



TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

January 29, 2019  
Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

## FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: January 21, 2021 Atallah Sunrm Date: \_\_\_\_\_  
Tax Map Designation or Proposed Lot No.: 109.01-1.39

### Floor Area

- |     |  |                       |
|-----|--|-----------------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):   | <u>92,211</u>         |
| 2.  | <b>Maximum</b> permitted floor area (per Section 355-26.B(4)):   | <u>7364 Sf</u>        |
| 3.  | Amount of floor area contained within first floor:<br>- <u>2599</u> existing + <u>240</u> proposed =                       | <u>2740</u>           |
| 4.  | Amount of floor area contained within second floor:<br>- <u>2000</u> existing + <u>0</u> proposed =                        | <u>2000</u>           |
| 5.  | Amount of floor area contained within garage:<br>- _____ existing + <u>0</u> proposed =                                    | <u>500</u>            |
| 6.  | Amount of floor area contained within porches capable of being enclosed:<br>- _____ existing + <u>0</u> proposed =         | <u>0</u>              |
| 7.  | Amount of floor area contained within basement (if applicable – see definition):<br>- _____ existing + <u>0</u> proposed = | <u>not applicable</u> |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):<br>- _____ existing + <u>0</u> proposed =    | <u>not applicable</u> |
| 9.  | Amount of floor area contained within all accessory buildings:<br>- <u>200</u> existing + <u>0</u> proposed =              | <u>200</u>            |
| 10. | Proposed <b>floor area</b> : Total of Lines 3 – 9 =  | <u>5440</u>           |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

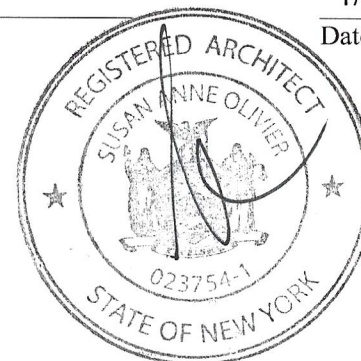
*susan olivier*

NY 923754 exp 03/2023

1/267/2021

Signature and Seal of Professional Preparing Worksheet

Date





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## GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: January 21, 2021 Atallah Sunroom Date: \_\_\_\_\_

Tax Map Designation or Proposed Lot No.: 109.01-1-39

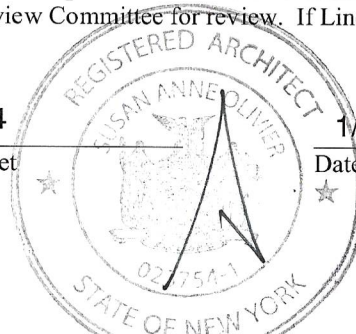
### Gross Lot Coverage

- |     |   |                      |
|-----|---|----------------------|
| 1.  | Total lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>92,211 sf</u>     |
| 2.  | <b>Maximum</b> permitted gross land coverage (per Section 355-26.C(1)(b)):  | <u>10,303 sf</u>     |
| 3.  | <b>BONUS</b> maximum gross land cover (per Section 355-26.C(1)(b)):   |                      |
|     | Distance principal home is beyond minimum front yard setback<br><u>23</u> x 10 = _____                                    | <u>230</u>           |
| 4.  | <b>TOTAL Maximum Permitted gross land coverage</b> = Sum of lines 2 and 3   | <u>10,533</u>        |
| 5.  | Amount of lot area covered by <b>principal building</b> :<br><u>2590</u> existing + <u>240</u> proposed =                 | <u>2810 sf</u>       |
| 6.  | Amount of lot area covered by <b>accessory buildings</b> :<br><u>200</u> existing + _____ proposed =                      | <u>200 sf</u>        |
| 7.  | Amount of lot area covered by <b>decks</b> :<br><u>0</u> existing + <u>0</u> proposed =                                   | <u>0</u>             |
| 8.  | Amount of lot area covered by <b>porches</b> :<br><u>0</u> existing + <u>0</u> proposed =                                 | <u>0</u>             |
| 9.  | Amount of lot area covered by <b>driveway, parking areas and walkways</b> :<br><u>NAV</u> existing + <u>0</u> proposed =  | <u>not available</u> |
| 10. | Amount of lot area covered by <b>terraces</b> :<br><u>650</u> existing + <u>-240</u> proposed =                           | <u>410</u>           |
| 11. | Amount of lot area covered by <b>tennis court, pool and mechanical equip</b> :<br><u>0</u> existing + <u>0</u> proposed = | <u>0</u>             |
| 12. | Amount of lot area covered by <b>all other structures</b> :<br><u>0</u> existing + <u>0</u> proposed =                    | <u>0</u>             |
| 13. | Proposed <b>gross land coverage</b> : Total of Lines 5 – 12 =   | <u>3420 sf</u>       |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

susan olivier NY 923754  
Signature and Seal of Professional Preparing Worksheet

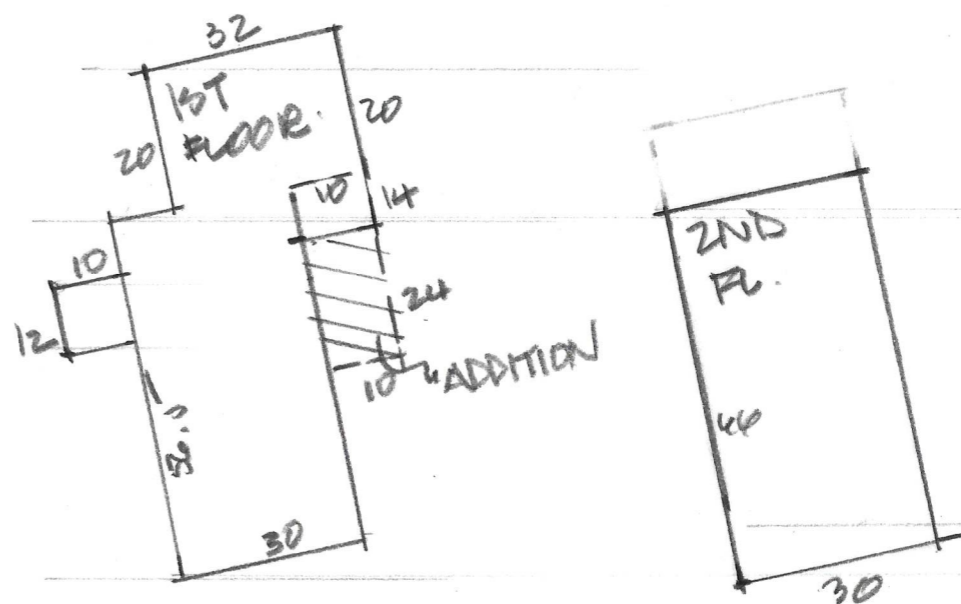
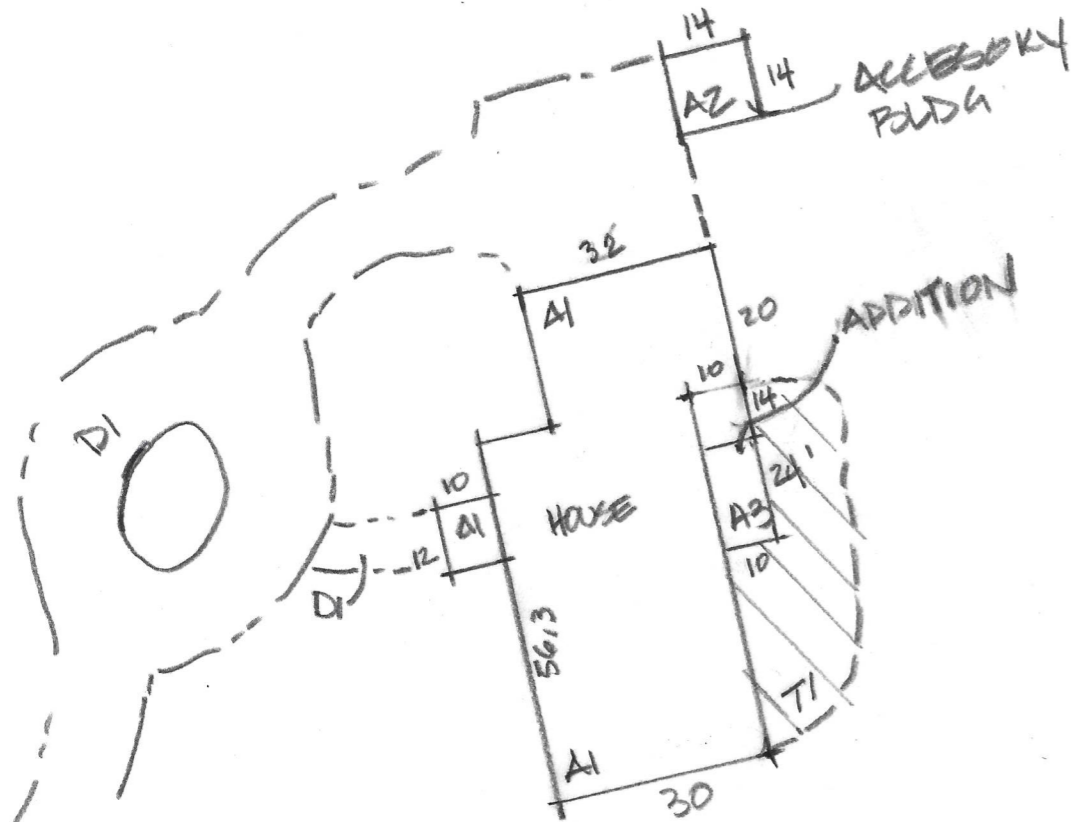
1/26/2021  
Date



114 BOUND HILL RD, ARMONK NY

GVA WORK SHEET 2/4/2021

FLOOR AREA WORK SHEET



$A1 = 640 + 1690 + 120 + 140 = 2590$      $A3 = 240$  SF  
 $A2 = 200$  SF  
 DRIVEWAY (EST.) (DI) =  $525 + 2400 = 2925$  SF  
 T1 = 410 SF

1ST FL =  $640 + 1690 + 120 + 140 = 2590$  SF  
 1ST FL ADDITION = 240 SF  
 2ND FL = 2000 SF  
 ACCESSORY = 200 SF





# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: [planning@northcastleny.com](mailto:planning@northcastleny.com).

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)

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RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

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## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 114 Round Hill Road

### Section III- DESCRIPTION OF WORK:

Add new one story sunroom over existing  
patio and garage

### Section III- CONTACT INFORMATION:

APPLICANT: Akram Atallah

ADDRESS: 114 Round Hill Rd

PHONE: 914 912 7439

MOBILE:

EMAIL:

Akram.atallah1@gmail.com

PROPERTY OWNER: Akram Atallah

ADDRESS: 114 Round Hill Rd

PHONE:

MOBILE:

914 912 7439

EMAIL:

Akram.atallah1@gmail.com

PROFESSIONAL: Susan Olivier Architect

ADDRESS: 60 Binney Lane, Old Greenwich, CT 06870

PHONE:

MOBILE: 203 856 3527

EMAIL:

s.olivier@twgroup.net

### Section IV- PROPERTY INFORMATION:

Zone: R2A

Tax ID (lot designation)

109.01-1-39



**Town of North Castle  
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan: Sunroom addition

Initial Submittal  Revised Preliminary

Street Location: 114 Round Hill Rd

Zoning District: R2A Property Acreage: 2.11 Tax Map Parcel ID: 109.01-1-39

Date: January 21, 2021

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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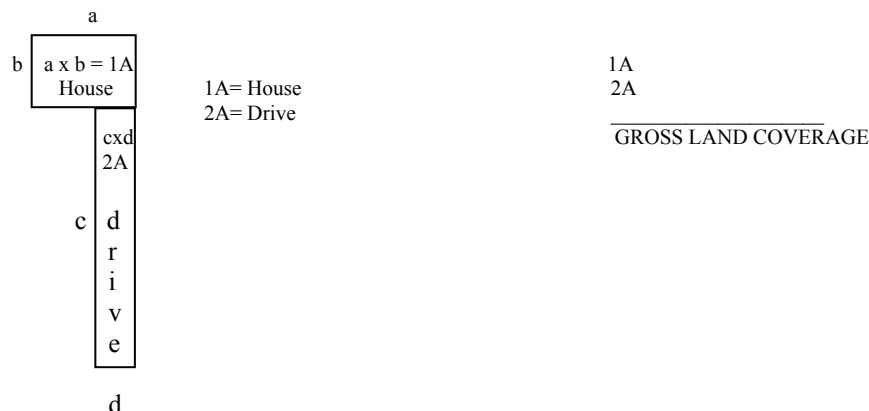
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## GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below





LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

| Lot Size                          | Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots <sup>1</sup><br>(square feet) |
|-----------------------------------|--|
| Less than 5,000 square feet       | 50% of the lot area  |
| 5,000 to 9,999 square feet        | 2,500 plus 30% of the lot area in excess of 5,000 square feet                                    |
| 10,000 to 14,999 square feet      | 4,000 plus 24% of the lot area in excess of 10,000 square feet                                   |
| 15,000 square feet to 0.499 acres | 5,200 plus 18% of the lot area in excess of 15,000 square feet                                   |
| 0.5 to 0.749 acres                | 6,420 plus 15% of the lot area in excess of 0.5 acres  |
| 0.75 to 0.999 acres               | 8,050 plus 12% of the lot area in excess of 0.75 acres   |
| 1.0 to 1.999 acres                | 9,350 plus 9% of the lot area in excess of 1.0 acres   |
| 2.0 acres or more                 | 13,270 plus 7.5% of the lot area in excess of 2.0 acres  |

\*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



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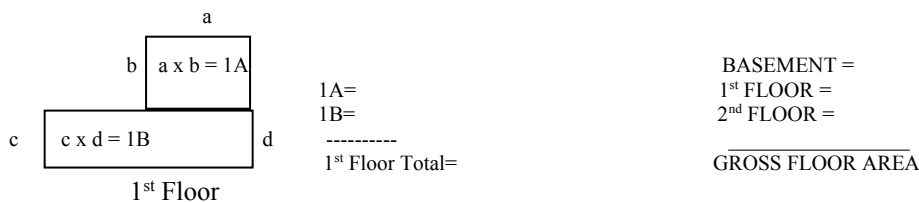
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## GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

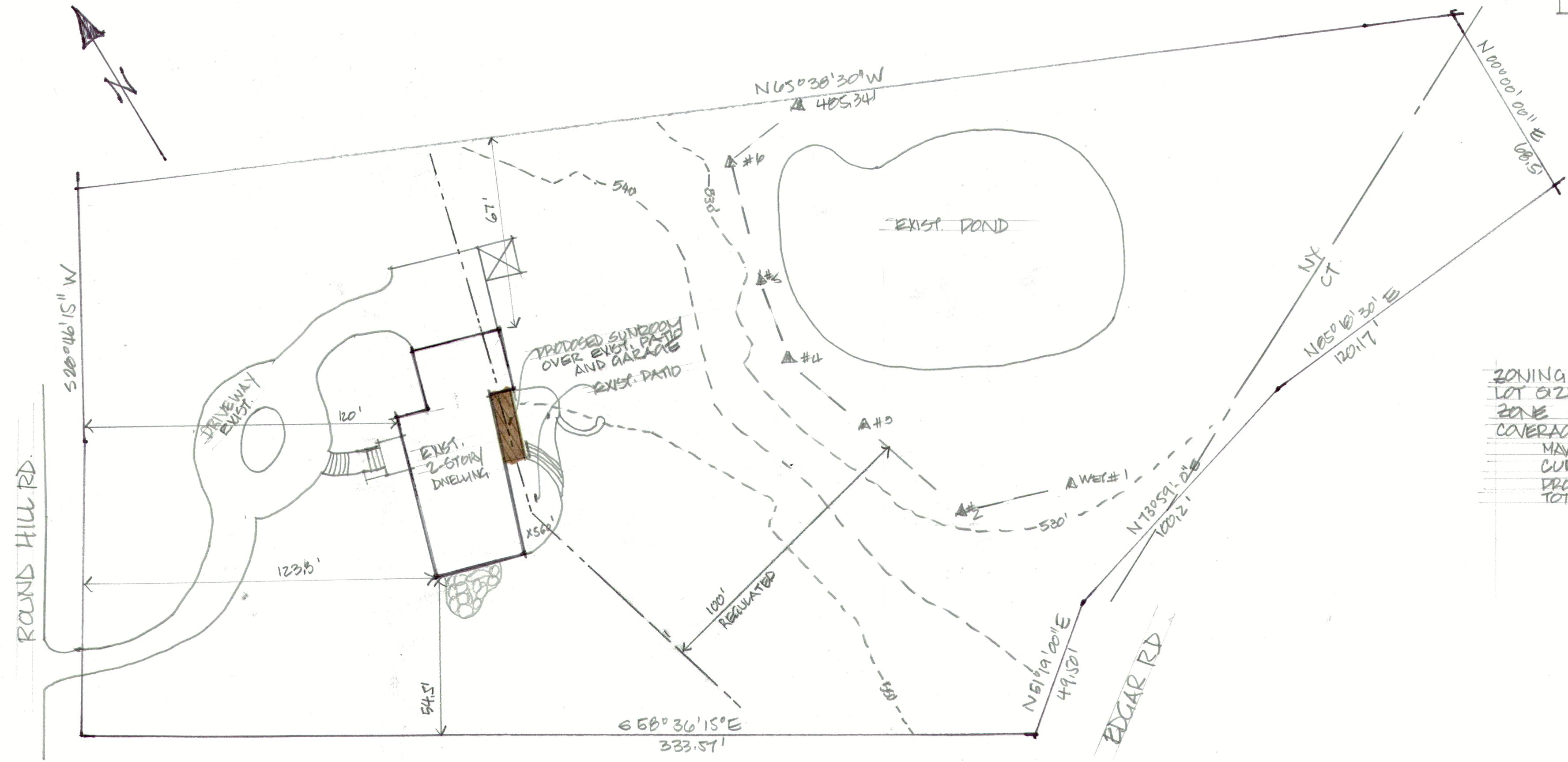
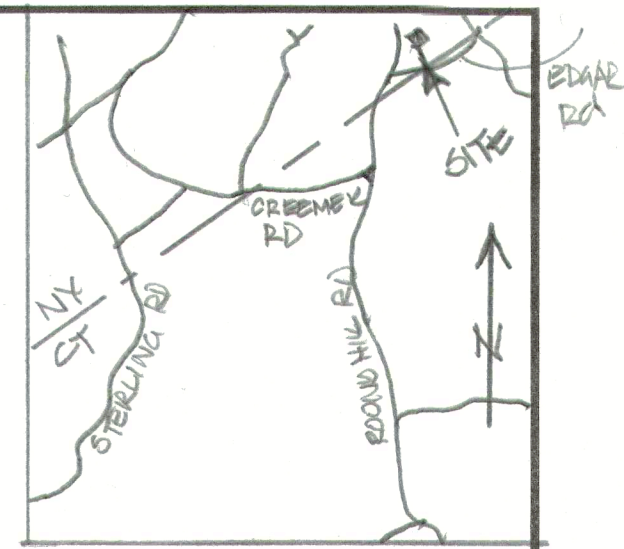
- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

| Lot Size                          | Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings <sup>1</sup> (square feet) |
|-----------------------------------|--|
| Less than 5,000 square feet       | 1,875 or 50% of the lot area, whichever is greater   |
| 5,000 to 9,999 square feet        | 2,500 plus 25% of the lot area in excess of 5,000 square feet  |
| 10,000 to 14,999 square feet      | 3,750 plus 20% of the lot area in excess of 10,000 square feet   |
| 15,000 square feet to 0.499 acres | 4,750 plus 15% of the lot area in excess of 15,000 square feet   |
| 0.5 to 0.749 acres                | 5,768 plus 10% of the lot area in excess of 0.5 acres  |
| 0.75 to 0.999 acres               | 6,856 plus 8% of the lot area in excess of 0.75 acres  |
| 1.0 to 1.499 acres                | 7,727 plus 6% of the lot area in excess of 1.0 acres   |
| 1.5 to 1.999 acres                | 9,034 plus 5% of the lot area in excess of 1.5 acres   |
| 2.0 to 3.999 acres                | 10,122 plus 4% of the lot area in excess of 2.0 acres  |
| 4.0 acres or more                 | 13,607 plus 3% of the lot area in excess of 4.0 acres  |

2.11 acres=10112+ 191 sf

\*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.





ZONING NORTH CASTLE  
 LOT SIZE 92,112 SF  
 ZONE R2A (2AC ZONE)  
 COVERAGE  
 MAX. ALLOW. 7304 SF / 8%  
 CURRENT \* 3668 / 3.9%  
 PROPOSED + 246 SF  
 TOTAL 3900 SF / 4.2%

\* 2003 FILING

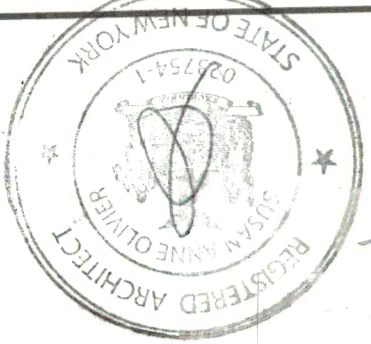
20 0 20  
 LOT AREA = 92,112 SQ. FT.  
 ZONE R2A  
 ALL DATA/MAP FROM KIRBY ENGINEERING  
 JAN. 15, 2003 1"=30'



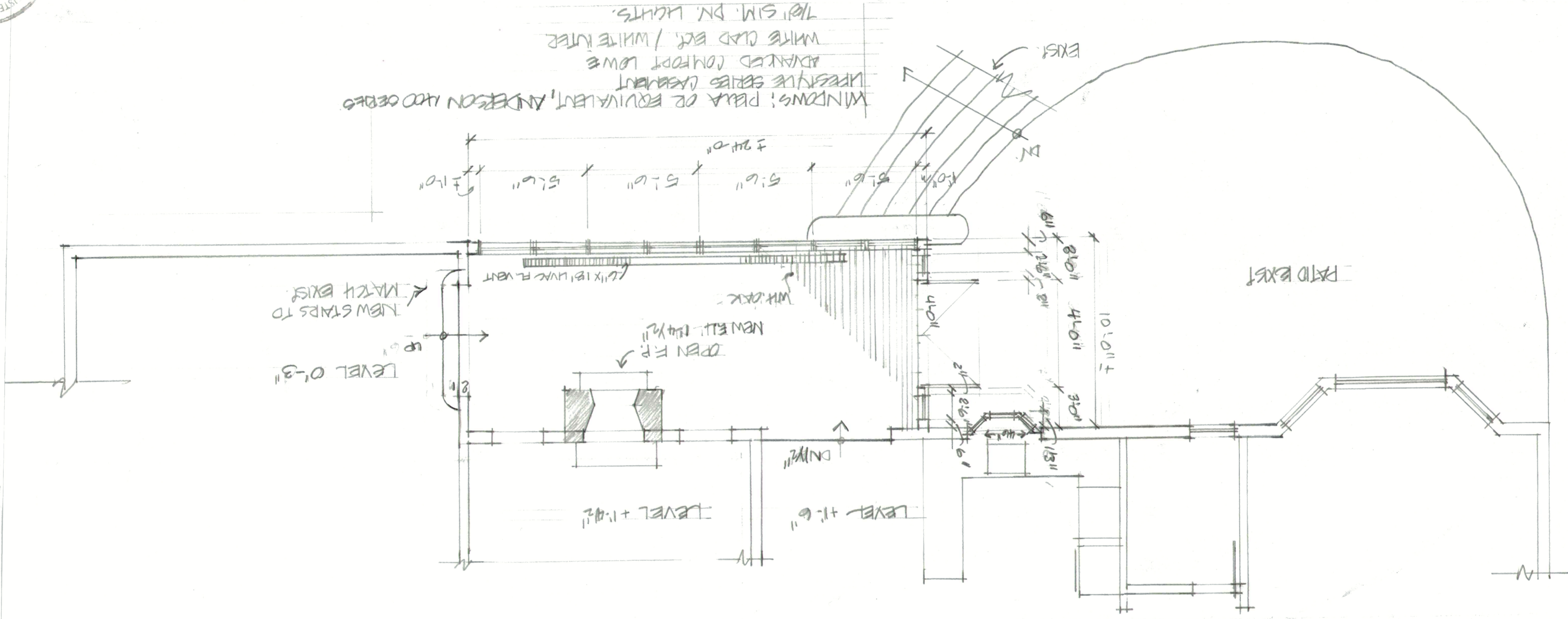
|   |              |                      |
|---|--------------|----------------------|
| ATALLAH - 114 ROUND HILL RD, ARMONK, NY       |              |                      |
| SCALE: AS SHOWN                               | APPROVED BY: | DRAWN BY: LJO        |
| DATE: 1/15/2021                               |              | REVISED: 1/29/21     |
| SUNROOM ADDITION - SITE PLAN<br>LOCATION PLAN |              |                      |
| SUSAN OLVIER ARCHITECT                        |              | DRAWING NUMBER: SP-1 |



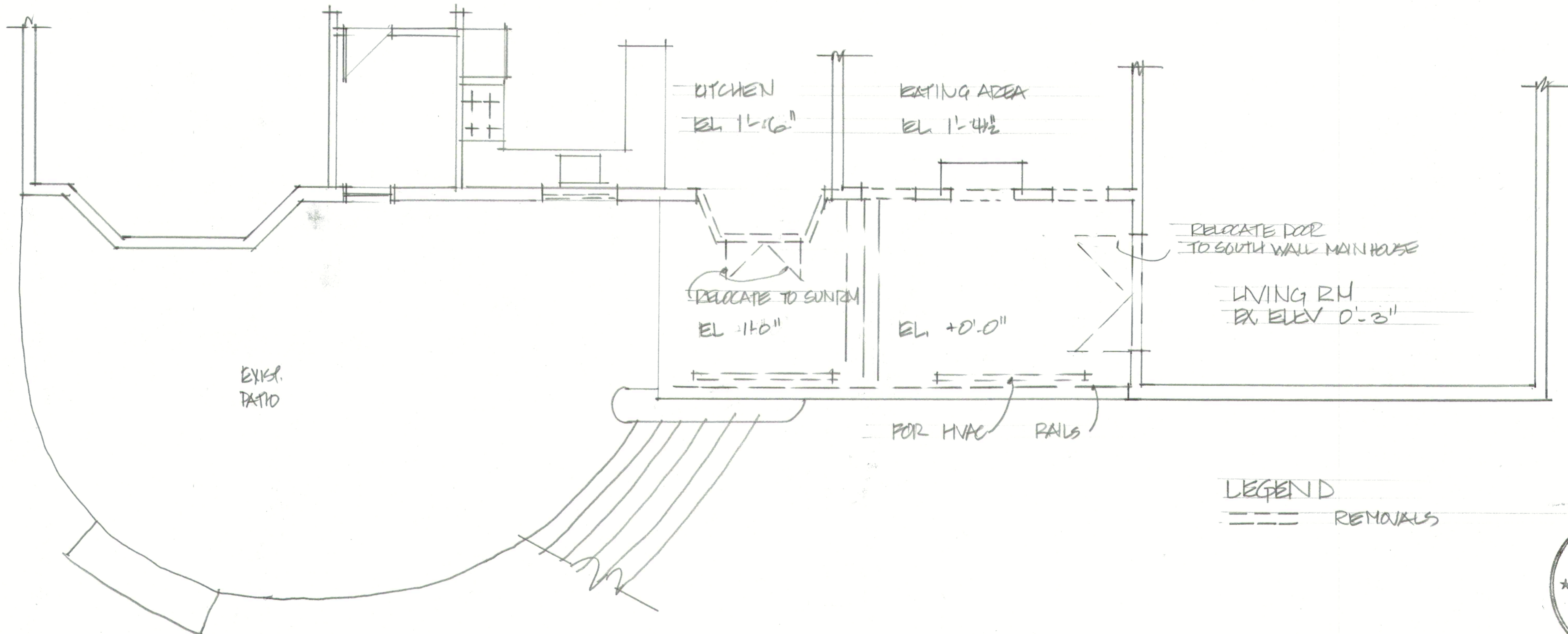
|                            |              |                                 |              |
|----------------------------|--------------|---------------------------------|--------------|
| DRAWING NUMBER<br>A1 OF 5  |              | SUSAN OLIVER ARCHITECT          |              |
| SANITARY CONSTRUCTION PLAN |              |                                 |              |
| DATE: 11/11/2022           | APPROVED BY: | SCALE: 1/4" = 1'-0"             | DRAWN BY: SO |
| REVISED 11/21/22           |              | AVULAN-11400ND HILRD, RPNOR, NY |              |



WINDOWS: PARR OR EQUIVALENT, ANDERSON AND OBERG  
 IMPRESSIVE SERIES CASHEM  
 ADVANCED COMFORT LOWE  
 WHITE CLAD EXT. / WHITE INTER.  
 7/8" SIM. DN. LIGHTS.

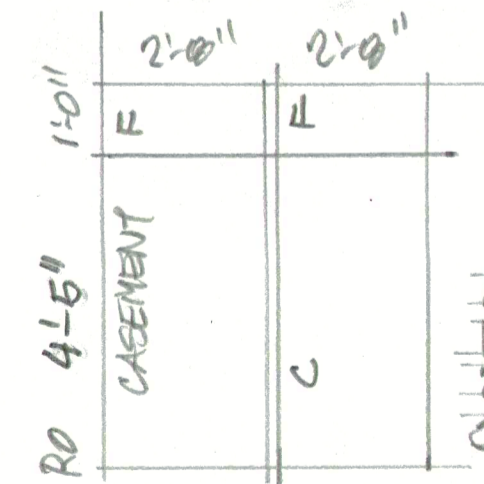
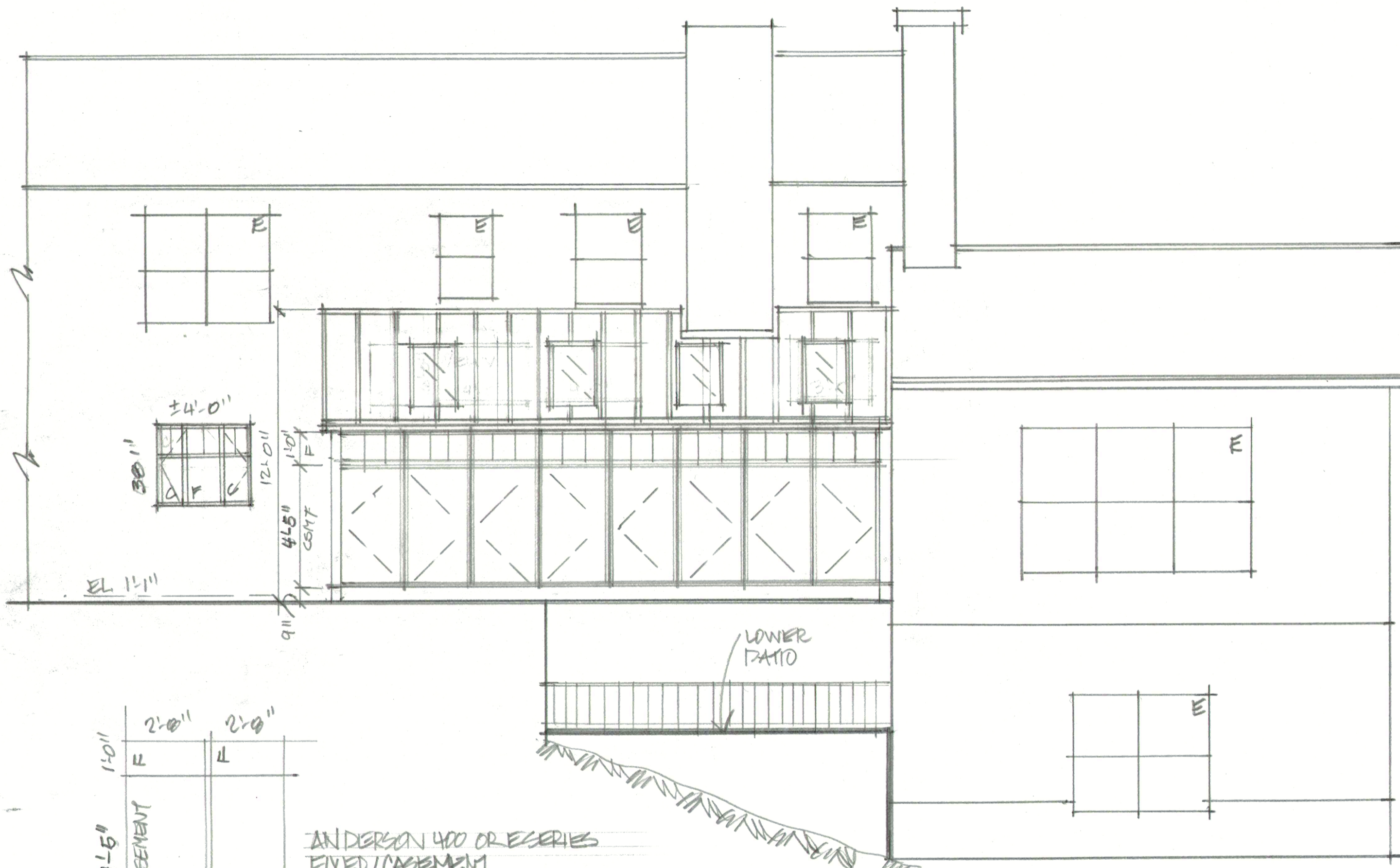




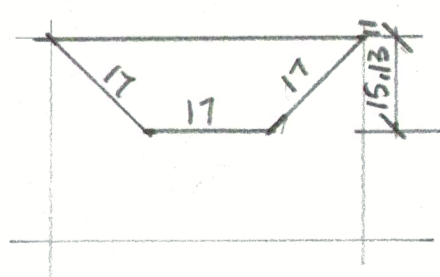


|                                     |              |                           |
|-------------------------------------|--------------|---------------------------|
| ATALLAH- 114 ROUND HILLS, ARMONK NY |              |                           |
| SCALE: 1/4" = 1'-0"                 | APPROVED BY: | DRAWN BY: SO              |
| DATE: 1/11/2021                     |              | REVISED: 1/15/21          |
| DEMOLITION PLAN                     |              |                           |
| EUSAN OLIVIER ARCHITECT             |              | DRAWING NUMBER<br>A2 of 5 |

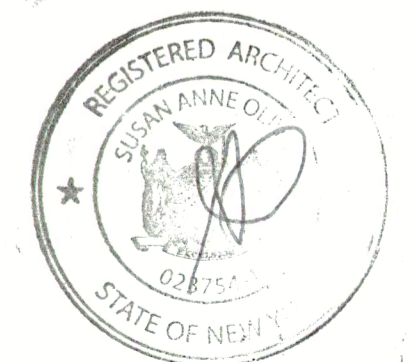




TYPICAL CASEMENT COMBINATION

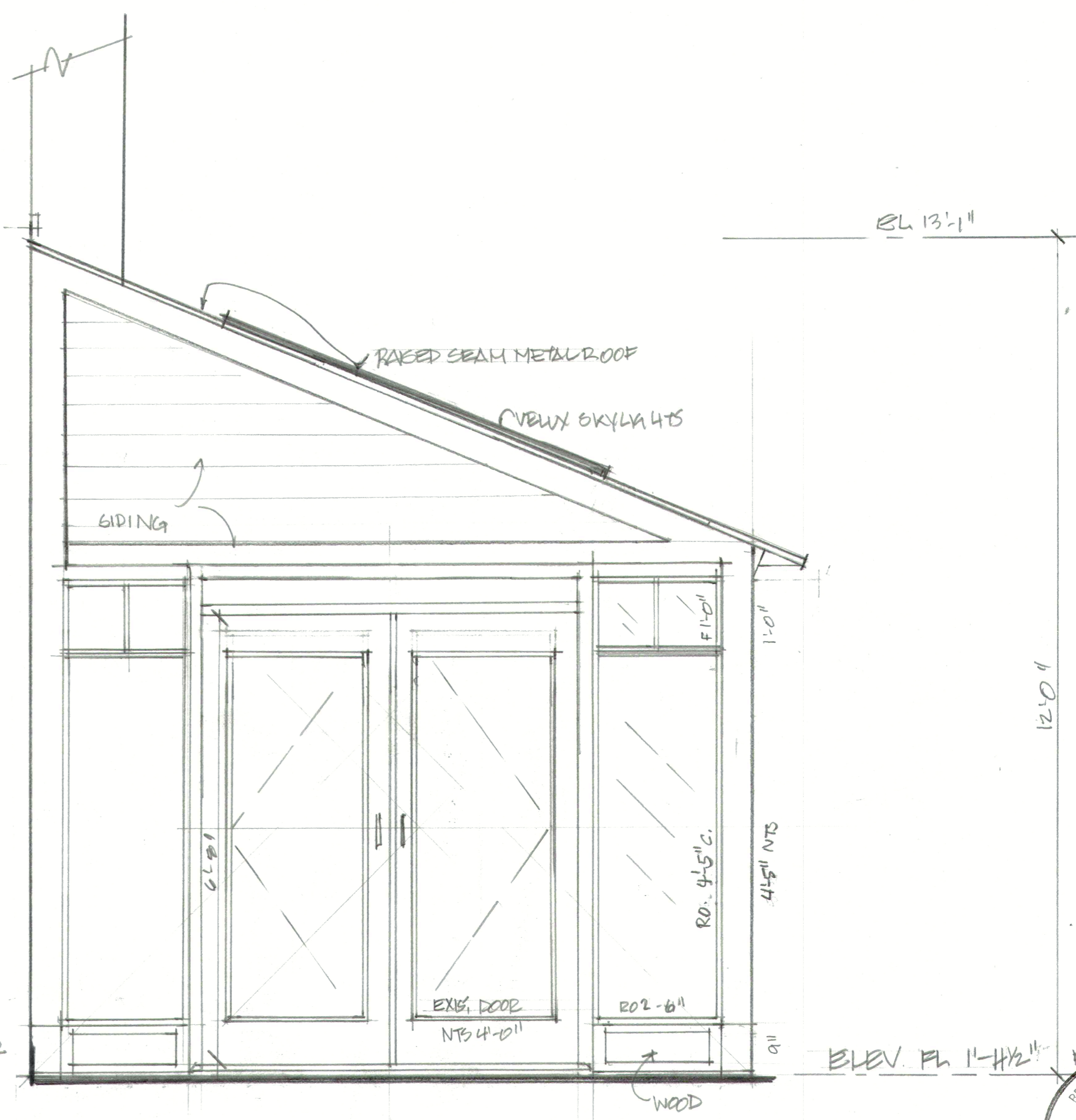
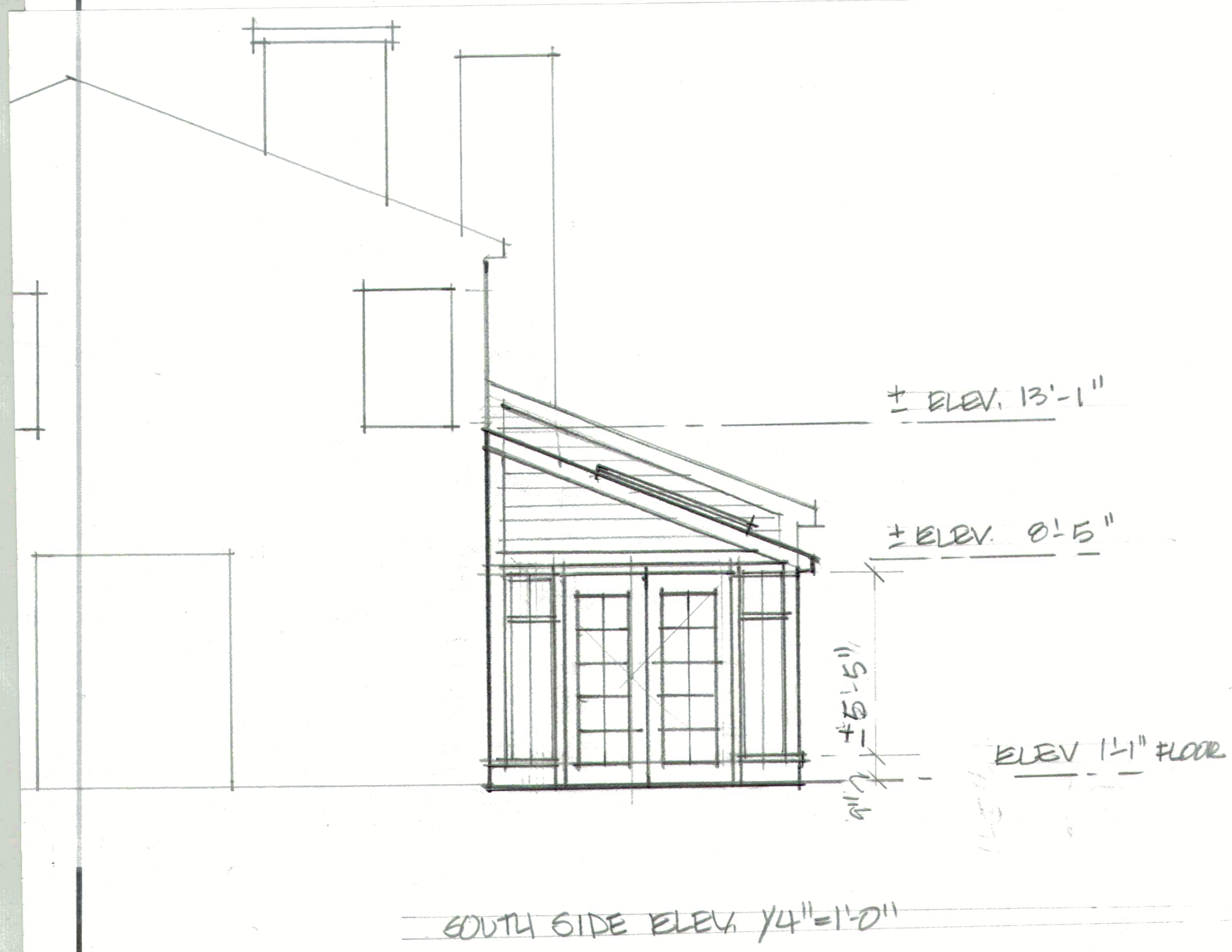


ANDERSON 400 OR ECERIES  
FIXED/CASEMENT  
2-PANED LOW-E TEMPERED  
CIM, DIV. LIGHTS. WH/W4 LOW-E

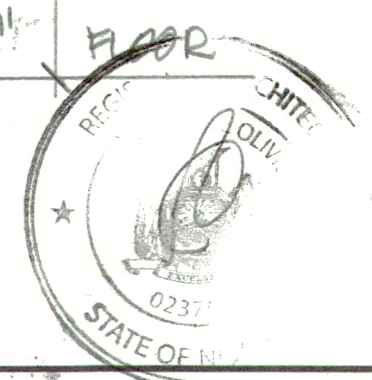


|                                    |              |                   |                         |
|------------------------------------|--------------|-------------------|-------------------------|
| ATALLAH-114 ROUND HILLS, ARMONK NY |              |                   |                         |
| SCALE: 1/4" = 1'-0"                | APPROVED BY: | DRAWN BY: SO      |                         |
| DATE: 11/11/2021                   |              | REVISED: 11/21/21 |                         |
| SUN ROOM ELEVATION - REAR HOUSE    |              |                   |                         |
| SUSAN OLIVIER ARCHITECT            |              |                   | DRAWING NUMBER: A3 OF 5 |



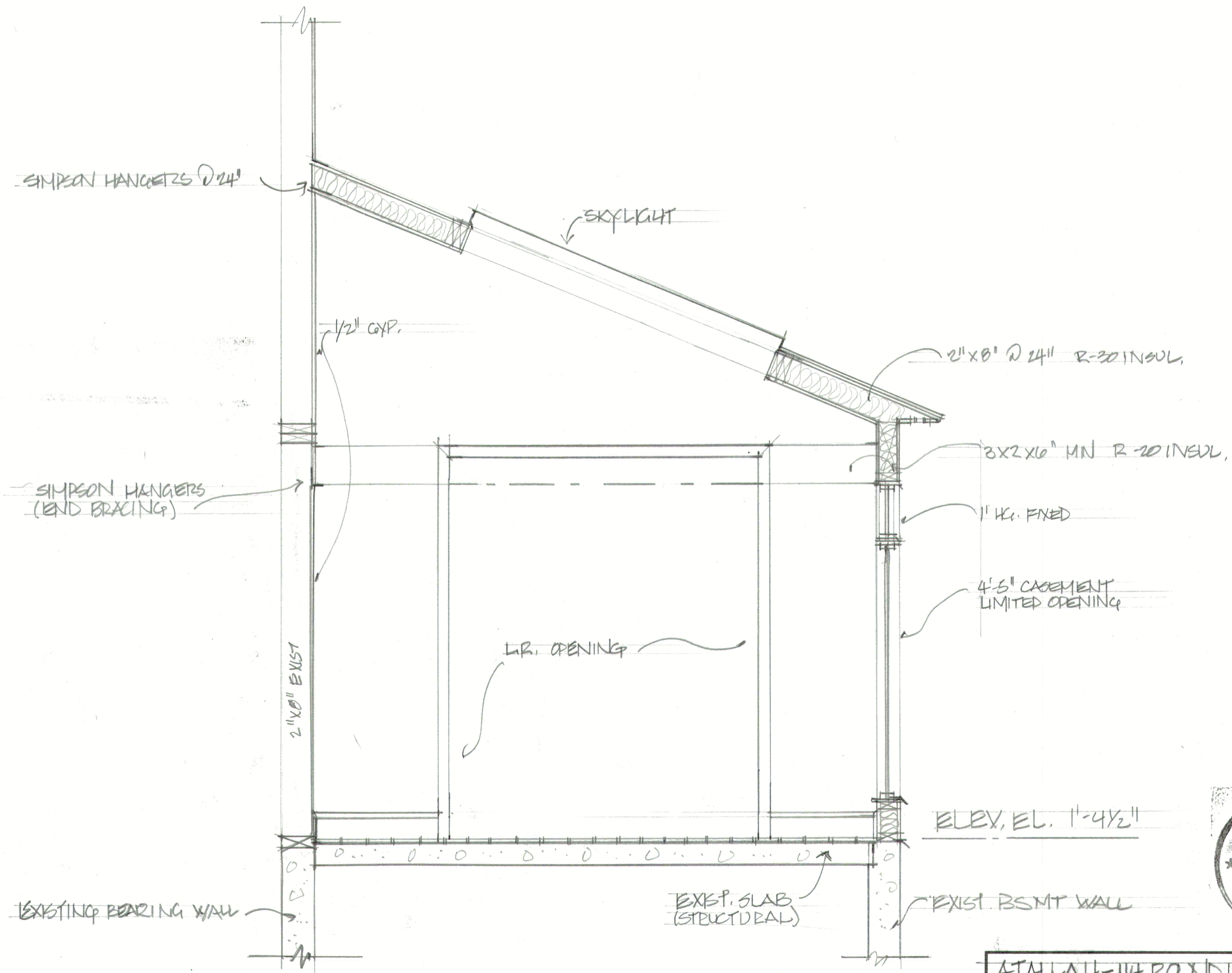


SOUTH SIDE DETAIL ELEVATION 3/4" = 1'-0"



|                                      |                         |
|--------------------------------------|-------------------------|
| ATALLAH-114 ROUND HILLED, ARMONK, NY |                         |
| SCALE: 3/4" = 1'-0"                  | APPROVED BY:            |
| DATE: 11/13/2024                     | DRAWN BY: SO            |
| REVIS: 11/13/21                      |                         |
| SUNROOM SIDE ELEV. DETAIL            |                         |
| GUSAN OLIVIER ARCHITECT              | DRAWING NUMBER: A4 OF 5 |





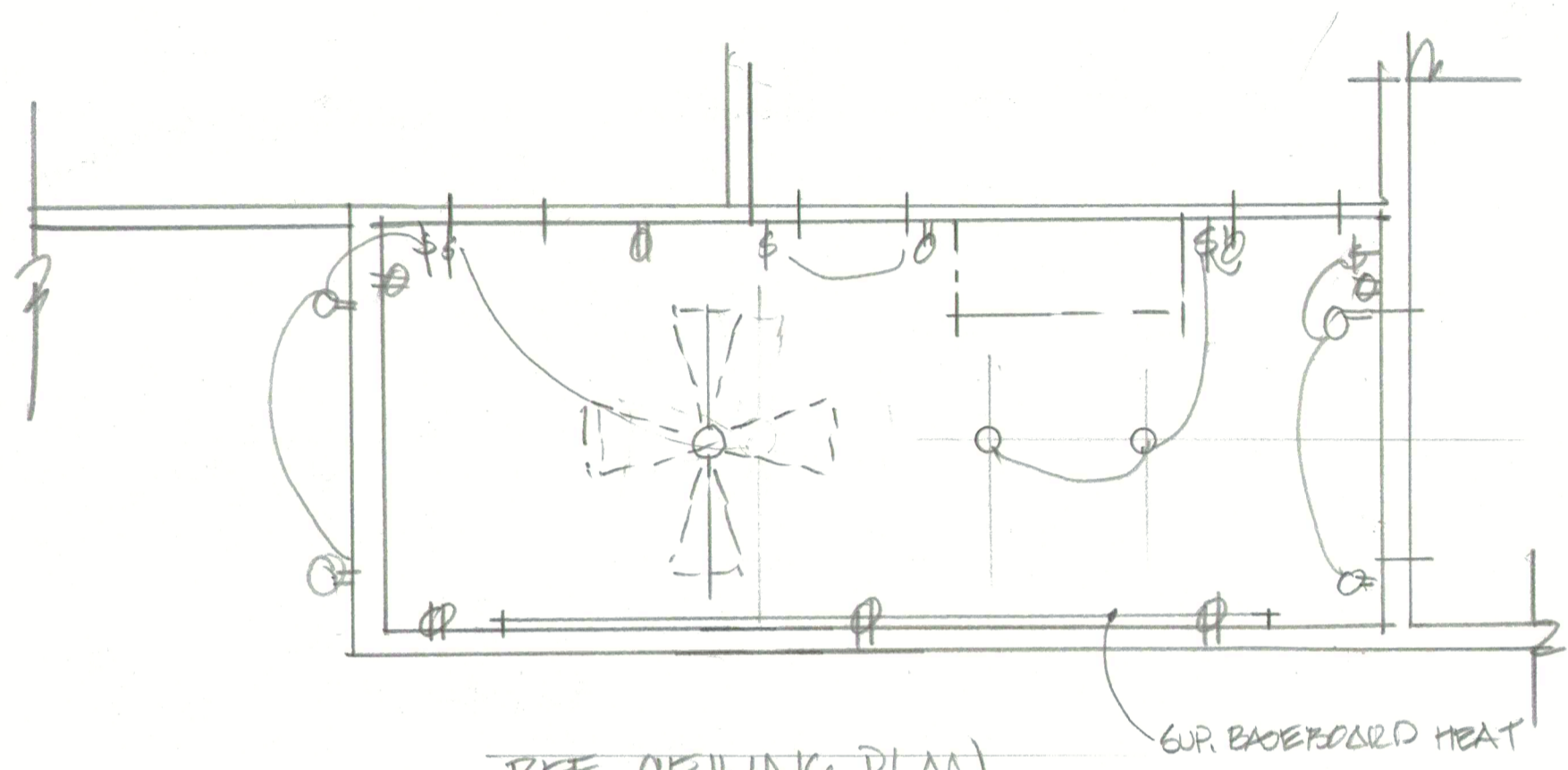
|                                     |                |              |
|-------------------------------------|----------------|--------------|
| ATAWALL-114 ROUND HILLS RD, NY      |                |              |
| SCALE: 3/4" = 1'-0"                 | APPROVED BY:   | DRAWN BY: GO |
| DATE: 11/01/2021                    |                | REVISED:     |
| DETAIL SECTION INC. ENERGY SOLUTION |                |              |
| SUSAN ANIER ARCHITECT               | DRAWING NUMBER | S-2          |



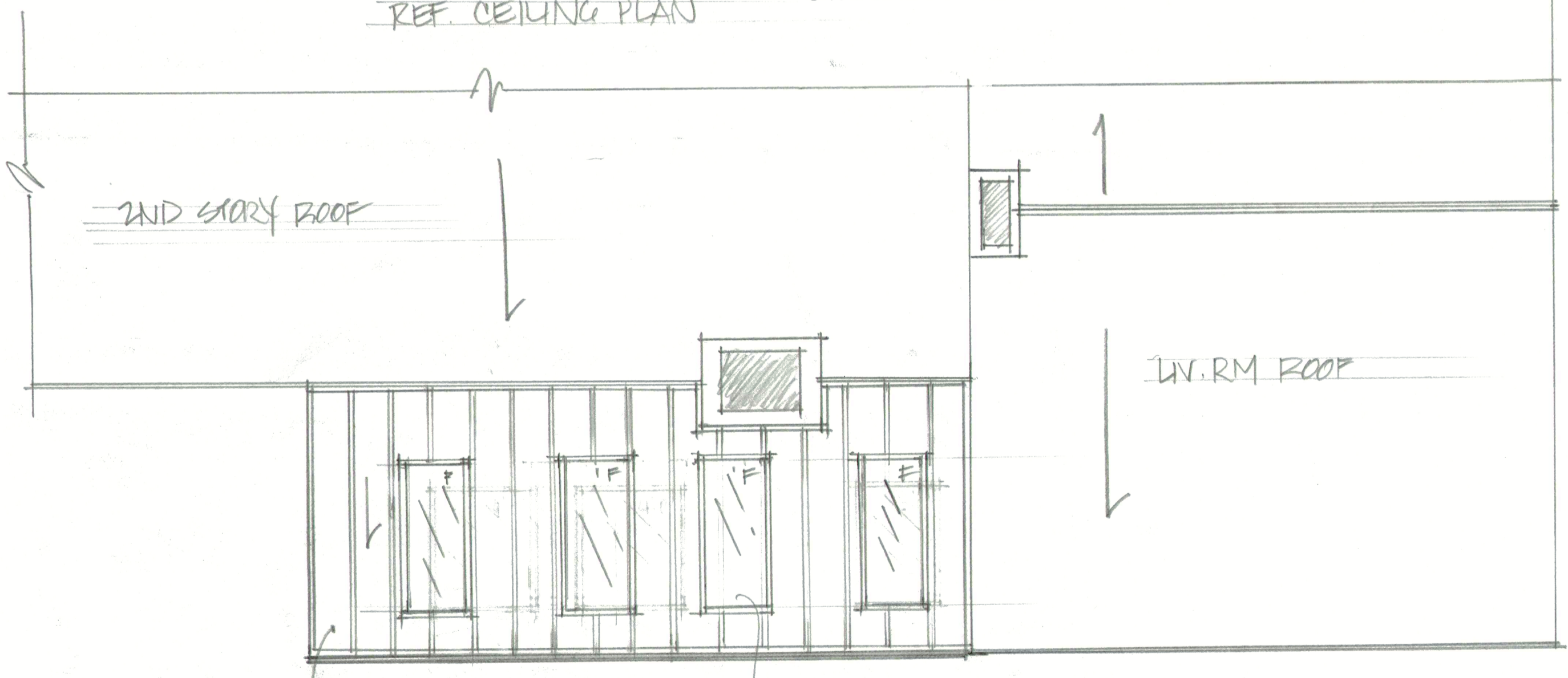
Window Schedule Atallah Sunroom revised 1/21/2021

| Location                       | Quantity | Window # | COMBINATION                   | Type (double hung, fixed, casement, combination) | Ss (sash opening W x H)                      | Screens   | Pattern                    | Type                | Grilles | Interior finish | Hardware | Exterior Finish  | U value min | Low E | Other notes  |
|--------------------------------|----------|----------|-------------------------------|--|--|-----------|----------------------------|---------------------|---------|-----------------|----------|------------------|-------------|-------|--|
| Sunroom large facing wall-east | 4        | W1       | 2 FIXED 2 MOVABLE COMBINATION | fixed over casement combination                  | 2x 1 x 2 ft 8" over 2x 4 ft 5" x 2 ft 8"     | removable | 3/1 (fixed over movable)   | ANDERSON 400 SERIES | SDL     | white primed    | WHITE    | VINYL CLAD WHITE | 0.34        |       | LOW E HEAT LOCK TEMPERED MOVABLE UNITS   |
| Side-wall sunroom              | 2        | W2       | FIXED OVER MOVABLE            | FIXED OVER CASEMENT COMBINATION                  | 1X 1 FT X 2 FT 6" OVER 4FT 5" X 2 FT 6" wide | removable | 3/1 (fixed over movable)   | ANDERSON 400 SERIES | SDL     | white primed    | WHITE    | VINYL CLAD WHITE | 0.34        |       | LOW E HEAT LOCK TEMPERED MOVABLE UNITS custom 45 bay window, projection 15.1 inches--each side 17 inches |
| Kitchen replacement window     | 1        | W3       | 45 deg bay casement           | casement   | 46" w x 38" high FO                          | removable | 3/1 double hung appearance | ANDERSON 400 SERIES | SDL     | white primed    | WHITE    | VINYL CLAD WHITE | 0.34        |       | LOW E HEAT LOCK fixed curb mounted   |
| sunroom roof                   | 4        | S1       | fixed skylights               | fixed 2270                                       | 24 x 74                                      | nap       | none                       | Velux               | none    | white primed    | white    | VINYL CLAD WHITE |             |       | EXISTING TO BE RELOCATED EXISTING RELOCATED  |
| Existing French door           | 1        | W4       | FRENCH DOOR PAIR              | FRENCH DOORS                                     | 80 INCH HIGH X 5 FT 6 INCH WIDE APPROX.      | NAP       | NO PATTERN                 | EXISTING ANDERSON   | NAP     | existing white  | brass    | existing         | ??          |       | EXISTING TO BE RELOCATED EXISTING RELOCATED  |
| smaller French door at kitchen | 1        | W5       | FRENCH DOOR PAIR              | FRENCH DOORS                                     | 80 inch high and 4 ft 0 inch wide            | NAP       | NO PATTERN                 | EXISTING ANDERSON   | NAP     | existing white  | brass    | VINYL CLAD WHITE | ??          |       | existing TO BE RELOCATED Relocated to suit for sunroom on south side                                     |

Note: all measurements to be verified on site before order by supplier; owner to purchase windows and window to be installed by GC



REF. CEILING PLAN



RAISED SEAM METAL ROOF VELUX 22"x74" FIXED

ROOF PLAN



ATALLAH-114 ROUND HILL RD, ARMONK, NY

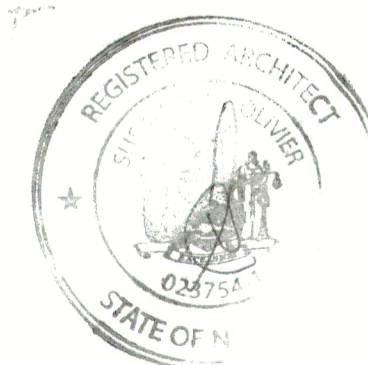
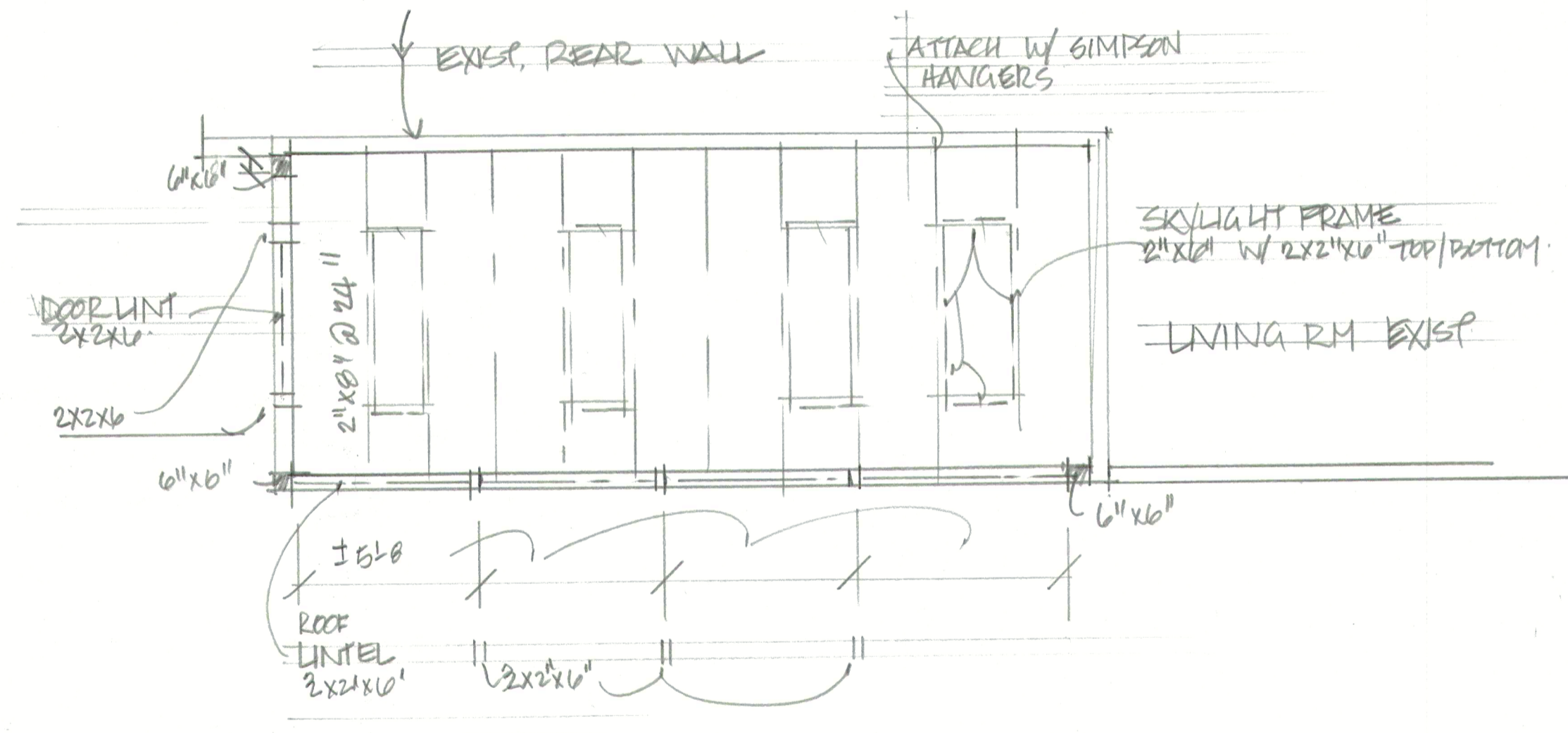
SCALE: 1/4" = 1'-0" APPROVED BY: \_\_\_\_\_ DRAWN BY: SJ

DATE: 1/11/2021 REVISED: 1/25/21

ROOF PLAN & REF. CEILING PLAN

SUSAN OLIVER ARCHITECT DRAWING NUMBER: A5045





|  |              |                    |
|--|--------------|--------------------|
| ATALLAH - 114 ROUND HILL RD, ARMONK NY |              |                    |
| SCALE: 1/4" = 1'-0"                    | APPROVED BY: | DRAWN BY: SO       |
| DATE: 1/13/2021                        |              | REVISED:           |
| STRUCTURAL PLAN                        |              |                    |
| SUSAN OLIVER ARCHITECT                 |              | DRAWING NUMBER: S1 |