



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 14 COLE DRIVE , NORTH CASTLE , NY 10504

Section III- DESCRIPTION OF WORK:

Proposed accessory Building Pool House with bathroom, changing room, kitchenette at existing pool area. Proposed an exterior Hot tub and propane fire pit and Grill at existing pool deck.

Section III- CONTACT INFORMATION:

APPLICANT: SHAHIN BADALY
ADDRESS: 2 WILSON PL, MT. VERNON, NY 10550
PHONE: 914-465-9010 MOBILE: _____ EMAIL: SHAHIN@BADALY.COM

PROPERTY OWNER: Dev Brar
ADDRESS: 14 Cole dr. North Castle , NY 10504
PHONE: 317-334-7777 MOBILE: 262-729-0309 EMAIL: drbrar@homecareforyou.com

PROFESSIONAL: SHAHIN BADALY
ADDRESS: 2 WILSON PL, MT. VERNON, NY 10550
PHONE: 914-465-9010 MOBILE: _____
EMAIL: SHAHIN@BADALY.COM

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 94.04-1-9



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: POOL HOUSE

Initial Submittal Revised Preliminary

Street Location: 14 COLE DRIVE ,NORTH CASTLE ,NY 10504

Zoning District: R2A Property Acreage: 9.265 Tax Map Parcel ID: 94 04-1-9

Date: 02/02/2021

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 14 COLE DRIVE Date: 01/28/2021

Tax Map Designation or Proposed Lot No.: 94.04-1-9

Gross Lot Coverage

- | | | |
|-----|---|-------------------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>9.265 AC= 403,584 S.F.</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>37,005 S.F.</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback
<u> </u> 160' x 10 = <u> </u> | 1,600 S.F. <u> </u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>38,605 S.F.</u> |
| 5. | Amount of lot area covered by principal building :
<u>7,280</u> existing + <u>0</u> proposed = | <u>7,280</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>560</u> existing + <u>800</u> proposed = | <u>1,360</u> |
| 7. | Amount of lot area covered by decks :
<u>2,558</u> existing + <u>184</u> proposed = | <u>2,742</u> |
| 8. | Amount of lot area covered by porches :
<u>1,025</u> existing + <u>0</u> proposed = | <u>1,025</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u>13,410</u> existing + <u>0</u> proposed = | <u>13,410</u> |
| 10. | Amount of lot area covered by terraces :
<u>0</u> existing + <u>226</u> proposed = | <u>226</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u>630</u> existing + <u>0</u> proposed = | <u>630</u> |
| 12. | Amount of lot area covered by all other structures :
<u>2,355</u> existing + <u>0</u> proposed = | <u>2,355</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>27,818</u> |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparer:



Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: POOL HOUSE Date: 02-02-21

Tax Map Designation or Proposed Lot No.: 94 04 -1 -9

Floor Area

- | | | |
|-----|--|-----------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>403,583.40 sqf</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>25,714.50 sqf</u> |
| 3. | Amount of floor area contained within first floor:
<u>6,733.77</u> existing + <u>0</u> proposed = | <u>6,733.77Sqf</u> |
| 4. | Amount of floor area contained within second floor:
<u>5,751.60</u> existing + <u>0</u> proposed = | <u>5,751.60 Sqf</u> |
| 5. | Amount of floor area contained within garage:
<u>880.07</u> existing + <u>0</u> proposed = | <u>880.07 Sqf</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>1,071.18</u> existing + <u>0</u> proposed = | <u>1,071.18 Sqf</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>2,238.16</u> existing + <u>0</u> proposed = | <u>2,238.16 Sqf</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>2,039.47</u> existing + <u>0</u> proposed = | <u>2,039.47 Sqf</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>247.04</u> existing + <u>800</u> proposed = | <u>1,047.04 Sqf</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>19,761.29 Sqf</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Engineer Worksheet

02-02-21
 Date



ENGINEERING DESIGN:
BADALY ENGINEERING PLLC
 2 WILSON PLACE, MT. VERNON, NY 10550
 (914) 465-9010
 BADALY.COM
 ANY ALTERATIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF A NYS LICENSED P.E. (OR R.A. WHERE APPLICABLE) IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145, SECTION 2209.
 DOCUMENT MAY NOT BE DISTRIBUTED, REPRODUCED, COPIED, PUBLISHED, TRANSMITTED, MODIFIED, OR IN ANY WAY EXPLOITED WITHOUT WRITTEN PERMISSION FROM BADALY ENGINEERING. ANY UNAUTHORIZED MODIFICATION OF THIS DOCUMENT SHALL RENDER IT INVALID.



POOL HOUSE

14 COLE DR. ARMONK NY 10504

REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED POOL HOUSE:
 14 COLE DRIVE
 NORTH CASTLE, NY 10504
 BLOCK: 1 LOT: 09

DRAWING TITLE:
COVER

SCALE: AS NOTED	SEAL AND SIGNATURE:
DATE: 01/25/2021	
JOB NO.: 21019	
DRAWN BY: AK	
CHECKED BY: SB	

DRAWING NO.:
A-000.00

SHEET NO.:
 1-14

MATERIAL KEY		ABBREVIATIONS		ABBREVIATIONS (CONT.)	
		<p>ABV ABOVE FINISH FLOOR</p> <p>AP ACCESS PANEL</p> <p>ACT ACOUSTIC CEILING TILE</p> <p>A.T. ACOUSTIC TILE</p> <p>ADJ ADJUSTABLE</p> <p>AGGR AGGREGATE</p> <p>A AIR</p> <p>ALT ALTERNATE</p> <p>ALUM ALUMINUM</p> <p>ANNUN ANNUNCIATOR</p> <p>APPROX APPROXIMATELY</p> <p>ARCH ARCHITECT / ARCHITECTURAL</p> <p>ASB ASBESTOS</p> <p>ASPH ASPHALT</p> <p>⊕ AUDIO VISUAL AUXILIARY</p> <p>AY</p> <p>AUX</p> <p>BAL BALANCE</p> <p>BSMT BASEMENT</p> <p>BTWN BETWEEN</p> <p>BITUM BITUMINOUS</p> <p>BLKG BLOCKING BOARD</p> <p>BD BOTTOM</p> <p>B.O.S. BOTTOM OF SLAB</p> <p>BULD BUILDING</p> <p>B.U.R. BUILT UP ROOFING BY OTHERS</p> <p>B.O.</p> <p>CAP CAPACITY</p> <p>CR CARD READER</p> <p>CPT CARPET</p> <p>C.I.P. CAST-IN-PLACE</p> <p>C.I. CAST IRON</p> <p>CLG CEILING</p> <p>CEM CEMENT</p> <p>CL CENTERLINE</p> <p>C.C. CENTER TO CENTER</p> <p>CT CERAMIC TILE</p> <p>CB CHALKBOARD</p> <p>CO CLEANOUT DRAIN</p> <p>CLR CLEARANCE</p> <p>CLO CLOSET</p> <p>COL COLUMN</p> <p>CONC CONCRETE</p> <p>CMU CONCRETE MASONRY UNIT</p> <p>CONN CONNECTION</p> <p>CONSTR CONSTRUCTION</p> <p>CONT CONTINUOUS/CONTINUE</p> <p>CONTR CONTRACTOR</p> <p>CJ CONTROL JOINT</p> <p>COORD COORDINATE</p> <p>CG CORNER GUARD</p> <p>C COURSES</p> <p>DP DAMPPROOFING</p> <p>DTL DETAIL</p> <p>DIA DIAMETER</p> <p>DIFF DIFFUSER</p> <p>DIM DIMENSION</p> <p>DW DISHWASHER</p> <p>DN DOWN</p> <p>DS DOWNSPOUT</p> <p>DWG DRAWING</p> <p>DF DRINKING FOUNTAIN</p> <p>EA EACH</p> <p>E EAST</p> <p>ELEC ELECTRIC/ELECTRICAL</p> <p>ESM ELECTRICAL SNOW MELT</p> <p>EP ELECTRIC PANEL</p> <p>EWV ELECTRIC WATER COOLER</p> <p>EL ELEVATION</p> <p>ENCL ENCLOSURE/ENCLOSURE</p> <p>EM ENTRY MAT</p> <p>EP.TER EPOXY TERRAZZO</p> <p>EQ EQUAL</p> <p>EQ. SP. EQUALLY SPACED</p> <p>EQUIP EQUIPMENT</p> <p>ESC ESCALATOR</p> <p>EXIST EXISTING</p> <p>EJ EXPANSION JOINT</p> <p>EXT EXTERIOR</p> <p>EIPS EXTERIOR INSULATION FINISH SYSTEM</p> <p>FT FEET/FOOT</p> <p>FIN FINISH</p> <p>FA FIRE ALARM</p> <p>FP FIRE CONTROL PANEL</p> <p>FE FIRE EXTINGUISHER</p> <p>FEC FIRE EXTINGUISHER CABINET</p> <p>FLEX FLEXIBLE</p> <p>FLR FLOOR</p> <p>FB FLOOR BOX</p> <p>FD FLOOR DRAIN</p> <p>FLG FLOORING</p> <p>FLUOR FLUORESCENT</p> <p>FTG FOOTING</p> <p>FDN FOUNDATION</p> <p>FURN FURNITURE</p> <p>FUT FUTURE</p> <p>GALV GALVANIZED</p> <p>G GAS</p> <p>GSV GAS SAFETY VALVE</p> <p>GL GLASS</p> <p>G.CMU GLAZED CONCRETE MASONRY UNIT</p> <p>GR GRADE</p> <p>GND GROUND</p> <p>GA GAUGE</p> <p>GYP GYPSUM</p> <p>GWB GYPSUM WALLBOARD (PAINTED)</p> <p>HDW HARDWARE</p> <p>HD HEAD</p> <p>HVAC HEATING VENTILATING AIR CONDITIONING</p> <p>HGT HEIGHT</p> <p>HC HOLLOW CORE</p> <p>HM HOLLOW METAL</p> <p>HORIZ HORIZONTAL</p> <p>HB HOSE BIBB</p> <p>IN INCH/INCHES</p> <p>INCL INCLUDING</p> <p>ID INSIDE DIAMETER</p> <p>INSUL INSULATION/INSULATED/INSULATING</p> <p>INT INTERIOR</p> <p>JT JOINT</p> <p>J JOIST</p> <p>J BX JUNCTION BOX</p> <p>KO KNOCKOUT</p>	<p>LAB LABORATORY</p> <p>LAM LAMINATE/LAMINATED</p> <p>LAM. GL. LAMINATED GLASS</p> <p>LOG LANDING</p> <p>LAV LAVATORY</p> <p>LVL LEVEL</p> <p>LT LIGHT</p> <p>LTG LIGHTING</p> <p>LIN LINEAR</p> <p>L LONG/LENGTH</p> <p>LVR LOUVER</p> <p>MB MARKER BOARD</p> <p>MAS MASONRY</p> <p>MAO MASONRY OPENING</p> <p>MATL MATERIAL</p> <p>MAX MAXIMUM</p> <p>MECH MECHANICAL</p> <p>MEMB MEMBRANE</p> <p>M MEN</p> <p>MTL METAL</p> <p>MPC METAL PAN CEILING</p> <p>MTR METER</p> <p>MIN MINIMUM</p> <p>MISC MISCELLANEOUS</p> <p>MTD MOUNTED</p> <p>NOM NOMINAL</p> <p>N NORTH</p> <p>NIC NOT IN CONTRACT</p> <p>NTS NOT TO SCALE</p> <p>NO. NUMBER</p> <p>O.C. ON CENTER</p> <p>OPNG OPENING</p> <p>OPP OPPOSITE</p> <p>OPP. HAND OPPOSITE HAND</p> <p>OD OUTSIDE DIMENSION</p> <p>PTD PAINTED</p> <p>PAIR PAIR</p> <p>PNL PANEL</p> <p>P.T.D. PAPER TOWEL DISPENSER</p> <p>P.T.D.R. PAPER TOWEL DISPENSER/RECEPTOR</p> <p>PAR. PARALLEL</p> <p>PART PARTITION</p> <p>PERIM PERIMETER</p> <p>PLAS PLASTER</p> <p>P LAM PLASTIC LAMINATE</p> <p>PLYWD PLYWOOD</p> <p>POINT POINT</p> <p>PORC. ENAM PORCELAIN ENAMEL</p> <p>PREFAB PREFABRICATED</p> <p>PROJ PROJECTION</p> <p>PROP. PROPERTY</p> <p>PL PROPERTY LINE</p> <p>Q.T. QUARRY TILE</p> <p>R RADIUS/RISER</p> <p>RECT RECTANGULAR</p> <p>REF REFER/REFERENCE</p> <p>REFRG REFRIGERATOR</p> <p>REINCF REINFORCE/REINFORCING</p> <p>REQD REQUIRED</p> <p>REV REVISION/REVISE</p> <p>RT RIGHT</p> <p>R.O.W. RIGHT OF WAY</p> <p>R.D. ROOF DRAIN</p> <p>R.H. ROOF HATCH</p> <p>RM ROOM</p> <p>RO ROUGH OPENING</p> <p>S.N.D. SANITARY NAPKIN DISPENSER</p> <p>S.N.D.R. SANITARY NAPKIN DISPENSER/RECEPTOR</p> <p>S.N.R. SANITARY NAPKIN RECEPTOR</p> <p>SCHED SCHEDULED</p> <p>SECT SECTION</p> <p>SEC SECURITY</p> <p>SHIT SHEET</p> <p>SH SHOWER</p> <p>SIM SIMILAR</p> <p>SLV SLEEVES</p> <p>SD SOAP DISPENSER</p> <p>S SOUTH</p> <p>SPEC SPECIFICATION</p> <p>SPR. SPRINKLER</p> <p>SQ SQUARE</p> <p>SQ FT SQUARE FOOT</p> <p>SQ IN SQUARE INCH</p> <p>SS STAINLESS STEEL</p> <p>STD STANDARD</p> <p>STL STEEL</p> <p>STR STRAIGHT</p> <p>STOR. STORAGE</p> <p>STRUCT STRUCTURE/STRUCTURAL</p> <p>SUSP SUSPENDED</p> <p>T.BD. TACK BOARD</p> <p>TEL TELEPHONE</p> <p>TV TELEVISION</p> <p>TEMP TEMPERATURE</p> <p>TERR. TILE TERRAZZO TILE</p> <p>THK THICK/THICKNESS</p> <p>T TOILET/TREAD</p> <p>TPH. TOILET PAPER HOLDER</p> <p>T.PTN. TOILET PARTITION</p> <p>TOL. TOLERANCE</p> <p>T.O. TOP OF</p> <p>T.O.S. TOP OF SLAB</p> <p>TB TOWEL BAR</p> <p>TYP TYPICAL</p> <p>U. UNDERCUT</p> <p>UON/UNO UNLESS OTHERWISE NOTED</p> <p>UR URINAL</p> <p>VB VAPOR BARRIER</p> <p>VENT. VENTILATE/VENTILATION</p> <p>VERIF. IN FIELD VERIFY IN FIELD</p> <p>VERT VERTICAL</p> <p>VCT VINYL COMPOSITION TILE</p> <p>VIT VINYL TILE</p> <p>V. VOLTS/VOLTAGE</p> <p>WP WALL PROTECTION</p> <p>WF WASH FOUNTAIN</p> <p>WC WATER CLOSET</p> <p>WPF WATERPROOFING</p> <p>WFW WELDED WIRE FABRIC</p> <p>W WIDTH/WEST/WATTS/WOMEN</p> <p>W WINDOW</p> <p>WTH WITH</p> <p>W/O WITHOUT</p> <p>WD WOOD</p> <p>YD YARD</p>		

DRAWING LIST

ARCHITECTURAL DRAWINGS	
1	A000.00 - COVER
2	A001.00 - INDEX, SYMBOLS
3	A002.00 - ZONING ANALYSIS , MAP LOCATOR
4	A003.00 - AERIAL PHOTO - EXISTING AND PROPOSED
5	A004.00 - EXISTING SURVEY - JOSEPH LINK SURVEYOR
6	A005.00 - EXISTING TOPOGRAPHY - JOSEPH LINK SURVEYOR
7	A006.00 - EXISTING CELLAR FLOOR PLAN - FLOOR AREA CALCULATION SCHEDULE AND FLOOR PLAN
8	A007.00 - EXISTING GROUND FLOOR PLAN - FLOOR AREA CALCULATION SCHEDULE AND FLOOR PLAN
9	A008.00 - EXISTING SECOND FLOOR PLAN - FLOOR AREA CALCULATION
10	A009.00 - EXISTING THIRD PLAN - FLOOR AREA CALCULATION
11	A100.00 - PROPOSED POOL HOUSE - CELLAR FLOOR PLAN
12	A101.00 - PROPOSED POOL HOUSE - GROUND FLOOR
13	A102.00 - PROPOSED POOL HOUSE - ROOF
14	A200.00 - PROPOSED POOL HOUSE - ELEVATIONS
15	A300.00 - PROPOSED POOL HOUSE - SECTIONS
16	A400.00 - PROPOSED POOL HOUSE - WINDOW SCHEDULE, WALL & ROOF TYPES
17	A500.00 - PROPOSED POOL HOUSE - EXTERIOR HOT TUB
18	A600.00 - PROPOSED & EXISTING PHOTOS /RENDERS
ENGINEERING	
1	PROPOSED SEPTIC PLAN - SITE DESIGN CONSULTANTS
ENGINEERING	
1	C-001.00 - GENERAL NOTES
2	C-100.00 - EXISTING SITE PLAN
3	C-101.00 - PROPOSED SITE PLAN
4	C- 110.00 - SITE PLAN & ZONING COMPLIANCE
5	C-120.00 - EROSION CONTROL PLAN & DETAILS
6	C-130.00 -STEEP SLOPE SITE PLAN
7	C-140.00 - STORMWATER MANAGEMENT PLAN
8	C-141.00 -STORMWATER MANAGEMENT PLAN
9	C-150.00 - SITE GRADING PLAN

REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED POOL HOUSE:
 14 COLE DRIVE
 NORTH CASTLE, NY 10504

DRAWING LIST SCALE: - 01

BLOCK: 1 LOT: 09

DRAWING TITLE:

DRAWING LIST SYMBOLS

JOB DESCRIPTION
 PROPOSED ACCESSORY BUILDING POOL HOUSE AT EXISTING POOL DECK AREA.

PROPOSED POOL HOUSE AREA 800 SQF AND 15 FEET HEIGHT TO MIDDLE ROOF, PROPOSED EXTERIOR HOT TUB , FIRE PIT AND BARBEQUE GRILL AT EXTERIOR DECK. POOL HOUSE WITH 1 SPACE FOR KITCHENETTE, LIVING/DINING AREA, CHANGING ROOM, BATHROOM, EXTERIOR PERGOLA AND TERRACE.

SCALE: AS NOTED
 DATE: 01/25/2021
 JOB NO.: 21019
 DRAWN BY: AK
 CHECKED BY: SB

SEAL AND SIGNATURE:

DRAWING NO.:
A-001.00

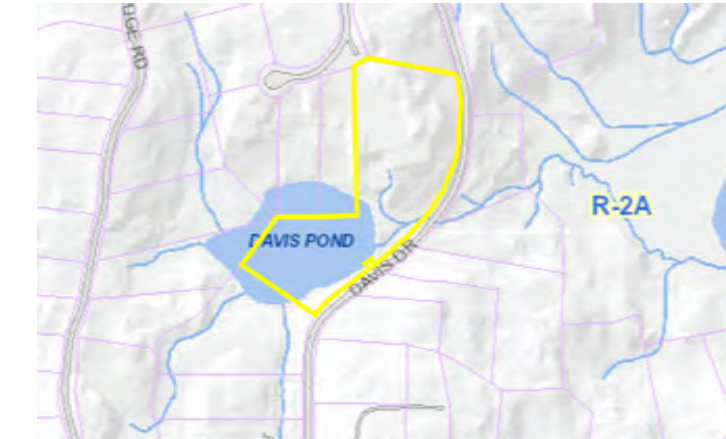
SHEET NO.:
 2-18

SYMBOLS		SYMBOLS	
	DOOR NUMBER		REVISION LETTER (BEFORE ISSUE/BID)
	PARTITION TYPE		REVISION NUMBER (AFTER ISSUE/BID)
	NEW/REQUIRED ELEVATION		ACCESSORY TAG SEE PLANS FOR KEY
	NORTH ARROW		ADA ACCESSIBLE DEVICE
	SECTION NUMBER		2" DIAMETER SUPPLY DIFFUSER
	ELEVATION NUMBER		HIDDEN LINE (ABOVE)
	DETAIL NUMBER		HIDDEN LINE (BELOW/CONCEALED)
	INTERIOR ELEVATION NUMBER		UTILITY LINE
			CENTER LINE
			MATCH LINE
			GAS SAFETY VALVE
			FIRE CONTROL PANEL
			FIRE EXTINGUISHER CABINET
			FIRE EXTINGUISHER
			ELECTRICAL PANEL
			ELECTRICAL SNOW MELT SYSTEM PANEL
			CARD READER
			CLEANOUT DRAIN
			FLOOR DRAIN
			CORNER GUARD
			WALL GUARD

NOTE: SEE REFLECTED CEILING PLANS FOR KEY TO CEILING DEVICES

SYMBOLS SCALE: - 04

JOB DESCRIPTION SCALE: - 02



Address: 14 COLE DR.
 ARMONK
 New York 10504
 MAP : 94.04
 BLOCK : 1
 Lot 9

ZONING ANALYSIS		R2A		EXISTING	PROPOSED	COMMENTS
1	Permitted Principal Uses	Single-family, not to exceed on any lot		Single-family (no change)		Complies
2	Permitted Accessory Buildings	Private gardenhouses, toolhouses, greenhouses, gatehouses, garage or similar private accessory uses not over 1 story and 15 feet in height and limited to 800 square feet in area, except that the planning Board may, by special permit , authorize the construction of accessory building not over 2 stories or 22 feet in height, provided that any such individual accessory building does not exceed 25% of the floor area of the main building and further provided that all such accessory buildings meet all required setbacks for main buildings in the district in which they are located and are not located within any front yard.		Private pool houses, not over 1 story and 15 feet in height and limited to 800 square feet in area, provided that any such individual accessory building does not exceed 25% of the floor area of the main building and further provided that all such accessory buildings meet all required setbacks for main buildings in the district in which they are located and are not located within any front yard.		Complies
3	Minimum lot size	4 acres	9.265 acres	NO CHANGE		Complies
		Frontage	250	1205.13	NO CHANGE	Complies
		Width	250	1051.96	NO CHANGE	Complies
		Depth	150	360.5	NO CHANGE	Complies
4	Minimum yards					Complies
		Front	75	206.76'	NO CHANGE	Complies
		Side	50	161'	NO CHANGE	Complies
		Rear	50	69.3'	NO CHANGE	Complies
5	Maximum Building Height					Complies
		Stories	-	NO CHANGE		
		Feets	30	30	NO CHANGE	Complies
6	Maximum Building coverage					Complies
		Lot Area	6%	NO CHANGE		
7	Minimum Dwelling unit size					Complies
		Lot Area	1600	NO CHANGE		



MAP WITH TAX LOTS AND DIMENSIONS
 SCALE: 02

ZONING SCHEDULE
 SCALE: 03

#	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED POOL HOUSE:
 14 COLE DRIVE
 NORTH CASTLE, NY 10504
 BLOCK: 1 LOT: 09

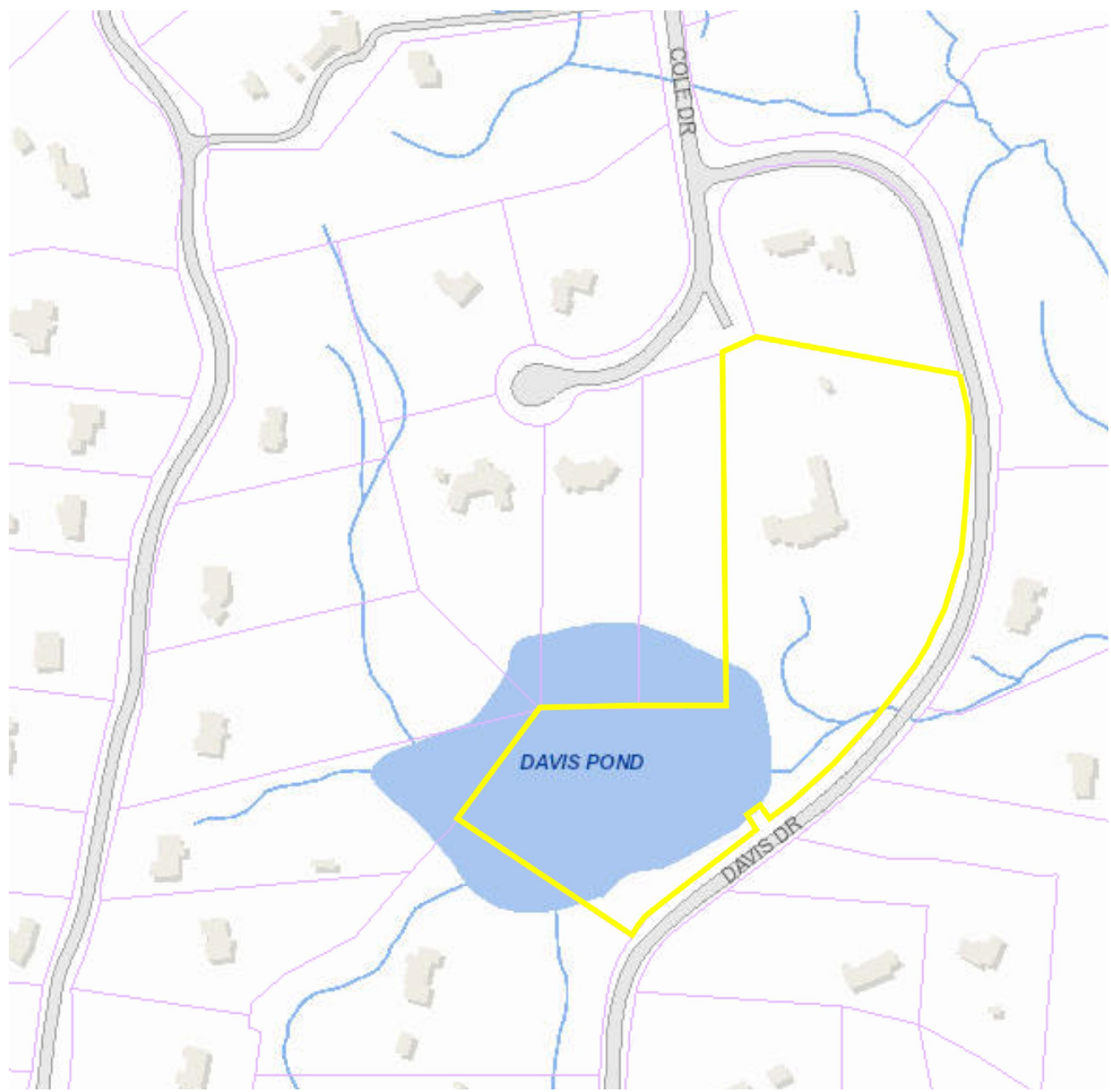
ZONING ANALYSIS MAP LOCATOR

SCALE:
 AS NOTED
 DATE:
 01/25/2021
 JOB NO.:
 21019
 DRAWN BY:
 AK
 CHECKED BY:
 SB

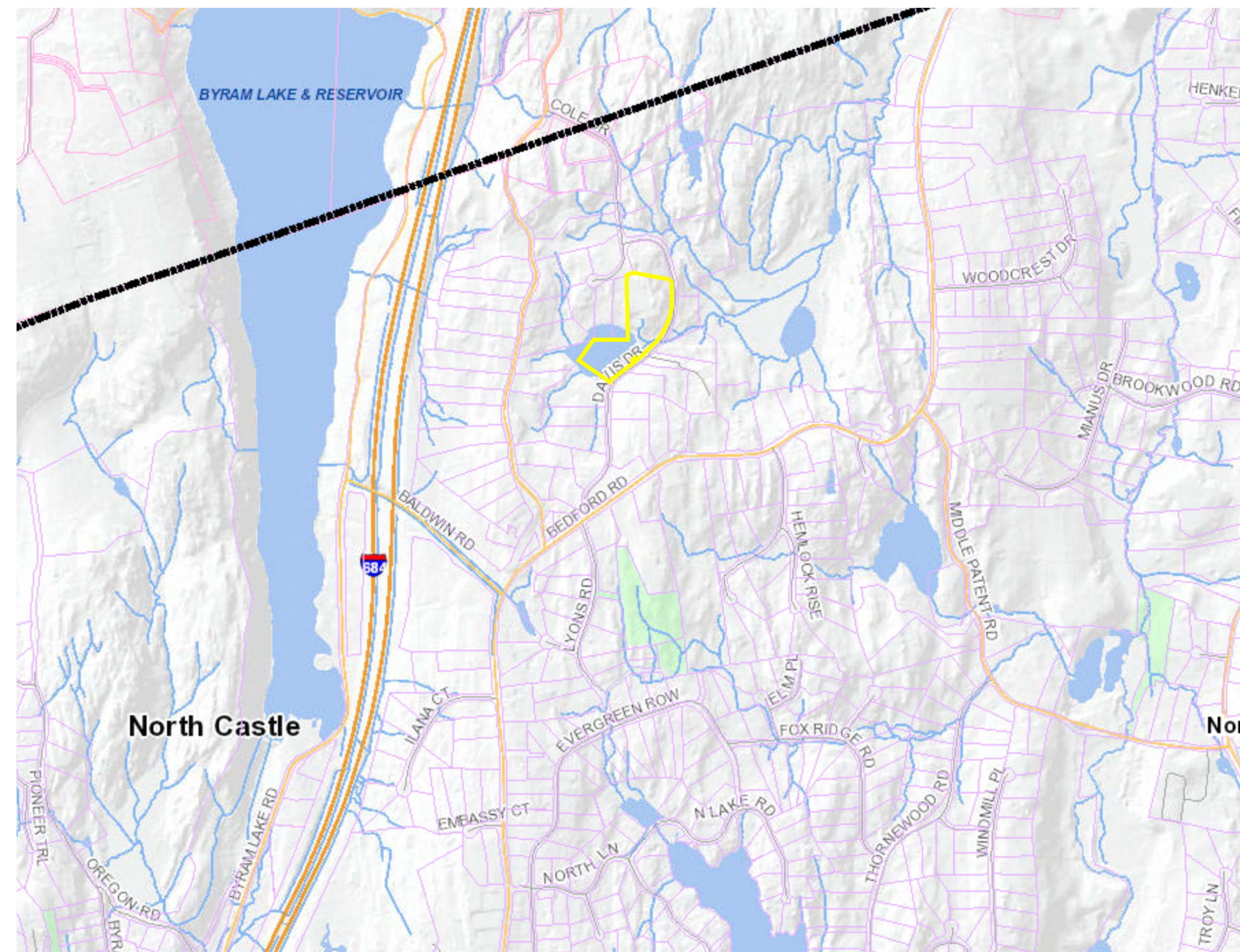


DRAWING NO.:
A-002.00

SHEET NO.:
 3-18



MAP WITH APPLICANT ENTIRE PROPERTY AND ADJACENT PROPERTIES AND STREETS
 SCALE: NA 02



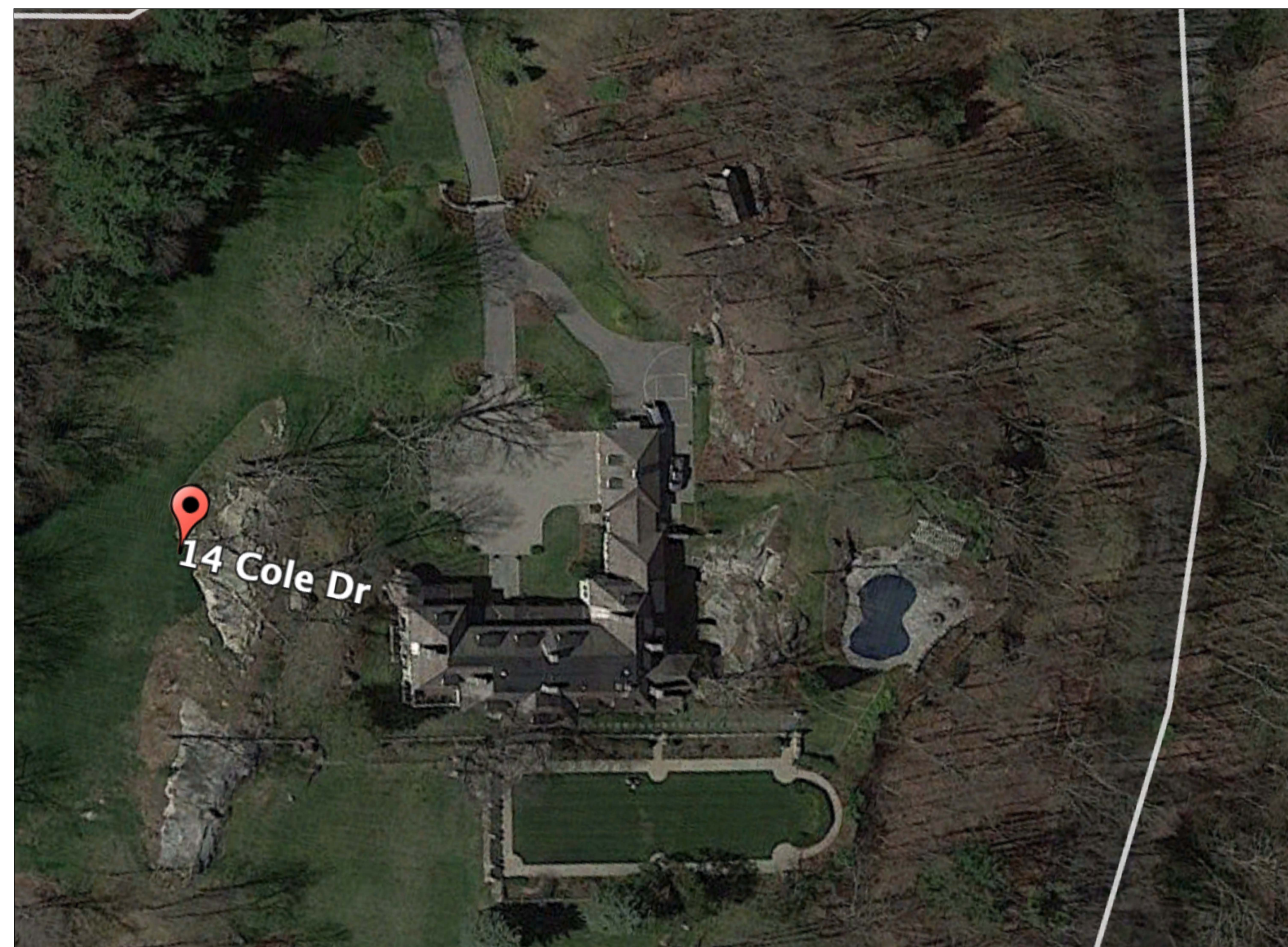
LOCATOR MAP
 SCALE: 01



AERIAL PHOTO
SCALE 03



PROPOSED POOL HOUSE - AERIAL PHOTO (WINTER)
SCALE 02



EXISTING AERIAL PHOTO (WINTER)
SCALE 01

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REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED POOL HOUSE:
 14 COLE DRIVE
 NORTH CASTLE, NY 10504
 BLOCK: 1 LOT: 09
 DRAWING TITLE:
**ZONING ANALYSIS
 AERIAL PHOTOS
 EXISTING & PROPOSED**

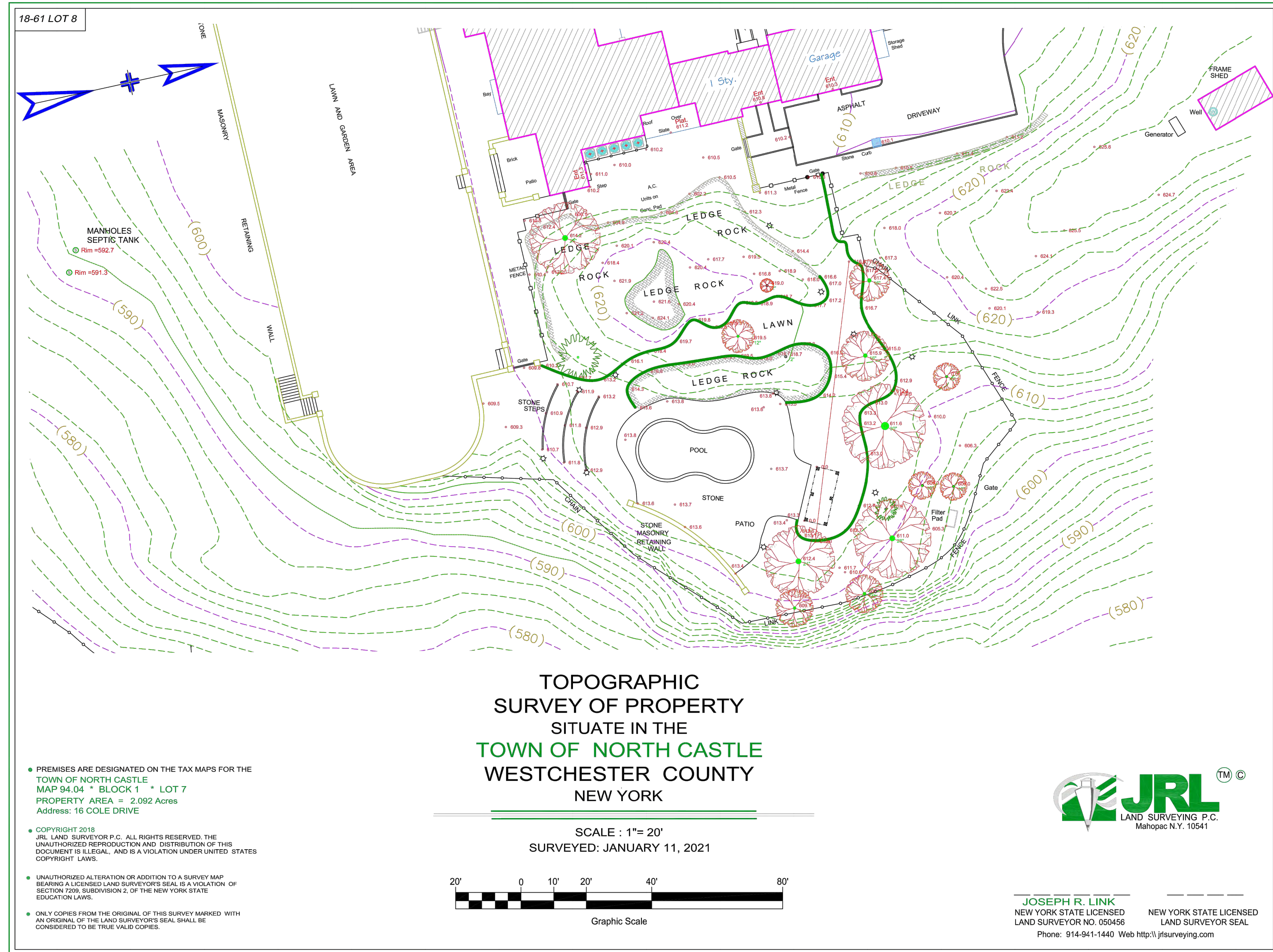
SCALE:
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DRAWING NO.:
A-003.00

SHEET NO.:
 4-18

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REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:
**PROPOSED POOL HOUSE:
14 COLE DRIVE
NORTH CASTLE, NY 10504**

BLOCK: 1 LOT: 09

DRAWING TITLE:
**EXISTING
TOPOGRAPHIC**

SCALE:
AS NOTED

DATE:
01/25/2021

JOB NO.:
21019

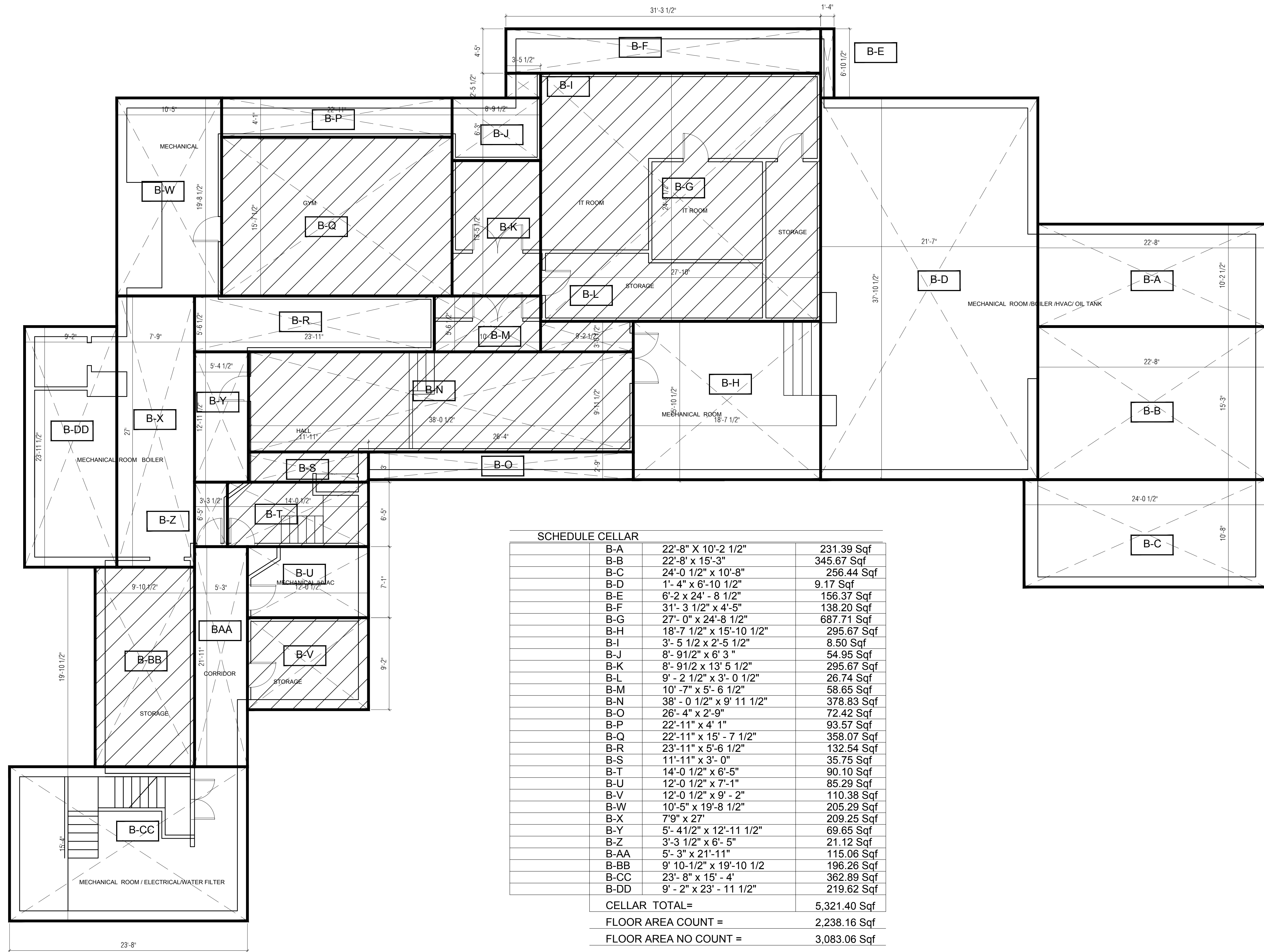
DRAWN BY:
AK

CHECKED BY:
SB

DRAWING NO.:
A-005.00

SHEET NO.:
6-14

SEAL AND SIGNATURE:



SCHEDULE CELLAR		
B-A	22'-8" X 10'-2 1/2"	231.39 Sqf
B-B	22'-8" X 15'-3"	345.67 Sqf
B-C	24'-0 1/2" X 10'-8"	256.44 Sqf
B-D	1'-4" X 6'-10 1/2"	9.17 Sqf
B-E	6'-2 X 24' - 8 1/2"	156.37 Sqf
B-F	31'- 3 1/2" X 4'-5"	138.20 Sqf
B-G	27'- 0" X 24'-8 1/2"	687.71 Sqf
B-H	18'-7 1/2" X 15'-10 1/2"	295.67 Sqf
B-I	3'- 5 1/2 X 2'-5 1/2"	8.50 Sqf
B-J	8'- 9 1/2" X 6' 3 "	54.95 Sqf
B-K	8'- 9 1/2" X 13' 5 1/2"	295.67 Sqf
B-L	9' - 2 1/2" X 3'- 0 1/2"	26.74 Sqf
B-M	10' -7" X 5'- 6 1/2"	58.65 Sqf
B-N	38'- 0 1/2" X 9' 11 1/2"	378.83 Sqf
B-O	26'- 4" X 2'-9"	72.42 Sqf
B-P	22'-11" X 4' 1"	93.57 Sqf
B-Q	22'-11" X 15' - 7 1/2"	358.07 Sqf
B-R	23'-11" X 5'-6 1/2"	132.54 Sqf
B-S	11'-11" X 3'- 0"	35.75 Sqf
B-T	14'-0 1/2" X 6'-5"	90.10 Sqf
B-U	12'-0 1/2" X 7'-1"	85.29 Sqf
B-V	12'-0 1/2" X 9' - 2"	110.38 Sqf
B-W	10'-5" X 19'-8 1/2"	205.29 Sqf
B-X	7'9" X 27'	209.25 Sqf
B-Y	5'- 4 1/2" X 12'-11 1/2"	69.65 Sqf
B-Z	3'-3 1/2" X 6'- 5"	21.12 Sqf
B-AA	5'- 3" X 21'-11"	115.06 Sqf
B-BB	9' 10-1/2" X 19'-10 1/2"	196.26 Sqf
B-CC	23'- 8" X 15' - 4'	362.89 Sqf
B-DD	9' - 2" X 23' - 11 1/2"	219.62 Sqf
CELLAR TOTAL=		5,321.40 Sqf
FLOOR AREA COUNT =		2,238.16 Sqf
FLOOR AREA NO COUNT =		3,083.06 Sqf

REVISIONS:		
#	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED POOL HOUSE:
 14 COLE DRIVE
 NORTH CASTLE, NY 10504

BLOCK: 1 LOT: 09

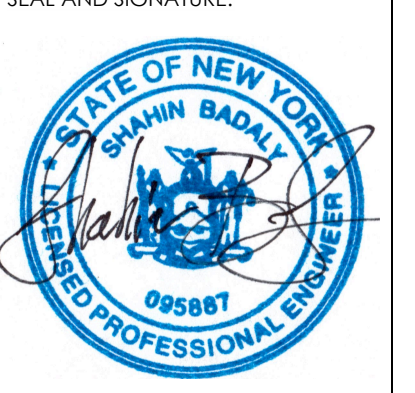
DRAWING TITLE:
FLOOR AREA CALC. EXISTING CELLAR TOTAL FLOOR AREA

FLOOR AREA CALCULATION - EXISTING CELLAR FLOOR PLAN
 SCALE: 3/16" = 1'-0" 01

SCHEDULE FLOOR AREA CALCULATION		
1.-	CELLAR	2,238.16 Sqf
2.-	GROUND FLOOR	8,685.02 Sqf
3.-	SECOND FLOOR	5,751.60 Sqf
4.-	THIRD FLOOR	2,039.47 Sqf
5.-	SHED	247.04 Sqf
6.-	PROPOSED POOL HOUSE	800.00 Sqf
TOTAL FLOOR AREA		19,761.29 Sqf

SCHEDULE MAXIMUM PERMITTED GROSS FLOOR AREA		
LOT AREA	9.265 ACRES	403,583.40 Sqf
3% IN EXCESS OF 4 ACRES		12,107.50 Sqf
13,607		13,607.00 Sqf
TOTAL FLOOR AREA ALLOW		25,714.50 Sqf
EXISTING		18,961.29 Sqf
PROPOSED POOL HOUSE		800.00 Sqf
TOTAL FLOOR AREA		19,761.29 Sqf

SCALE: AS NOTED
 DATE: 01/25/2021
 JOB NO.: 21019
 DRAWN BY: AK
 CHECKED BY: SB

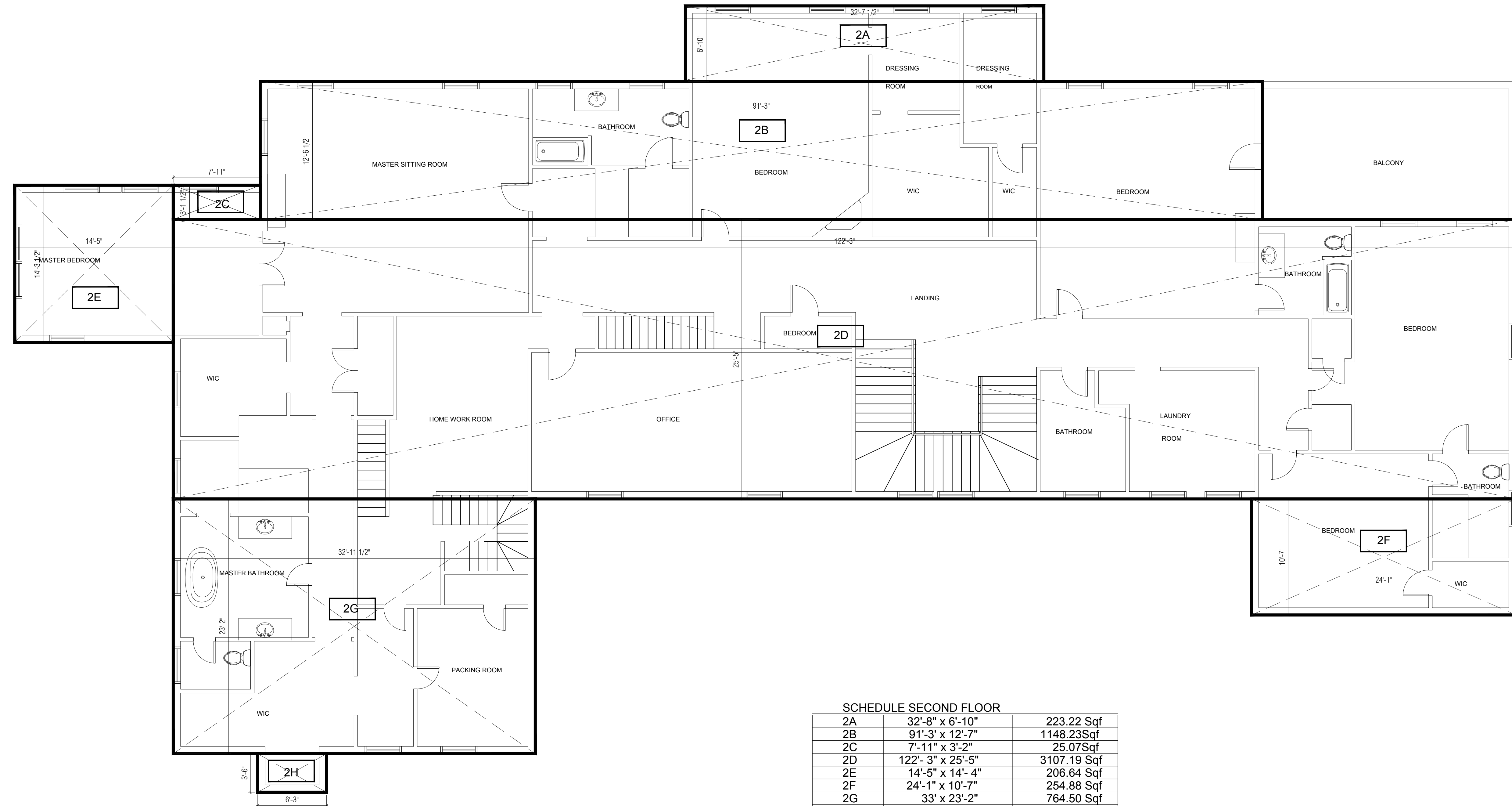


DRAWING NO.:
A-006.00

FLOOR AREA CALCULATION SCHEDULE
 SCALE: 3/16" = 1'-0" 02

SHEET NO.: 7-14

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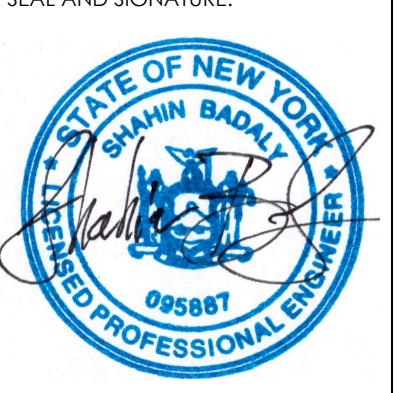
SCHEDULE SECOND FLOOR		
2A	32'-8" x 6'-10"	223.22 Sqf
2B	91'-3" x 12'-7"	1148.23 Sqf
2C	7'-11" x 3'-2"	25.07 Sqf
2D	122'-3" x 25'-5"	3107.19 Sqf
2E	14'-5" x 14'-4"	206.64 Sqf
2F	24'-1" x 10'-7"	254.88 Sqf
2G	33' x 23'-2"	764.50 Sqf
2H	6'-3" x 3'-6"	21.87 Sqf
2 FLOOR TOTAL=		5751.60 Sqf

REVISIONS:		
#	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED POOL HOUSE:
 14 COLE DRIVE
 NORTH CASTLE, NY 10504
 BLOCK: 1 LOT: 09

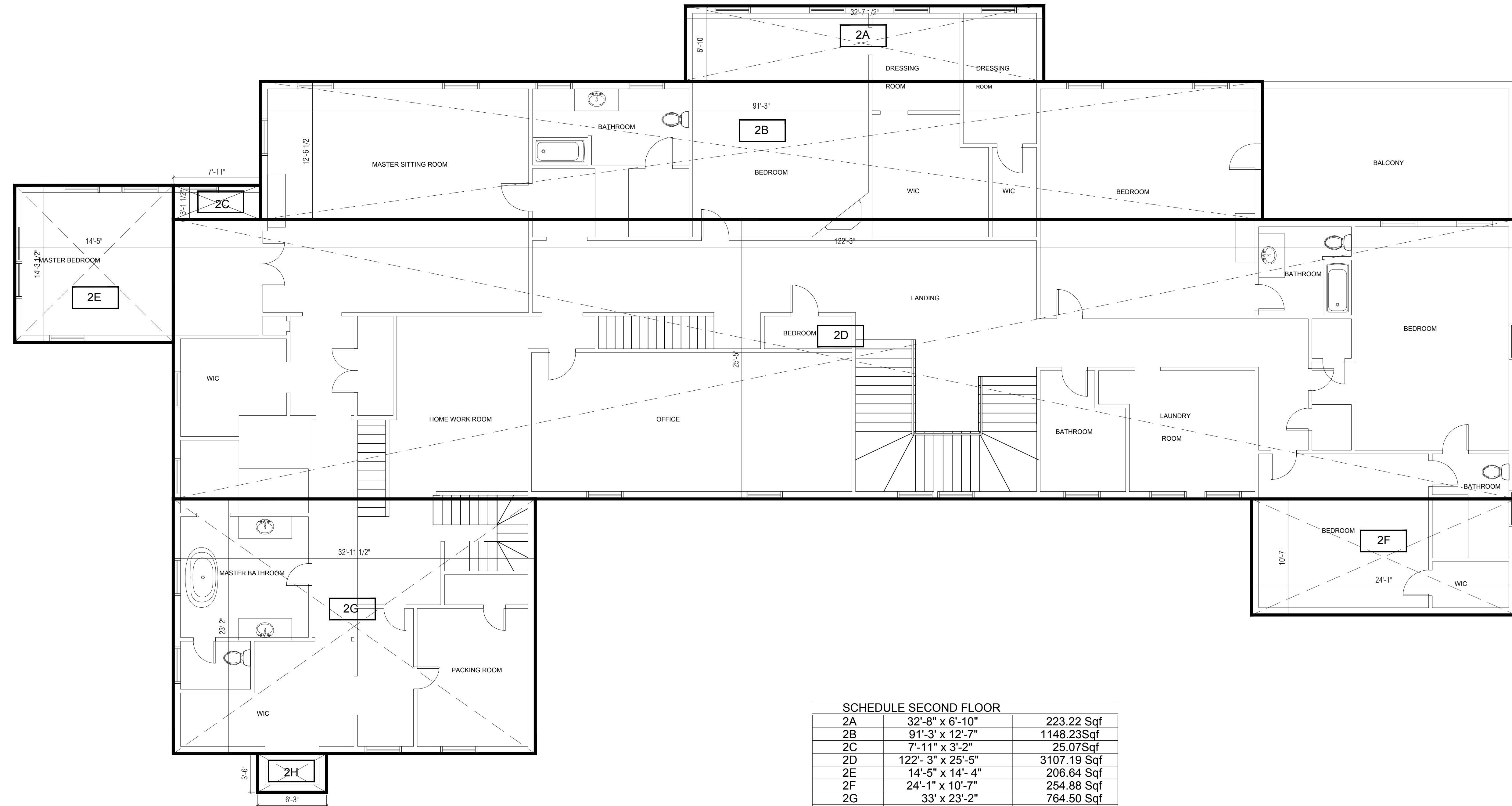
DRAWING TITLE:
FLOOR AREA CALC.
EXISTING 2ND FLOOR

SCALE:
 AS NOTED
 DATE:
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 JOB NO.:
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DRAWING NO.:
A-008.00

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SCHEDULE SECOND FLOOR		
2A	32'-8" x 6'-10"	223.22 Sqf
2B	91'-3" x 12'-7"	1148.23 Sqf
2C	7'-11" x 3'-2"	25.07 Sqf
2D	122'-3" x 25'-5"	3107.19 Sqf
2E	14'-5" x 14'-4"	206.64 Sqf
2F	24'-1" x 10'-7"	254.88 Sqf
2G	33' x 23'-2"	764.50 Sqf
2H	6'-3" x 3'-6"	21.87 Sqf
2 FLOOR TOTAL=		5751.60 Sqf

REVISIONS:		
#	DATE	DESCRIPTION

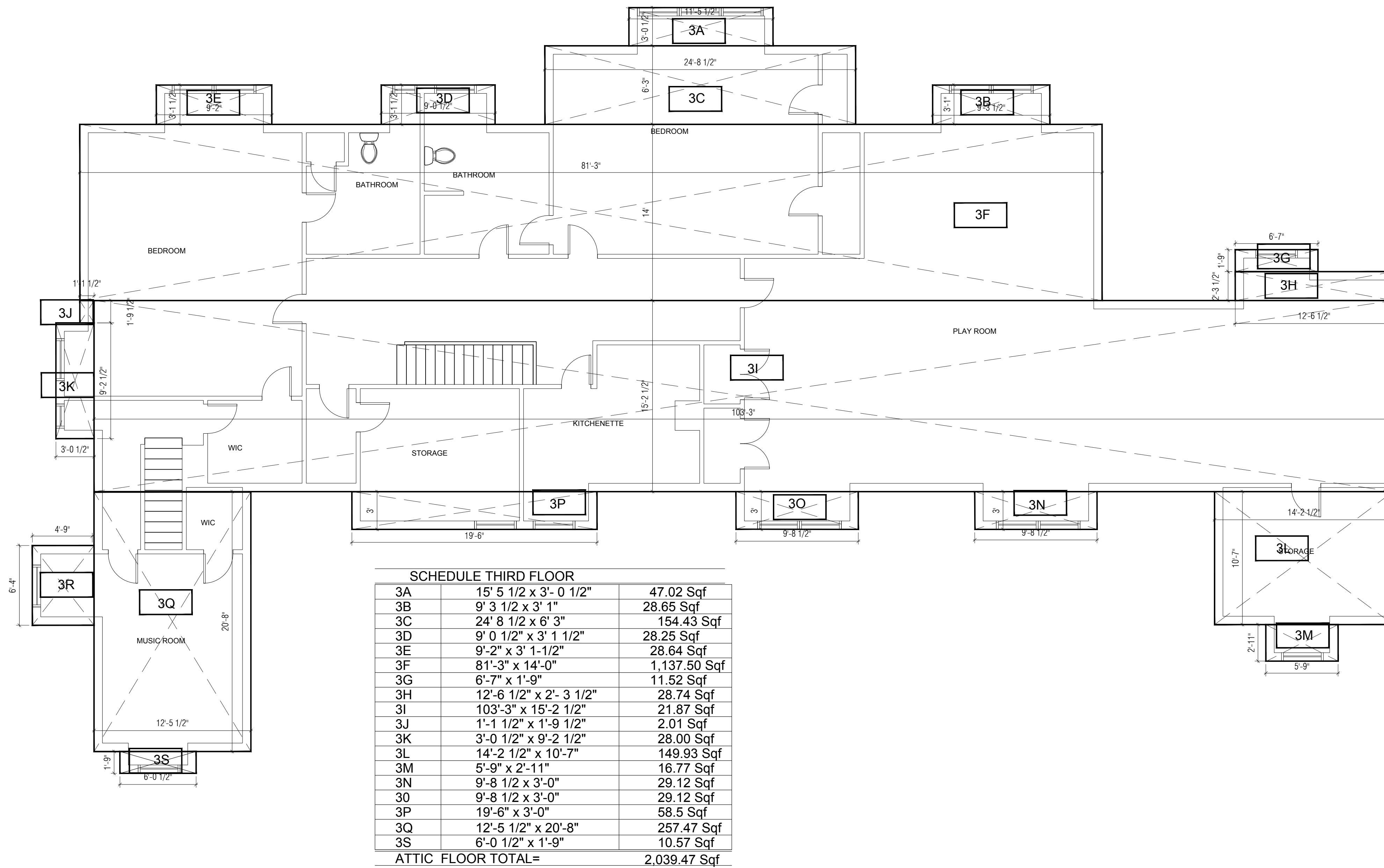
PROJECT TITLE:
PROPOSED POOL HOUSE:
 14 COLE DRIVE
 NORTH CASTLE, NY 10504
 BLOCK: 1 LOT: 09

DRAWING TITLE:
FLOOR AREA CALC.
EXISTING 2ND FLOOR

SCALE:
 AS NOTED
 DATE:
 01/25/2021
 JOB NO.:
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DRAWING NO.:
A-008.00



SCHEDULE THIRD FLOOR

3A	15' 5 1/2" x 3'-0 1/2"	47.02 Sqf
3B	9' 3 1/2" x 3' 1"	28.65 Sqf
3C	24' 8 1/2" x 6' 3"	154.43 Sqf
3D	9' 0 1/2" x 3' 1 1/2"	28.25 Sqf
3E	9'-2" x 3' 1-1/2"	28.64 Sqf
3F	81'-3" x 14'-0"	1,137.50 Sqf
3G	6'-7" x 1'-9"	11.52 Sqf
3H	12'-6 1/2" x 2'-3 1/2"	28.74 Sqf
3I	103'-3" x 15'-2 1/2"	21.87 Sqf
3J	1'-1 1/2" x 1'-9 1/2"	2.01 Sqf
3K	3'-0 1/2" x 9'-2 1/2"	28.00 Sqf
3L	14'-2 1/2" x 10'-7"	149.93 Sqf
3M	5'-9" x 2'-11"	16.77 Sqf
3N	9'-8 1/2" x 3'-0"	29.12 Sqf
3O	9'-8 1/2" x 3'-0"	29.12 Sqf
3P	19'-6" x 3'-0"	58.5 Sqf
3Q	12'-5 1/2" x 20'-8"	257.47 Sqf
3S	6'-0 1/2" x 1'-9"	10.57 Sqf
ATTIC FLOOR TOTAL=		2,039.47 Sqf

FLOOR AREA CALCULATION - EXISTING THIRD FLOOR PLAN
 SCALE: 3/16" = 1'-0" 01

GROUND FLOOR	1A	20' X 40'	800.00 Sqf
CELLAR- MECH.	1B	20' X 40'	0.00 Sqf
CELLAR	1C	9' 3 1/2" X 23'- 11 7/8"	0.00 Sqf
PROPOSED FLOOR TOTAL=			800.00 Sqf

REVISIONS:

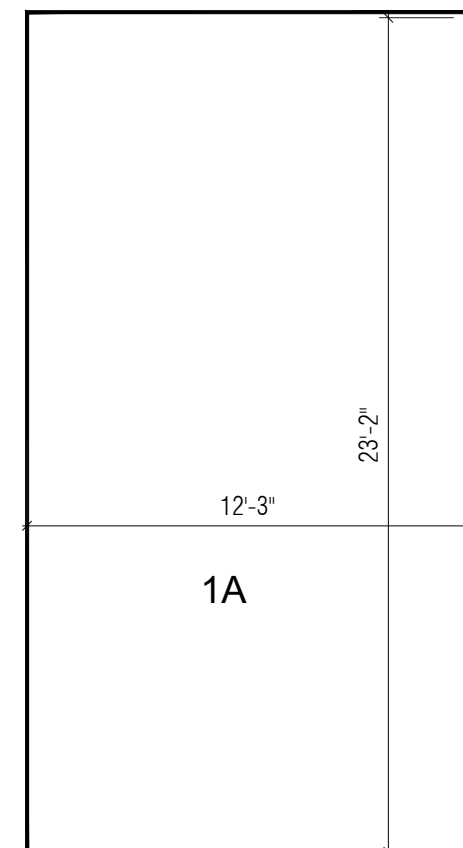
#	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED POOL HOUSE:
 14 COLE DRIVE
 NORTH CASTLE, NY 10504
 BLOCK: 1 LOT: 09
 DRAWING TITLE:
FLOOR AREA CALC.
EXISTING 3RD FLOOR
PROPOSED P.HOUSE

SCALE:
 AS NOTED
 DATE:
 01/25/2021
 JOB NO.:
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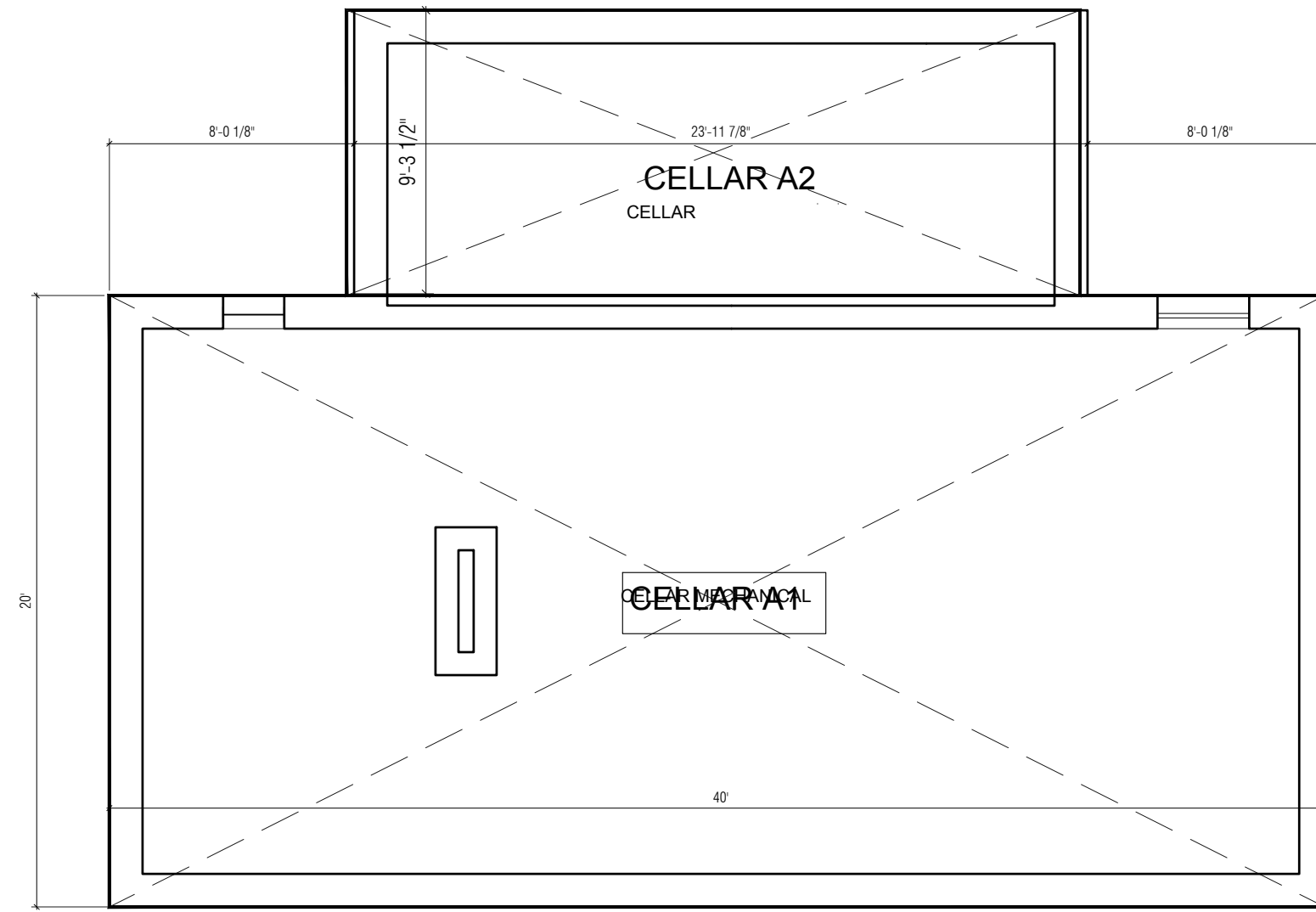
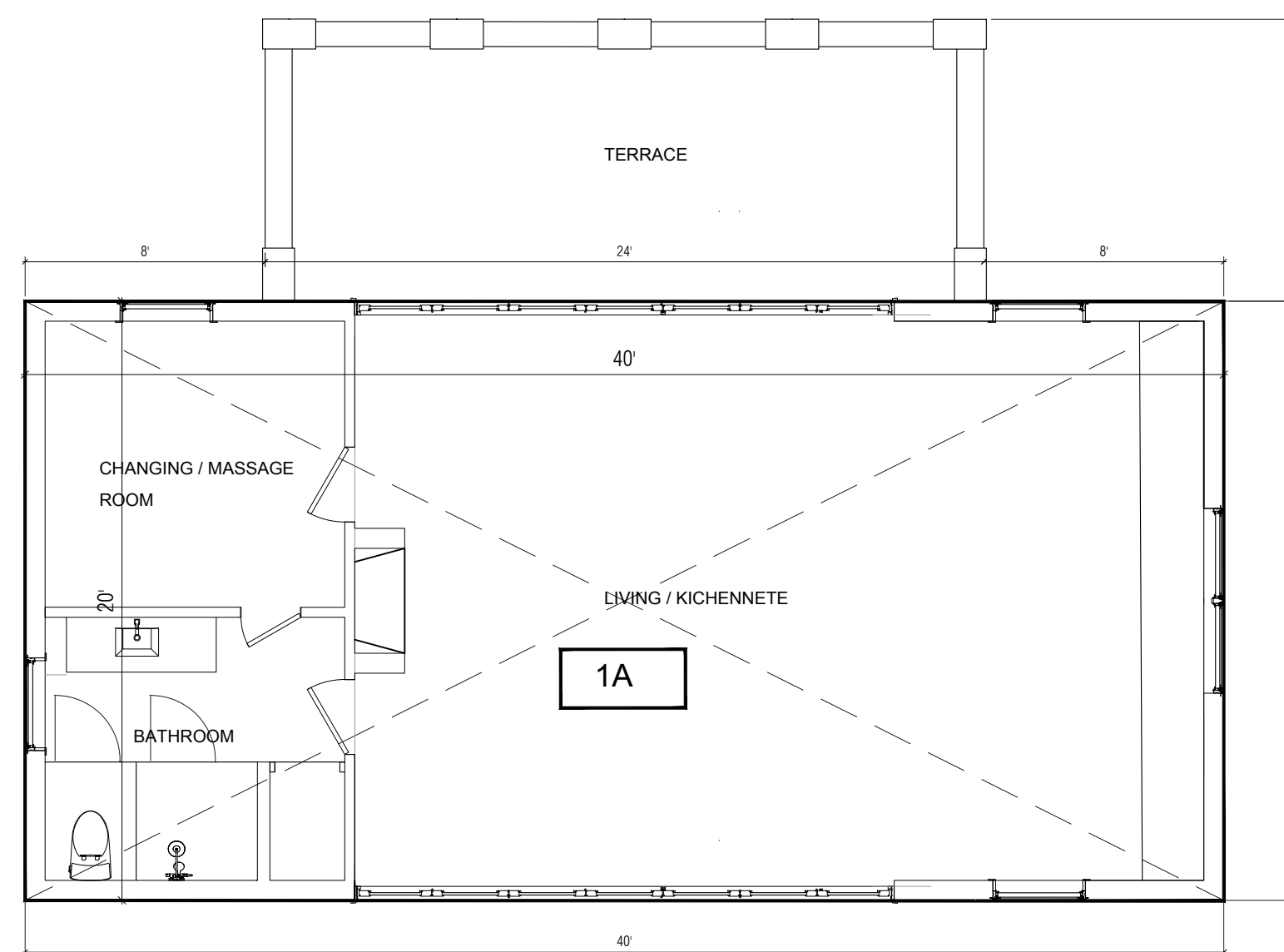


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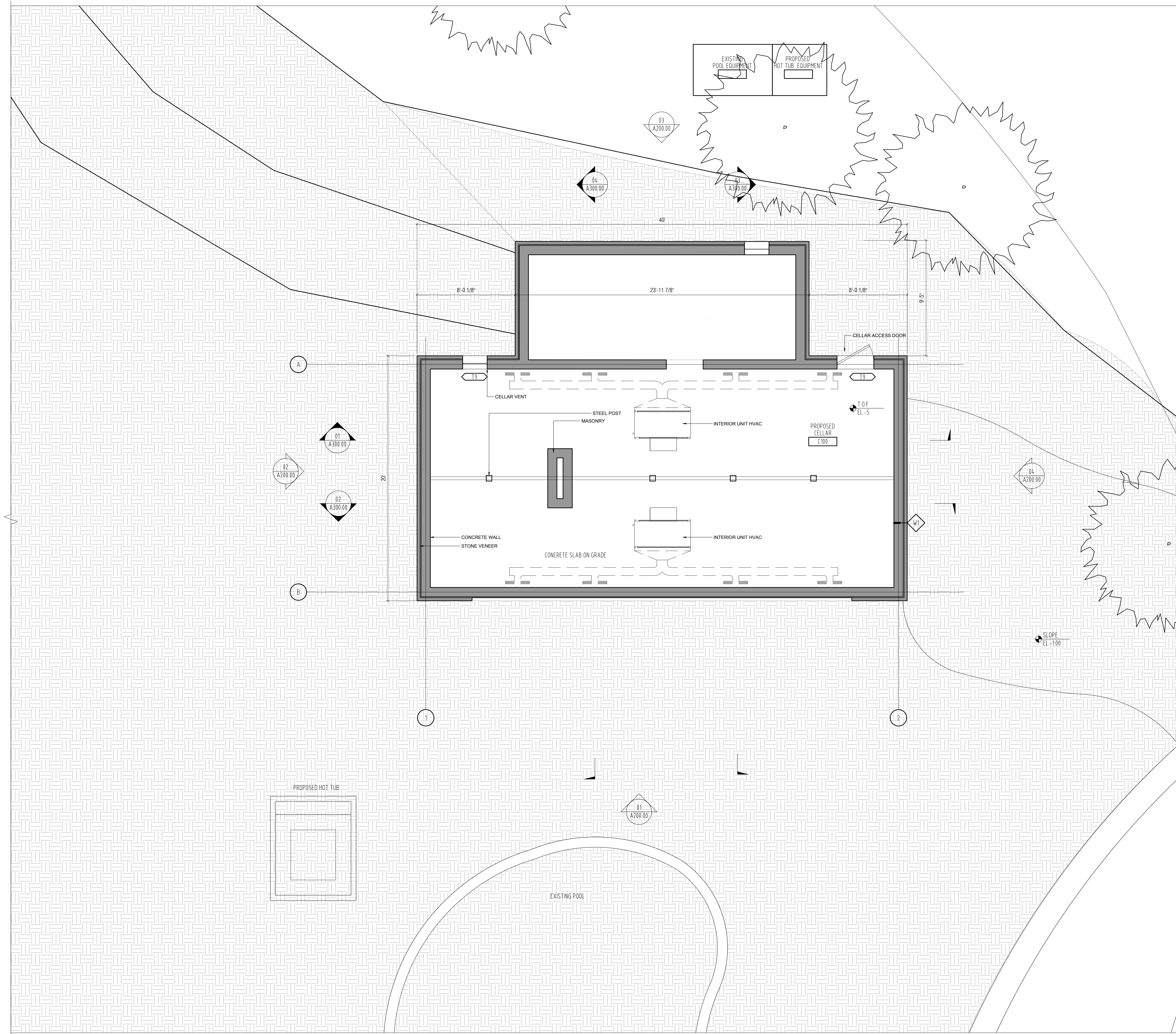
SHED	1A	20'-2 X 12'-3"	247.04 Sqf
EXISTING SHED FLOOR TOTAL=			247.04 Sqf

FLOOR AREA CALCULATION - EXISTING SHED
 SCALE: 3/16" = 1'-0" 03



FLOOR AREA CALCULATION - PROPOSED POOL HOUSE
 SCALE: 3/16" = 1'-0" 02

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REVISIONS:

#	DATE	DESCRIPTION

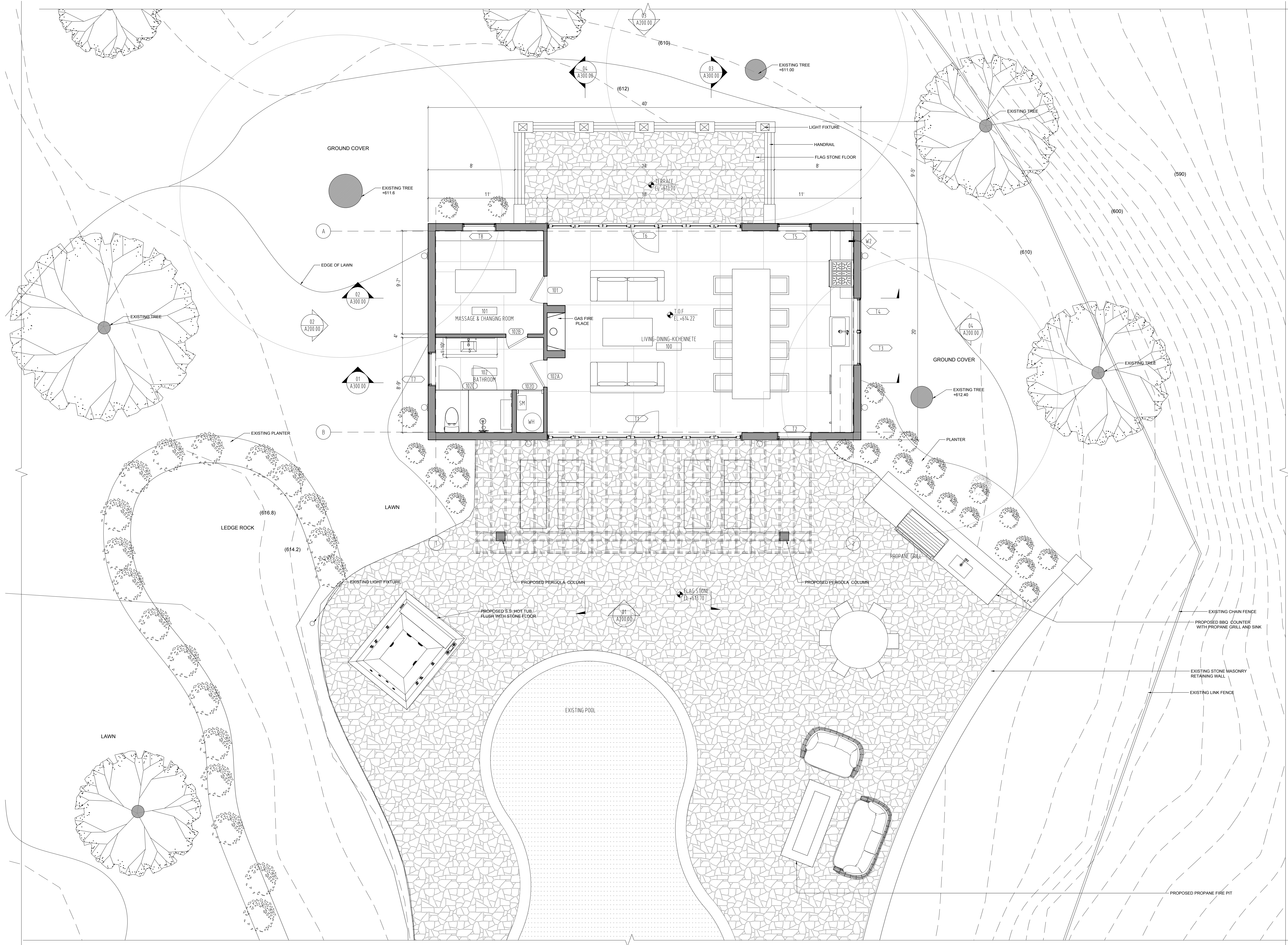
PROJECT TITLE:
PROPOSED POOL HOUSE:
 14 COLE DRIVE
 NORTH CASTLE, NY 10504
 BLOCK: 1 LOT: 09

DRAWING TITLE:
PROPOSED POOL HOUSE CELLAR

SCALE:
 AS NOTED
 DATE:
 01/25/2021
 JOB NO.:
 21019
 DRAWN BY:
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DRAWING NO.:
A-100.00



REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED POOL HOUSE:
 14 COLE DRIVE
 NORTH CASTLE, NY 10504
 BLOCK: 1 LOT: 09

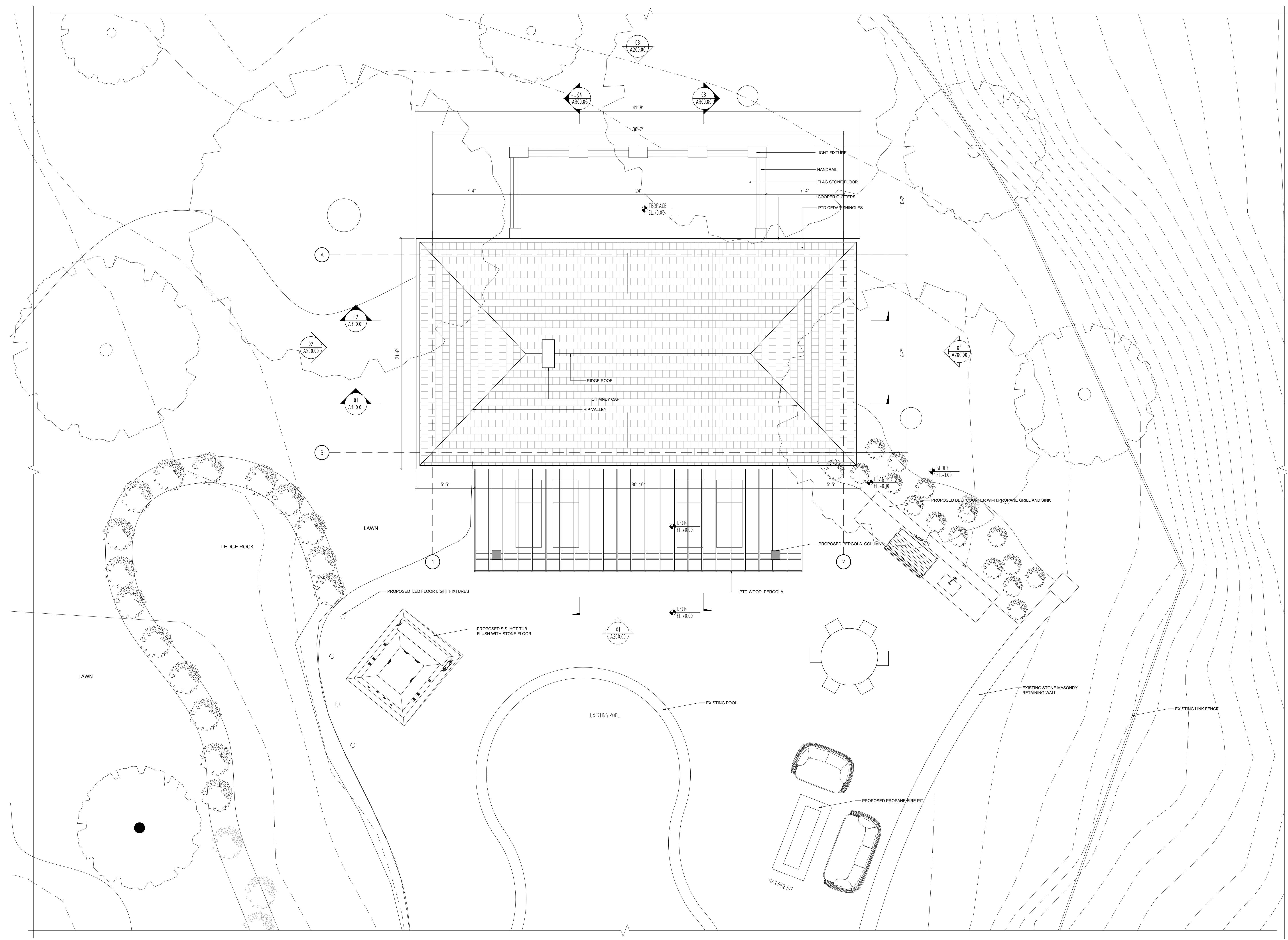
DRAWING TITLE:
PROPOSED POOL HOUSE GROUND FLOOR

SCALE:
 AS NOTED
 DATE:
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 JOB NO.:
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 DRAWN BY:
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DRAWING NO.:
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REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED POOL HOUSE:
 14 COLE DRIVE
 NORTH CASTLE, NY 10504
 BLOCK: 1 LOT: 09

DRAWING TITLE:
PROPOSED POOL HOUSE ROOF

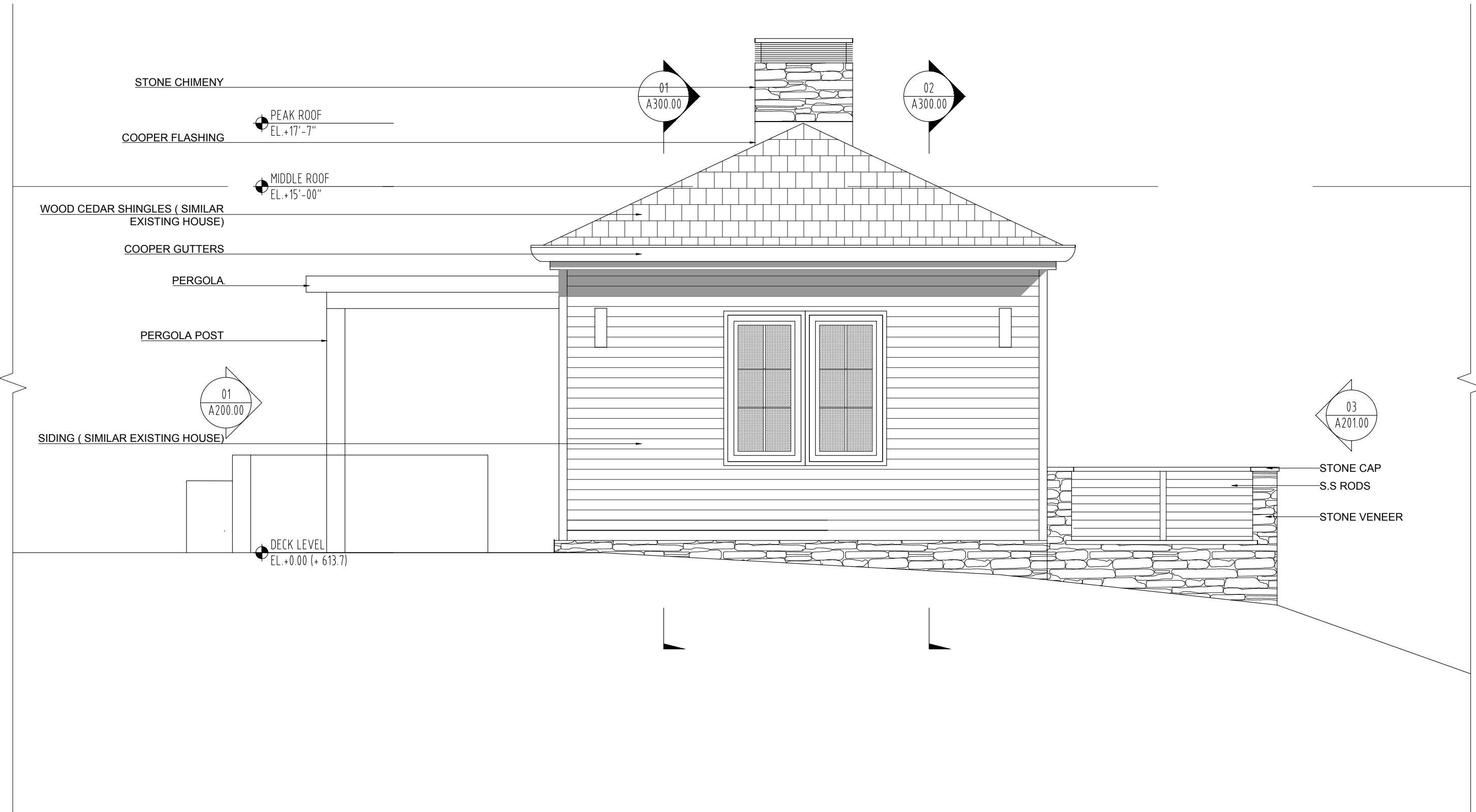
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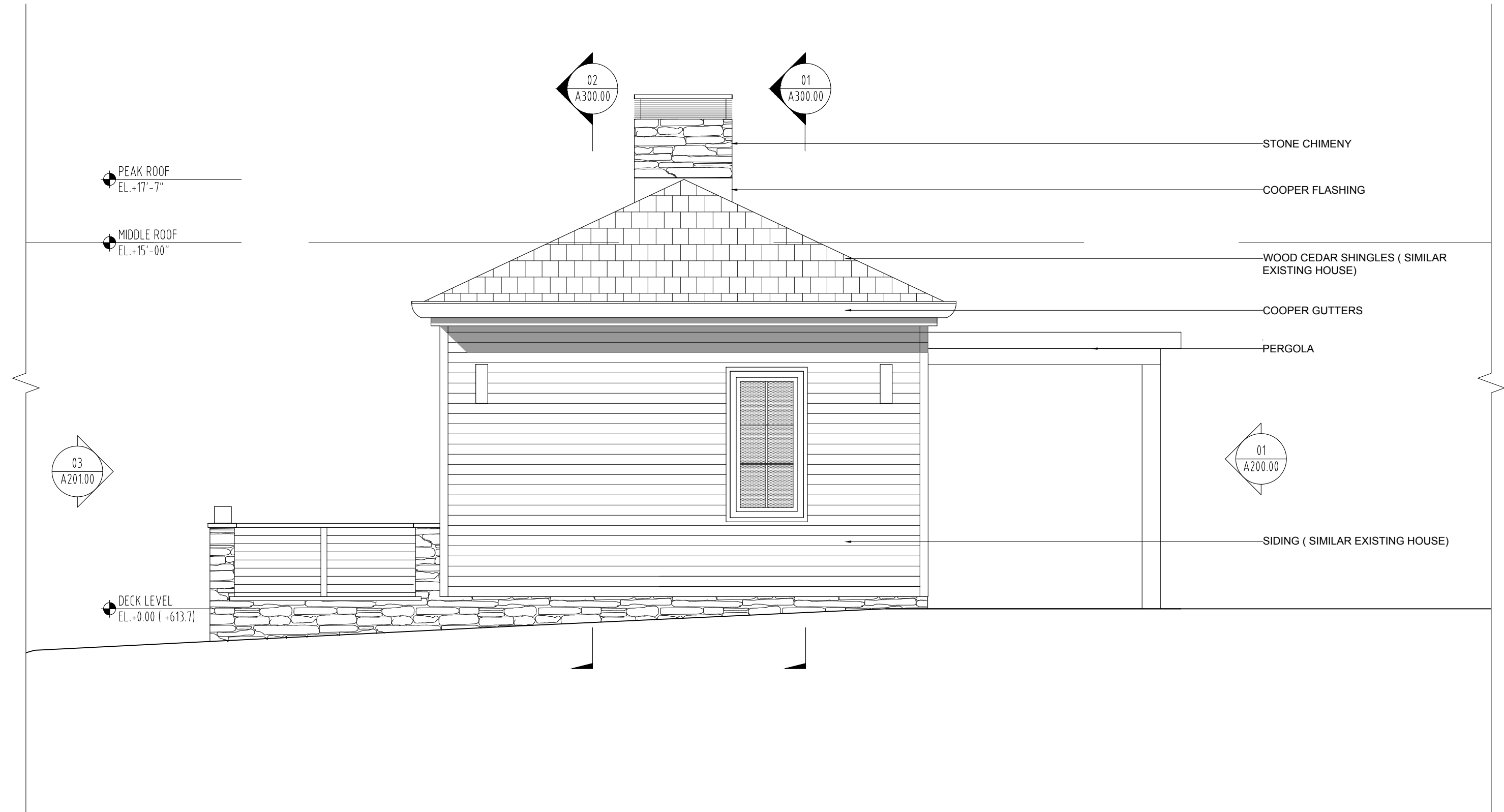
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A-102.00

SHEET NO.:
 13-18

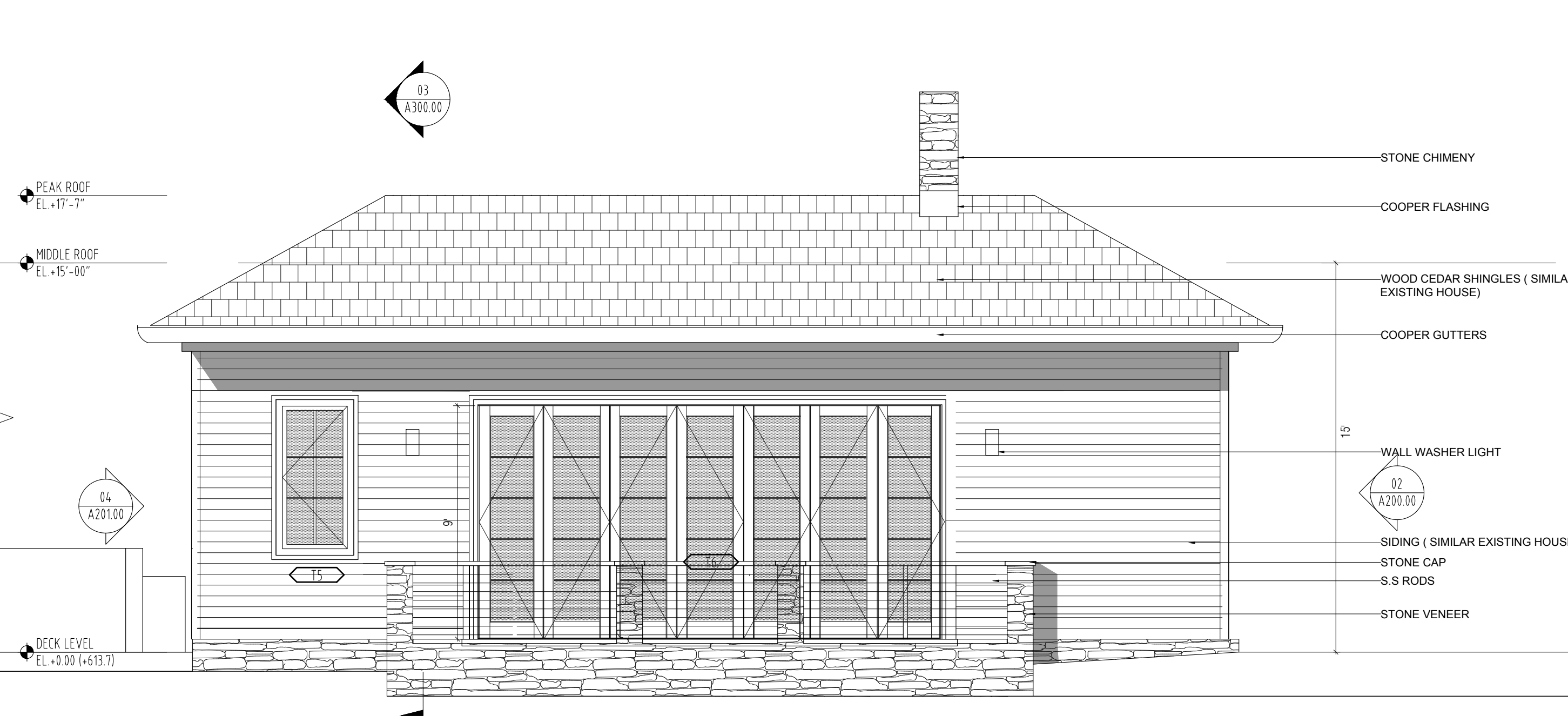
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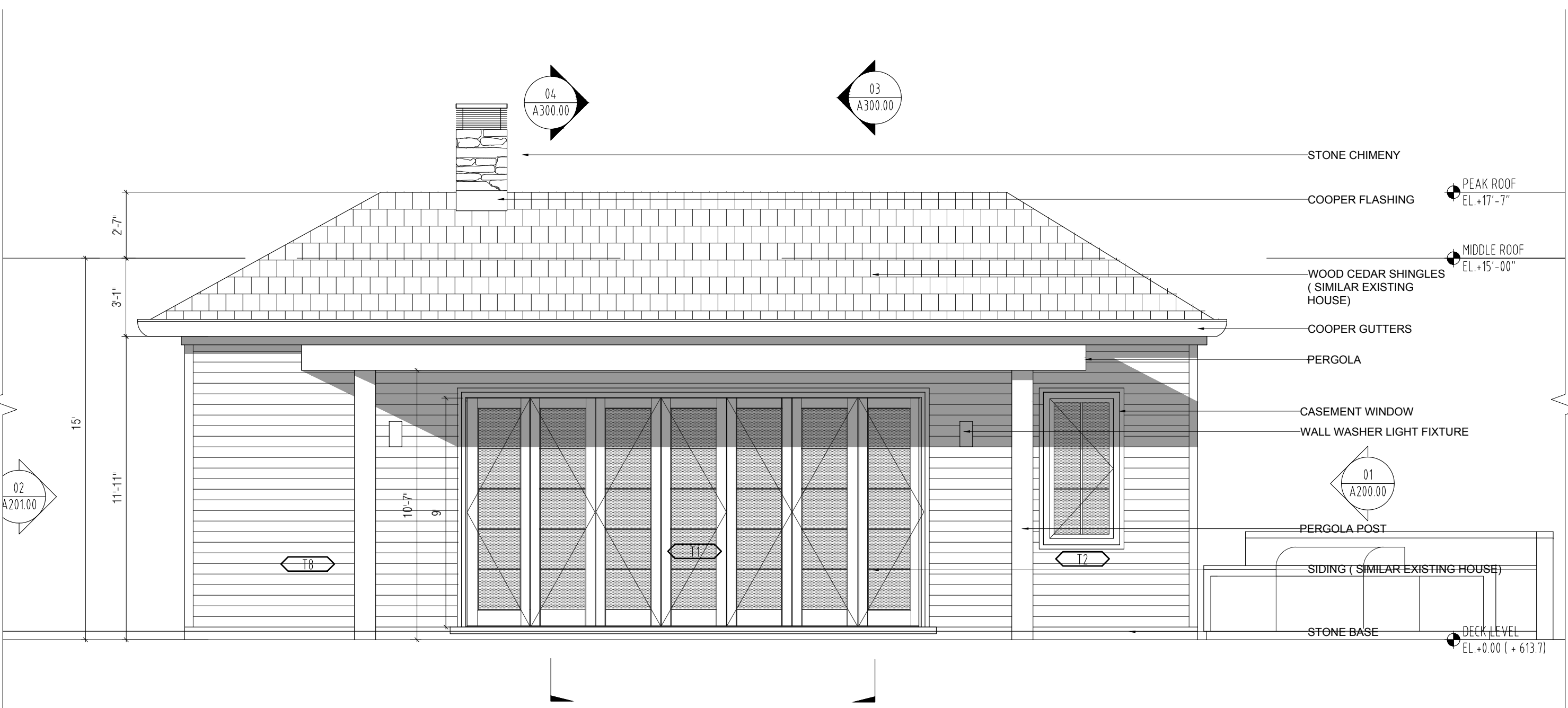
ELEVATION
SCALE: 1/4" = 1' - 0"
04



ELEVATION
SCALE: 1/4" = 1' - 0"
02



ELEVATION
SCALE: 1/4" = 1' - 0"
03



ELEVATION
SCALE: 1/4" = 1' - 0"
01

REVISIONS:		
#	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED POOL HOUSE:
 14 COLE DRIVE
 NORTH CASTLE, NY 10504

BLOCK: 1 LOT: 09

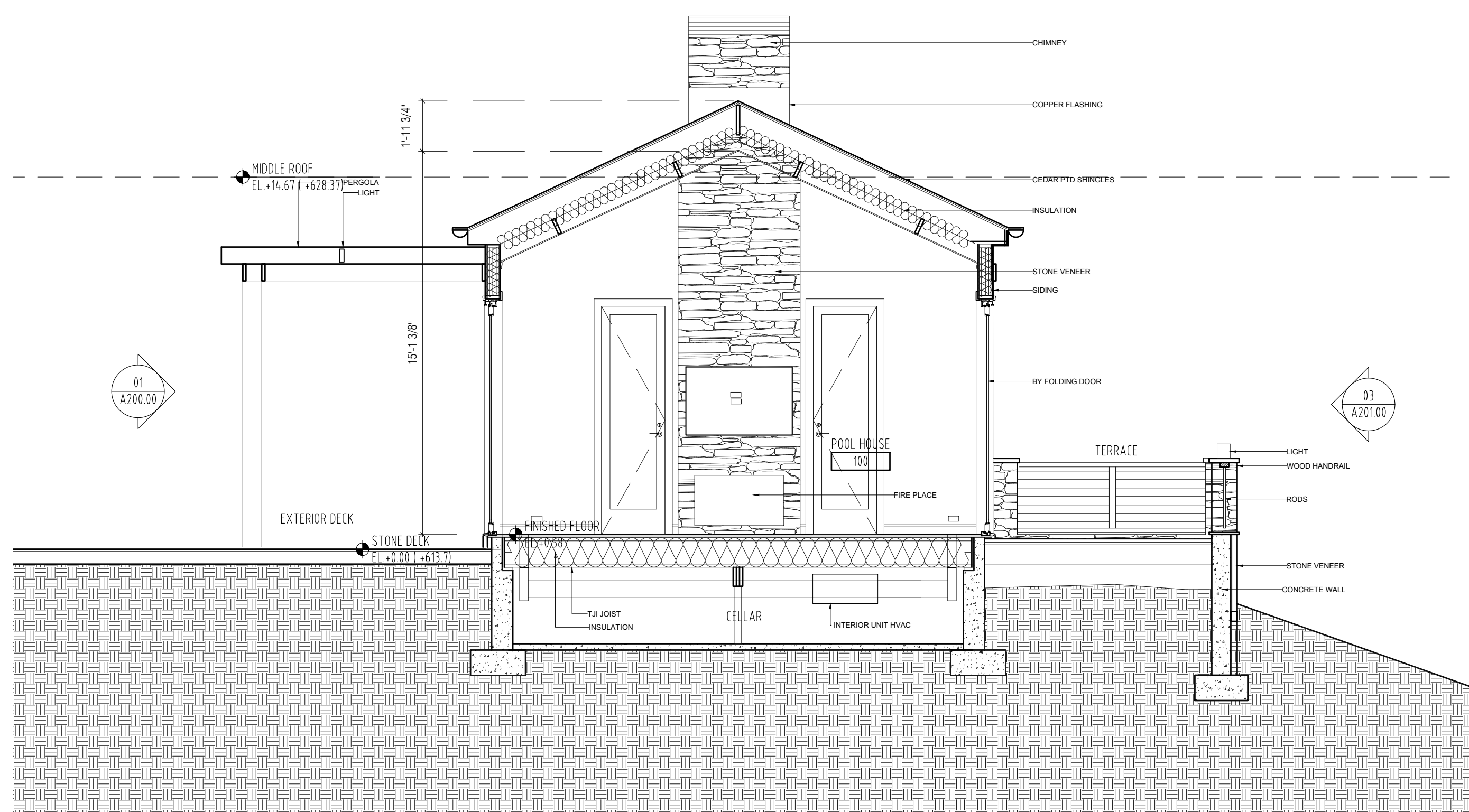
DRAWING TITLE:
PROPOSED POOL HOUSE ELEVATIONS

SCALE:
 AS NOTED
 DATE:
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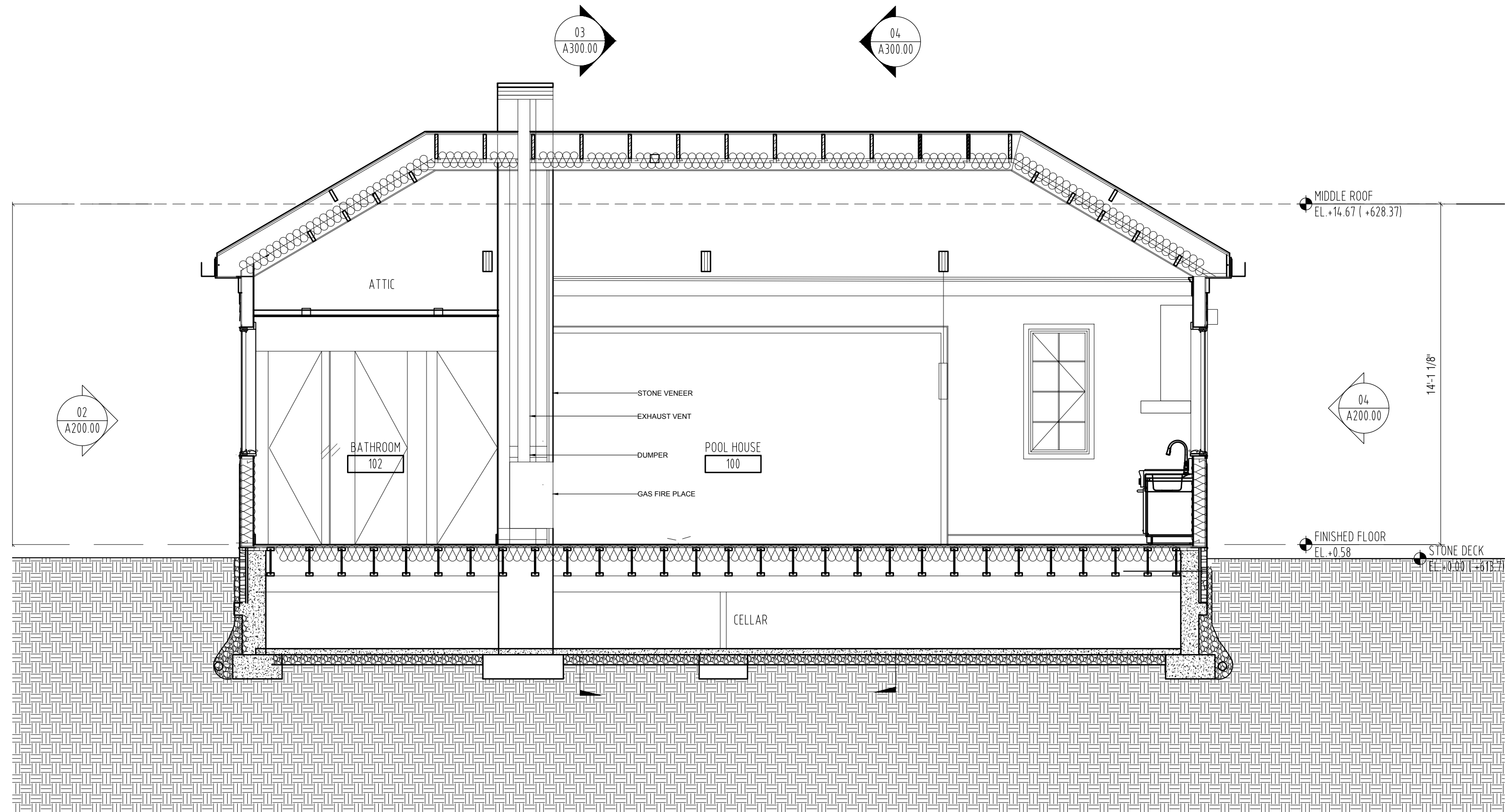


DRAWING NO.:
A-200.00

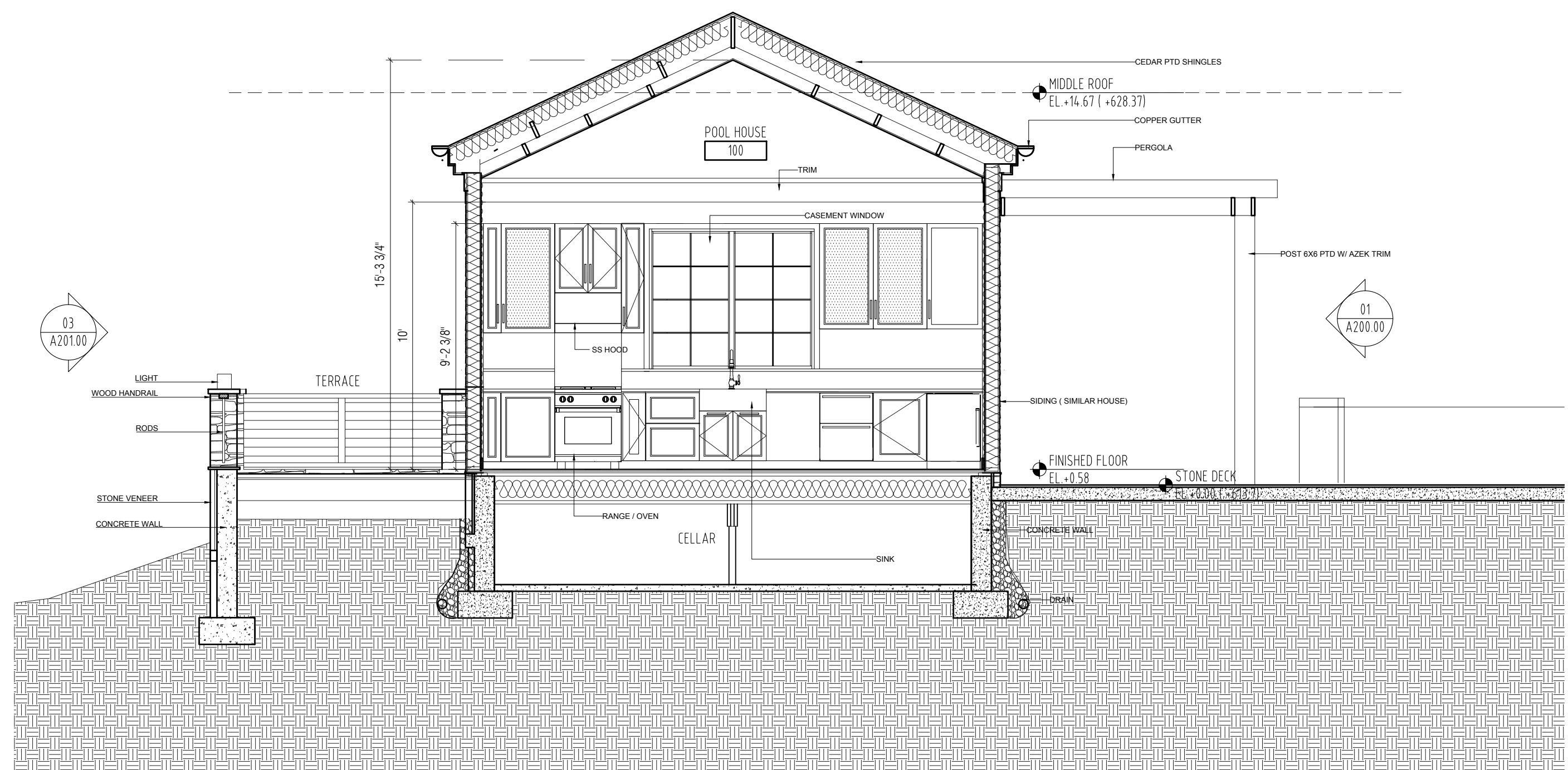
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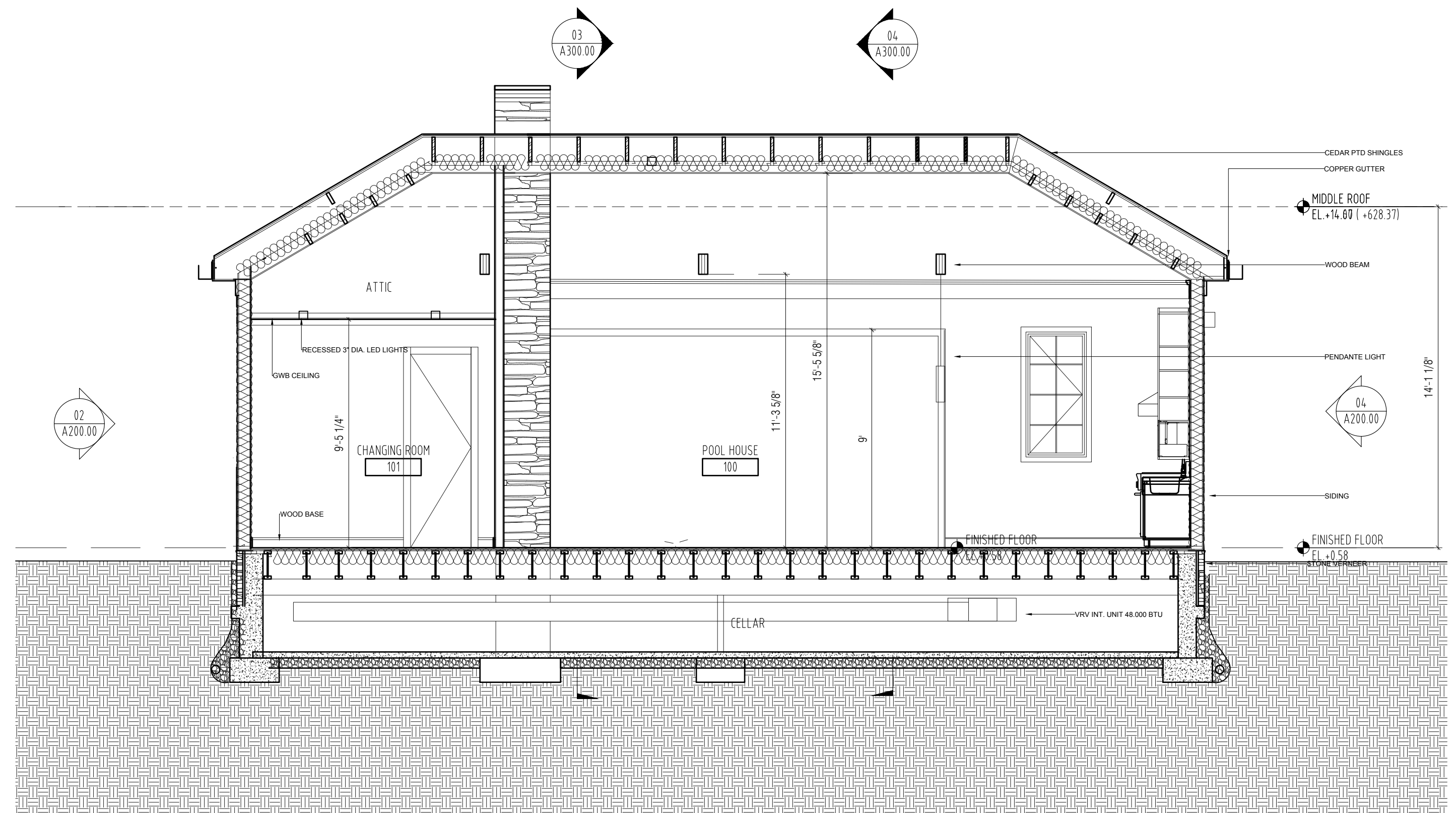
ELEVATION 04
 SCALE 1/4" = 1' - 0"



ELEVATION 02
 SCALE 1/4" = 1' - 0"



ELEVATION 03
 SCALE 1/4" = 1' - 0"



ELEVATION 01
 SCALE 1/4" = 1' - 0"

REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED POOL HOUSE:
 14 COLE DRIVE
 NORTH CASTLE, NY 10504

BLOCK: 1 LOT: 09

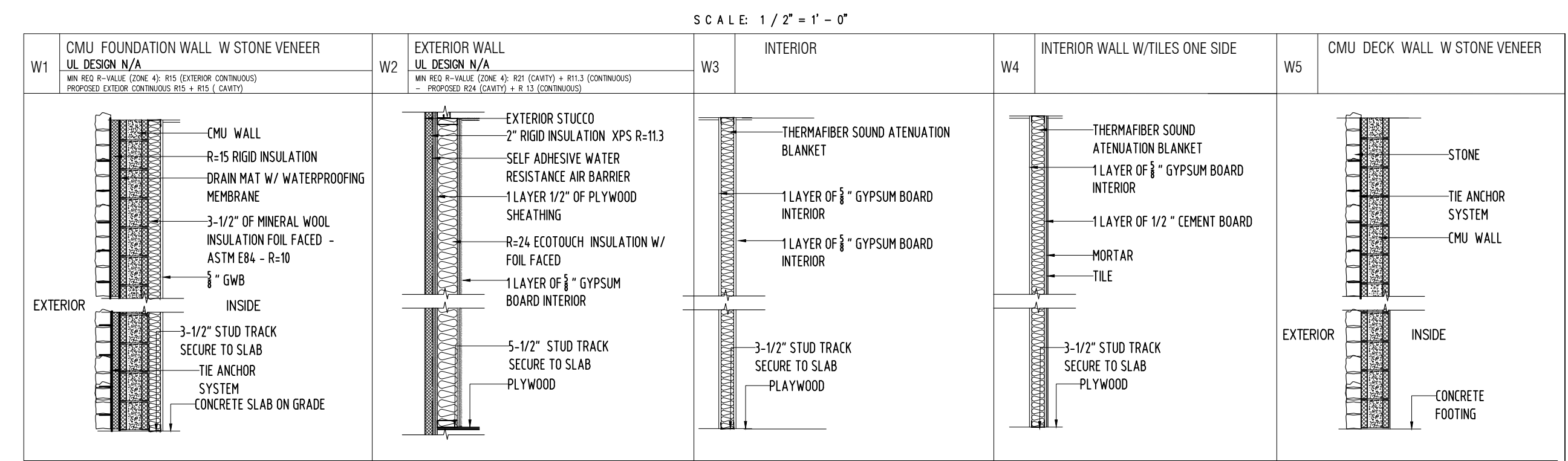
DRAWING TITLE:
PROPOSED POOL HOUSE SECTIONS

SCALE:
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DRAWING NO.:
A-300.00

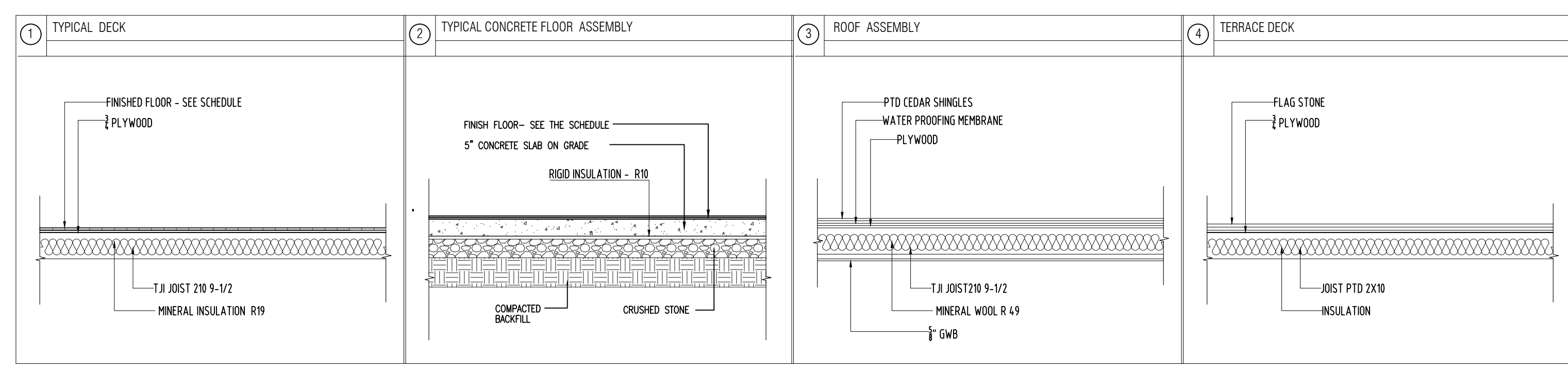
SHEET NO.:
 15-18



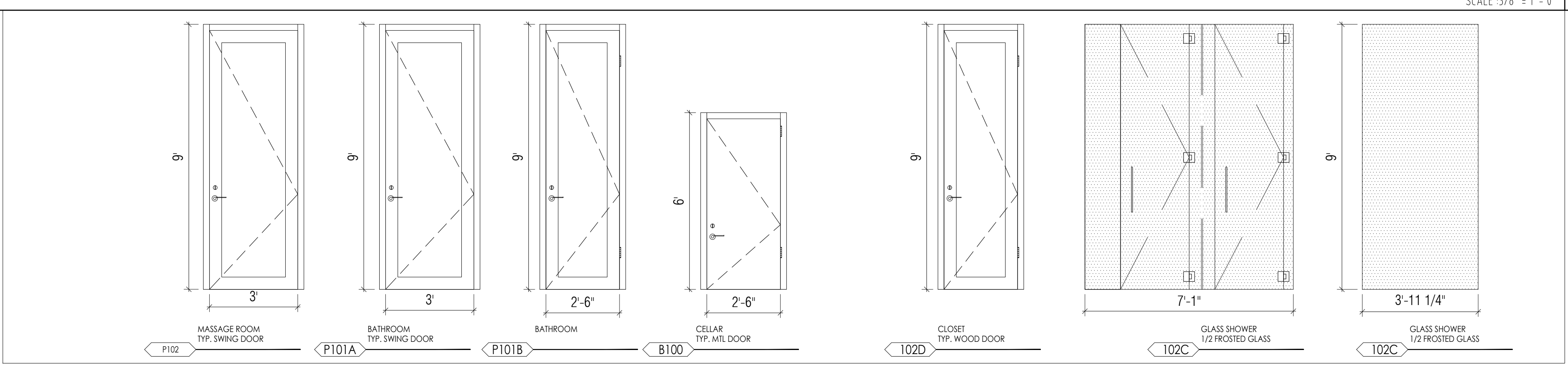
AREA LOCATIONS	FLOOR MATERIAL		BASE		WALL MATERIAL		WALL FINISH	CEILING MATERIAL		CEILING FINISH
	EXPOSED CONCRETE	WOOD	NO BASE	4" TILE	PAINTED C.P. BD.	PAINTED W.R. C.P. BD.	EXPOSED CONCRETE	5/8" C.P. BD.	NO FINISH	LATEX FINISH
CELLAR - B100	●						●			
LIVING - DINING - KITCHENETTE - 100		●	●	●	●		●	●	●	●
MESSAGE ROOM - 101			●	●	●		●	●	●	●
BATHROOM - 102		●	●	●	●		●	●	●	●

WALL TYPES
SCALE: 3/8" = 1' - 0"

FINISHED SCHEDULE
SCALE: - 05



TYPICAL FLOOR SCHEDULE
SCALE: 3/8" = 1' - 0"



DOOR SCHEDULE
SCALE: 3/8" = 1' - 0"

DOOR SCHEDULE									
KEY	LOCATION	SIZE	THICKNESS	MATERIAL	STYLE	FINISH	FRAME	REMARKS	
B100	MECHANICAL ROOM	3'-0" x 6'-6"	1 3/8"	STEEL	1 PANEL PRIMED	PAIN	STEEL	LOOKSET	
P101	MESSAGE ROOM	3'-0" x 9'-0"	1 3/4"	WOOD	1 PANEL PRIMED	PAIN	WOOD	PRIVACY LOCKSET	
P101A	BATHROOM	3'-0" x 9'-0"	1 3/4"	WOOD	1 PANEL PRIMED	PAIN	WOOD	PRIVACY LOCKSET	
P101B	BATHROOM	3'-0" x 9'-0"	1 3/4"	WOOD	1 PANEL PRIMED	PAIN	WOOD	PRIVACY LOCKSET	

REVISIONS:

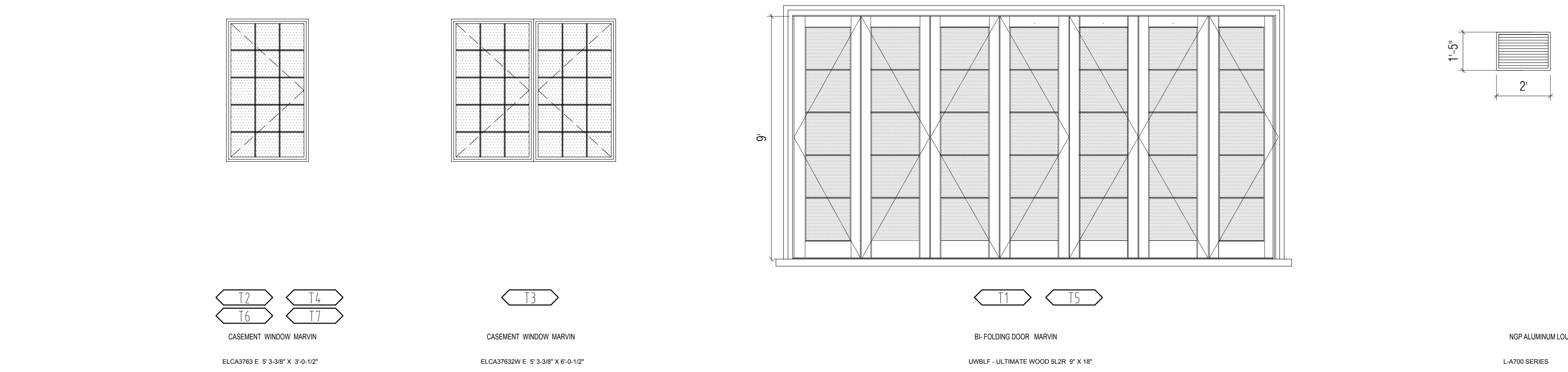
#	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED POOL HOUSE:
 14 COLE DRIVE
 NORTH CASTLE, NY 10504

BLOCK: 1 LOT: 09

PROPOSED SCHEDULES WALL / WINDOW

SCALE: AS NOTED
 DATE: 01/25/2021
 JOB NO.: 21019
 DRAWN BY: AK
 CHECKED BY: SB
 DRAWING NO.:

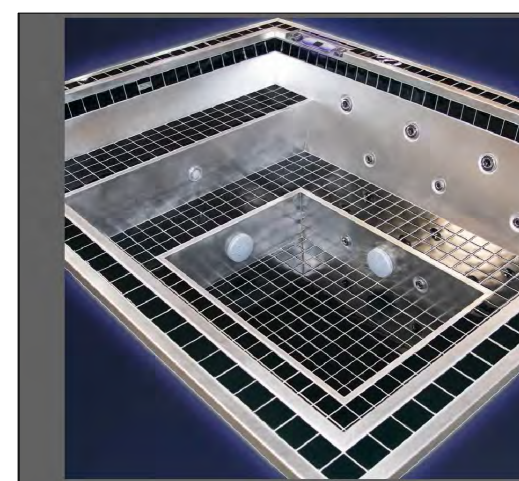


DOOR SCHEDULE
SCALE: 3/8" = 1' - 0"

DOOR TYPES
SCALE: 3/8" = 1' - 0"

WINDOW SCHEDULE
SCALE: 3/8" = 1' - 0"

WINDOW SCHEDULE
SCALE: 3/8" = 1' - 0"



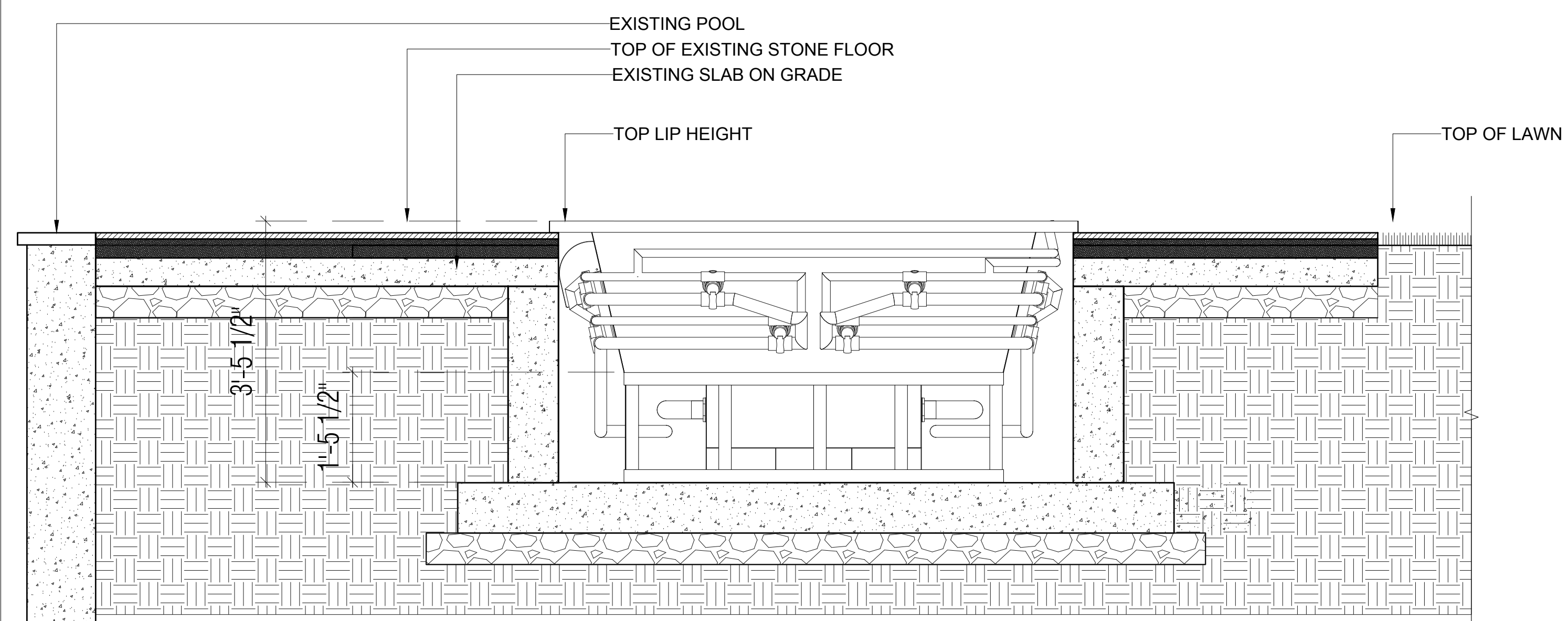
THE SIGNATURE 786

The 786's spacious interior comfortably sits 6 to 8 adults while it's rectangular footprint establishes contemporary presence. The elongated lines of the 786 showcase the true radiance of our stainless steel surfaces. Large enough to accommodate substantial bather loads while maintaining an elegant presence, the 786 is uniquely independent of compromise.

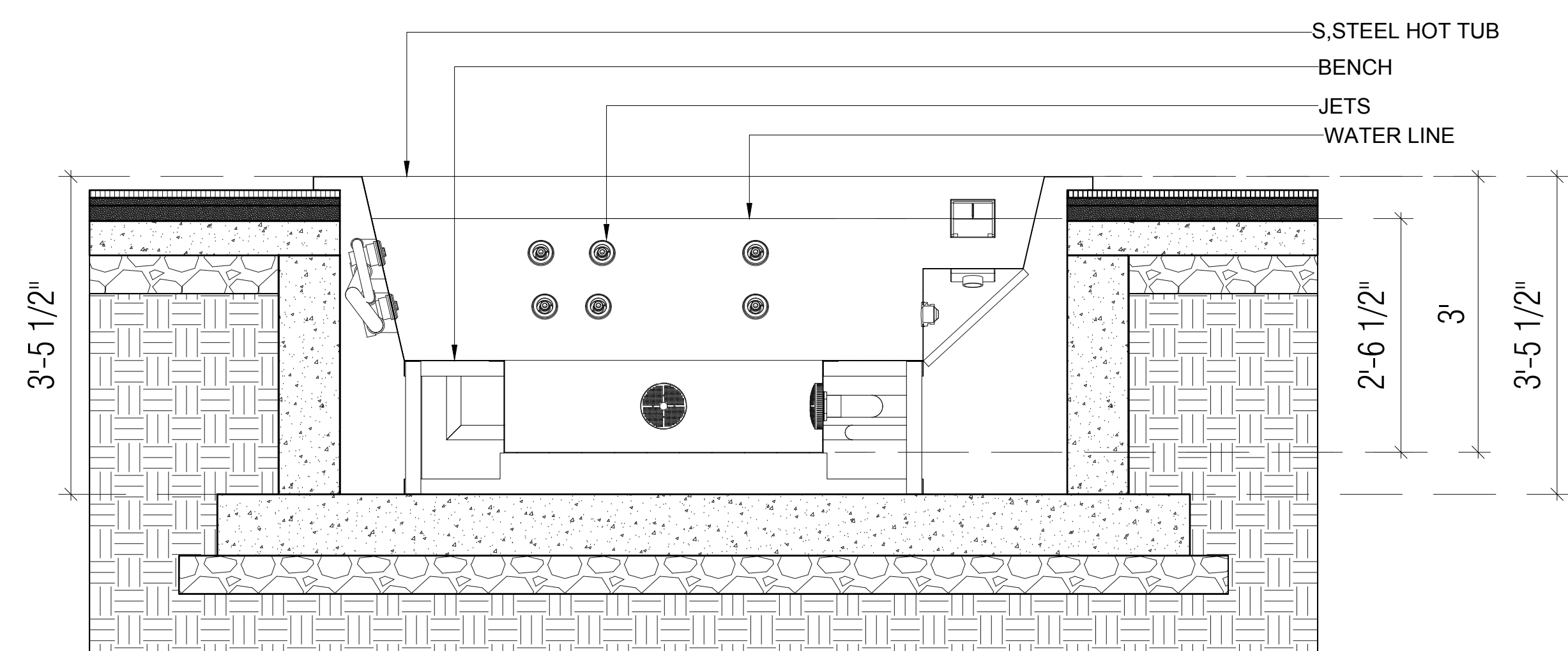
The Signature 786 is available with Frame Mounted Equipment or Remote Equipment supplied by Bradford, or as a standalone spa shell without equipment. Our shell and equipment options give homeowners flexibility in how they choose to install their spa.



CATALOGUE HOT TUB PICTURES
SCALE: NA 04

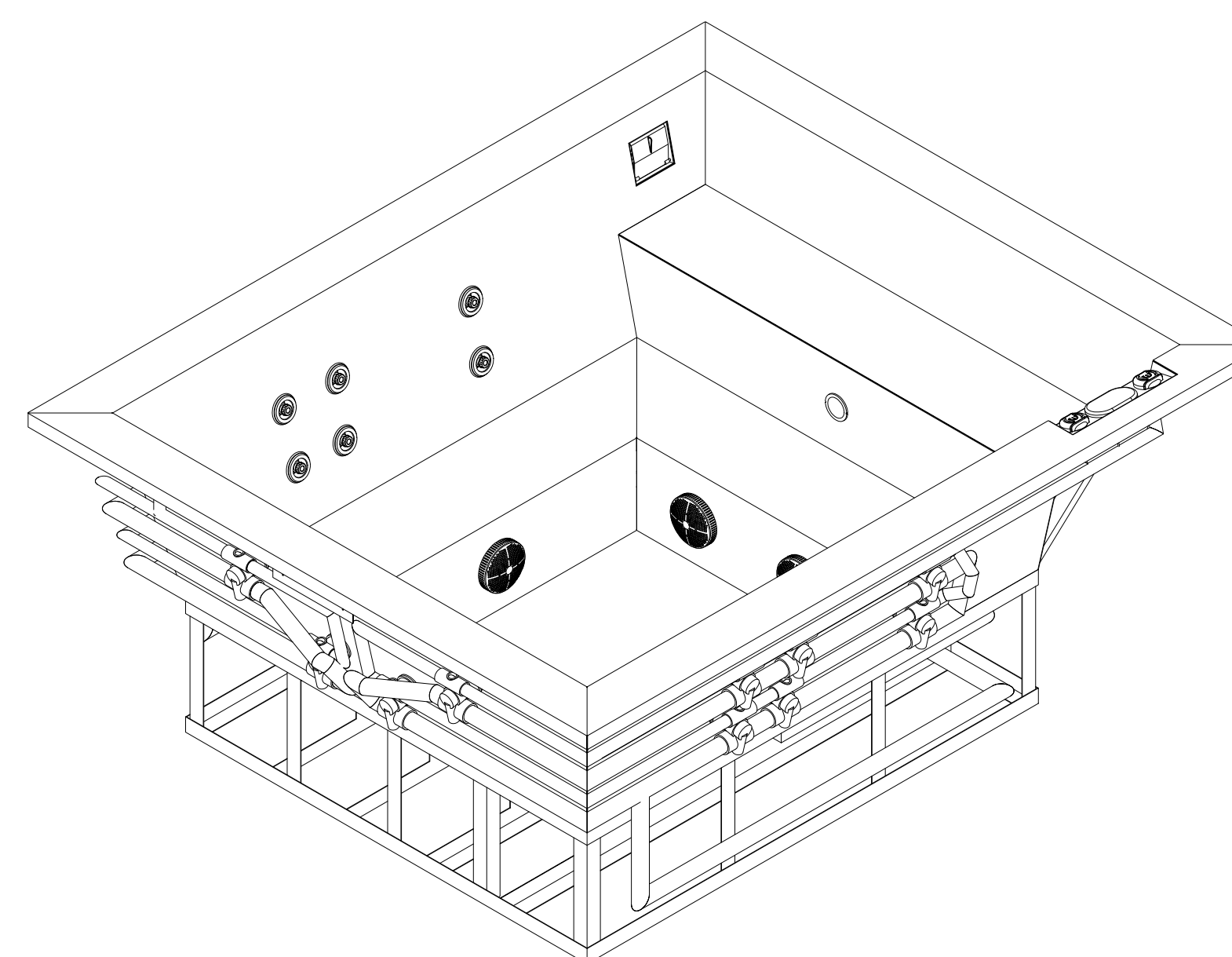


SECTION
SCALE: 3/4" = 1' - 0" 03

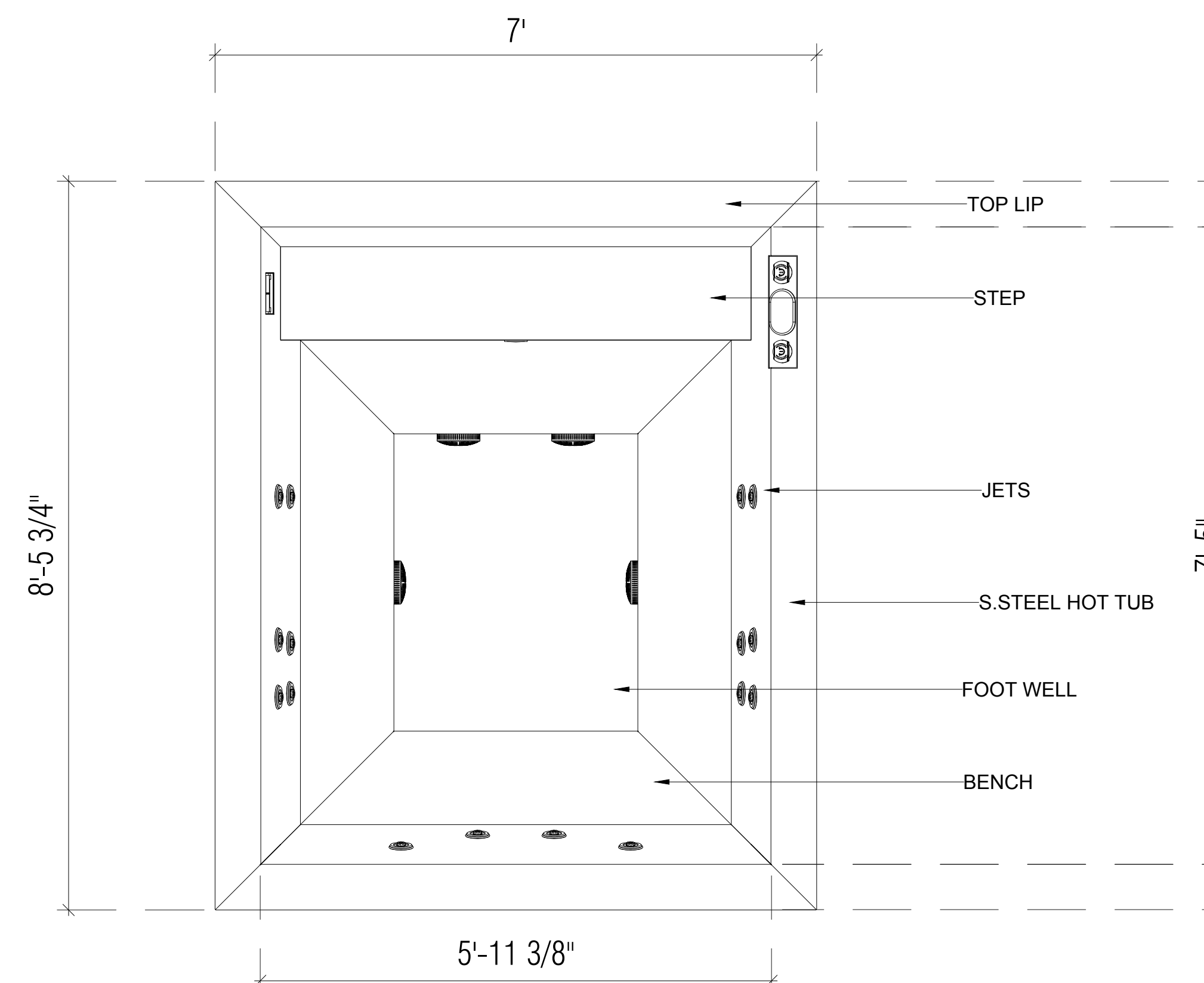


SECTION
SCALE: 3/4" = 1' - 0" 02

MATERIAL LIST	
Wall	14 GA. S.S.
Floor	12 GA. S.S.
Steps	14 GA. S.S.
Frame/Support	STAINLESS STEEL
Structural Reinforcement	AS NOTED
Finish	S.S. NON-DIRECTIONALLY BUFFED



ISOMETRIC
SCALE: NA 05



HOT TUB PLAN
SCALE: 3/4" = 1' - 0" 01

BADALY

ENGINEERING DESIGN:
BADALY ENGINEERING PLLC
2 WILSON PLACE, MT. VERNON, NY 10550
(914) 465-9010
BADALY.COM
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REVISIONS:		
#	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED POOL HOUSE:
14 COLE DRIVE
NORTH CASTLE, NY 10504

BLOCK: 1 LOT: 09

DRAWING TITLE:
**PROPOSED POOL HOUSE
HOT TUB**

SCALE:
AS NOTED
DATE:
01/25/2021
JOB NO.:
21019
DRAWN BY:
AK
CHECKED BY:
SB

SEAL AND SIGNATURE:

SHEET NO.:
A-500.00

17-18



PROPOSED RENDER 04



EXISTING PHOTO 03



PROPOSED RENDER 02



EXISTING PHOTO 01

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REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED POOL HOUSE:
 14 COLE DRIVE
 NORTH CASTLE, NY 10504
 BLOCK: 1 LOT: 09

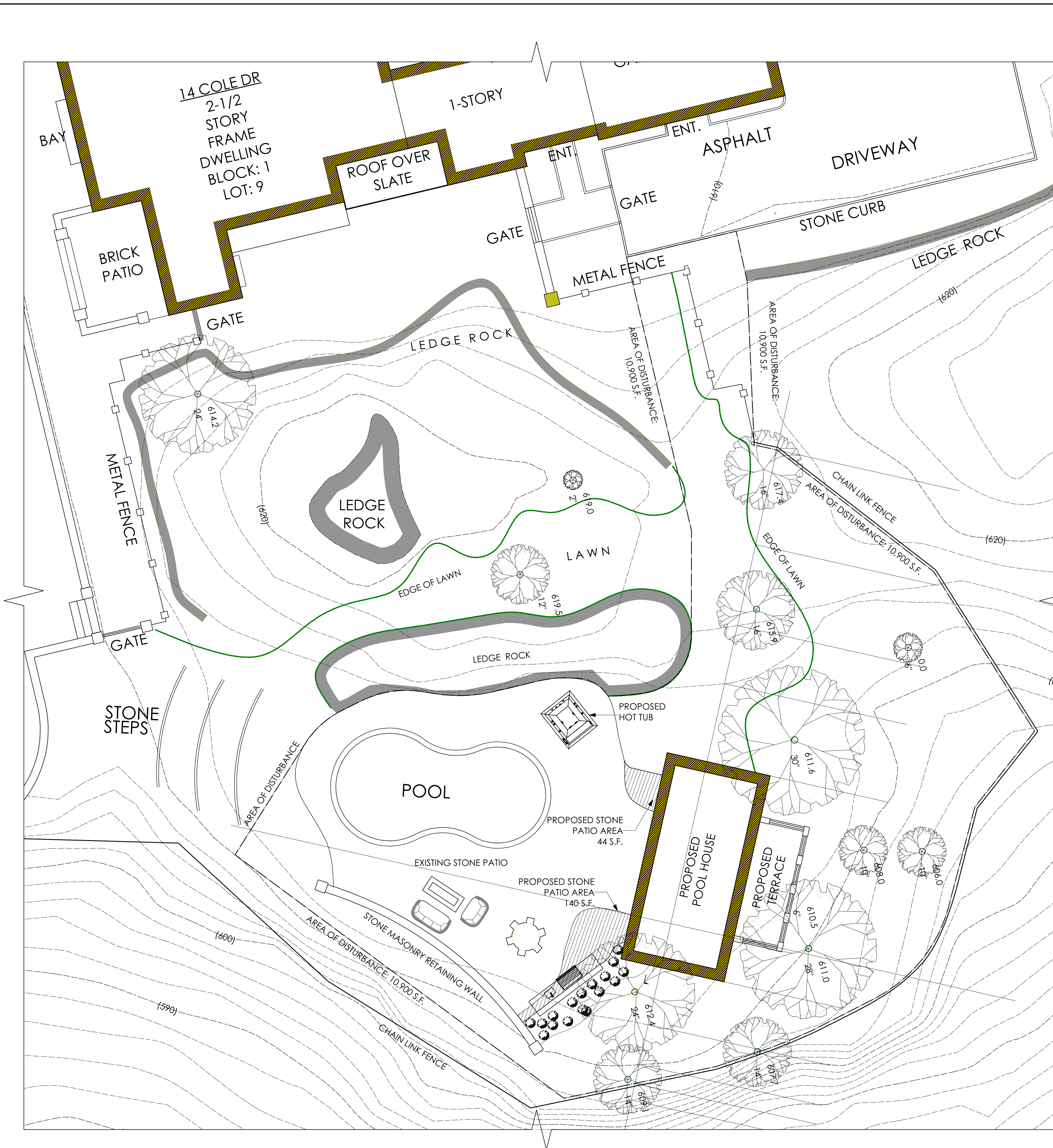
DRAWING TITLE:
PROPOSED RENDER
EXISTING PHOTOS

SCALE:
 AS NOTED
 DATE:
 01/25/2021
 JOB NO.:
 21019
 DRAWN BY:
 AK
 CHECKED BY:
 SB



DRAWING NO.:
A-600.00

SHEET NO.:
 18-18



1 SITE PLAN
Scale: 1" = 10'-0"

ZONING COMPLIANCE

MAXIMUM PERMITTED GROSS LAND COVERAGE (355-26.C(1)).

TOTAL AREA: 9.265 ACRES:
AREA IN EXCESS OF 2 ACRES = 7.265 ACRES

PERMITTED LAND COVERAGE:
13,607 S.F. + (7.5% X 7.264 ACRES X 43,560 S.F./ACRE) = 37,005 S.F.

TOTAL PERMITTED LAND COVERAGE:
37,005 S.F. + 1,595 S.F. = 38,605 S.F.

BONUS MAXIMUM GROSS LAND COVER:

R2-A: MIN. 50' FRONT SETBACK
DISTANCE BEYOND FRONT SETBACK: 210' - 50' = 160'

PERMITTED LAND COVERAGE:
160' X 10 = 1,600 S.F.

EXISTING IMPERVIOUS SURFACES:

PRINCIPAL BUILDING	BUILDING COVERAGE:	7,280 S.F.
ACCESSORY BUILDING	SUNROOM:	280 S.F.
	SHED:	280 S.F.
DECK	BRICK PATIO:	388 S.F.
	STONE PATIO:	2,170 S.F.
PORCH	FRONT COVERED PORCH:	1,025 S.F.
DRIVEWAY, PARKING AREAS, WALKWAYS	SLATE / WALKWAYS:	2,200 S.F.
	ASPHALT / DRIVEWAYS:	6,100 S.F.
	GRAVEL COURTYARD:	5,110 S.F.
TENNIS COURT, POOL, MECH. EQUIP. OTHER STRUCTURES	POOL:	630 S.F.
	LEDGE ROCK:	880 S.F.
	RETAINING WALLS & STEPS:	1,475 S.F.

TOTAL EXISTING IMPERVIOUS COVERAGE: 27,818 S.F.

PROPOSED IMPERVIOUS AREA TABULATIONS:

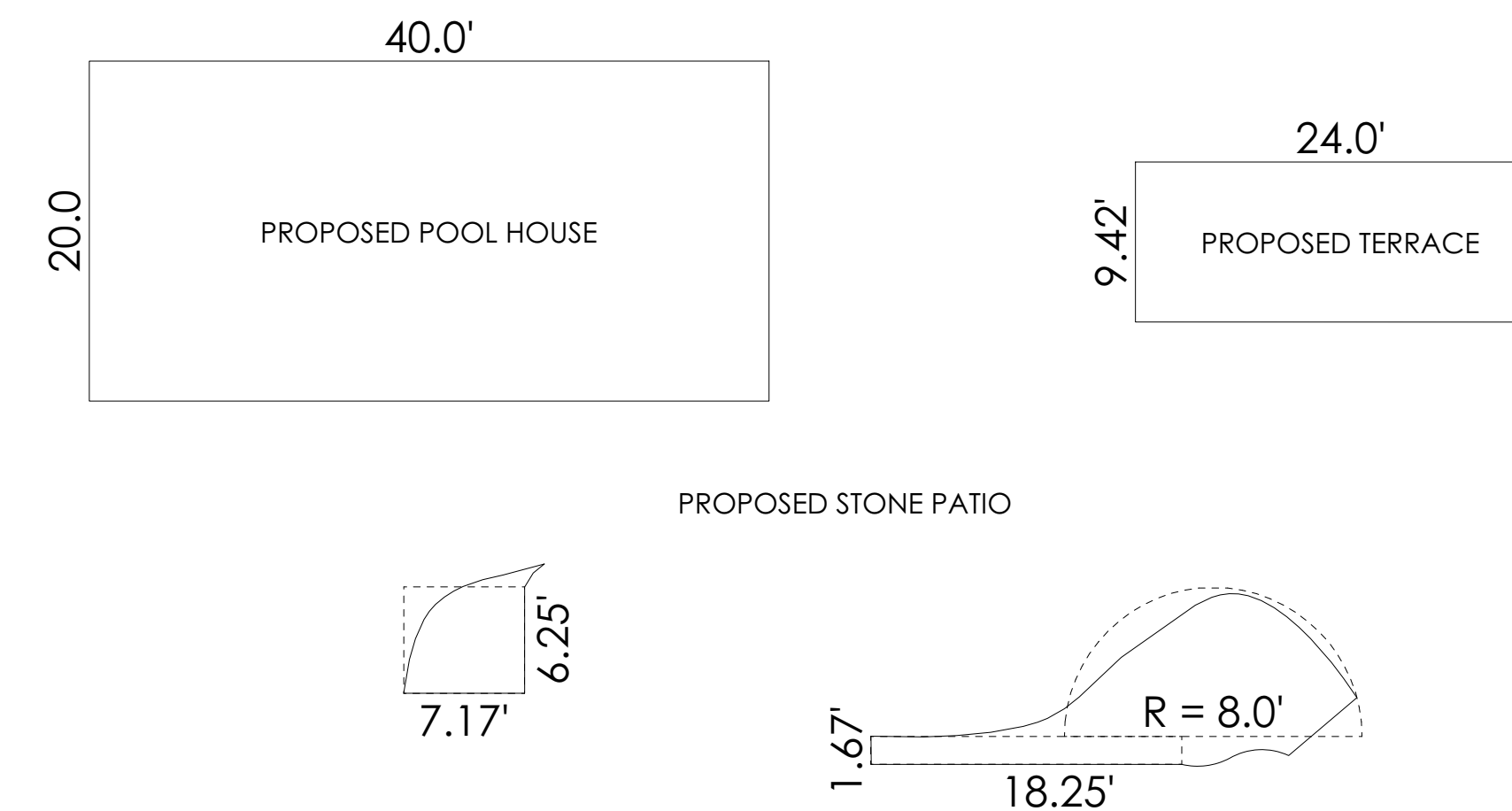
PROPOSED POOL HOUSE:
AREA = 20.00' X 40.00' = 800 S.F.

PROPOSED TERRACE:
AREA = 9.42' X 24.0' = 226 S.F.

PROPOSED STONE PATIO:
AREA = (6.25' X 7.17') + (1.67' X 7.17') + (PI X 9.0'^2 X 1/2) = 184 S.F.

TOTAL PROPOSED IMPERVIOUS AREA:

800 S.F. + 226 S.F. + 184 S.F. = 1,210 S.F.



TOTAL IMPERVIOUS AREA:

TOTAL LAND COVERAGE = EXISTING IMPERVIOUS AREA + PROPOSED IMPERVIOUS AREA
27,818 S.F. + 1,210 S.F. = 29,028 S.F.

TOTAL LAND COVERAGE = 29,028 S.F. < PERMITTED LAND COVERAGE = 38,605 S.F.

TOTAL BUILDING COVERAGE:

PER 355-2. SCHEDULE OF RESIDENCE DISTRICT REGULATIONS.
MAXIMUM BUILDING COVERAGE = 8% X LOT AREA = 8% X 9.265 ACRES = 32,286 S.F.

EXISTING BUILDING COVERAGE + PROPOSED POOL HOUSE = 7,280 S.F. + 800 S.F. = 8,080 S.F.

PROPOSED BUILDING COVERAGE = 8,080 S.F. < PERMITTED BUILDING COVERAGE = 32,286 S.F.

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ISSUE:

#	DATE	DESCRIPTION

REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:
EXTERIOR ALTERATIONS:
14 COLE DRIVE
NORTH CASTLE, NY 10504
BLOCK: 1 LOT: 9
DRAWING TITLE:

SITE PLAN AND ZONING COMPLIANCE

SCALE: AS NOTED
DATE: 1/25/21
JOB NO.: 21019
DRAWN BY: AK
CHECKED BY: SB

SEAL AND SIGNATURE:
SHAWN BADALY
REGISTERED PROFESSIONAL ENGINEER
095887

DRAWING NO.: C-110.00
SHEET NO.: 4 OF 9



>25% SLOPE

15%-25% SLOPE

0% -15% SLOPE

1 STEEP SLOPE SITE PLAN
 Scale: 1" = 10'-0"

ISSUE:

#	DATE	DESCRIPTION

REVISIONS:

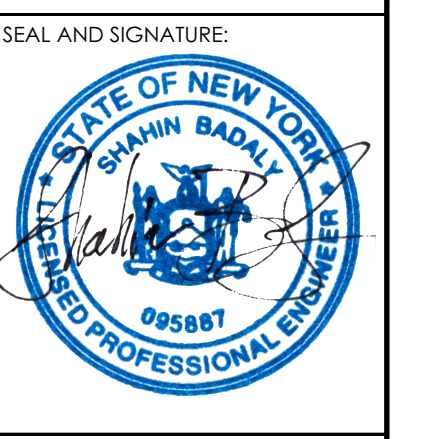
#	DATE	DESCRIPTION

PROJECT TITLE:
EXTERIOR ALTERATIONS:
14 COLE DRIVE
 NORTH CASTLE, NY 10504

BLOCK: 1 LOT: 9
 DRAWING TITLE:

STEEP SLOPE SITE PLAN

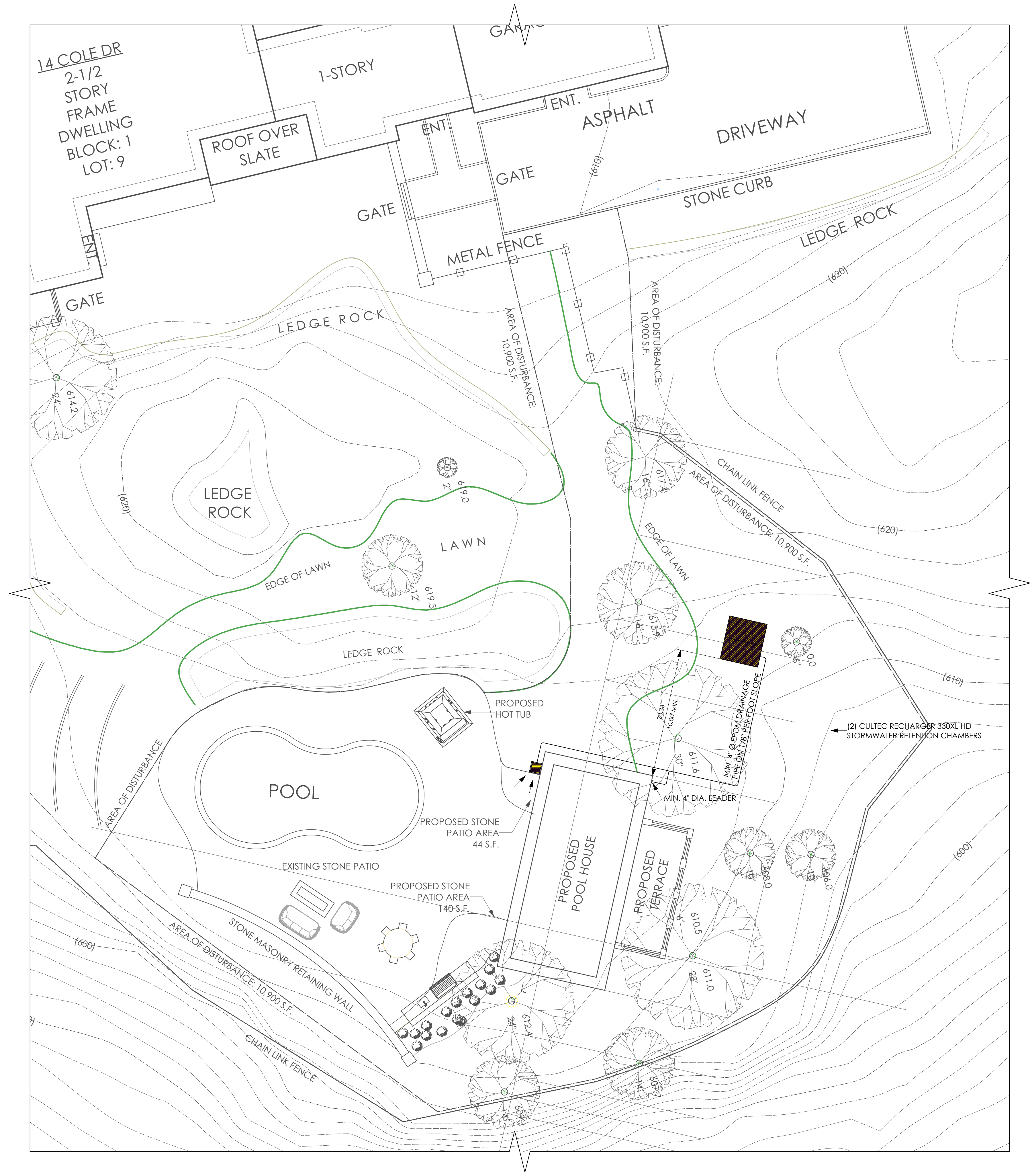
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 AS NOTED
 DATE:
 1/25/21
 JOB NO.:
 21019
 DRAWN BY:
 AK
 CHECKED BY:
 SB



DRAWING NO.:

C-130.00

SHEET NO.:
6 OF 9



ISSUE:

#	DATE	DESCRIPTION


REVISIONS:

#	DATE	DESCRIPTION

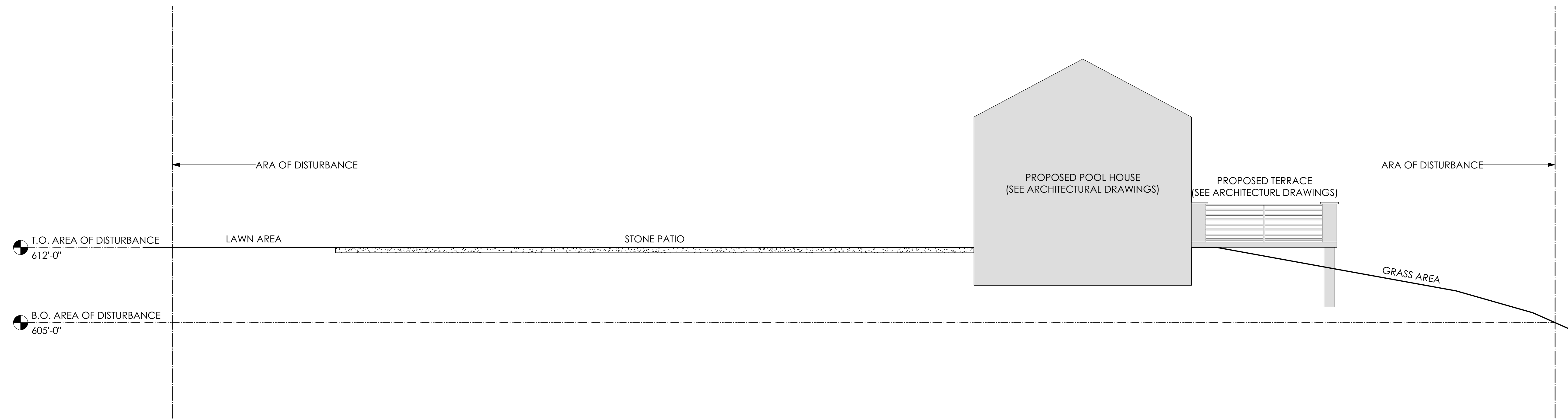
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EXTERIOR ALTERATIONS:
14 COLE DRIVE
 NORTH CASTLE, NY 10504

BLOCK: 1 LOT: 9
 DRAWING TITLE:
**STORMWATER
 MANAGEMENT PLAN**

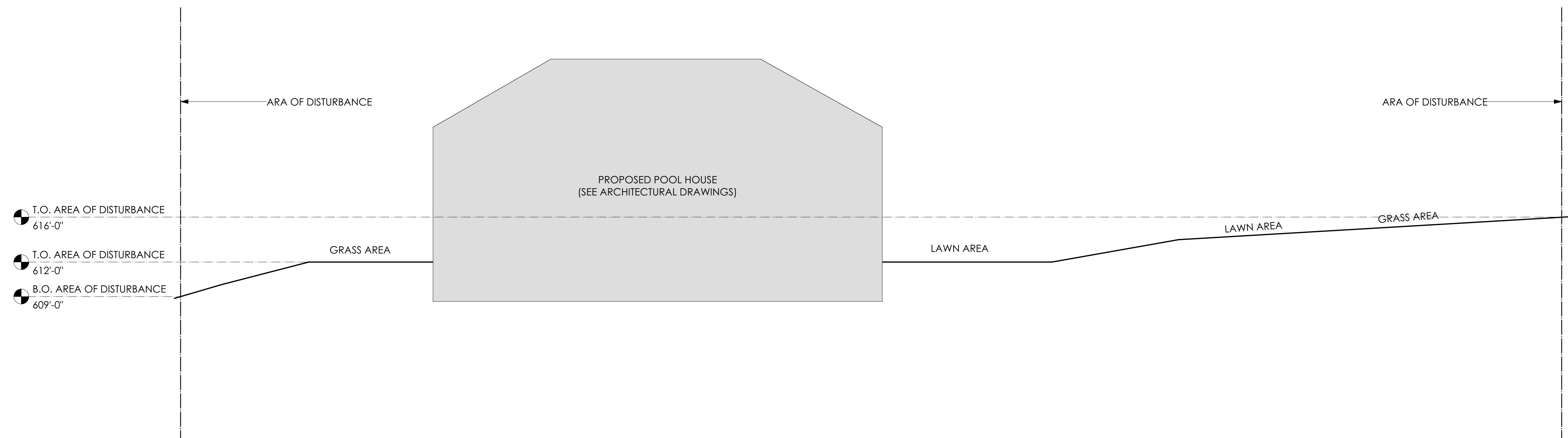
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 DATE: 1/25/21
 JOB NO.: 21019
 DRAWN BY: AK
 CHECKED BY: SB

SEAL AND SIGNATURE:


DRAWING NO.:
C-140.00
 SHEET NO.: 7 OF 9



1 SITE CROSS-SECTION
 Scale: 3/16" = 1'-0"



2 SITE CROSS-SECTION
 Scale: 3/16" = 1'-0"

ISSUE:

#	DATE	DESCRIPTION

REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:
EXTERIOR ALTERATIONS:
14 COLE DRIVE
 NORTH CASTLE, NY 10504

BLOCK: 1 LOT: 9

DRAWING TITLE:

SITE GRADING PLAN


SCALE:
 AS NOTED

DATE:
 1/25/21

JOB NO.:
 21019

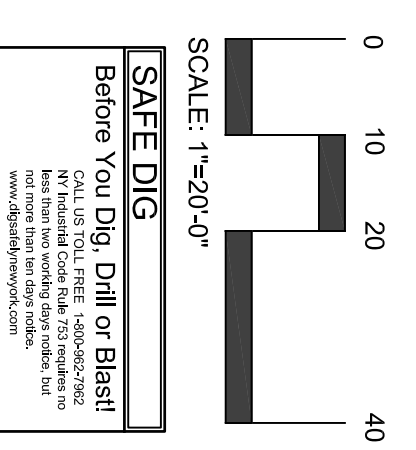
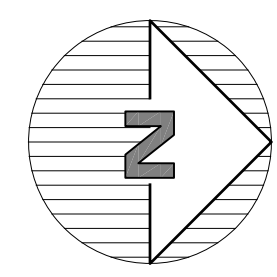
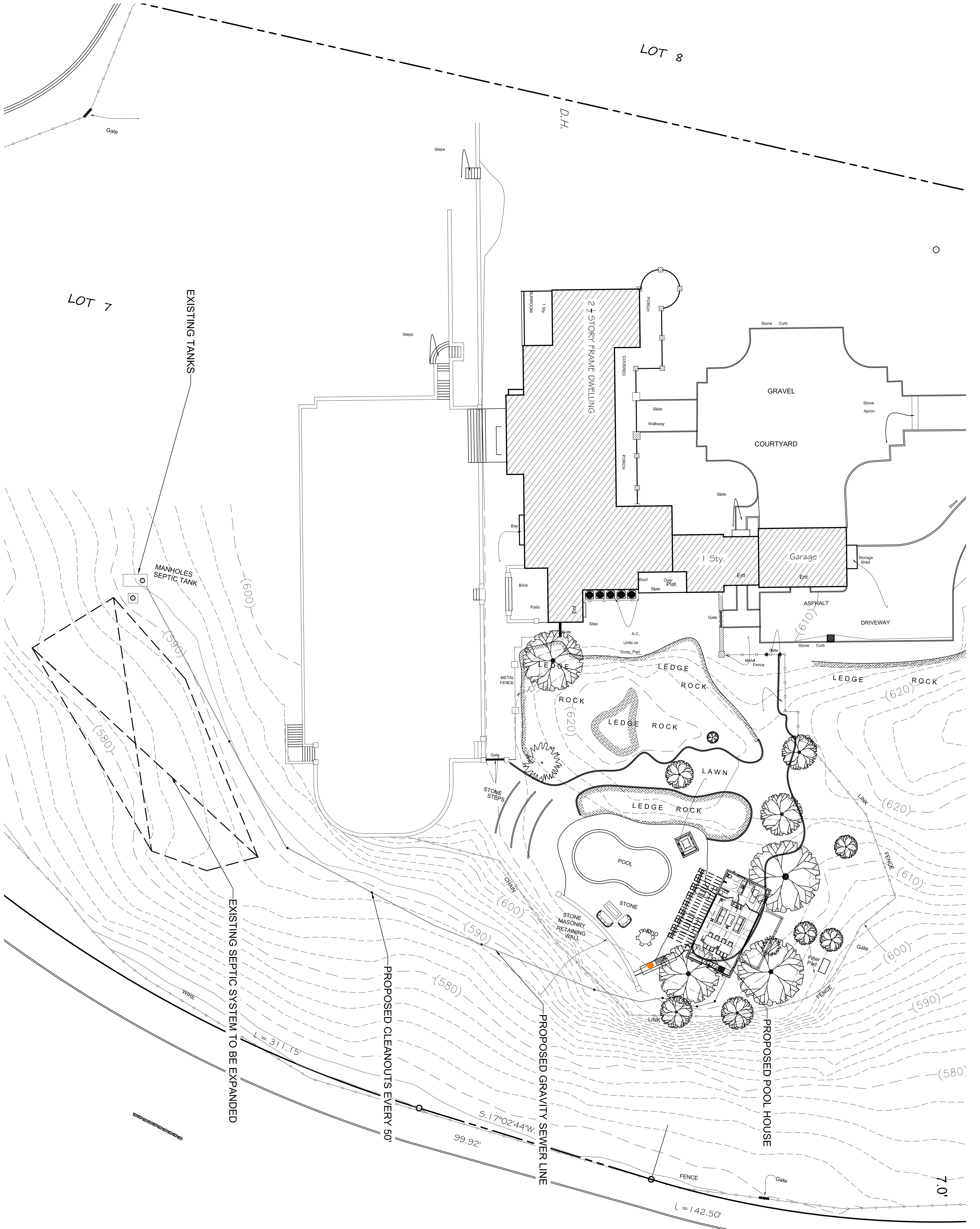
DRAWN BY:
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CHECKED BY:
 SB

SEAL AND SIGNATURE:


DRAWING NO.:
C-150.00

SHEET NO.:
 9 OF 9



Sheet
1
of
1

PROPOSED SEPTIC PLAN
PREPARED FOR
DR. DEV BRAR
PROJECT LOCATION
14 Cole Drive
Town of North Castle Westchester Co., New York

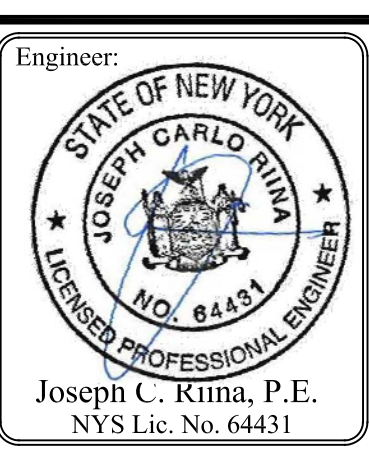
**PRELIMINARY
SEPTIC LAYOUT**

Scale:
1" = 20'

Drawn By:
JCR

Date:
02-01-21

Revisions:	No.	Date	Comments:



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Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
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