



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Peter and Jin Philips

Initial Submittal Revised Preliminary

Street Location: 4 Valley Lane; Armonk, NY

Zoning District: 1.5 A Property Acreage: 1.193 Tax Map Parcel ID: 102.03-1- 67

Date: Philips Residence

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
 www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Philips Residence Date: 2/8/21

Tax Map Designation or Proposed Lot No.: 102.03-1-67

Floor Area

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): 51,966.71 SF
2. Maximum permitted floor area (per Section 355-26.B(4)): 8,231.4 SF
3. Amount of floor area contained within first floor:
 - 1,777.38 existing + 453.21 proposed = 2,230.59 SF
4. Amount of floor area contained within second floor:
 - 1,855.57 existing + 224.98 proposed = 2,080.55 SF
5. Amount of floor area contained within garage:
 - 709.44 existing + 0 proposed = 709.44 SF
6. Amount of floor area contained within porches capable of being enclosed:
 - 0 existing + 0 proposed = 0
7. Amount of floor area contained within basement (if applicable – see definition):
 - 861.75 (NOT COUNTED) existing + 0 proposed = 0
8. Amount of floor area contained within attic (if applicable – see definition):
 - 0 existing + 0 proposed = 0
9. Amount of floor area contained within all accessory buildings:
 - 0 existing + 0 proposed = 0
10. Proposed floor area: Total of Lines 3 – 9 = 5,020.59 SF

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Kathleen Poirier
 Signature and Seal of Professional Preparing Worksheet

035369-1

2/8/2021
 Date





TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

BUILDING DEPARTMENT
 Robert Melillo
 Building/ Fire inspector

Telephone: (914) 273-3000 ext. 44
 Fax: (914) 273-3554
 www.northcastlennv.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Philips Residence Date: 2/8/2021
 Tax Map Designation or Proposed Lot No.: 102.03-1-67

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 51,966.71 SF
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):
10,289.6 SF
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
82.5 x 10 = 825.5 SF
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3
11,112.10 SF
5. Amount of lot area covered by principal building:
2555.86 existing + 476 proposed = 3,031.86 SF
6. Amount of lot area covered by accessory buildings:
0 existing + 0 proposed = 0
7. Amount of lot area covered by decks:
140 existing + 0 proposed = 138.17 SF
8. Amount of lot area covered by porches:
32 existing + 40 proposed = 72 SF
9. Amount of lot area covered by driveway, parking areas and walkways:
3,178.62 existing + 124.83 proposed = 3,303.45 SF
10. Amount of lot area covered by terraces:
841.96 existing + 61 proposed = 1,452.96 SF
11. Amount of lot area covered by tennis court, pool and mechanical equip:
0 existing + 35.67 proposed = GENERATOR 35.67 SF
12. Amount of lot area covered by all other structures: STAIRS
0 existing + 32.5 proposed = 32.5 SF
13. Proposed gross land coverage: Total of Lines 5 – 12 = 8,066.61 SF

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Kathleen Poirier
 Signature and Seal of Professional Preparing Worksheet



035369-1

2/8/2021
 Date



Town of North Castle Building Department

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

www.northcastleny.com

Residential Building Permit Application

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

Section I- PROJECT ADDRESS: 4 Valley Lane, Armonk, NY 10504 DATE: 2/8/2021

Section II- CONTACT INFORMATION: (Please print clearly. All information must be current.)

APPLICANT: Kathleen Poirier Architects, LLC

ADDRESS: 40 Twin Oak Lane, Wilton, CT 06897

PHONE: 203-210-5199 MOBILE: 203-807-0589 EMAIL: kpoirier@kparchitects.com

PROPERTY OWNER: Jin & Peter Philips

ADDRESS: 4 Valley Lane, Armonk, NY 10504

PHONE: MOBILE: 347-453-4278 EMAIL: jinhphilips@gmail.com pterephilips@gmail.com

Section III- DESCRIPTION OF WORK: (Any work conducted outside of the house requires approval from the RPRC unless the proposed action is minor in nature and complies with 355-26 C (3) of the Town of North Castle code.)

ADDITION OF NEW MUDROOM / GYM OFF REAR OF EXISTING GARAGE. ADD NEW OFFICE ON 2ND FLOOR OF NEW ADDITION. RENOVATION TO EXISTING MASTER BATH & CLOSETS. RENOVATE ENTIRE HALL & 1st FLOOR POWDER ROOM. REMOVE PORTION OF PATIO AT NEW ADDITION. ADD NEW PATIO WITH FIREPIT. REGRADE PORTION OF BACKYARD & ADD LANDSCAPE WALL & STEPS.

Section IV- USE AND OCCUPANCY:

EXISTING/ CURRENT USE: SINGLE FAMILY RESIDENCE

PROPOSED RESIDENTIAL:

- One Family Dwelling Two Family Dwelling Townhouse Detached Accessory Structure

Section V- PERMIT FEES: (\$100 app fee plus \$14 per \$1000, cost of construction and a \$75 CO fee.)

ESTIMATED COST OF CONSTRUCTION (Based on fair market value labor & material) \$ 300,000.00

AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is \$20,000 or more.

Town of North Castle Building Department

Section V- (Continued)

I Kathleen Poirier do hereby affirm and certify as follows: (i) I am the architect/engineer (circle one) licensed by the State of New York; (ii) I have reviewed the plans, drawings and specifications for this application and am fully familiar with the proposed construction; (iii) based on my experience, I estimate the total cost of construction including all labor, all materials, all professional fees and all associated costs to be approximately \$ 300,000.00, and (iv) pursuant to Penal Law 240.45, I acknowledge that a false statement made knowingly is a Class A misdemeanor.

Signature: [Handwritten Signature] Date: 2/8/2021



Sign and Affix Seal Here

Section VI- CONTACT INFORMATION: (Please print clearly. All information must be current)

ARCHITECT/ ENG: Kathleen Poirier

ADDRESS: 40 TWIN OAK LANE; Wilton, CT 06897

PHONE: 203-210-5199 MOBILE: 203-807-0589

EMAIL: kpoirier@kparchitects.com

CONTRACTOR: Blansfield Builders

ADDRESS: 2 High fields Drive; Danbury, CT 06811

PHONE: 203-797-9174 MOBILE: 203-948-6121 EMAIL: general@blansfieldbuilders.com

PLUMBER:

ADDRESS:

PHONE: MOBILE: EMAIL:

ELECTRICIAN:

ADDRESS:

PHONE: MOBILE: EMAIL:

Section VII- APPLICANT CERTIFICATION

I hereby certify that I have read the instructions & examined this application and know the same to be true & correct. All provisions of laws & ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature: [Handwritten Signature] Date: 2/8/2021

Philips Residence

4 Valley lane; Armonk, NY
Single Family addition/renovation to existing residence

LIST OF DRAWINGS

T-100 TITLE SHEET

SURVEY WITH PROPOSED WORK ADDED & FAR

ARCHITECTURAL

D-100 DEMOLITION PLAN

A-100 1ST & 2ND FLOOR PLANS

A-101 ROOF PLAN & ELEVATIONS

A-102 ELEVATION AND SCHEDULES

A-103 SECTION THROUGH ADDITION

STRUCTURAL

F-100 FRAMING NOTES & FOUNDATION PLAN

F-101 BRACED WALL CALCS AND NOTES

F-102 2ND FLOOR FRAMING & ROOF FRAMING PLANS

PLANS

ELECTRICAL

E-101 1ST & 2ND FLOOR ELECTRICAL PLAN

LOCATION MAP



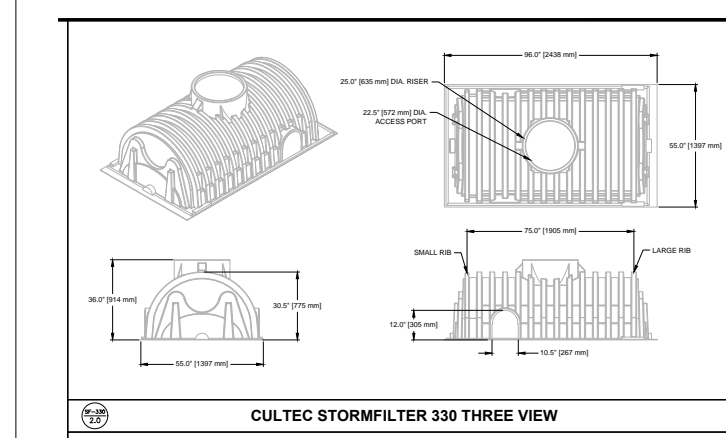
ROOF RUNOFF:
PEAK RAINFALL INTENSITY:
2" PER HOUR
DATA SOURCE: NOAA PRECIPITATION FREQUENCY

PEAK RUNOFF VOLUME:
597 GALLONS
80 CF

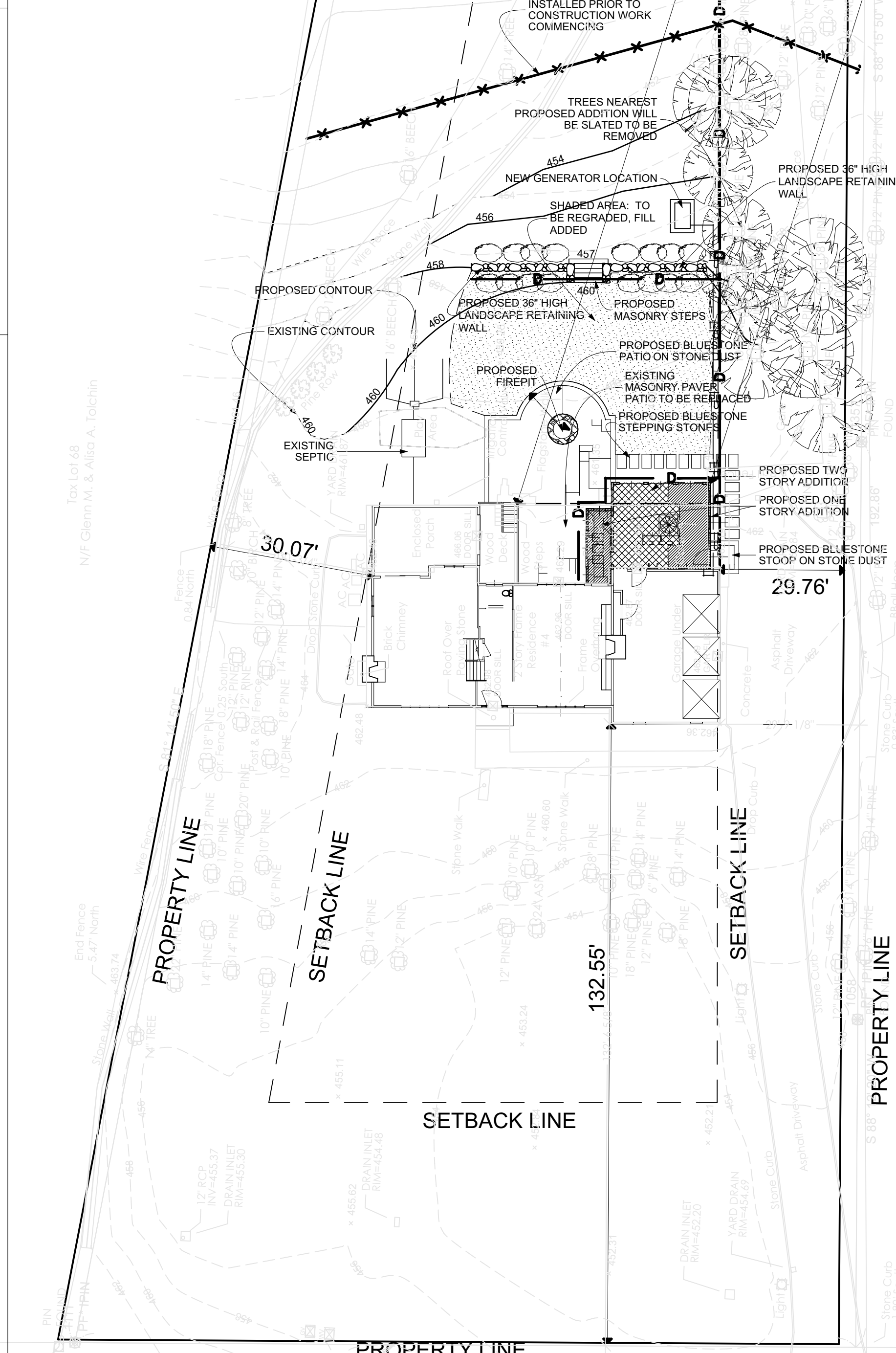
PEAK RUNOFF RATE:
10 GALLONS PER MINUT
.02 CF/SECOND

ROOF RUNOFF CALCULATION:
1.0 ABSORPTION X 27/12 RAINFALL X 476 SF (ADDITION)
= 79.33 CUBIC FEET REQUIRED

USE CULTEC RECHARGER MODEL 330XLHD 30.5" H X 52" W X 7" L
TOTAL STORAGE PROVIDE: 201.8 CF



CULTEC STORMFILTER 330 THREE VIEW



- GENERAL NOTES:**
1. ALL CONTRACTORS INVOLVED IN THE RENOVATION, CONSTRUCTION, OR IMPROVEMENTS TO THIS PROPERTY SHALL ADHERE TO THE RESIDENTIAL BUILDING CODE OF NEW YORK AND ALL APPLICABLE LAWS AND ORDINANCES (INCLUDING WITHOUT LIMITATION ALL THE APPLICABLE STATE, LOCAL AND FEDERAL BUILDING, ZONING, ENVIRONMENTAL, AND SAFETY AND SANITARY CODES), IN A GOOD AND WORKMANLIKE MANNER, AND SUBSTANTIALLY IN ACCORDANCE WITH THE DRAWINGS.
 2. THE INTENT OF THE DOCUMENTS IS TO SHOW NEW CONSTRUCTION ONLY. PROVIDE ALL REQUIRED DEMOLITION TO ACCOMPLISH THE NEW WORK AS SHOWN.
 3. VERIFY ALL FIELD CONDITIONS PRIOR TO EXECUTION OF THE WORK AND NOTIFY THE ARCHITECT OF DISCREPANCIES OR UNSATISFACTORY WORK.
 4. PROVIDE ALL TEMPORARY BRACING, SHORING, FORMS, ETC. PROVIDE ALL REQUIRED TEMPORARY ENCLOSURES TO PROTECT THE NEW AND EXISTING CONSTRUCTION MATERIALS AND EQUIPMENT FROM THE WEATHER AND TO PROTECT THE UNALTERED AREA FROM THE DUST AND DEBRIS OF CONSTRUCTION.
 5. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY DAMAGE OCCURRING FROM THE NEW WORK DUE TO EXPOSURE TO WEATHER OR HIS MANNER OR METHODS OF CONSTRUCTION.
 6. FOR ALL GUARANTEES AND WARRANTIES, SEE THE MANUFACTURERS SPECIFICATIONS. GC TO WARRANTY TO THE OWNER THAT: (1) MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT WILL BE NEW AND OF GOOD QUALITY UNLESS OTHERWISE REQUIRED OR PERMITTED BY THE CONTRACT DOCUMENTS; (2) THE WORK WILL BE FREE FROM DEFECTS NOT INHERENT IN THE QUALITY REQUIRED OR PERMITTED; AND (3) THE WORK WILL CONFORM TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
 7. PROVIDE ALL REQUIRED MISCELLANEOUS ROUGH AND FINISH CARPENTRY, HEADERS, LINTELS, BLOCKING, FURRING, TRIMMING, ETC.
 8. WORK AREA IS TO BE CLEAN AND CLEAR FROM DEBRIS DURING CONSTRUCTION. AFTER CONSTRUCTION, AREA SHOULD BE IN BROOM-CLEAN CONDITION AT A MINIMUM.

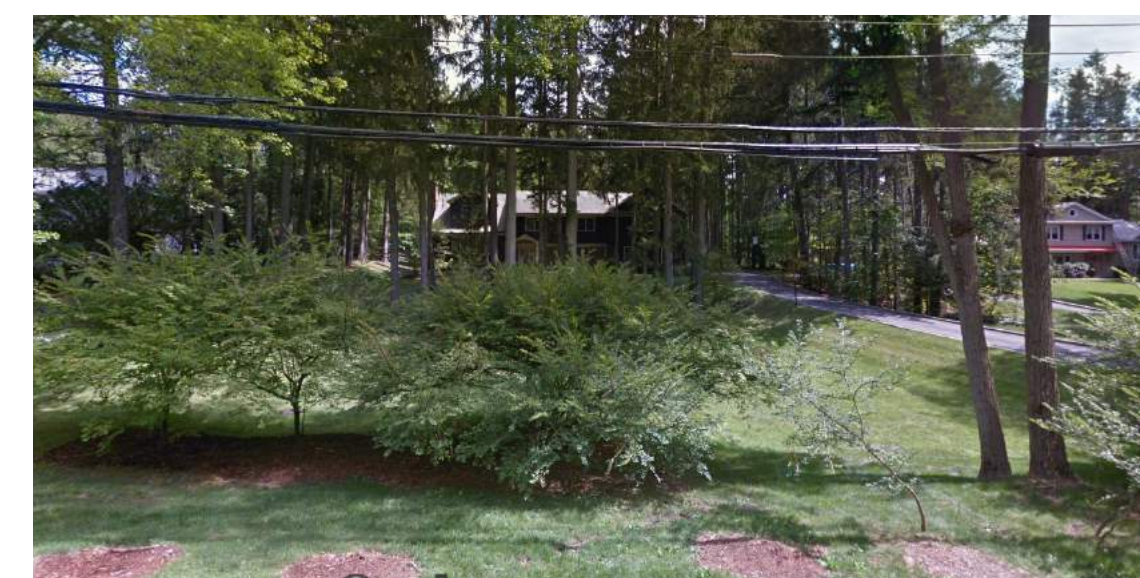
- PROCEDURES, CONTROLS, AND PAYMENTS**
1. PROVIDE COORDINATION OF WORK. COORDINATE WORK BETWEEN TRADES SUPERVISORY PERSONNEL ON THE JOB SITE WHENEVER SUBCONTRACTORS OR TRADESMEN ARE WORKING.
 2. HOLD PRE-CONSTRUCTION CONFERENCE AND JOB MEETINGS WITH OWNER, ARCHITECT, AND ANY RELEVANT SUBCONTRACTORS. HOLD OTHER MEETINGS AS REQUIRED.
 3. ALL CONTRACTORS ARE REQUIRED TO VISIT THE SITE BEFORE SUBMITTING BIDS, TO INSPECT THE PREMISES AND VIEW THE EXISTING CONDITIONS TO VERIFY ALL CONDITIONS, SIZES AND QUANTITIES. EXISTING CONDITIONS WHICH MIGHT PRECLUDE OR INTERFERE WITH THE PROPOSED WORK AS DRAWN OR SPECIFIED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION BEFORE WORK COMMENCES.
 4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION BEFORE WORK COMMENCES.
 5. THE CONTRACTOR SHALL BE INSURED UNDER THE TYPES AND LIMITS REQUIRED BY LAW AND SHALL INCLUDE THE OWNER AND ARCHITECT AS INSURED, WHERE AND WHEN REQUIRED.
 6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE WORK, UNLESS OTHERWISE NOTIFIED, AND SHALL SECURE ALL REQUIRED INSPECTIONS AND THE CERTIFICATE OF OCCUPANCY. A COPY OF ALL PERMITS AND THE CERTIFICATE OF OCCUPANCY ARE TO BE SENT TO THE ARCHITECT.
 7. SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSES NECESSITATE CONSTRUCTION DETAILS NOT IN ACCORDANCE WITH THESE PLANS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND SUBMIT DETAILS SHOWING THE PROPOSED CHANGE.
 8. ALL WORK SHALL CONFORM TO THE CONNECTICUT STATE BUILDING & ENERGY CODES AND ALL OTHER APPLICABLE, MUNICIPAL, STATE AND FEDERAL RULES AND REGULATIONS.
 9. DISCONNECT AND SAFELY CAP ALL UTILITIES SERVING THE SITE PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK. PROVIDE ANY TEMPORARY SERVICES AS NEEDED.
 10. CONTRACTOR SHALL MAKE SUCH TESTS OF HIS WORKMANSHIP AND MATERIALS AS ARE REQUIRED BY THE BUILDING CODE, STATE AND MUNICIPAL LAWS, AND SPECIFICATION SECTIONS AT HIS OWN EXPENSE, UNLESS OTHERWISE NOTED.
 11. SUBMIT PROGRESS SCHEDULE, BAR-CHART TYPE, UPDATED MONTHLY AND RESUBMITTED WITH EVERY APPLICATION FOR PAYMENT.
 12. APPLICATIONS FOR PAYMENTS SHOULD BE ACCOMPANIED WITH A SCHEDULE OF VALUES, INDICATING THE VALUE OF WORK COMPLETED DURING THE PERIOD.
 13. PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS THAT HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 14. INSTALL MATERIALS AND SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPROVED SUBMITTAL. INSTALL MATERIALS AND SYSTEMS IN PROPER RELATION WITH ADJACENT CONSTRUCTION AND WITH UNIFORM APPEARANCE. COORDINATE WITH WORK OF ALL SECTIONS.
 15. RESTORE DAMAGED FINISHES. CLEAN AND PROTECT WORK FROM DAMAGE.

PLANS MEET ALL NYS BUILDING CODES AND ENERGY CODES

- BUILDING: NEW YORK STATE BUILDING CODE COMMENCED 2020
- ELECTRICAL: NATIONAL ELECTRIC CODE
- MECHANICAL: NEW YORK STATE BUILDING CODE COMMENCED 2020
- PLUMBING: NEW YORK STATE BUILDING CODE COMMENCED 2020
- FIRE: NEW YORK STATE BUILDING CODE COMMENCED 2020
- HANDICAP: FEDERAL ADA ACCESSIBILITY GUIDELINES
- ENERGY: INTERNATIONAL ENERGY CONSERVATION CODE 2015

EXPOSURE CRITERIA					
SUBJECT TO DAMAGE					
GROUND SNOW LOAD	WIND SPEED (MPH)	WEATHERING	FROSTLINE (DEPTH)	TERMITE	DECAY
30psf	115 MPH	SEVERE	3'-6"	MODERATE / HEAVY	SLIGHT
SEISMIC ZONE					
B	WINTER DESIGN TEMP. 7 F	ICE SHIELD REQUIRED YES	FLOOD ZONE ZONE A (WITHOUT BASE FLOOD ELEVATION)		

F4 ARCHITECTURAL SITE
SCALE: 1" = 20'
BASED UPON SURVEY PREPARED BY TC MERRITTS, LS, DATED NOV. 19, 2020



EXISTING FRONT ELEVATION FROM ROADWAY

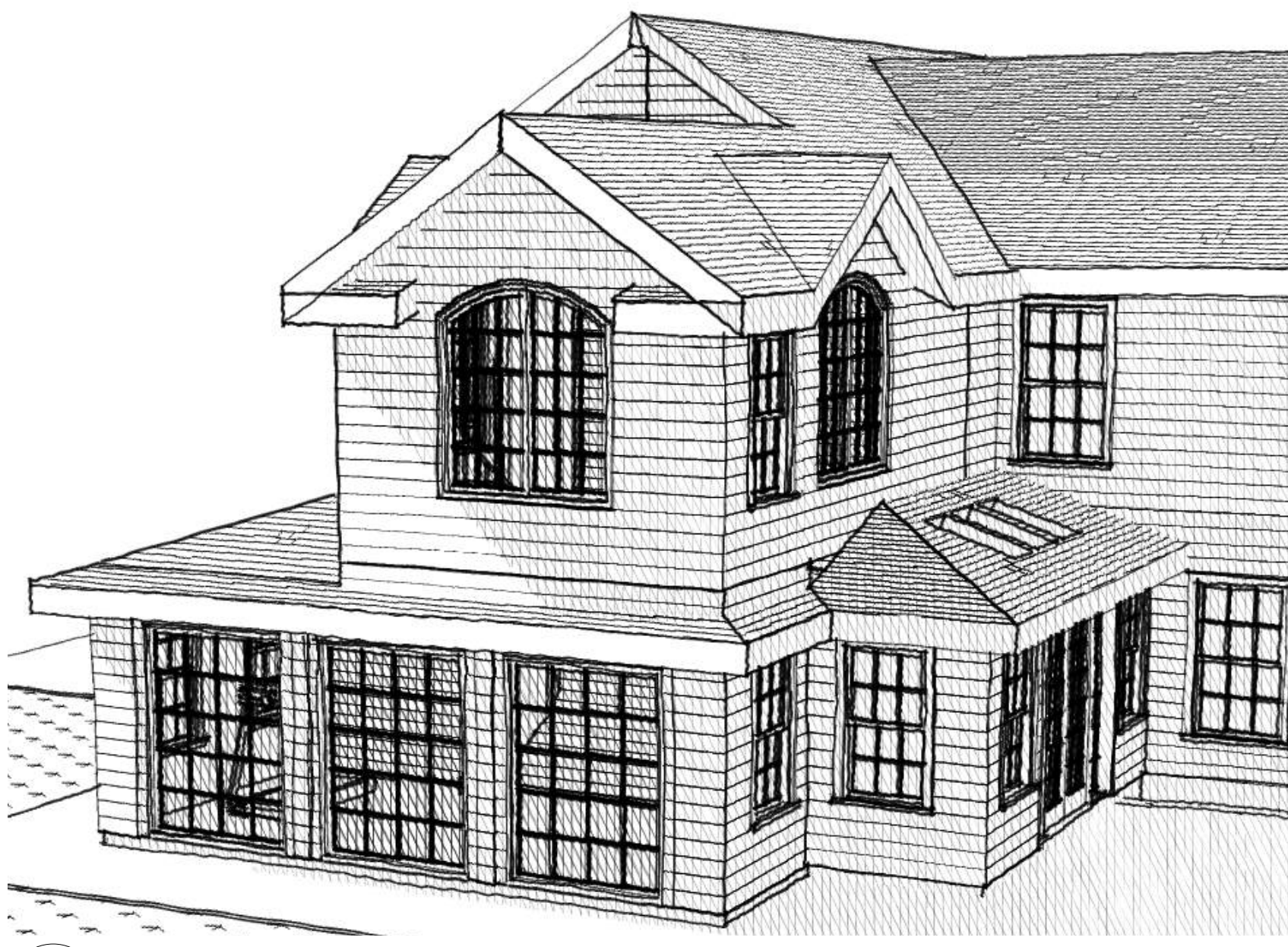


CLOSE VIEW OF EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION

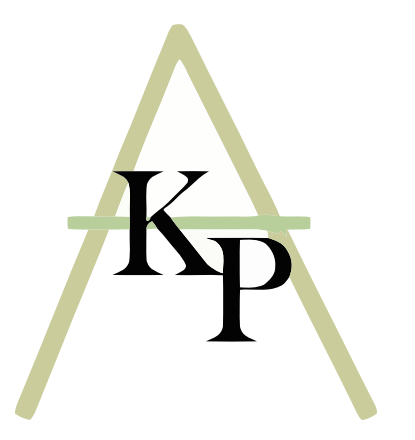
PROPOSED ADDITION LOCATION



E2 perspective view of new rear addition
NOT TO SCALE



F2 perspective view of new rear addition
NOT TO SCALE



Kathleen Poirier Architects, LLC
40 Twin Oak Lane
Wilton, CT 06897
phone: 203-210-5199
fax: 815-366-7584
kpoirier@kparchitects.com
www.kparchitects.com

Philips Residence
4 Valley lane Armonk NY
Armonk, NY

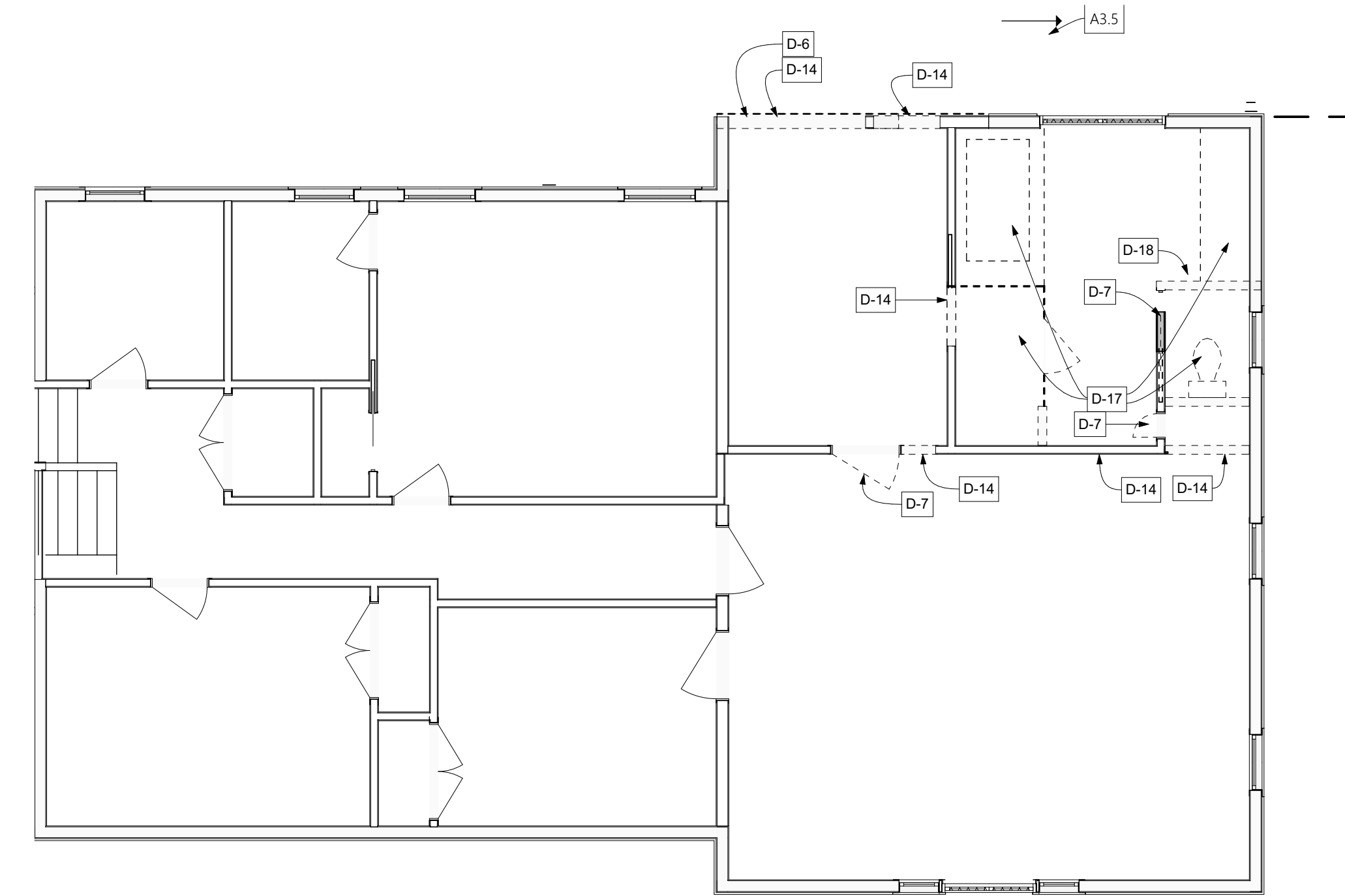
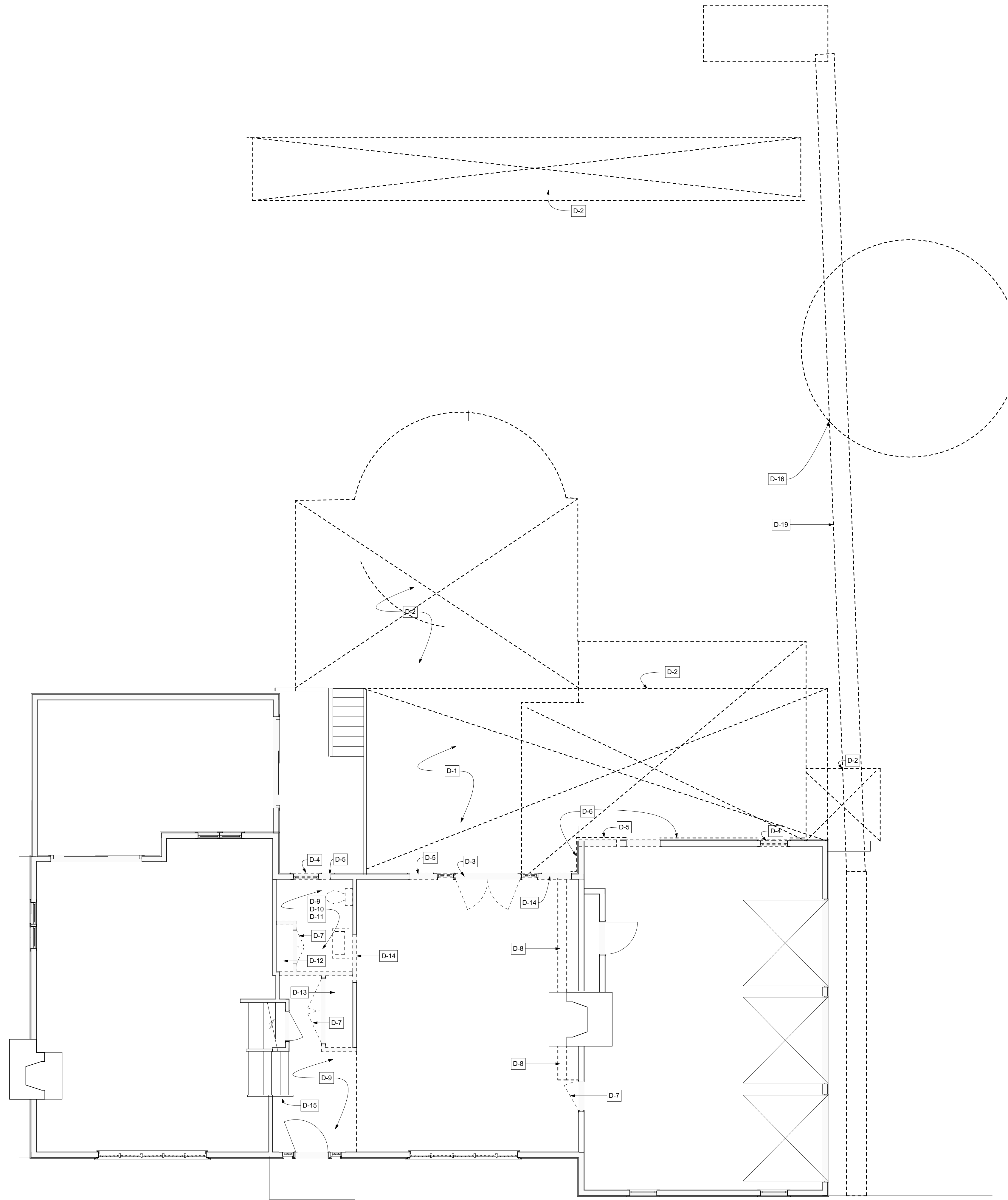


REV	DATE	DESCRIPTION

Drawing:
title sheet
scale 1"=0', 1"=20', 1"=100'
date issued 2/6/2021

Drawing No.:
T-100

OWNER AND CONTRACTOR OF RECORD
DESIGN AND CONSTRUCTION OF THIS PROJECT HAS BEEN PROVIDED TO THE ARCHITECT BY THE OWNER AND CONTRACTOR. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED AND HAS FOUND IT TO BE REASONABLY ACCURATE. THE ARCHITECT HAS NOT CONDUCTED ANY SURVEYING OR ENGINEERING WORK. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE DRAWINGS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE PROJECT OR BY THE WORK OF THE CONTRACTORS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY VIOLATIONS OF ANY APPLICABLE LAWS, REGULATIONS, OR ORDINANCES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY COSTS INCURRED BY THE OWNER OR CONTRACTOR IN CONNECTION WITH THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR INTERUPTIONS IN THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY OTHER MATTERS NOT SPECIFICALLY MENTIONED IN THESE TERMS AND CONDITIONS.

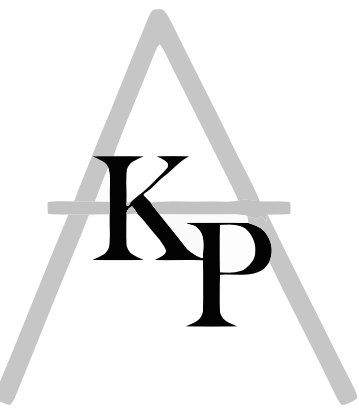


GENERAL DEMOLITION NOTES:

- G1. PROTECT PROJECT FROM ENTRY BY UNAUTHORIZED PERSONS.
- G2. SHORE ALL SELECTIVE DEMOLITION AREAS AS REQUIRED TO PREVENT FAILURE.
- G3. CAP ALL UTILITIES AS REQUIRED AND AUTHORIZED BY THE PROVIDER AND TO CODE.
- G4. STORE AND DISPOSE OF ALL DEMOLITION MATERIALS IN A LEGAL MANNER IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES.
- G5. WHENEVER POSSIBLE, DIRECT DEMOLITION MATERIALS TO "RECYCLING" OR "REUSE" BY APPROVED AUTHORITIES AND NOTIFY THE OWNER AND ARCHITECT OF SAME.
- G6. NOTIFY AND COORDINATE EGRESS TO THE WORK AREA WITH SECURITY SERVICE IF SAME EXISTS.
- G7. PROTECT EXISTING STRUCTURES FROM EXPOSURE TO ELEMENTS DURING AND AFTER DEMOLITION.
- G8. ALL EXISTING AREAS TO REMAIN TO BE PATCHED AND REPAIRED, AS REQUIRED, TO MEET AND MATCH ADJACENT EXISTING FLOOR FINISH FLUSH IF POSSIBLE.
- G9. NEW FLOORS TO MEET AND MATCH ADJACENT EXISTING FLOOR FINISH FLUSH IF POSSIBLE.
- G10. ELECTRICAL: REMOVE EXISTING ELECTRICAL ITEMS NOT INTENDED FOR REUSE. SEE ELECTRICAL PLANS FOR SCOPE OF ELECTRICAL WORK. ALL EXISTING POWER TO REMAIN SHALL BE RECONNECTED TO BRANCH CIRCUITS.

DEMOLITION NOTES:

- D1. REMOVE EXISTING PATIO PAVERS. SAVE FOR POSSIBLE FUTURE REUSE.
- D2. EXCAVATE FOR NEW BUILDING ADDITION. EXCAVATE FOR NEW PATIO AND STOOP. EXCAVATE FOR NEW RETAINING WALL AND STEPS AND ANY REQUIRED WATER RETENTION.
- D3. REMOVE EXISTING FRENCH DOOR AND SAVE FOR REUSE.
- D4. REMOVE EXISTING WINDOWS AND DISPOSE.
- D5. DEMO WALL FOR NEW WINDOW OPENING. PROVIDE TEMPORARY SHORING AS REQUIRED.
- D6. REMOVE EXTERIOR SIDING AND HOUSE WRAP IN LOCATION OF NEW ADDITION. KEEP EXISTING PLYWOOD FOR SHEAR WALL.
- D7. REMOVE EXISTING DOOR AND RELATED TRIM.
- D8. REMOVE EXISTING CABINERY ALONG FIREPLACE WALL.
- D9. REMOVE FLOORING IN ENTRY HALL AND POWDER ROOM.
- D10. REMOVE WALL FINISHES IN POWDER ROOM.
- D11. REMOVE PLUMBING FIXTURES IN POWDER ROOM.
- D12. REMOVE CLOSET IN POWDER ROOM.
- D13. REMOVE CLOSET IN ENTRY HALL.
- D14. REMOVE WALL IN LOCATION SHOWN FOR NEW DOORWAY OR OPENING. PROVIDE TEMPORARY SHORING AS REQUIRED.
- D15. REMOVE EXISTING STAIR RAILS - PREPARE FOR NEW.
- D16. REMOVE EXISTING TREES - NUMBER AND LOCATIONS TO BE DETERMINED IN THE FIELD.
- D17. REMOVE EXISTING SHOWER, TUB, VANITY AND TOILET IN EXISTING MASTER AND ALL RELATED PARTS.
- D18. REMOVE EXISTING TOILET STALL.
- D19. TRENCH FOR NEW CONDUIT TO NEW GENERATOR.



Kathleen Poirier Architects, LLC
 40 Twin Oak Lane
 Wilton, CT 06897
 phone: 203-210-5199
 fax: 815-366-7584
 kpoirier@kparchitects.com
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Philips Residence
 4 Valley lane Armonk NY
 Armonk, NY

REV	DATE	DESCRIPTION

Drawing:
DEMOLITION PLAN

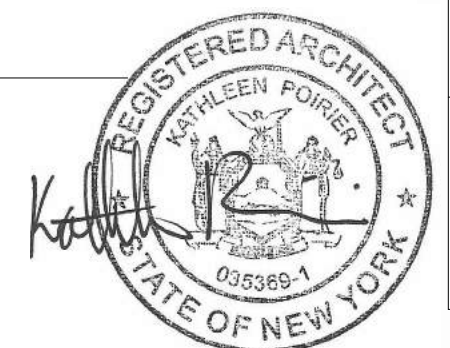
scale 3/16" = 1'-0", 1/4" = 1'-0", 1/8" = 1'-0"
 date issued 2/6/2021

Drawing No.:

D-100

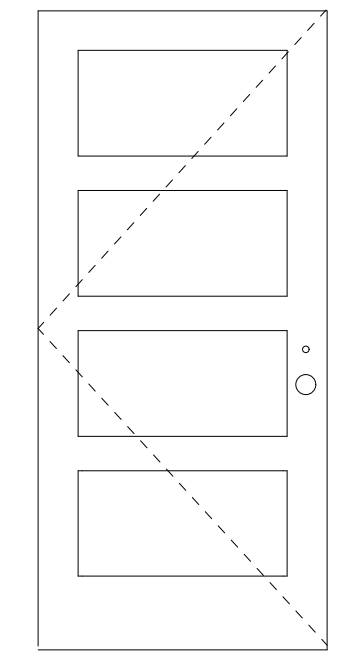
D-100 SCALE: 3/16" = 1'-0"

F5
D-100 SCALE: 3/16" = 1'-0"



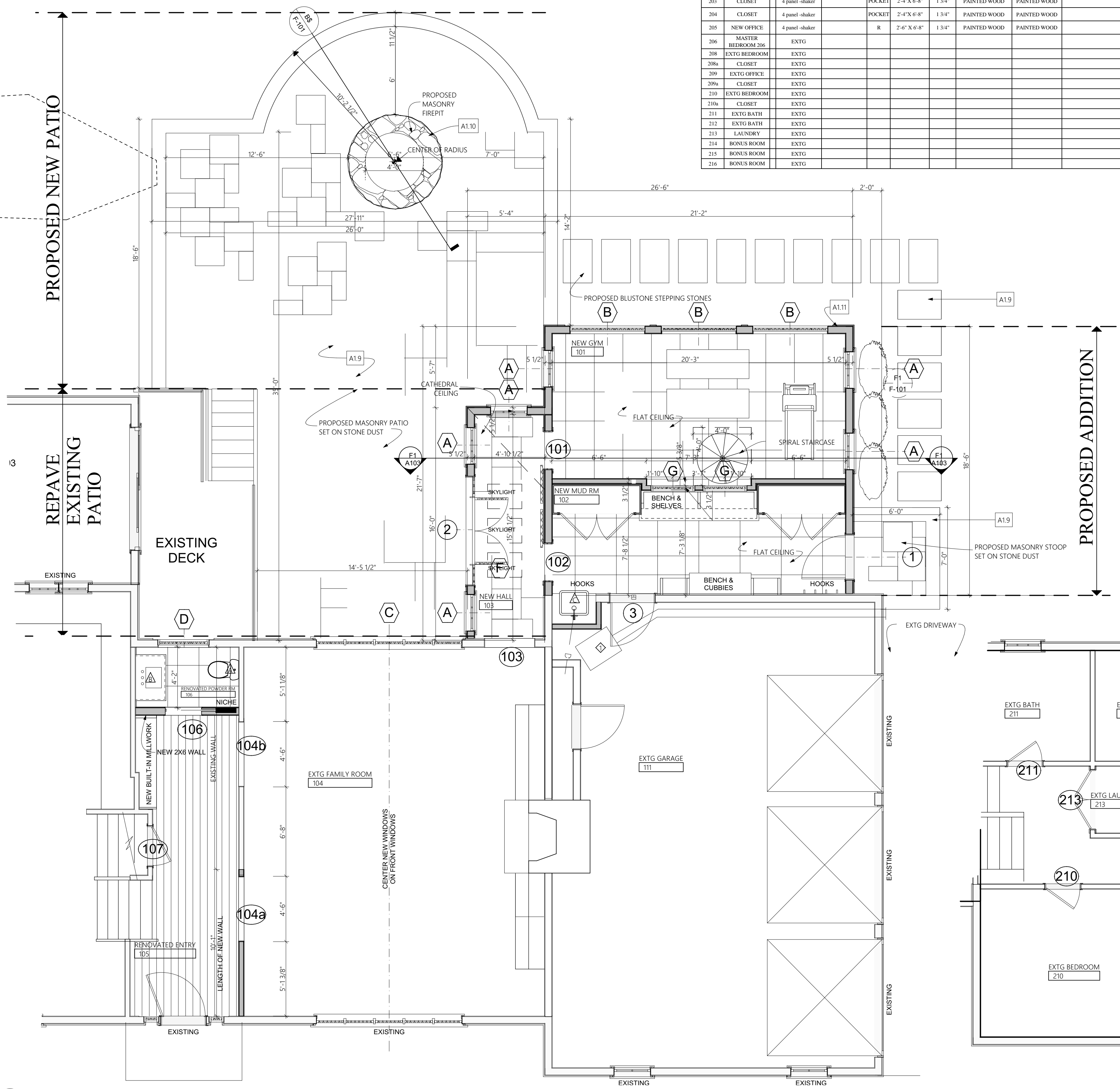
KNOWLEDGE AND SKILL OF ARCHITECTS IN THE PERFORMANCE OF PROFESSIONAL SERVICES, AND WHO SHALL BEAR THE RESPONSIBILITY FOR THE DESIGN OF SUCH SERVICES. ARCHITECTS SHALL BE RESPONSIBLE FOR THE DESIGN OF SUCH SERVICES. ARCHITECTS SHALL BE RESPONSIBLE FOR THE DESIGN OF SUCH SERVICES. ARCHITECTS SHALL BE RESPONSIBLE FOR THE DESIGN OF SUCH SERVICES. ARCHITECTS SHALL BE RESPONSIBLE FOR THE DESIGN OF SUCH SERVICES.

INTERIOR DOOR SCHEDULE										
DOOR #	ROOM	DOOR TYPE	MANUFACTURER	HANDING	DOOR SIZE	DOOR THICKNESS	DOOR MATERIAL	FRAME MATERIAL	REMARKS	HARDWARE GROUP
INTERIOR - 1ST FLOOR										
101	GYM 101	4 panel-shaker		TRACK	2'-6" x 6'-8"	1 3/4"	PAINTED WOOD	PAINTED WOOD		
102	MUD RM 102	4 panel-shaker		TRACK	2'-6" x 6'-8"	1 3/4"	PAINTED WOOD	PAINTED WOOD		
103	HALL 103	trimmed opening			3'-6" x 6'-8"			PAINTED WOOD		
104a	F.R./ ENTRY	trimmed opening			4'-6" x 6'-8"			PAINTED WOOD		
104b	F.R./ ENTRY	trimmed opening			4'-6" x 6'-8"			PAINTED WOOD		
106	POWDER RM 106	4 panel-shaker		POCKET	2'-4" X 7'-0"	1 3/4"	PAINTED WOOD	PAINTED WOOD		
107	BASEMENT	4 panel-shaker		L	2'-8" X 7'-0"	1 3/4"	PAINTED WOOD	PAINTED WOOD		
INTERIOR - 2ND FLOOR										
201	REN MASTER BATH	4 panel-shaker		POCKET	2'-4" X 6'-8"	1 3/4"	PAINTED WOOD	PAINTED WOOD		
202	HALL	4 panel-shaker		L	2'-6" X 6'-8"	1 3/4"	PAINTED WOOD	PAINTED WOOD		
203	CLOSET	4 panel-shaker		POCKET	2'-4" X 6'-8"	1 3/4"	PAINTED WOOD	PAINTED WOOD		
204	CLOSET	4 panel-shaker		POCKET	2'-4" X 6'-8"	1 3/4"	PAINTED WOOD	PAINTED WOOD		
205	NEW OFFICE	4 panel-shaker		R	2'-6" X 6'-8"	1 3/4"	PAINTED WOOD	PAINTED WOOD		
206	MASTER BEDROOM 206	EXTG								
208	EXTG BEDROOM	EXTG								
208a	CLOSET	EXTG								
209	EXTG OFFICE	EXTG								
209a	CLOSET	EXTG								
210	EXTG BEDROOM	EXTG								
210a	CLOSET	EXTG								
211	EXTG BATH	EXTG								
212	EXTG BATH	EXTG								
213	LAUNDRY	EXTG								
214	BONUS ROOM	EXTG								
215	BONUS ROOM	EXTG								
216	BONUS ROOM	EXTG								

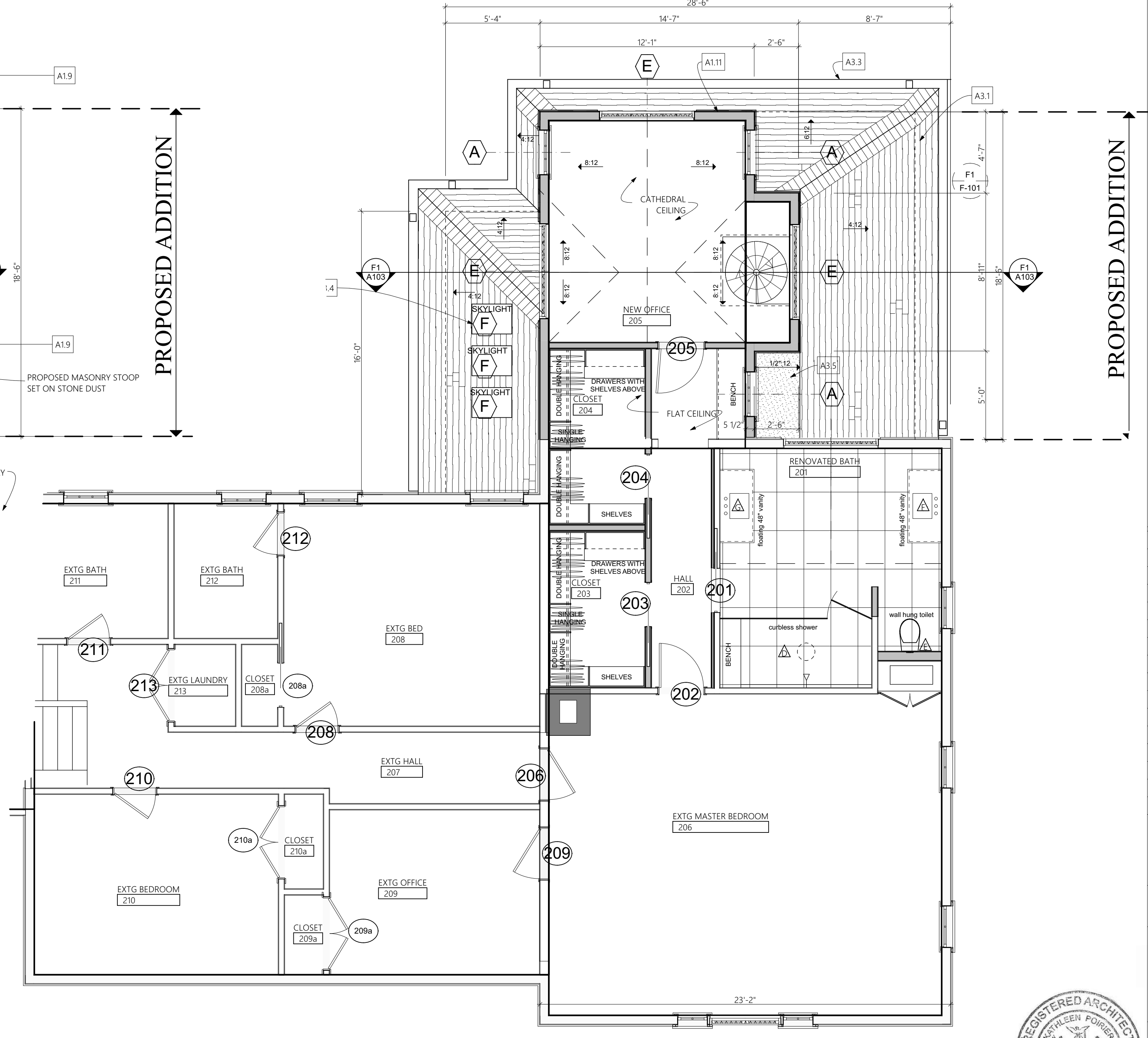


INTERIOR DOOR

- SPECIFICATION NOTES:**
- A-1.1 4" PVC ROOF DRAIN. CONNECT TO EXISTING DRAINAGE SYSTEM. EXPAND EXISTING CULTEC SYSTEM AS REQUIRED TO ACCOMMODATE ADDITIONAL RUNOFF FROM NEW ADDITION. PROVIDE POSITIVE DRAINAGE.
 - A-1.30 1'-0" TALL POURED-IN-PLACE FOOTING WITH (3) #4 REBAR CONTINUOUS. 3" CLEAR FROM BOTTOM OF FOOTING OVER FIRM UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 3000psf. SEE STRUCTURAL DRAWINGS.
 - A-1.40 5" THICK POURED-IN-PLACE CONCRETE SLAB WITH 6X6W2.0 XW2.0 WWM 2" THICK RIGID SPRAY FOAM (R-10) VAPOR BARRIER OVER 4" MIN. CRUSHED STONE.
 - A-1.60 POURED-IN-PLACE CONCRETE FOUNDATION WALLS WITH REBAR. MAINTAIN A MINIMUM OF 6" FROM TOP OF FOUNDATION WALL TO FINISHED GRADE UNLESS OTHERWISE NOTED. NOTIFY ARCHITECT IF A DISCREPANCY OCCURS. PROVIDE A PARGE COAT OF STUCCO ON ALL EXPOSED CONCRETE FOUNDATION WALLS.
 - A-1.7 PROVIDE RUB-R-WALL OR APPROVED EQUAL ON FOUNDATION WALL FROM GRADE LINE TO BOTTOM OF FOOTING. INSTALL 1/2" THK INSULATION/ PROTECTION BOARD OVER WATERPROOF MEMBRANE.
 - A-1.8 1/2" PREMOULDED JOINT FILLER AND SEALANT AT ENTIRE PERIMETER OF SLAB
 - A-1.9 STOOP AND PATIO: 5/4 THK FLAMED FINISH BLUESTONE PAVER. BORDER WITH 10" BELGIUM BLOCK SET IN CONCRETE.
 - A-1.10 NATIVE FIELD STONE FIREPIT RING. GRAVEL INSIDE FIREPIT.
 - A-1.11 EXTERIOR WALLS - 2 X4 @ 16" O.C. INTERIOR GIBB WITH A VAPOR BARRIER PRIMER. R-21 SPRAY FOAM INSULATION. EXTERIOR: 1/2" CDX PLYWOOD SHEATHING. WRAP IN BUILDING PAPER & SEAL ALL SEAMS AND HOLES PER MANUFACTURERS INSTRUCTIONS. ALTERNATE SHEATHING AND WRAP: ZIP SYSTEM.
 - A-1.12 PROVIDE A MIN. OF R-30 INSULATION IN FLOORS OVER UN-CONDITIONED SPACES.
 - A-1.13 PROVIDE A MIN OF R-49 SPRAY FOAM INSULATION IN ATTIC RAFTERS. INTERIOR TO BE PROTECTED WITH UL LISTED PAINT-ON IGNITION BARRIER IF NOT COVERED IN GYPSUM WALL BOARD.
 - A-1.14 PROVIDE SOUND INSULATION BLANKET IN ALL INTERIOR FLOOR, CEILINGS AND WALLS. TYP. (ROXUL OR SIMILAR)
 - A-1.15 INTERIOR WALLS 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.
 - A-1.16 5/8" TYPE "C" G.W.B. ON GARAGE WALLS (MADE IN USA) SECURE WITH GLUE AND SCREWS.
 - A-1.17 1/2" G.W.B. ON ALL INTERIOR WALLS AND 1/2" ON CEILING (MADE IN THE USA) SECURE WITH GLUE AND SCREWS. IN BATH, INSTALL MOISTURE RESISTANT G.W.B. SHOWER WALLS AND FLOOR: SCHLUTER SYSTEM.
 - A-3.1 ROOFING: GAF TIMBERLINE ULTRA HD LIFETIME HIGH DEFINITION SHINGLES. INSTALL WITH ZINC COATED ROOFING NAILS, 4 PER SHINGLE PER MANUFACTURER'S INSTRUCTIONS. INSTALL OVER ROOF GAF FIBERGLASS REINFORCED UNDERLAYMENT OR EQUAL. ALL UNDERLAYMENT TO BE INSTALLED OVER 3/4" CDX PLYWOOD. COLOR: GREY. TO MATCH EXISTING
 - A-3.2 METAL ROOFING: STANDING SEAM METAL ROOF WITH ICE AND WATER SHIELD UNDERLAYMENT. COLOR: BROWN. TO MATCH EXISTING
 - A-3.3 GUTTER AND DOWNSPOUTS: PAINTED ALUMINUM "K" STYLE GUTTERS AND DOWNSPOUTS TO MATCH EXISTING. COLOR: BROWN. TO MATCH EXISTING
 - A-3.4 SKYLIGHTS: VELLUX AS SPECIFIED ON THE WINDOW SCHEDULE. EXTERIOR COLOR: BROWN
 - A-3.5 COPPER LOW SLOPE ROOF.
 - A-3.6 COPPER FLASHING IN ALL VALLEYS AND ROOF TO WALL INTERSECTIONS.



1st floor
SCALE: 1/4" = 1'-0"



2ND FLOOR
SCALE: 1/4" = 1'-0"

KP

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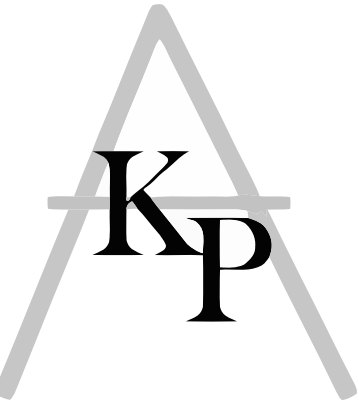
Philips Residence
4 Valley lane Armonk NY
Armonk, NY

REV	DATE	DESCRIPTION
Drawing: 1ST AND 2ND FLOOR PLAN		
scale	1/4" = 1'-0", 1/2" = 1'-0"	date issued 2/6/2021
Drawing No.:		

A-100



OWNER AND ARCHITECT HAVE AGREED TO THE TERMS OF THIS AGREEMENT. THE ARCHITECT HAS ACCEPTED THE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT HAS ACCEPTED THE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT HAS ACCEPTED THE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT HAS ACCEPTED THE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.



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SPECIFICATION NOTES:

A-2.1 **SIDING:** 1"4" EXPOSURE CEDAR SHINGLE SIDING TO MATCH EXISTING SOLID COLOR FINISH TO MATCH EXISTING RED. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

A-2.2 **WINDOWS AND FRENCH DOOR:** MARVIN WOOD WITH ALUMINUM CLADDING, DOUBLE HUNG AND PICTURE, AS SPECIFIED ON THE WINDOW SCHEDULE. EXTERIOR COLOR: PROVENCE CREME

A-2.3 **DOOR:** PAINT GRADE WOOD SIDE DOOR WITH GLASS AS SPECIFIED ON THE DOOR SCHEDULE. EXTERIOR COLOR: PROVENCE CREME

A-2.4 **DOOR AND WINDOW TRIM:** MATCH EXISTING PRE-PRIMED WOOD 5/4X3 TOP AND SIDE TRIM. EXCEPTION: USE INTEGRATED DRIP EDGE FOR ALL TOP TRIM. SUBSILL NOSE FOR ALL WINDOWS. COLOR: PROVENCE CREME

A-2.5 **EXTERIOR RUNNING AND STANDING TRIM:** SOFFITS, FASCIA, RAKE AND EAVE MOLDING TO BE PRE-PRIMED WOOD, SIZES TO MATCH EXISTING. EXTERIOR COLOR: PROVENCE CREME

A-3.1 **ROOFING:** GAF TIMBERLINE ULTRA HD LIFETIME HIGH DEFINITION SHINGLES. INSTALL WITH ZINC COATED ROOFING NAILS, 4 PER SHINGLE PER MANUFACTURER'S INSTRUCTIONS. INSTALL OVER ROOF GAF FIBERGLASS REINFORCED UNDERLAYMENT OR EQUAL. ALL UNDERLAYMENT TO BE INSTALLED OVER 3/4" CDX PLYWOOD. COLOR: GREY, TO MATCH EXISTING

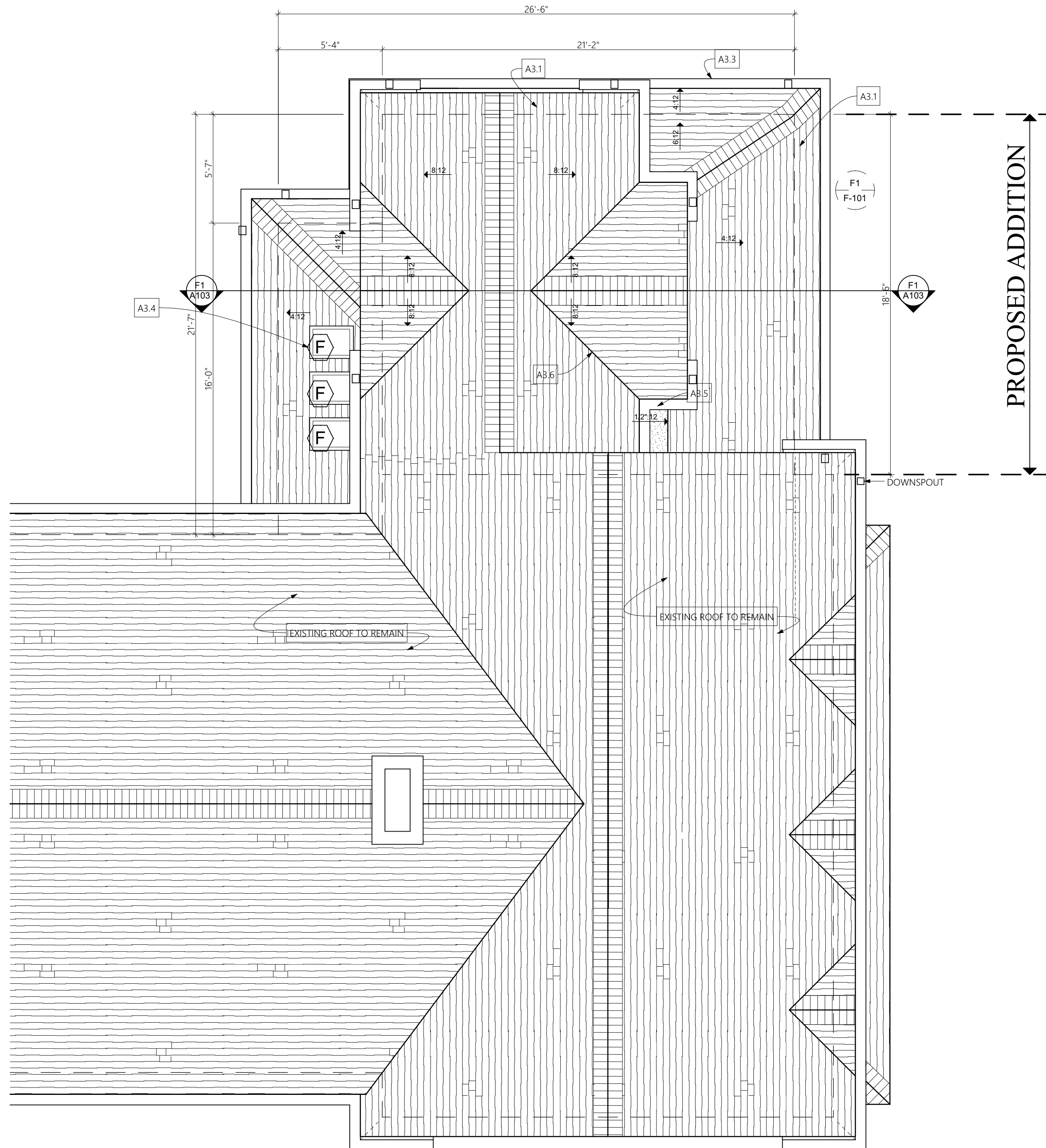
A-3.2 **METAL ROOFING:** STANDING SEAM METAL ROOF WITH ICE AND WATER SHIELD UNDERLAYMENT. COLOR: BROWN, TO MATCH EXISTING

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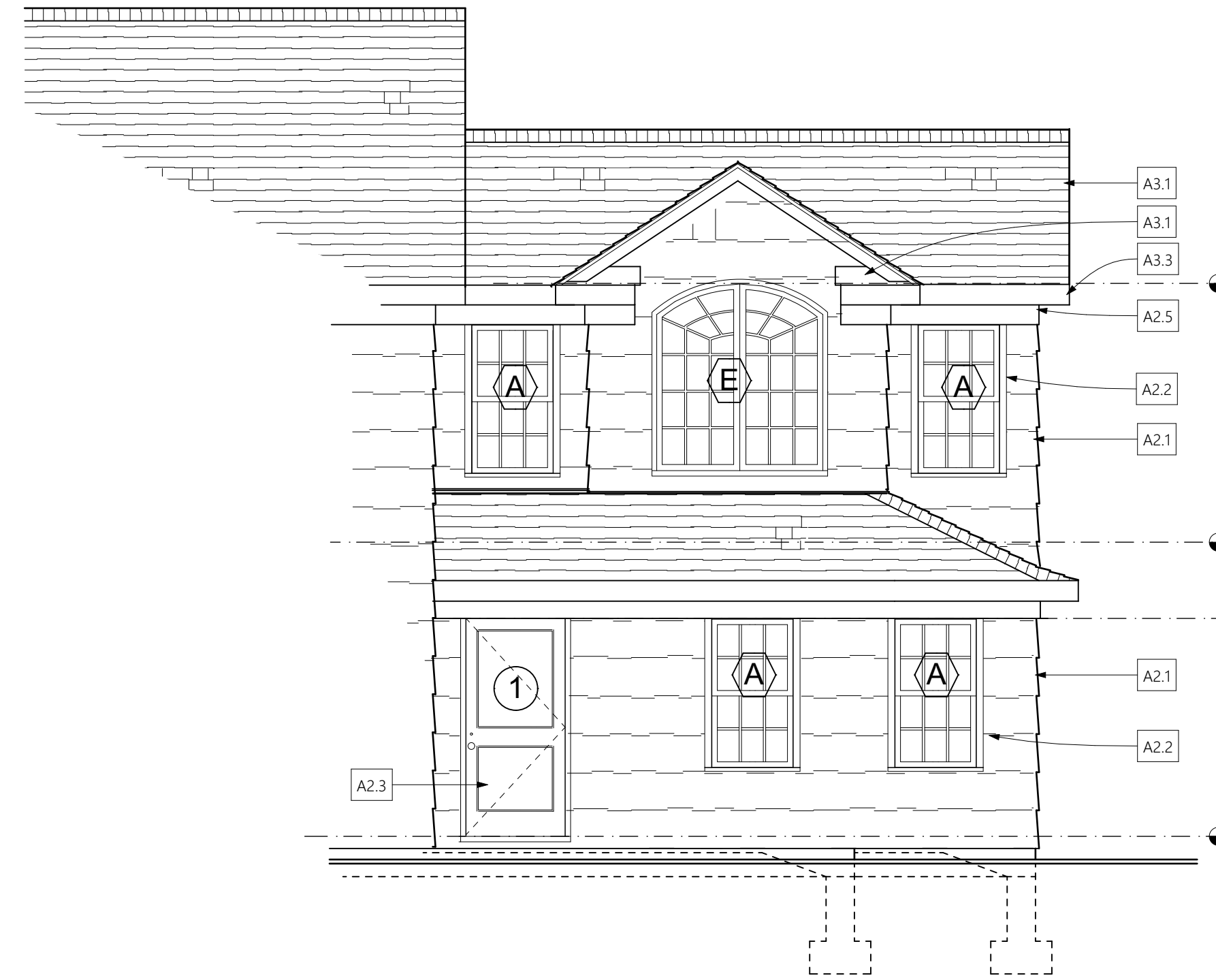
A-3.4 **SKYLIGHTS:** VELLUX AS SPECIFIED ON THE WINDOW SCHEDULE. EXTERIOR COLOR: BROWN

A-3.5 **COPPER LOW SLOPE ROOF.**

A-3.6 **COPPER FLASHING** IN ALL VALLEYS AND ROOF TO WALL INTERSECTIONS.



F1
A-101
SCALE: 1/4" = 1'-0"



C4
A-101
SCALE: 1/4" = 1'-0"



F4
A-101
SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION
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Drawing:
ROOF PLAN & ELEVATION

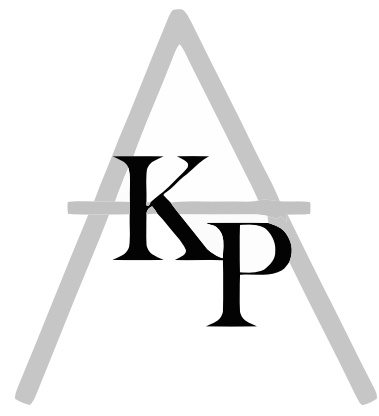
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date issued: 2/6/2021

Drawing No.:

A-101



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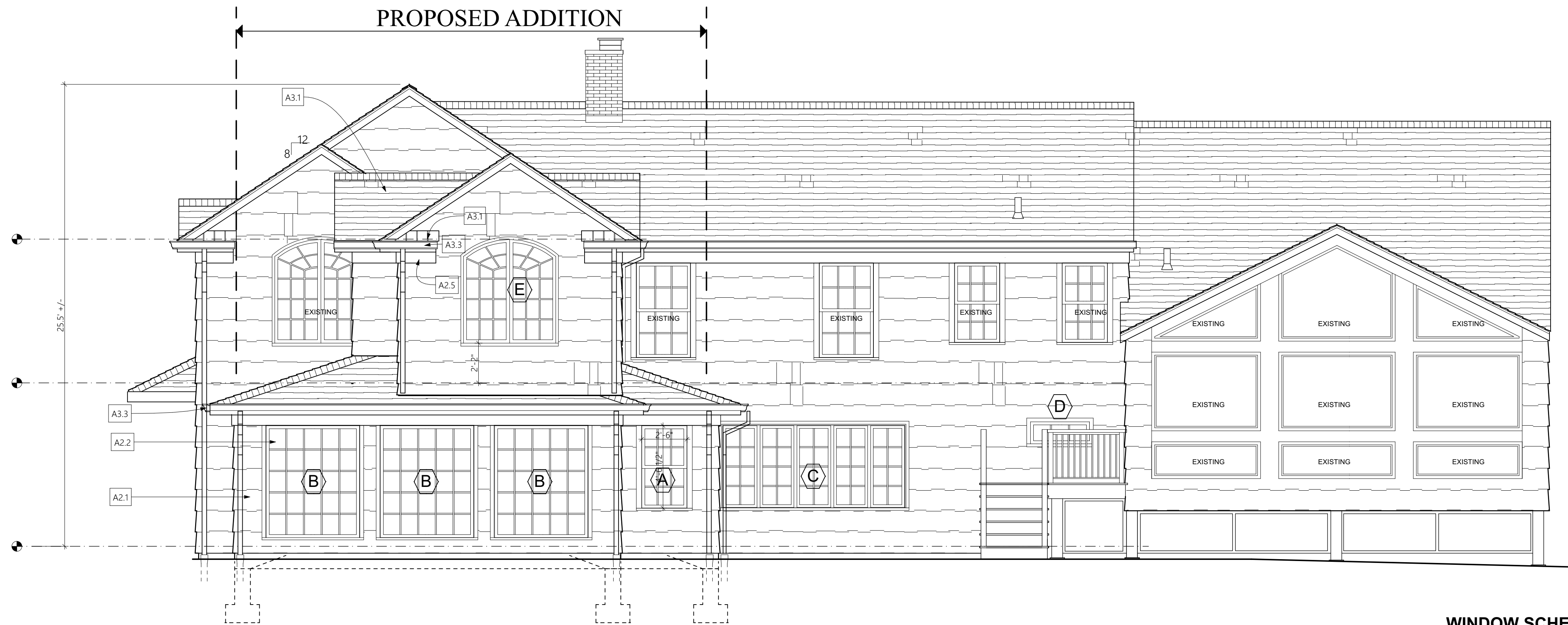


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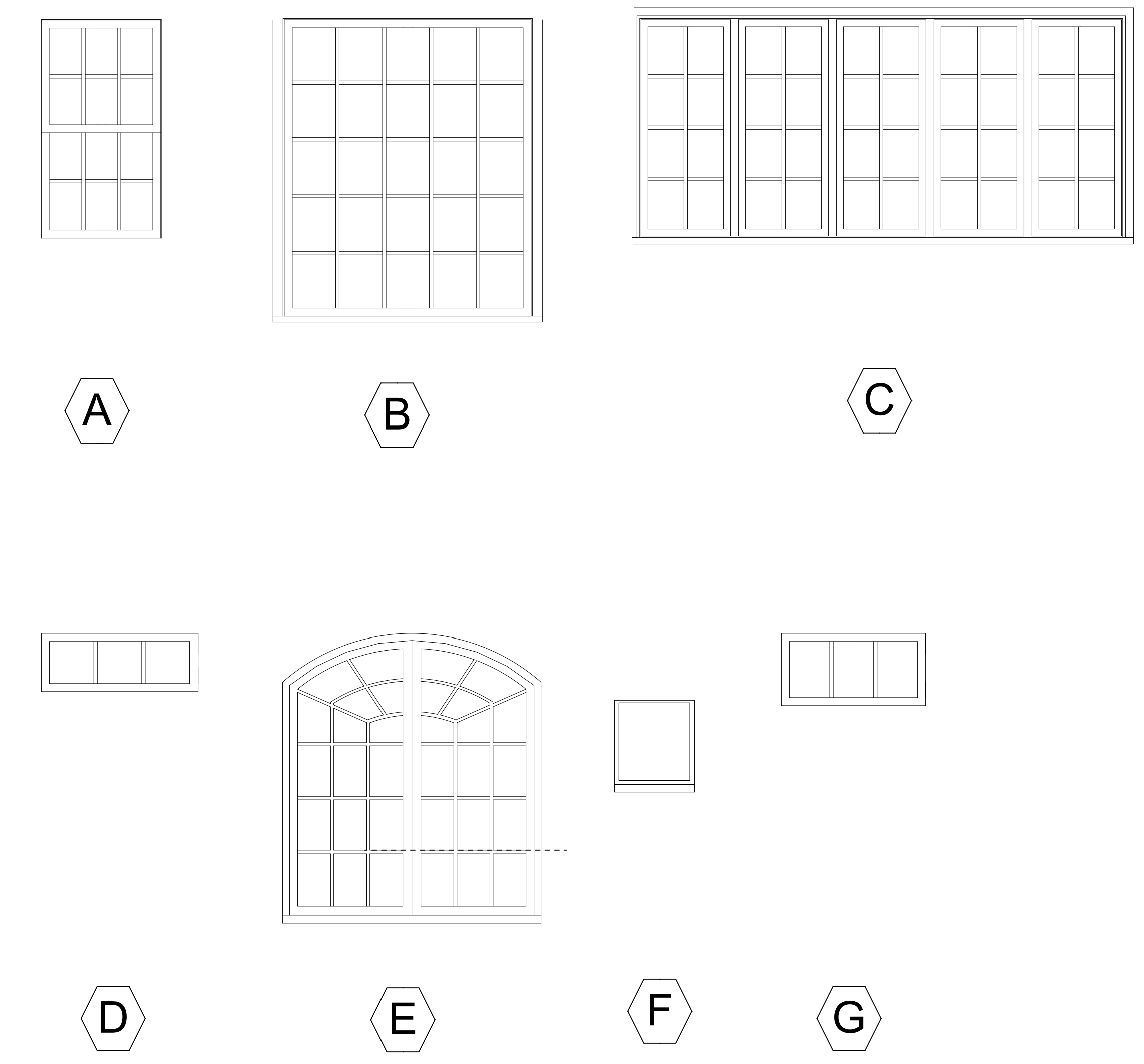
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 - A-3.6 COPPER FLASHING IN ALL VALLEYS AND ROOF TO WALL INTERSECTIONS.

C1 REAR ELEVATION
A-102 SCALE: 1/4" = 1'-0"

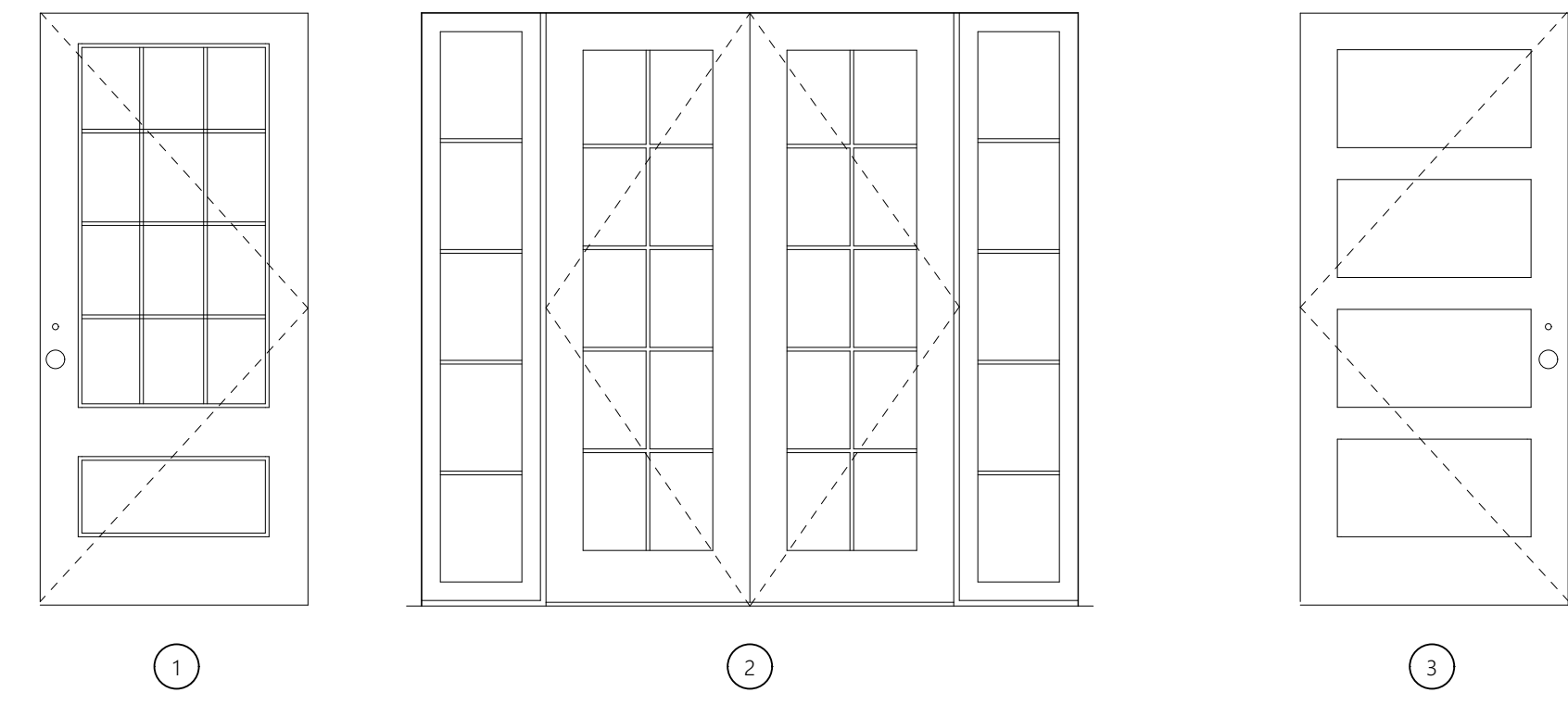


WINDOW SCHEDULE

TYPE		DETAILS									
WINDOW NUMBER	QUANTITY	WINDOW TYPE	GLAZING	WINDOW/DOOR U-VALUE	WIDTH R.C.	HEIGHT R.C.	LAMB DEPTH	HEAD HEIGHT ABOVE FINISHED FLOOR	CASING	SILL	REMARKS
WINDOWS: Marvin aluminum clad Ultimate, ALL GRILLES TO BE PERMANENT INTERIOR & EXTERIOR WITH SPACER BAR (SDL), high transparency standard screen, EXT. COLOR: match existing- Provence Creme, sticking : to match existing											
A	9	DOUBLE HUNG	insulated LoE2	0.33	2'-8 1/4"	4'-8"	2x6 wall	6'-8"	match existing	Solid PVC	
B	3	FIXED	insulated LoE2	0.33	5'-2 1/4"	6'-4"	2x6 wall	6'-8"	match existing	Solid PVC	
C	1	5 UNIT 2 CASEMENT/3 FIXED	insulated LoE2	0.33	(5) 2'-1"	4'-7 1/8"	existing 2x4 wall- verify	match existing 6'-8" - verify	match existing	Solid PVC	match front window - verify dimensions in the field
D	1	AWNING	insulated LoE2	0.33	3'-5"	1'-5 5/8"	existing 2x4 wall- verify	match existing 6'-8" - verify	match existing	Solid PVC	
E	3	ARCH TOPPED DOUBLE CASMENT	insulated LoE2	0.33	4'-9"	6'-5 5/8"	2x6 wall	7'-10" match existing V.I.F.	match existing	Solid PVC	
F	3	fixed velux SKYLIGHT	insulated LoE2	0.33	21"	26 7/8"	---	---	---	---	
G	2	fixed interior unit	single pane	---	3'-1"	1'-5 5/8"	2x4 gb both sides	6'-8"	match interior trim	match interior trim	
TOTAL		22									

EXTERIOR DOOR SCHEDULE

DOOR #	ROOM	DOOR TYPE	MANFC-TURER	HANDING	DOOR SIZE panel unless noted otherwise	DOOR MATERIAL	FRAME MATERIAL	REMARKS
1	MUD ROOM	swing door + FIXED PANELS	Simpson 7512 TDL	left in-swing	3' x 6'-8"	painting WOOD	painting WOOD	
2	NEW HALL	double french swing door with sidelights	reuse existing	---	7'-6" x 6'-8" overall	wood/alum clad	wood/alum clad	
3	GARAGE	fire rated solid panel	Simpson 7230	left out-swing	3' x 6'-8"	painting WOOD	painting WOOD	20 MINUTE FIRE DOOR WITH SELF CLOSURE



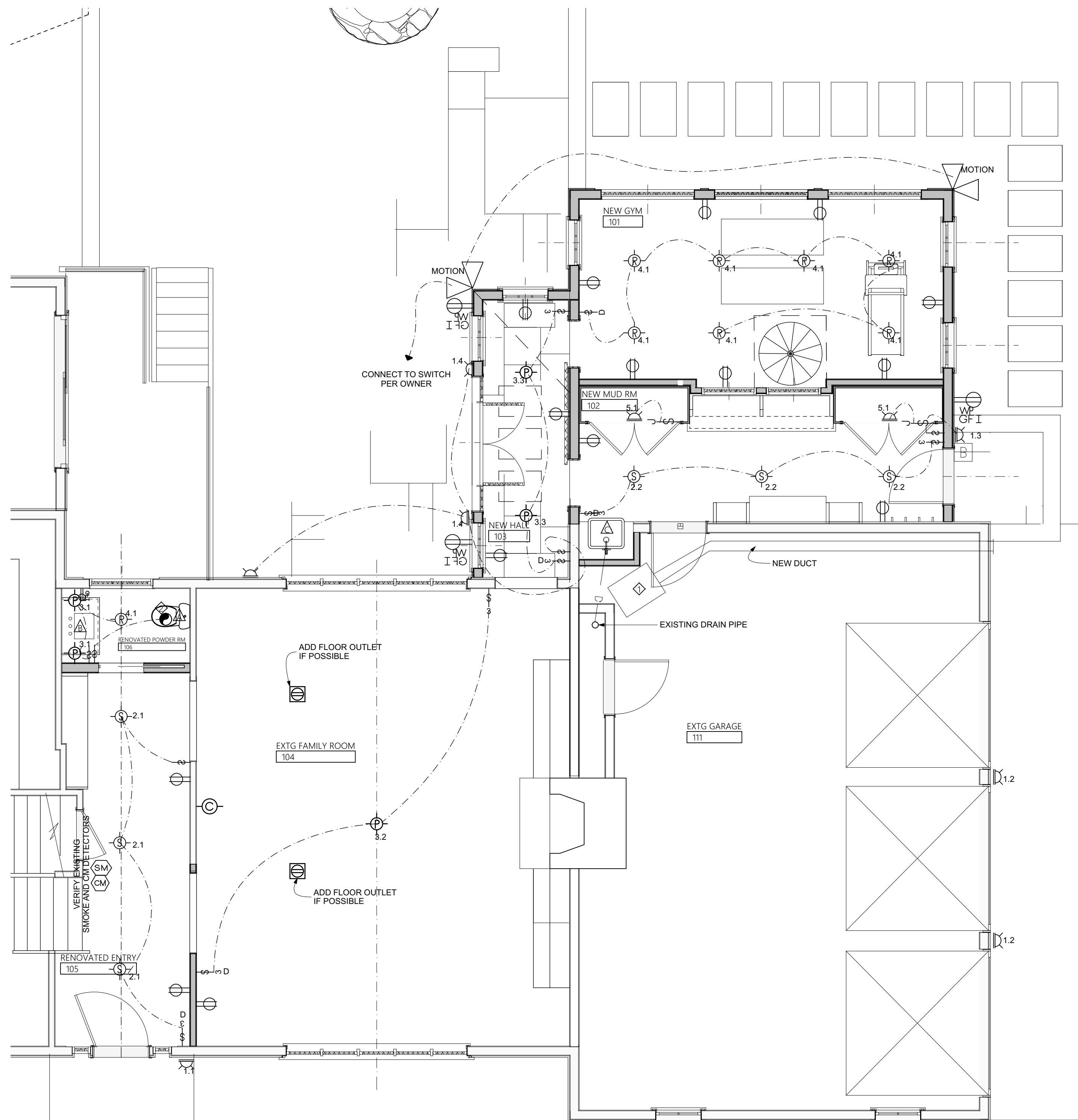
REV	DATE	DESCRIPTION

Drawing:
REAR ELEVATION & DOOR AND WINDOW SCHEDULE
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date issued 2/6/2021
Drawing No.:

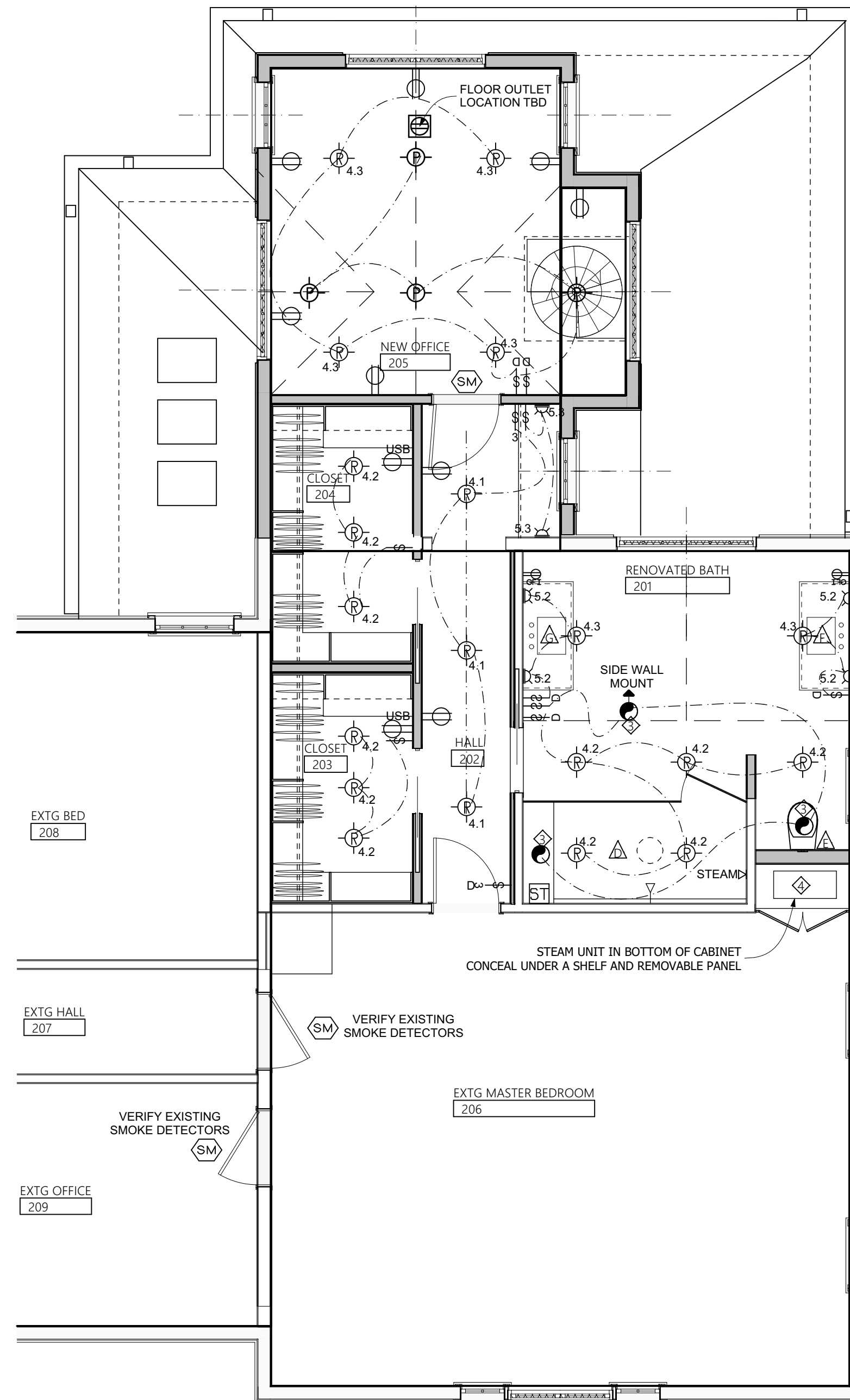
A-102



APPROVED AND CONTROLLED BY THE ARCHITECT AND REGISTERED ARCHITECT
KATHLEEN POIRIER
STATE OF NEW YORK
035369-1



E-101 1ST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



E-101 2ND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

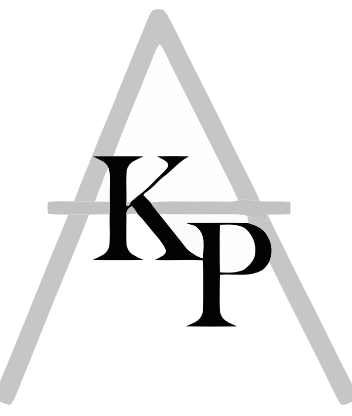
ELECTRICAL FIXTURE KEY	ELECTRICAL NOTES
<ul style="list-style-type: none"> ⊕ PENDANT LIGHT FIXTURE ⊖ RECESSED CEILING LIGHT FIXTURE ⊖ RECESSED IN CLOSETS AND ABOVE SHOWERS AND TUBS MUST BE COVERED WITH A LENS ⊖ SURFACE MOUNTED LIGHT FIXTURE - SWITCH LOCATION TO BE DETERMINED IN THE FIELD ⊖ WALL MOUNTED LIGHT FIXTURE ⊖ FLOOD LIGHT, TO BE MOTION ACTIVATED AND HAVE A SWITCH LOCATION TO BE DETERMINED IN THE FIELD ⊖ SINGLE POLE SWITCH ⊖ THREE WAY SWITCH ⊖ FOUR WAY SWITCH ⊖ DIMMER ⊖ DUPLEX RECEPTACLE ⊖ DUPLEX WITH GROUND FAULT INTERRUPTER ⊖ DUPLEX WATER PROOF GROUND FAULT INTERRUPTER ⊖ EXHAUST FAN ⊖ DOOR BELL ⊖ SMOKE DETECTOR HARD-WIRED WITH BATTERY BACK-UP ⊖ CARBON MONOXIDE DETECTOR - HARD WIRED WITH BATTERY BACK-UP 	<ol style="list-style-type: none"> 1. SWITCHES TO BE MOUNTED 40" A.F.F. TYPICAL 2. WALL MOUNTED LIGHTS HEIGHT A.F.F. TO BE DETERMINED IN THE FIELD ALONG WITH CONTROL PLACEMENT. 3. DIMMER LOCATIONS TO BE VERIFIED IN THE FIELD. 4. COORDINATE CEILING & WALL FIXTURE LOCATIONS WITH FRAMING, HVAC PLANS, INTERIOR DRAWINGS AND REFLECTED CEILING PLANS. IF A DISCREPANCY OCCURS, COORDINATE IN THE FIELD WITH THE ARCHITECT. 5. COORDINATE LOCATION OF THERMOSTATS WITH INTERIOR ELEVATIONS. 6. GENERAL CONTRACTOR TO SUPPLY AND INSTALL ALL DUCTS, FANS, AND APPLIANCES UNLESS OTHERWISE NOTED. 7. SMOKE, CARBON MONOXIDE, AND HIGH TEMP DETECTORS WILL BE INSTALLED AS REQUIRED BY CODE. 8. WHERE OUTLETS ARE NOT SPECIFICALLY LOCATED ON THE DRAWING, PROVIDE MINIMUM NUMBER TO SATISFY LOCAL AND ALL GOVERNING CODES. LOCATE AS DETERMINED IN THE FIELD WITH THE ARCHITECT. WHERE OUTLETS ARE REQUIRED BY CODE AND INSTALLED WITHOUT SUCH SPECIFIC DIRECTION, LOCATE AS DIRECTED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE CLIENT.

APPLIANCE FIXTURE SCHEDULE

NUMBER	FIXTURE	MANUFACTURER	CATALOG #	REMARKS
1	EXISTING GARAGE HEATER	—	—	RE-DUCT TO FRONT OF GARAGE
2	EXHAUST FAN	GREENHECK	CSP-B110	
3	EXHAUST FAN	Fantech	CVS 300A Multi-Port Ventilation, 3 Points, 355 CFM	
4	STEAM UNIT	THERMASOL	PRO-240 STEAM GENERATOR	

ELECTRICAL FIXTURE SCHEDULE

#	LOCATION	DESCRIPTION	MANUFACTURER	CATALOG #	LAMP	QUANTITY	REMARKS
2.1	entry 105	ceiling mounted fixture				3	
3.1	pwdr rm 106	pendant				2	in closet
4.1	pwdr rm 106, gym 101, master hall 202	3.5" recessed light	WAC or approved equal		2700 K LED	11	
3.2	family room 104	pendant				1	
3.3	new hall 103	pendant				2	
2.2	mud room 102	ceiling mounted fixture				3	
5.1	mud room 102	wall mounted				2	
4.2	master closets, Master bath 201	3.5" recessed light wet location	WAC or approved equal		2700 K LED	11	over island
4.3	master bath 201, office 205	3.5" recessed light, slope ceiling	WAC or approved equal		2700 K LED	6	
5.2	master bath 201	wall sconce				4	
5.3	master hall 202	wall sconce				2	
3.4	office 205	pendant				4	
#	LOCATION	DESCRIPTION	MANUFACTURER	CATALOG #	LAMP	QUANTITY	REMARKS
EXTERIOR							
1.1	front entry	wall sconce				1	
1.2	garage front	wall sconce				2	
1.3	mudroom	wall sconce				1	
1.4	back patio	wall sconce				3	
1.5	under eaves	flood lights				2	
						58	total



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REV	DATE	DESCRIPTION

Drawing:
ELECTRICAL PLANS,
APPLIANCE & ELEC.
FIXTURE SCHEDULE
scale 1/32, 1/4" = 1'-0", 1/16", 1/8"
date issued 2/6/2021

Drawing No.:

E-101



ARCHITECT AND CONTRACTOR OF RECORD
I HEREBY AND INDICATE THAT I AM THE ARCHITECT OF RECORD FOR THE PROJECT AND I AM NOT PROVIDING ANY SERVICES OTHER THAN THOSE SPECIFICALLY NOTED ON THESE PLANS. I AM NOT PROVIDING ANY SERVICES OTHER THAN THOSE SPECIFICALLY NOTED ON THESE PLANS. I AM NOT PROVIDING ANY SERVICES OTHER THAN THOSE SPECIFICALLY NOTED ON THESE PLANS. I AM NOT PROVIDING ANY SERVICES OTHER THAN THOSE SPECIFICALLY NOTED ON THESE PLANS.