

Town of North Castle Residential Project Review Committee

17 Bedford Road Armonk, New York 10504 (914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Peter and Jin Philips
■Initial Submittal □Revised Preliminary
Street Location: 4 Valley Lane; Armonk, NY
Zoning District: 1.5 A Property Acreage: 1.193 Tax Map Parcel ID: 102.03-1- 67
Date: Philips Residence
DEPARTMENTAL USE ONLY
Date Filed: Staff Name:
Preliminary Plan Completeness Review Checklist Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.
1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
A locator map at a convenient scale
The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
3. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

	Description of method of water supply and sewage disposal and location of such facilities
	The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
	Submission of a Zoning Conformance Table depicting the plan's compliance with the ninimum requirements of the Zoning District
g	f a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of listurbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
	f a wetlands permit is being sought, identification of the wetland and the 100-foot wetland ouffer.
Plannin	information about the items required herein can be obtained from the North Castle g Department. A copy of the Town Code can be obtained from Town Clerk or on the castle homepage: http://www.northcastleny.com/townhall.html
	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.
	Augment of His area society as a pressure features.



TOWN OF NORTH CASTLE WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

January 29, 2019 Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

FLOOR AREA	CALCULATIONS WORKS	HEET
Application Name or Identifying Title:	Philips Residence	Date: 2 8 21
Tax Map Designation or Proposed Lot No.:	102.03-1-67	in the their services.
Floor Area		
Total Lot Area (Net Lot Area for I	ots Created After 12/13/06):	51,96671 SF 8,231.4 SF
2. Maximum permitted floor area (per	er Section 355-26.B(4)):	8,231.485
3. Amount of floor area contained wi 1,777.38 existing + 453.21	thin first floor:proposed =	2,230.59 SF
4. Amount of floor area contained wi	thin second floor:	2,080,55 55
5. Amount of floor area contained wi		709.445F
6. Amount of floor area contained wi	thin porches capable of being enclosed: _ proposed =	6
	thin basement (if applicable – see definition proposed =	oten ya be tel o
	thin attic (if applicable – see definition): _ proposed =	O mous value.
9. Amount of floor area contained wit	thin all accessory buildings: proposed =	Loss and middle
10. Pro posed floor area: Total of Line	$s 3 - 9 = \frac{3688}{3}$ salamon pere rooff to	5,020-59 SF-
If Line 10 is less than or equal to Line 2, yeard the project may proceed to the Residential your proposal does not comply with the Toy	our proposal complies with the Town's man Project Review Committee for review. If I wn's regulations.	ximum floor area regulations
Signature and Seal of Professional Preparin	*	



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

BUILDING DEPARTMENT Robert Melillo Building/ Fire inspector

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

	GROSS LAND COVERAGE CALCULATIONS WOR	
	tion Name or Identifying Title: Philips Residence Da	te: 2 8 2021
Tax Ma	p Designation or Proposed Lot No.: 102.03-1-67	
	ot Coverage	<i>E</i> 1 0 1 5-
1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	51,966,71 SF
2.	Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):	10,289,6 SF
3.	BONUS maximum gross land cover (per Section 355-26.C(1)(b)):	
	Distance principal home is beyond minimum front yard setback 82.5 x 10 =	825,5 SF
4.	TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3	11,112.10 SF
5. 25	Amount of lot area covered by principal building : 555 . 86 existing + 476 proposed =	3,031.86SF
6.	Amount of lot area covered by accessory buildings:	6
	existing + proposed =	
7.	Amount of lot area covered by decks: UO existing + D proposed =	138.17 SF
8.	Amount of lot area covered by porches: 32 existing + 40 proposed =	72 SF
9.	Amount of lot area covered by driveway, parking areas and walkways: 6,19,62 existing $+124.83$ proposed =	3,303.45 SF
10.	Amount of lot area covered by terraces: 841,96 existing + 611 proposed =	1,452.965F
11.	Amount of lot area covered by tennis court, pool and mechanical equip:	35,67 SF
12.	Amount of lot area covered by all other structures: STALRS o existing + 32.5 proposed =	32.5 SF
13.	Proposed gross land coverage: Total of Lines 5 – 12 =	8,066,61 SF
the prodoes no	13 is less than or equal to Line 4, your proposal complies with the Town's maximum graphet may proceed to the Reduction Project Review Committee for review. If Line 13 is not comply with the Conference of Professional Propagation Worksheet Date	oss land coverage regulations and greater than Line 4 your proposal



Town of North Castle Building Department

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

www.northcastleny.com

Residential Building Permit Application

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION
Section I- PROJECT ADDRESS: 4 Valley Lane, Armonk, NY 10504 DATE: 2/8/2021
Section II- CONTACT INFORMATION: (Please print clearly, All information must be current.)
Wethloon Prinier Architectsille
160 - in Oak Lanes Wilton, CT 06891
PHONE: 203-210-5199 MOBILE: 203-807-0587 EMAIL: Kpoirier & Kparchitects - Com
PHONE: 203-210-31-11 MOBILE: 203 BC 1 S. MANIE.
PROPERTY OWNER: Jin & Peter Philips
ADDRESS: 4 Valley Lane & Armonk, HY 10504
PHONE: MOBILE: 347-453-4278 EMAIL: Jihh-philips@gmail.com
Section III- DESCRIPTION OF WORK: (Any work conducted outside of the house requires approval from the RPRC unless
ADDITION OF HEW MUDROOM GYM OFF REAR OF ENETHER GARAGE, ADDITION. REMOVATION TO EXISTANCE MARKER HEW OFFICE ON 240 FLOOR OF MEW ADDITION. REMOVATION TO EXISTANCE MARKER BATH & CLOSETS. REMOVATE ENTRY HALL & 1 ST FLOOR POWDER ROOM. REMOVE PORTION OF PATTO AT NEW ADDITION, ADD NEW PATTO WITH FIREPIT REMOVE PORTION OF BACKYARD & ADD LANDSCAPE WOLL & STEPS. SECTION IV- USE AND OCCUPANCY:
EXISTING/ CURRENT USE: SINGLE FAMILY RESIDENCE
EXISTING/ COMMENT OF THE PROPERTY OF THE PROPE
PROPOSED RESIDENTIAL: Townhouse Detached Accessory Structure
One Family Dwelling Two Family Dwelling Townhouse Detached Accessory Structure
Section V- PERMIT FEES: (\$100 app fee plus \$14 per \$1000, cost of construction and a \$75 CO fee.)
ESTIMATED COST OF CONSTRUCTION (Based on fair market value labor & material) \$ 300,000.00
AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is \$20,000 or more.

Town of North Castle Building Department

Section V- (Continued)		
(circle one) licensed by the State of New York; (ii) I have cation and am fully familiar with the proposed construction including all labor, all materials at profess \$ 300,000,000, and (iv) pursuant to penal law a Class A misdemeanor. Signature:	on; (iii) based on my experienc onal fees and all associated cos	and specifications for this appli- e, I estimate the total cost of ts to be approximately
	nt clearly. All information must be	current)
ARCHITECT/ ENG: Kathleen Poinier	42014-200 - EVILLEY	A PARISON LET INCHE
ADDRESS: 46 TWIH OAL LANE ; L	ilton CT 0689	7
PHONE: 203-210-5199 MOBILE: 2		CAR COVER DE 1806
EMAIL: Kpoirier@ Kparchitects	. com	ST. So. L. MIRWE TRANSPORT
CONTRACTOR: Bransfield Build	ers	The party of the second
ADDRESS: 2 High Fields Prive; Da	nbury of 068	3
PHONE: 203-797-9174 MOBILE: 203-948-6		ansfieldbuilders.com
PLUMBER:	Selection of the Soul	
ADDRESS:	NATIONAL PROPERTY.	
PHONE:MOBILE:	EMAIL:	S. Aspending
ELECTRICIAN:	SYDNAMI	SHOLDDELY - USE AND DCC
ADDRESS:	Cart - 4 (Class - Last)	ALCO PRODUCTION OF THE PARTY OF
PHONE: MOBILE:	EMAIL:	MALTERIARDE DESCRIPTO
windowspace - Detacted - Covers Constitution	rwa raintiy bwelling	The same of the second
Section VII- APPLICANT CERTIFICATION		
I hereby certify that I have read the instructions & exam All provisions of laws & ordinances covering this type of granting of a permit does not presume to give authority to regulating construction or land use of the performance of Signature:	work will be complied with when violate or cancel the provision	ther specified herein or not. The

Philips Residence

4 Valley lane; Armonk, NY Single Family addition/renovation to existing residence

LIST OF DRAWINGS

T-100 TITLE SHEET

SURVEY WITH PROPOSED WORK ADDED & FAR ARCHITECTURAL

D-100 DEMOLITION PLAN

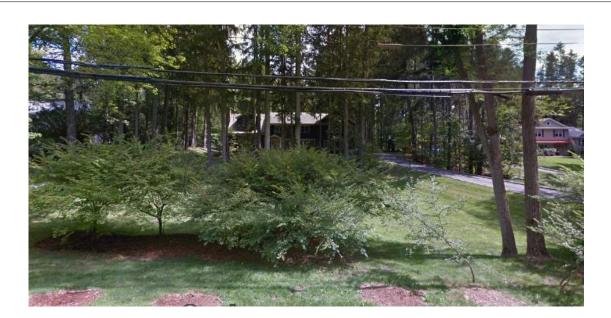
A-100 1ST & 2ND FLOOR PLANS
A-101 ROOF PLAN & ELEVATIONS
A-102 ELEVATION AND SCHEDULES
A-103 SECTION THROUGH ADDITION

STRUCTURAL

F-100 FRAMING NOTES & FOUNDATION PLAN F-101 BRACED WALL CALCS AND NOTES F-102 2ND FLOOR FRAMING & ROOF FRAMING PLANS

ELECTRICAL

E-101 1ST & 2ND FLOOR ELECTRICAL PLAN



EXISTING FRONT ELEVATION FROM ROADWAY

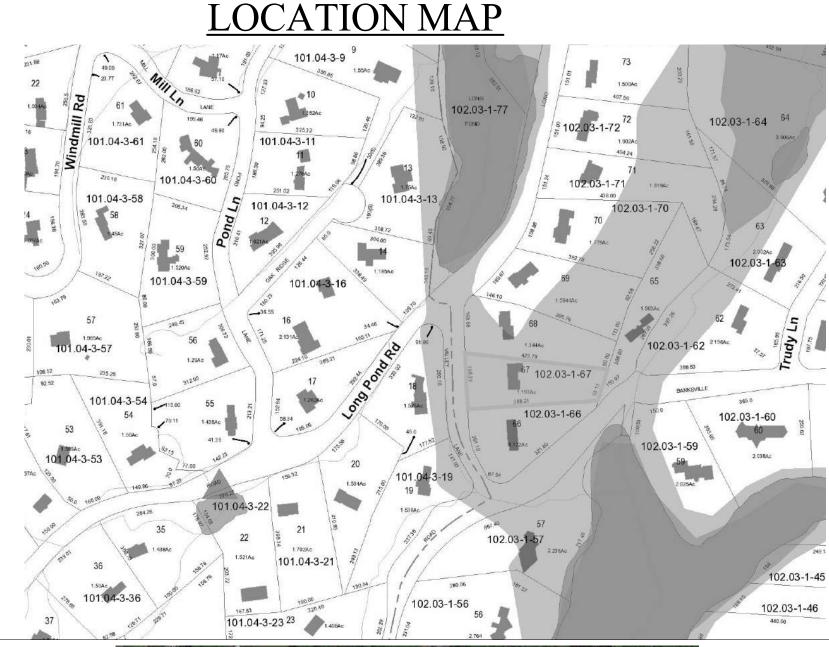


CLOSE VIEW OF EXISTING FRONT ELEVATION

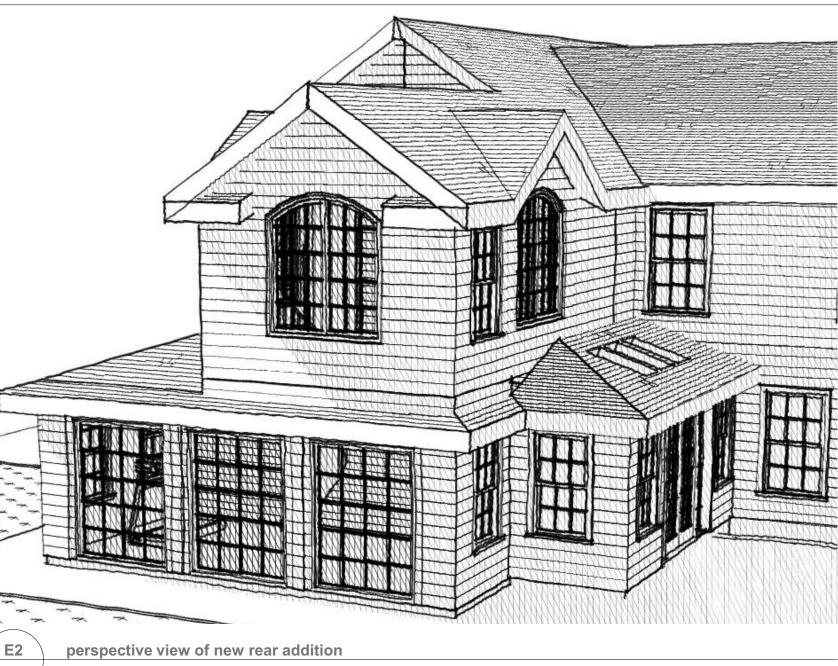


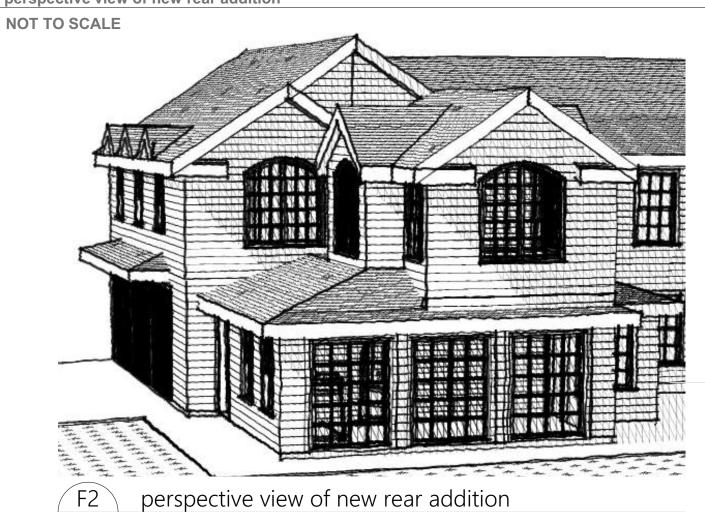
EXISTING REAR ELEVATION

PROPOSED ADDITION LOCATION









NOT TO SCALE

F4 ARCHTECTURAL SITE
T-100 SCALE: 1" = 20'

ROOF RUNOFF:

PEAK RAINFALL INTENSITY

PEAK RUNOFF VOLUME:

597 GALLONS

PEAK RUNOFF RATE: 10 GALLONS PER MINUT ,02 CF/SECOND

DATA SOURCE: noga PRECIPIATION FREQUENCY

ROOF RUNOFF CALCULATION:

I.O ABSORBTION X 2"/12 RAINFALL X 476 SF (ADDITION)

USE CULTEC RECHARGER MODEL 330XLHD 30.5" H X 52" WX 7'

CULTEC STORMFILTER 330 THREE VIEW

ROPOSED CONTOUR

EXISTING CONTOUR

30.07

INSTALLED PRIOR TO

NEW GENERATOR LOCATION

OPOSED 36" HIGH

SETBACK LINE

PROPERTY LINE

PROPOSED

PROPOSED BLUE

CONSTRUCTION WORK

BASED UPON SURVEY PREPARED BY TC MERRITTS, LS, DATED NOV. 19,2020

GENERAL NOTES:

1. ALL CONTRACTORS INVOLVED IN THE RENOVATION, CONSTRUCTION, OR IMPROVEMENTS TO THIS PROPERTY SHALL ADHERE TO THE RESIDENTIAL BUILDING CODE OF NEW YORK AND ALL APPLICABLE LAWS AND ORDINANCES (INCLUDING WITHOUT LIMITATION ALL THE APPLICABLE STATE, LOCAL AND FEDERAL BUILDING, ZONING, ENVIRONMENTAL, AND SAFETY AND SANITARY CODES), IN A GOOD AND WORKMANLIKE MANNER, AND SUBSTANTIALLY IN ACCORDANCE WITH THE DRAWINGS

2. THE INTENT OF THE DOCUMENTS IS TO SHOW NEW CONSTRUCTION ONLY.
PROVIDE ALL REQUIRED DEMOLITION TO ACCOMPLISH THE NEW WORK AS

3. VERIFY ALL FIELD CONDITIONS PRIOR TO EXECUTION OF THE WORK AND NOTIFY THE ARCHITECT OF DISCREPANCIES OR UNSATISFACTORY WORK.

4. PROVIDE ALL TEMPORARY BRACING, SHORING, FORMS, ETC. PROVIDE ALL REQUIRED TEMPORARY ENCLOSURES TO PROTECT THE NEW AND EXISTING CONSTRUCTION MATERIALS AND EQUIPMENT FROM THE WEATHER AND TO PROTECT THE UNALTERED AREA FROM THE DUST AND DEBRIS OF CONSTRUCTION.

5. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY DAMAGE OCCURING FROM THE NEW WORK DUE TO EXPOSURE TO WEATHER OR HIS MANNER OR METHODS OF CONSTRUCTION

6. FOR ALL GUARANTEES AND WARRANTEES, SEE THE MANFACTURERS SPECIFICATIONS. GC TO WARRANTY TO THE OWNER THAT: (1) MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT WILL BE NEW AND OF GOOD QUALITY UNLESS OTHERWISE REQUIRED OR PERMITTED BY THE CONTRACT DOCUMENTS; (2) THE WORK WILL BE FREE FROM DEFECTS NOT INHERENT IN THE QUALITY REQUIRED OR PERMITTED; AND (3) THE WORK WILL CONFORM TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

7. PROVIDE ALL REQUIRED MISCELLANEOUS ROUGH AND FINISH CARPENTRY, HEADERS, LINTELS, BLOCKING, FURRING, TRIMMING, ETC.

8. WORK AREA IS TO BE CLEAN AND CLEAR FROM DEBRISE DURING CONSTRUCTION AFTER CONSTRUCTION, AREA SHOULD BE IN BROOM-CLEAN CONDITION AT A

PROCEDURES, CONTROLS, AND PAYMENTS

- LANDSCAPE RETAINING

STORY ADDITIO

PROPOSED ON STORY ADDITION

29.76'

PROPOSED BLUESTONE

STOOP ON STONE DUST

- PROVIDE COORDINATION OF WORK. COORDINATE WORK BETWEEN
 TRADES.SUPERVISORY PERSONNEL ON THE JOB SITE WHENEVER SUBCONTRACTORS
 OR TRADESMEN ARE WORKING.
- 2. HOLD PRE-CONSTRUCTION CONFERENCE AND JOB MEETINGS WITH OWNER, ARCHITECT, AND ANY RELEVANT SUBCONTRACTORS. HOLD OTHER MEETINGS AS REQUIRED.
- 3. ALL CONTRACTORS ARE REQUIRED TO VISIT THE SITE BEFORE SUBMITTING BIDS, TO INSPECT THE PREMISES AND VIEW THE EXISTING CONDITIONS TO VERIFY ALL CONDITIONS, SIZES AND QUANTITIES. EXISTING CONDITIONS WHICH MIGHT PRECLUDE OR INTERFERE WITH THE PROPOSED WORK AS DRAWN OR SPECIFIED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION BEFORE WORK COMMENCES.
- 4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION BEFORE WORK COMMENCES.
- . THE CONTRACTOR SHALL BE INSURED UNDER THE TYPES AND LIMITS REQUIRED BY LAW AND SHALL INCLUDE THE OWNER AND ARCHITECT AS INSURED , WHERE AND WHEN REQUIRED.
- 6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE WORK, UNLESS OTHERWISE NOTIFIED, AND SHALL SECURE ALL REQUIRED INSPECTIONS AND THE CERTIFICATE OF OCCUPANCY. A COPY OF ALL PERMITS AND THE CERTIFICATE OF OCCUPANCY ARE TO BE SENT TO THE ARCHITECT.
- 7. SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSES NECESSITATE CONSTRUCTION DETAILS NOT IN ACCORDANCE WITH THESE PLANS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND SUBMIT DETAILS SHOWING THE PROPOSED CHANGE.
- ALL WORK SHALL CONFORM TO THE CONNECTICUT STATE BUILDING & ENERGY CODES AND ALL OTHER APPLICABLE. MUNICIPAL, STATE AND FEDERAL RULES AND REGULATIONS.
- 9. DISCONNECT AND SAFELY CAP ALL UTILITIES SERVING THE SITE PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK. PROVIDE ANY TEMPORARY
- 10. CONTRACTOR SHALL MAKE SUCH TESTS OF HIS WORKMANSHIP AND MATERIALS AS ARE REQUIRED BY THE BUILDING CODE, STATE AND MUNICIPAL LAWS, AND SPECIFICATION SECTIONS AT HIS OWN EXPENSE, UNLESS OTHERWISE NOTED.
- 11. SUBMIT PROGRESS SCHEDULE, BAR-CHART TYPE, UPDATED MONTHLY AND RESUBMITTED WITH EVERY APPLICATION FOR PAYMENT.
- 2. .APPLICATIONS FOR PAYMENTS SHOULD BE ACCOMPANIED WITH A SCHEDULE OF VALUES, INDICATING THE VALUE OF WORK COMPLETED DURING THE PERIOD.
- 13. PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS THAT HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- 14. INSTALL MATERIALS AND SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPROVED SUBMITTAL. INSTALL MATERIALS AND SYSTEMS IN PROPER RELATION WITH ADJACENT CONSTRUCTION AND WITH UNIFORM APPEARANCE. COORDINATE WITH WORK OF ALL SECTIONS.
- 15. RESTORE DAMAGED FINISHES. CLEAN AND PROTECT WORK FROM DAMAGE.

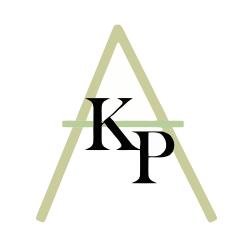
PLANS MEET ALL NYS BUILDING CODES AND ENERGY CODES

- BUILDING: NEW YORK STATE BUILDING CODE COMMENCED 2020
- ELECTRICAL: NATIONAL ELECTRIC CODE
- MECHANICAL: NEW YORK STATE BUILDING CODE COMMENCED 2020
- PLUMBING: NEW YORK STATE BUILDING CODE COMMENCED 2020
 FIRE: NEW YORK STATE BUILDING CODE COMMENCED 2020
- FIRE: NEW YORK STATE BUILDING CODE COMMENCED 2020
 HANDICAP: FEDERAL ADA ACCESSIBILITY GUIDELINES
- ENERGY: INTERNATIONAL ENERGY CONSERVATION CODE 2015

EXPOSURE CRITERIA

EXI OSURE CRITERIA								
SUBJECT TO DAMAGE								
GROUND SNOW LOAD	WIN (MP	D SPEED H)	WEA	ATHERING		OSTLINE EPTH)	TERMITE	DECAY
30psf	1	115 MPH	5	SEVERE	3'	6"	MODERATE / HEAVY	SLIGHT
SEISMIC ZO	NE	WINTER		ICE		FLOOD ZON	NE	

SEISMIC ZONE	WINTER DESIGN TEMP.	ICE SHIELD REQUIRED	FLOOD ZONE
В	7 F	YES	ZONE A (WITHOUT BASE FLOOD ELEVATION)

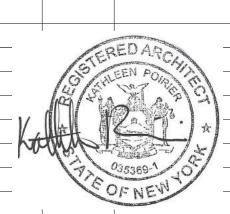


Kathleen Poirier Architects, LLC
40 Twin Oak Lane
Wilton, CT 06897

phone: 203-210-5199 fax: 815-366-7584

kpoirier@kparchitects.com www.kparchitects.com

Philips Residence
4 Valley lane Armonk NY
Armonk, NY



REV DATE DESCRIPTION

Drawing: title sheet

Drawing No.:

T-100

WINEASHIP AND CONDITIONS OF USE:

WANNINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN TH
REFERRY OF THE ARCHITECT. DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART, FOR OTHER PROBLETS OF
REFERRY OF THE PROFESSION THAN THOSE AUTHORIZED BY COUNTACT STRIPLY THE SELECTIVE WESTER
UNTHORIZED AND OF THE ARCHITECT HAS THOSE AUTHORIZED BY CONTINGENT URON PAYMENT TO THE ARCHITECT
OR SERVICES SENDED. INVESTMENT SHALL GIVE HAR ARCHITECT THE AUTHORIZET TO AD DOCUMENT USE BY
AND ALL PARTIES. IF OWNER DISPUTES ANY ARCHITECT'S STATEMENTS FOR SERVICES, IT IS REQUIRED THAT TH
WAYABLE UPON RECEIPT. THE OWNER SHALL INDEMNISY THE ARCHITECT AND ANY SERVICES AND ANY ALLEGORY OF THE ARCHITECT OF THE ARCHITECT AND ANY SERVICES. THE SERVICE AND ANY
AND ANY OF THE ARCHITECT IN PRINTING WITHIN THE VICE RECEIPTS THE OWNER SHALL DISPUTED FOR THE ARCHITECT AND ANY ARE ADVICED TO THE ARCHITECT THE PROPER PROFERED AND ANY AREA.

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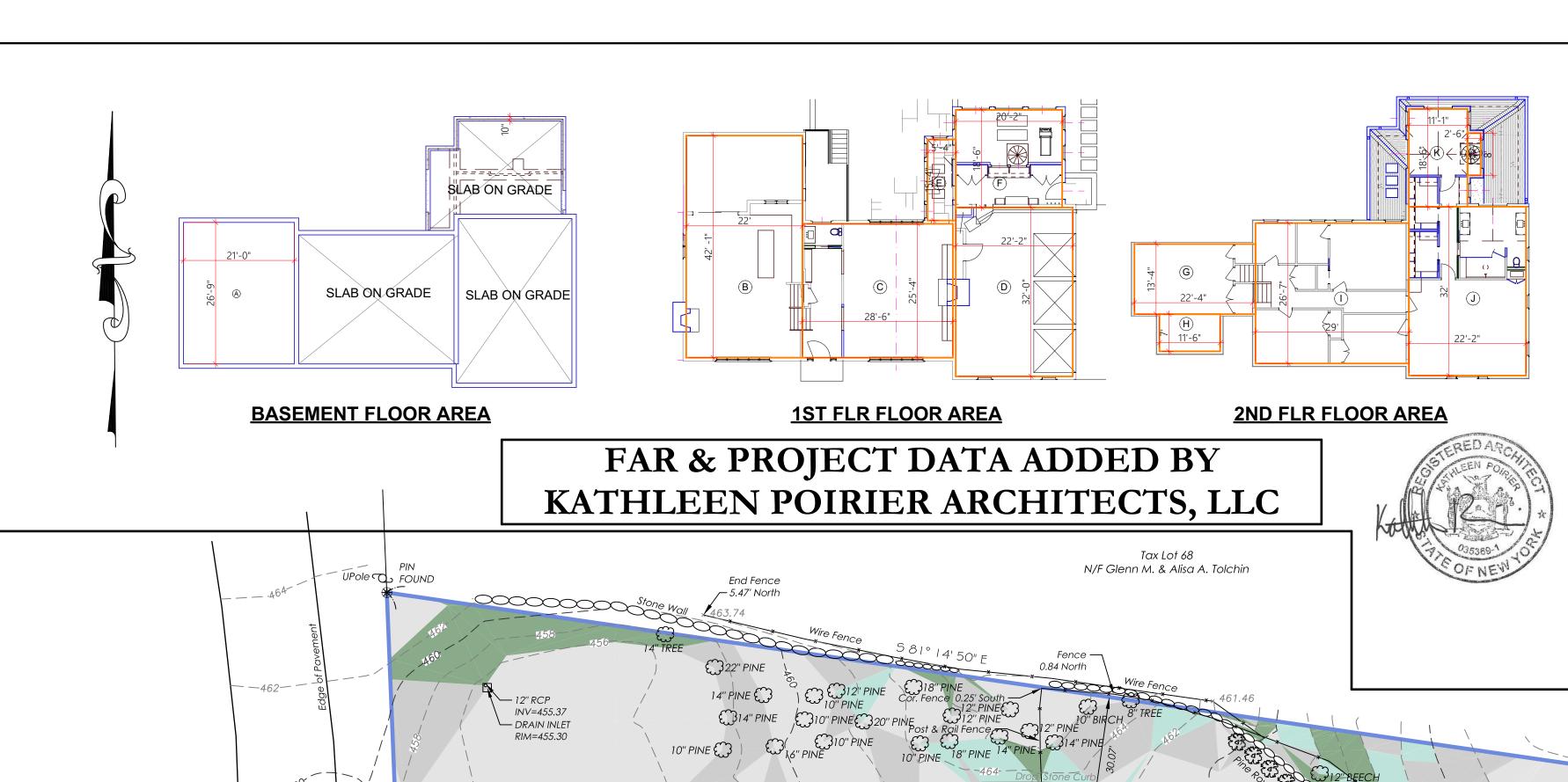
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ON A DESCRIPTION OF THE ARCHITECT THE PROPER PROFEDED AND ANY AREA.

ON A DESCRIPT



(3)14" PINE

(1)12" PINE

× 455.11

× 452.84

× 455.62

RIM=452.20

Light 🌣

— Stone Curb 1.80' South

RIM=454.69

- DRAIN INLET RIM=454.48

	1ENT			
	А	26.75	21	561.75
BASEN	1ENT TOTAL			561.75
1ST FL	OOR			
	В	48.08	22	1057.76
	С	28.5	25.25	719.63
	D	32	22.17	709.44
	E	15.25	5.25	80.06
	F	18.5	20.17	373.15
1ST FLI	R TOTAL			2940.03
2ND FL	_OOR			
2ND FL	_OOR	13.25	22.25	294.81
2ND FL	ı	13.25	22.25 11.5	294.81 80.50
2ND FL	G			
2ND FI	G	7	11.5	80.50
2ND FI	G	7 26.58	11.5 29	80.50 770.82
2ND FI	G H I J	7 26.58 32	11.5 29 22.17	80.50 770.82 709.44

Tax Lot 67

Area = 51,966.71 Sq. Ft.

PROPOSED AREA TO BE REGRADED

 \bigoplus 19" PINE \bigoplus 12" PINE \bigoplus 12" PINE \bigoplus 5 88 $^\circ$ $^{\prime}$ 15 $^{\prime}$ 50" W $^{\prime}$

PROPOSED LANDSCAPE WALL AND STEPS

12" PINE 6" PINE

PROJECT DATA					
LOT:	67 BLOCK:	1			
LOCATION:	4 VALLEY LAI	NE; ARMOI	NK, NEW YORK		
ZONING DISTRICT	Γ:		R-1.5A		
TAX MAP SECTION DESIGNATION:					
CONSTRUCTION CLASS: 5B					
USE GROUP: RESIDENTIAL/ SINGLE FAMILY ADDITION					
TABLE OF AREA, `	YARD AND BUILDIN	IG REQUIE	MENTS		
			REQUIRED	EXISTING	PROPOSED

TABLE OF AREA, YARD AND BUILDING RE	QUIEMENTS		
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT REQUIREMENTS			
		1.193 acres	
LOT AREA	1.5 acres	51,966.71 sf	NO CHANGE
FRONTAGE	150	166.39	NO CHANGE
FRONT YARD SETBACK	50	136'	NOCHANGE
SIDE YARD SETBACK	30	29.76'	NO CHANGE
REAR YARD SETBACK	40	222'	205.5
BULK REQUIREMENTS			
HEIGHT	30'	25.5'+/-	no change
GROSS LAND COVERAGE			
0.05005 BLUG 00/ OF THE LOT ABEA IN EV	(OECC OE 4 ACRE	10.006.6.6	

TEIGHT	30	Z3.3 T/-	
GROSS LAND COVERAGE			
,350SF PLUS 9% OF THE LOT AREA IN EXCESS	OF 1 ACRE =	10,286.6 sf	
MAX. GROSS FLOOR AREA RATIO			

IVIAN. GROSS FLOOR AREA RATIO			
7,727 SF PLUS 6% OF THE LOT IN EXCESS OF	1 ACRE =8,231.	4 SF	
	MAX	EXISTING	PROPO
GROSS FAR	8,231.4 SF	4,788.50	5,58
	10%		
BUILDING COVERAGE	5,196.63SF	2,555.86SF	3,031.8
DRIVEWAY		3,178.62 SF	NO CHA
PORCHES, DECKS, PATIOS, WALKS, PADS		1,116.96 SF	1,856.1
	10,286.6 SF	6,851.44 SF	8,066.6
TOTAL IMPERVIOUS SURFACES	19.79%	13.18%	15.

N/F Adam & Tiffany

Only copies from the original of this topography map marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Unauthorized alteration or addition to a map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements

This map is prepared to show topography only and is not to be used for title

transfer purposes. Map may not be certified to title companies and/or banks.

Tree species shown hereon to be verified by a licensed arborist and are not certified by surveyor.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

Surveyed in accordance with Deed Liber 6842, Page 66.

Premises shown hereon designated on the Town of North Castle Tax Maps as: Section 102.03, Block 1, Lot 67.

Property Address: 4 Valley Lane Armonk, NY 10504

of record.

	SLOPE A	NALYSIS	
COLOR	MINIMUM SLOPE	MAXIMUM SLOPE	AREA (SF)
	0.00%	14.99%	34323
	15.00%	24.99%	8425
	25.00%	35.00%	3916
	35.00%		2381

EXISTING IMPERVIOUS SU	<i>JRFACES</i>
BUILDINGS	2,555.86 S.F.
DRIVEWAY	3,178.62 S.F.
PORCHES, DECKS, PATIOS, WALKS, PADS	1116.96 S.F.
EXISTING IMPERVIOUS SURFACE	6,851.44 S.F.
TOTAL LOT AREA	51,966.71 S.F.
EXISTING % IMPERVIOUS SURFACE	13.18 %

TOPOGRAPHY OF PROPERTY PREPARED FOR PETER AND JIN PHILIPS

SITUATE IN THE TOWN OF NORTH CASTLE WESTCHESTER COUNTY, NEW YORK

SCALE: 1'' = 20'

GRAPHIC SCALE (IN FEET)1 inch = 20 ft.

TC MERRITTS LAND SURVEYORS 394 BEDFORD ROAD • PLEASANTVILLE • NY 10570 (914) 769-8003 • (203) 622-8899

° 48′ 30″ W

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TC MERRITTS LAND SURVEYORS

ELECTRONIC TRANSMISSION WITHOUT PRIOR PERMISSION

IS A VIOLATION OF APPLICABLE LAWS.

166.39'



Surveyed: November 17, 2020 Map Prepared: November 19, 2020 Scott B. Gray New York State Licensed Land Surveyor No.050672

Enclosed Porch

Deck

Tax Lot 66 N/F Joseph G. & Sandra K. Schepis

PROPOSED WORK ADDED BY

KATHLEEN POIRIER ARCHITECTS, LLC

— Roof Over Paving Stone

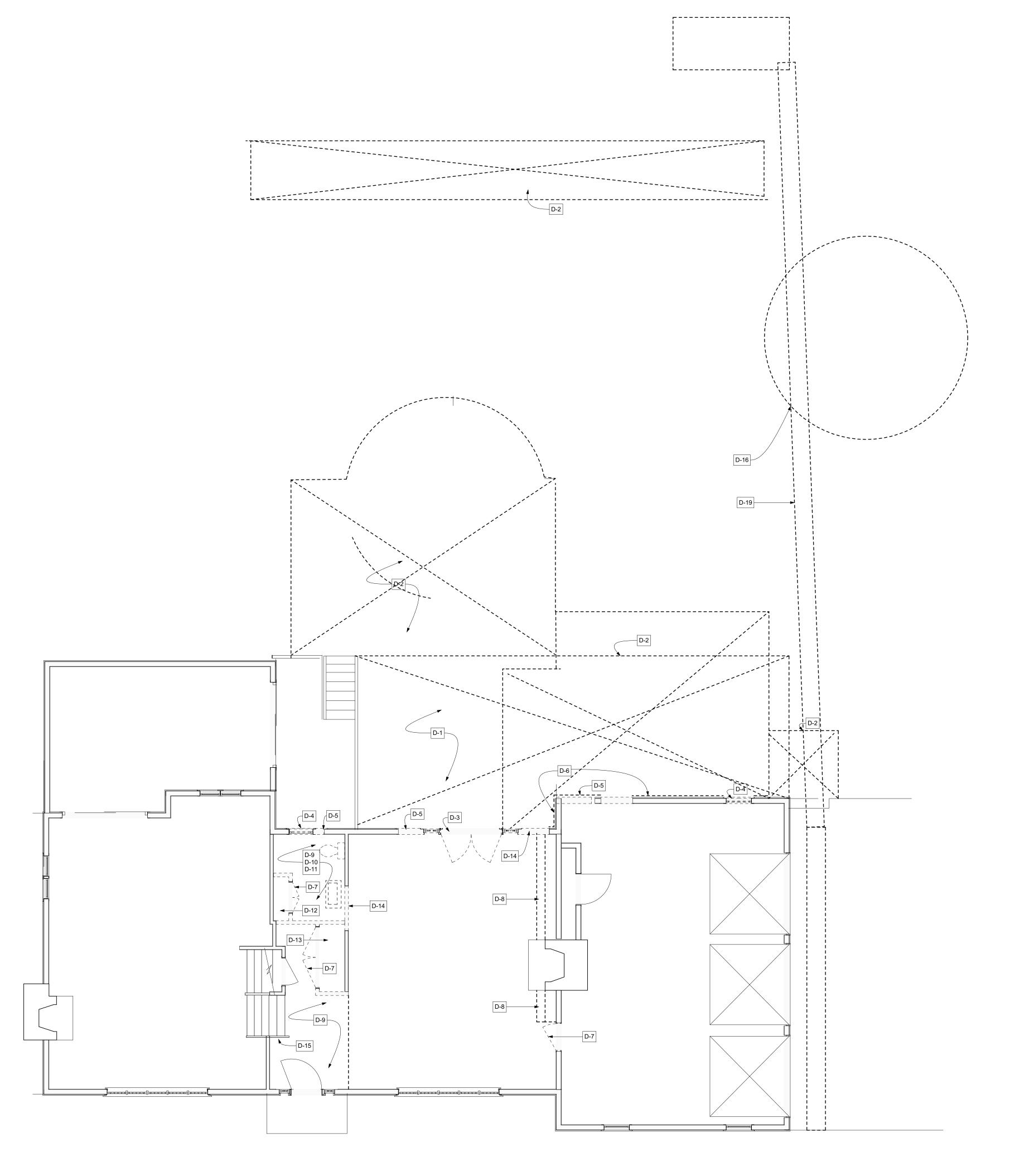
— Frame

Residence #4

Garage Under

Project: 15-271 Job: 20-465 Checked By: SBG Drawn By: CMP

Field Survey By: AN/PT





SCALE: 3/16" = 1'-0"

GENERAL DEMOLITION NOTES:

- G1 PROTECT PROJECT FROM ENTRY BY UNAUTHORIZED
- G2 SHORE ALL SELECTIVE DEMOLITION AREAS AS REQUIRED TO PREVENT FAILURE.
- G3 CAP ALL UTILITIES AS REQUIRED AND AUTHORIZED BY THE PROVIDER AND TO CODE.
- G4 STORE AND DISPOSE OF ALL DEMOLITION MATERIALS IN A LEGAL MANNER IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES.
- G5 WHENEVER POSSIBLE, DIRECT DEMOLITION MATERIALS TO "RECYCLING" OR "REUSE" BY APPROVED AUTHORITIES AND NOTIFY THE OWNER AND ARCHITECT OF SAME.
- G6 NOTIFY AND COORDINATE EGRESS TO THE WORK AREA WITH SECURITY SERVICE IF SAME EXISTS.
- G7 PROTECT EXISTING STRUCTURES FROM EXPOSURE TO ELEMENTS DURING AND AFTER DEMOLITION.
- G8 ALL EXISTING AREAS TO REMAIN TO BE PATCHED AND REPAIRED, AS REQUIRED, TO MEET AND MATCH ADJACENT.
- G9 NEW FLOORS TO MEET AND MATCH ADJACENT EXISTING FLOOR FINISH FLUSH IF POSSIBLE.
- G10 ELECTRICAL: REMOVE EXISTING ELECTRICAL ITEMS NOT INTENDED FOR REUSE, SEE ELECTRICAL PLANS FOR SCOPE OF ELECTRICAL WORK. ALL EXISTING POWER TO REMAIN SHALL BE RECONNECTED TO BRANCH CIRCUITS.

D1 REMOVE EXISTING PATIO PAVERS. SAVE FOR POSSIBLE FUTURE REUSE.

DEMOLITION NOTES:

- D2 EXCAVATE FOR NEW BUILDING ADDITION. EXCAVATE FOR NEW PATIO AND STOOP, EXCAVATE FOR NEW RETAINING
- D3 REMOVE EXISTING FRENCH DOOR AND SAVE FOR

WALL AND STEPS AND ANY REQUIRED WATER RETENTION.

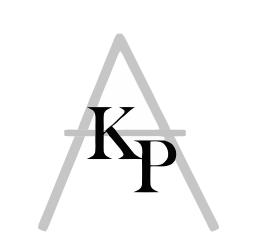
- D4 REMOVE EXISTING WINDOWS AND DISPOSE.
- D5 DEMO WALL FOR NEW WINDOW OPENING. PROVIDE TEMPORARY SHORING AS REQUIRED.
- D6 REMOVE EXTERIOR SIDING AND HOUSE WRAP IN LOCATION OF NEW ADDTION. KEEP EXISTING PLYWOOD FOR SHEAR WALL.
- D7 REMOVE EXISTING DOOR AND RELATED TRIM.
- D8 REMOVE EXISTING CABINETRY ALONG FIREPLACE

D9 REMOVE FLOORING IN ENTRY HALL AND POWDER

- D11 REMOVE PLUMBING FIXTURES IN POWDER ROOM. .
- D12 REMOVE CLOSET IN POWDER ROOM

D10 REMOVE WALL FINISHES IN POWDER ROOM

- D13 REMOVE CLOSET IN ENTRY HALL.
- D14 REMOVE WALL IN LOCATION SHOWN FOR NEW DOORWAYOR OPENING. PROVIDE TEMPORARY SHORING AS REQUIRED.
- D15 REMOVE EXSITNG STAIR RAILS PREPARE FOR NEW.
- D16 REMOVE EXISTING TREES NUMBER AND LOCATIONS TO BE RETERMINED IN THE FIELD.
- D17 REMOVE EXISITNG SHOWER, TUB, VANITY AND TOILET IN EXISTING MASTER AND ALL RELATED PARTS.
- D18 REMOVE EXISTING TOILET STALL
- D19 TRENCH FOR NEW CONDUIT TO NEW GENERATOR

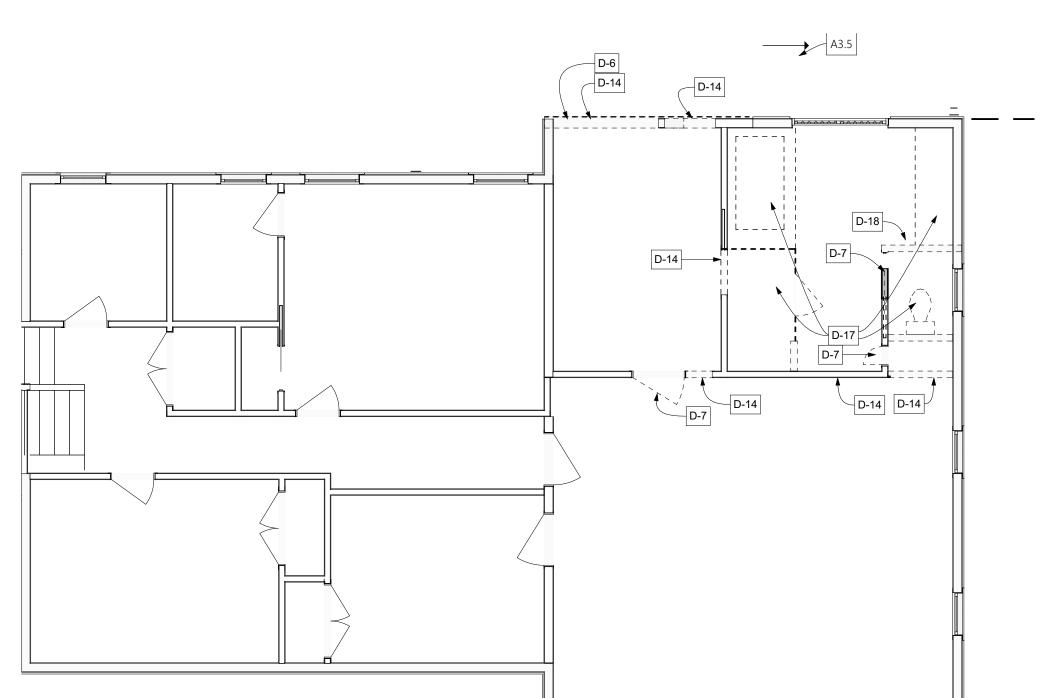


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sidence



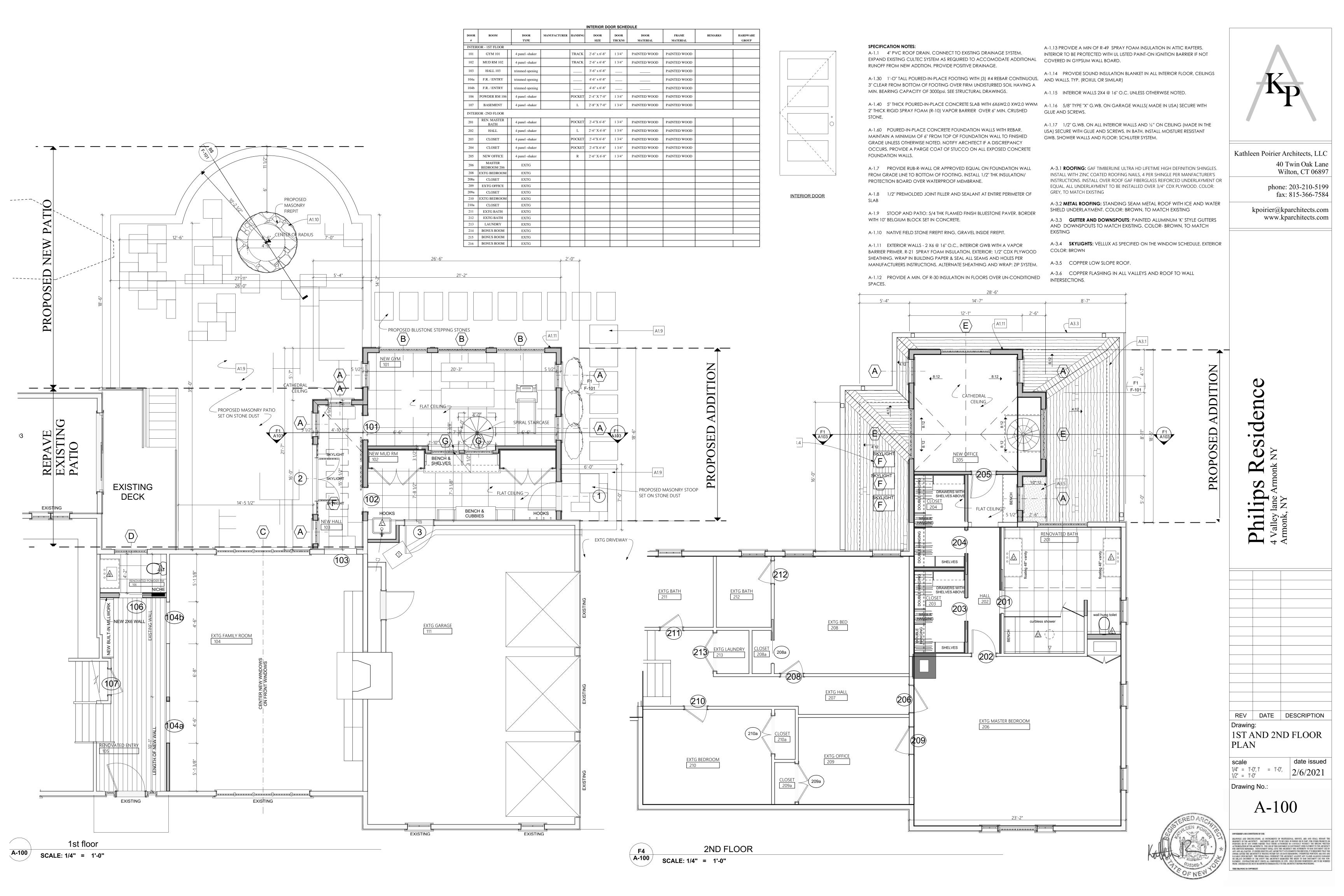
SCALE: 3/16" = 1'-0"

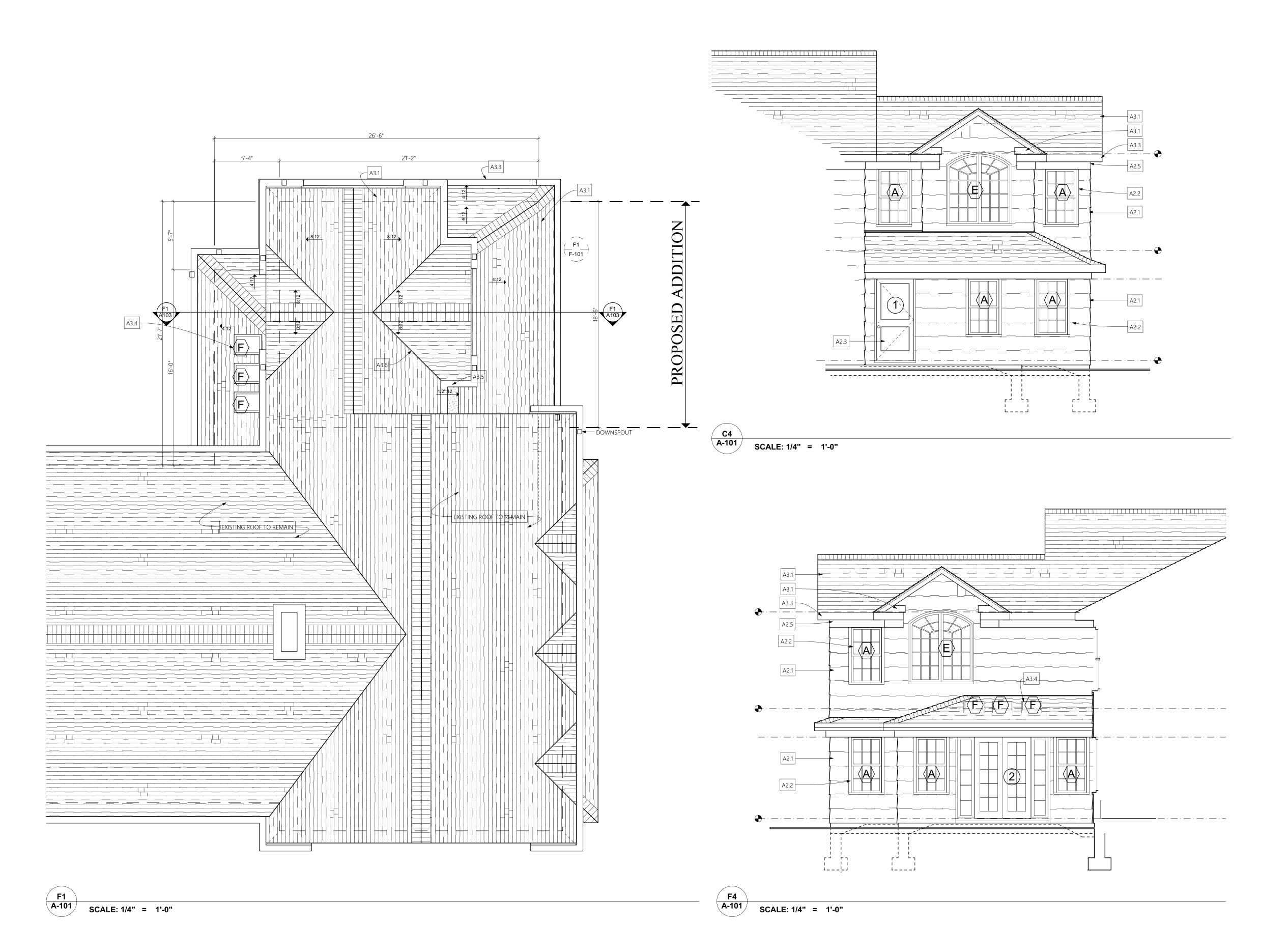
REV DATE DESCRIPTION Drawing: DEMOLITION PLAN

scale date issued $\frac{3/16"}{1-0"} = \frac{1-0"}{1-0"} = \frac{1-0"}{1-0}$

Drawing No.:

D-100





SPECIFICATION NOTES:

A-2.1 **SIDING**:14" EXPOSURE CEDAR SHINGLE SIDING TO MATCH EXISTING SOLID COLOR FINISH TO MATCH EXISTING RED. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

A-2.2 WINDOWS AND FRENCH DOOR: MARVIN WOOD WITH ALUMINUM CLADDING, DOUBLE HUNG AND PICTURE, AS SPECIFIED ON THE WINDOW SCHEDULE. EXTERIOR COLOR: PROVENCE CREME

A-2.3 **DOOR:** PAINT GRADE WOOD SIDE DOOR WITH GLASS AS SPECIFIED ON THE DOOR SCHEDULE. EXTERIOR COLOR: PROVENCE CREME

A-2.4 **DOOR AND WINDOW TRIM**: MATCH EXISTING PRE-PRIMED WOOD 5/4X 3 TOP AND SIDE TRIM. EXCEPTION: USE INTEGRATED DRIP EDGE FOR ALL TOP TRIM. SUBSILL NOSE FOR ALL WINDOWS. COLOR: PROVENCE CREME

A-2.5 **Exterior running and standing trim**: Soffits, Fascia, Rake and EAVE MOLDING TO BE PRE-PRIMED WOOD. SIZES TO MATCH EXISTING.EXTERIOR COLOR: PROVENCE CREME

A-3.1 **ROOFING:** GAF TIMBERLINE ULTRA HD LIFETIME HIGH DEFINITION SHINGLES. INSTALL WITH ZINC COATED ROOFING NAILS, 4 PER SHINGLE PER MANFACTURER'S INSTRUCTIONS. INSTALL OVER ROOF GAF FIBERGLASS REIFORCED UNDERLAYMENT OR EQUAL. ALL UNDERLAYMENT TO BE INSTALLED OVER 3/4" CDX PLYWOOD. COLOR: GREY, TO MATCH EXISTING

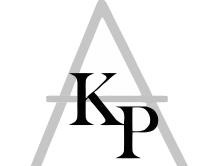
A-3.2 **METAL ROOFING:** STANDING SEAM METAL ROOF WITH ICE AND WATER SHIELD UNDERLAYMENT. COLOR: BROWN, TO MATCH EXISTING

A-3.3 **GUTTER AND DOWNSPOUTS**: PAINTED ALUMINUM 'K' STYLE GUTTERS AND DOWNSPOUTS TO MATCH EXISTING. COLOR- BROWN, TO MATCH

A-3.4 **SKYLIGHTS:** VELLUX AS SPECIFIED ON THE WINDOW SCHEDULE. EXTERIOR COLOR: BROWN

A-3.5 COPPER LOW SLOPE ROOF.

A-3.6 COPPER FLASHING IN ALL VALLEYS AND ROOF TO WALL INTERSECTIONS.



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kpoirier@kparchitects.com www.kparchitects.com

Residence Philips 4 Valley lane Armo Armonk, NY

REV DATE DESCRIPTION Drawing:

ROOF PLAN & ELEVATION

1' = 1'-0", 1/4" = 1'-0" 2/6/2021

date issued

Drawing No.:

A-101





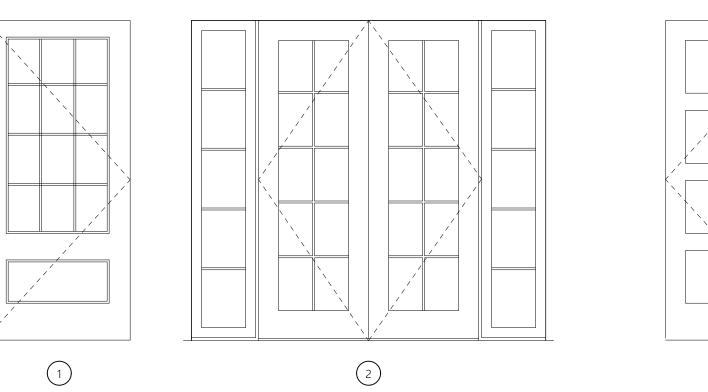
WINDOW SCHEDULE

TYP	E	DETAILS									
WINDOW NUMBER	QUANTITY	WINDOW TYPE	GLAZING	WINDOW / DOOR U-VALUE	WIDTH R.O.	HEIGHT R.O.	JAMB DEPTH	HEAD HEIGHT ABOVE FINSIHED- FLOOR	CASING	SILL	REMARKS
		vin aluminum clad U xisting- Provence Cro				NT INTERIO	R & EXTER	RIOR WITH SPACER	BAR (SDL), hi	gh transparei	ncy standard screen, EXT.
A	9	DOUBLE HUNG	insulated LoĒ2	0.33	2'-8 1/4"	4'-8"	2x6 wall	6'-8"	match existing	Solid PVC	
В	3	FIXED	insulated LoĒ2	0.33	5'-2 1/4"	6-4"	2x6 wall	6'-8"	match existing	Solid PVC	_
С	1	5 UNIT 2 CASEMENT/3 FIXED	insulated LoĒ2	0.33	(5) 2'-1"	4'-7 1/8"	existing 2x4 wall - verify	match existing 6'-8" - verify	match existing	Solid PVC	match front window - verif dimensions in the field
D	1	AWNING	insulated LoĒ2	0.33	3'-5"	1'-5 5/8"	existing 2x4 wall - verify	match existing 6'-8" - verify	match existing	Solid PVC	
Е	3	ARCH TOPPED DOUBLE CASMENT	insulated LoĒ2	0.33	4'-9"	6'-5 5/8"	2x6 wall	7'-10" match existing V.I.F.	match existing	Solid PVC	
F	3	fixed velux SKYLIGHT	insulated LoĒ2	0.33	21"	26 7/8"					
G	2	fixed interior unit	single pane	_	3'-1"	1'-5 5/8"	2x4 gb both sides	6'-8"	match interior trim	match interior trim	

EXTERIOR DOOR SCHEDULE

DOOR	ROOM	DOOR	MANFC-	HANDING	DOOR SIZE panel unless noted	DOOR	FRAME	REMARK
#		TYPE	TURER		otherwise	MATERIAL	MATERIAL	
_								
1	MUD ROOM	swing door + FIXED	Simpson 7512	left in-	3' x 6'-8"	painted	painted	
1	WIOD KOOM	PANELS	TDL	swing	3 X O - 8	WOOD	WOOD	
2	NEW HALL	double french swing	reuse existing		7'-6" x 6'-8"	wood/alum	wood/alum	
2	NEW HALL	door with sidelights	reuse existing		overall	clad	clad	
				left out-		painted	painted	20 MINUTE
3	GARAGE	fire rated solid panel	Simpson 7230	swing	3' x 6'-8"	WOOD	WOOD	DOOR WI
				swing		WOOD	WOOD	SELF CLOS

3



SPECIFICATION NOTES:

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Residence

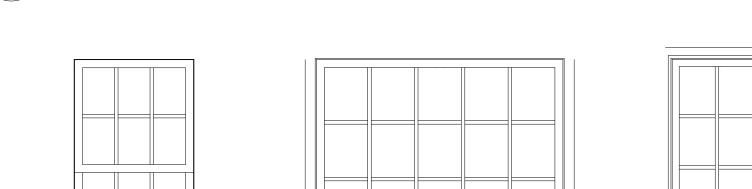
REV DATE DESCRIPTION Drawing:

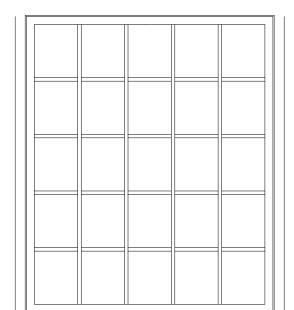
REAR ELEVATION & DOOR AND WINDOW

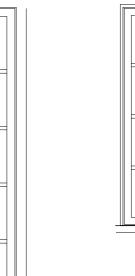
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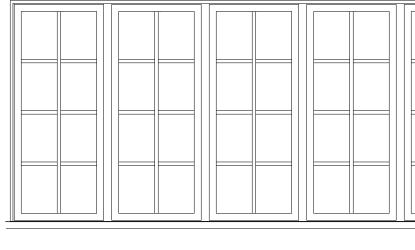
A-102











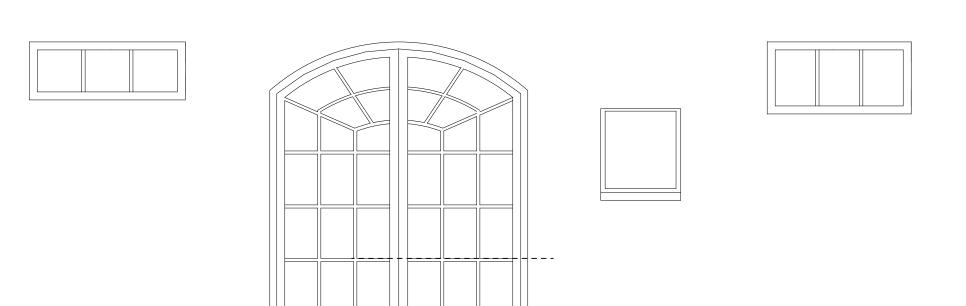


REAR ELEVATION

SCALE: 1/4" = 1'-0"





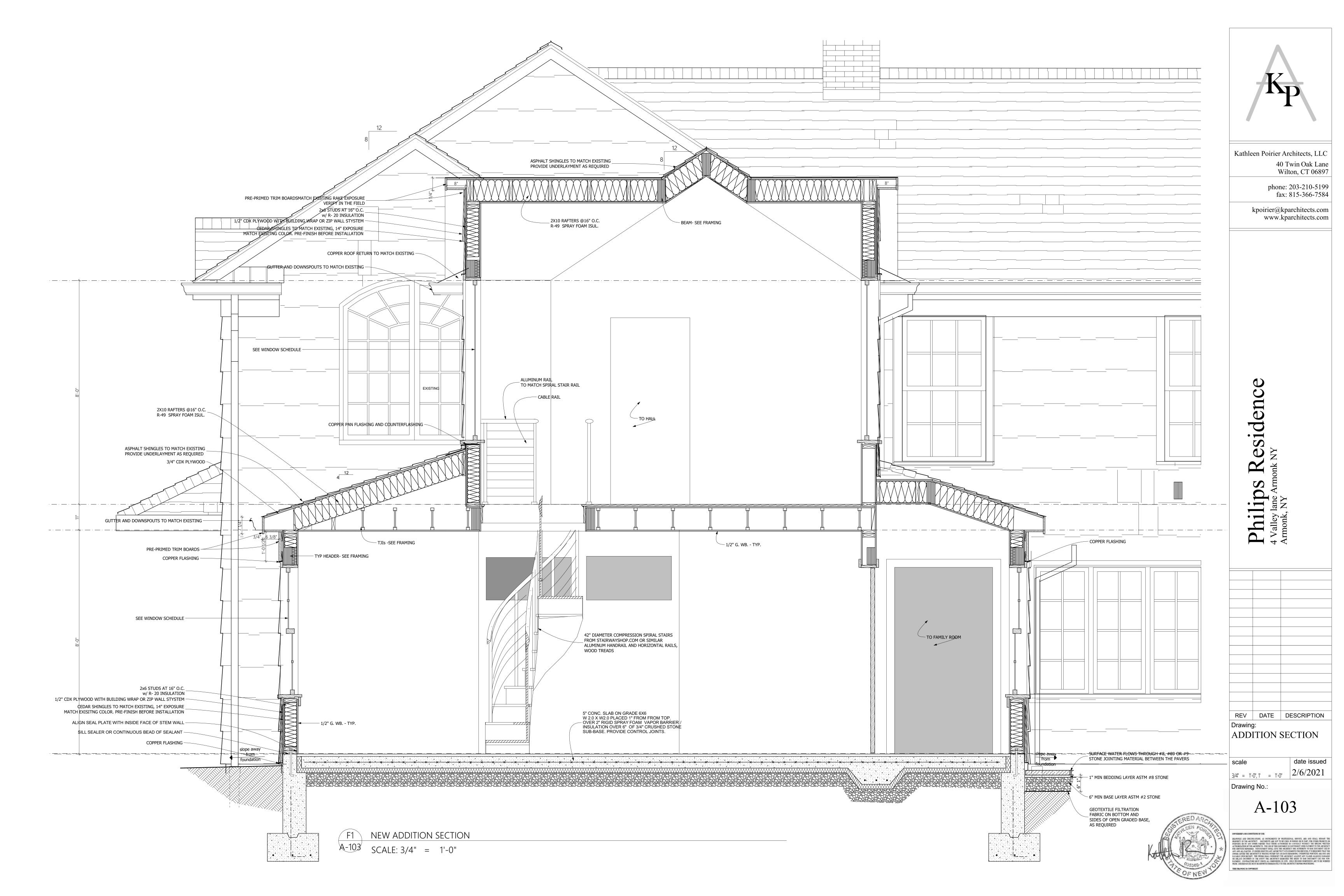












Foundations

- 1. The new foundations have been designed to rest on firm, inorganic, undisturbed soil or rock having a presumptive bearing value of 3,000 psf expected to be found at the bottom of the required excavation base. Adequacy of bearing stratum shall be verified in field and inspected by the local building department or licensed geotechnical engineer prior
- to placing concrete. Adjust bottom of footing elevation to bear on suitable subgrade as required. 2. Within the perimeter of the proposed new structure remove all unsuitable, organic, loose, or disturbed material.
- 3. The bottom of exterior footings not on solid rock shall be at least 3'-6" below finished grade. The surface of the soil below all footings shall be mechanically compacted prior to setting footing forms.
- 4. Do not place concrete on a subgrade that is frozen, muddy, wet, or containing ice or frost.

Compact top of remaining excavated surface. Use controlled fill where required.

- 5. In placing and compacting fill and backfill material, do not damage nor displace concrete work already in place by contact from compaction machinery, by subjecting it to overturning from heavy compacting loadings, or any other cause. At frost walls bring fill against such concrete at the same rate as the remainder of fill, compacting uniformly on both sides using hand operated tampers.
- 6. Do not place backfill against basement or crawl space walls until all floors bracing these walls are in place and the concrete walls have attained the specified design strength. 7. Do not excavate lower than the bottom of any existing foundation.
- 8. A line connecting the nearest points of the bottoms of any two footings shall not have a slope greater than 1 vertical to 2 horizontal. Verify bottoms of existing footings. Plan foundation steps and excavation accordingly.
- 9. The slab on grade sub-base shall be 6" minimum of crushed stone passing a 2" sieve and retained on a 1/4" sieve. 10. The contractor shall be responsible for limiting pours to minimize shrinkage cracking. In general, walls shall not be poured in continuous lengths exceeding 30 feet and slabs not exceeding 20 feet without control joints. The location
- and configuration of joints exposed to view shall be coordinated with the architect. 11. Minimum anchor bolt requirements for attachment of superstructure to foundation shall be as follows:
 - Crawl spaces, slabs on grade: 1/2"ø at 6'-0" o.c. max spacing Full height basement: 3/4"ø at 4'-0" o.c. max spacing

Embed anchor bolts a minimum of 15" into masonry, 7" into cast concrete. Install bolts within 12" of corners on all exterior walls. Anchor bolts are to be placed within 1'-0" of all corners. All sill pieces shall have a minimum of two anchor bolts.

- Controlled fill 1. In areas requiring fill, the fill material shall be a uniformly grade mixture of sand and gravel weighing no less than 120 pcf dry density after compaction in place. This mixture shall be uniformly graded having no stone greater than 3" in
- any one dimension, and with less than 10%, by weight, passing a #100 sieve 2. The fill shall be placed in thin lifts before compaction. Each lift shall be compacted with appropriate equipment to a minimum of 95% of its maximum density at or near optimum moisture.
- 3. A soils testing lab, hired by the owner, shall test the material before and after compaction for conformance with this specification. No lifts shall be placed when weather conditions are such that the moisture content of the fill cannot be properly controlled.

- 1. Structural concrete work shall conform to all the requirements of ACI 318 "Building Code Requirements For Reinforced Concrete" and ACI 315 "specifications for structural concrete in buildings" in it's entirety certain portions of this specification are presented here only for clarification and the contractor's convenience and are not intended to replace or amend this specification.
- 2. Slab work shall conform to applicable portions of ACI 302.1R guide for concrete floor and slab construction, latest
- 3. Comply with the recommendations of ACI 306 for cold weather concreting and ACI 305 for hot weather concreting.
- 4. Concrete shall be normal weight and develop a minimum strength in 28 days as follows: Location strength water/cement, (w/c) ratio Footings and walls 3000 psi
- 4000 psi 0.50 Interior slabs 4500 psi Exterior slabs
- 5. Concrete exposed to the weather, such as that used in foundation walls shall contain 6% + 1.5% entrained air.
- Cement shall be type I or type II and conform to ASTM C150.
- 7. Other cementitious material such as flyash or ground granulated blast furnace slag may be blended with cement for use in the concrete mix. Flyash shall conform to ASTM C618 and may replace cement if the following ranges for the 2 classes of flyash; class c, 20 to 35%; class f, 15 to 25%. Ground granulated blast- furnace slag shall conform to ASTM C989 and may not exceed 50% of total weight of cementitious materials.
- 8. Coarse aggregate shall be 3/4" and conform to ASTM C33
- 9. Reinforcing steel shall conform to ASTM A615, grade 60. (grade 40 may be used for ties and stirrups). 10. Support and securely tie reinforcing to prevent displacement during concrete placement operations.
- 11. Welded wire fabric (WWF) shall conform to ASTM A185, with a minimum ultimate tensile strength of 75,000 psi. Lap
- one mesh size at sides and ends, and wire together. Place mesh on chairs to maintain its position during the pour. 12. Fabricate reinforcement to the required shapes and dimensions within the tolerances stated in the Concrete Reinforcing Steel Institute (CRSI) manual of standard practices.
- 13. Provide clearances from face of concrete to the closest surface of reinforcement as follows, unless noted otherwise on the structural drawings:.
 - Slabs: Footings: Foundation walls: 2" for #6 or larger, 1 1/2" for #5 or smaller

14. All grout shall be non-shrink with a minimum compressive strength of 5000 psi.

15. Install slab curing measures immediately after finishing on the same day as concrete placement. Cure slabs using curing paper or plastic with taped joints. Cover the wetted surface as soon as it can be placed without marking the surface. Keep surfaces moist during the cure period by providing additional moisture, wind barriers, sun protection and other methods to promote a slow cure. Use of a curing compound is prohibited. Loss of surface moisture shall be inhibited for at least 7 days by recommended ACI methods.

STRUCTURAL STEEL

- 1. All structural steel work shall conform to the following governing standards:
 - a. AISC "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings, "latest
- b. The American Welding Society (AWS D1. 1) "Code for Welding in Building Construction," latest edition 2. All structural steel shall conform to the following ASTM specifications:
 - Plates: ASTM A36
 - Rolled W-Sections: ASTM A992 Grade 50 Tube Columns: ASTM A500, Grade B.
 - Bolts (Steel to Steel): 3/4" ASTM F1852 "Twist off" type Tension Control bolts with ASTM F436 washers. All bolts shall have threads excluded from the shear plane. Connections are to be standard AISC connections. Bolts (Wood to Wood or Wood to Steel): 3/4" ASTM A307
 - Anchor bolts: ASTM F1554 Grade 36. 3/4" diameter unless noted otherwise on drawings. Install column anchor bolts using templates and other devices required for accurate installation. Burning of base plate anchor bolt holes will not be allowed. Anchor bolts may not be embedded after the concrete has set without written permission from
- design professional prior to pouring foundations. 3. Welding shall be performed by welders certified by AWS.
- 4. Welding electrodes shall be ASTM A233, Class E70XX. Use low hydrogen electrodes for A572, Grade 50 steel.
- 5. Shop paint interior steel members with approved primer. Verify that the finish coat is compatible with the primer
- before applying and notify design professional if it is not 6. All exposed exterior steel shall be hot dipped galvanized in accordance with ASTM A-123. All exposed exterior steel connecting hardware including nuts, washers and threaded fasteners, etc., shall be hot dipped galvanized in accordance with ASTM A-153.
- 7. Steel erection and piece shop drawings shall be submitted to the design professional for review and approval. No fabrication of steel shall commence without approved shop drawings. Shop drawings shall be reviewed and stamped by the contractor prior to submitting to the design professional. Shop drawings shall conform to customary AISC detailing standards.

- **WOOD FRAMING** 1. All wood framing shall be installed in accordance with the American Forest and Paper Association "Wood Frame
- Construction Manual", latest edition. 2. All fasteners shall be installed in accordance with American Forest and Paper Association "National Design
- Specification for Wood Construction", latest edition. 3. Stud bearing walls, shear walls, and roof and floor decks shall be framed with the member sizes and/or types at 16"
- o.c. unless noted otherwise on plan. 4. Walls shall be installed straight and plumb. Floors shall be installed level at the proper elevation. Roofs shall be
- installed at the pitches indicated on the architectural drawings.
- 5. Joists and rafters shall be installed directly over bearing studs unless otherwise detailed. 6. Joists and rafters shall be supported laterally at each support by full depth 2" nominal solid blocking, except where
- joists are supported by a flush header or nailed to a rim joist. 7. Joists or rafters are to be installed with "crown" up (i.e. positive camber) and within 1/2" of straight, end-to-end
- alignment.
- 8. Severely distorted (twisted, bowed, cupped, checked, etc.) lumber shall not be used. 9. Lap all plates at corners and at intersection of partitions.
- 10. Where wood posts are specified on the drawings, the supported beam(s) shall bear on the full cross section of the
- 11. Provide cross bridging at maximum 8'-0" o.c. for all sawn lumber joists and as required by manufacturer for
- 12. No new or existing joists shall be cut, notched, or have holes added without approval. 13. Exterior wall studs shall be continuous between points at which they can be braced by a floor or roof including exterior
- end walls of cathedral ceiling spaces, unless noted otherwise. 14. Built-up members of three plies or less shall have adjacent plies nailed together with two rows of nails at 12"o.c. (10d
- common nails for 1 1/2" plies, 12d common nails for 1 3/4" plies). Built-up members of more than 3 plies shall be assembled with 1/2" diameter thru bolts at 16"o.c. staggered up and down with 2" clearance at top and bottom edges. 15. Flitch beams are to be assembled with 1/2" diameter thru bolts at 16"o.c., staggered up and down, with 2" clearance
- at top and bottom edges unless noted otherwise on plans. Assemble flitch beam with bottoms of wood plies and steel
- 16. All bolt holes in load bearing wood framing components shall be no more than 1/16" larger than the bolt diameter

SAWN LUMBER AND TIMBERS

Plates:

- 1. All framing lumber shall conform to the following governing standards:
 - a. American Institute of Timber Construction, "Timber Construction Manual," latest edition. American Forest and Paper Association "National Design Specification for Wood Construction," latest
- 2. Sawn framing lumber noted on drawings shall be of the following minimum grade and specie.
- Douglas Fir Larch #2, Fb=900 psi, E=1,600,000 psi. Surfaced Dry

Douglas Fir Larch Stud Grade. Surfaced Dry.

- Douglas Fir Larch #2, Fb=900 psi, E=1,600,000 psi. Surfaced Dry Studs: Douglas Fir Larch Stud Grade, Fc=850 psi, E=1,400,000 psi. Kiln dried 15% moisture content
- Beams Douglas Fir Larch #1, Fb=1000 psi., E=1,700,000 psi. Surfaced Dry Douglas Fir Larch #1, FC=1000 psi., E=1,600,000 psi. Surfaced Dry
- 3. Sill plates and any structural wood framing used in exterior applications or in contact with concrete or masonry shall be 2x Southern Yellow Pine #2 or better CCA preservative pressure treated wood or 1-1/2" thick preservative treated
- 4. The design of the dimensional lumber members and their connections is based on the lumber having a moisture
- content at the time of installation of 19% or less. 5. Notches in the top or bottom of dimensioned lumber joists or rafters shall not exceed one-sixth the member depth and
- shall not be located in the middle third of the span. End notches shall not exceed one-fourth the member depth. 6. Bored holes shall not be within 2" of the top and bottom of the member and their diameter shall not exceed one-third

MANUFACTURED WOOD PRODUCTS 1. Laminated Veneer Lumber (LVL) Beams shall be manufactured by iLevel by Weyerhauser. The minimum allowable stress and stiffness characteristics shall be as follows:

- Fc(Parallel) = 2510 psi Fc(Perpendicular) = 750 PSI
- Fv =E = 1,900,000 PSI
- 2. Laminated Strand Lumber (LSL) including Timberstrand rim joists shall banufactured by iLevel by Weyerhauser. Parallel Strand Lumber (PSL) shall be manufactured by iLevel by Weyerhauser 4. Substitutions are not allowed without approval from design professional and the contractor shall compensate the
- engineer for time spent evaluating the proposed substitution.
- 5. The plys of built up manufactured wood products shall be fastened together in conformance with the manufacturer's specifier's quide, unless noted otherwise.
- Members may not be bored or notched without written permission from the engineer.
- 7. Composite wood joists (TJI's) shall be manufactured by iLevel by Weyerhauser. 8. Joist sizes have been designed with Trus Joist Macmillan software for a TJI Pro Rating of 50 or higher. If joists other than TJI 's are used they shall have similar demonstrated performance and shall be approved by the engineer. The
- contractor shall compensate the engineer for time spent evaluating the proposed substitution. 9. Joists of the proper size are to be installed at the spacings indicated on the drawings using the manufacturer's
- recommended details unless otherwise noted on plans. 10. Do not cut or notch flanges. Webs opening may be cut only as recommended in the manufacturer's literature and then
- only after consultation with the engineer. Do not bevel cut the top end of the joist beyond the edge of bearing. 11. Provide single "squash blocks" under bearing walls from above nailed to the joist flanges match the dimensions of the supporting stud below. "squash blocks" are to be cut 1/16" longer than depth of joist and are to be installed with grain
- 12. Doubled i-joists acting as header and trimmer beams are to be constructed with solid filler blocking nailed between the joist webs. Filler blocking shall be a combination of plywood and/or 2x dimensioned lumber of net width equal to the
- joist flange width minus 3/8" and a depth of joist depth minus 3 1/2". 13. Install blocking for full length in header beams and 2'-0" to each side of supported header in trimmer beams with 1/8" clear between top and bottom edges of filler and joist flanges. Hammer nails thru near web, filler and far web then
- clinch nail with 2 rows of 10d common nails at 4"o.c. 14. Build out web of joist supporting joist hangers flush with flanges with multiple layers of plywood as required
- 15. Install joist web stiffeners where indicated on plan on both sides of web with (2)-10d clinched nails set 2" in from top or bottom of stiffeners. Stiffeners to be 1/2", 5/8 or 1" plywood for 1 1/2",1 3/4" and 2 1/4" (min) wide joist respectively, by 2 3/8" wide by clear web height minus 1/8". Stiffeners to be set tight to top of bottom flange at joist supports and tight to underside of top flange when supporting walls or posts from above, within the joist clear span.

METAL WOOD CONNECTORS

- 1. Simpson products shall be installed per Wood Construction Connectors by Simpson Strong-tie (current edition). Use common nails at all metal wood connectors.
- 2. The typical hanger for flush framed beam is Simpson HU facemount hanger unless noted otherwise.
- 3. Joist hangers, cross bridging and all connectors for wood construction shall be galvanized steel as manufactured by Simpson Strong Tie or approved equal. Special nails as supplied by manufactured shall be used for required nailing.
- 4. 10d 1-1/2" nails may not be substituted for 10d or 16d nails specified by manufacturer for that connector, unless 5. Provide metal post bases and post caps (Simpson type CC) where wood posts connect to wood beams independent
- 6. Provide Simpson type ABA or ABU or post base where a wood post bears directly on a foundation. Bases and caps shall be galvanized at exterior conditions. Use Simpson recommended anchor bolts embedded 8" with Hilti RE500
- adhesive into the foundation, unless noted otherwise. 7. Where wood beams bear directly on concrete or masonry piers, anchor beams to piers with Simpson ABA or approved equal, with Simpson recommended anchor bolts embedded in the pier 8" with Hilti RE500 adhesive, unless
- 8. Anchor the back end of cantilevers with Simpson anchors having an allowable uplift capacity of 1,000 lb. 9. Install Simpson face mount hangers at all flush framing conditions. Use face mount hangers specified in iLevel Joist specifier's guide TJ 4000 and iLevel Beam, Header, and Column specifier's guide TJ 9000 by Weyerhaeuser, unless
- 10. Provide metal hurricane anchors at each rafter. Unless noted, use Simpson H2.5A or as required by the local
- governing building code.
- 11. Where hangers are specified or required at sloping or skewed beams, the contractor shall specify the correct slope and skew when ordering the hanger.
- 12. Where ACQ or CuAz wood preservative treated wood framing components are used, all connectors and fasteners shall be stainless steel. Alternate methods for protection against corrosion of connectors and fasteners must be approved by the design professional.

SHEATHING PANELS 1. Sheathing panels, plywood or oriented strand board ("osb"), shall conform to U.S. product standard ps-1, and bear the

- APA grade-trademark of the American Plywood Association.
- 2. Sheathing panels for floors, roof, and walls shall be apa rated sheathing, exposure 1, with a minimum span index
- rating of 32/16 visible on all sheets, and made with exterior glue. 3. Sheathing shall be of the following minimum thickness:
- Roofs 5/8" Floors 3/4" tongue and grooved.
- Walls 7/16" See architectural plans for thickness.
- 4. Sheathing panels on flat surfaces shall be installed with face grain perpendicular across to supports and continuous
- 5. Wall sheathing and floor sheathing shall be glued to supporting members with construction adhesive such as PL400, laid in a continuous 1/4" wide bead along the member length.
- 6. At designated shear walls, horizontal edges of wall sheathing shall be Backed by solid blocking between studs to
- provide backing for specified panel edge nailing. 7. Leave 1/16" space at all plywood panel end joints. Leave 1/8" space at all panel edge joints if not tongue and grooved.

WOOD FASTENERS

1. Nails and spikes specified on plan shall conform to the nominal sizes Specified in federal specifications ff-n-105b and as noted in the table below:

Type pennyweight 8d 10d 12d 16d 20d 0.131" 0.148" 0.148" 0.162" 0.192" Diameter 2.5" 3.0" 3.25" 3.5" 4.0"

Use ply clips or other edge support as required for plywood sheathing.

- Head diameter 0.281" 0.312" 0.312" 0.344" 0.406" 2. Lag and wood screws shall conform to ANSI/ASME Standard B18.6.1-19.81.
- 3. All fasteners used in contact with preservative pressure treated wood shall be hot dipped galvanized in accordance with ASTM A153 or stainless steel, type 316. Do not mix stainless steel and galvanized fasteners and connectors.
- 4. Bored lead holes for fasteners shall be as follows: Nails and spikes: lead holes are not required unless to prevent splitting of wood. If required, lead hole diameter shall not exceed 75% of nail/spike diameter
- Wood screws: lead hole diameter equals 7/8 of unthreaded shank diameter in connected wood part and 7/8 of diameter at root of thread in wood receiving thread. Lag screws: lead hole diameter equals shank diameter for extent of unthreaded shank, and 60% of shank
- diameter for threaded portion of shank. Through bolts: lead hole diameter 1/32" to 1/16" larger than nominal bolt diameter.

indicated on the plans. Tighten fasteners without crushing wood fibers under washers.

- 5. Insert threaded screw type fasteners by turning with screwdriver or wrench. Do not drive by hammering. Facilitate
- installation by placing soap or other lubricant on threads. 6. Provide standard round washers under the heads of all thru bolts and lag screws and under all nuts unless otherwise

2018 IRC Required Braced-Wall-Line Length Calculations

PROJECT INFORMATION

NAME: Phillips Residence

ADDRESS: 4 Valley Lane, Armonk, NY

SEISMIC DESIGN CATEGORY: B

WIND EXPOSURE CATEGORY: B

4.13 ft

Length of Wall Bracing Required

ULTIMATE DESIGN WIND SPEED: 115 mph

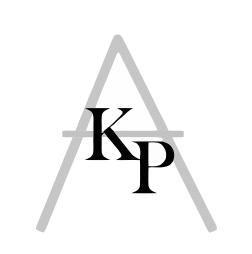
	Wall Line 1-1	Wall Line 2-1	Wall Line 3-1	Wall Line 4-1
Inputs		·		
Braced-Wall-Line Location	1st of 2-story	1st of 2-story	1st of 2-story	1st of 2-story
Eave to Ridge Height	5 ft	5 ft	9 ft	9 ft
Braced-Wall-Line Spacing	10.75 ft	10.75 ft	32.25 ft	32.25 ft
Vall Height	8 ft	8 ft	8 ft	8 ft
Bracing Method	CS-WSP	CS-WSP	CS-WSP	CS-WSP
GB Construction Type	N/A	N/A	N/A	N/A
Gypsum Wall Board on Inside	Yes	Yes	Yes	Yes
Horizontal Joints Blocked	Yes	Yes	Yes	Yes
Holdown Device Used	No	No	No	No
WIND				
abulated Wind Bracing Amount	3.725 ft	3.725 ft	9.5625 ft	9.5625 ft
Exposure Height Factor	1	1	1	1
Eave-to-Ridge Height Factor	0.85	0.85	0.97	0.97
Wind Wall Height Factor	0.9	0.9	0.9	0.9
Number of BWL Factor	1.45	1.45	1.45	1.45
Holdown Factor	1	1	1	1
Blocked Joint Factor	1	1	1	1
Gypsum on Inside Factor	1	1	1	1
Wind GB Construction Factor	1	1	1	1
Required Wind Bracing Amount	4.13 ft	4.13 ft	12.1 ft	12.1 ft
RESULTS				

4.13 ft

12.1 ft

12.1 ft

	Wall Line 1-2	Wall Line 2-2	Wall Line 3-2
Inputs			
Braced-Wall-Line Location	2nd of 2-story	2nd of 2-story	2nd of 2-story
Eave to Ridge Height	5 ft	9 ft	9 ft
Braced-Wall-Line Spacing	18.50 ft	32.50 ft	32.50 ft
Wall Height	8 ft	8 ft	8 ft
Bracing Method	CS-WSP	CS-WSP	CS-WSP
GB Construction Type	N/A	N/A	N/A
Gypsum Wall Board on Inside	Yes	Yes	Yes
Horizontal Joints Blocked	Yes	Yes	No
Holdown Device Used	No	No	No
WIND			
Tabulated Wind Bracing Amount	3.275 ft	4.875 ft	4.875 ft
Exposure Height Factor	1	1	1
Eave-to-Ridge Height Factor	0.7	0.94	0.94
Wind Wall Height Factor	0.9	0.9	0.9
Number of BWL Factor	1.3	1.3	1.3
Holdown Factor	1	1	1
Blocked Joint Factor	1	1	2
Gypsum on Inside Factor	1	1	1
Wind GB Construction Factor	1	1	1
Required Wind Bracing Amount	2.68 ft	5.36 ft	10.72 ft
RESULTS			
Length of Wall Bracing Required	2.68 ft	5.36 ft	10.72 ft



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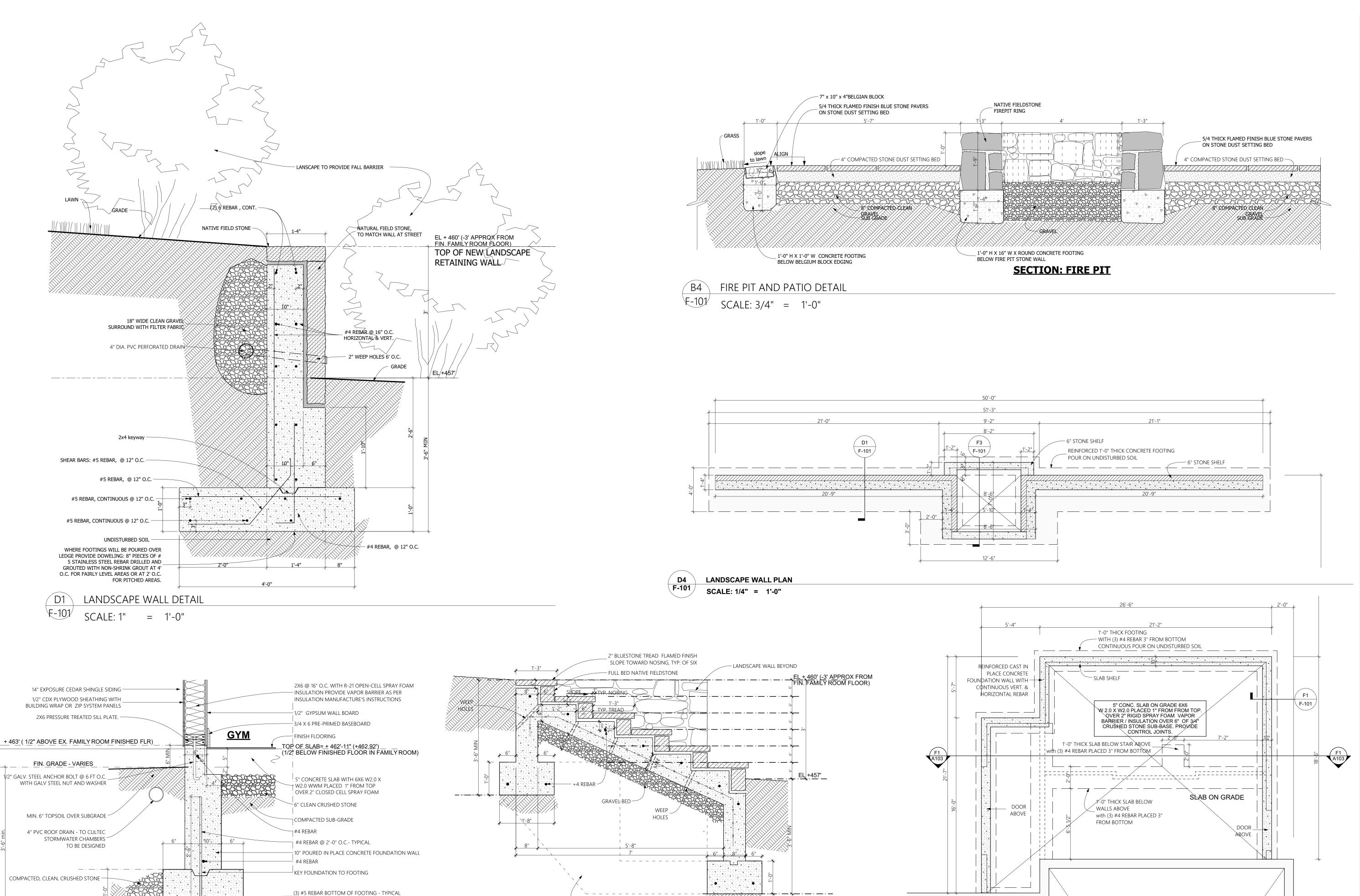
REV DATE DESCRIPTION

FRAMING NOTES &BRACED WALL NOTES date issued

Drawing:

1' = 1'-0", 1/4" = 1'-0", 1" | 2/6/2021 **Drawing No.:**

F-100



— STEP FOOTING

LANDSCAPE STAIR DETAIL

F-101 SCALE: 3/4" = 1'-0"

1'-8"

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

HOLD 3" FROM BOT AND SIDES

– UNDISTURBED SOIL

TYPICAL FOUNDATION DETAIL

SCALE: 1" = 1'-0"

POURED IN PLACE CONCRETE FOOTING

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Residence Philips
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Armonk, NY

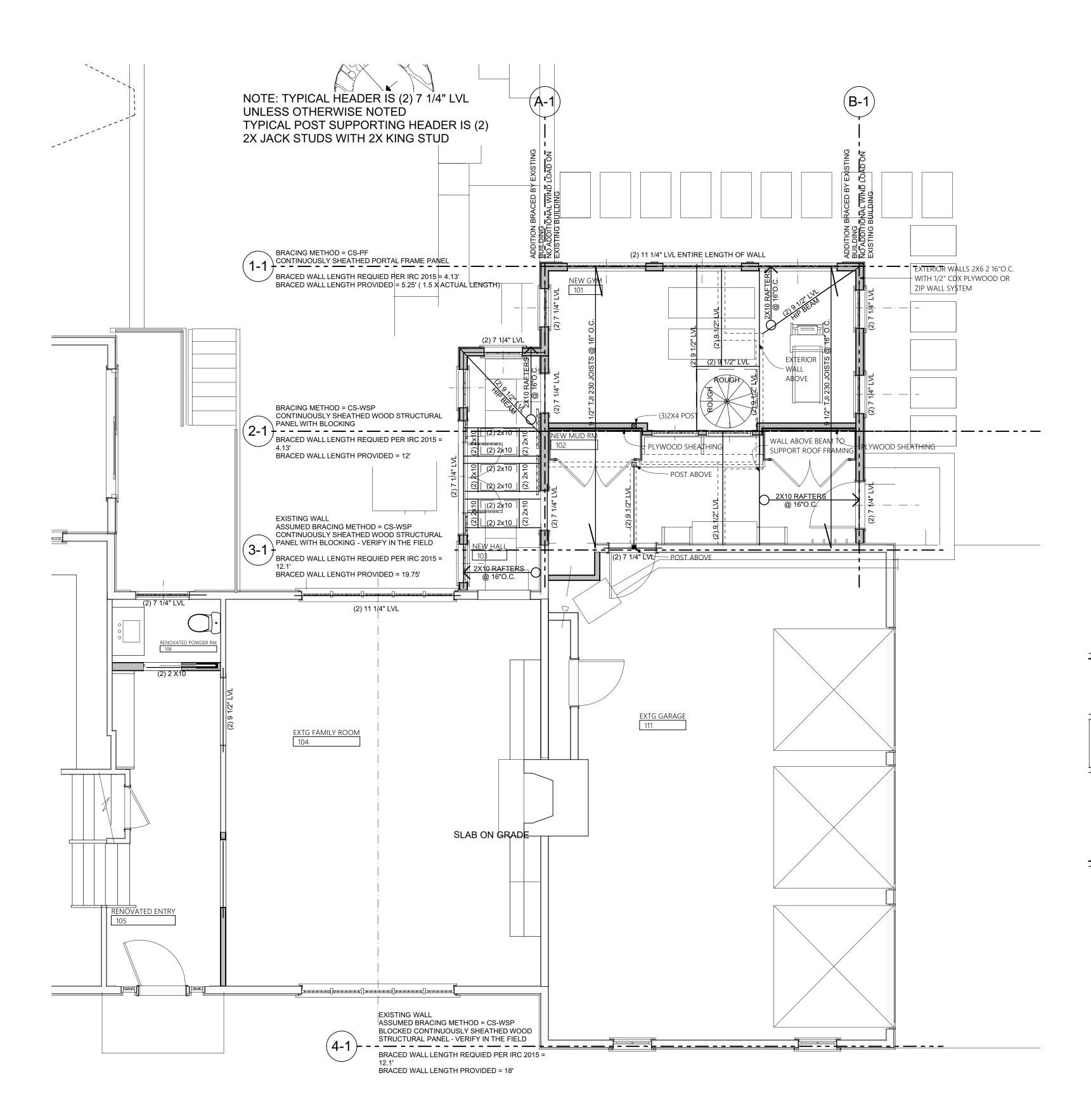
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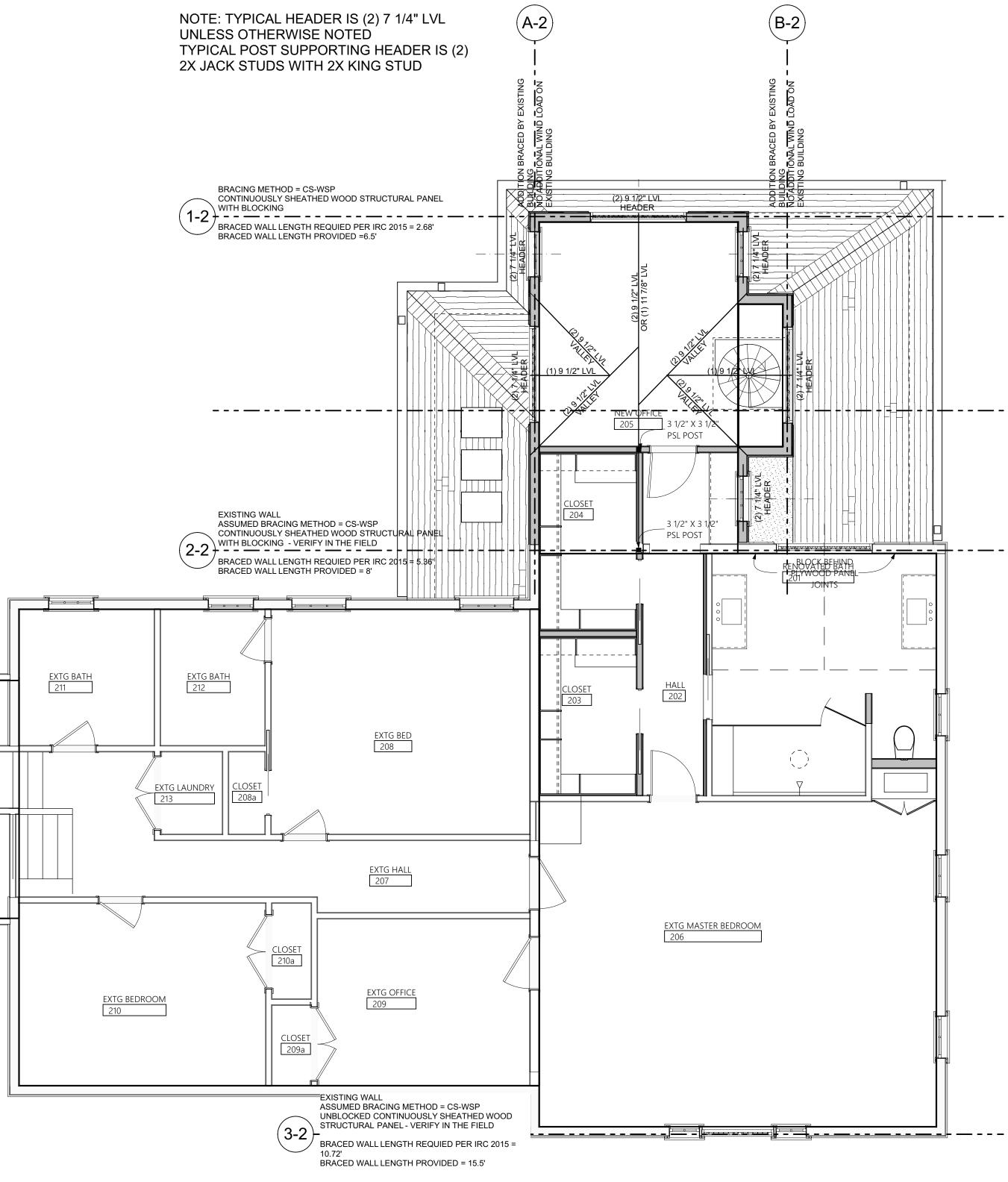
FOUNDATION PLAN AND DETAILS

date issued

Drawing No.:

F-101





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REV DATE DESCRIPTION

Drawing:
2ND FLOOR & ROOF
FRAMING PLAN

scale date issued $\frac{1}{1} = \frac{1}{0}, \frac{1}{4} = \frac{1}{0}$ Drawing No.:

F-102

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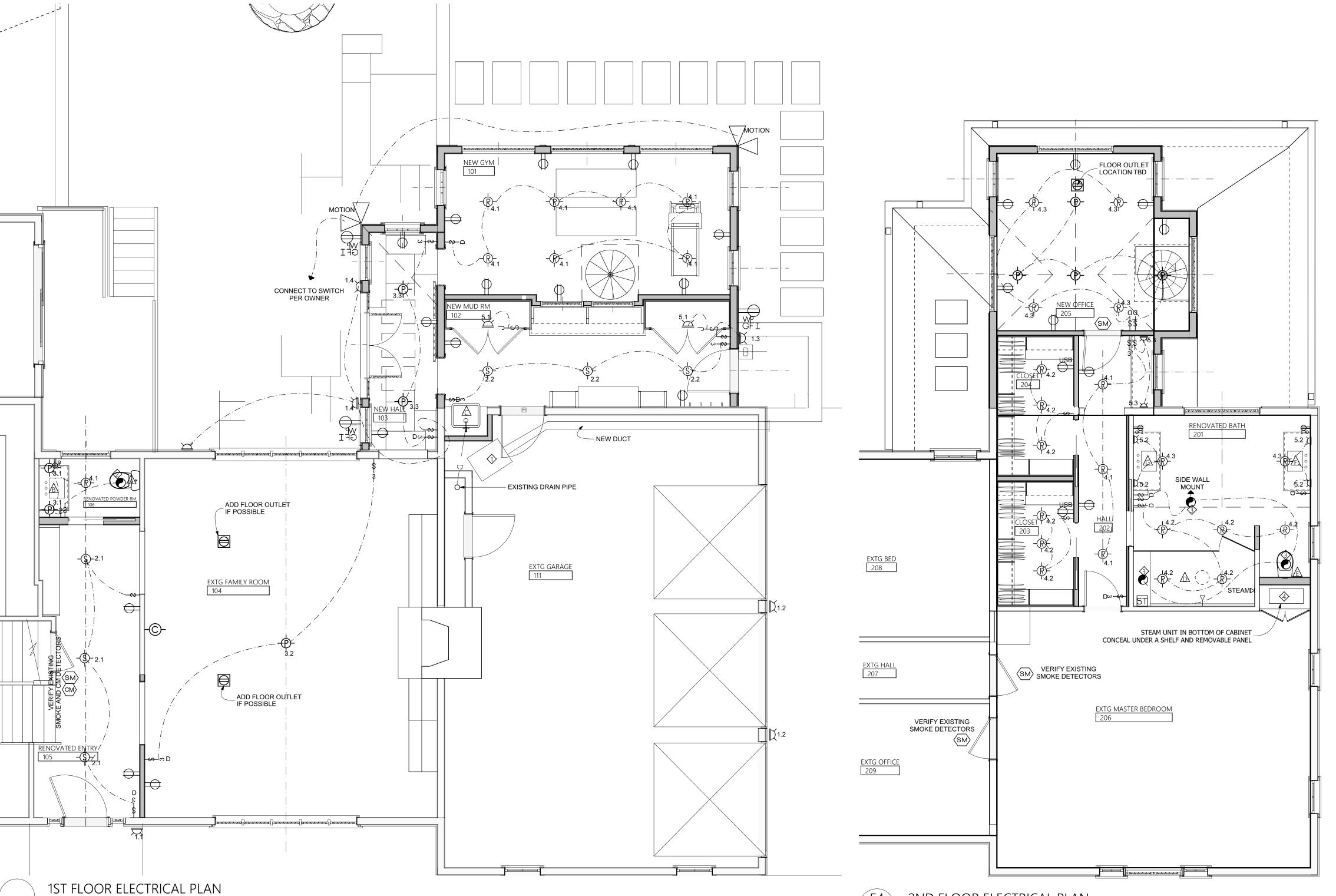
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F4 F-102

102 SCALE: 1/4" = 1'-0"

F-102

F-102 SCALE: 1/4" = 1'-0"



E-101 SCALE: 1/4" = 1'-0"

ELECTRICAL FIXTURE KEY ELECTRICAL NOTES PENDANT LIGHT FIXTURE 1. SWITCHES TO BE MOUNTED 40" A.F.F. TYPICAL. RECESSED CEILING LIGHT FIXTURE RECESSED IN CLOSETS AND ABOVE SHOWERS 2. WALL MOUNTED LIGHTS HEIGHT A.F.F. TO BEDETERMINED IN THE FIELD ALONG WITH CONTROL PLACEMENT. AND TUBS MUST BE COVERED WITH A LENS 3. DIMMER LOCATIONS TO BE VERIFIED IN THE FIELD. SURFACE MOUNTED LIGHT FIXTURE - SWITCH LOCATION TO BE DETERMINED IN THE FIELD 4. COORDINATE CEILING & WALL FIXTURE LOCATIONS WITH FRAMING, HVAC PLANS, INTERIOR DRAWINGS AND REFLECTED CEILING PLANS. IF WALL MOUNTED LIGHT FIXTURE A DISCREPANCY OCCURS, COORDINATE IN THE FIELD WITH THE FLOOD LIGHT. TO BE MOTION ACTIVATED AND ARCHITECT. HAVE A SWITCH LOCATION TO BE DETERMINED IN THE FIELD 5. COORDINATE LOCATION OF THERMOSTATS WITH INTERIOR ELEVATIONS. SINGLE POLE SWITCH . GENERAL CONTRACTOR TO SUPPLY AND INSTALL ALL DUCTS, FANS, AND m-∽ THREE WAY SWITCH APPLIANCES UNLESS OTHERWISE NOTED. **4**-€3- FOUR WAY SWITCH SMOKE, CARBON MONOXIDE, AND HIGH TEMP DETECTORS WILL BE INSTALLED AS REQUIRED BY CODE. 8. WHERE OUTLETS ARE NOT SPECIFICALLY LOCATED ON THE DRAWING, DUPLEX RECEPTACLE PROVIDE MINIMUM NUMBER TO SATISFY LOCAL AND ALL GOVERNING DUPLEX WITH GROUND FAULT INTERRUPTER CODES. LOCATE AS DETERMINEDIN THE FIELD WITH THE ARCHITECT. WHERE OUTLETS ARE REQUIRED BY CODE AND INSTALLED WITHOUT DUPLEX WATER PROOF SUCH SPECIFIC DIRECTION, LOCATE AS DIRECTED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE CLIENT. GROUND FAULT INTERRUPTER EXHAUST FAN DOOR BELL SMOKE DETECTOR HARD-WIRED WITH BATTERY BACK-UP CARBON MONOXIDE DETECTOR - HARD WIRED WITH BATTERY BACK UP

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Residence

REV DATE DESCRIPTION

ELECTRICAL PLANS,
APPLIANCE & ELEC.
FIXTURE SCHEDULE
scale date issued
1:53.33, 1/4" = 1'-0", 1:1.11, 1" 2/6/2021

Drawing No.:

E-101



APPLIANCE FIXTURE SCHEDULE

2ND FLOOR ELECTRICAL PLAN

E-101 SCALE: 1/4" = 1'-0"

NUMBER	FIXTURE	MANUFACTURER	CATALOG#	REMARKS
1	EXISTING GARAGE HEATER	_		RE-DUCT TO FRONT OF GARAGE
2	EXHAUST FAN	GREENHECK	CSP-B110	
3	EXHAUST FAN	Fantech	CVS 300A Multi-Port Ventilation, 3 Points, 355 CFM	
4	STEAM UNIT	THERMASOL	PRO-240 STEAM GENERATOR	

#	LOCATION	DESCRIPTION	MANUFACTURER	CATALOG#	LAMP	QUANTITY	REMARKS
					•		
2.1	entry 105	ceiling mounted fixture				3	
3.1	pwdr rm 106	pendant				2	in closet
4.1	pwdr rm 106, gym 101, master hall 202	3.5" recessed light	WAC or approved equal		2700 K LED	11	
3.2	family room 104	pendant				1	
3.3	new hall 103	pendant				2	
2.2	mud room 102	ceiling mounted fixture				3	
5.1	mud room 102	wall mounted				2	
4.2	master closets. Master bath 201	3.5" recessed light wet location	WAC or approved equal		2700 K LED	11	over island
4.3	master bath 201, office 205	3.5" recessed light , slope ceiling	WAC or approved equal		2700 K LED	6	
5.2	master bath 201	wall sconce				4	
5.3	master hall 202	wall sconce				2	
3.4	office 205	pendant				4	
#	LOCATION	DESCRIPTION	MANUFACTURER	CATALOG #	LAMP	QUANTITY	REMARKS
XTER	IOR				_		
1.1	front entry	wall sconce				1	
1.2	garage front	wall sconce				2	
1.3	mudroom	wall sconce				1	
1.4	back patio	wall sconce				3	
1.5	under eaves	flood lights				2	
						58	total