



7 Skyline Drive, Hawthorne, NY 10532
Tel: (914) 592-4040 www.pderesults.com

February 2, 2021

Mr. Adam Kaufman
Chairman Town of North Castle Residential Project Review Committee
Town of North Castle
17 Bedford Road
Armonk, New York 10504

**Regarding: Dempsey Residence Pool
606 Bedford Road, Route 22
North Castle (T)**

Dear Mr. Kaufman:

This office has prepared the necessary plans and paperwork to submit an RPRC application for the construction of a swimming pool at 606 Bedford Road, Route 22 in the Town of North Castle. The property is a 2.0 acre parcel, currently developed consisting of a single family home and located within the R-2A One Family Residential zoning district.

The owner is considering the construction of a 20' x 50' swimming pool with spa and associated terrace and mechanical equipment. In addition, evergreen landscaping is proposed around the pool area as screening to adjacent properties.

Attached please find the following information in support of application in consideration of a review:

- RPRC Application
- Gross Land Coverage Calculation Worksheet with Existing and Proposed Graphical Depiction
- Aerial Image indicating proposed pool and spa with limit of disturbance
- Plan set including Site Plan, and Construction Details
- Swimming Pool Structural Plans
- Existing Survey

The owner requests to be considered for the February 16, 2021 RPRC to review the application.

We look forward to further discussing project with you. Should you have any questions require any additional information, please feel free to contact this office.

Very truly yours,

A handwritten signature in black ink that reads "Peter J. Gregory".

Peter J. Gregory, P.E.
Senior Project Manager



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 606 Bedford Road - NYS Route 22

Section III- DESCRIPTION OF WORK:

The project will involve the construction of a 20' x 50' pool with spa, associated equipment and stormwater mitigation

Section III- CONTACT INFORMATION:

APPLICANT: Bedford Pool Service, Inc.

ADDRESS: P.O. Box 43, Bedford, New York 10506

PHONE: (914) 255-7058 MOBILE: _____ EMAIL: bedfordpoolservice@gmail.com

PROPERTY OWNER: Steven & Tania Dempsey

ADDRESS: 606 Bedford Road - NYS Route 22, Armonk, New York 10504

PHONE: (917) 502-3992 MOBILE: _____ EMAIL: dempsey@greyrockcapitalgroup.com

PROFESSIONAL: Peter J. Gregory, P.E. Provident Design Engineering, PLLC

ADDRESS: 7 Skyline Drive, Hawthorne, New York 10532

PHONE: (914) 730-2276 MOBILE: (914-557-4449)

EMAIL: pgregory@pderesults.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 2 - 8 - 2E-2 (101.02 - 1 - 14)



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Dempsey Residence Pool

Initial Submittal Revised Preliminary

Street Location: 606 Bedford Road, Route 22

Zoning District: R-2A Property Acreage: 2.00 Tax Map Parcel ID: _____

Date: 02/01/21

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Dempsey Residence Pool Date: 02-01-21

Tax Map Designation or Proposed Lot No.: 2 - 8 - 2E-2 (101.02 - 1 - 14)

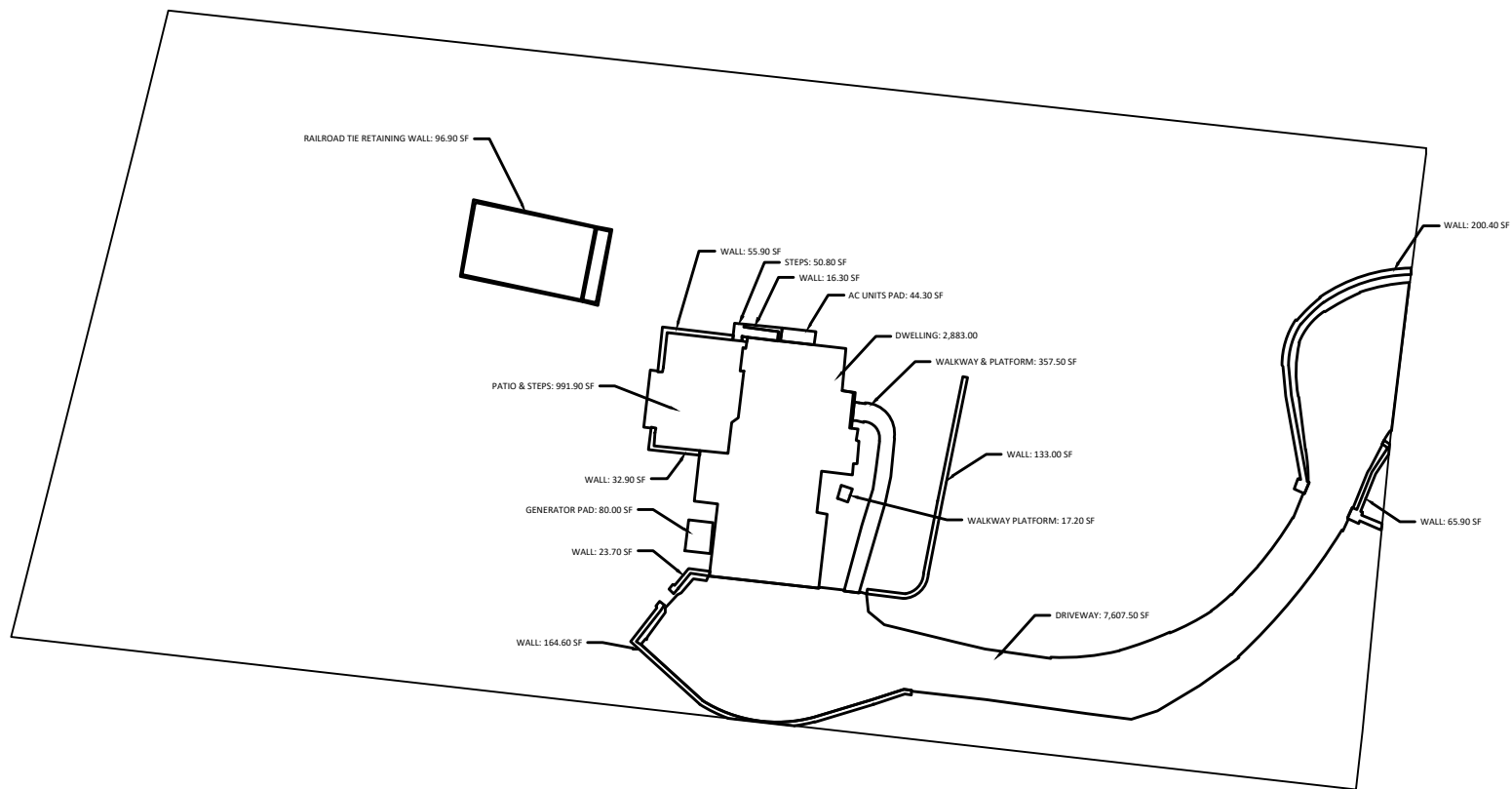
Gross Lot Coverage

1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>87,126.7</u>
2.	Maximum permitted gross land coverage (per Section 355-26.C(1)(a)):	<u>13,270.5</u>
3.	BONUS maximum gross land cover (per Section 355-26.C(1)(b)):	
	Distance principal home is beyond minimum front yard setback <u>121.06</u> x 10 =	<u>1,210.6</u>
4.	TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3	<u>14,481.1</u>
5.	Amount of lot area covered by principal building : <u>2,883</u> existing + <u>-</u> proposed =	<u>2,883.0</u>
6.	Amount of lot area covered by accessory buildings : <u>-</u> existing + <u>-</u> proposed =	<u>0</u>
7.	Amount of lot area covered by decks : <u>-</u> existing + <u>-</u> proposed =	<u>0</u>
8.	Amount of lot area covered by porches : <u>-</u> existing + <u>-</u> proposed =	<u>0</u>
9.	Amount of lot area covered by driveway, parking areas and walkways : <u>9,024.9</u> existing + <u>-</u> proposed =	<u>9,024.9</u>
10.	Amount of lot area covered by terraces : <u>-</u> existing + <u>640</u> proposed =	<u>640.0</u>
11.	Amount of lot area covered by tennis court, pool and mechanical equip : <u>124.3</u> existing + <u>1,110</u> proposed =	<u>1,234.3</u>
12.	Amount of lot area covered by all other structures : <u>789.6</u> existing + <u>(97.3)</u> proposed =	<u>692.7</u>
13.	Proposed gross land coverage : Total of Lines 5 – 12 =	<u>14,474.9</u>

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

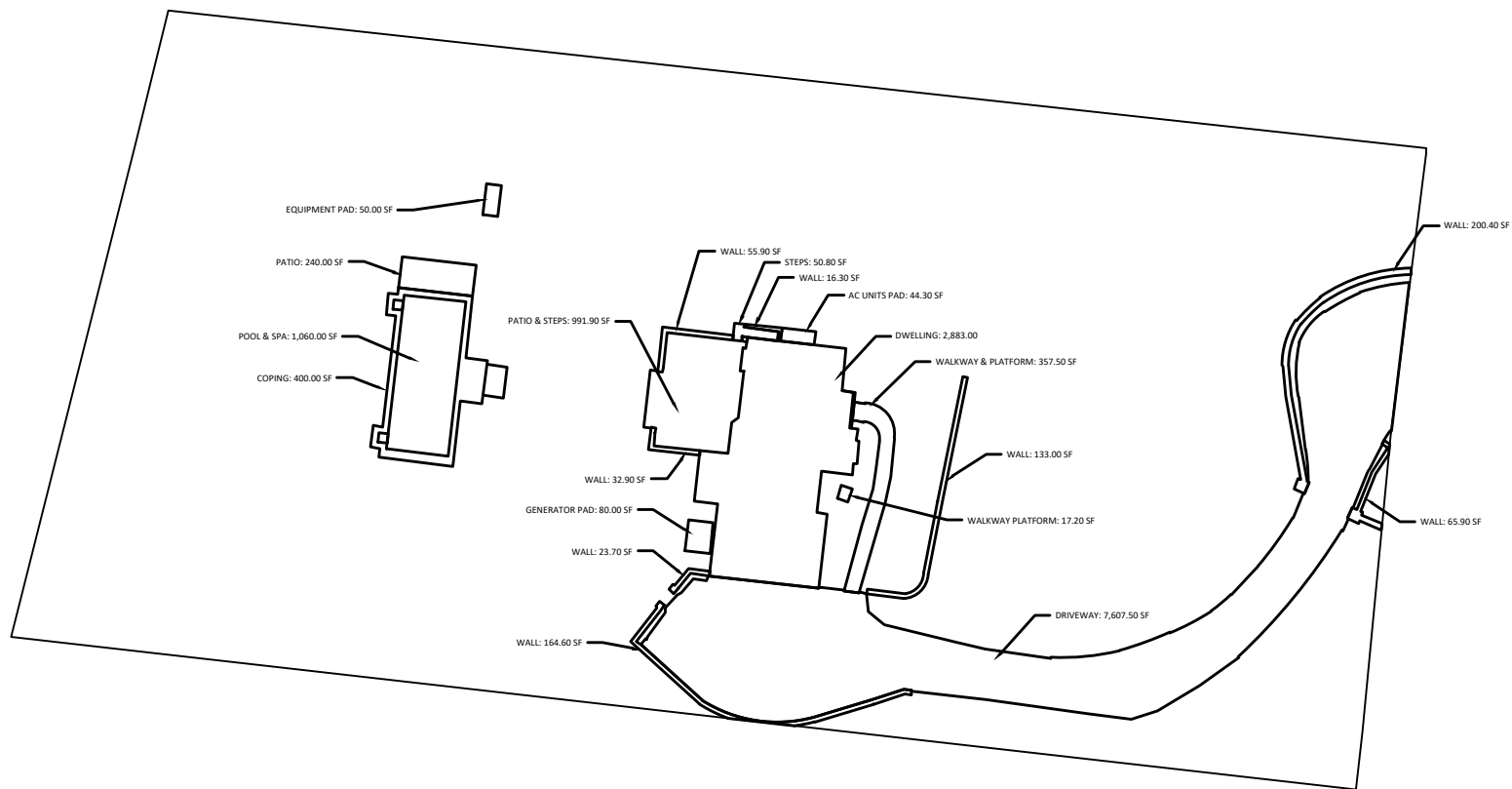
Peter Gregory
Signature and Seal of Professional Preparing Worksheet

2 - 1 - 21
Date



EXISTING GROSS LAND COVERAGE

TOTAL LOT AREA	=	87,126.689 SF
MAX PERMITTED GROSS LAND COVERAGE	=	13,270.50 SF
BONUS MAX PERMITTED GROSS LAND COVERAGE	=	1,210.60 SF
TOTAL MAX PERMITTED GROSS LAND COVERAGE	=	14,481.10 SF
PRINCIPAL BUILDING	=	2,883.00 SF
ACCESSORY BUILDINGS	=	0.00 SF
DECKS	=	0.00 SF
PORCH	=	0.00 SF
DRIVEWAY, PARKING, WALKWAYS	=	9,024.90 SF
TERRACES	=	0.00 SF
MECHANICAL EQUIPMENT - AC, GENERATOR	=	124.30 SF
ALL OTHER STRUCTURES - WALLS	=	789.60 SF
EXISTING GROSS LAND COVERAGE	=	12,821.80 SF



PROPOSED GROSS LAND COVERAGE

TOTAL LOT AREA	=	87,126.689 SF
MAX PERMITTED GROSS LAND COVERAGE	=	13,270.50 SF
BONUS MAX PERMITTED GROSS LAND COVERAGE	=	1,210.60 SF
TOTAL MAX PERMITTED GROSS LAND COVERAGE	=	14,481.10 SF
PRINCIPAL BUILDING	=	2,883.00 SF
ACCESSORY BUILDINGS	=	0.00 SF
DECKS	=	0.00 SF
PORCH	=	0.00 SF
DRIVEWAY, PARKING, WALKWAYS	=	9,024.90 SF
TERRACES	=	0.00 SF
MECHANICAL EQUIPMENT - AC, GENERATOR	=	124.30 SF
ALL OTHER STRUCTURES - WALLS	=	692.70 SF
PROPOSED POOL & SPA	=	1,060.00 SF
PROPOSED COPING	=	400.00 SF
PROPOSED PATIO	=	240.00 SF
PROPOSED POOL EQUIPMENT PAD	=	50.00 SF
TOTAL GROSS LAND COVERAGE	=	14,474.90 SF



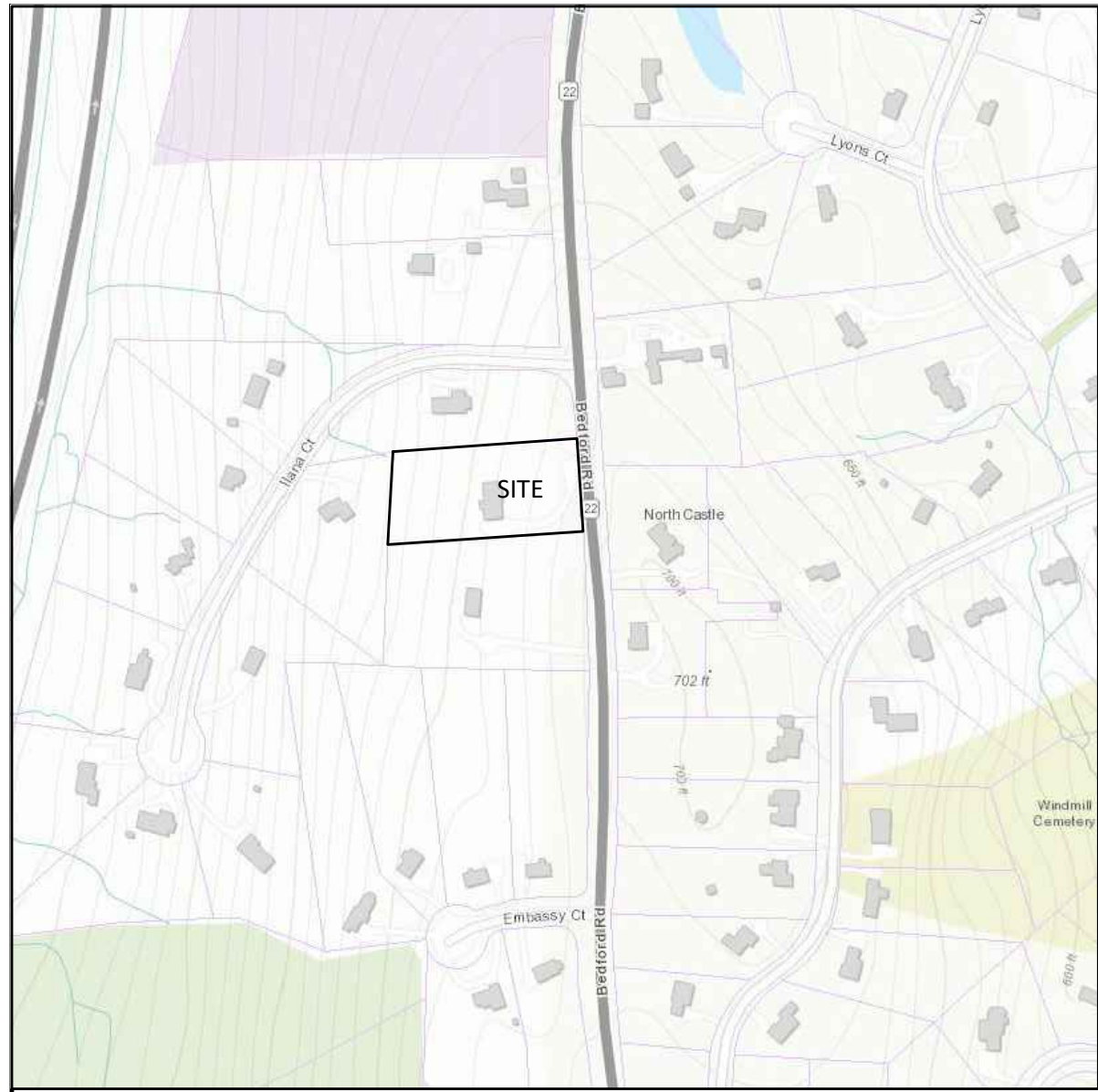
7 SKYLINE DRIVE, HAWTHORNE, NEW YORK 10532
 TEL: (914) 592-4040 WWW.PDERESULTS.COM

© PROVIDENT DESIGN ENGINEERING, PLLC

Graphical Depiction - Coverage Calculations
 Dempsey Residence Pool
 Town of North Castle
 Westchester County, New York

Project No. 20-076
 Scale: NTS
 February 2021





GENERAL NOTES

1. THE CONSTRUCTION OF THE POOL, SPA, TERRACE AND STORMWATER MITIGATION WILL CREATE A TOTAL AREA OF DISTURBANCE OF 17,700 SF.
2. THE PROJECT WILL RESULT IN THE CREATION OF APPROXIMATELY 1,750 SF OF NEW IMPERVIOUS SURFACE.
3. THE PROPERTY IS LOCATED WITHIN THE TOWN OF NORTH CASTLE R-2A SINGLE FAMILY RESIDENTIAL DISTRICT.
4. THE PROPERTY SHOWN IS DESIGNATED ON THE TOWN OF NORTH CASTLE TAX MAPS AS SECTION 2, BLOCK 8, LOT 2E-2 (101.02-1-14)

CONSTRUCTION SEQUENCE :

1. INSTALL SILT FENCE PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY THAT COULD RESULT IN DISTURBANCE OF SOIL. IN ADDITION, SILT FENCE TO BE INSTALLED IMMEDIATELY DOWNHILL OF CONSTRUCTION AREA. TREES TO BE PROTECTED SHALL BE CORDONED OFF WITH CONSTRUCTION FENCE.
2. PROVIDE A GRAVEL ANTI-TRACKING PAD AS STABILIZED CONSTRUCTION ENTRANCE.
3. CONTRACTOR SHALL STRIP TOPSOIL AND TEMPORARILY STOCKPILE AND SURROUND WITH SILT FENCE WHERE INDICATED ON PLAN.
4. CONTRACTOR SHALL BEGIN SITE WORK INCLUDING EXCAVATION OF AND CONSTRUCTION OF PROPOSED POOL. UPON COMPLETION OF GUNITE, BACKFILL POOL AND ROUGH GRADE POOL AREA.
5. CONTRACTOR TO INSTALL STORMWATER MITIGATION SYSTEM AND CAP OFF FOR FUTURE CONNECTION.
6. INSTALL DRAIN INLETS AND PRE-TREATMENT STRUCTURE. PROVIDE INLET PROTECTION AND CAP UNTIL SITE IS STABLE.
7. INSTALL PROPOSED POOL TERRACE, PITCH TOWARD DRAIN INLETS.
8. INSTALL POOL EQUIPMENT.
9. INSTALL FENCING, RESTORE DISTURBED AREAS WITH TOPSOIL AND SEED. INSTALL LANDSCAPING.
10. VERIFY THE SITE IS STABLE BEFORE THE EROSION CONTROL MEASURES ARE REMOVED AND THE STORMWATER MITIGATION SYSTEM IS PLACED "ON-LINE."

GENERAL EROSION CONTROL NOTES:

1. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION SILT FENCING SHALL BE INSTALLED ON THE DOWNHILL SLOPE OF WORK AREA AND SHALL BE IN PLACE AS INDICATED ON THIS SEDIMENT AND EROSION CONTROL PLAN.
2. EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATION FOR EROSION AND SEDIMENT CONTROL, AUGUST 2005.
3. ANY DRAINS OR CATCH BASINS SHALL BE PROTECTED WITH STONE AND BLOCK DRAIN INLET PROTECTION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL AREAS ARE THOROUGHLY STABILIZED.
4. SOIL STOCK PILES SHALL NOT BE ALLOWED ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. STOCK PILES SHALL BE SURROUNDED WITH SILT FENCING AND SEEDED WITH TOTAL ANNUAL RYE WITHIN TWO DAYS.
5. EROSION CONTROL MEASURES ARE TO INSPECTED AFTER EACH RAINFALL AND SHALL BE CLEANED, REPAIRED, OR REPLACED AS INDICATED IN THE EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE ON THIS SHEET.
6. FINAL GRADES SHALL BE ESTABLISHED WITHIN 7 DAYS AND TOP SOILED AND SEEDED TO PROVIDE A PERMANENT TURF WHICH WILL STABILIZE SLOPES AND PREVENT EROSION.
7. GRADED OR CLEAR AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH A MULCH COVER WHERE SEEDING MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDANT COVER.
8. FINAL LANDSCAPING WILL BE REQUIRED OVER ANY PREVIOUSLY DISTURBED AREAS. SPREAD A MIN. 4" TOPSOIL OVER DISTURBED SOIL. APPLY SEED MIXTURE AS PER PLANTING SCHEDULE. APPLY STRAW MULCH AND WATER WITHIN TWO DAYS OF COMPLETION OF TOPSOILING.
9. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL 80% GRASS IS ESTABLISHED, SOIL IS STABILIZED, AND THERE IS NO EVIDENCE OF POTENTIAL FOR EROSION AS A RESULT OF CONSTRUCTION ACTIVITY.
10. EROSION CONTROL MEASURES MAY ONLY BE REMOVED AT SUCH TIME THAT FINAL LANDSCAPING IS ESTABLISHED WHICH IS AT THE DISCRETION OF THE TOWN ENGINEER. AT THAT TIME, STRUCTURES ARE TO BE REMOVED IN REVERSE ORDER WITH THE UP SLOPE STRUCTURES BEING REMOVED FIRST AND THEN PROCEEDING DOWN SLOPE.

SYMBOL FOR DEEP TEST HOLE

DEEP TEST HOLE RESULTS 11/20/2020

TEST PIT 1	
G.L.	LAWN
0'-6"	TOPSOIL
6'-24"	GRAY SANDY LOAM WITH SILTS
24'-75"	MISCELLANEOUS FILL
*75" TOTAL DEPTH, GROUNDWATER @ 74"	

TEST PIT 2	
G.L.	LAWN
0'-6"	TOPSOIL
6'-24"	DARK BROWN SANDY LOAM
24'-82"	LIGHT BROWN MOD. COMP. LOAM W/ FINES
*82" TOTAL DEPTH	

SYMBOL FOR INFILTRATION TEST

INFILTRATION TEST RESULTS DEPTH = 29" 11/20/2020

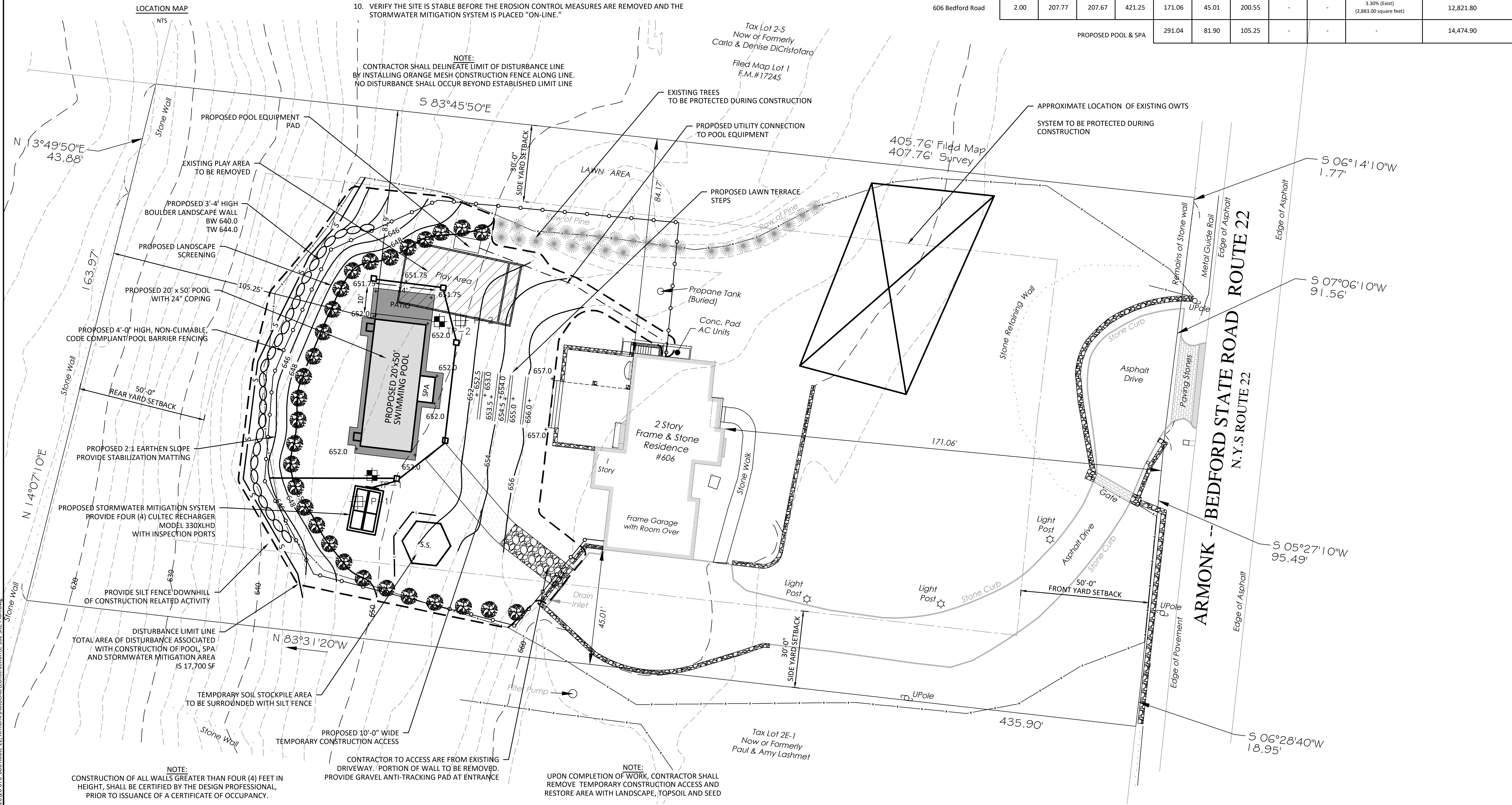
HOLE #	DROP MIN.	DROP INCH	RATE (IN/HR)
1	16 min.	3.0 inches	11.25
	23 min.	3.0 inches	7.83
	30 min.	3.0 inches	6.00
	30 min.	3.0 inches	6.00

HOLE #	DROP MIN.	DROP INCH	RATE (IN/HR)
2	30 min.	1.0 inches	2.00
	30 min.	1.0 inches	2.00

NO.	REVISION	DATE

TOWN OF NORTH CASTLE SCHEDULE OF RESIDENCE DISTRICT REGULATIONS R-2A RESIDENTIAL DISTRICT

	MINIMUM LOT SIZE				MINIMUM YARDS			MAXIMUM BUILDING HEIGHT		MAXIMUM BUILDING COVERAGE	MAXIMUM GROSS LAND COVERAGE
	AREA (acres)	FRONTAGE (feet)	WIDTH (feet)	DEPTH (feet)	FRONT (feet)	SIDE (feet)	REAR (feet)	STORIES	HEIGHT (feet)	8% (6,969.60 square feet)	14,481.10 (square feet)
R-2A REQUIRED	2.00	150	150	150	50	30	50	-	30	-	-
606 Bedford Road	2.00	207.77	207.67	421.25	171.06	45.01	200.55	-	-	330% (Est) (2,883.00 square feet)	12,821.80
PROPOSED POOL & SPA					291.04	81.90	105.25	-	-	-	14,474.90



G:\PROJECTS\2020\076 606 Bedford Road 22, Armonk\AutoCAD\Construction\02 Site Plan.dwg

Surveyor: TC Merritts Land Surveyors, PC
394 Bedford Road
Pleasantville, New York 10570
Tel: 914-769-8003

Owner: Steven & Tania Dempsey
606 Bedford Road, Route 22
Armonk, New York 10504
Tel: (917) 502-3992

Provident design engineering
7 SKYLARK DRIVE, HAWTHORNE, NEW YORK 10532
TEL: (914) 592-4040 WWW.PDERESULTS.COM
UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.
© PROVIDENT DESIGN ENGINEERING, PLLC

DEMPSEY RESIDENCE POOL
606 BEDFORD ROAD, ROUTE 22
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

TITLE: **SITE PLAN**

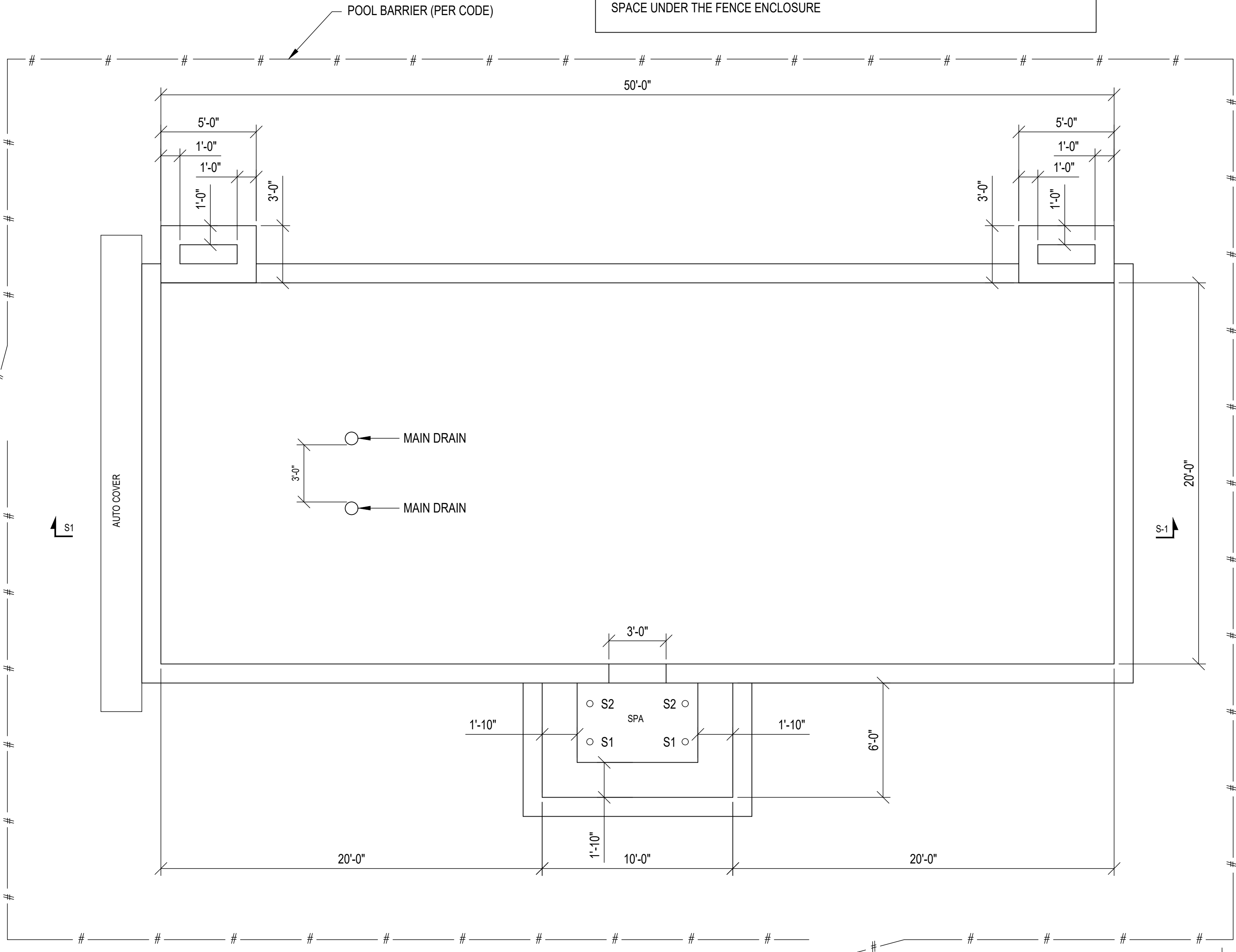
Scale: 1" = 20'
Date: 02/01/21
Drawn By: JM
Checked By: PJG
Project No.: 20-076
Sheet No.: 1 of 2
Dwg. No.: C-101

LEGEND	
R	RETURN
S	SKIMMER
P	VACUUM PORT

BUILDING PART OF POOL BARRIER NOTE:
IF BUILDING STRUCTURE IS PART OF POOL ENCLOSURE, ALL DOORS IN BUILDING WITH DIRECT ACCESS TO THE POOL SHALL BE EQUIPPED WITH AN ALARM THAT COMPLIES WITH SECTION R326.4.2.8.

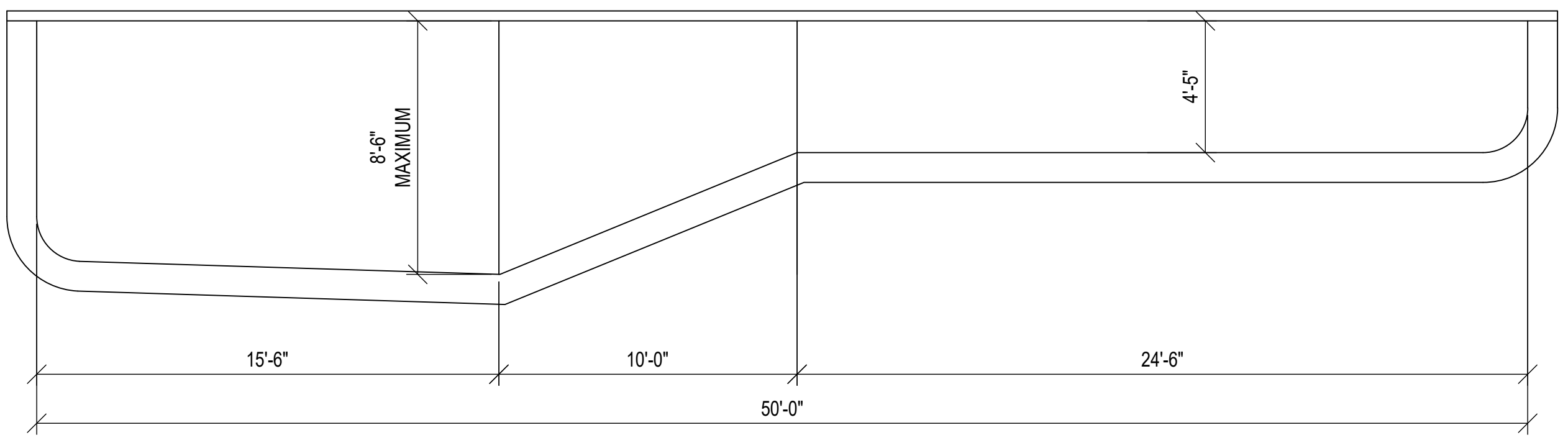
USE POOLGUARD PBM INDUSTRIES, INC DOOR ALARM (MODEL DAPT-2)

POOL BARRIER NOTE:
ALL GATES SHALL BE SELF CLOSING. FENCE ENCLOSURE SHALL HAVE A MAXIMUM 2" SPACE UNDER THE FENCE ENCLOSURE

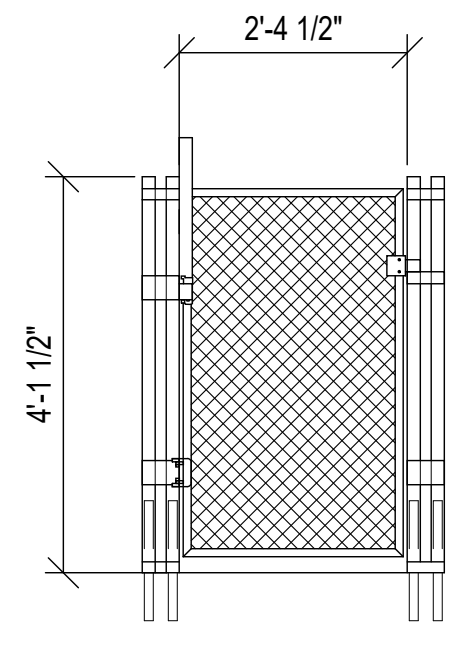


POOL PLAN
SCALE: 1/4" = 1'-0"

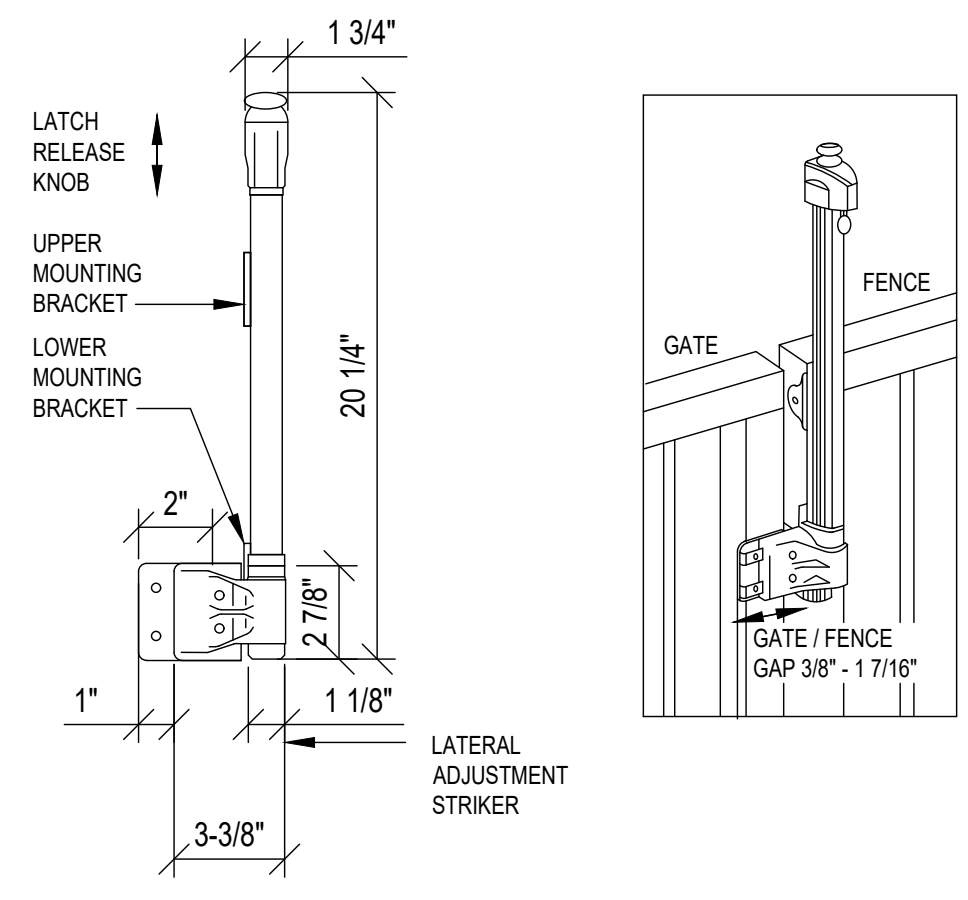
SELF LOCKING GATE FOR POOL (PER CODE), TYPICAL



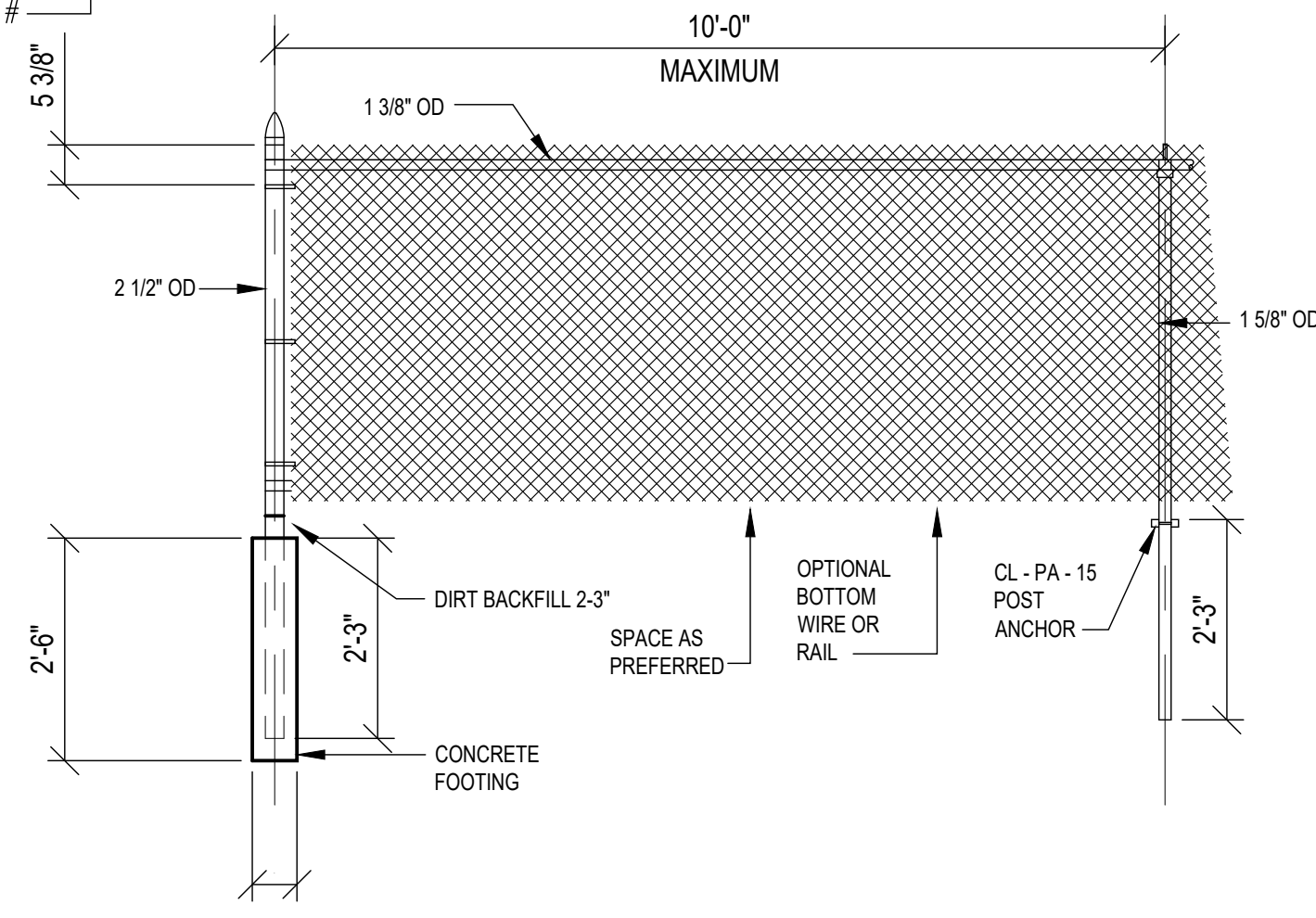
SECTION S1
SCALE: 1/4" = 1'-0"



TYPICAL GATE DETAIL



MAGNA LATCH TOP PULL MODEL



TYPICAL METAL FENCE DETAIL

GENERAL NOTES

ALL WORK SHALL COMPLY WITH 2020 RESIDENTIAL CODE OF NEW YORK STATE.

POOL DESIGNED WITH AND CONSTRUCTION SHALL COMPLY WITH ANSI/APSP/ICC-5 2011 STANDARD FOR RESIDENTIAL IN GROUND SWIMMING POOLS.

SPA DESIGNED WITH AND CONSTRUCTION SHALL COMPLY WITH ANSI/APSP/ICC-3 2014 AMERICAN NATIONAL STANDARD FOR PERMANENTLY INSTALLED RESIDENTIAL SPAS AND SWIM SPAS.

THE CONTRACTOR SHALL SUPPLY AND BE FULLY RESPONSIBLE FOR ALL SHORING REQUIRED TO PERFORM THE WORK DESCRIBED HEREIN.

IT IS THE CONTRACTOR AND OWNER'S RESPONSIBILITY TO INSURE ALL ZONING SETBACK REQUIREMENTS ARE SATISFIED.

THE POOL SHALL BE INSTALLED ON A LEVEL, COMPACTED BASE.

THE POOL, ONCE FILLED, SHALL BE MAINTAINED AT ITS DESIGN WATER LEVEL ELEVATION AT ALL TIMES.

PROPER WINTERIZATION PROCEDURES ARE THE RESPONSIBILITY OF THE OWNER.

THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT THE POOL TO BE CONSTRUCTED IS LOCATED ON SOIL WITH A BEARING CAPACITY AT LEAST 3,000 LBS / SQ. FT.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL APPLICABLE BUILDING CODE REQUIREMENTS ARE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE POOL.

THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL SITE SAFETY REQUIREMENTS ARE COMPLIED WITH, INCLUDING OSHA FOR TRENCH OR EXCAVATION STABILITY.

ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.

POOL SHALL BE PROVIDED WITH ALL REQUIRED SAFETY ITEMS INCLUDING A PERIMETER FENCE.

PROVIDE A CODE COMPLIANT SAFETY VACUUM RELEASE SYSTEM.

PROVIDE CODE COMPLIANT SUCTION COVERS.

DOORS WITH ACCESS TO THE POOL FROM HOUSE SHALL BE EQUIPPED WITH ALARM AS PER CODE.

PROVIDE SURFACE ALARM AT SPA.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL APPROPRIATE SEPARATION DISTANCES ARE MAINTAINED BETWEEN PROPOSED POOL AND THE SEPTIC SYSTEM, INCLUDING SEPTIC SYSTEM EXPANSION AREA, IF ANY, IS MAINTAINED.

PRIOR TO ANY EXCAVATION, ALL UNDERGROUND UTILITIES MUST BE LOCATED AND FIELD VERIFIED BY THE CONTRACTOR.

THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIRED SEDIMENT AND EROSION CONTROL PRACTICES.

THE ENGINEER HAS NOT BEEN RETAINED TO SUPERVISE THE MEANS AND / OR METHODS OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL CONSTRUCTION TECHNIQUES ARE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.

IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM THEIR SEAL AND NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

- PROVIDE A BARRIER WHICH SHALL COMPLY WITH THE FOLLOWING:
- A. THE TOP OF THE BARRIER SHALL BE AT LEAST 48 INCHES ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. THE MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE 2 INCHES MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. WHERE THE TOP OF THE POOL STRUCTURE IS ABOVE GRADE, SUCH AS AN ABOVE-GROUND POOL, THE BARRIER MAY BE AT GROUND LEVEL, SUCH AS THE POOL STRUCTURE, OR MOUNTED ON TOP OF THE POOL STRUCTURE. WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, THE MAXIMUM VERTICAL CLEARANCE BETWEEN THE TOP OF THE POOL STRUCTURE AND THE BOTTOM OF THE BARRIER SHALL BE 4 INCHES.
 - B. OPENINGS IN THE BARRIER SHALL NOT ALLOW PASSAGE OF A 4-INCH-DIAMETER SPHERE.
 - C. SOLID BARRIERS WHICH DO NOT HAVE OPENINGS, SUCH AS A MASONRY OR STONE WALL, SHALL NOT CONTAIN INDENTATIONS OR PROTRUSIONS EXCEPT FOR NORMAL CONSTRUCTION TOLERANCES AND TOOLED MASONRY JOINTS.
 - D. WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS LESS THAN 45 INCHES, THE HORIZONTAL MEMBERS SHALL BE LOCATED ON THE SWIMMING POOL SIDE OF THE FENCE. SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 1 3/4 INCHES IN WIDTH WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL NOT EXCEED 1 3/4 INCHES IN WIDTH.
 - E. MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 2 1/4-INCH SQUARE UNLESS THE FENCE HAS SLATS FASTENED AT THE TOP OR THE BOTTOM WHICH REDUCE THE OPENINGS TO NOT MORE THAN 1 3/4 INCHES.
 - F. WHERE THE BARRIER IS COMPOSED OF DIAGONAL MEMBERS, SUCH AS A LATTICE FENCE, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL NOT BE MORE THAN 1 3/4 INCHES.

CONCRETE

ALL CONCRETE WORK, MATERIALS, DETAILS AND CONSTRUCTION METHODS SHALL COMPLY WITH "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS," ACI 301, AND BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318, LATEST EDITIONS, OF THE AMERICAN CONCRETE INSTITUTE AND WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODE.

SHOTCRETE MIX FOR POOL WILL BE 750# CEMENT, 1,900# SAND, 750# 3/8" STONE, 40 GAL. WATER, 0.5+/-0.2 OZ/CWT AIR MIX 200, 2.0 OZ/CWT WR-91, 4.5-7.5% AIR CONTENT, AT 1-3" SLUMP, 5,000 PSI @ 28 DAYS.

ALL OTHER CONCRETE SHALL BE NORMAL WEIGHT STONE CONCRETE ACHIEVING STRENGTH OF 3,500 P.S.I. AT AGE 28 DAYS. CONCRETE MIX DESIGNS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL BEFORE THE WORK HAS BEGUN.

CONCRETE TO EXPOSED WEATHER SHALL HAVE MINIMUM 6% AIR ENTRAINMENT. SPECIAL DESIGN MIXES SHALL BE MADE FOR ALL PUMPED CONCRETE. FLY ASH MAY BE USED AS A PLASTICIZER TO REDUCE WATER CONTENT BUT CANNOT BE USED TO REDUCE CEMENT CONTENT. CONCRETE MIX DESIGNS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL BEFORE THE WORK HAS BEGUN.

ANY CONDUIT EMBEDDED IN THE SLABS ARE TO BE LOCATED AND DISTRIBUTED SO AS TO INTERFERE AS LITTLE AS POSSIBLE WITH THE REINFORCING STEEL, AND SHALL BE PLACED BELOW THE TOP LAYER OF REINFORCEMENT. WHERE THE REQUIRED CONCRETE COVER CANNOT BE MAINTAINED, THE ENGINEER SHALL BE NOTIFIED AND THE THICKNESS MAY, WITH THE ENGINEER'S APPROVAL, BE INCREASED.

REINFORCING STEEL

REINFORCING BARS SHALL CONFORM TO ASTM STANDARD A615 GRADE 60 FOR DEFORMED BILLET STEEL.

ALL REINFORCEMENT BARS AND TIES SHALL BE FREE OF LOOSE FLAKY RUST, MUD, OIL OR OTHER COATINGS THAT WILL DESTROY, REDUCE OR HAMPER FULL BOND CAPACITY.

REINFORCING SHALL BE ACCURATELY INSTALLED TO THE REQUIRED ELEVATION AND CHAIRED OR SECURELY TIED IN PLACE SO AS TO PREVENT DISLOCATION DURING CONCRETE PLACEMENT.

REINFORCING BARS NOTED CONTINUOUS (CONT.) SHALL BE LAPPED AT SPLICES AND HOOKED AT NON-CONTINUOUS ENDS. UNLESS SHOWN OTHERWISE ON DRAWINGS, LAP SPLICES SHALL NOT BE LESS THAN 40 TIMES THE BAR DIAMETER.

FOR REVIEW & COMMENT
09-28-2020

GMCE PC
CROSSFIELD MACRI CONSULTING ENGINEERS, P.C.
34 SHADBLOW HILL ROAD, RIDGEBURY, CT 06877 203.431.1700
WWW.GMCEPC.COM

DEMPSEY POOL
606 BEDFORD ROAD
ARMONK, NY

Issue	Description	Date
1	PERMIT	09/28/20

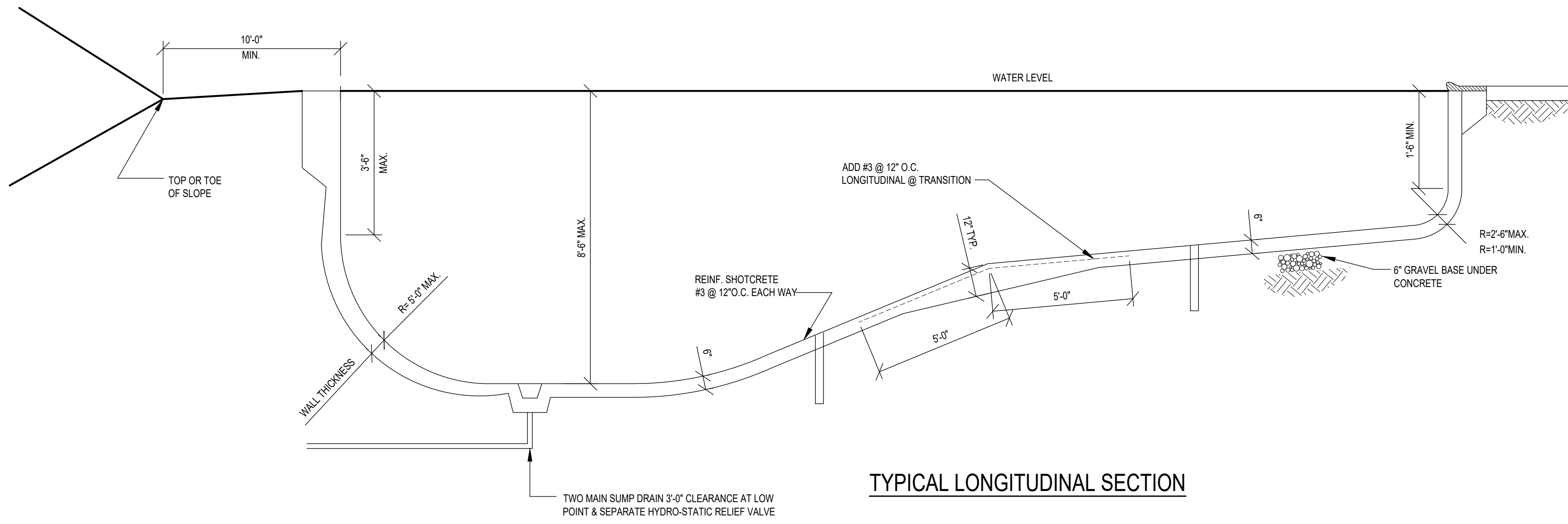
THIS DRAWING AND THE IDEAS AND DESIGNS INCORPORATED HEREWITH IS THE PROPERTY OF GMCE, PC AND MAY NOT BE COPIED OR REPRODUCED WITHOUT THEIR PERMISSION. THIS DRAWING IS INTENDED SOLELY FOR THE PROJECT DESCRIBED AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. IT IS A VIOLATION OF THE LAW TO ALTER THESE DRAWINGS IN ANY WAY UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER, AND IF ALTERED THE ALTERING ENGINEER SHALL AFFIX THEIR SEAL AND NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND DATE OF THE ALTERATION.

Date: 09/29/20 Scale: AS NOTED
Drawn By: JTC Checked By: MAM

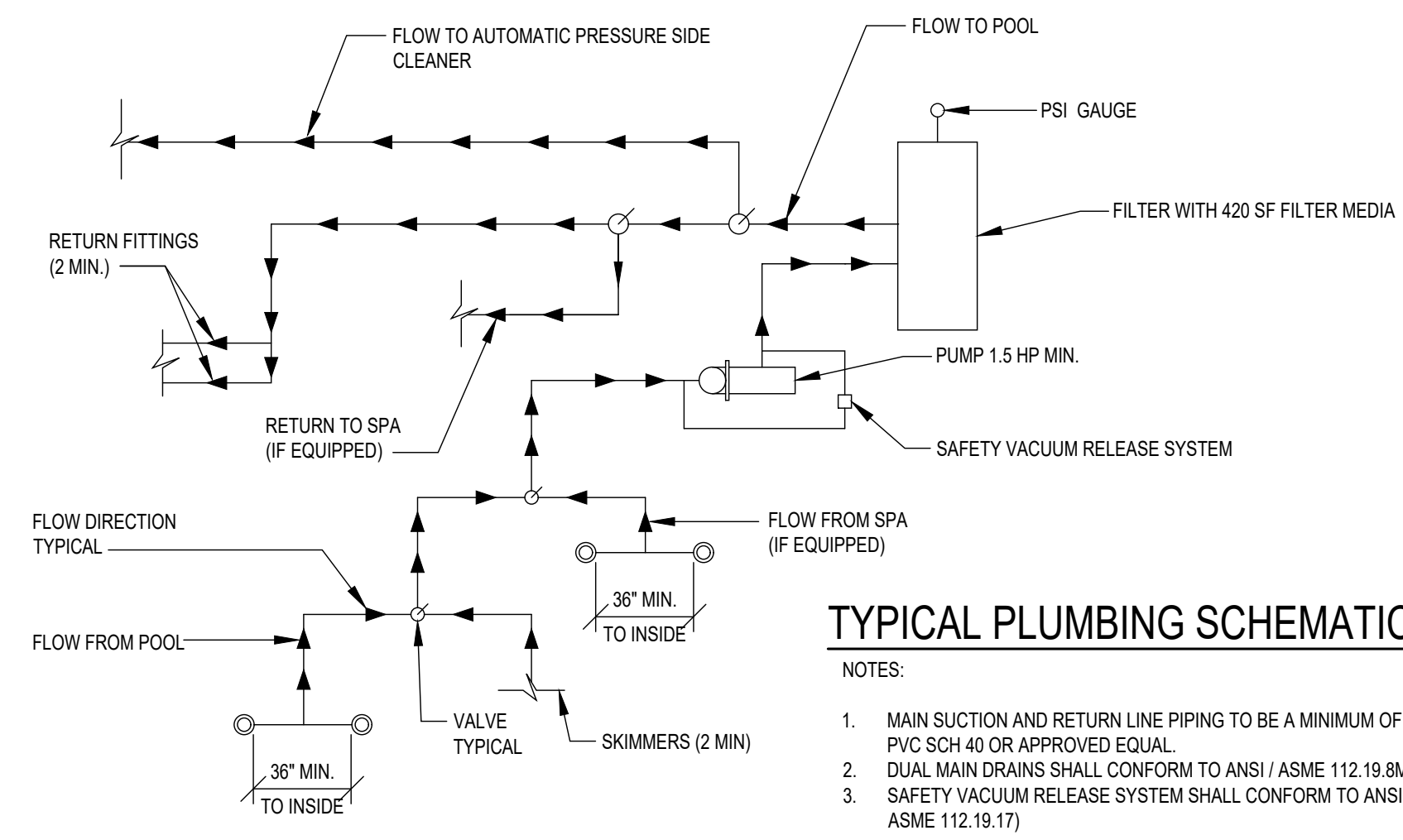
PROJECT # 20033

POOL DRAWING WITH BARRIER DETAILS

Drawing # **PL-101**
1 OF 2 SHEETS



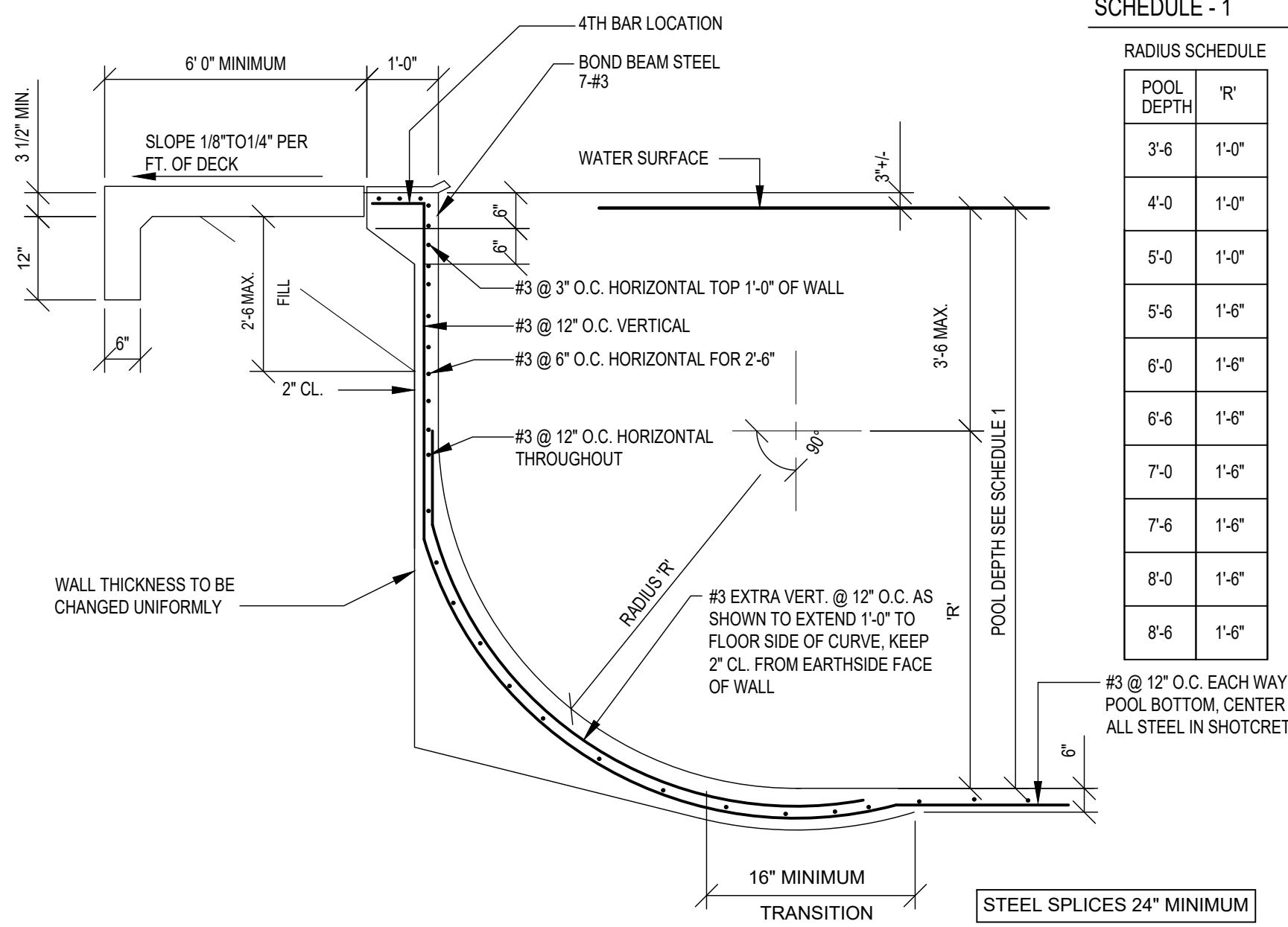
TYPICAL LONGITUDINAL SECTION



TYPICAL PLUMBING SCHEMATIC

- NOTES:
1. MAIN SUCTION AND RETURN LINE PIPING TO BE A MINIMUM OF 2" PVC SCH 40 OR APPROVED EQUAL.
 2. DUAL MAIN DRAINS SHALL CONFORM TO ANSI / ASME 112.19.8M)
 3. SAFETY VACUUM RELEASE SYSTEM SHALL CONFORM TO ANSI / ASME 112.19.17)

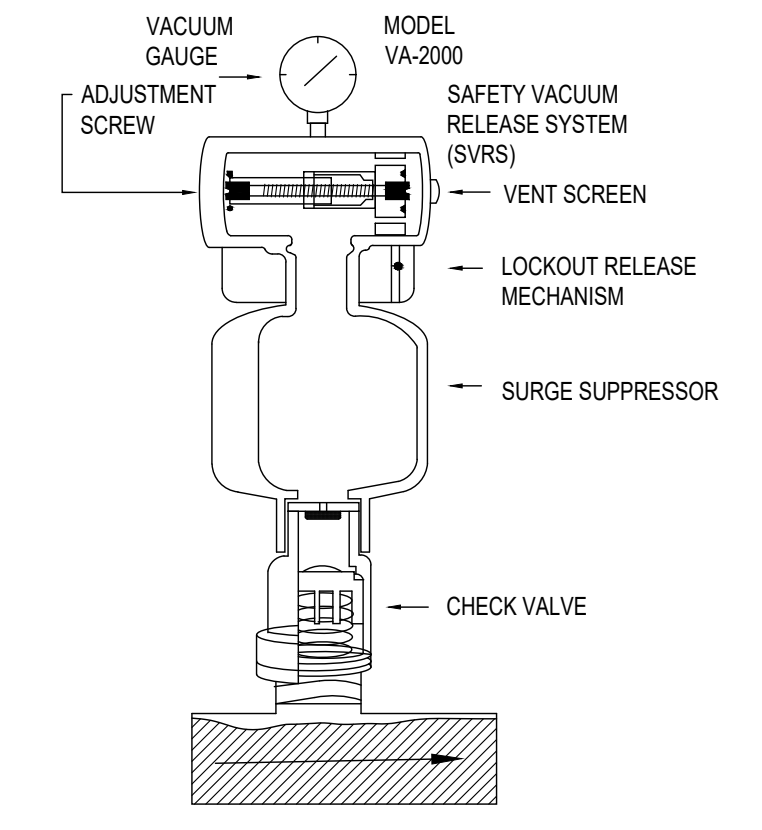
WALL THK MIN. VERTICAL STEEL	VERT. DEPTH IN FEET
8"	0
8"	1'
8"	2'
8"	3'
9" #3@6"	4'
10" #3@6"	5'
10" #3@6"	6'
12" #3@6"	7'
14" #3@6"	8'



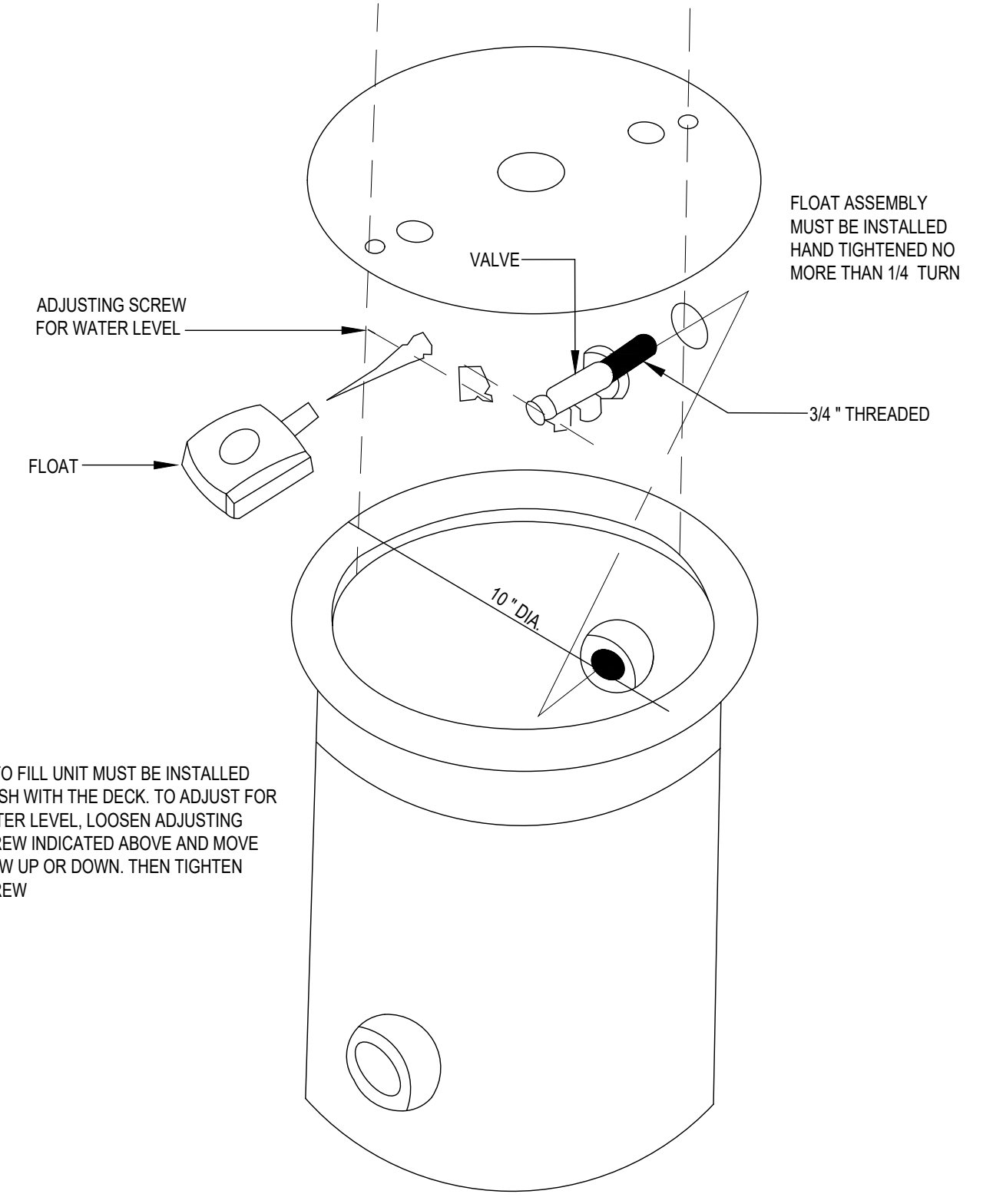
REINFORCEMENT & DIMENSIONS

SCHEDULE - 1

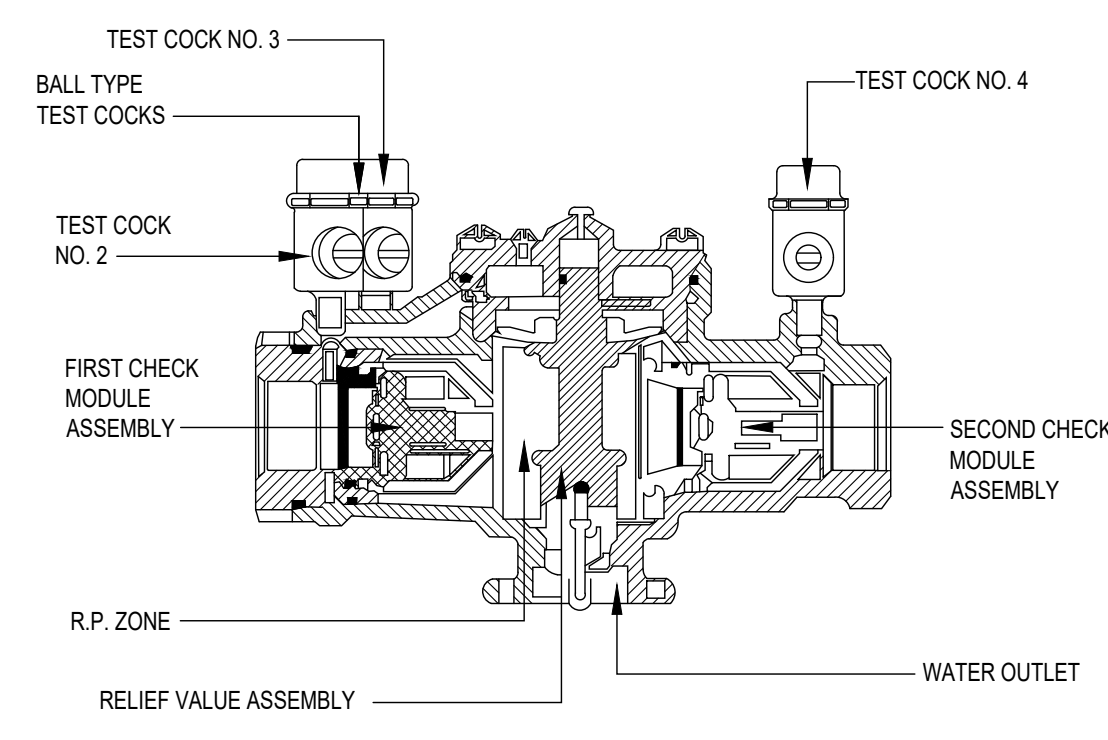
POOL DEPTH	R'
3-6	1'-0"
4-0	1'-0"
5-0	1'-0"
5-6	1'-6"
6-0	1'-6"
6-6	1'-6"
7-0	1'-6"
7-6	1'-6"
8-0	1'-6"
8-6	1'-6"



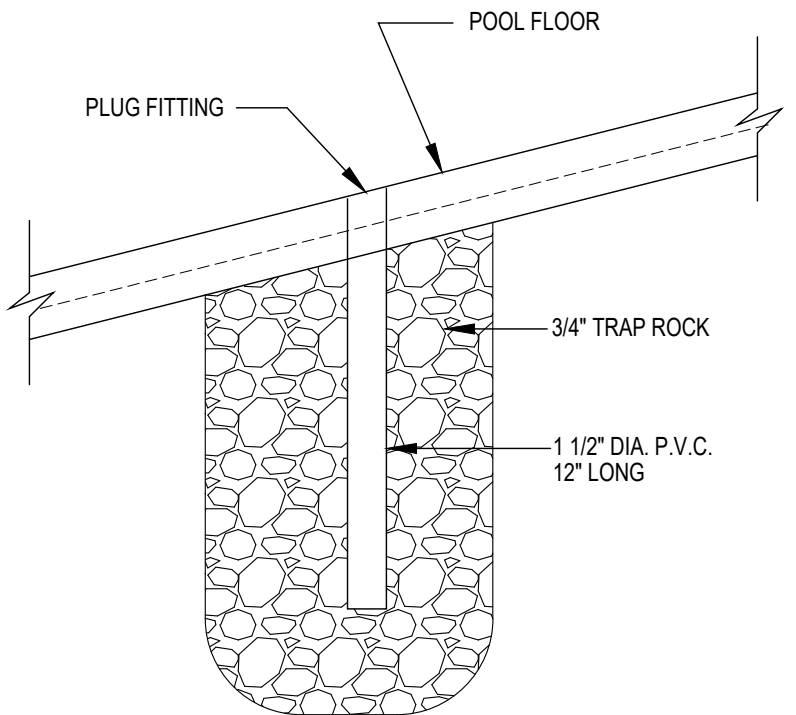
TYPICAL VACUUM RELEASE DETAIL



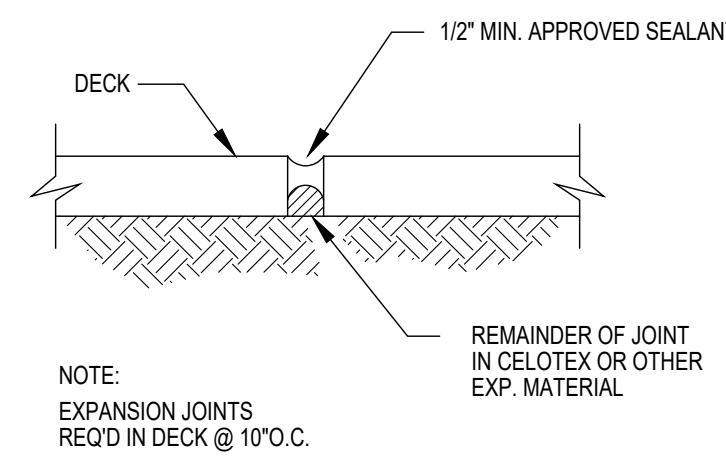
TYPICAL AUTOFILL DETAIL



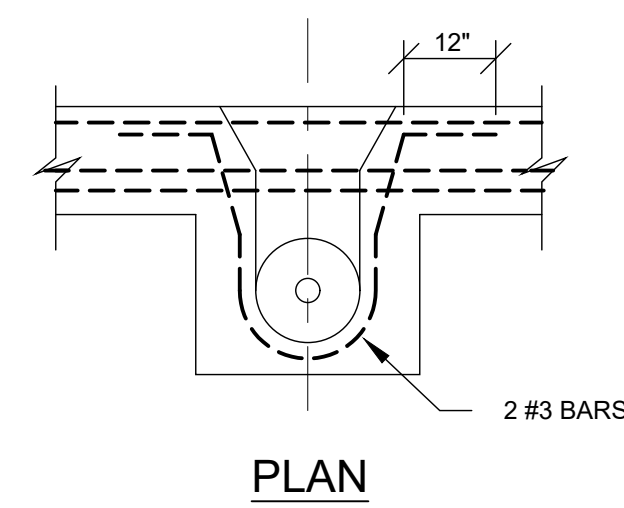
TYPICAL BACKFLOW PREVENTER DETAIL



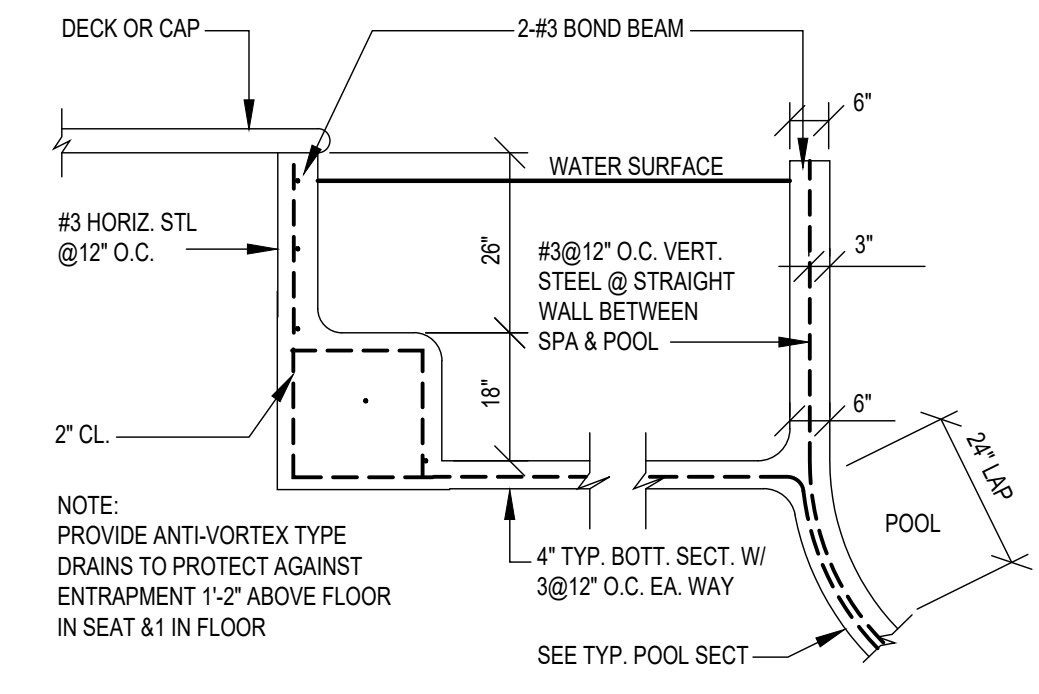
RELIEF VALVE DETAIL



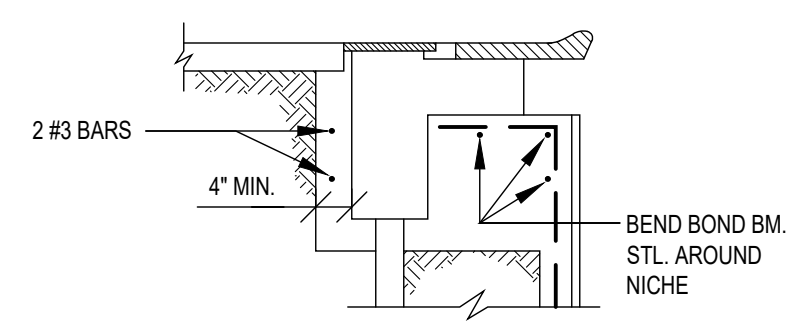
EXPANSIVE JOINT



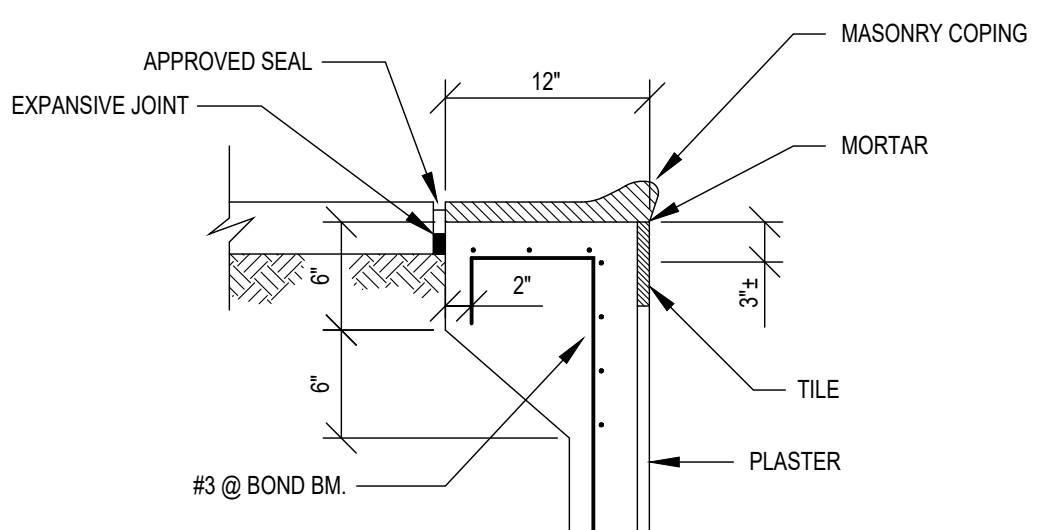
SKIMMER NICHE DETAIL



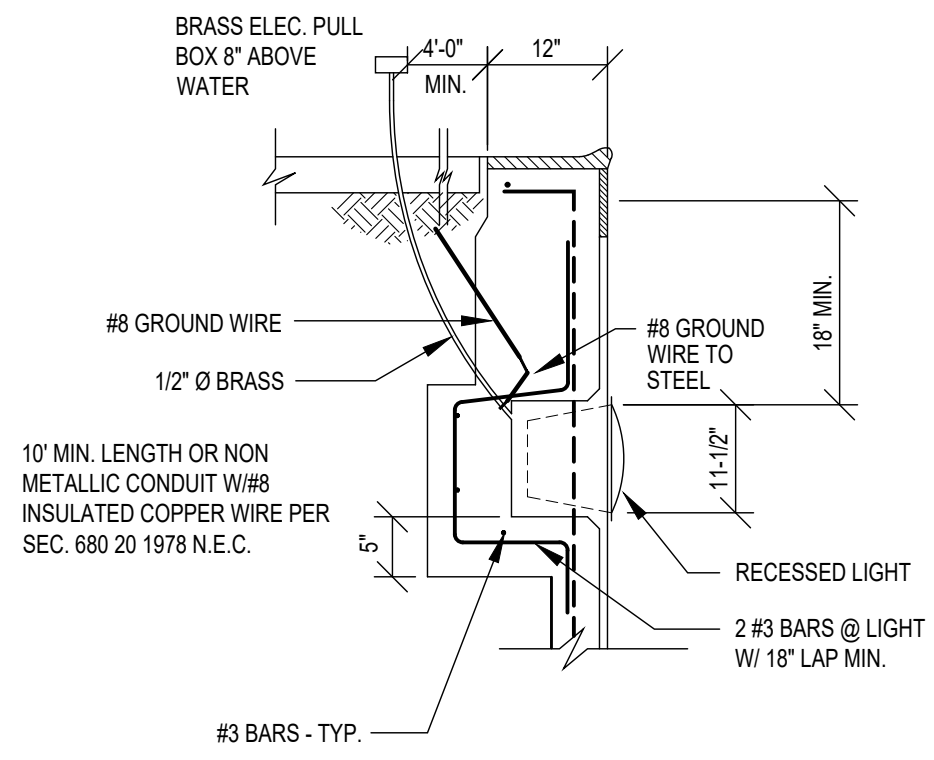
TYPICAL SPA SECTION ADJACENT TO POOL



AUTO-COVER SECTION



STANDARD COPING & TILE



SECTION AT LIGHT BOX

GMCE PC
 CROSSFIELD MACRI CONSULTING ENGINEERS, P.C.
 34 SHADBLOW HILL ROAD, RIDGEBFIELD, CT 06877 203.431.7700
 WWW.GMCEPC.COM

DEMPEY POOL
 606 BEDFORD ROAD
 ARMONK, NY

Issue	Description	Date
1	PERMIT	09/28/20

THIS DRAWING AND THE IDEAS AND DESIGNS INCORPORATED HEREWITH IS THE PROPERTY OF GMCE, PC AND MAY NOT BE COPIED OR REPRODUCED WITHOUT THEIR PERMISSION. THIS DRAWING IS INTENDED SOLELY FOR THE PROJECT DESCRIBED AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. IT IS A VIOLATION OF THE LAW TO ALTER THESE DRAWINGS IN ANY WAY UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER, AND IF ALTERED THE ALTERING ENGINEER SHALL AFFIX THEIR SEAL AND NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND DATE OF THE ALTERATION.

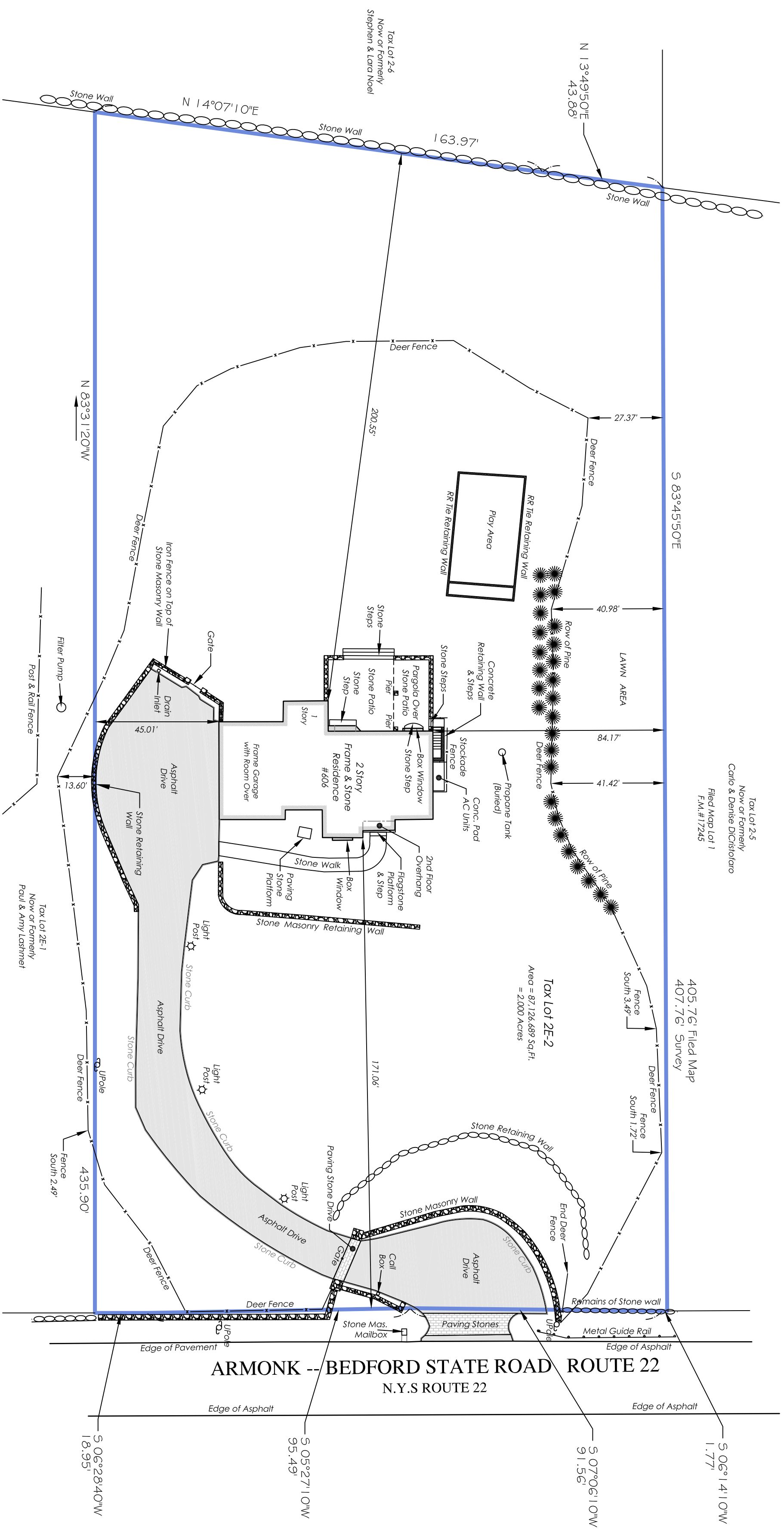
Date: 09/29/20 Scale: AS NOTED
 Drawn By: JTC Checked By: MAM

PROJECT # 20033

POOL & EQUIPMENT DETAILS

Drawing # **PL-201**

FOR REVIEW & COMMENT
 09-28-2020



Only copies from the original of this survey marked with an original of the Land Surveyors embossed seal shall be considered to be true, valid copies.

Said certifications shall run only to the person for whom this survey is prepared and on his/her behalf to the title company, governmental agency and lending institutions listed hereon. Certifications are not transferable to additional institutions or subsequent owners.

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified. Subject to covenants, easements, restrictions, conditions and agreements of record.

Premises hereon being Lot 2E-2, as shown on a certain map entitled, "Subdivision of the Twitty Property, Section 2 Block 8," Said Map filed in the Westchester County Clerk's Office, Division of Land Records, May 8, 1968 as map number 15984.

Surveyed in accordance with Deed Control Number 450180409.

Premises shown hereon designated on the Town of North Castle Tax Maps as: Section 2, Block 8, Lot 2E-2.

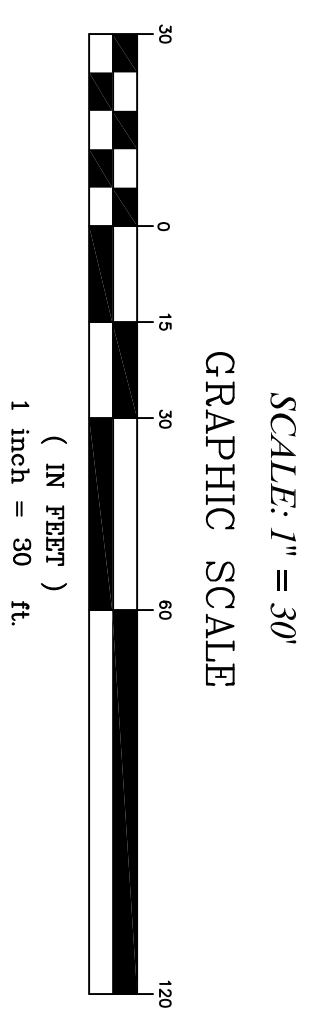
State ID - Section 101.02, Block 1, Lot 14.

Property Address: 606 Bedford Road Armonk, N.Y. 10504

EXISTING IMPERVIOUS SURFACES	
BUILDINGS	2,883,009 S.F.
DRIVEWAY	7,609,191 S.F.
WALKS/PATIOS/PADS	1,460,051 S.F.
WALLS	789,651 S.F.
EXISTING LAND COVERAGE	12,741,902 S.F.
MAX. PERMITTED LAND COVERAGE	13,270 S.F.

**SURVEY OF PROPERTY
PREPARED FOR
STEVEN W. DEMPSEY
AND
TANIA T. DEMPSEY**

SITUATE IN THE
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK



THOMAS C. MERRITTS LAND SURVEYORS, P.C.

394 BEDFORD ROAD • PLEASANTVILLE • N.Y. 10570
(914) 769-8003 • (203) 622-8899



COPYRIGHT © 2015
THOMAS C. MERRITTS LAND SURVEYORS, P.C.
ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR
ELECTRONIC TRANSMISSION WITHOUT PRIOR PERMISSION
IS A VIOLATION OF APPLICABLE LAWS.

Surveyed: April 13, 1998
Map Prepared: April 16, 1998
Map Revised: August 18, 1998 to show foundation
Map Revised: February 10, 1999
Map Revised: April 3, 2015 to show survey update

By: *David T. Merritts*
New York State Licensed Land Surveyor No. 050604

Project:	98-022	Field Survey By:	BC/ROB
Drawn By:	CMP	Checked By:	DTM