

**Section I-** PROJECT

## TOWN OF NORTH CASTLE

### WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair Telephone: (914) 273-3000 x 43 Fax: (914) 273-3554 www.nortcastleny.com

### RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

14 COLE DRIVE, NORTH CASTLE, NY 10504

ADDR	ESS:
Section	III- DESCRIPTION OF WORK:
	Proposed accessory Building Pool House with bathroom, changing room, kitchenette at existing pool area. Proposed an exterior Hot tub and propane fire pit and Grill at existing pool deck.
	a III- CONTACT INFORMATION:  ANT: SHAHIN BADALY
ADDRESS	s: 2 WILSON PL, MT. VERNON, NY 10550
PHONE:	
PROPER	TTY OWNER: Dev Brar
ADDRESS	s: 14 Cole dr. North Castle , NY 10504
PHONE:	317-334-7777 <sub>MOBILE:</sub> 262-729-0309 <sub>EMAIL:</sub> drbrar@homecareforyou.com
PROFES	SIONAL:: SHAHIN BADALY
ADDRESS	s: 2 WILSON PL, MT. VERNON, NY 10550
PHONE:	914-465-9010 MOBILE:
EMAIL:	SHAHIN@BADALY.COM
	ı IV- PROPERTY INFORMATION:
Zone:	



### Town of North Castle Residential Project Review Committee

17 Bedford Road Armonk, New York 10504 (914) 273-3542 (914) 273-3554 (fax)

### RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Projed	ct Name on Plan: POOL HOUSE
■Init	ial Submittal Revised Preliminary
Street	t Location: 14 COLE DRIVE ,NORTH CASTLE ,NY 10504
	g District: R2A Property Acreage: 9.265 Tax Map Parcel ID: 94 04-1-9 02/02/2021
DEPA	ARTMENTAL USE ONLY
Date F	Filed: Staff Name:
Prelin Items	ninary Plan Completeness Review Checklist marked with a are complete, items left blank are incomplete and must be leted, "NA" means not applicable.
<u> </u>	Plan prepared by a registered architect or professional engineer
<u></u> 2.	Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
<b>□</b> 3.	Map showing the applicant's entire property and adjacent properties and streets
<b>□</b> ↓.	A locator map at a convenient scale
<u> </u>	The proposed location, use and design of all buildings and structures
<b></b> 6.	Existing topography and proposed grade elevations
<b></b> 7.	Location of drives
3.	Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

### RPRC COMPLETENESS REVIEW FORM

Page 2

<b>□</b> 9. [	Description of method of water supply and sewage disposal and location of such facilities
	The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
	Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
Q	If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
· · · · · · · · · · · · · · · · · · ·	If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.
Plannin	information about the items required herein can be obtained from the North Castle and Department. A copy of the Town Code can be obtained from Town Clerk or on the Castle homepage: <a href="http://www.northcastleny.com/townhall.html">http://www.northcastleny.com/townhall.html</a>
	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



# TOWN OF NORTH CASTLE WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

#### PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

#### GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Applic	eation Name or Identifying Title:	14 COLE DRIVE	Date:	01/28/2021
Tax M	ap Designation or Proposed Lot No.	94.04-1-9		
Gross	Lot Coverage			
1.	Total lot Area (Net Lot Area for l	Lots Created After 12/13/06):		9.265 AC= 403,584 S.F.
2.	Maximum permitted gross land of	coverage (per Section 355-26.C(1)(b)):		37,005 S.F.
3.	BONUS maximum gross land co	ver (per Section 355-26.C(1)(b)):		
	Distance principal home is beyon  160' x 10 =	d minimum front yard setback		1,600 S.F.
4.	TOTAL Maximum Permitted g	ross land coverage = Sum of lines 2 and	13	38,605 S.F.
5.	Amount of lot area covered by <b>pr</b> 7,280 existing + 0			7,280
6.	Amount of lot area covered by acceptance			1,360
7.	Amount of lot area covered by de 2,558 existing + 184	ecks: proposed =		2,742
8.	Amount of lot area covered by <b>po</b> 1,025 existing + 0			1,025
9.	Amount of lot area covered by <b>dn</b> 13,410 existing + 0	riveway, parking areas and walkways: proposed =		13,410
10.	Amount of lot area covered by <b>te</b> o existing + 226			226
11.	Amount of lot area covered by <b>te</b> 630 existing + 0	nnis court, pool and mechanical equip: proposed =		630
12.	Amount of lot area covered by <b>al</b> 2,355 existing + 0	l other structures: proposed =		2,355
13. Pro	pposed gross land coverage:	Total of Lines $5 - 12 =$		27,818
If Line the pro does n	e 13 is less than or eq ual to Line 4, y bject may proceed to the Residential ot comply with the Town's regulation ure and Seal of Professional Preparation	our property the Town's review. I		and coverage regulater than Line 4 your



# TOWN OF NORTH CASTLE WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

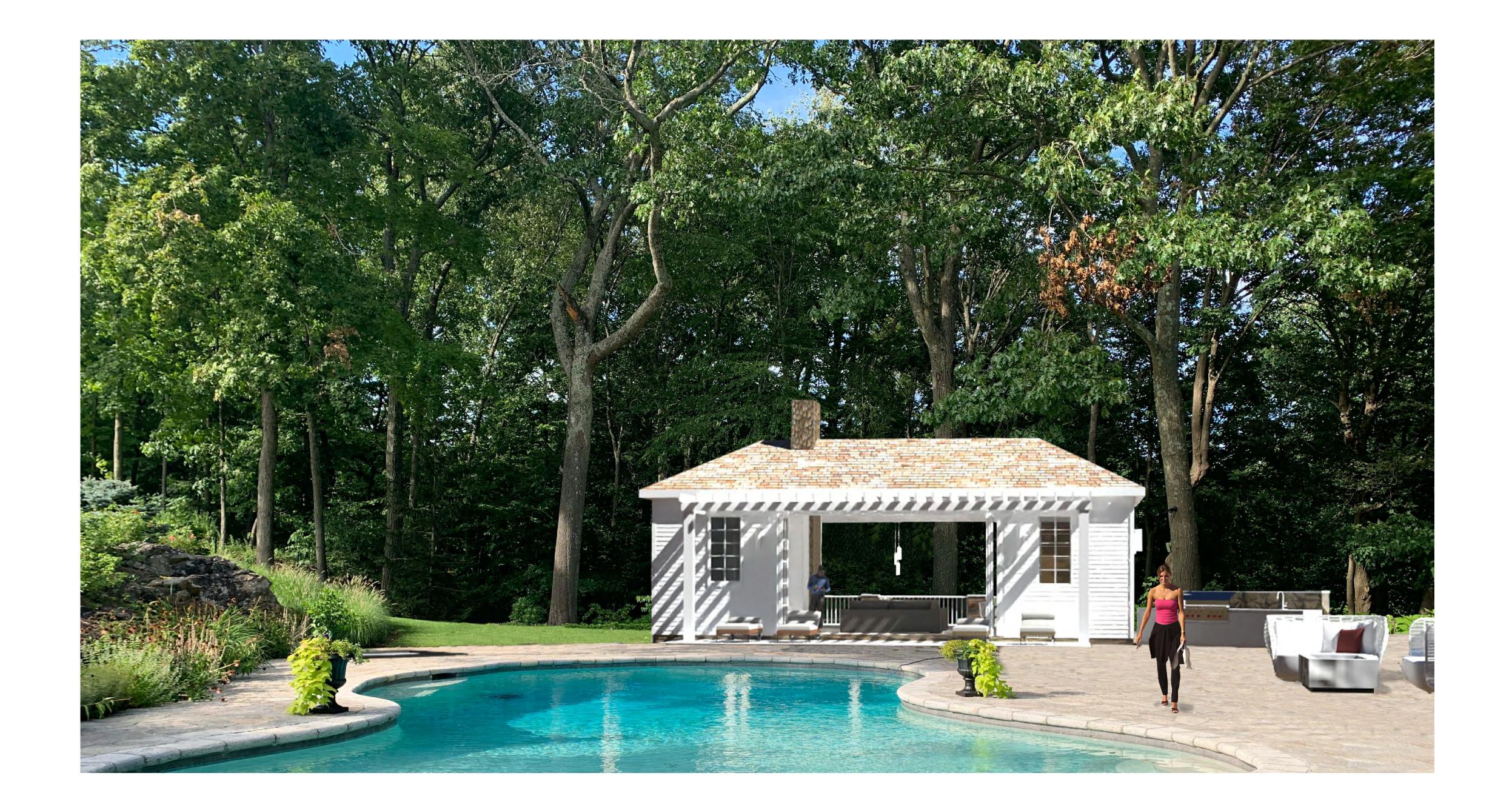
January 29, 2019 Telephone: (914) 273-3542 Fax: (914) 273-3554

www.northcastleny.com

# Adam R. Kaufman, AICP Director of Planning

### FLOOR AREA CALCULATIONS WORKSHEET

Applica	tion Name or Identifying Title:	POOL HOUSE	Date:	02-02-21
Tax Ma	p Designation or Proposed Lot No.:	94 04 -1 -9		
Floor A	<u>rea</u>			
1.	Total Lot Area (Net Lot Area for L	ots Created After 12/13/06):		403,583.40 sqf
2.	Maximum permitted floor area (pe	er Section 355-26.B(4)):		25,714.50 sqf
3.	Amount of floor area contained wind 6.733.77 existing + 0			6,733.77Sqf
4. -	Amount of floor area contained with 5,751.60 existing + 0			5,751.60 Sqf
5. -	Amount of floor area contained wing 880.07 existing + 0			880.07 Sqf
6. -		thin porches capable of being enclosed: _ proposed =		1,071.18 Sqf
7. -	Amount of floor area contained with 2,238.16 existing + 0	thin basement (if applicable – see definition): _ proposed =		2,238.16 Sqf
8.	Amount of floor area contained wing 2,039.47 existing + 0	thin attic (if applicable – see definition): _ proposed =		2,039.47 Sqf
9. -	Amount of floor area contained with 247.04 existing + 800			1,047.04 Sqf
10. Pro	posed floor area: Total of Line	s 3 – 9 =		1 <u>9</u> ,761.29 Sqf
and the p	project may proceed to the Residential oposal does not comply with the Toy	02		
	Value			



# POOL HOUSE

14 COLE DR. ARMONK NY 10504

BADALY ENGINEERING PLLC 2 WILSON PLACE, MT. VERNON, NY 10550

BADALY.COM

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<u>RE\</u>	/ISIONS:	
#	DATE	DESCRIPTION

PROJECT TITLE: PROPOSED POOL HOUSE:

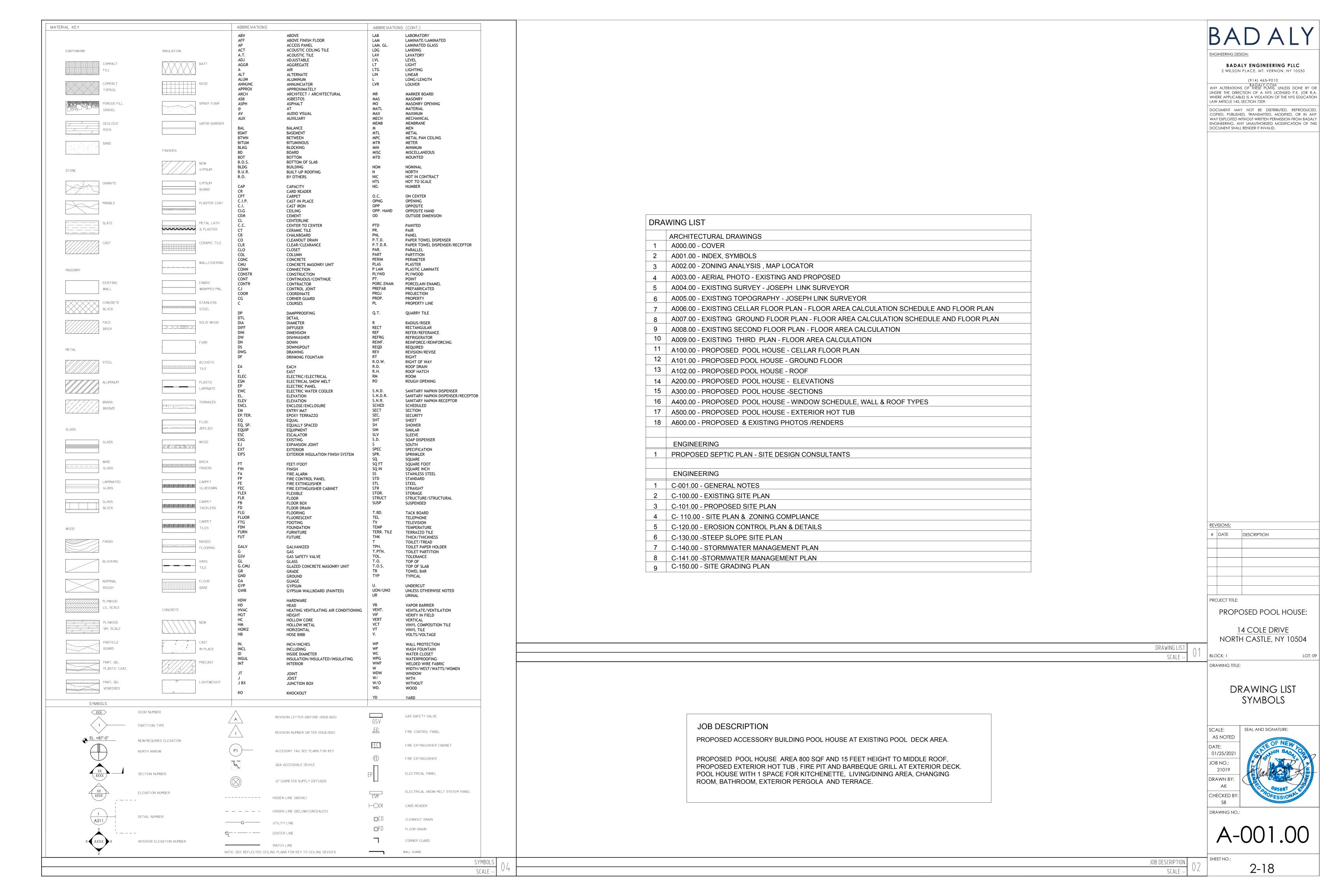
14 COLE DRIVE NORTH CASTLE, NY 10504

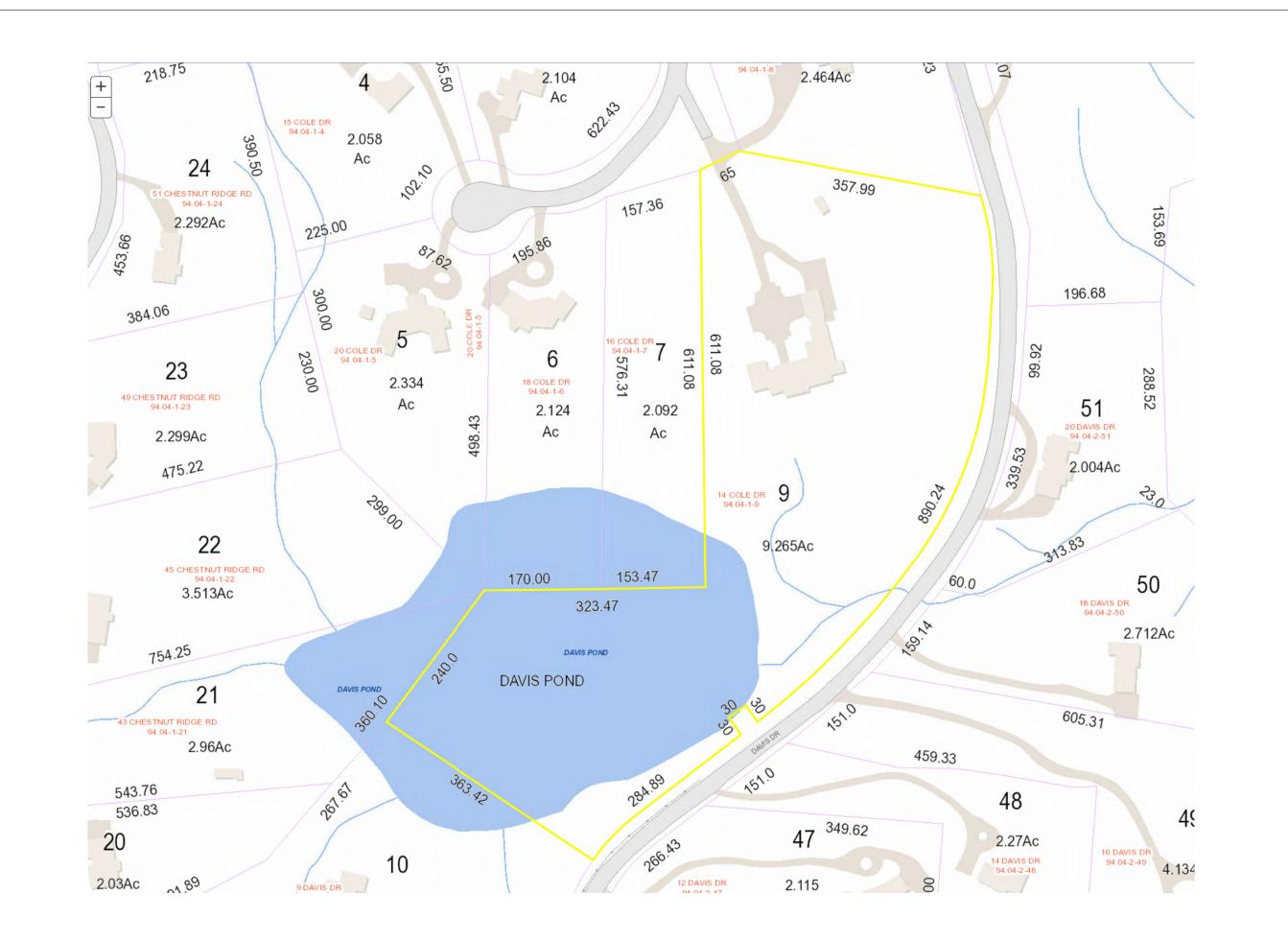
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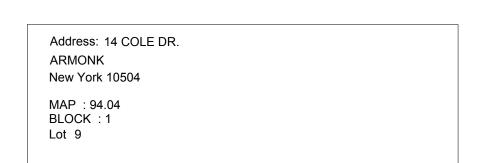
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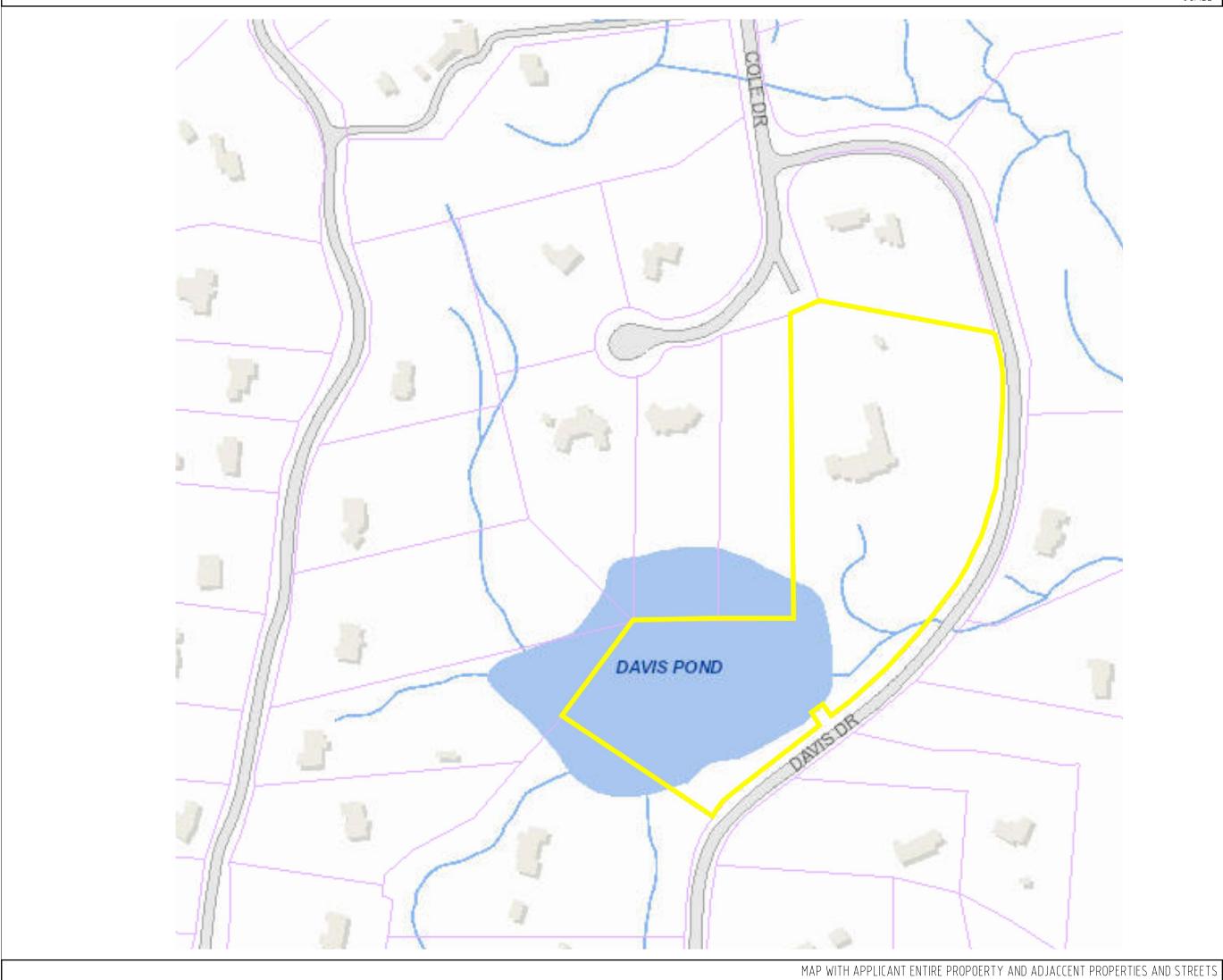




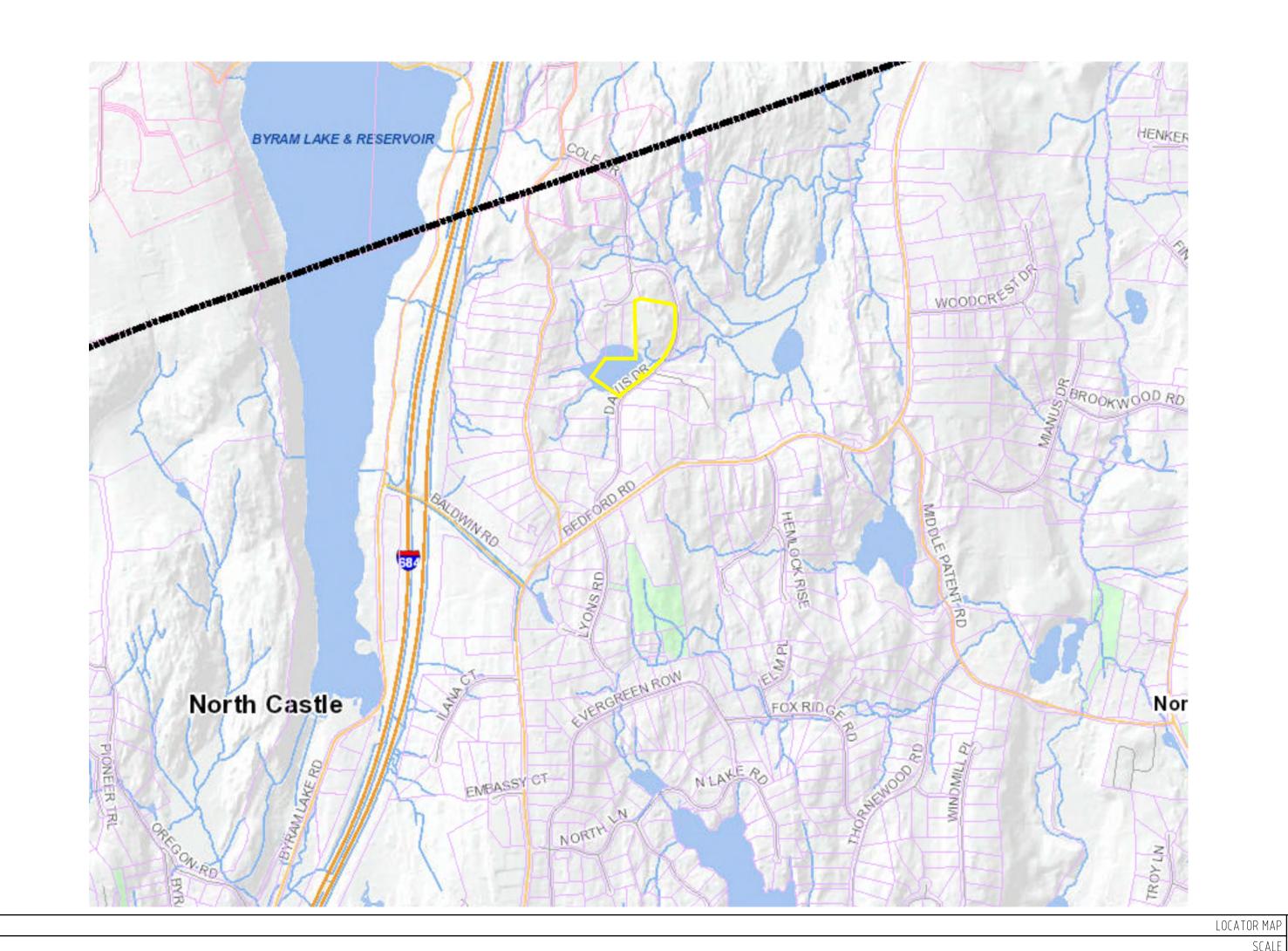


ZON	NING ANALYSIS		R2A				
ITEM	DESCRIPTION		PERMITTED / REQUIRED	EXISTING		PROPOSED	COMMENTS
1	Permitted Principal Uses		Single-family , not to exceed on any lot	Single-family ( no cl	nange)		Complies
2	Permitted Accessory Buildings	5	Private gardenhouses, toolhouses, greenhouses, gatehouses, garage or similar private accessory uses not over 1 story and 15 feet in height and limited to 800 square feet in area, except that the planning Board may, by special permit, authorize the construction of accessory building not over 2 stories or 22 feet in height, provided that any such individual accessory building does not exceed 25% of the floor area of the main building and further provided that all such accessory buildings meet all required setbacks for main buildings in the district in which they are located and are not located within any front yard.			Private pool houses, not over 1 story and 15 feet in height and limited to 800 square feet in area, provided that any such individual accessory building does not exceed 25% of the floor area of the main building and further provided that all such accessory buildings meet all required setbacks for main buildings in the district in which they are located and are not located within any front yard.	Complies
3	Minimum lot size		4 acres	9.265 acres	NO CHANGE		Complies
		Frontage	250	1205.13	NO CHANGE		Complies
		Width	250	1051.96	NO CHANGE		Complies
		Depth	150	360.5	NO CHANGE		Complies
4	Minimum yards						Complies
		Front	75	206.76'	NO CHANGE		Complies
		Side	50	161'	NO CHANGE		Complies
		Rear	50	69.3'	NO CHANGE		Complies
5	Maximum Building Height						
		Stories	-		NO CHANGE		
		Feets	30	30	NO CHANGE		Complies
6	Maximum Building coverage						
		Lot Area	6%		NO CHANGE		Complies
7	Minimum Dwelling unit size						
		Lot Area	1600		NO CHANGE		Complies

MAP WITH TAX LOTS AND DIMENSIONS ZONING SCHEDULI SCALE SCALE



SCALE :NA



REVISIONS: # DATE DESCRIPTION PROJECT TITLE: PROPOSED POOL HOUSE: 14 COLE DRIVE NORTH CASTLE, NY 10504 LOT: 09 DRAWING TITLE: ZONING ANALYSIS MAP LOCATOR

BADALY

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(914) 465-9010

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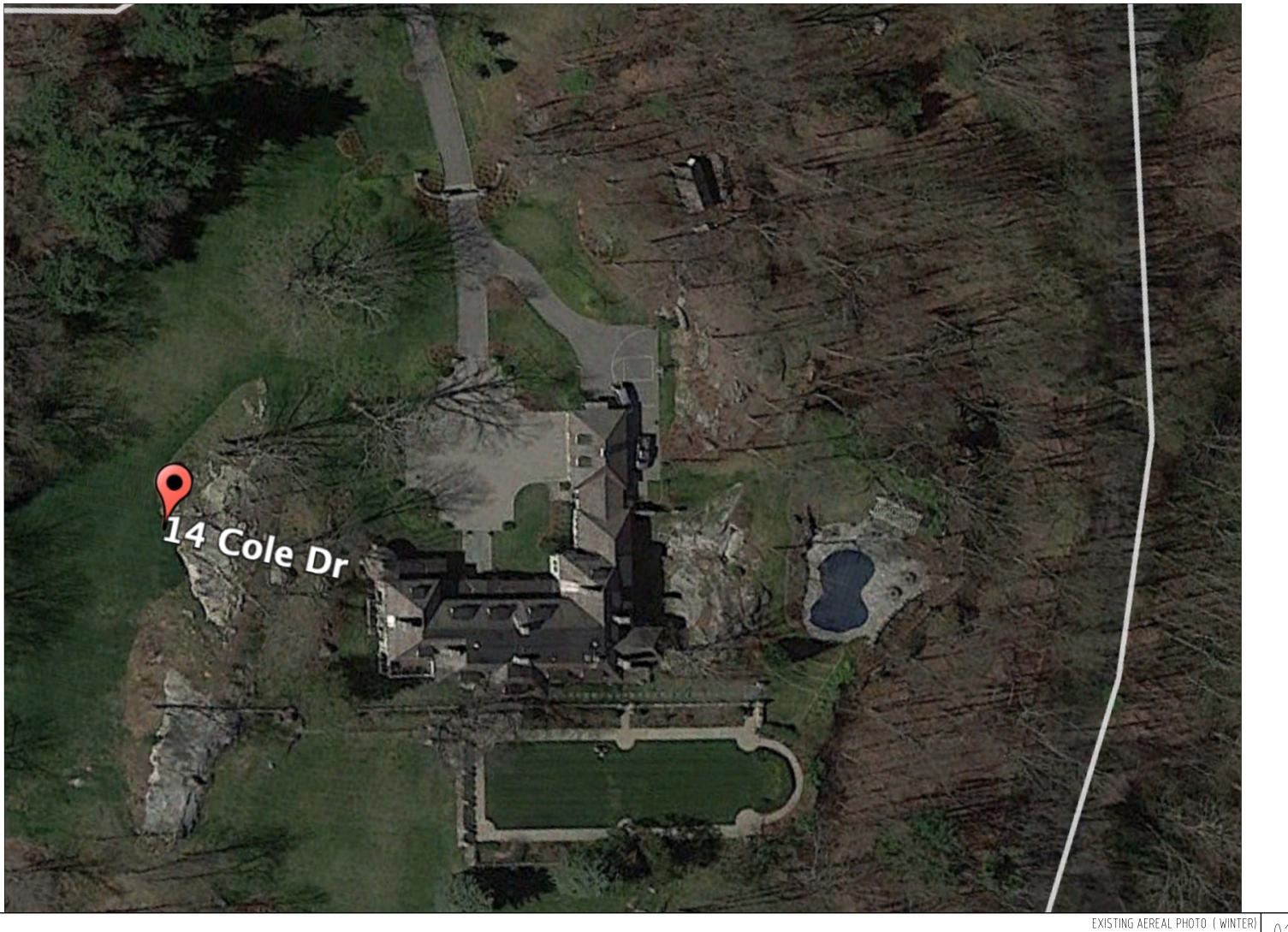
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# DATE DESCRIPTION PROPOSED POOL HOUSE:

AEREAL PHOTO

SCALE

14 COLE DRIVE NORTH CASTLE, NY 10504

ZONING ANALYSIS **AERIAL PHOTOS** EXISTING & PROPOSED

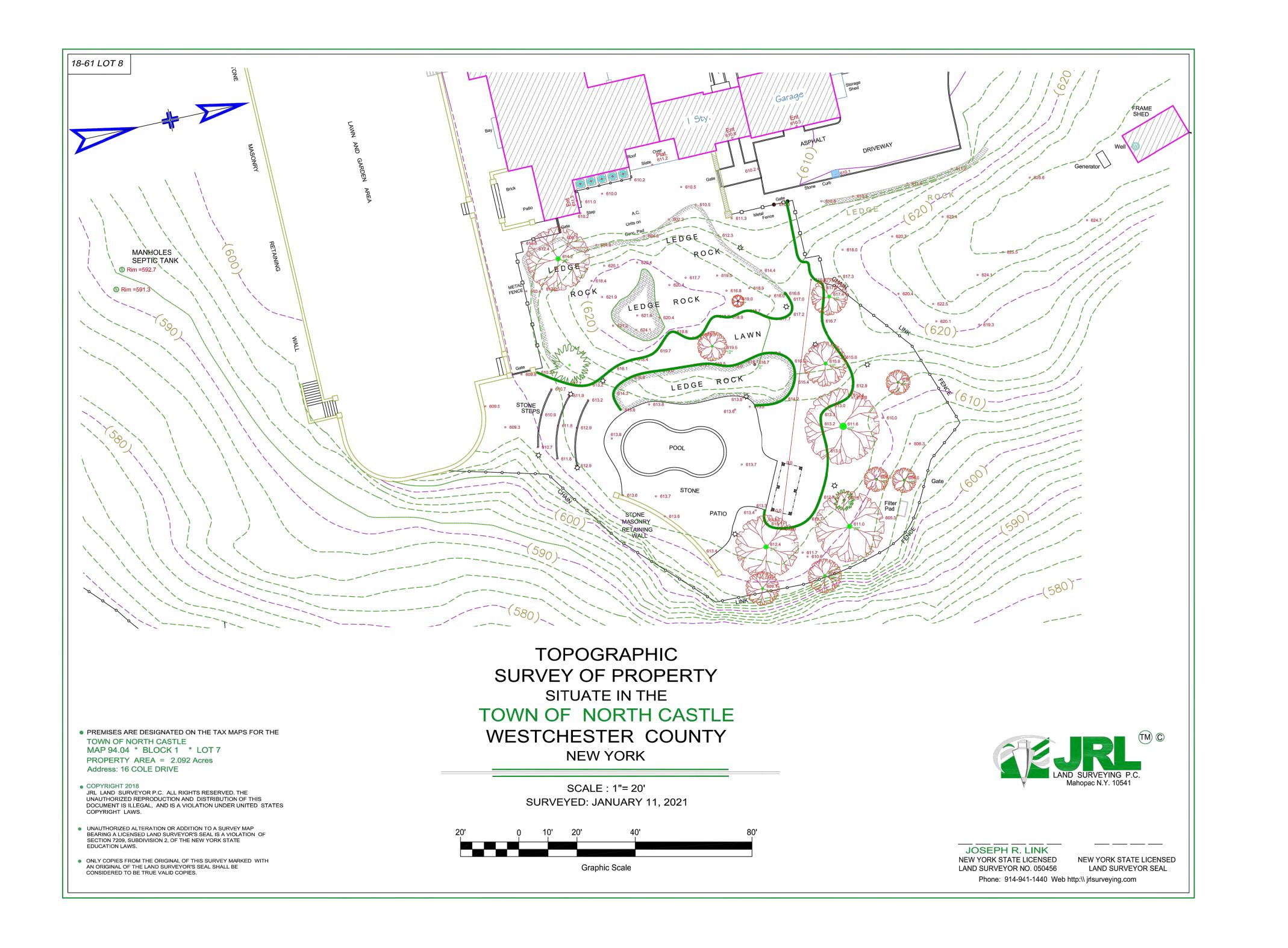
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DRAWING NO.:

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18-61 LOT 7 SURVEY OF PROPERTY LOT 40 SITUATE IN THE LOT 41 TOWN OF NORTH CASTLE WESTCHESTER COUNTY **NEW YORK** SCALE : 1"= 50' SURVEYED: OCTOBER 18,2018 LOT 10 LOT 5 Graphic Scale LOT 9 POND N 27° 45′ 57″ E LOT 8 LOT 7 CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING " CODE OF PRACTICE FOR LAND SURVEYS " ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. THIS CERTIFICATION SHALL RUN ONLY TO THE PARTY FOR WHOM THIS SURVEY WAS PREPARED AND PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE ON THEIR BEHALF TO THE TITLE COMPANY AND LENDING INSTITUTION LISTED HEREON. THIS CERTIFICATION SHALL NOT BE TRANSFERABLE. TOWN OF NORTH CASTLE MAP 94.04 \* BLOCK 1 \* LOT 9 CERTIFIED TO: PROPERTY AREA = 9.265 Acres Address: 14 COLE DRIVE Stewart Title Insurance Company THE PREMISES SHOWN HEREON BEING LOT 7 AS SHOWN ON A MAP Bank of America, N.A. RETAINING ENTITLED "SUBDIVISIONMAP OF COHOMOG WOODS, ETC. MADE BY Piper Brar HAROLD F. CAMPBELL, DATED FEBRUARY 18,1981 AND FILED IN THE Kensington Vanguard National Land Services of NY Title No: 844583(S-NY-RP-EE) WESTCHESTER COUNTY CLERK'S OFFICE DIVISION OF LAND RECORDS AS MAP No. 20502. ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON. • THIS MAP IS BASED UPON THE INFORMATION SUPPLIED BY THE CLIENT AND/OR HIS REPRESENTATIVE AND SUBJECT TO THE FINDINGS THAT A COMPLETE ABSTRACT OF TITLE MAY UNCOVER THE OFFSETS SHOWN ARE FOR INFORMATIONAL PURPOSE ONLY. THEY
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REVISIONS: # DATE DESCRIPTION PROJECT TITLE:

PROPOSED POOL HOUSE:

14 COLE DRIVE NORTH CASTLE, NY 10504

BLOCK: 1 LOT: 09

DRAWING TITLE:

EXISTING TOPOGRAPHIC

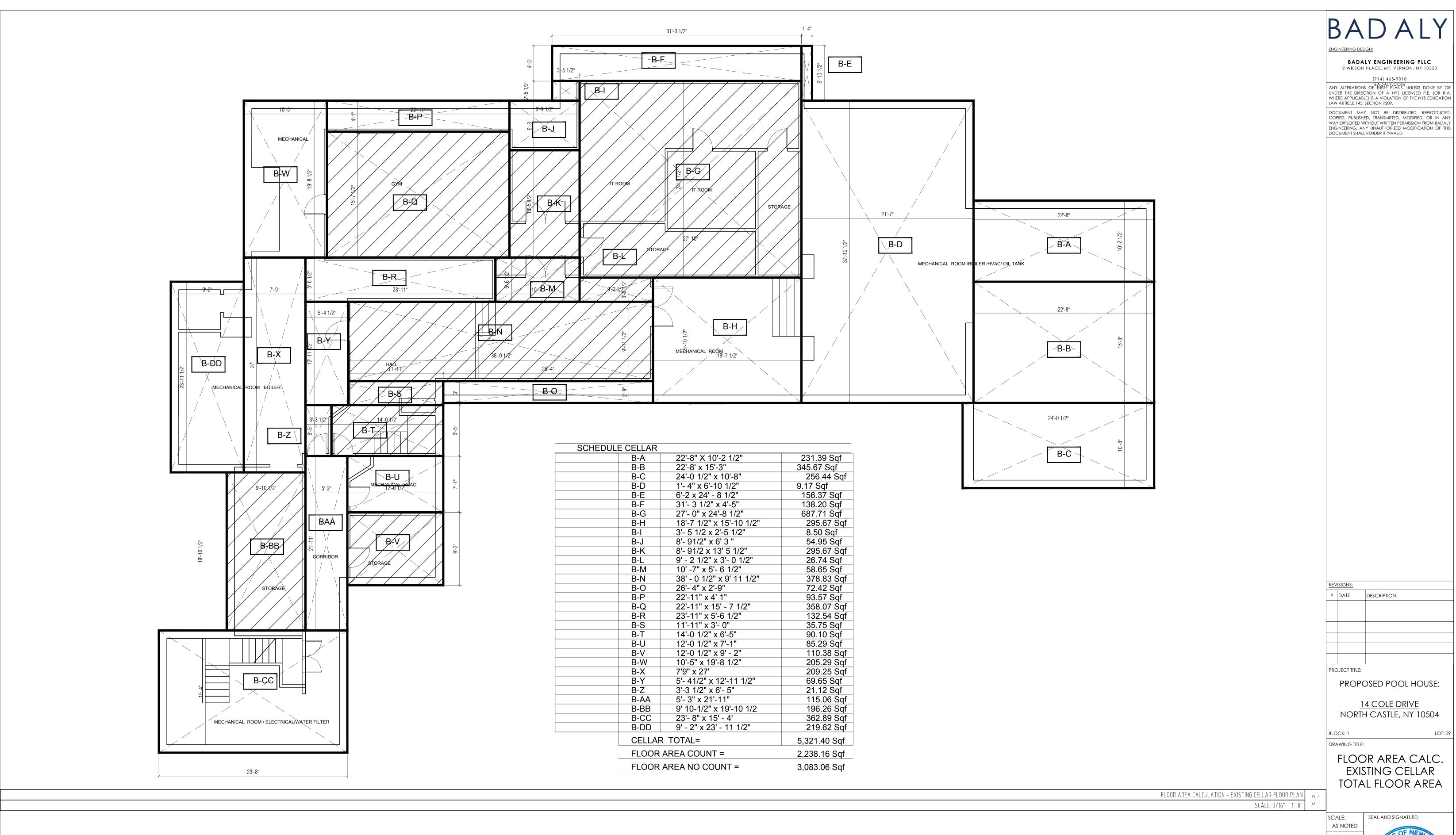
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01/25/2021 JOB NO.: 21019 DRAWN BY:

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# SCHEDULE FLOOR AREA CALCULATION

CELLAR	2,238.16 Sqf
GROUND FLOOR	8,685.02 Sqf
SECOND FLOOR	5,751.60 Sqf
THIRD FLOOR	2,039.47 Sqf
SHED	247.04 Sqf
PROPOSED POOL HOUSE	800.00 Sqf
TOTAL FLOOR AREA	19,761.29 Sqf
	GROUND FLOOR SECOND FLOOR THIRD FLOOR SHED PROPOSED POOL HOUSE

SCHEDULE MAXIMUM PERMITTED GROSS FLOOR AREA
---

LOT AREA	9.265 ACRES	403,583.40 Sqf
3% IN EXCESS OF 4 ACRES		12,107.50 Sqf
13,607		13,607.00 Sqf
TOTAL FLOOR AREA ALLOW		25,714.50 Sqf
EXISTING		18,961.29 Sqf
PROPOSED POOL HOUSE		800.00 Sqf
TOTAL FLOOR AREA		19,761.29 Sqf

FLOOR AREA CALCULATION SCHEDULE

SCALE: 3/16" - 1'-0

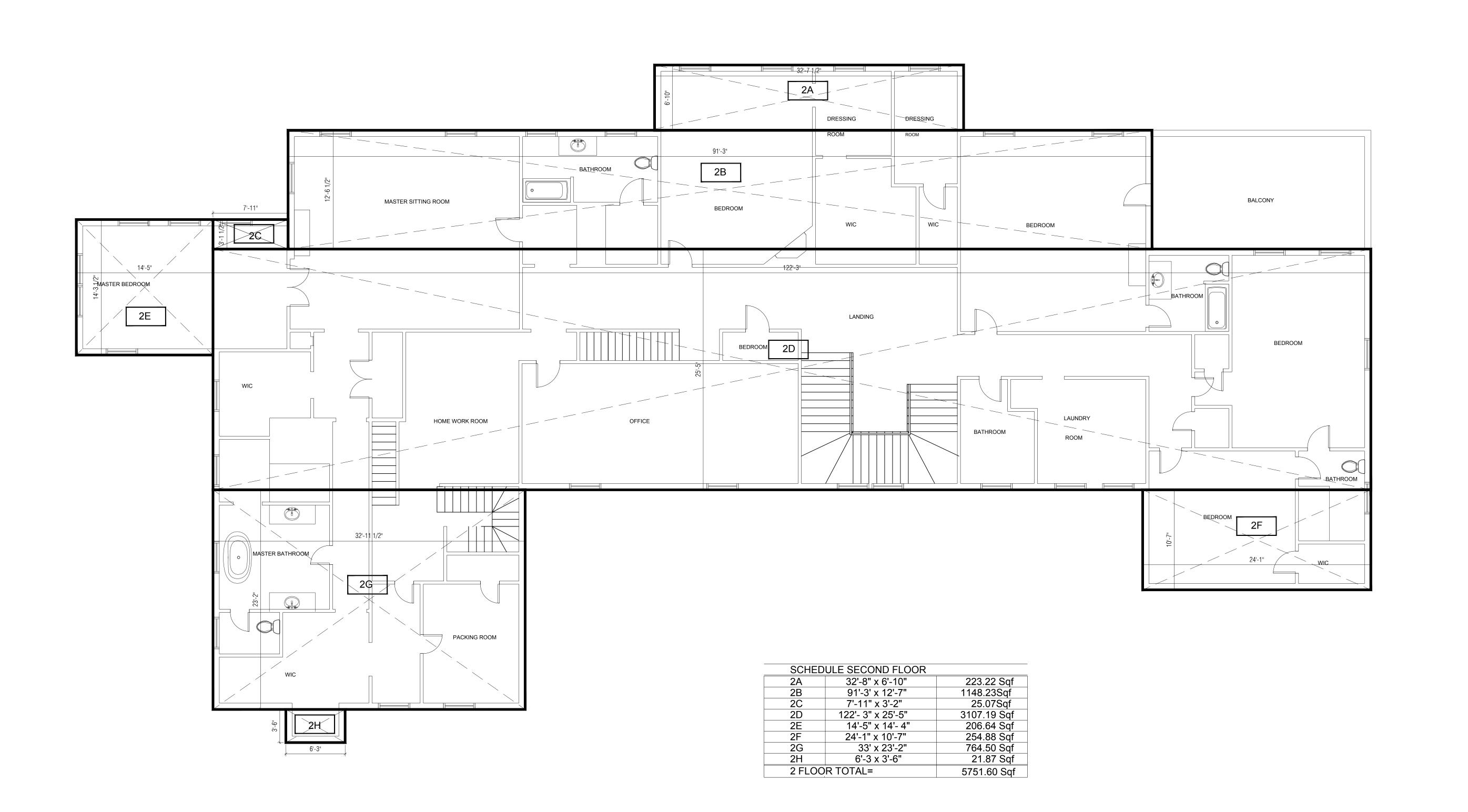
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LOT: 09

01/25/2021

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REVISIONS: # DATE DESCRIPTION PROJECT TITLE: PROPOSED POOL HOUSE:

14 COLE DRIVE

NORTH CASTLE, NY 10504

LOT: 09 DRAWING TITLE:

FLOOR AREA CALC. EXISTING 2ND FLOOR

SEAL AND SIGNATURE:

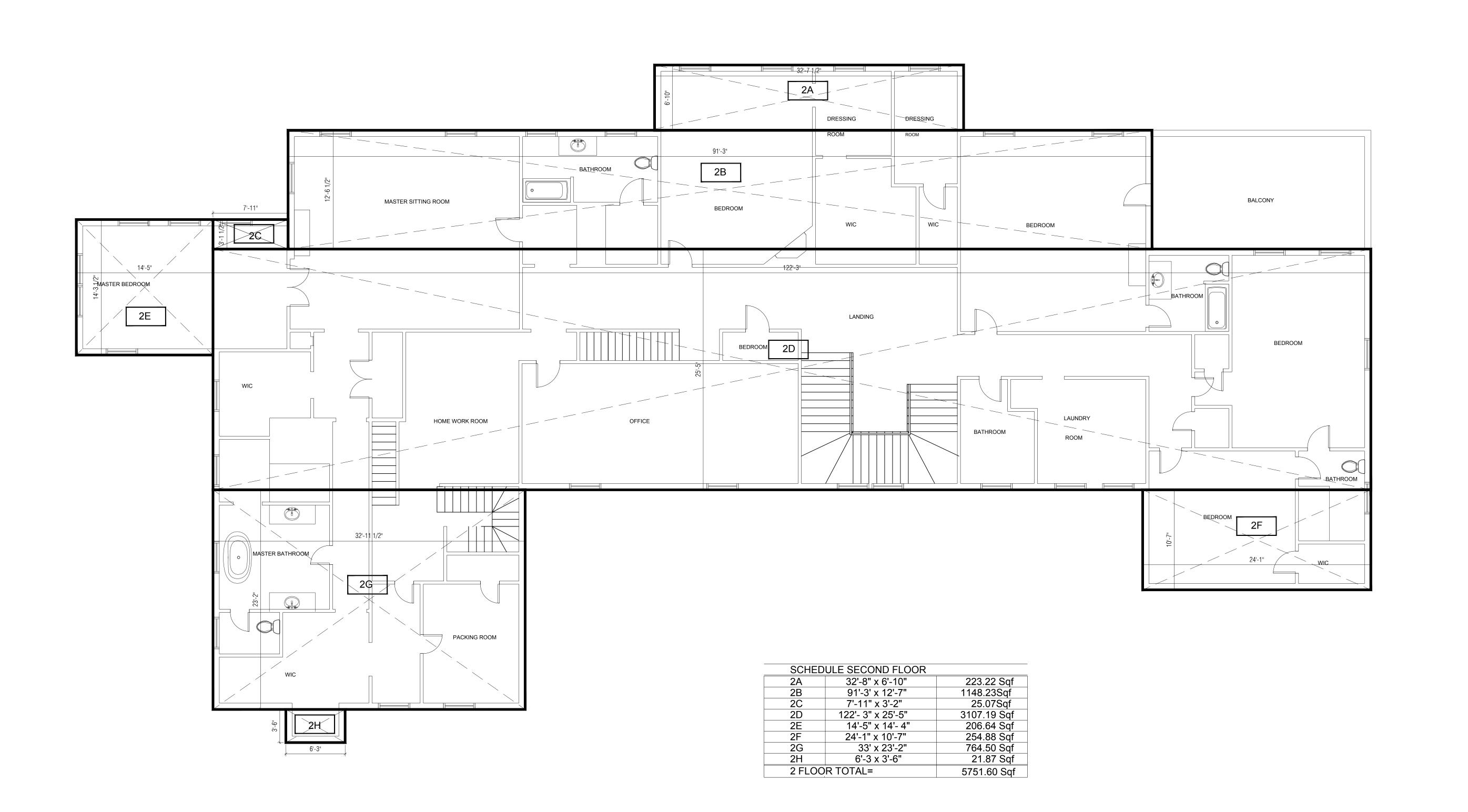
as noted 01/25/2021 JOB NO.: 21019

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SCALE: 3/16" - 1'-0



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REVISIONS: # DATE DESCRIPTION PROJECT TITLE: PROPOSED POOL HOUSE:

14 COLE DRIVE

NORTH CASTLE, NY 10504

LOT: 09 DRAWING TITLE:

FLOOR AREA CALC. EXISTING 2ND FLOOR

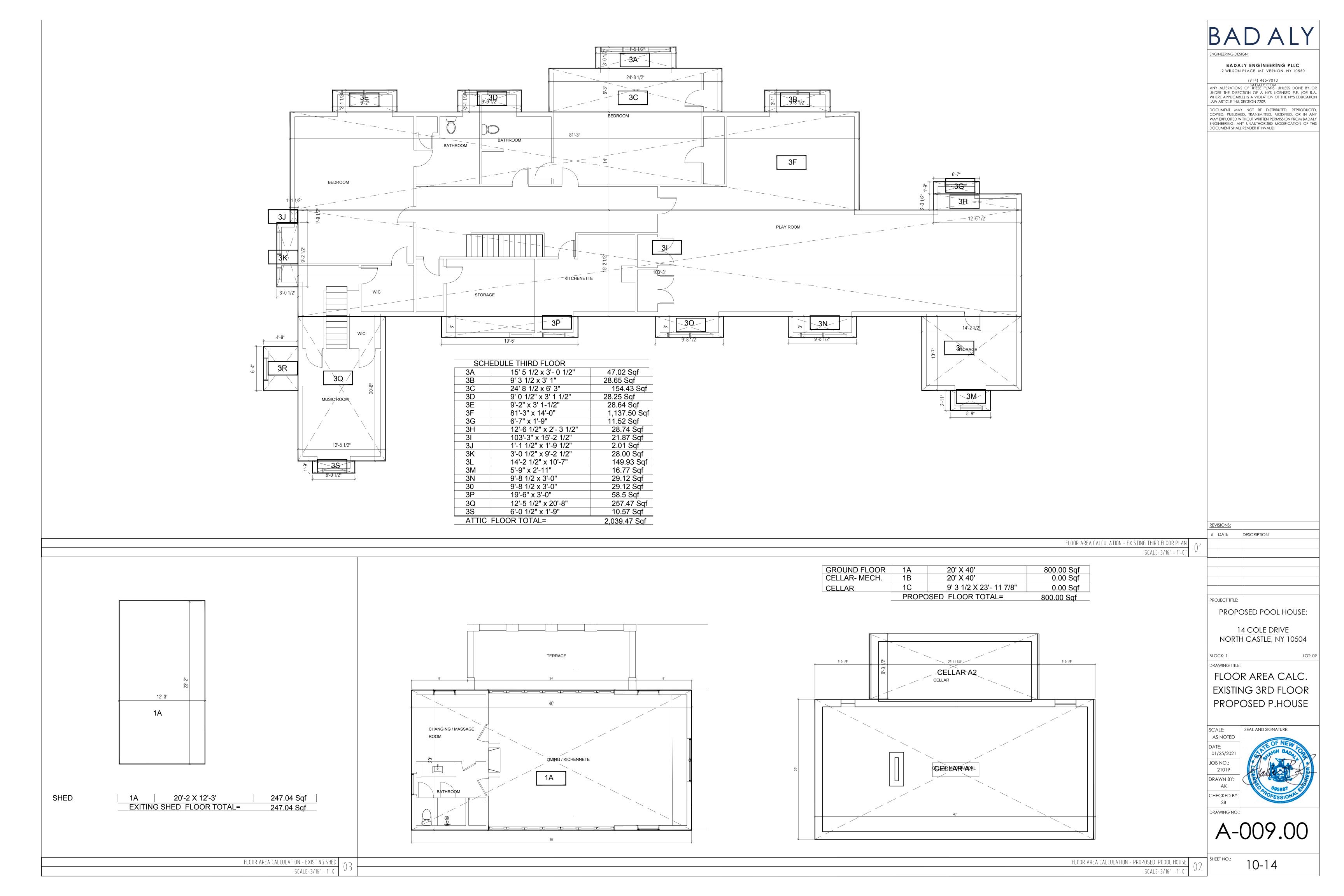
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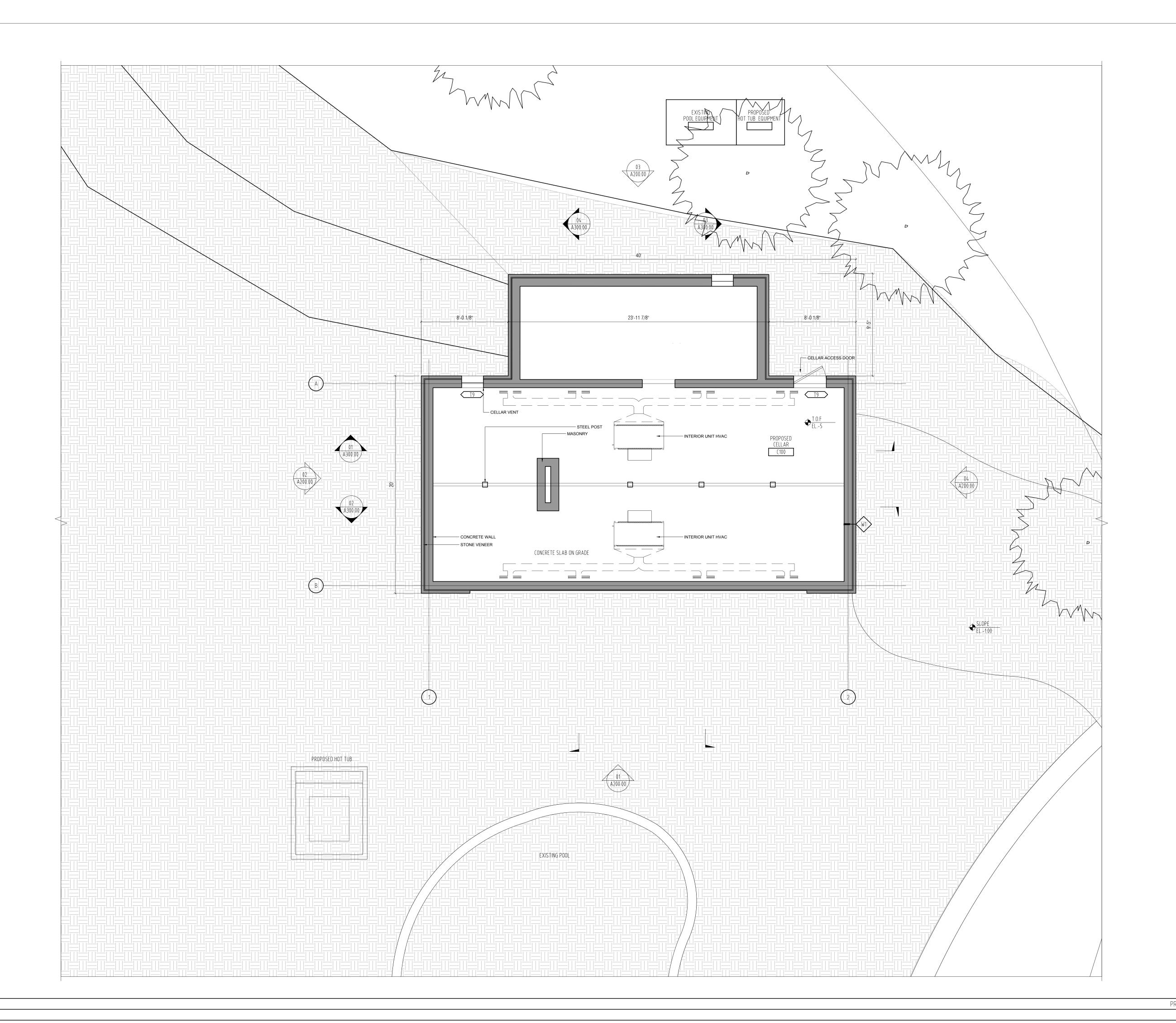
as noted 01/25/2021 JOB NO.: 21019 DRAWN BY:

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SCALE: 3/16" - 1'-0





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PROPOSED POOL HOUSE:

14 COLE DRIVE
NORTH CASTLE, NY 10504

BLOCK: 1 LO

DRAWING TITLE:

PROPOSED

PROPOSED POOL HOUSE CELLAR

SCALE:
AS NOTED

DATE:
01/25/2021

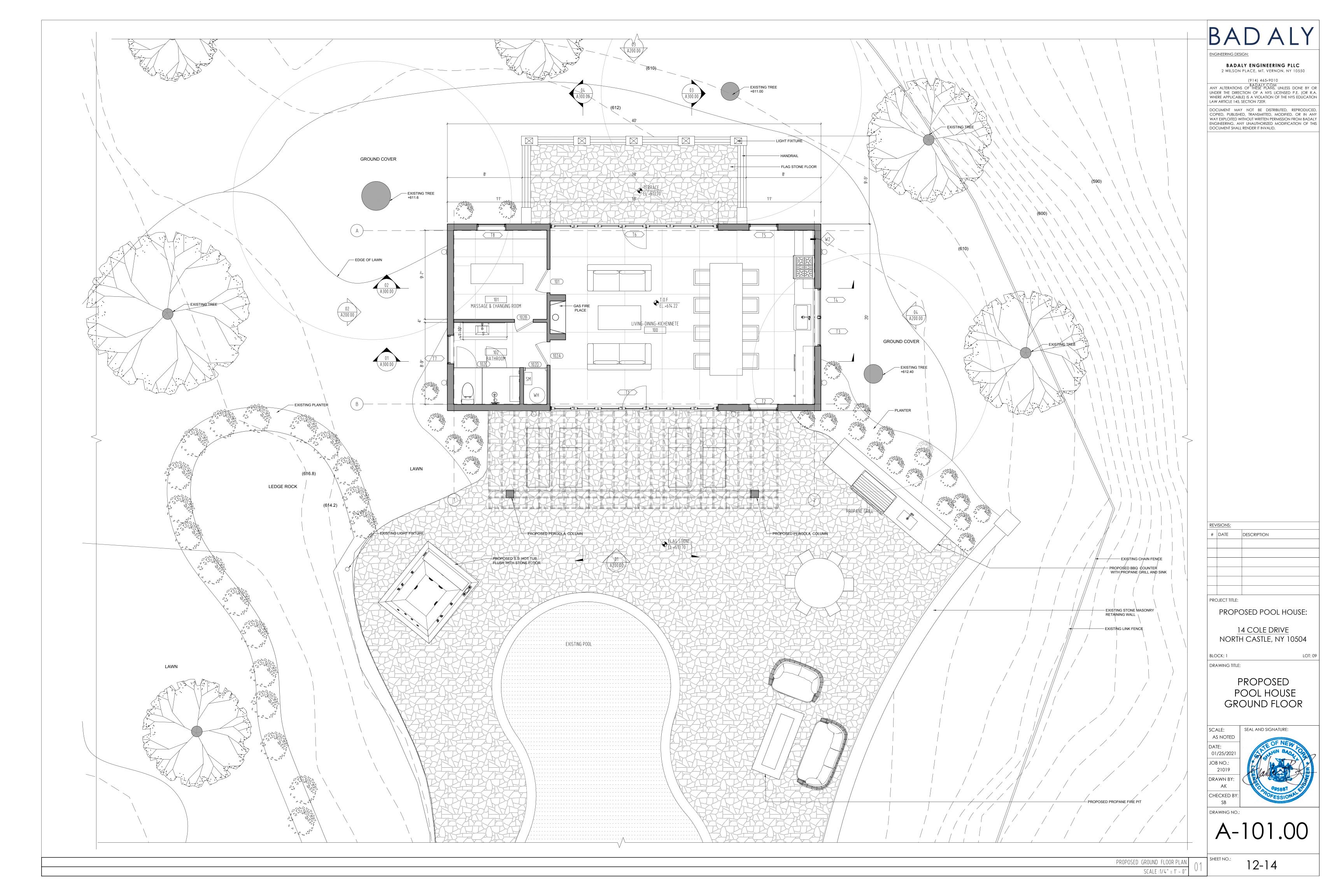
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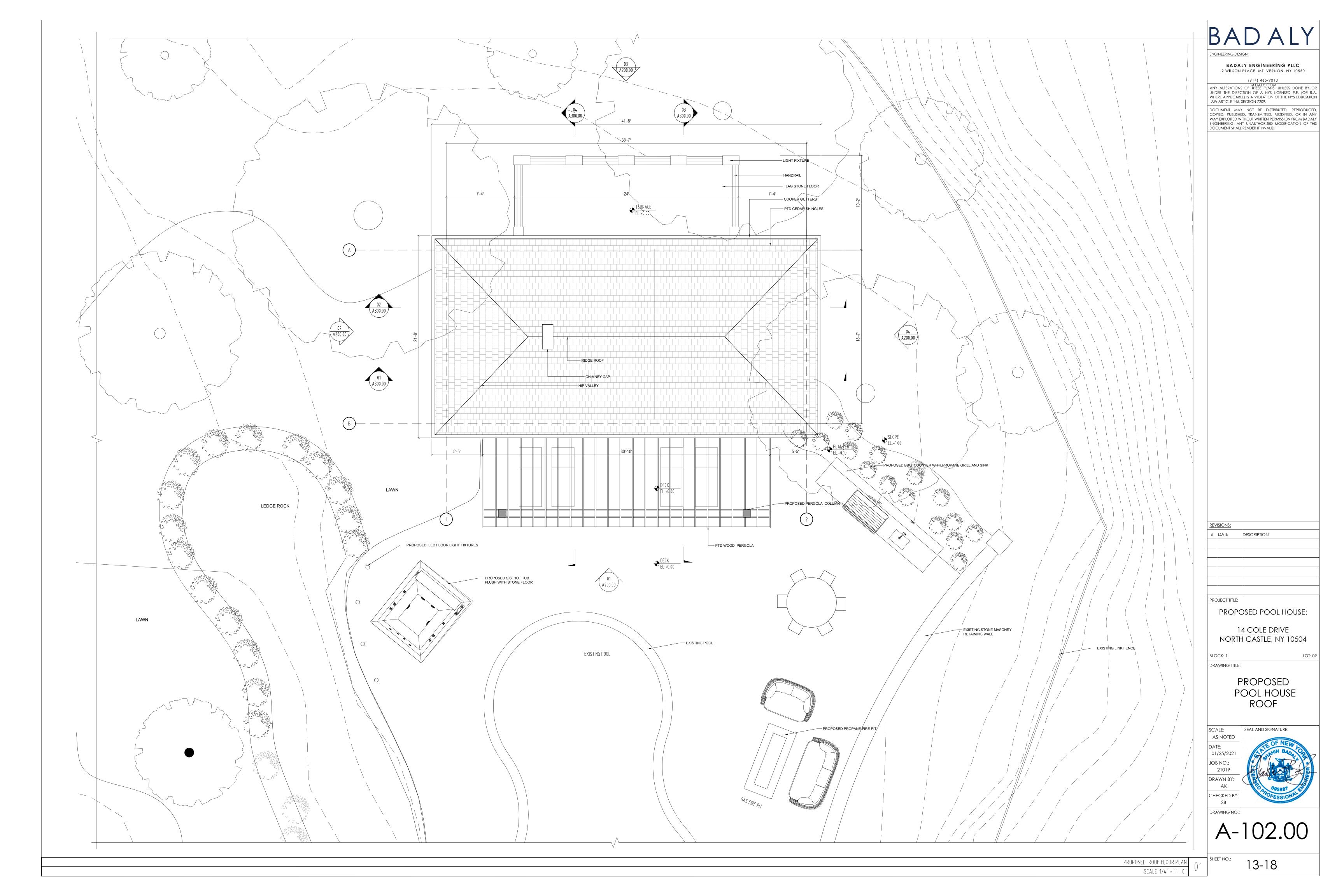
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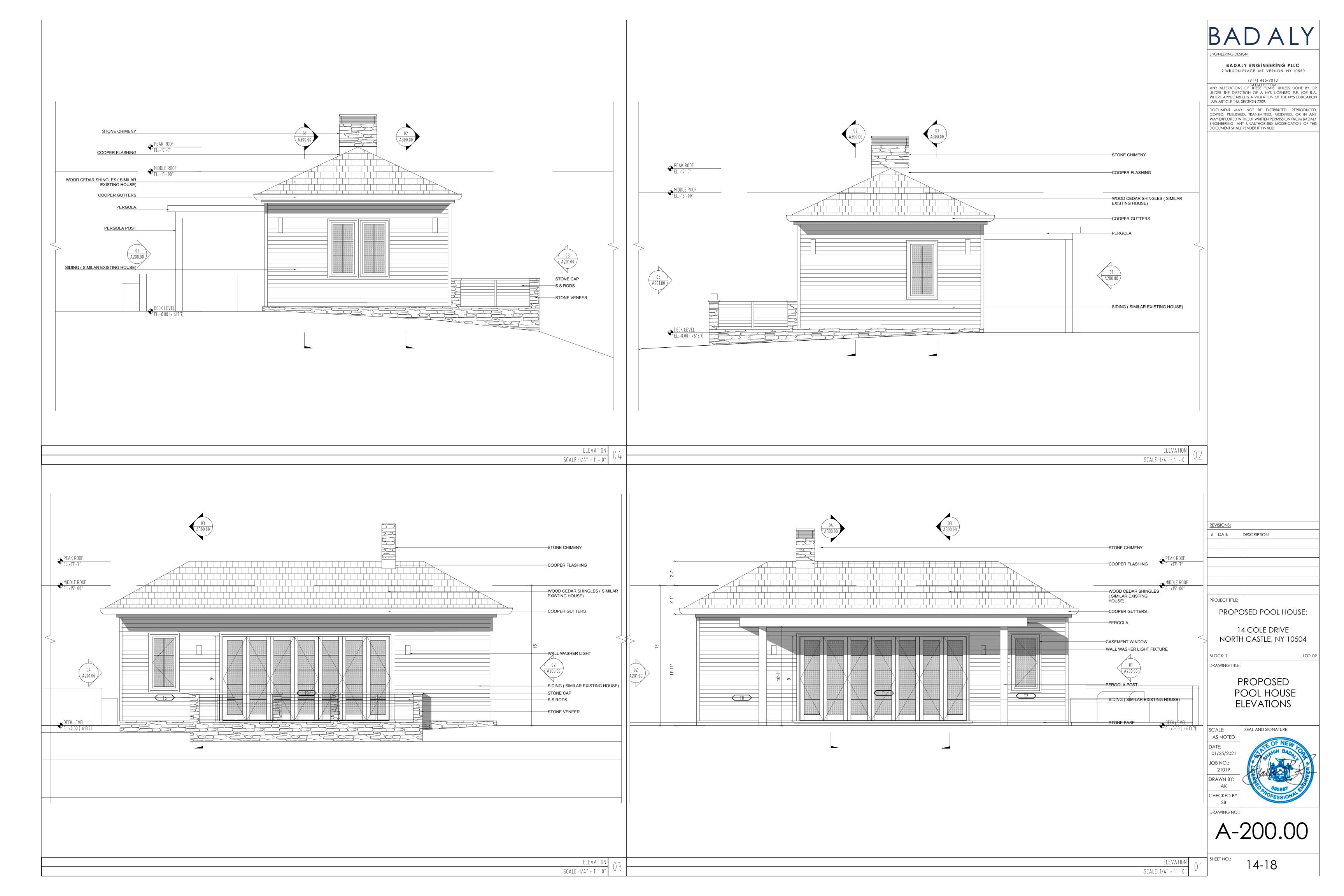
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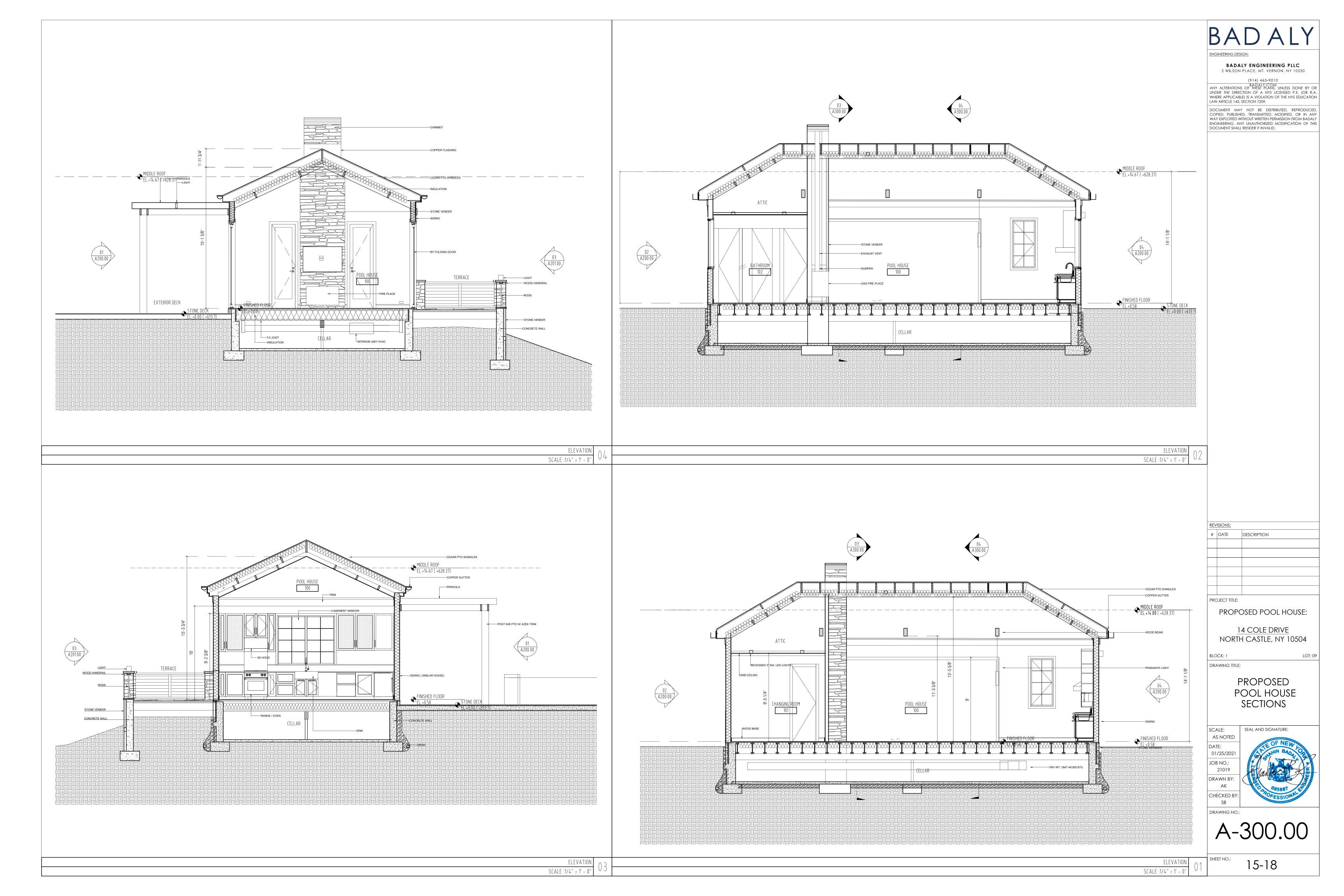
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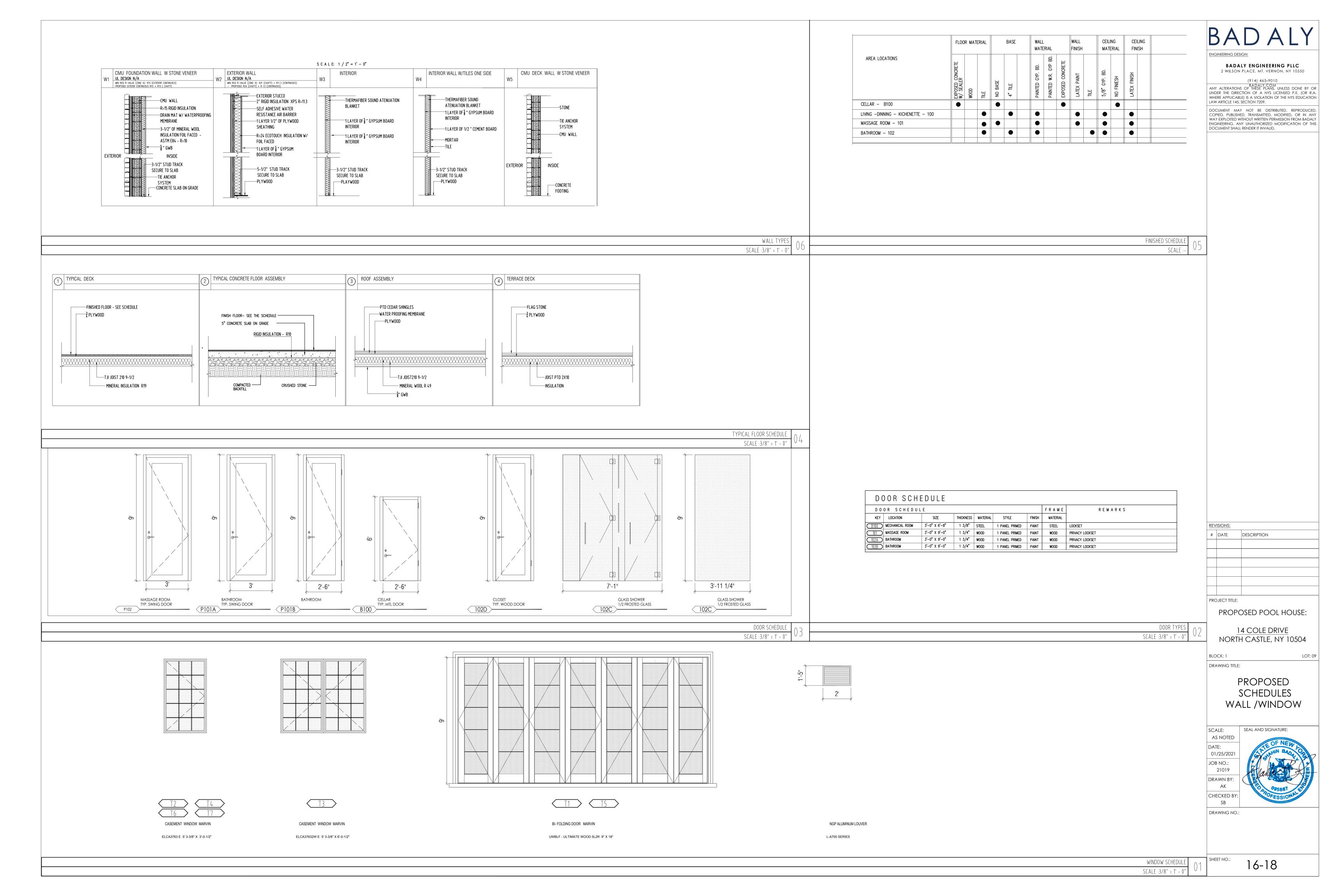
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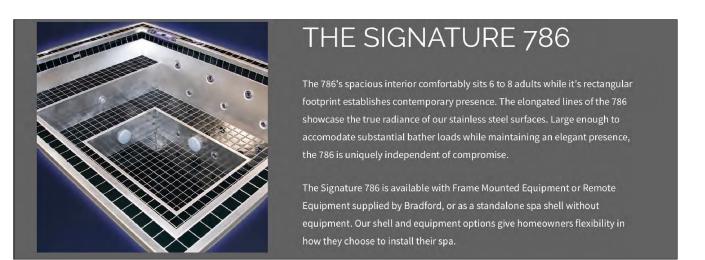




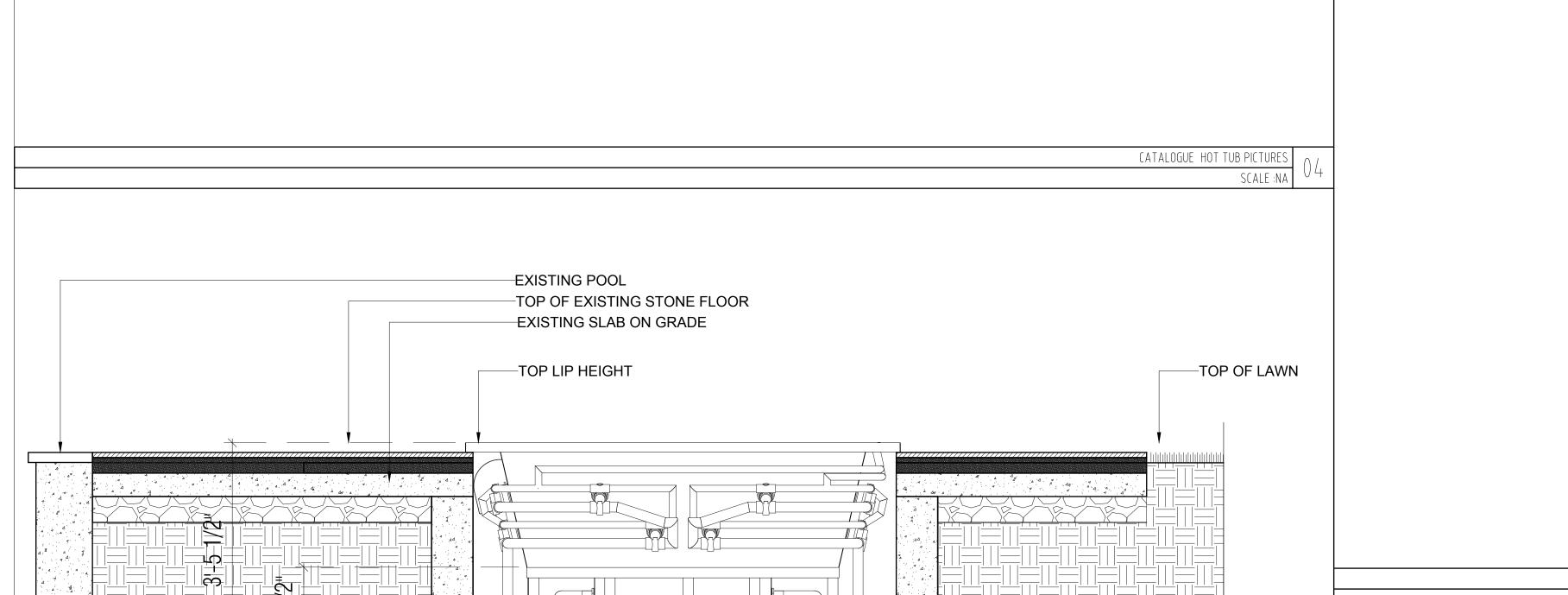


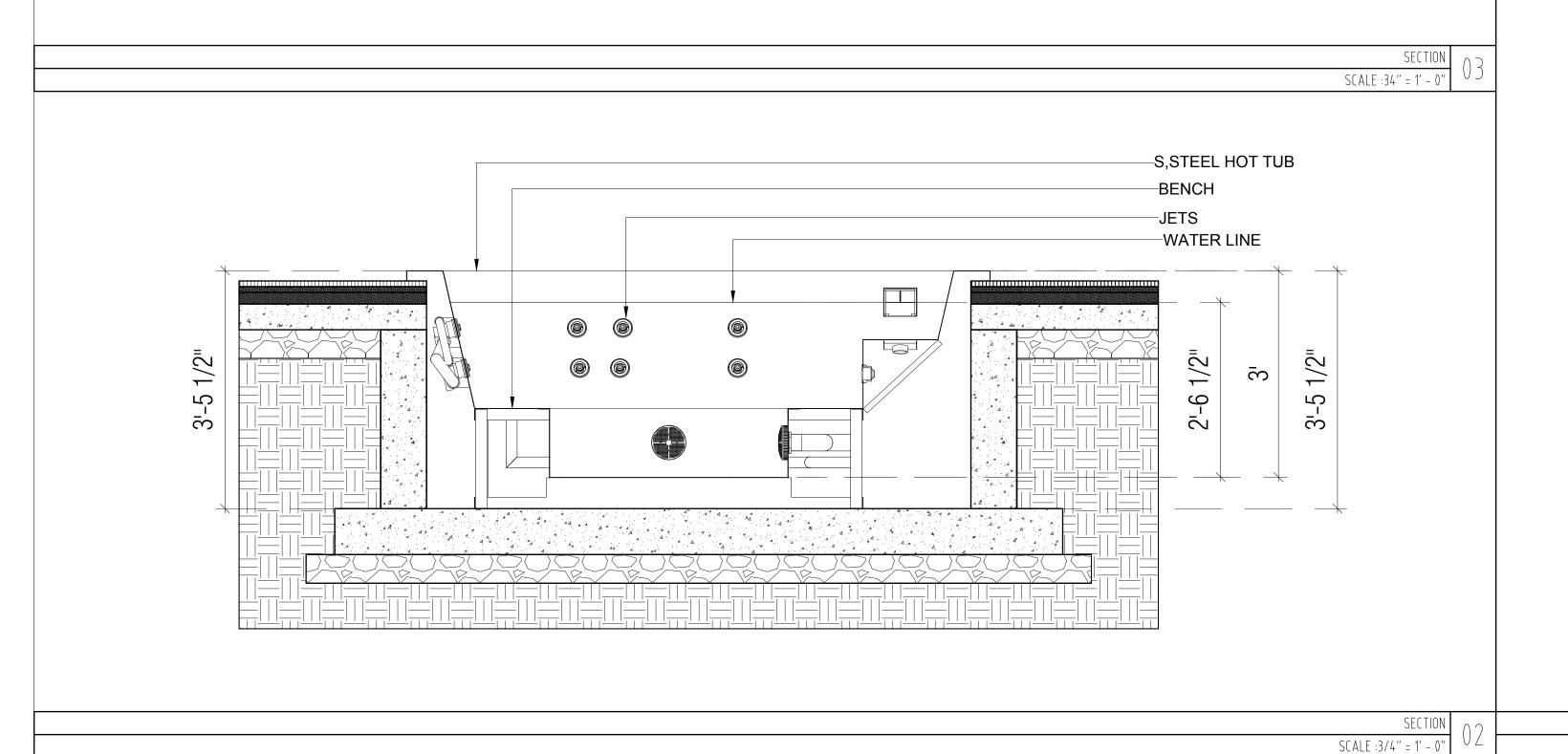




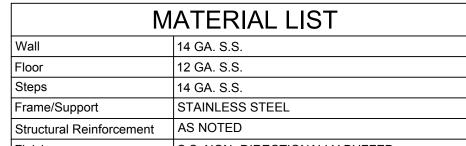


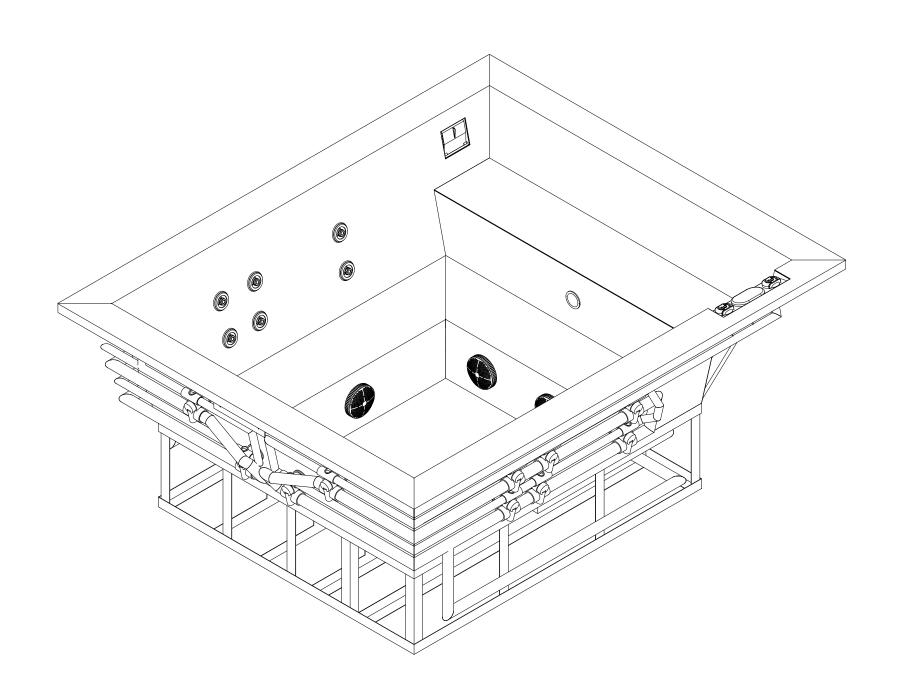






MATERIAL LIST 14 GA. S.S. 12 GA. S.S. 14 GA. S.S. Frame/Support STAINLESS STEEL AS NOTED Structural Reinforcement S.S. NON- DIRECTIONALLY BUFFED





TOP LIP -STEP -JETS —S.STEEL HOT TUB FOOT WELL -BENCH DRAWN BY: CHECKED BY 5'-11 3/8"

BADALY ENGINEERING DESIGN:

BADALY ENGINEERING PLLC 2 WILSON PLACE, MT. VERNON, NY 10550

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A-500.00

17-18

ISOMETRIC SCALE :NA

HOT TUB PLAN

SCALE :3/4" = 1' -

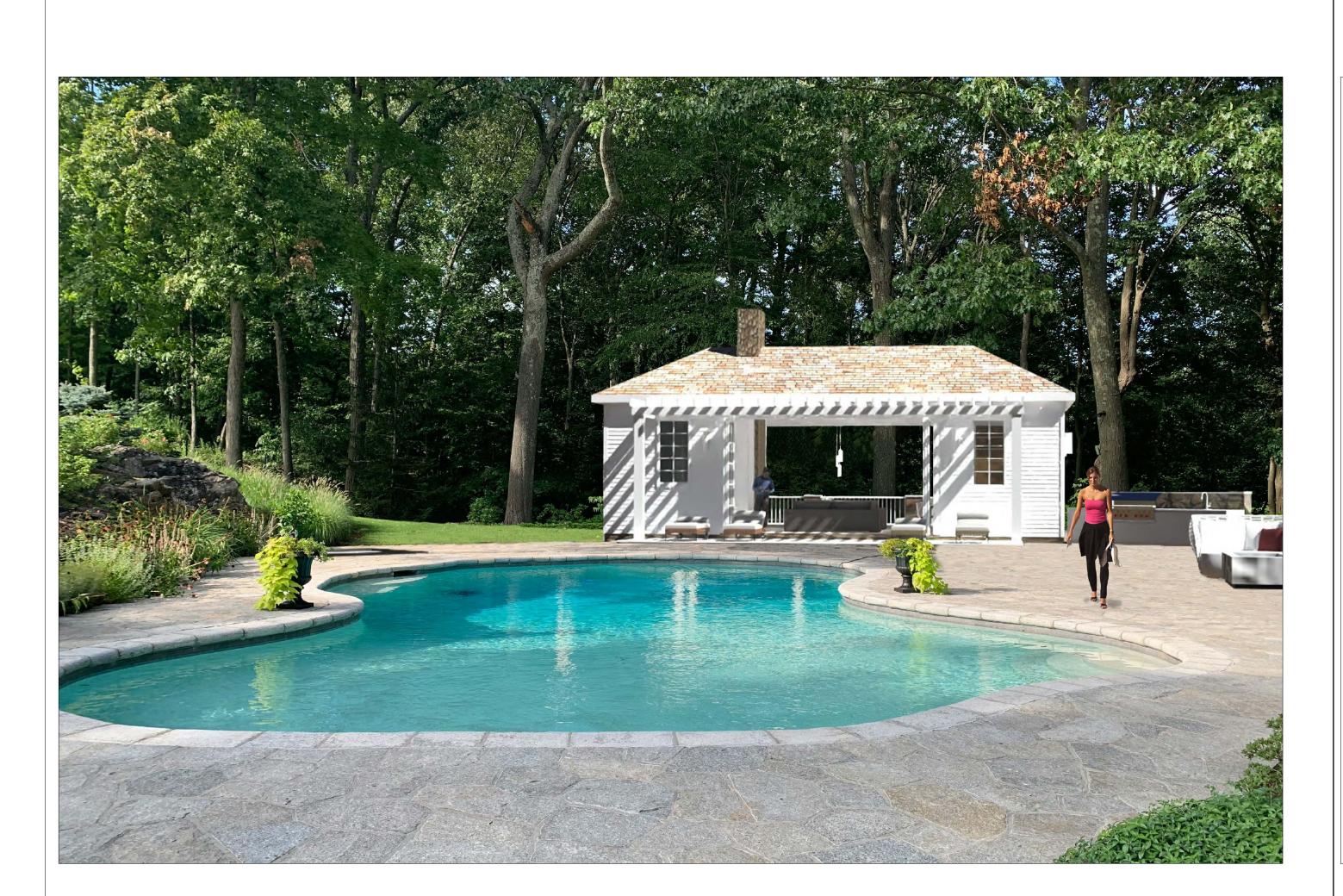




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PROPOSED RENDER



#	DATE	DESCRIPTION

PROPOSED POOL HOUSE:

14 COLE DRIVE NORTH CASTLE, NY 10504

EXISTING PHOTOS

as noted

EXISTING PHOTO

EXISTING PHOT

# LIST OF ABBREVIATIONS ABOVE ABOVE FINISHED FLOOR ACCESS

ACCESS DOOR KO **ACCESS PANEL** ACOUSTICAL TILE ADDENDUM LAMINATE ADJACENT or ADJUSTABLE LAV LAVATORY AGGR AGGREGATE AIR CONDITIONER LKR LOCKER AMERICAN CONCRETE INSTITUTE

ALUM/ALALUMINUM AMERICANS W/ DISABILITIES ACT MATERIALS AWG AMERICAN WIRE GAGE APPROX APPROXIMATE

MAT MAX **BASE PLATE** MECH MC BEARING MBR **BENCH MARK** MTL BTWN BETWEEN **BLOCK** MR BLKG **BLOCKING** BOARD

BOTTOM OF CABINE CAST IRON **CEILING HEIGHT** CATCH BASIN CLG CEILING CEM **CEMENT** CENTER LINE CERAMIC TILE

CLEAR (ANCE) COLD WATER COL COLUMN CONC CONCRETE CONCRETE MASONRY UNIT CONTINUOUS or CONTINUE CONV CONVECTOR CORNER GUARD DAMPROOFING

DIAG DIAGONAL DIFFUSER DIMENSION DISP DISPENSER DBL **DOUBLE** DOWN DWG DRAWING DRINK FOUNTAIN

ELECTRICAL or ELECTRIC ELECTRIC PANEL **ELEVATION ELEVATOR EMER EMERGENCY** EQUAL

EQUP EQUIPMENT EXH **EXHAUST** EXISTING FRESH AIR INTAKE F.O. FACE OF FACE OF BRICK FACE OF CONCRETE FACE OF MASONRY F.O.S FACE OF STUDS FINISH

FIRE HOSE VALVE CABINET FIRE EXTINGUISHER FIRE PROOF **FLUORESCENT** FLUOR **FOOT or FEET** FOOTING **FOUNDATION** FRESH AIR INTAKE FLOOR GAUGE GALV GALVANIZED

GEN GENERAL GLASS or GLAZING GRAB BAR GROUND GND GYP GYPSUM GWB/ GYPSUM WALL BOARD HANDICAPPED

GYP.BD HAND RAIL **HDWR** HARDWARE HWD HARDWOOD HEATING VENTILATING AIR CONDITIONING HEIGHT HOLLOW METAL **HOSE BIBB** 

HIGH POINT INCAND INCANDESCENT INCLUDE(D), (ING) INTERIOR DIAMETER

JANITOR CLOSET JOINT JUNCTION BOX

KNOCK OUT

LEFT HAND LOW POINT MANHOLE AMERICAN SOCIETY FOR TESTING MFR MANUFACTURE(R)

MASONRY MO MASONRY OPENING M.E. MATCH EXISTING MATERIAL MAXIMUM MECHANIC(AL)

MEDICINE CABINET MEMBER METAL MINIMUM MIRROR MISCELLANEOUS MISCELLANEOUS CHANNEL MC

ΟZ

OA

 $\mathsf{OH}$ 

PLWD

PSI

QT

RAD

REF

REINF

REQD

RET

RD

RO

SAN

SECT

SIM

SCHED

MOUNTED

MOVABLE

MULLION

NOMINAL

**ASSOCIATION** 

NOT TO SCALE

OPPOSITE HAND

OUTSIDE DIAMETER

ON CENTER

OPENING

**OPPOSITE** 

OUNCE

OVERALL

PAIR

PANEL

PARTITION

PLYWOOD

**QUARRY TILE** 

REFERENCE

REQUIRED

**ROOF DRAIN** 

RETURN

SADDLE

SANITARY

SCHEDULE

SECTION

SIMILAR

RADIUS or RADIATOR

REINFORCEMENT

**ROUGH OPENING** 

SOUND TRANSMISSION

PLASTIC LAMINATE

POLYVINYL CHLORIDE or COATING

POUNDS PER SQUARE FOOT

POUNDS PER SQUARE INCH

PLASTER

PLATE

PNT/PT(D) PAINT(ED)

QUANT/QTYQUANTITY

OVERHEAD

NOT IN CONTRACT

NATIONAL FIRE PROTECTION

NOSE REDUCTION COEFFICIENT

MTD MOV MUL

NOM N.I.C. NTS CLEAN OUT OC OPNG OD

DEG DEGREE DETAIL

ELECTRIC WATER COOLER

FIRE ALARM

COEFFICIENT SPEAKER FIRE ALARM ANNUNCIATOR **SPECIFICATION** SQUARE FOOT FLOOR DRAIN or FIRE DAMPER SST/ST. STL. STAINLESS STEEL STORM DRAIN S.F.T. STRUCTURAL FACED TILE SWITCH

**TELEPHONE TELEVISION TEMPERED TEMP TERR** TERRAZZO THK THICK T.O. TOP OF TYPICAL

UNDERWRITERS LABORATORY UC UNDERCUT UNEX UNEXCAVATED U.C.C. UNIFORM CONSTRUCTION CODE U.O.N. UNLESS OTHERWISE NOTED

**VERIFY IN FIELD** V.I.F. VCT VINYL COMPOSITION TILE VWC VINYL WALL COVERING VΒ VINYL BASE VOL VOLUME

WC WATER CLOSET WOOD WATER HEATER WP WATER PROOF WWF WELDED WIRE MESH WEIGHT

WO WINDOW OPENING W/ WITH INSULATE(D), (ING), (TION) W/O WITH OUT INVERT WGL WIRE GLASS INV EL INVERT ELEVATION

# GENERAL NOTES

ALL WORK SHALL CONFORM TO THE 2020 UNIFORM FIRE PREVENTION AND BUILDING CODE OF NEW YORK STATE (THE UNIFORM CODE), THE MUNICIPAL CODE OF THE VILLAGE OF RYE BROOK AND REGULATIONS OF ALL DEPARTMENTS HAVING JURISDICTION.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS AND JOB

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION SHALL BE IN ACCORDANCE WITH OSHA REGULATIONS AND STANDARDS AND ALL LOCAL REQUIREMENTS.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FOLLOW ALL SAFE EXCAVATION PRACTICES AND CALL "DIG-SAFELY" AT LEAST 3 WORKING DAYS IN ADVANCE TO MARK UP ANY UNDERGROUND UTILITIES. NO EXCAVATION WORK OR DIGGING OF ANY KIND SHALL START OTHERWISE.

ALL WORK SHALL BE PERFORMED IN A WORKMAN-LIKE MANNER BY QUALIFIED JOURNEYMEN OR MASTERS OF EACH TRADE.

ALL MATERIAL HANDLING AND INSTALLATION SHALL BE STRICTLY IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE, AND PAY FOR ALL TESTS, INSPECTIONS, ETC. AS REQUIRED BY THE BUILDING DEPARTMENT AND ANY OTHER DEPARTMENTS HAVING JURISDICTIONS.

GENERAL CONTRACTOR SHALL VISIT THE SITE AND MAKE HIMSELF FAMILIAR WITH THE WORK AND THE LOCAL CONDITIONS PRIOR TO SUBMITTING A PRICE TO THE OWNER.

ALL SURFACES ADJACENT TO THE WORK AREA, WHICH IS DAMAGED DURING CONSTRUCTION BY THE FORCES OF THE GENERAL CONTRACTOR, SHALL BE REPAIRED TO MATCH SURROUNDING SURFACES TO SATISFACTION OF THE OWNER AND ARCHITECT AT NO ADDITIONAL COST.

THE CONTRACTOR SHALL REMOVE FROM THE ALL DEBRIS CREATED BY HIS WORK AND SHALL DISPOSE OF THEM IN A LEGAL MANNER ON A WEEKLY BASIS OR SOONER AS CONDITIONS WARRANTS.

AT COMPLETION OF THE WORK THE SITE SHALL BE CLEARED OF ALL DEBRIS AND REMAINING MATERIALS AND THE PREMISES SHALL BE LEFT BROOM CLEAN.

THE ENGINEER SHALL BE THE SOLE JUDGE AS TO THE ADEQUACY OF THE WORK PERFORMED. HE SHALL HAVE THE RIGHT TO ORDER REMOVAL OF DEFECTIVE WORK AND MATERIALS.

ANY DEVIATION FROM THESE DRAWINGS SHALL CAUSE THE WORK TO CEASE IN THE AFFECTED AREAS UNTIL THE ENGINEER HAS APPROVED THE CHANGES.

NO DRAWINGS SHALL BE USED ON JOB UNLESS THEY BEAR THE STAMP: ISSUED FOR CONSTRUCTION. ENGINEER OF RECORD NOT RESPONSIBLE FOR ANY AND ALL BOARD APPROVALS.

CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATION OF THE EXISTING STRUCTURE DURING THE PERFORMANCE OF HIS WORK. SHOULD HE BECOME AWARE OF ANY SITUATION THAT REQUIRES FURTHER INVESTIGATION (SUCH AS CRACKS IN MASONRY AND PARTITIONS, ADDITIONAL OR EXCESSIVE DEFLECTION, ETC.) HE SHALL NOTIFY THE ENGINEER.

# CONSTRUCTION NOTES

TEMPORARY SHORING: PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.

DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. AT CONCEALED SPACES, SUCH AS , DUCT AND PIPE INTERIORS, VERIFY CONDITION AND CONTENTS 'OF HIDDEN SPACE BEFORE STARTING FLAME-CUTTING OPERATIONS. MAINTAIN FIRE WATCH AND PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.

LOCATE EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS. OR FRAMING.

PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE DURING DEMOLITION.

OWNER APPROVAL IS REQUIRED PRIOR TO PROPOSED INSTALLATION OF THE CONSTRUCTION FENCE ON ADJACENT PROPERTIES.

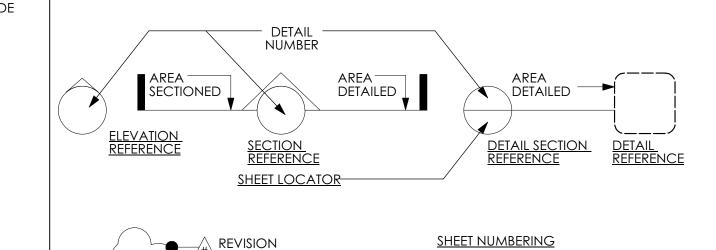
A QUALIFIED ENGINEER SHALL BE ON SITE FOR ANY REQUIRED CONTROL INSPECTION AND TO SURVEY CONDITIONS OF BUILDING OR STRUCTURE TO BE REMOVED AND DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION OPERATIONS.

BEFORE STARTING OPERATIONS, PROVIDE THE NECESSARY PROTECTIVE ELEMENTS, WHERE REQUIRED, IN STRICT ACCORDANCE WITH OSHA RULES AND REGULATIONS. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION AND ALL EXPRESSED IN THE NOTES. COMPLY WITH NFPA 241.

# **2020 NYS ECC PROFESSIONAL STATEMENT**

i, Shahin Badaly, do hereby certify to the best of my knowledge, belief and professional JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, CLIMATE ZONE 4A."

# SYMBOL KEY



A-XXX

SHEET NO. IN CHAPTER

CHAPTER LETTER

NUMBER/LETTER AND

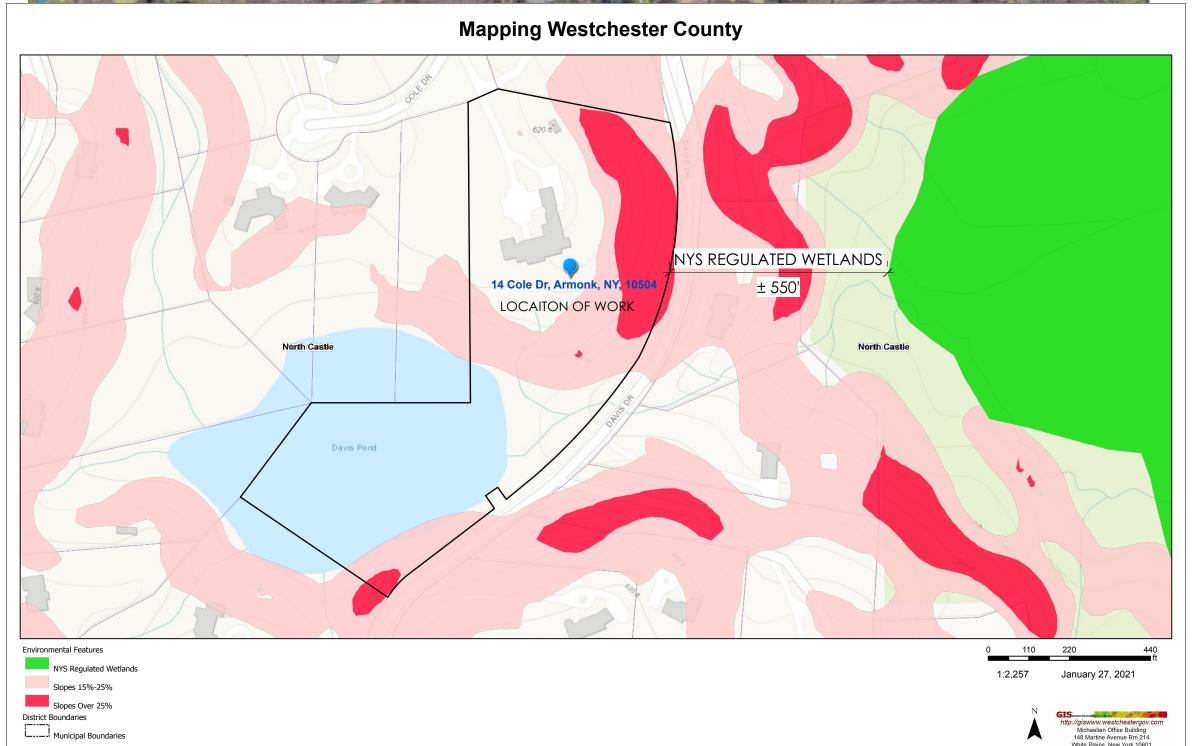
"CLOUDED" AREA REVISED

DELTA SYMBOL

# DRAWING INDEX (TOTAL 9 PAGES)

### **DRAWING** DRAWING NAME **NUMBER** C-001.00 GENERAL NOTES C-100.00 EXISTING SITE PLAN C-101.00 PROPOSED SITE PLAN C-110.00 SITE PLAN & ZONING COMPLIANCE C-120.00 **EROSION CONTROL PLAN & DETAILS** STEEP SLOPE SITE PLAN C-130.00 C-140.00 STORMWATER MANAGEMENT PLAN C-141.00 STORMWATER MANAGEMENT DETAILS C-150.00 SITE GRADING PLAN





# CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD (PSF)	WIND DESIGN					SUBJECT TO DAMAGE FROM					1			
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMEN T REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP	CH DR/
30 PSF	120	NO	YES	30 PSF	В	SEVERE	3'-6"	MODERATE TO HEAVY	15 DEG. F	YES	SEE BELOW	1500	52 DEG. F	

FLOOD HAZARDS:

(a) FIRST CODE DATE OF ADOPTION JULY 9,1980.

(b) DATE of FLOOR INSURANCE STUDY JAN. 21, 1998. (c) MAP PANEL NUMBERS 36119C0907F THROUGH 36119C0338F EFFECTIVE SEPT. 28, 2007.

# DATE DESCRIPTION

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LAW ARTICLE 145, SECTION 7209

**REVISIONS:** 

DESCRIPTION

# DATE

PROJECT TITLE:

14 COLE DRIVE NORTH CASTLE, NY 10504

EXTERIOR ALTERATIONS:

PRAWING TITLE:

GENERAL NOTES, **EXISTING SITE PLAN** 

SEAL AND SIGNATURE AS NOTED 1/25/21 JOB NO.: 21019 DRAWN BY

CHECKED B

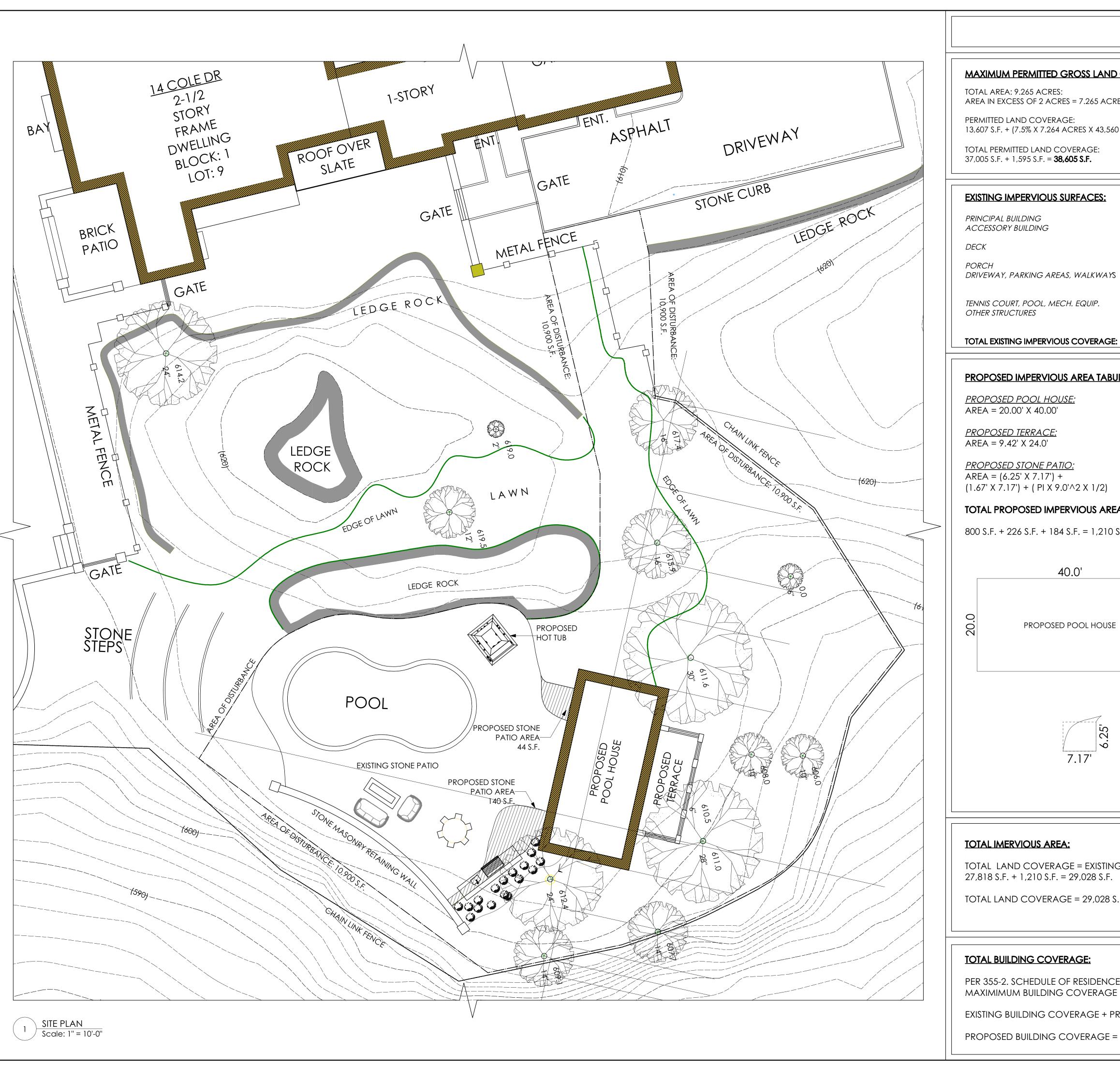
DRAWING NO.:

C-001.00

OF 9







# **ZONING COMPLIANCE**

# MAXIMUM PERMITTED GROSS LAND COVERAGE (355-26.C(1))

TOTAL AREA: 9.265 ACRES:

AREA IN EXCESS OF 2 ACRES = 7.265 ACRES

PERMITTED LAND COVERAGE: 13,607 S.F. + (7.5% X 7.264 ACRES X 43,560 S.F./ACRE) = **37,005 S.F.** 

TOTAL PERMITTED LAND COVERAGE: 37,005 S.F. + 1,595 S.F. = **38,605 S.F.** 

BONUS MAXIMUM GROSS LAND COVER:

R2-A: MIN. 50' FRONT SETBACK DISTANCE BEYOND FRONT SETBACK: 210' - 50' = 160'

27,818 S.F.

PERMITTED LAND COVERAGE: 160' X 10 = **1,600 S.F.** 

### **EXISTING IMPERVIOUS SURFACES:**

7,280 S.F. PRINCIPAL BUILDING **BUILDING COVERAGE:** 280 S.F. SUNROOM: ACCESSORY BUILDING SHED: 280 S.F. BRICK PATIO: 388 S.F. STONE PATIO: 2,170 S.F. FRONT COVERED PORCH: 1,025 S.F. DRIVEWAY, PARKING AREAS, WALKWAYS SLATE / WALKWAYS: 2,200 S.F. 6,100 S.F. ASPHALT / DRIVEWAYS: GRAVEL COURTYARD: 5,110 S.F. 630 S.F. TENNIS COURT, POOL, MECH. EQUIP. POOL: 880 S.F. OTHER STRUCTURES LEDGE ROCK: 1,475 S.F. RETAINING WALLS & STEPS:

## PROPOSED IMPERVIOUS AREA TABULATIONS:

**PROPOSED POOL HOUSE:** 

= 800 S.F. $AREA = 20.00' \times 40.00'$ 

**PROPOSED TERRACE:** 

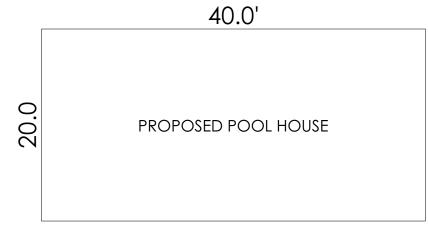
AREA = 9.42' X 24.0' = 226 S.F.

 $AREA = (6.25' \times 7.17') +$ 

 $(1.67' \times 7.17') + (PI \times 9.0'^2 \times 1/2)$  $= 184 \, \text{S.F.}$ 

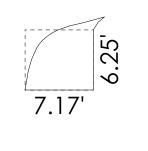
### TOTAL PROPOSED IMPERVIOUS AREA:

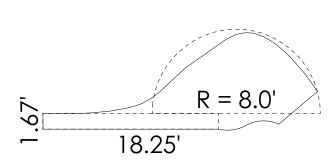
800 S.F. + 226 S.F. + 184 S.F. = 1,210 S.F.



24.0' PROPOSED TERRACE

PROPOSED STONE PATIO





# **TOTAL IMERVIOUS AREA:**

TOTAL LAND COVERAGE = EXISTING IMPERVIOUS AREA + PROPOSED IMPERVIOUS AREA 27,818 S.F. + 1,210 S.F. = 29,028 S.F.

TOTAL LAND COVERAGE = 29,028 S.F. < PERMITTED LAND COVERAGE = 38,605 S.F.

# **TOTAL BUILDING COVERAGE:**

PER 355-2. SCHEDULE OF RESIDENCE DISTRICT REGULATIONS. MAXIMIMUM BUILDING COVERAGE = 8% X LOT AREA = 8% X 9.265 ACRES = 32,286 S.F.

EXISTING BUILDING COVERAGE + PROPOSED POOL HOUSE = 7,280 S.F. + 800 S.F. = 8,080 S.F.

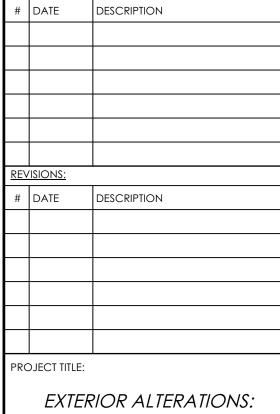
PROPOSED BUILDING COVERAGE = 8,080 S.F. < PERMITTED BUILDING COVERAGE = 32,286 S.F.

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14 COLE DRIVE NORTH CASTLE, NY 10504

DRAWING TITLE:

**SITE PLAN AND** <u>ZONING</u> COMPLIANCE

AS NOTED JOB NO.: 21019 DRAWN BY:

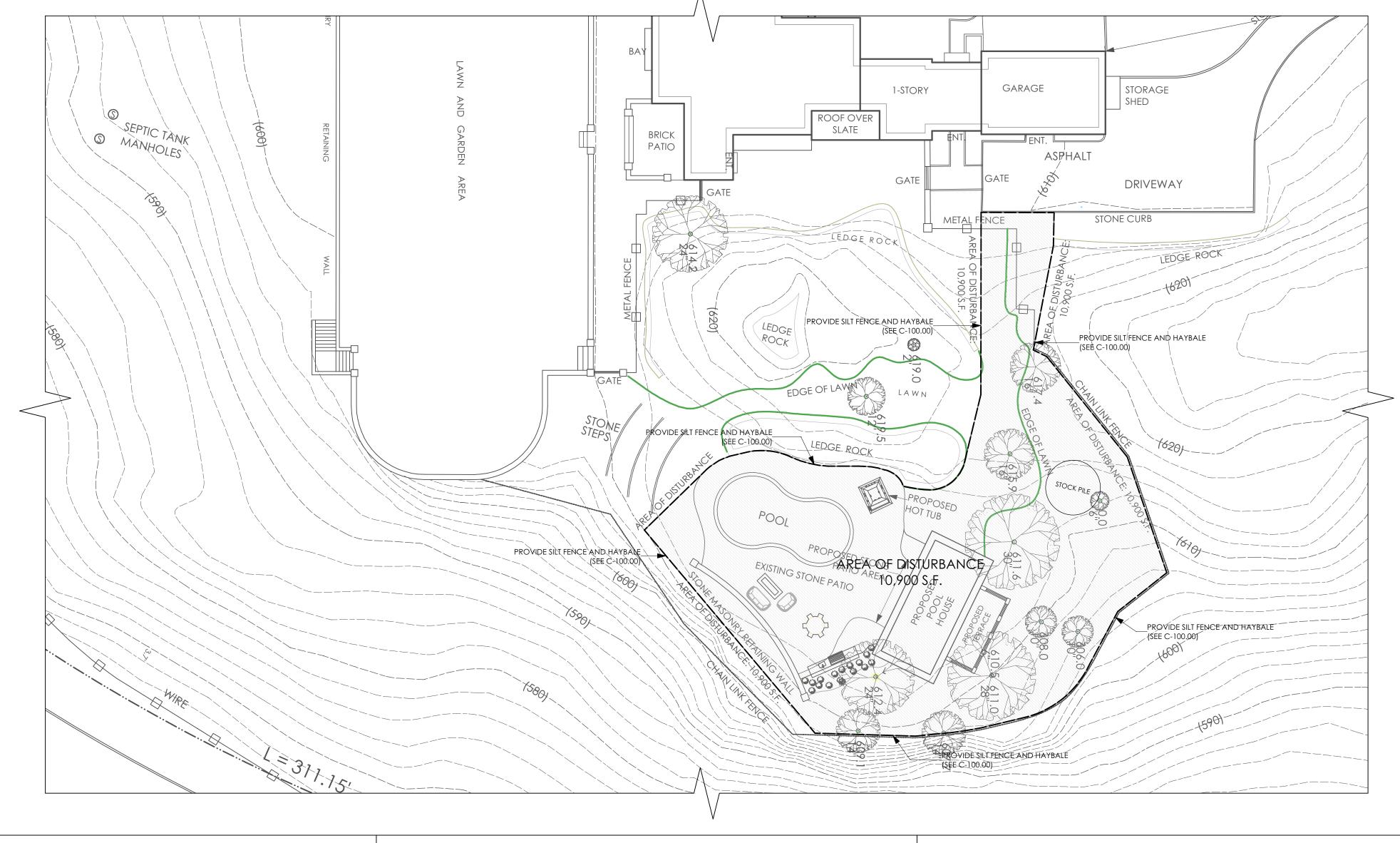
CHECKED BY

RAWING NO.:

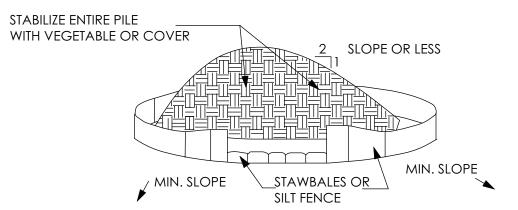
4 OF 9

# EROSION CONTROL NOTES:

- 1. PRIOR TO THE START OF CONSTRUCTION EROSION CONTROL DEVICES SHALL BE IN PLACE AS SHOWN ON THESE PLANS.
- 2. FINAL GRADES SHALL BE ESTABLISHED AS SOON AS POSSIBLE AND TOP SOILED AND SEEDED TO PROVIDE A TURF, WHICH WILL STABILIZE SLOPES AND PREVENT EROSION.
- 3. SLOPES TO REMAIN OPEN FOR MORE THAN THREE WEEKS SHALL BE PROTECTED WITH TEMPORARY SEEDING OR STAKED NETTING.
- 4. EROSION CONTROL DEVICES SHALL BE INSPECTED AFTER EACH RAINFALL AND SHALL BE CLEANED, REPAIRED OR REPLACED AS NECESSARY.
- 5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCEN WITH "NYS STANDARDS AND SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL".
- 6. THE CLEANING OF EXISTING DOWNSTREAM AREAS FROM ALL SILTATION AND CONSTRUCTION DEBRIS SHALL BE PERFORMED AS REQUIRED, AND UPON COMPLETION OF WORK.
- 7. THE ENGINEER MAY AT HIS DISCRETION REQUIRE ADDITIONAL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION TO MITIGATE UNFORESEEN EROSION AND SILTATION.

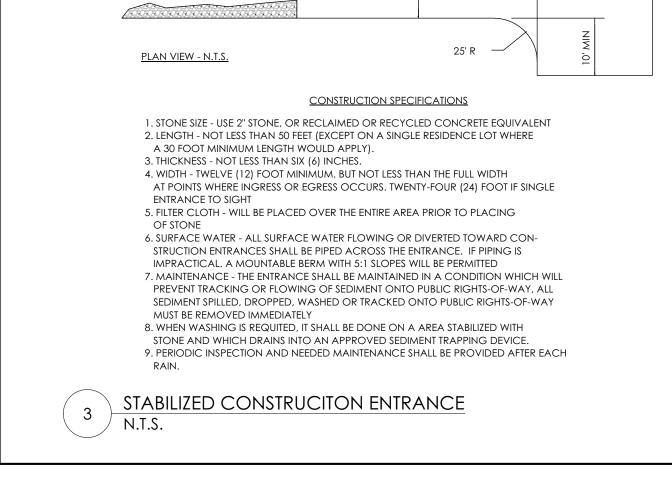


1 EROSION CONTROL PLAN Scale: 1" = 20'-0"



# INSTALLATION NOTES:

- 1. AREA CHOSEN FOR STOCKPILED OPERATIONS SHALL BE DRY AND STABLE.
- 2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTION OF SITE WITH ADEQUET SETBACKS FROM TEMPORARY DRAINAGE SWALES.
- 3. MAXIMUM SLOPE STOCKPILE SHALL BE 1 TO 2.
- 4. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETABLE OR COVERED.
- 5. STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDED AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
- 6. SEE SPECIFICATIONS AND DETAILS FOR INSTALLATION OF SILT FENCE.



50' OR GREATER AS REQUIRED

30' ON SINGLE FAMILY

50' OR GREATER AS REQUIRED

RESIDENTIAL LOT

FILTER CLOTH

EXISTING GROUND

PROFILE - N.T.S.

EXISTING GROUND

RESIDENTIAL LOT

PUBLIC ROW

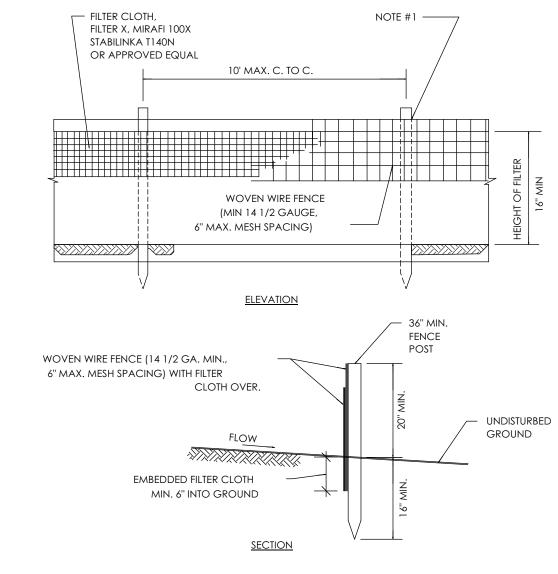
PAVEMENT

PAVEMENT

PROVIDE APPROPRIATE TRANSITION

ENTRANCE AND PUBLIC R.O.W.

BETWEEN STABILIZED CONSTRUCTION



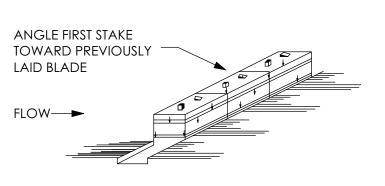
# CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

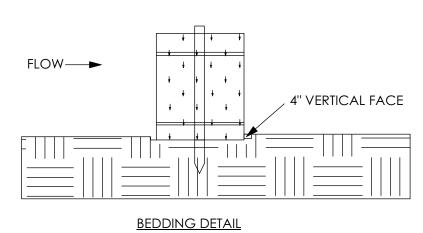
- 1. 36" MIN. STEEL POSTS, EITHER T OR U TYPE OR 2" HARDWOOD POSTS, DRIVEN MIN. 16" INTO
- 2. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.

  3. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY
- 24" AT TOP AND MID SECTION.
  4. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED
- BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLINKA T140N,
- 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP
- IN THE SILT FENCE.

  6. CONTRACTOR MAY USE PREFABRICATED UNITS, AS MANUFACTURED BY GEOFAB, ENVIROFENCE,
- 4 SILT FENCE DETAIL N.T.S.

OR APPROVED EQUAL.





# <u>NOTES</u>

- 1. BALES SHALL BE PLACED AT THE TOE OF THE SLOPE OR ON THE CONTOUR AND IN A ROW WITH END TIGHTLY ABUTTING IN ADJACENT BALES.
- 2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4 INCHES AND PLACED SP THE BINDING ARE HORIZONTAL.
- 3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGEL TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
- 4. INSPECTION SHALL BE MADE FREQUENTLY AND REPAIR SHALL BE MADE PROMPTLY AS NEEDED.
- 5. BALES SHALL BE REMOVED WHEN THEY SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.





BABA

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# DATE DESCRIPTION

REVISIONS:
# DATE DESCRIPTION

PROJECT TITLE:

EXTERIOR ALTERATIONS:

14 COLE DRIVE NORTH CASTLE, NY 10504

BLOCK: 1

DRAWING TITLE:

EROSION CONTROL PLAN AND DETAILS

SCALE:
AS NOTED

DATE:
1/25/21

JOB NO.:
21019

DRAWN BY:
AK

CHECKED BY: SB

DRAWING NO.:

C-120.00

5 OF 9

2 SOIL STOCK PILE DETAIL N.T.S.



ENGINEERING DESIGN:

(914) 465-9010

>25% SLOPE

15%-25% SLOPE

0% -15% SLOPE

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# DATE DESCRIPTION REVISIONS: # DATE DESCRIPTION PROJECT TITLE:

EXTERIOR ALTERATIONS:

14 COLE DRIVE NORTH CASTLE, NY 10504

STEEP SLOPE SITE PLAN

JOB NO.: 21019 DRAWN BY:

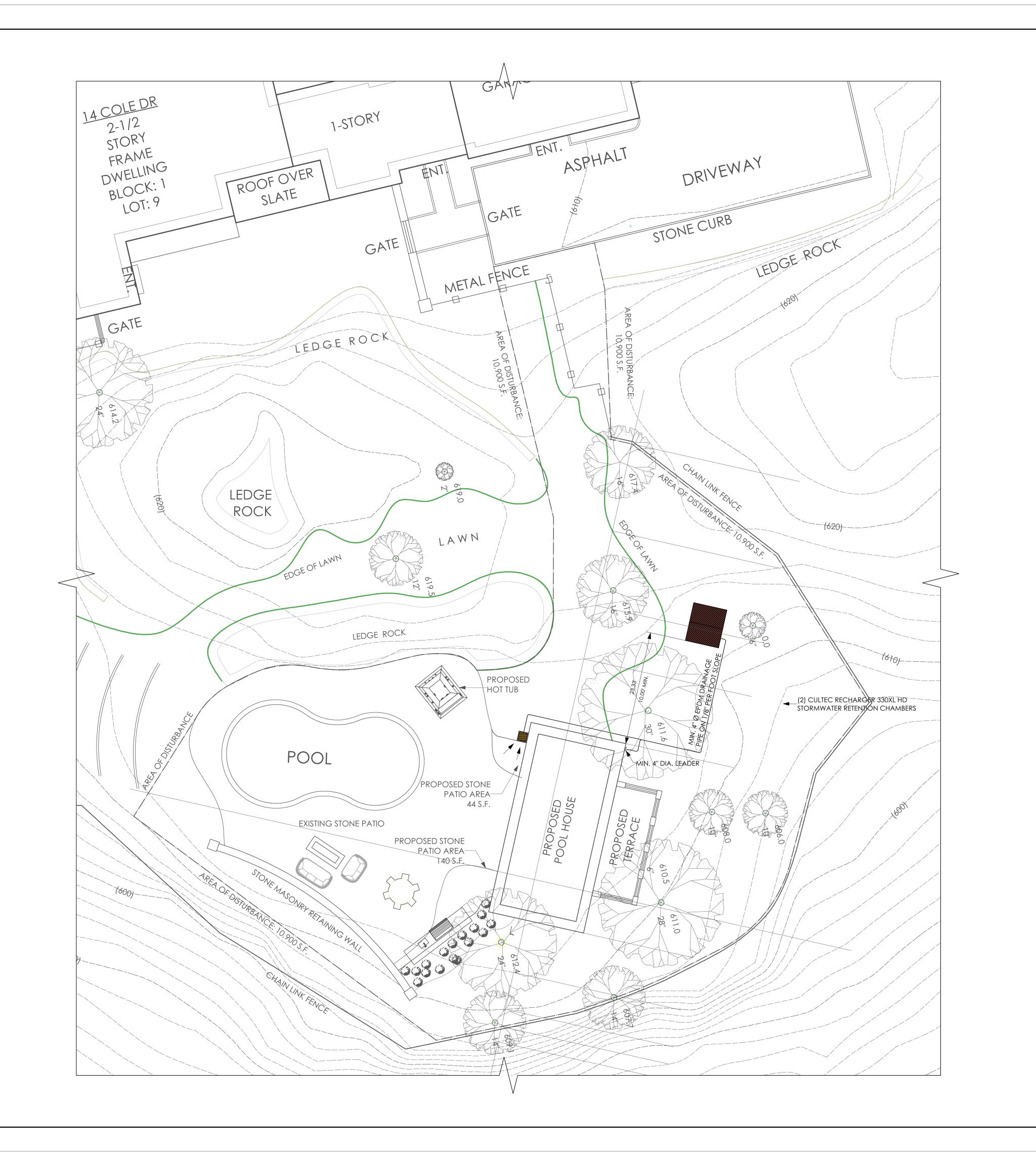
CHECKED BY:

DRAWING TITLE:

C-130.00

6 OF 9

STEEP SLOPE SITE PLAN
Scale: 1" = 10'-0"



BADALY ENGINEERING PLLC 2 WILSON PLACE, MT. VERNON, NY 10550

ENGINEERING DESIGN:

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14 COLE DRIVE NORTH CASTLE, NY 10504

DRAWING TITLE:

**STORMWATER** MANAGEMENT PLAN

AS NOTED JOB NO.:

21019 DRAWN BY:

CHECKED BY

C-140.00

7 OF 9

STORMWATER MANAGEMENT PLAN
Scale: 1" = 10'-0"

### BADALY **BADALY ENGINEERING PLLC** 2 Wilson Pl, Mt Vernon, NY 10550 PROJECT: 14 COLE DRIVE January 27, 2020 DESCRIPTION: STORMWATER RETENTION OF CHK'D: DRYWELL DESIGN ΑK SITE STORMWATER DRAINAGE DESIGN THE FOLLOWING DRAINAGE DESIGN HAS BEEN CALCULATED BASED OFF THE PROCEDURE OUTLINED IN NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL (JANUARY, 2015) SITE AREAS AREA (FT<sup>2</sup>) AREA (AC) PROPSED IMPERVIOUS AREA POOL HOUSE ROOF 1,026 0.0236 800 S.F. TERRACE **PAVED** 232 0.0053 226 S.F. STONE PATIO 232 S.F. GRASS 0.0000 0 1,258 0.0289 MAXIMUM REQUIRED DETENTION VOLUME ASSUME HYDROLOGIC SOIL GROUP C TOTAL DRAINAGE AREA (A) = 1,258.0 TOTAL IMERPVIOUS AREA = 1,258.0 90TH PERCENTILE RAINFALL (P) = 1.5 SEE FIGURE 4.1: 2015 NYS STORMWATER MANAGEMENT PERCENT IMPERVIOUS AREA (I) = 100.00 DESIGN MANUAL RV = 0.05 + (0.009(I)) =0.95 149 WQv = (P\*Rv\*A)/12 =TOTAL VOLUME REQUIRED = USE CULTEC RECHARGER 330XLHD RETENTION CHAMBERS: # OF CHAMBERS = 52.21 CHAMBER STORAGE = INSTALLED STORAGE: 79.26 TOTAL STORAGE = 158.52 PROPOSED STORMWATER RETENTION CHAMBER VOLUME

158.5 CF >

149 CF

 $V_{TOTAL} =$ 

### **CULTEC RECHARGER® 330XLHD SPECIFICATIONS**

CULTEC RECHARGER® 330XLHD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

1. THE CHAMBERS SHALL BE MANUFACTURED IN THE U.S.A. BY CULTEC, INC. OF BROOKFIELD, CT (CULTEC.COM, 203-775-4416).

2. THE CHAMBER SHALL BE VACUUM THERMOFORMED OF POLYETHYLENE WITH A BLACK INTERIOR AND BLUE EXTERIOR.

3. THE CHAMBER SHALL BE ARCHED IN SHAPE.

4. THE CHAMBER SHALL BE OPEN-BOTTOMED.

5. THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.

6. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER® 330XLHD SHALL BE 30.5 INCHES (775 MM) TALL, 52 INCHES (1321 MM) WIDE AND 8.5 FEET (2.59 M) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER® 330XLHD SHALL BE 7 FEET (2.13 M).

7. MAXIMUM INLET OPENING ON THE CHAMBER END WALL IS 24 INCHES (600 MM) HDPE, PVC. 8. THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV® FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. MAXIMUM ALLOWABLE O.D. IN THE

SIDE PORTAL IS 10 INCHES (250 MM) HDPE AND 12 INCHES (300 MM) PVC. 9. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV® FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 MM) TALL, 16 INCHES (406 MM) WIDE AND 24.2 INCHES (614

MM) LONG. 10. THE NOMINAL STORAGE VOLUME OF THE RECHARGER® 330XLHD CHAMBER SHALL BE 7.459 FT3 / FT (0.693 M3 / M) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A

SINGLE RECHARGER® 330XLRHD STAND ALONE UNIT SHALL BE 63.40 FT3 (1.80 M3) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER® 330XLIHD INTERMEDIATE UNIT SHALL BE 52.213 FT3 (1.478 M3) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF THE LENGTH ADJUSTMENT AMOUNT PER RUN SHALL BE 11.19 FT3 (1.04 M3)

11. THE NOMINAL STORAGE VOLUME OF THE HVLV® FC-24 FEED CONNECTOR SHALL BE 0.913 FT3 / FT (0.026 M3 / M) - WITHOUT STONE.

12. THE RECHARGER® 330XLHD CHAMBER SHALL HAVE FIFTY-SIX DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNIT'S CORE TO PROMOTE LATERAL CONVEYANCE OF

13. THE RECHARGER® 330XLHD CHAMBER SHALL HAVE 16 CORRUGATIONS.

14. THE END WALL OF THE CHAMBER, WHEN PRESENT, SHALL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT. 15. THE RECHARGER® 330XLRHD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.

16. THE RECHARGER® 330XLSHD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL END WALL AND ONE PARTIALLY FORMED INTEGRAL END WALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 MM) HIGH X 34.5 INCHES (876 MM) WIDE.

17. THE RECHARGER® 330XLIHD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY OPEN END WALL AND ONE PARTIALLY FORMED INTEGRAL END WALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 MM) HIGH X 34.5 INCHES (876 MM) WIDE.

18. THE RECHARGER® 330XLEHD END UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL END WALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.

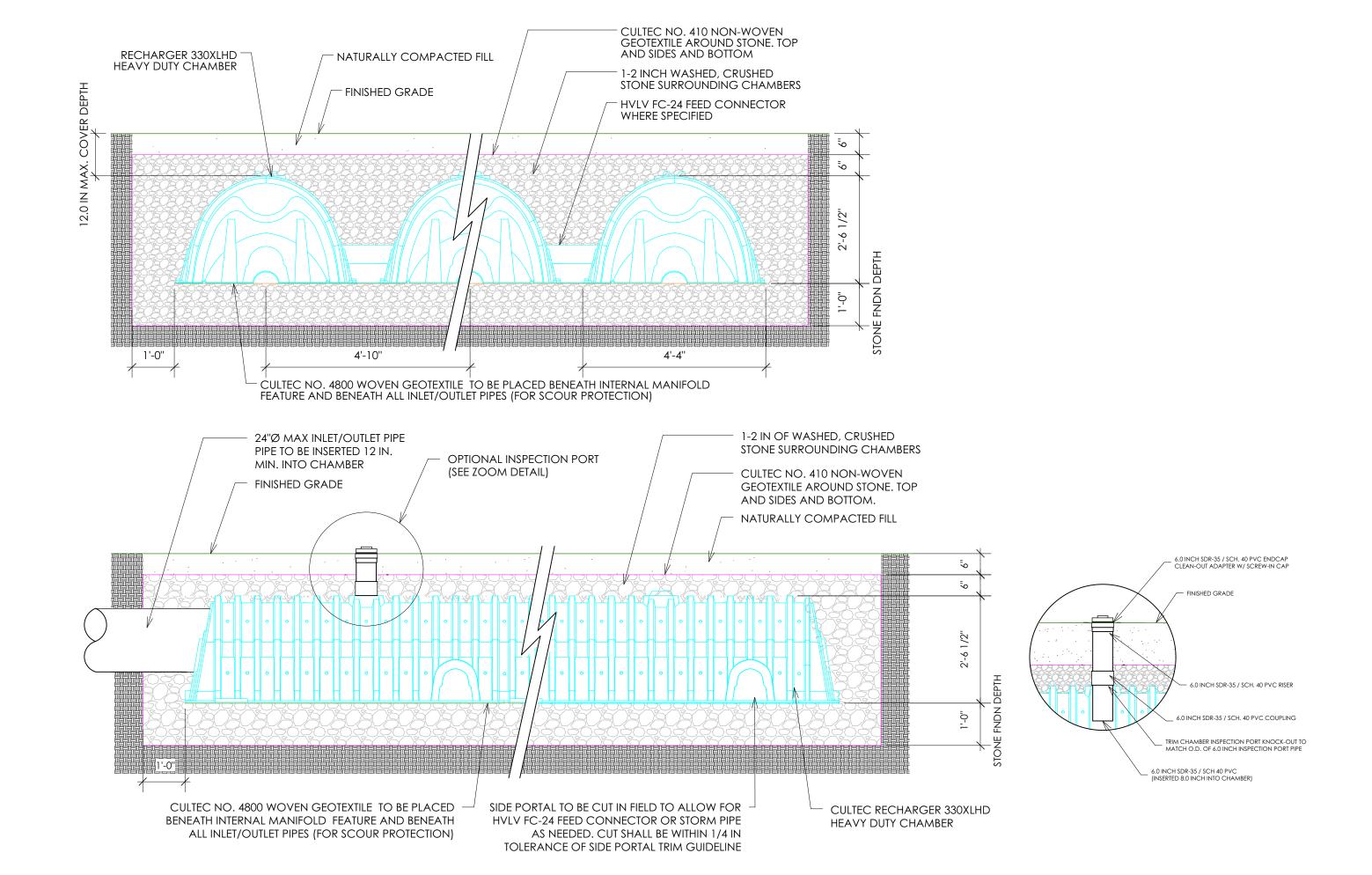
19. THE HVLV® FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE RECHARGER® 330XLHD AND ACT AS CROSS FEED CONNECTIONS.

20. CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.

21. THE CHAMBER SHALL HAVE A RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT. 22. THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION ON THE LARGE RIB END.

23. THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2015 CERTIFIED FACILITY.

24. MAXIMUM ALLOWABLE COVER OVER THE TOP OF THE CHAMBER SHALL BE 12' (3.66 M). 25. THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.





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EXTERIOR ALTERATIONS:

14 COLE DRIVE

NORTH CASTLE, NY 10504

**STORMWATER** 

**MANAGEMENT** 

**DETAILS** 

SEAL AND SIGNATURE:

DESCRIPTION

DRAWING NO.:

8 OF 9

**CULTEC RECHARGER 330XLHD DETAILS** Scale: 1/2" = 1'-0"

