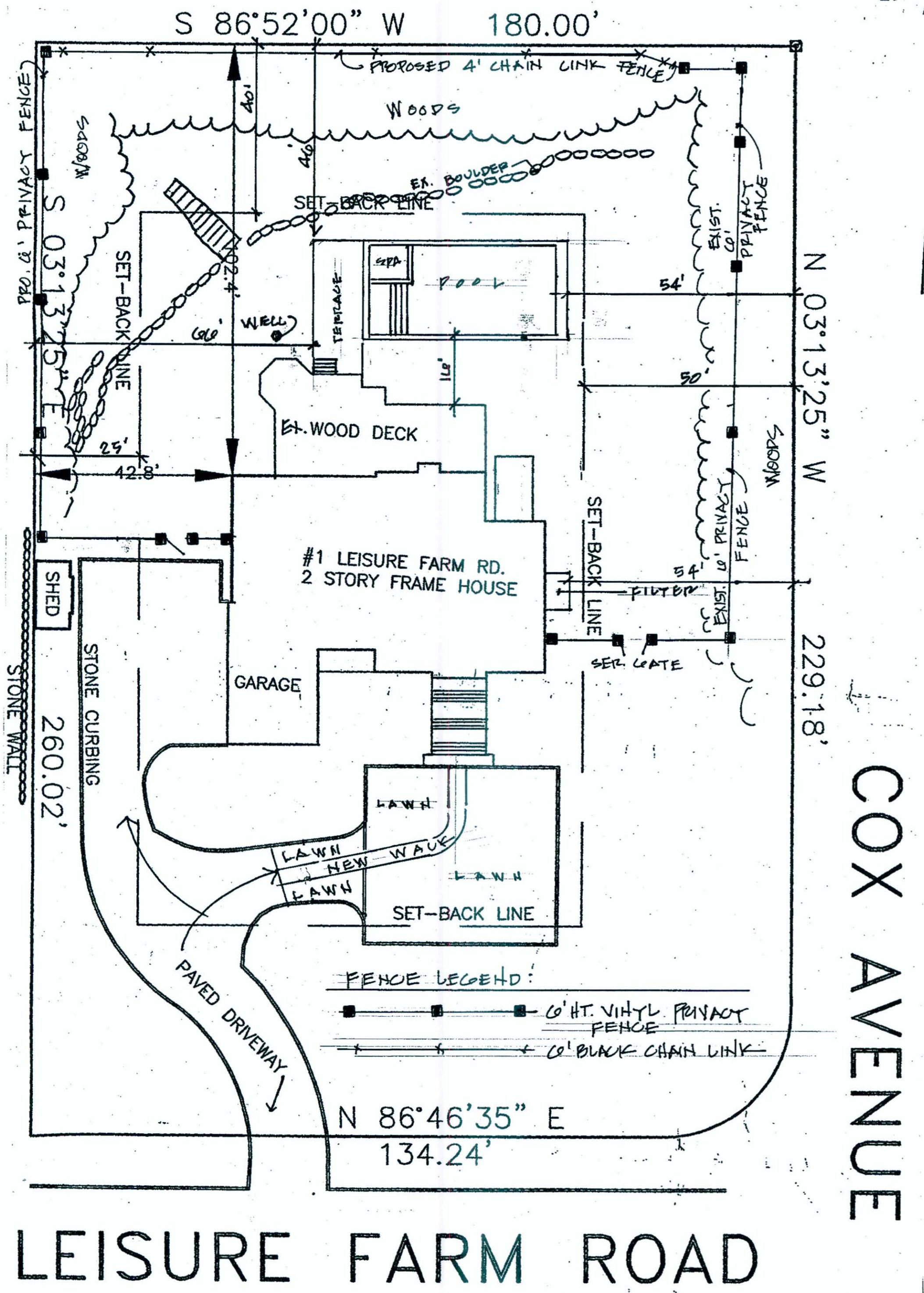
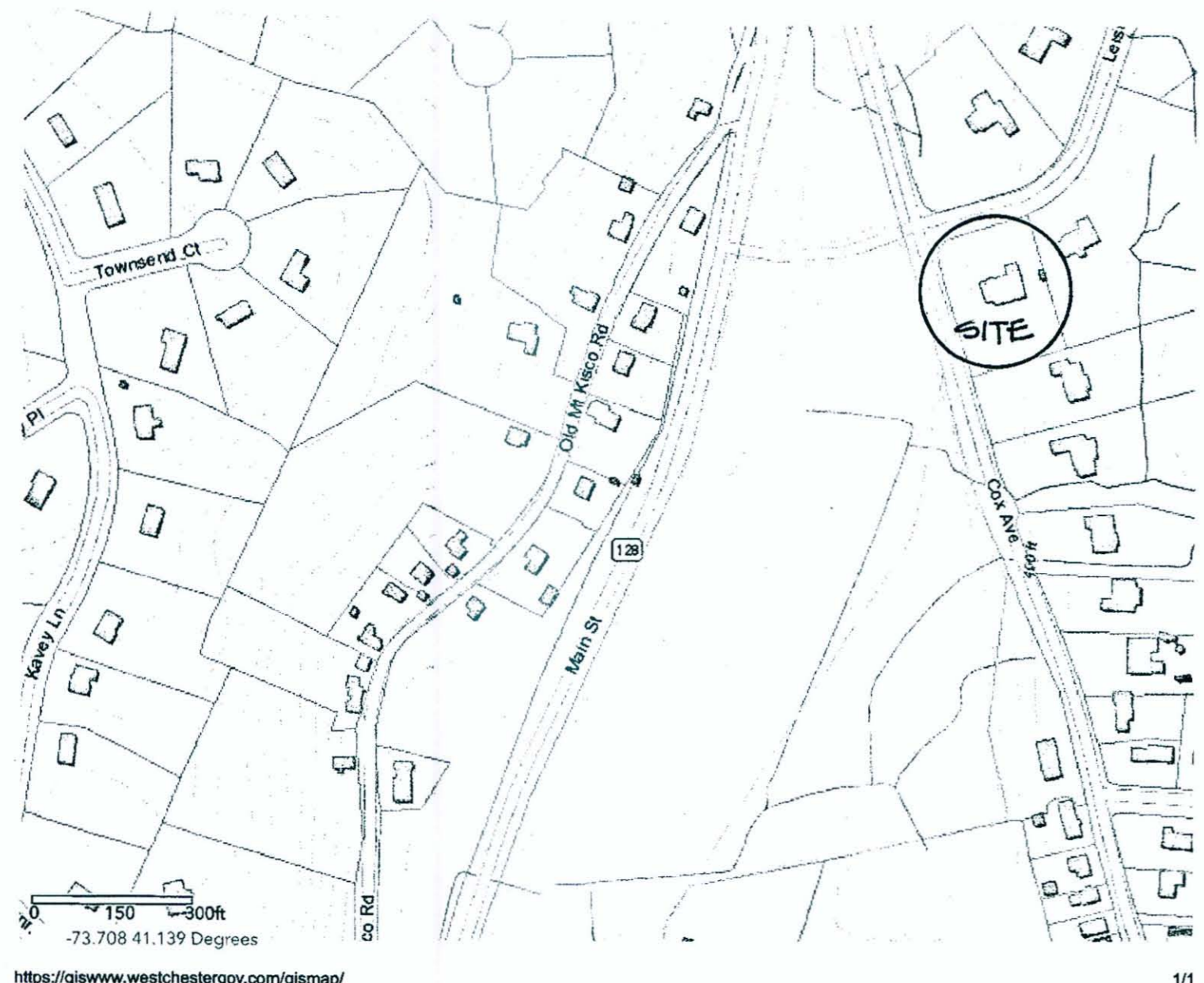
SURVEY PREPARED FOR: <i>NADIA &amp; JARED WEISS</i>		SHEET NO. 1 OF 1
DATE: JAN. 16, 2021	<b>AS-BUILT SURVEY OF #1 LEISURE FARM RD. ARMONK, N.Y.</b>	PROJ. NO. N526.00
DRAWN BY: J.H.		JOB # N526.00
CHK BY: W.J.W.		CAD FILE: N52600ASB.DWG
SCALE: 1" = 20'		



LOT AREA  
1.561 AC



F-11



**POOL NOTES:**

**IN-GROUND POOL DESIGNED IN CONFORMANCE WITH ANSI/APSP/ICC 6 PER SECTION R326.3.2 OF THE 2020 NYS RESIDENTIAL CODE.**

**IN-GROUND SPA DESIGNED IN CONFORMANCE WITH ANSI/APSP/ICC 6 PER SECTION R326.3.3 OF THE 2020 NYS RESIDENTIAL CODE.**

**POOL AND SPA ALARMS:** ALL DOORS, OPENING TO THE POOL ENCLOSURE SHALL BE FITTED WITH A "POOLGUARD" ALARM #ADPT-WT, WHICH MEETS NYS POOL BARRIER CODE. ASTM F2208, And as per NYS R326.7 per 2020 NYS residential code.

POOL COVER SHALL COMPLY WITH ASTM F1346.

ALL WINDOWS WITHIN THE POOL ENCLOSURE SHALL BE FITTED WITH A "WINDOW STOP" SO THAT WINDOWS ARE RESTRICTED TO LESS THAN 4" WHEN OPEN.

ALL WINDOWS AND DOORS SHALL MEET NYS 2020 NYSRBC.

**PORTABLE WATER PROTECTION:** POOL WATER AUTO FILL: THE "POOL MISER" WATER AUTO FILL IS EQUIPPED WITH A BUILT IN CHECK VALVE - TO PROTECT POTABLE WATER SUPPLY. AS PER SECTION P2902 OF THE 2020 NYS RESIDENTIAL CODE.

ENTRAPMENT PROTECTION FOR SWIMMING POOL AND SPA SHALL MEET SECTION R326.5 OF THE 2020 NYS RESIDENTIAL CODE.

ALL SUCTION FITTINGS SHALL COMPLY WITH ANSI/APSP/ICC 7 PER SECTION R326.5.1 OF THE 2020 NYS RESIDENTIAL CODE.

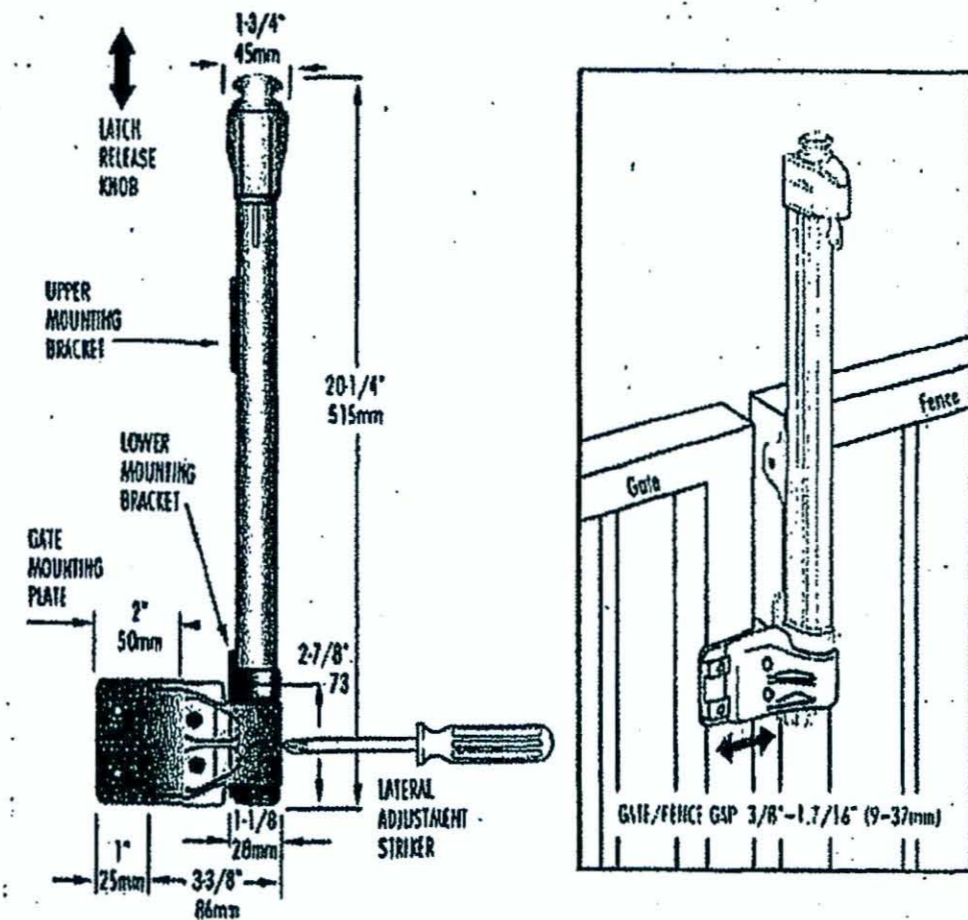
ATMOSPHERIC VACUUM RELIEF SHALL COMPLY WITH ANSI/A112.19.17 OR AN APPROVED GRAVITY DRAINAGE SYSTEM PER SECTION R326.6.3 OF THE 2020 NYS RESIDENTIAL CODE.

**TEMPORARY FENCING:** TEMPORARY FENCING SHALL BE INSTALLED DURING CONSTRUCTION AT THE PERIMETER OF THE POOL CONSTRUCTION AREA. SAID FENCE SHALL BE 4' HIGH AND NON-CLIMBABLE - FENCE SHALL MEET NYS RESIDENTIAL CODE FOR POOL ENCLOSURES. SAID FENCE CAN ONLY BE REMOVED WHEN THE PERMANENT FENCE - MEETING POOL ENCLOSURE CODE, IS INSTALLED. AS PER SECTION R326.4.1 OF THE 2020 NYS RESIDENTIAL CODE.

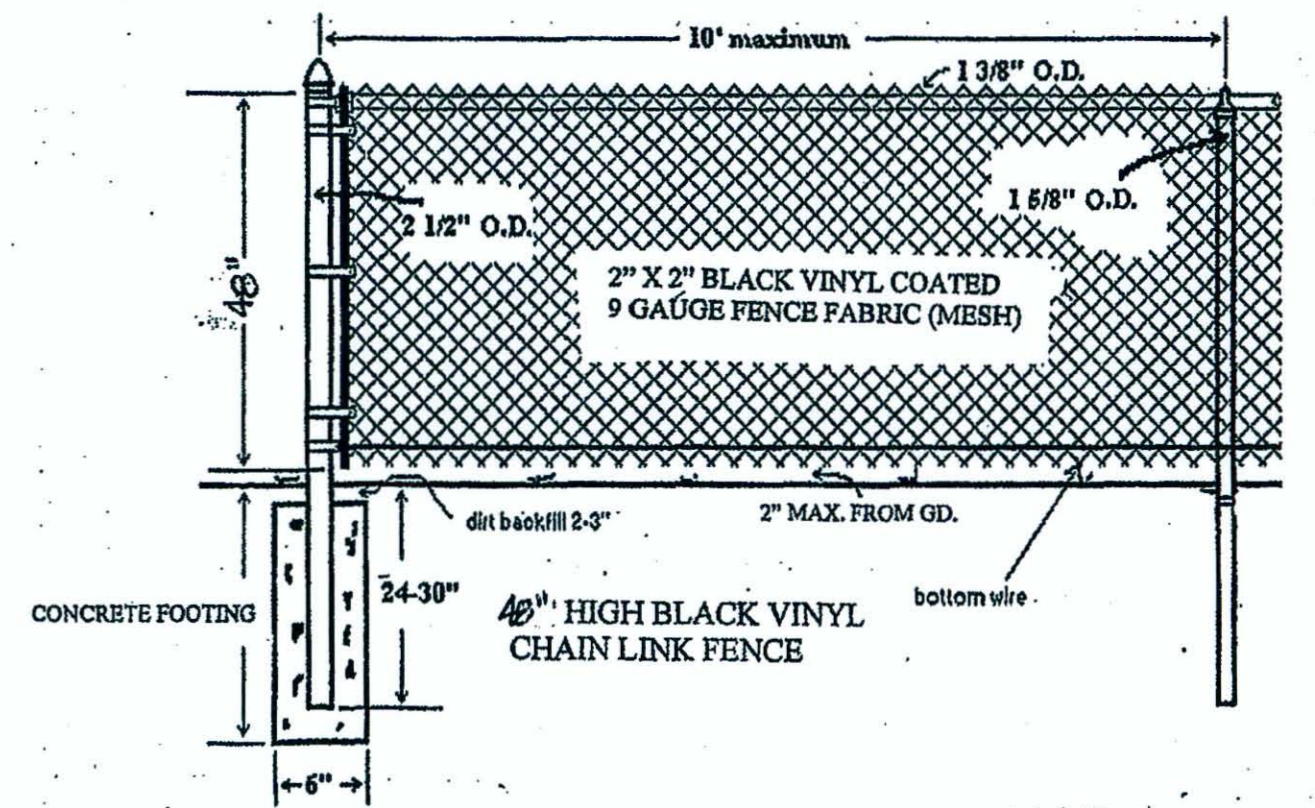
**PERMANENT POOL FENCE:**

There shall be installed and maintained on said lot, and completely enclosing the pool and pool equipment pad, fencing and gates. Said fencing shall meet (NY R326.4.2), **But that shall be 4'-0" high, black, vinyl coated chain link fence or 6'-0" high privacy fence, color shall be gray** - as noted on the plan. Hardware and supports shall also be black vinyl coated. Gates shall be self-closing and self-latching AND LOCKABLE, designed to keep and capable of keeping such gates securely closed and locked at all times, when not in actual use. Latch shall be Magna-Latch as approved by 2020 NYS pool enclosure code. Gates shall open away from pool area as per 2020 NYS code. Bottom of the fence shall not exceed 2" from finished grade. AS PER (NYS R326.4.2.3 THROUGH NYS R326.4.2.7.3)

CONTRACTOR SHALL PROVIDE PROTECTION OF ADJOINING PROPERTIES AS PER B3307.1 of the 2015 international building code.



GATE MAGNA-LATCH (top pull)  
As per NYS code



**SWIMMING POOL AND SPA SPECIFICATIONS:**

**PERMITS:** Pool contractor shall submit their own, signed and sealed, engineered construction drawings and engineering drawings to obtain all necessary permits from the Town of North Castle, NY. All Permit fees by owner.

**GENERAL:** Any questions related to pool design or layout shall be directed to this office. Pool contractor shall supply and install all equipment necessary to operate the pool and all related equipment, including all electrical and plumbing connections. Propane or Gas service and connections by owner. Pool shall be grounded in strict accordance with the latest addition of AEI 680 of the national electrical and state board of fire underwriters. No pool terrace included in this proposal. Pool contractor shall install silt fencing.

**STRUCTURE:** Reinforcing bars for pool and spa shall be #4 bars, 12" on center both vertically and horizontally, in walls and floor where pool is 4 foot or less in water depth, and 6" on center both vertically and horizontally, in walls and floor where pool is more than 4 foot in water depth. Shot-crete shall be 4000 PSI, min., pool walls shall be 8" minimum thickness. Pool interlocking bond beam shall be 12" wide minimum. Pool contractor shall grade within 15' of the proposed pool. Pool is 22' x 45'

**DEPTH:** Pool water depths shall be 4'-0" in shallow end and 6'-6" in deep end or as per owner. Spa shall be 48" in water depth.

**EQUIPMENT:** Two (2) skimmers permanently set into bond beam, and a minimum of four returns, by Hayward products, Inc. or approved equal. FIVE (5) JANDY "NICHELESS LED LIGHTS" GEN. 2 underwater pool lights, locations as directed by the Architect. All electrical switches including Jandy panel shall be located in the house as directed by owner. Filter shall be a Jandy, CL-580 Pro Series Cartridge filter. All pool and spa pumps shall be Jandy VS FloPro 2.7 HP Pumps or approved equal, High Performance pumps. A 399,000 BTU, Jandy propane or natural gas pool heater shall be installed. Salt chlorine generating system, sized to pool.

Eight (8) spa jets shall be installed in spa, installed to client requirements, two side wall intakes (not in floor), spa jets shall be connected to two (2) 2 HP full rated, Hayward spa jet pumps. One (1) spa air bubbler. A Jandy "Aqua Link" 8, automatic computer system, installed in the house. Spa wall coping shall match pool coping, except spa coping shall be finished on inside and outside edges, and be 10" wide. Entire spa coping is spillway. Pool water by owner. An automatic pool filter unit by Pool Miser in pool and "check Valve" by pool contractor as per Code. One (1) JANDY "NICHELESS LED" underwater spa light. One Polaris 3900 Sport, with 3/4 HP pump, installed. Two GFI outlets at pool side, and one GFI at filter pad, by pool contractor. A spa side 4 function controller. A "Meyco Lite" mesh (green) winter safety swimming pool cover, installed, shall be included in the pool bid.

Installation of an automatic pool cover, by Cover Star, or approved equal, under coping tracks included, concrete cover box to be surfaced in stone to match pool coping, cover color to be selected by owner. Two anti-vortex 8" main drain with hydrostatic pressure valve in pool. All equipment shall be the latest models available and shall be approved by the architect. One each of the following: hand skimmer, wall brush, and manual cleaner unit with a 16' telescopic pole handle.

**TILE, PLASTER and COPING:** Tile in pool and spa, shall be a single row of 6" x 6" frost-proof tile, as selected by owner from samples supplied by Landscape Architect and Pool Co. Tile grout color shall match pool plaster color. "Diamond Brite" - Watercolor series" interior finish. Coping shall be Italian BlueStone "Blue Lake" stone, a consistent 2" thick, and 14" wide, Thermal surface and be "Eased Edge" or "Rock Face" coping. Both shallow end corners shall be "L" units at shallow end, no miter or butt joints.

**OPTIONS:** Pool contractor shall provide options for the following:

1. Jandy "App," installed for remote WIFI operation. WIFI connection by owner.
2. One (1) bronze or stainless-steel umbrella sleeve installed in sun shelf.
3. Removal of excavated material from the site.

**MASTER POOL PLAN**

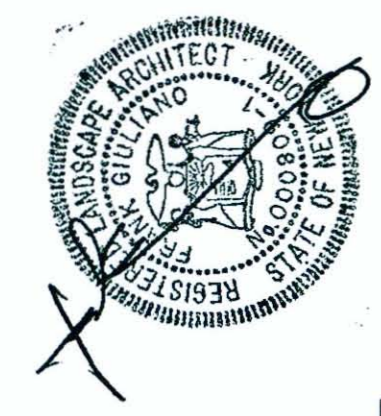
WEISS RESIDENCE  
1 LEISURE FARM DRIVE  
ARMONK, NY 10504

SEC. 101.3 - BLOCK 2 - LOT 12  
FIRE AND AMB. DIS. #2  
Byram Central School District

ZONE: R-1A JANUARY 29, 2021  
LOT AREA: 46,522 SF - 1.068 ACRES'

FRANK GIULIANO - LANDSCAPE ARCHITECTS  
8 PINE TREE DRIVE, KATONAH, N.Y. 10536  
PH: 914.954.4110 FGIARCH@AOL.COM

SURVEY BY:  
WELSH ENGINEERING AND LAND SURVEYING  
DATED: JANUARY 17, 2021



**ZONING CHART FOR POOL:**

ITEM	REQUIRED/ PERMITTED	PROPOSED
R-1A ZONE		
LOT SIZE:	43,560	46,522 (existing)
REAR SETBACK	40'	46'
SIDE SETBACK	25'	66'
ROAD SETBACK	50'	54'
FILTER	50'	54'
GROSS LAND. COV.	10,046 SF	10,010 SF