



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 9 SEYMOUR PLACE EAST, ARMONK, NY 10504

Section III- DESCRIPTION OF WORK:

Section III- CONTACT INFORMATION:

APPLICANT: AMERICAN BUILDING TECHNOLOGIES

ADDRESS: 333 55th STREET, NY, NY 10022

PHONE: 917-416-3413 MOBILE: 914-416-3413 EMAIL: bscg@msn.com

PROPERTY OWNER: AMERICAN BUILDING TECHNOLOGIES

ADDRESS: 9 SEYMOUR PLACE EAST, ARMONK, NY 10504

PHONE: 917-416-3413 MOBILE: _____ EMAIL: _____

PROFESSIONAL.: RALPH ALFONZETTI

ADDRESS: 1100 ROUTE 52, CARMEL, NY 10512

PHONE: 845-228-9800 MOBILE: _____

EMAIL: INFO@ALFONZETTIENG.COM

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 108.02-1-51



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: 9 SEYMOUR PLACE EAST

Initial Submittal Revised Preliminary

Street Location: 9 SEYMOUR PLACE EAST

Zoning District: R-2A Property Acreage: 2.07 Tax Map Parcel ID: 108.02-1-51

Date: 02/12/2021

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

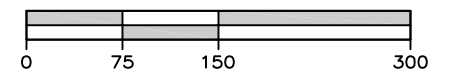
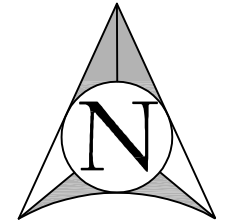
RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



SCALE: 1" = 150'

ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

PROJECT:

9 SEYMOUR PLACE EAST
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NEW YORK

DRAWING:

AERIAL VIEW
FEBRUARY 11, 2021



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 9 Seymour Place East Date: 02/12/2021

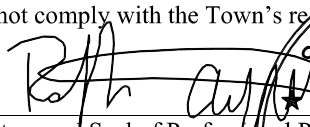
Tax Map Designation or Proposed Lot No.: 108.02-1-51

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 90,193.932 s.f.
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 13,505 s.f.
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):

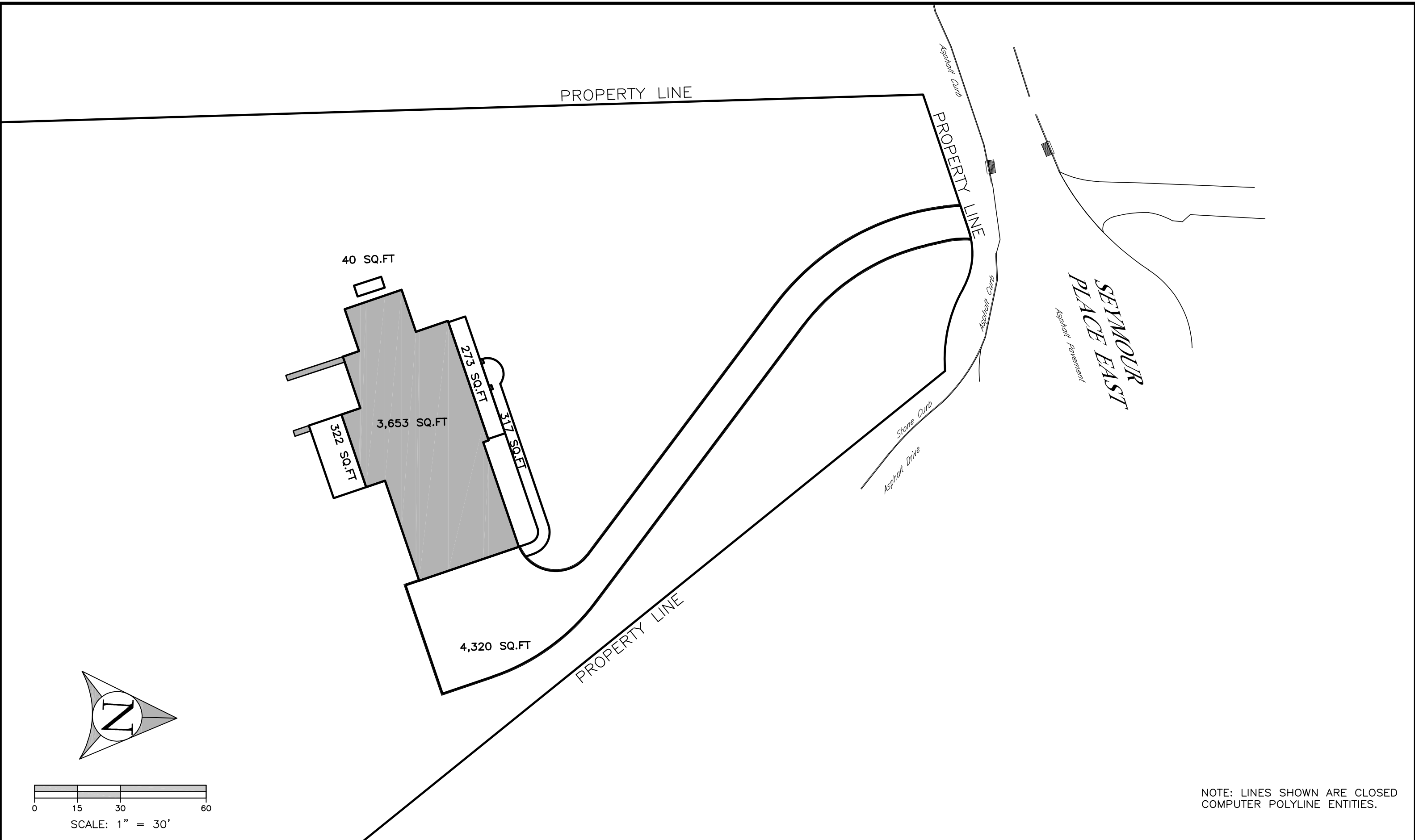
Distance principal home is beyond minimum front yard setback
105.7 x 10 = 1057 1,057 s.f.
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 14,562 s.f.
5. Amount of lot area covered by **principal building**:
0 existing + 3653 proposed = 3,653 s.f.
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0 s.f.
7. Amount of lot area covered by **decks**:
0 existing + 0 proposed = 0 s.f.
8. Amount of lot area covered by **porches**:
0 existing + 273 proposed = 273 s.f.
9. Amount of lot area covered by **driveway, parking areas and walkways**:
0 existing + 4637 proposed = 4,637 s.f.
10. Amount of lot area covered by **terraces**:
0 existing + 322 proposed = 322 s.f.
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 40 proposed = 40 s.f.
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0 s.f.
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 8,925 s.f.

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparation Worksheet



2/12/2021
 Date



NOTE: LINES SHOWN ARE CLOSED
COMPUTER POLYLINE ENTITIES.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 9 Seymour Place East Date: 2/8/2021

Tax Map Designation or Proposed Lot No.: 108.02-1-51

Floor Area

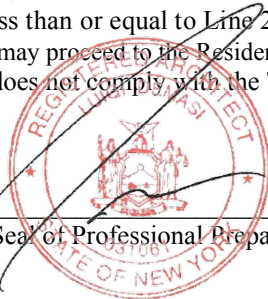
- | | | |
|-----|--|------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>90,212.76</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>10,245.7</u> |
| 3. | Amount of floor area contained within first floor:
— <u> </u> existing + <u>2,777</u> proposed = — | <u>2,777</u> |
| 4. | Amount of floor area contained within second floor:
— <u> </u> existing + <u>3,039</u> proposed = — | <u>3,039</u> |
| 5. | Amount of floor area contained within garage:
— <u> </u> existing + <u>756</u> proposed = — | <u>756</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
— <u> </u> existing + <u>268</u> proposed = — | <u>268</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
— <u> </u> existing + <u>0</u> proposed = — | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
— <u> </u> existing + <u>0</u> proposed = — | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
— <u> </u> existing + <u>0</u> proposed = — | <u>0</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = — | <u>6,840</u> |

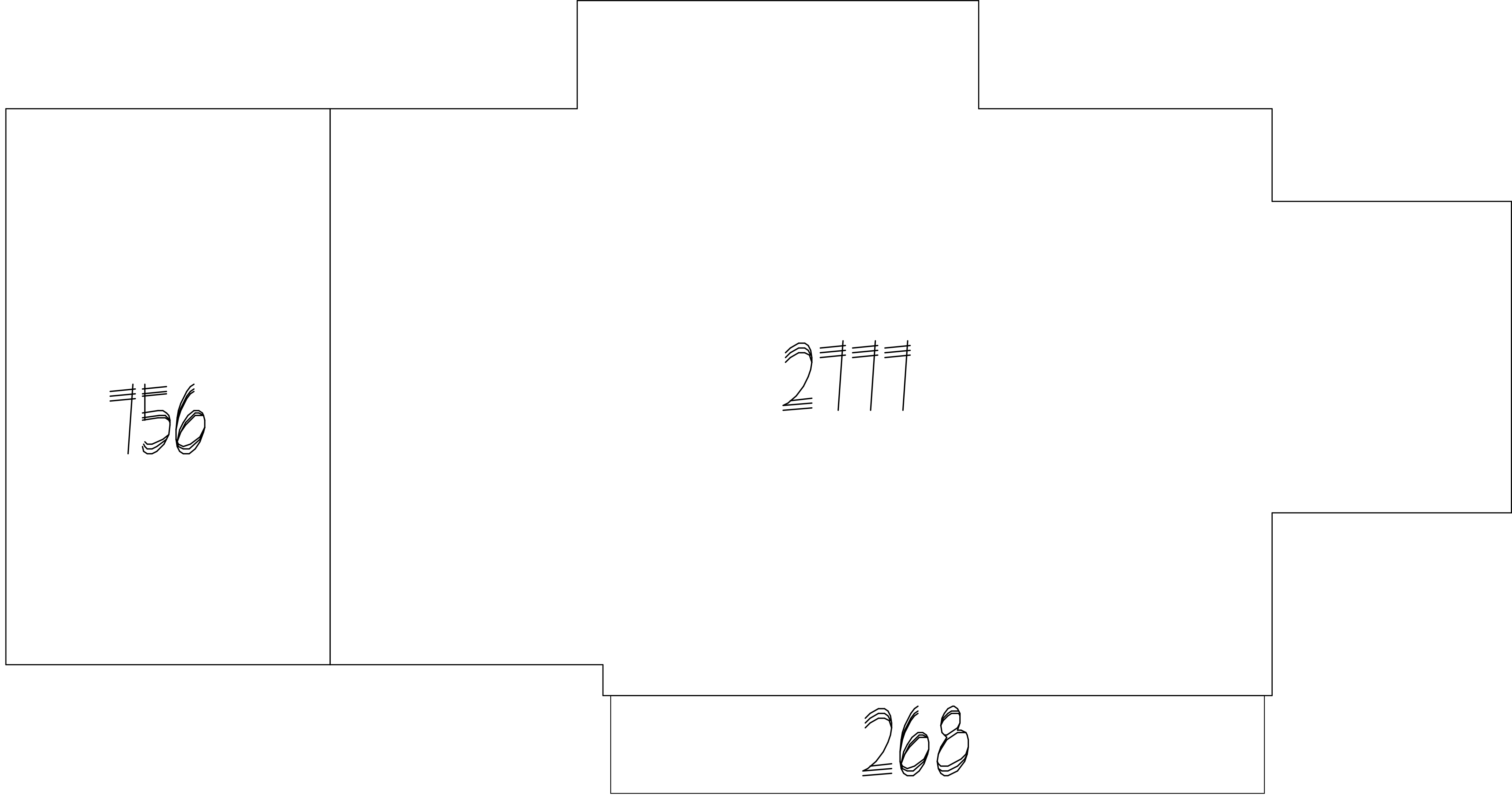
If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

2/8/2021

Date





First Floor
 Scale: 1/4 " = 1'-0"

Note: Lines Shown are
 Computer Polyline Entities

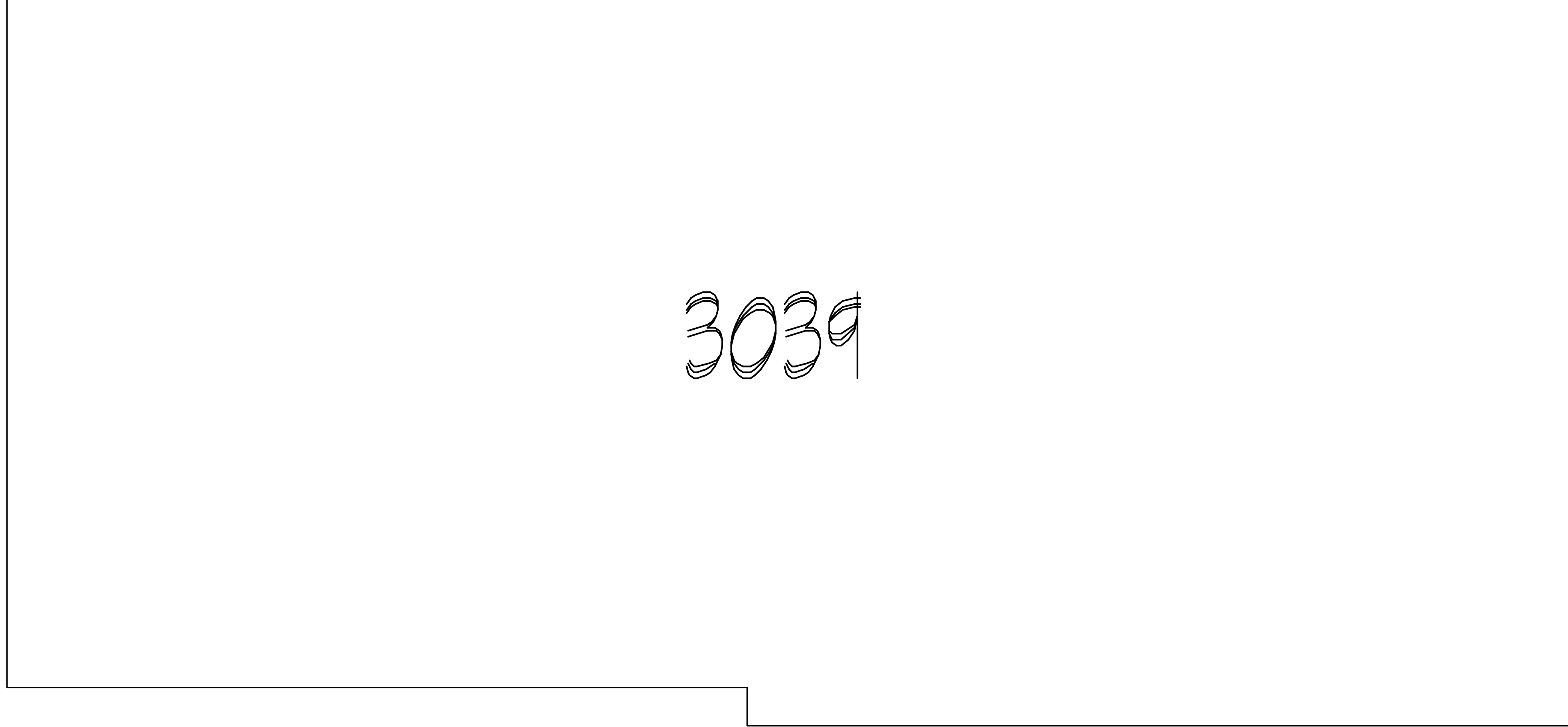


DeMasi Architects P.C.
 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
 PHONE: (914) 666-3856 EMAIL: Lou@DemasiArchitects.com

These plans are the property of the Architect. Any use or reproduction in whole or part without the written authorization of the Architect is prohibited. Any person or corporation who uses these plans without the written authorization of the Architect, or who constructs or causes to be constructed any structure in violation of the construction of any structure shown on these plans, shall be liable to the Architect for all damages and costs incurred by the Architect in connection with the defense of this action.

Residence For
9 Seymour PL East
Armonk NY

Revision	Date
	Feb. 8, 2021
Job No	221-003
FAR Drawing	1 OF 2



3039

Second Floor

Scale: 1/4 " = 1'-0"

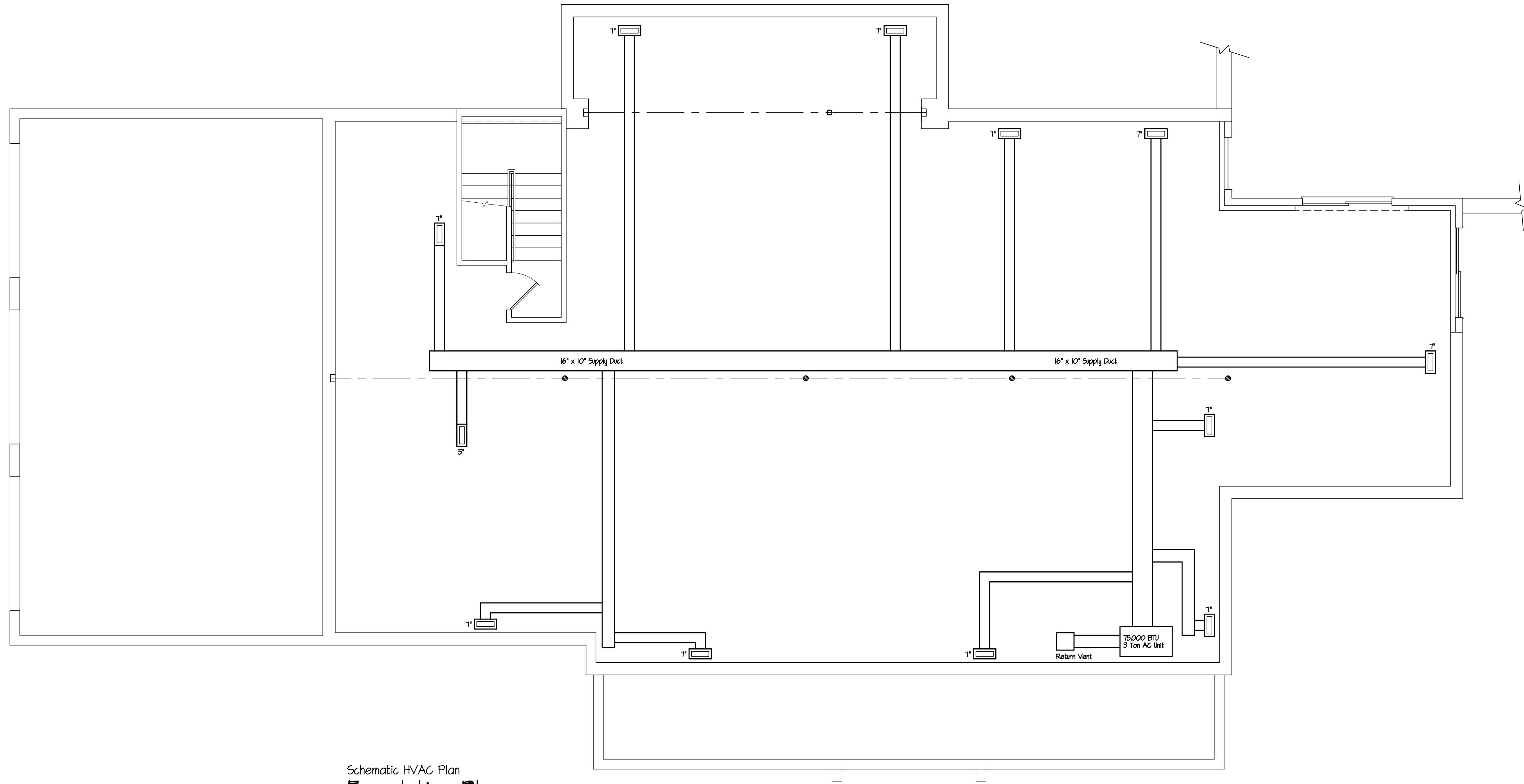
Note: Lines Shown are
Computer Polyline Entities

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These plans are not valid for a building permit unless the signature and seal of the Architect are present for the construction of one structure only by the person whose name appears on the plans.

Residence For
9 Seymour PL East
Armonk NY

Revision	Date
	Feb. 8, 2021
Job No	221-003
FAR Drawing	2 OF 2

DeMasi Architects P.C.
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
PHONE: (914) 666-3856 EMAIL: Lou@DemasiArchitects.com

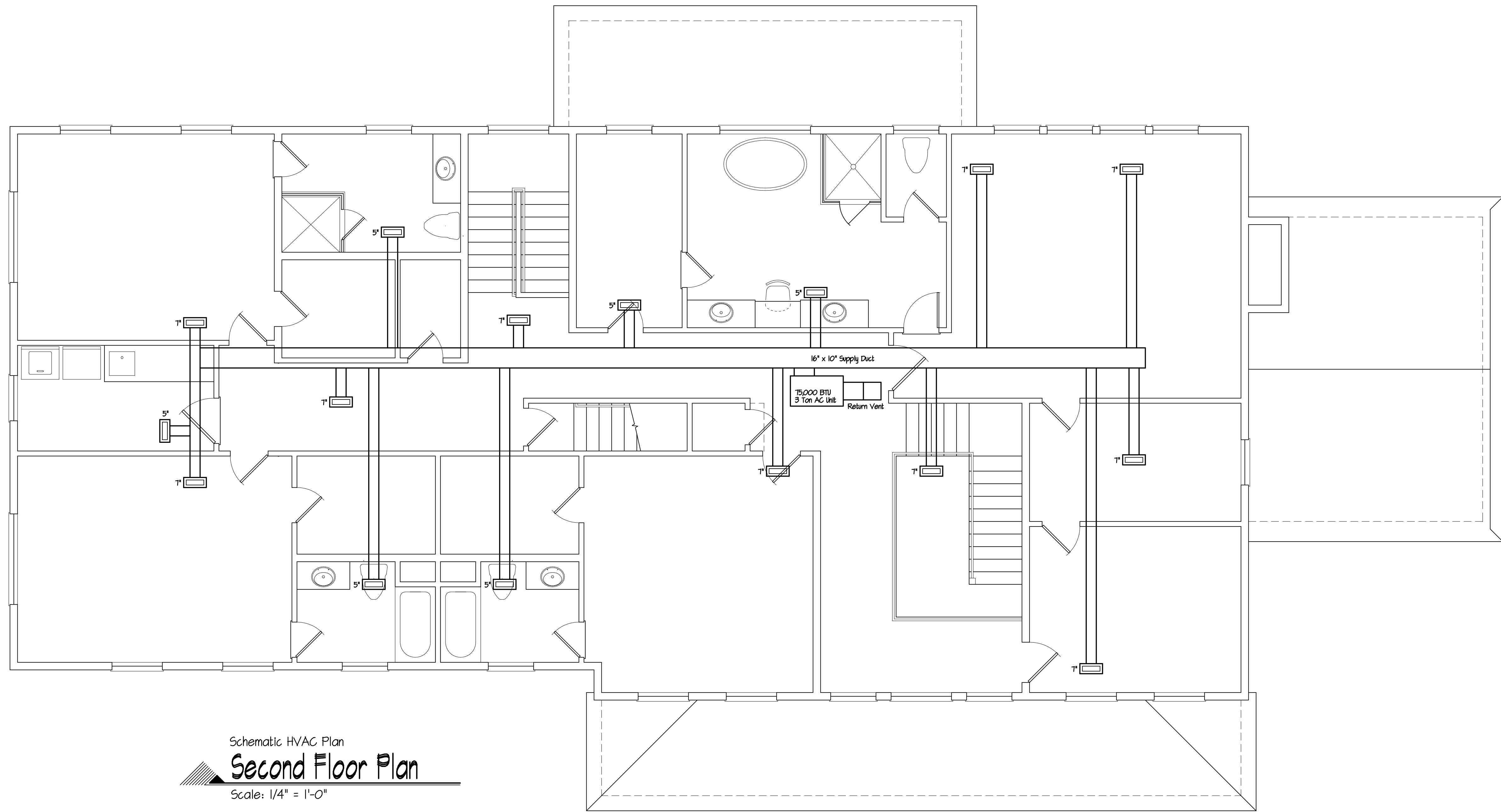


Schematic HVAC Plan
Foundation Plan
 Scale: 1/4" = 1'-0"

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 These plans are not valid for a building permit unless they are accompanied by a professional seal and signature for the construction of one structure only by the person whose name appears on the plans.

Residence For
9 Seymour PL East
Armonk NY

Revision	Date
Date	Feb. 8, 2021
Job No	221-003
HVAC Drawing	



Schematic HVAC Plan
Second Floor Plan
 Scale: 1/4" = 1'-0"

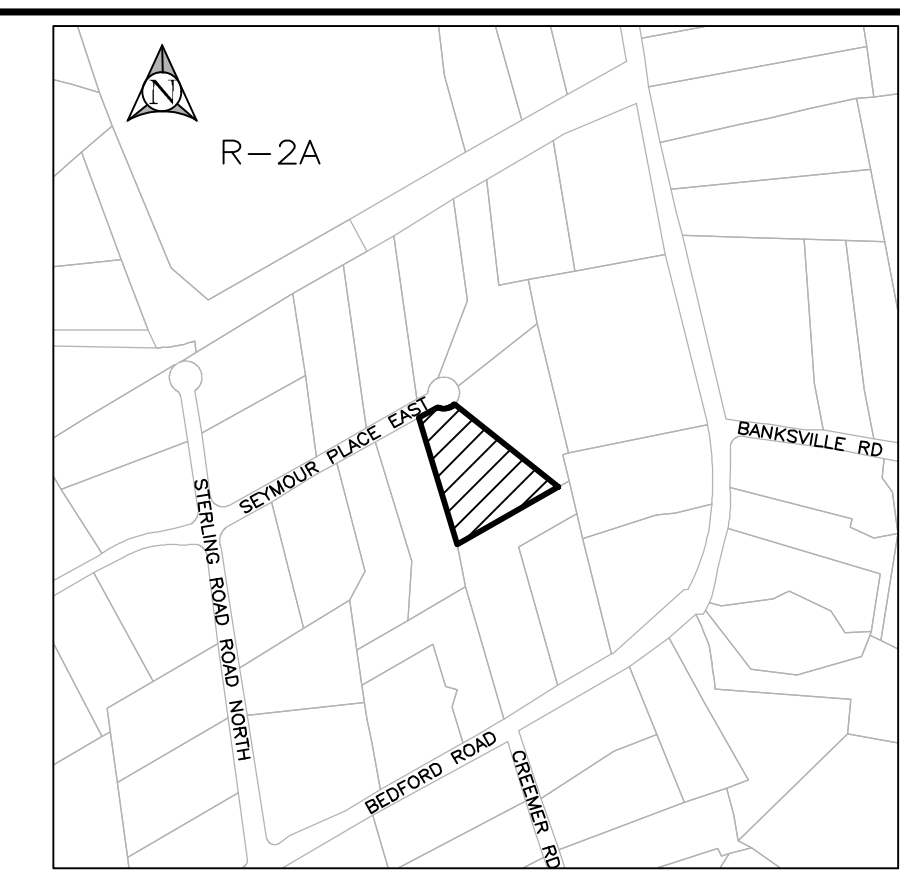
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Residence For
9 Seymour PL East
Armonk NY

Revision	Date
	Feb. 8, 2021
Job No	221-003
HVAC Drawing	2 OF 2

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 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
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 EMAIL: Low@DemasiArchitects.com

Do Not Scale Prints



LOCATION MAP N.T.S.

TREE LEGEND

☒ TREES TO BE REMOVED

DEMO LEGEND

▨ TO BE REMOVED

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 70(0)(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

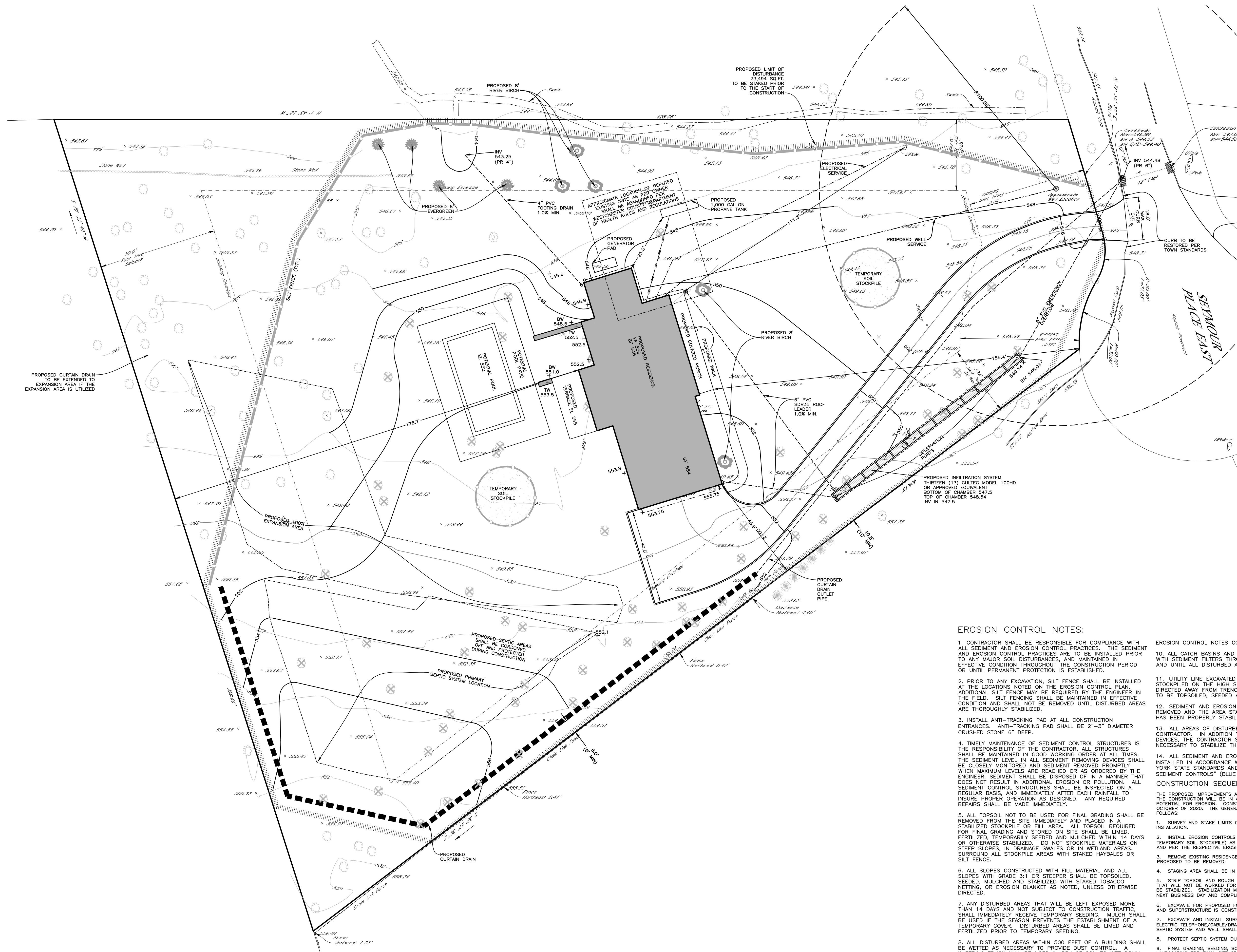


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 1100 ROUTE 52, CARMEL, N.Y. 10512
 845 - 228 - 9800

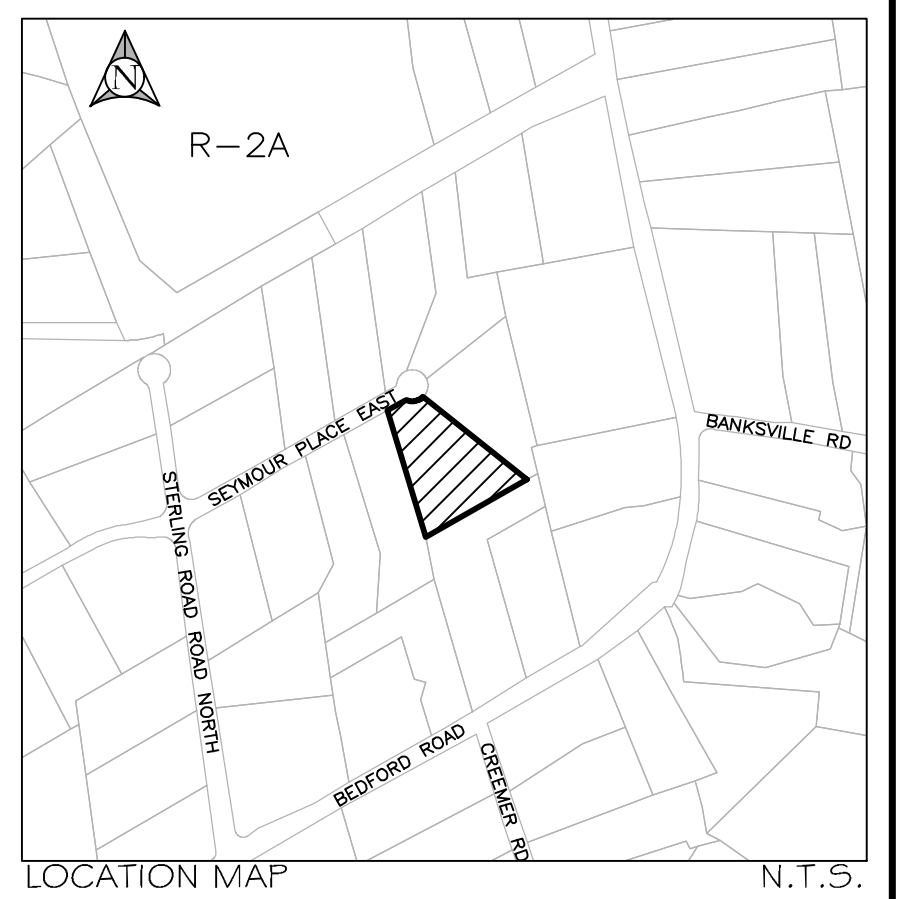
SITE DATA	
OWNER/APPLICANT: AMERICAN BUILDING TECHNOLOGIES	
SITE ADDRESS: 9 SEYMOUR PLACE EAST, ARMONK, NEW YORK 10504	
TAX MAP #: 108.02-1-51	
LOT AREA: 2.07 ACRES	
ZONING: R-2A	
DRAWING:	SHEET:
DEMOLITION & TREE PLAN	01
FEBRUARY 9, 2021	03

PROJECT:
9 SEYMOUR PLACE EAST
 TOWN OF NORTH CASTLE, WESTCHESTER COUNTY,
 NEW YORK

EXISTING AND DEMO PLAN



PROPOSED SITE PLAN

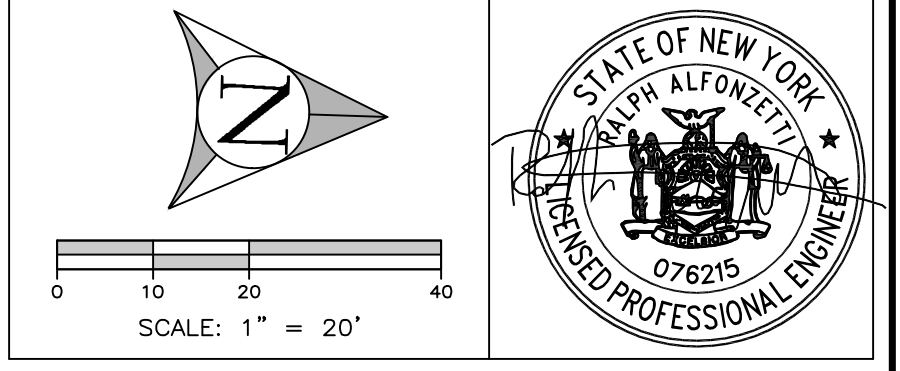


ZONING TABLE

ZONE: ONE FAMILY RESIDENCE DISTRICT ZONE R-2A		TOTAL LOT AREA: 2.07 AC
MINIMUM LOT AREA:	REQUIRED/ PERMITTED: 2 ACRES	PROPOSED: 2.07 ACRES
FRONT YARD SETBACK:	50 FT.	155.4 FT.
SIDE YARD SETBACK:	30 FT.	45.9 FT.
REAR YARD SETBACK:	50 FT.	178.7 FT.
MAXIMUM HEIGHT:	30 FT.	30 FT.
MAXIMUM BUILDING COVERAGE:	8%	4.4%

- CONSTRUCTION NOTES:**
1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
 2. THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
 3. EROSION AND SEDIMENT CONTROL MEASURES, SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
 4. AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
 5. ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
 7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
 8. UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
 9. ALL PROPOSED OR DISTURBED SLOPES, 1H:2V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
 10. IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
 11. NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.
 12. OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 270(2)(c), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO SIGN ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



EROSION CONTROL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
3. INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2'-3" DIAMETER CRUSHED STONE 6" DEEP.
4. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
5. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
6. ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
7. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
8. ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
9. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.

EROSION CONTROL NOTES CONTINUED:

10. ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
11. UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED.
12. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
13. ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
14. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).

CONSTRUCTION SEQUENCE:

- THE PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ONE PHASE. THE CONSTRUCTION WILL BE IN A SEQUENCE THAT WILL MINIMIZE THE POTENTIAL FOR EROSION. CONSTRUCTION IS SCHEDULED TO BEGIN IN OCTOBER OF 2020. THE GENERAL SEQUENCE OF CONSTRUCTION IS AS FOLLOWS:
1. SURVEY AND STAKE LIMITS OF DISTURBANCE AND EROSION CONTROL INSTALLATION.
 2. INSTALL EROSION CONTROLS (ANTI-TRACKING PAD, SILT FENCE, TEMPORARY SOIL STOCKPILES) AS SHOWN ON THE EROSION CONTROL PLAN AND PER THE RESPECTIVE EROSION CONTROL DETAILS.
 3. REMOVE EXISTING RESIDENCE AND ANY IMPERVIOUS SURFACES PROPOSED TO BE REMOVED.
 4. STAGING AREA SHALL BE IN THE LOCATION OF THE EXISTING HOUSE.
 5. STRIP TOPSOIL AND ROUGH GRADING. NOTE THAT DISTURBED SOIL THAT WILL NOT BE WORKED FOR A PERIOD GREATER THAN 14 DAYS MUST BE STABILIZED. STABILIZATION MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS.
 6. EXCAVATE FOR PROPOSED FOOTINGS/FOUNDATION. HOUSE FRAMING AND SUPERSTRUCTURE IS CONSTRUCTED.
 7. EXCAVATE AND INSTALL SUBSURFACE UTILITIES: WATER SERVICE, ELECTRIC TELEPHONE/CABLE/DRAINAGE. SEPTIC SYSTEM SHALL BE STAKED. SEPTIC SYSTEM AND WELL SHALL BE INSTALLED.
 8. PROTECT SEPTIC SYSTEM DURING CONSTRUCTION.
 9. FINAL GRADING, SEEDING, SODDING, AND OTHER SOIL STABILIZING LANDSCAPING FOR FINAL SITE STABILIZATION.
 10. REMOVE EROSION CONTROL SILT FENCE AND ANTI-TRACKING PAD. DISCARD EROSION CONTROL DEVICES IN AN APPROPRIATE MANNER.

ALFONZETTI ENGINEERING, P.C.
 1100 ROUTE 52, CARMEL, N.Y. 10512
 845 - 228 - 9800

SITE DATA

OWNER/APPLICANT:
AMERICAN BUILDING TECHNOLOGIES

SITE ADDRESS:
9 SEYMOUR PLACE EAST,
ARMONK, NEW YORK
10504

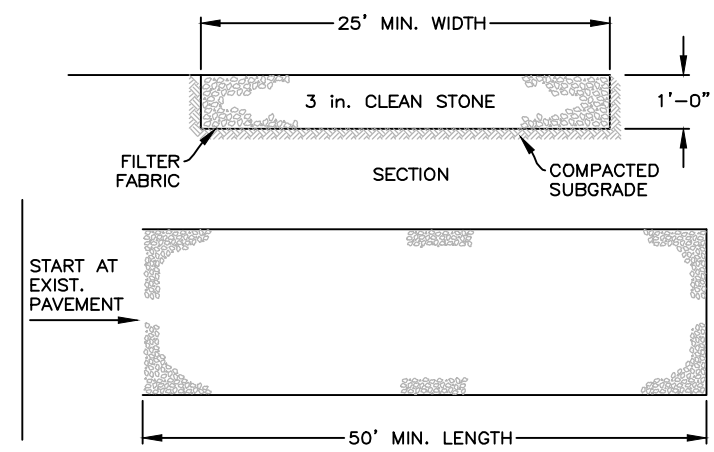
TAX MAP #:
108.02-1-51

LOT AREA: 2.07 ACRES

ZONING: R-2A

SITE PLAN
FEBRUARY 9, 2021

PROJECT:
9 SEYMOUR PLACE EAST
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY,
NEW YORK

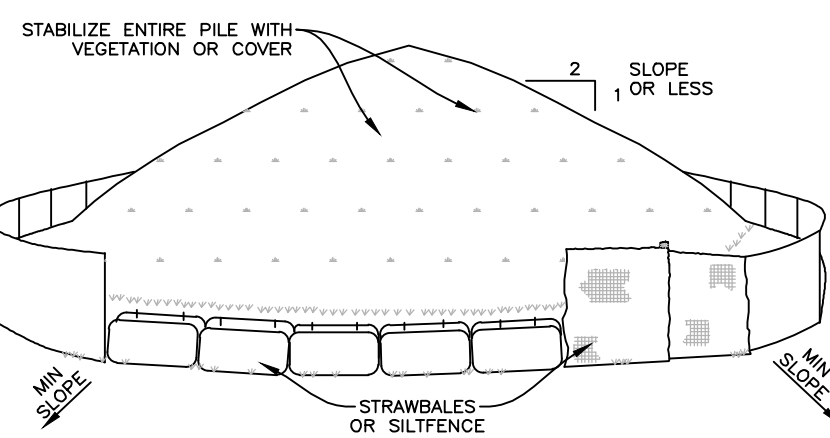


TO BE PROVIDED AT ALL POINTS OF EQUIPMENT INGRESS OR EGRESS ONTO PUBLIC RIGHTS-OF-WAY.

INSTALLATION NOTES

- STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
- FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD) N.T.S.



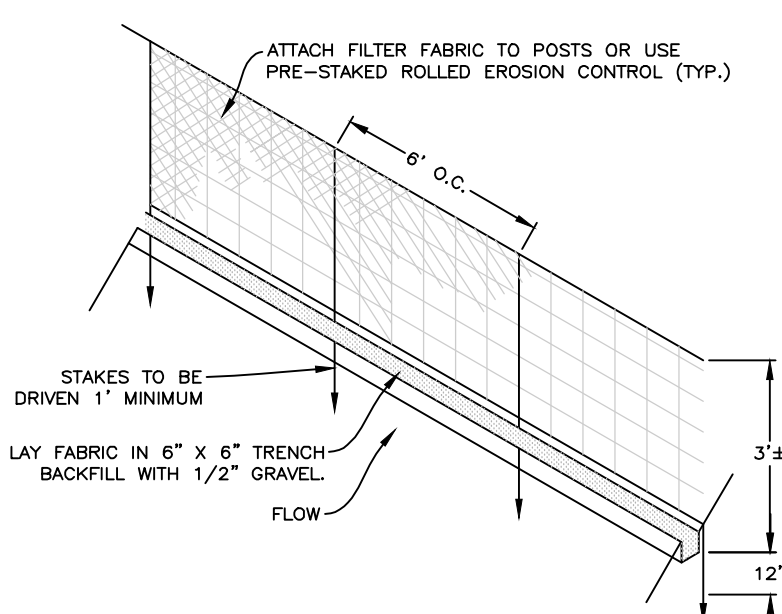
TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOILS THAT ARE DROUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS); STONY, SALTY, HAVE LOW PERMEABILITY, ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

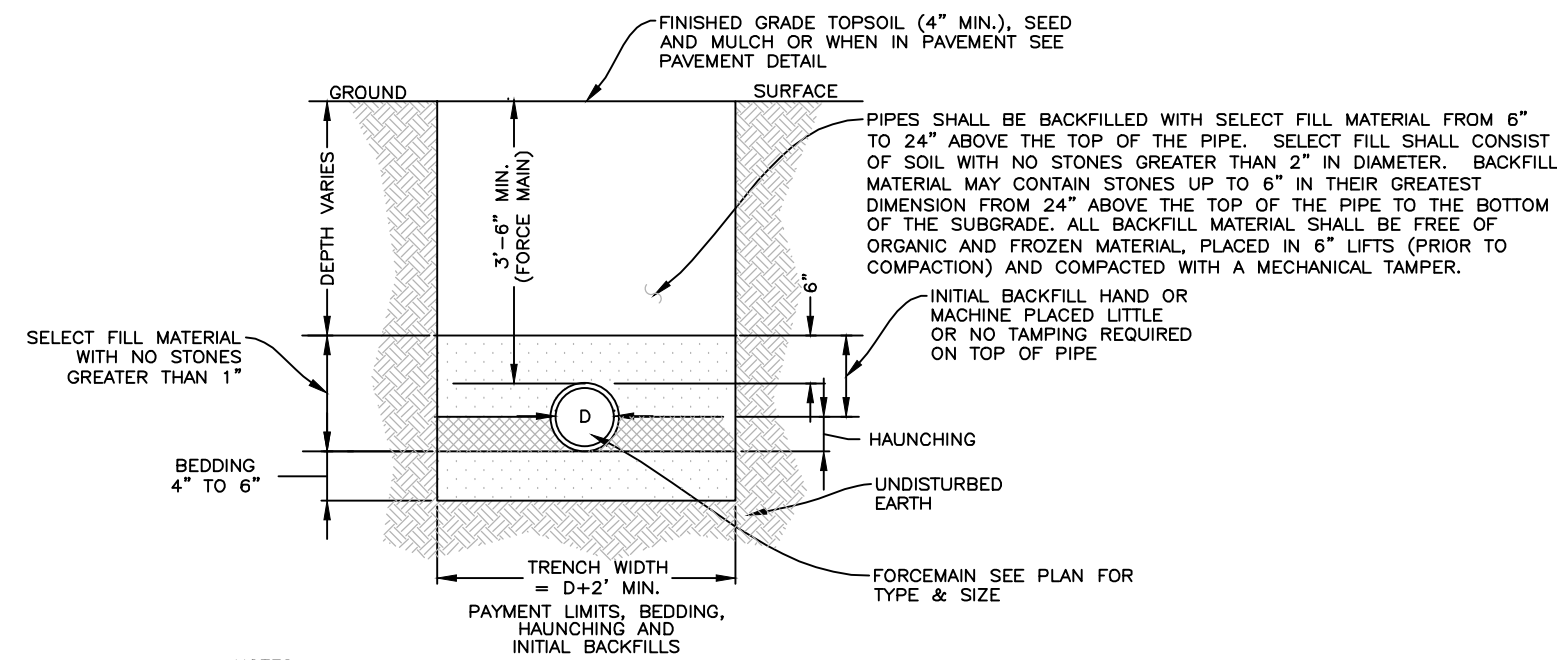
INSTALLATION NOTES

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

TEMPORARY MATERIAL STOCKPILE N.T.S.

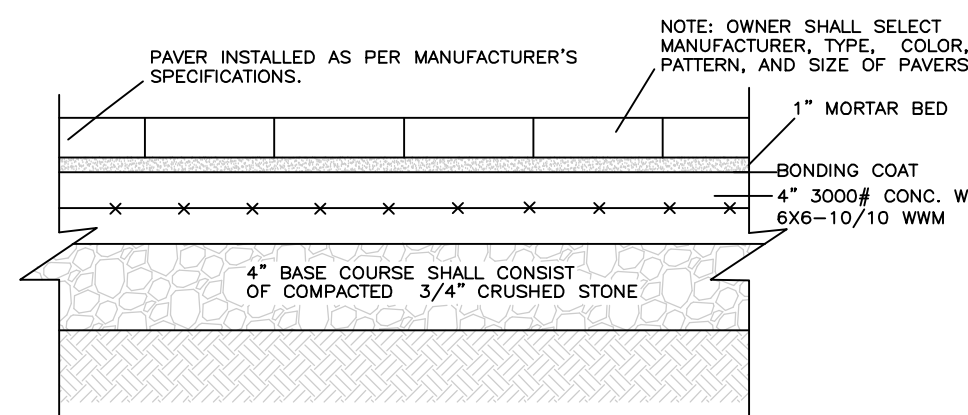


SILT FENCE N.T.S.

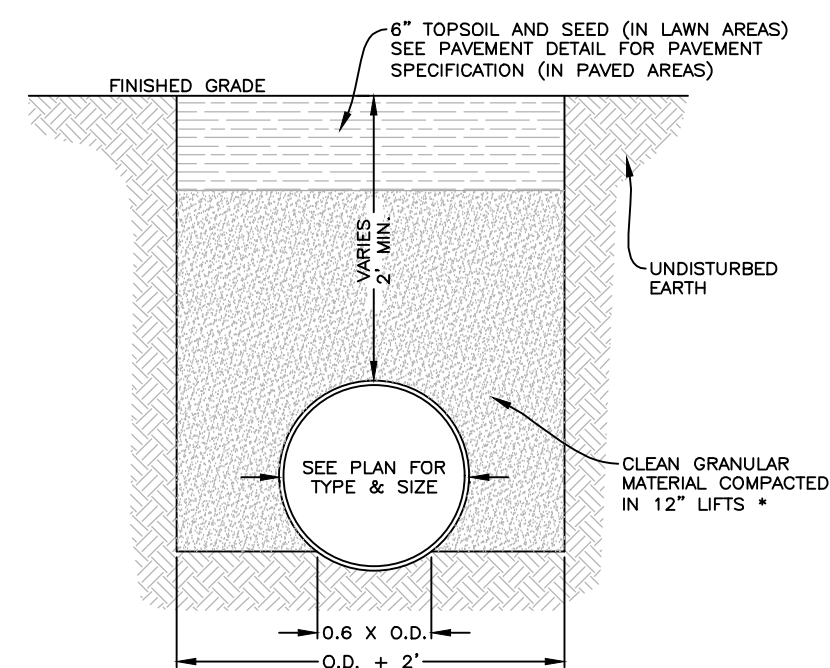


FORCEMAIN TRENCH DETAIL N.T.S.

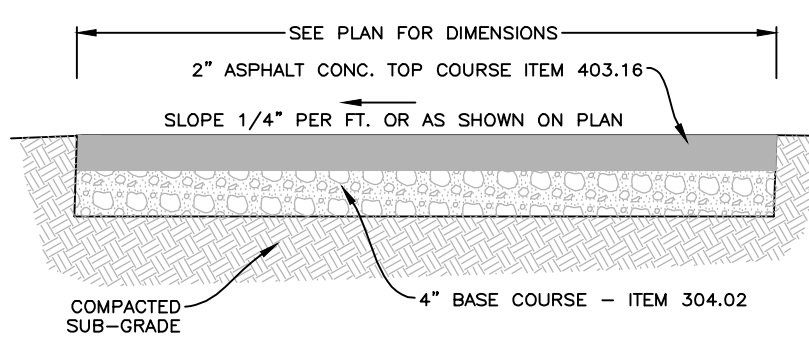
- NOTES:
- NO ROCK IS TO PROJECT INTO WITHIN THE EDGES OF THE TRENCH. IN ROCK EXCAVATION PIPE SHALL BE A MIN. OF 8" OVER AND AWAY FROM ROCK.
 - BACKFILL SHALL BE PLACED SO AS TO NOT DISTURB THE PIPE ALIGNMENT.



WALKWAY DETAIL N.T.S.



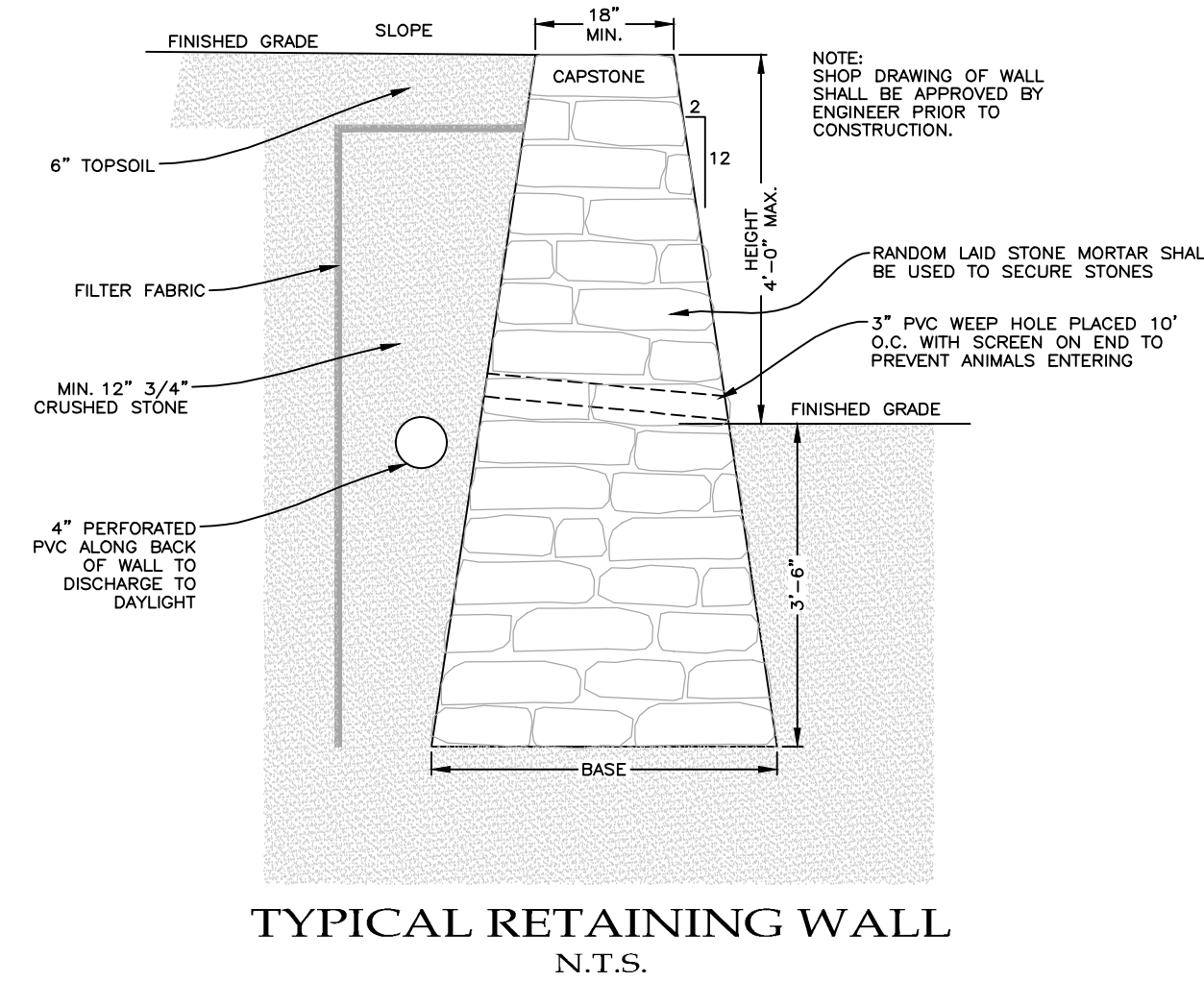
DRAIN PIPE TRENCH DETAIL N.T.S.



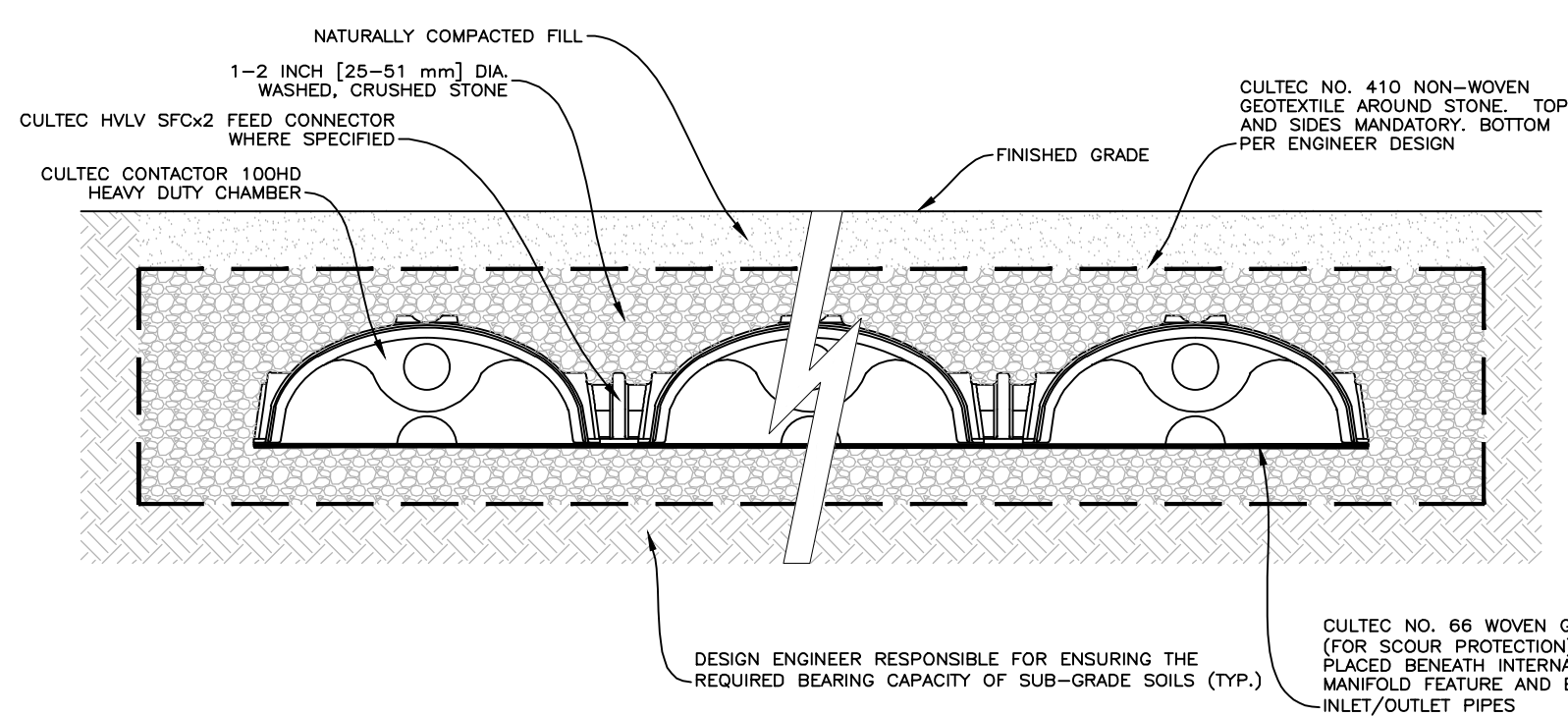
DRIVEWAY SECTION N.T.S.

DETENTION SYSTEM CALCULATIONS

USING STORMWATER CHAMBERS CULTEC RECHARGER 100 HD		
DRAINAGE STUDY AREA: (NET NEW IMPERVIOUS)	S.F.	4358
DESIGN STORM (25 YR.):	IN.	6.46
HYDROLOGIC SOIL TYPE:		C/D
EXISTING CN:		77
PROPOSED CN:		98
REQUIRED STORAGE VOLUME CALCULATION		
EX. RUNOFF DEPTH:	IN.	3.88
PR. RUNOFF DEPTH:	IN.	6.22
DELTA RUNOFF DEPTH:		
	IN.	2.34
REQUIRED STORAGE VOLUME:		
	C.F.	848.9
CHAMBER INFORMATION		
LENGTH OF 1 CHAMBER:	FT.	8
WIDTH OF 1 CHAMBER:	FT.	3.00
HEIGHT OF CHAMBER:	FT.	1.04
WIDTH OF STONE SURROUNDING CHAMBER:	FT.	1
DEPTH OF STONE UNDER CHAMBERS:	FT.	0.5
STONE VOID RATIO:		0.33
VOLUME PER CHAMBER (AS PER MANUFACTURER):	C.F./L.F.	1.87
TRENCH SIZE		
TRENCH WIDTH:	FT.	5.00
TRENCH LENGTH (UNIT LENGTH):	FT.	1
TRENCH HEIGHT:	FT.	1.54
TRENCH VOLUME:		
	C.F./L.F.	7.70
STONE VOID VOLUME:		
	C.F.	1.92
PERCOLATION AREA:		
	S.F./L.F.	5.00
PERCOLATION RATE:		
	MIN./IN.	20
PERCOLATION HOLE DIAMETER:		
	IN.	10
WATER LEVEL DROP		
	IN.	1
AVERAGE DEPTH OF WATER		
	IN.	8.5
PERCOLATION HOLE BOTTOM AREA:		
	S.F.	0.55
PERCOLATION HOLE SIDE AREA:		
	S.F.	1.85
PERCOLATION HOLE TOTAL AREA:		
	S.F.	2.40
PERCOLATION VOLUME CHANGE		
	C.F./S.F./D AY	0.045
ADJUSTED PERCOLATION RATE:		
	C.F./S.F./D AY	1.36
PERCOLATION VOL. PER DAY:		
	C.F./DAY/L.F.	6.8
SOIL CLOGGING FACTOR:		
		25%
PERCOLATION WITH CLOGGING:		
	C.F./DAY/L.F.	5.1
TOTAL VOLUME OF CHAMBERS:		
	C.F./DAY/L.F.	8.9
REQUIRED LENGTH CHAMBERS:		
	L.F.	95.31
REQUIRED NUMBER OF CHAMBERS @ 7 L.F./CHAMBER:		
		12.71
PROPOSED NUMBER OF CHAMBERS		
		13.00



TYPICAL RETAINING WALL N.T.S.

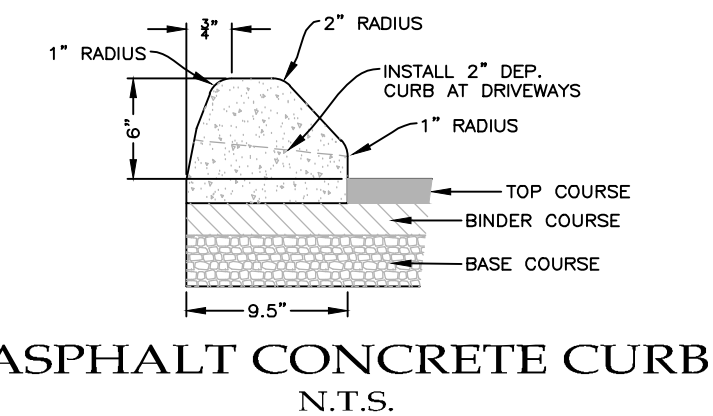
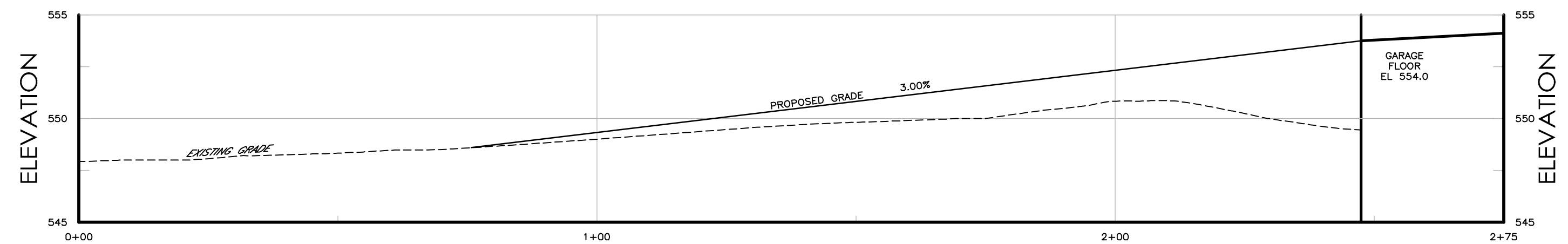


STORMWATER CHAMBER CROSS SECTION N.T.S.

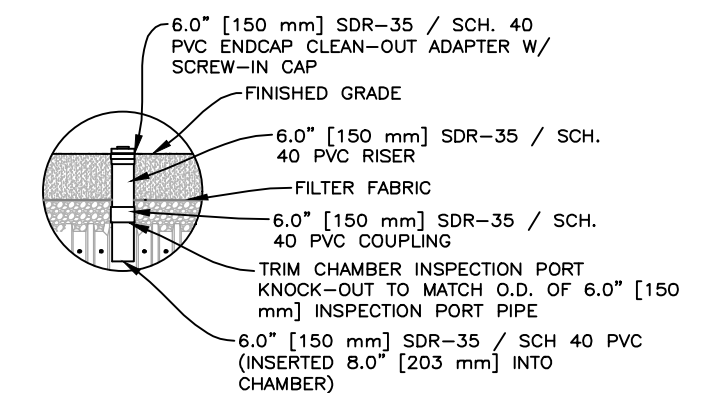
STORMWATER CHAMBER INSTALLATION N.T.S.

CHAMBERS SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS

**DRIVEWAY PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 5'**



ASPHALT CONCRETE CURB N.T.S.



'CULTEC' CHAMBERS INSPECTION PORT NON-TRAFFIC APPLICATION N.T.S.

PERCOLATION TEST DATA	
P1	20 MIN./IN.

DEEP TEST HOLE DESCRIPTION	
DT1	0"-6" TOPSOIL 6"-96" MOD-TIGHT SANDY SILTS WATER ENCOUNTERED AT 56"

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 2209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED. THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

SITE DATA
OWNER/APPLICANT:
AMERICAN BUILDING TECHNOLOGIES
SITE ADDRESS:
9 SEYMOUR PLACE EAST,
ARMONK, NEW YORK
10504
TAX MAP #: 108.02-1-51
LOT AREA: 2.07 ACRES
ZONING: R-2A
DRAWING: 03 OF 03

SITE DETAILS
FEBRUARY 9, 2021
PROJECT:
9 SEYMOUR PLACE EAST
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY,
NEW YORK

2020 Residential Code Of New York State

Climatic & Geographic Design Criteria Table R301.2(1)													
Ground Snow Load	Wind Design			Seismic Design Category	Subject To Damage From Weathering			Ice Shield Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temperature		
	Speed (mph)	Topographic Effects	Special Wind Region		Wind-Borne Debris Zone	Freezing	Frost-Like Days					Termites	
30 kN/ft	115 - 120 mph	No	Yes	Zone I	B	Severe	42"	Moderate Heavy	7" F	Yes	No	1500 or Less	52.2 F

Manual J Design Criteria							
Elevation	Latitude	Winter Heating	Summer Cooling	Altitude Correction Factor	Indoor Design Temperature	Design Temperature Cooling	Heating Temperature Difference
436	41	7	81	1	68	75	61
Cooling Temperature Difference	Wind Velocity Heating	Wind Velocity Cooling	Coincident Wet Bulb	Daily Range	Winter Humidity	Summer Humidity	
12	20.4	15	15	M	30	55	

Schedule For Proposed Building Material and Color Scheme

	Name:	Type:	Color:
Siding:	Hard-plank	Bevel	White
Windows:	Andersen	Double Hung	Black
Trim:	Azek/Fypon		White
Front Door:		Composite	Black
Roofing:	Asphalt Shingle Roof		Black
Roofing:	Metal Roofing		Escape Gray

Construction Type Note:

As Per Title 19 NYCRR Part 1265

Provide Label As Shown Below



V = Construction Type As Per Section 602 of BCNYS

FR = Floor And Roof Framing As Per Designation For Structural Components That Are Of Truss/Engineered Type Construction

Size: 6" Diameter Circle

Color:

Circle To Be 1/2" Stroke - Reflective Red Pantone #187
Inner Circle - Reflective White
Text - Reflective Red Pantone #187

Sign Location:

The Sign Or Symbol Required Shall Be Affixed To The Electric Box Attached To The Exterior Of The Residential Structure. See Section 1265.5 For Further Notes On Sign Location.

See Title 19 NYCRR Part 1265 For Other Specs

Design Loads:

Required Live Loads:

First Floor Loads	Live Load	40 #/sf
Second Floor Loads	Live Load	30 #/sf
Attic Load (w/ Storage)	Live Load	20 #/sf
Attic Load (w/ Storage)	Live Load	30 #/sf
Exterior Balconies	Live Load	60 #/sf
Decks	Live Load	40 #/sf
Guardrails	Live Load	200 #/sf
Stairs	Live Load	40 #/sf

Refer to section R301.4 of the Residential code of New York State for any additional information.

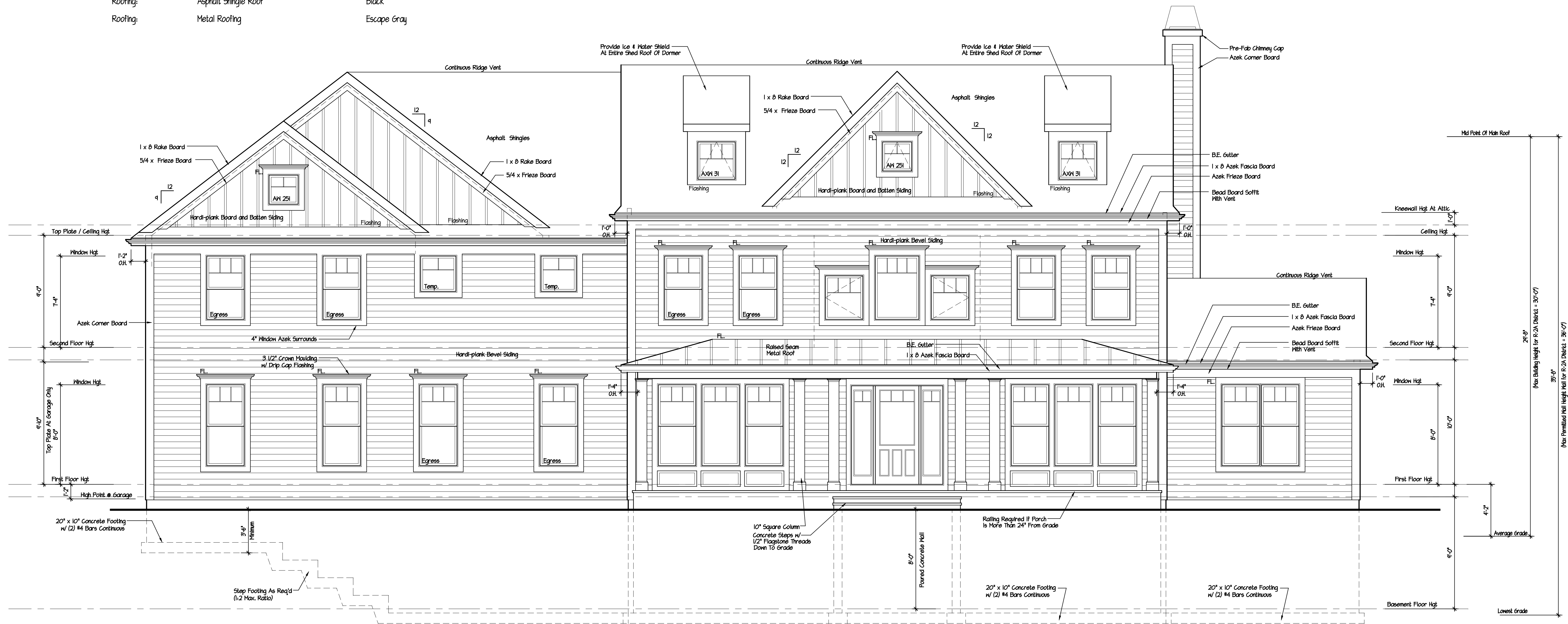
Provided Design Loads:

First Floor Loads	Live Load	40 #/sf	Dead Load	12 #/sf
Second Floor Loads	Live Load	30 #/sf	Dead Load	12 #/sf
Attic Load (4'-6" Headroom)	Live Load	20 #/sf	Dead Load	12 #/sf
Attic Load (6'-4" Headroom)	Live Load	30 #/sf	Dead Load	12 #/sf
Ground Snow Load	Live Load	45 #/sf	Dead Load	1 #/sf

Snow Load Reduction
Ground Snow Loads Have Been Converted To Roof Snow Loads In Accordance With The Provisions Of ASCE 7.

Pitch	Roof Snow Load
4-4	28.35
10-11	21
12	22.7
13	20
14	18.5
15-16	17

LUMBER: All framing lumber to be stress grade Douglas-Fir Larch No. 2 or better.



Front Elevation
Scale: 1/4" = 1'-0"

Square Footage

First Floor	2,711 Sf
Second Floor	2,851 Sf
Total	5,628 Sf

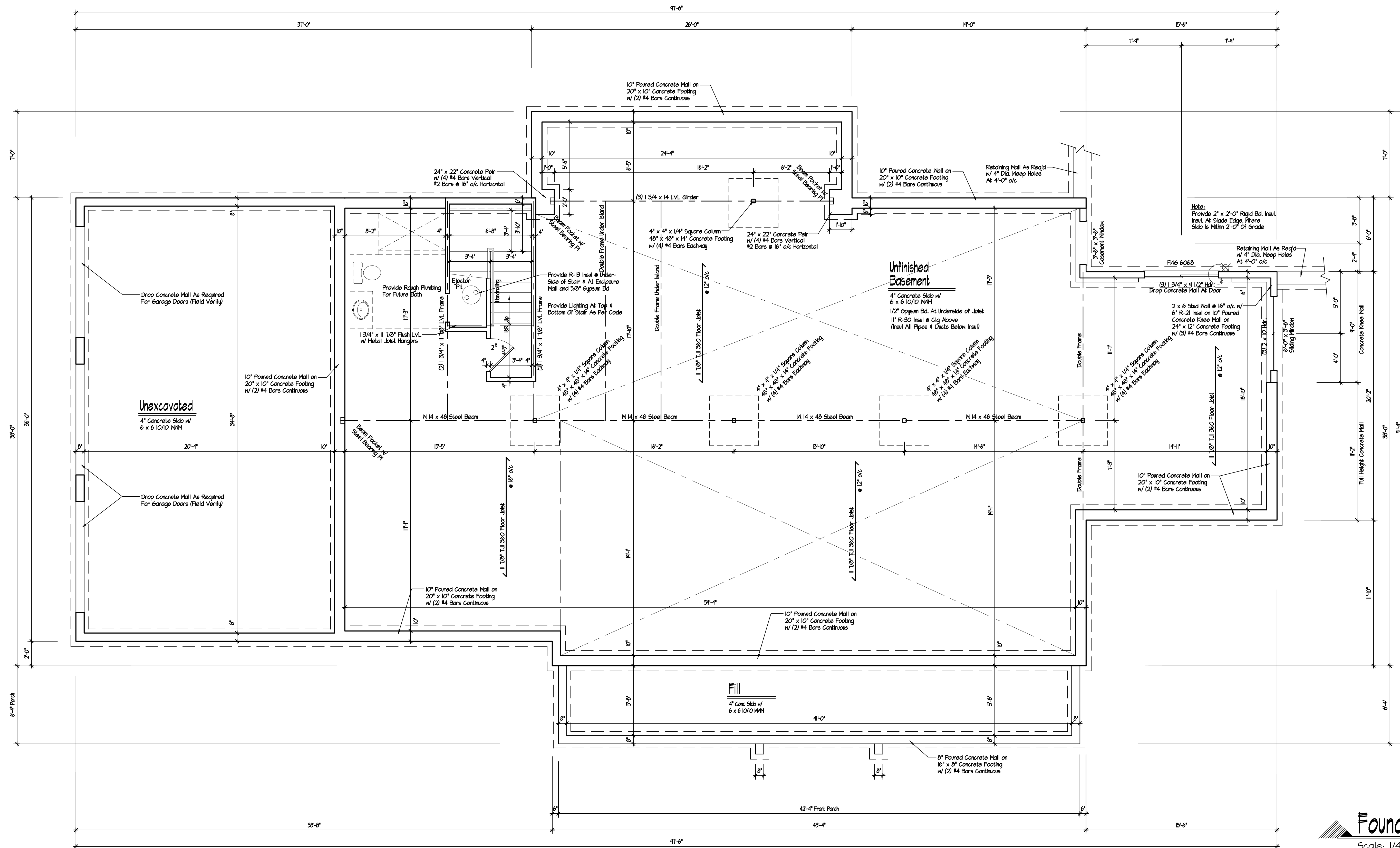
Do Not Scale Prints

DeMasi Architects P.C.
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
EMAIL: Lou@DemasiArchitects.com
PHONE: (914) 666-3856

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Residence For
9 Seymour Pl East
Armonk NY

Revision	Date
	Feb. 8, 2021
Job No	221-003
Drawing	OF 9



Foundation Plan
Scale: 1/4" = 1'-0"

Notes:

All Footings To Bear 12" Below Solid Undisturbed Earth
 All Framing Members To Be # 2 Douglas Fir-Larch Or Better
 Double Frame Under All Partitions Parallel To Framing
 Double All Box Joist At Cellar Type Windows
 If The Floor Is To Be MID Job Consult Architect For Additional Framing Required

Legend:

- 2 x Wood Post (Match Beam Width or As Noted)
- Smoke Detector w/ Battery Back-up
- Heat Detector w/ Battery Back-up
- Carbon Monoxide Det w/ Battery Back-up
- Surface Mounted Light Fixture

Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

Note:
 Unless Otherwise Noted On Plans

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Residence For
9 Seymour Pl East
Armonk NY

Revision	Date
Date	Feb. 8, 2021
Job No	221-003
Drawing	2 OF 9

General Notes:

ALL WORK AND MATERIALS SHALL CONFORM TO THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ALL LOCAL, COUNTY AND STATE CODES.

ALL FRAMING LUMBER TO BE # 2 DOUGLAS FIR - LARCH OR BETTER.

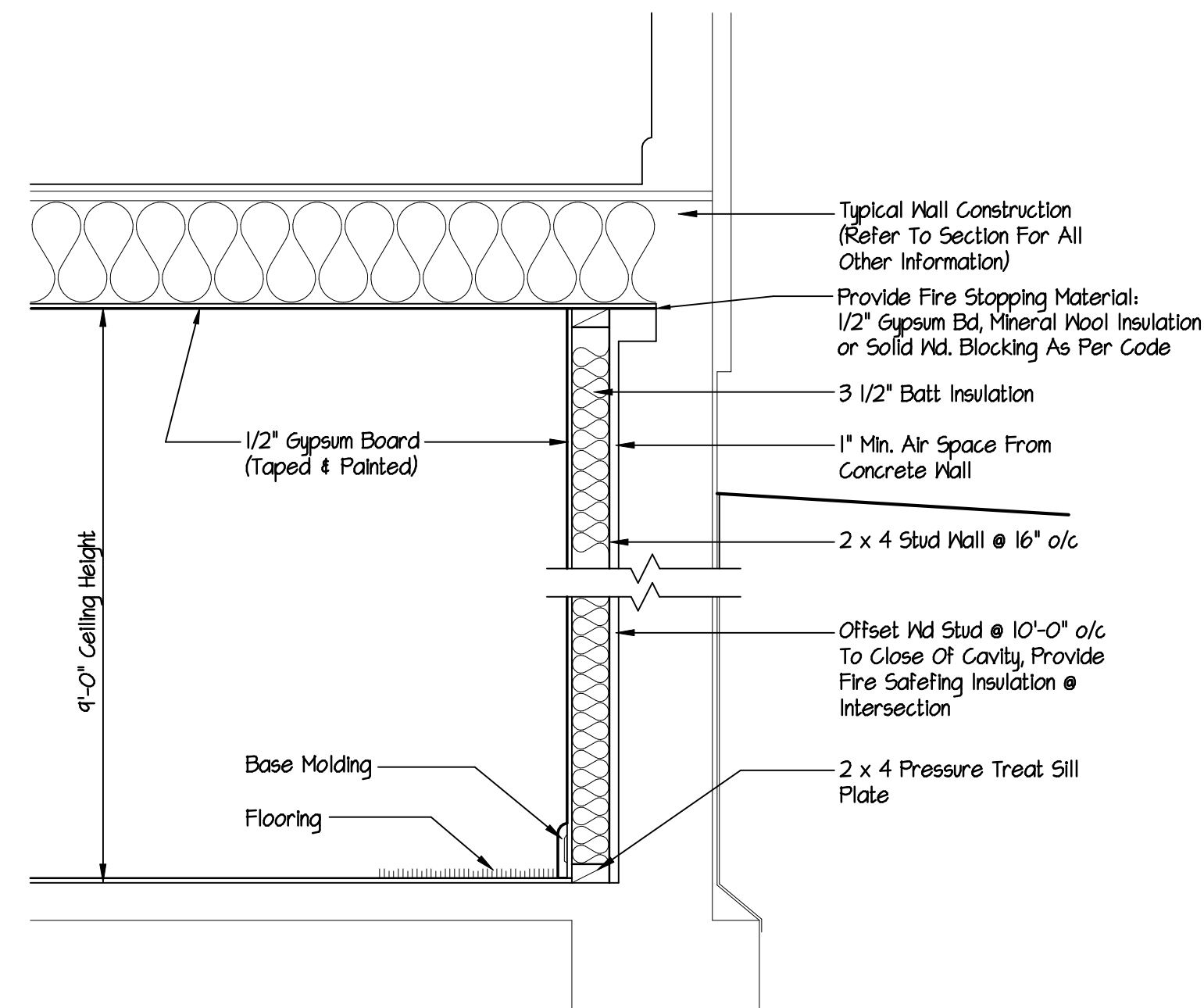
ALL NEW WORK AND MATERIALS, UNLESS OTHERWISE SPECIFIED, SHALL MATCH EXISTING CONSTRUCTION.

ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

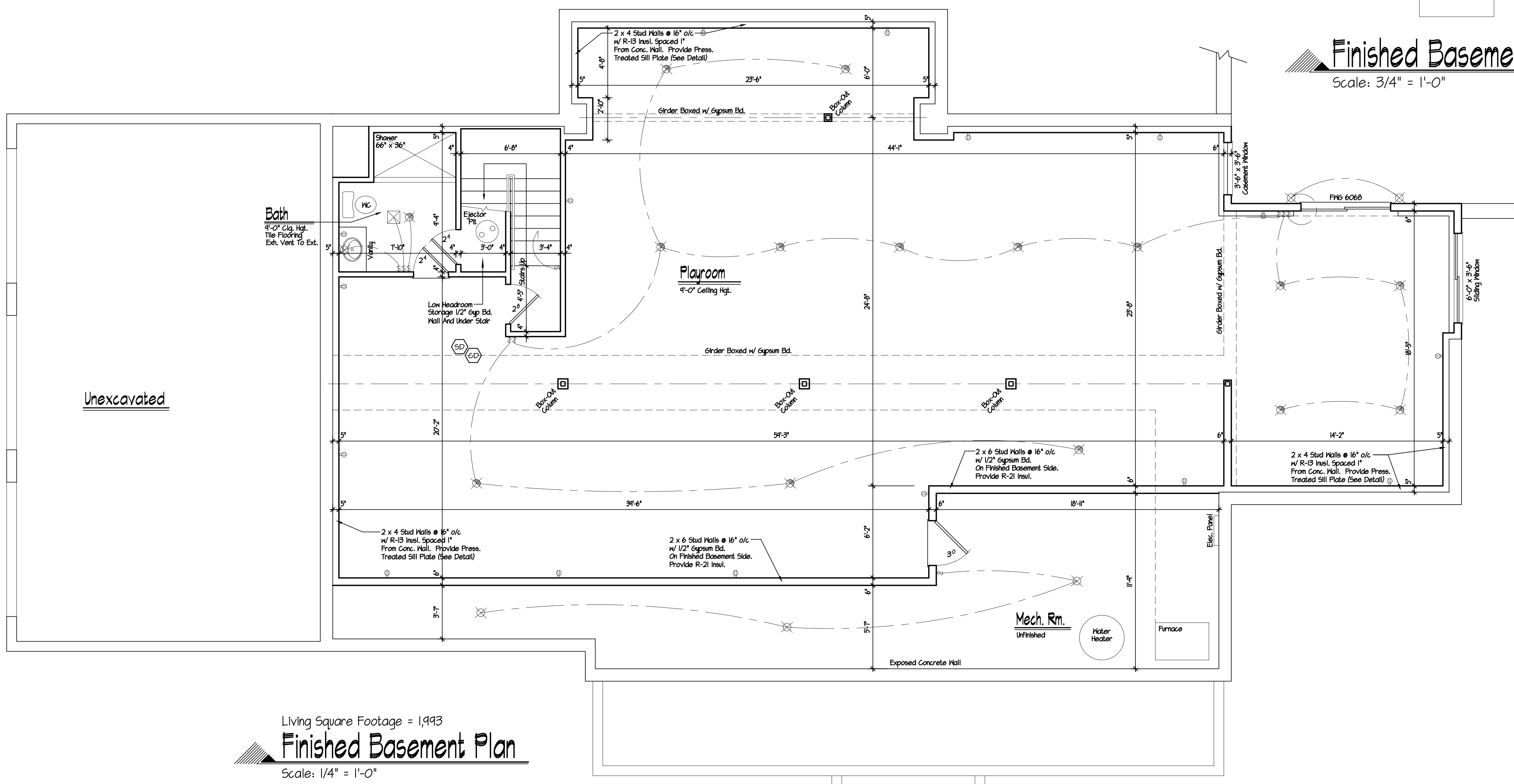
PROVIDE ONE SMOKE DETECTOR IN EACH BEDROOM, IF NOT EXISTING ALREADY PLUS ONE SMOKE & CO DETECTOR WITH HALLWAY ADJACENT TO BEDROOM AS PER 2020 RESIDENTIAL CODE OF NEW YORK STATE

Legend:

- ⊗ Surface Mounted Light Fixture
- ⊗ Recessed Light Fixture
- ⊕ Duplex Outlet
- ⊕ Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)
- ⊗ Exhaust Fan



Finished Basement Detail
Scale: 3/4" = 1'-0"



Living Square Footage = 1,993
Finished Basement Plan
Scale: 1/4" = 1'-0"

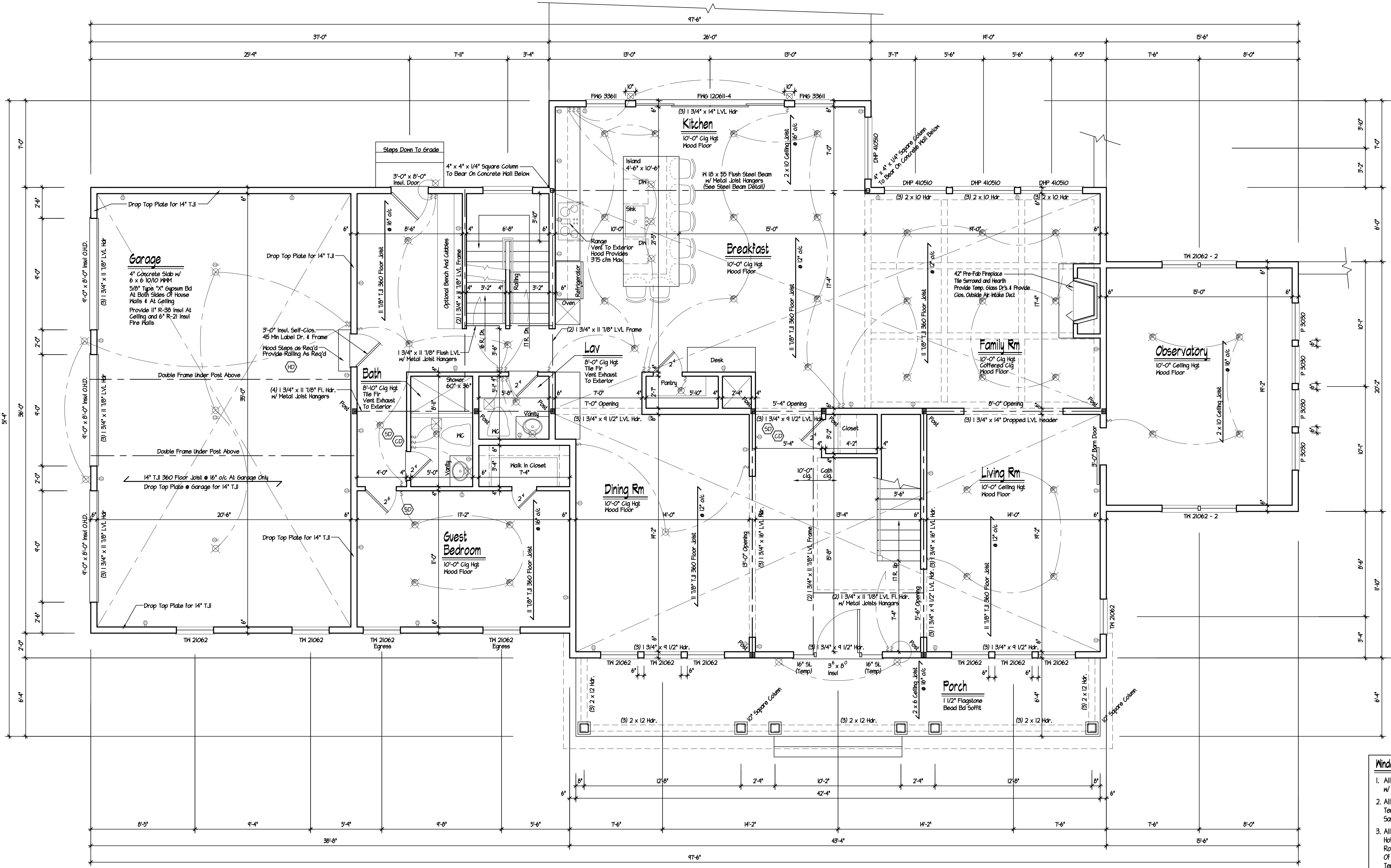
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PHONE: (914) 666-3856
EMAIL: Lou@DemasiArchitects.com

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Residence For
9 Seymour PL East
Armonk NY

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Job No	221-003
Drawing	2A OF 9

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First Floor Plan
Scale: 1/4" = 1'-0"

Notes:

- All Framing Members To Be # 2 Douglas Fir - Larch Or Better
- Double Frame Under All Partitions Parallel To Framing
- If Tile Floor Is To Be MUD Job Consult Architect For Additional Framing Required

Legend:

- 2 x Wood Post (Match Beam Width or As Noted)
- Smoke Detector w/ Battery Back-Up
- Carbon Monoxide Det w/ Battery Back-Up
- Heat Detector w/ Battery Back-Up
- Surface Mounted Light Fixture
- Recessed Light Fixture
- Duplex Outlet
- Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)
- Exhaust Fan

Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

Note:
Unless Otherwise Noted On Plans

Andersen Egress Window Sizes:

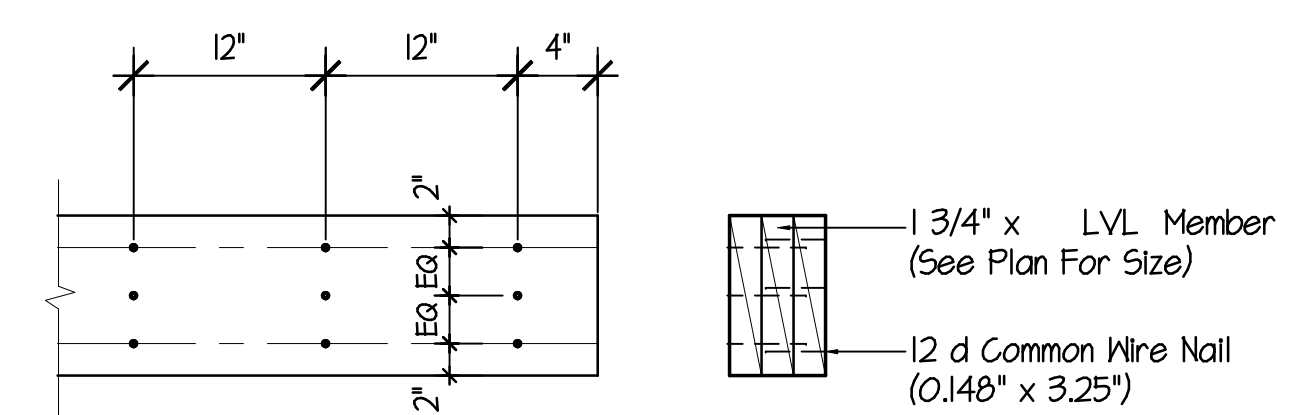
Size	Opening	Width	Height
TN 21062	156" sf	31 1/8"	34 1/4"

- Window Note:**
- All Glazing To Be Low E³ Insulated Glass w/ Minimum R-31 (U=0.32).
 - All Windows Within 18" Of Floor To Have Tempered Glass (Double Hungs-Bottom Sash Only, All Others Full Unit).
 - All Glazing in Doors & Windows Enclosing Hot Tubs, Hot Tubs, Saunas, Steam Rooms, Bathrooms and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
 - All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 Sf Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
 - All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.
 - All Windows Sills Within 24" Above The Finished Floor & Greater Than T2" Above Finished Grade Or Other Surface. Requires Fall Protection. See Section R312.2 For More Info.

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Residence For
9 Seymour Pl East
Armonk NY

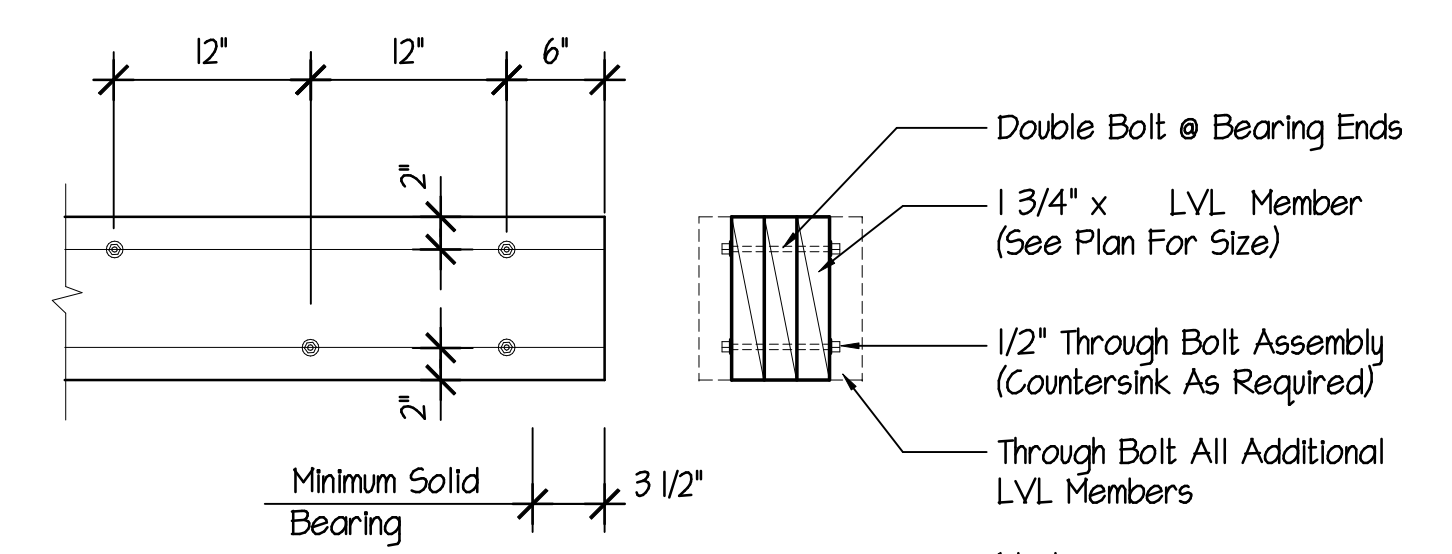
Revision	Date
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Elevation
Note:
 LVL = Laminated Veneer Lumber
 By Trus-Joist Neyerhaeuser (1.9 E)
 Minimum or Equal

Section
Note:
 See Plans For Size & Location
 Of All LVL Members

LVL Beam Detail (Nailed)
 Scale: 1" = 1'-0"

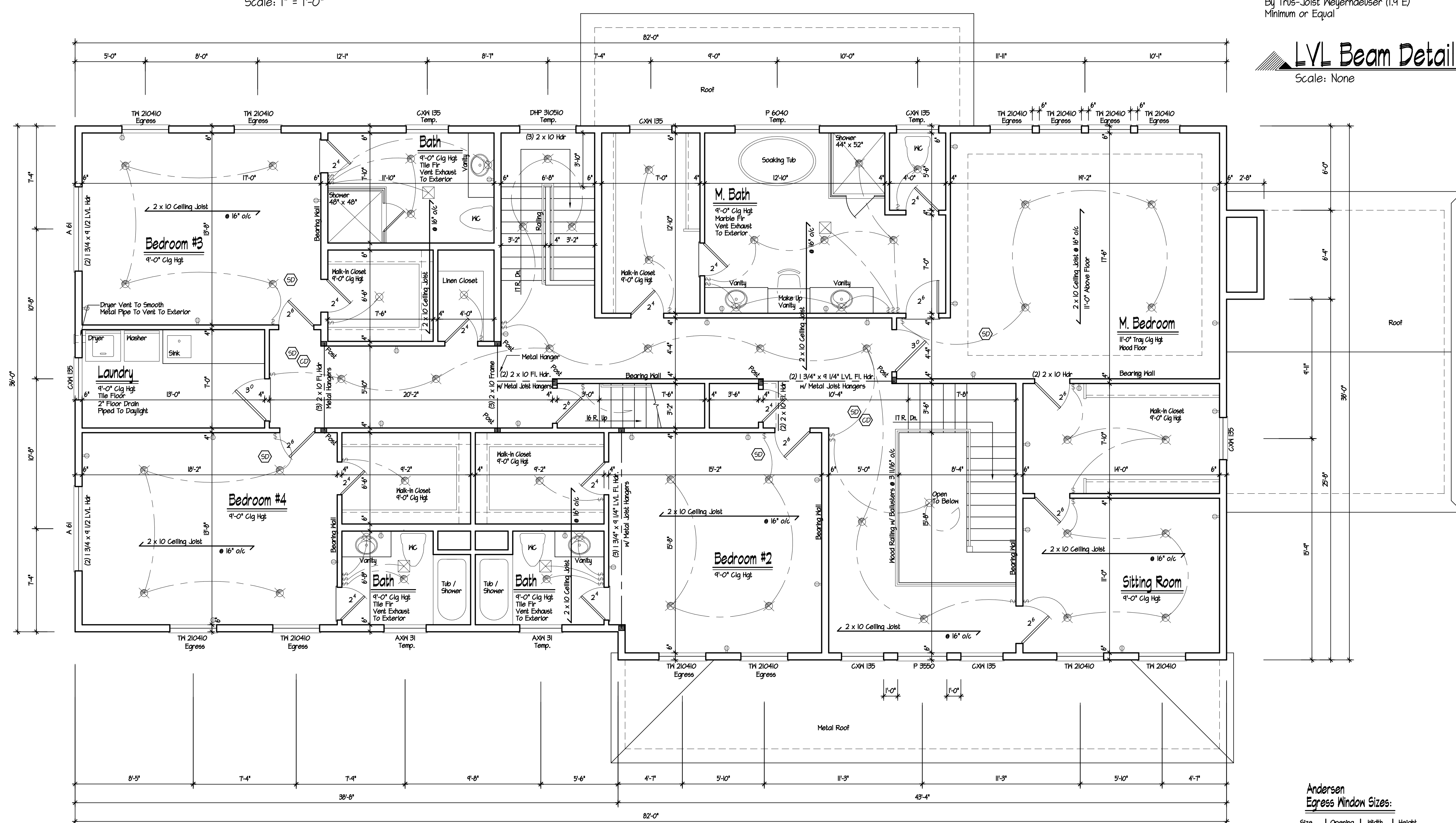


Elevation
Note:
 LVL = Laminated Veneer Lumber
 By Trus-Joist Neyerhaeuser (1.9 E)
 Minimum or Equal

Section
Note:
 Bolting As Required, Refer
 To Manufactured Specifications
 For All Information & Specifics

Note:
 See Plans For Size & Location
 Of All LVL Members

LVL Beam Detail (Bolted)
 Scale: None



- Notes:**
- All Framing Members To Be # 2 Douglas Fir-Larch Or Better
 - Double Frame Under All Partitions Parallel To Framing
 - If Tile Floor Is To Be MID Job Consult Architect For Additional Framing Required
- Legend:**
- 2 x Wood Post (Match Beam Width or As Noted)
 - Smoke Detector w/ Battery Back-Up
 - Carbon Monoxide Det w/ Battery Back-Up
 - Surface Mounted Light Fixture
 - Recessed Light Fixture
 - Duplex Outlet
 - Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)
 - Exhaust Fan
- Wood Header Schedule**
- | Span | Header Size |
|-------------|---------------|
| Up To 3'-0" | (2) 2 x 6 Hr |
| Up To 4'-0" | (2) 2 x 10 Hr |
| Up To 6'-0" | (3) 2 x 10 Hr |
- Note:**
 Unless Otherwise Noted On Plans

- Window Note:**
- All Glazing To Be Low "E" Insulated Glass w/ Minimum R-31 (I=0.32).
 - All Windows Within 18" Of Floor To Have Tempered Glass (Double Hings-Bottom Sash Only, All Others Full Unit).
 - All Glazing In Doors & Windows Enclosing Hot Tubs, Hot Tubs, Saunas, Steam Rooms, Bathrooms and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
 - All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 Sf Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
 - All Windows or Doors Marked w/ "IEHP" To Have Full Unit Tempered.
 - All Windows Sills Within 24" Above Finished Floor & Greater Than 12" Above Finished Grade Or Other Surface. Requires Fall Protection. See Section R312.2 For More Info.

Andersen Egress Window Sizes:

Size	Opening	Width	Height
TM 210410	5.12 sf	31 7/8"	25 3/4"

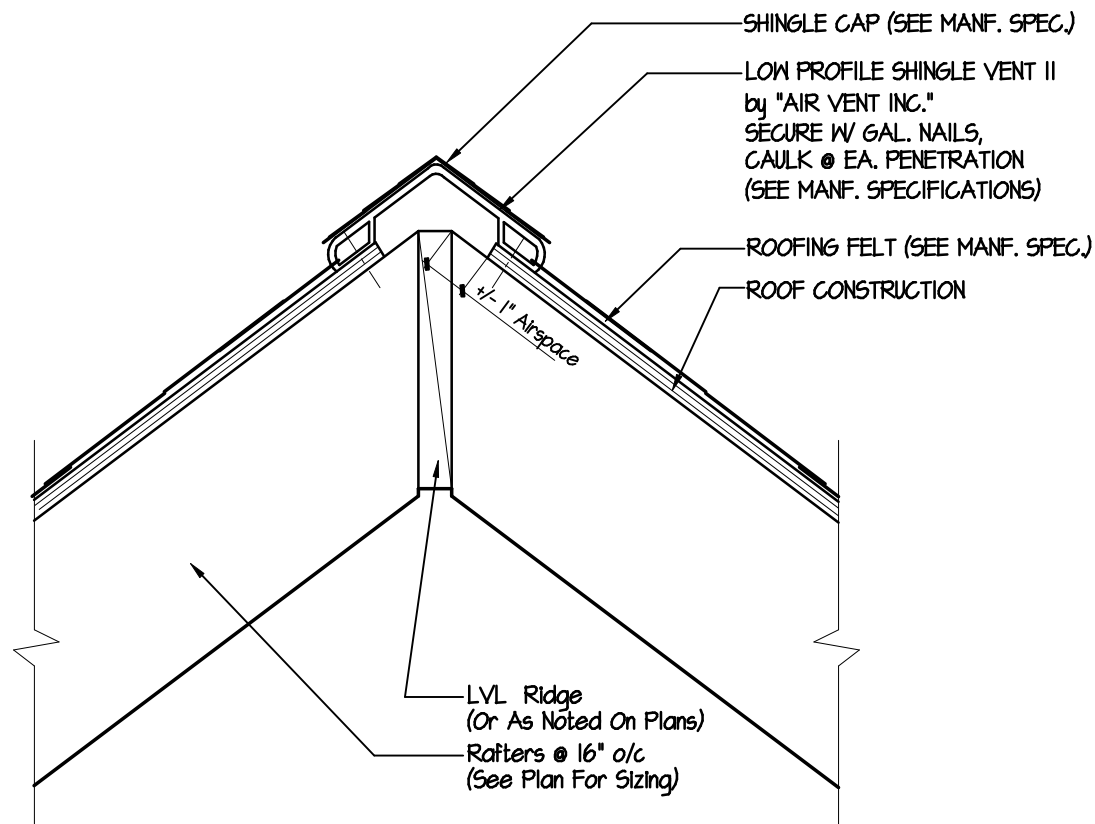
Second Floor Plan
 Scale: 1/4" = 1'-0"

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 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
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 PHONE: (914) 666-3856

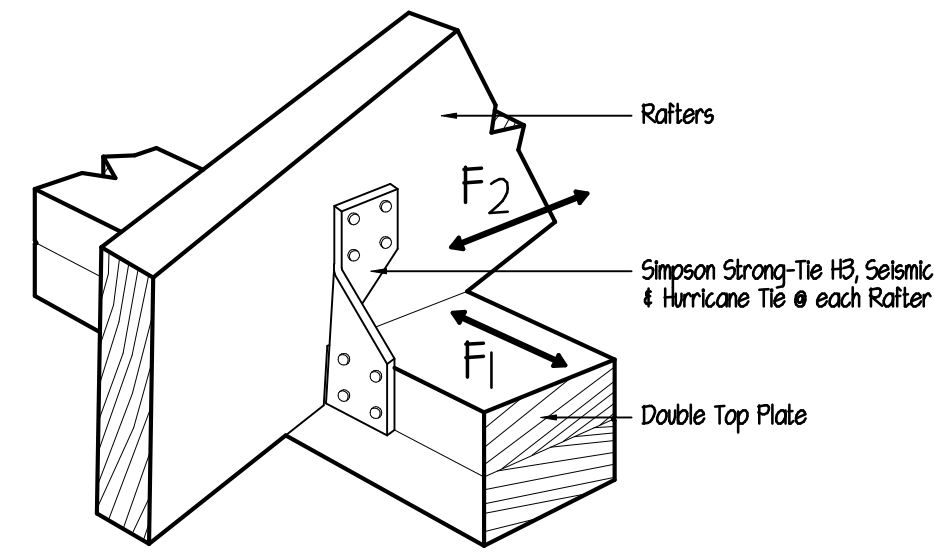
Residence For
9 Seymour Pl East
Armonk NY

Revision	Date
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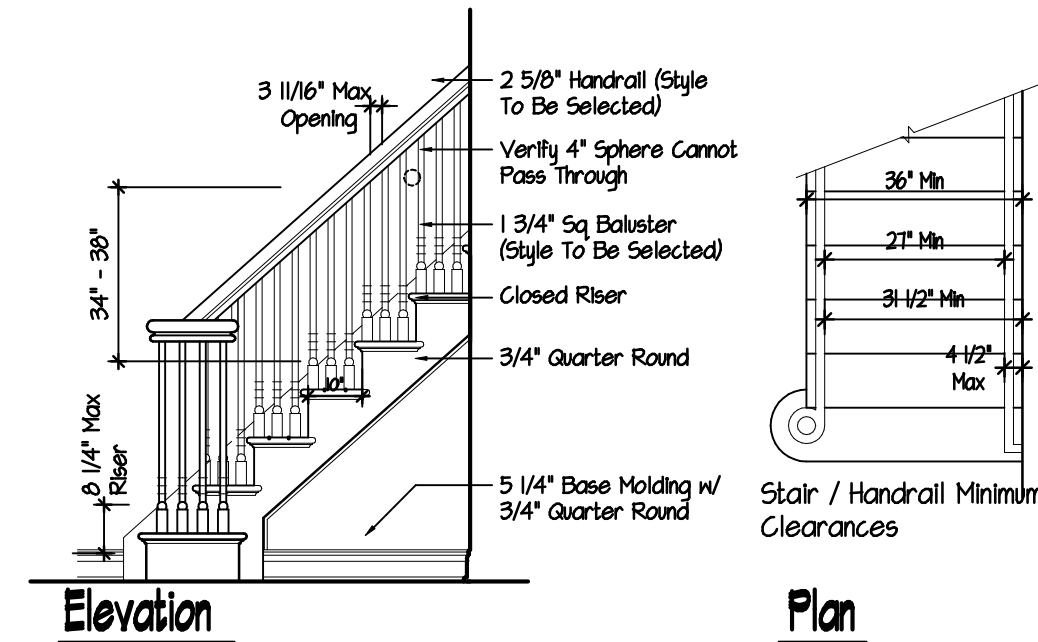
Ridge Vent Detail

Scale: None



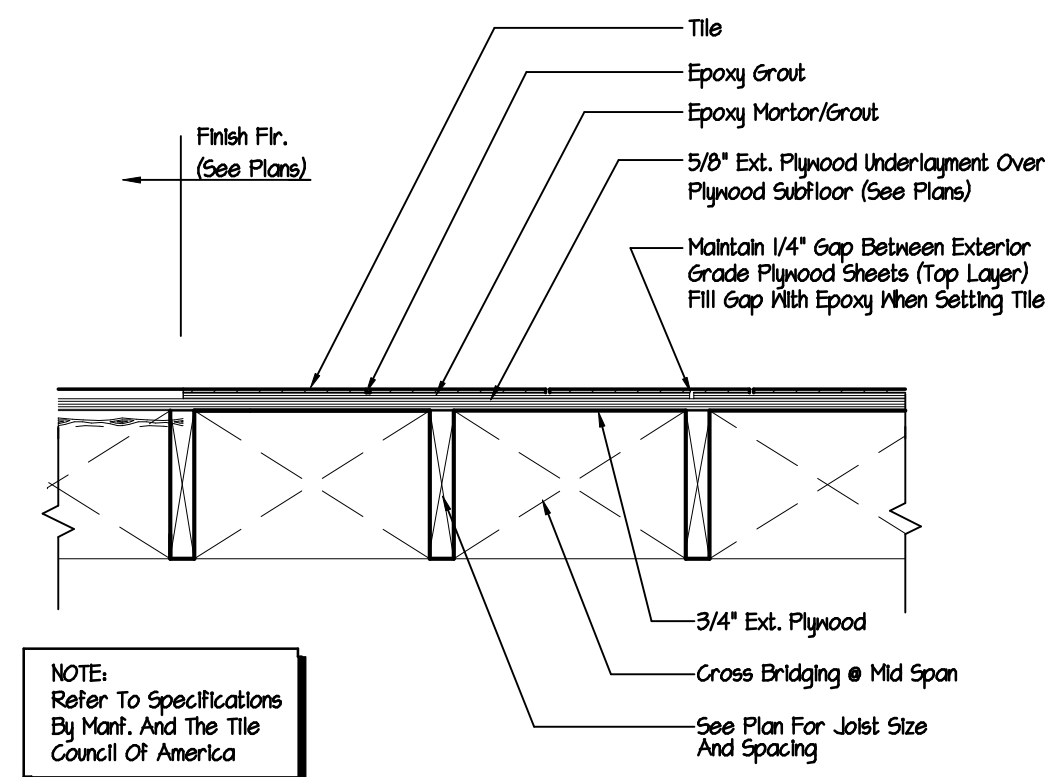
Rafter Tie Down Detail

Scale: None



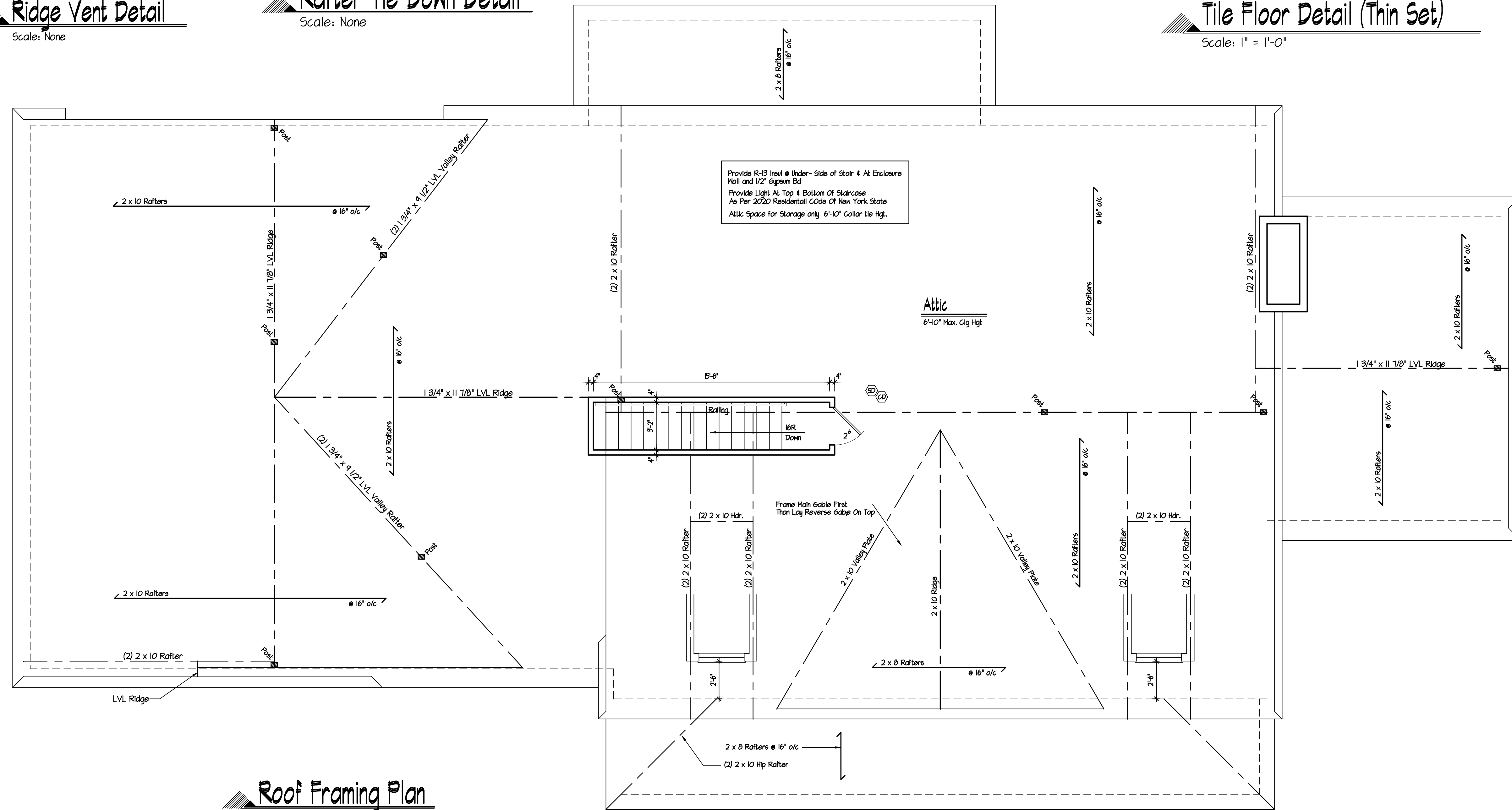
Stair Clearance Detail

Scale: None



Tile Floor Detail (Thin Set)

Scale: 1" = 1'-0"



Roof Framing Plan

Scale: 1/4" = 1'-0"

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Residence For

**9 Seymour Pl East
Armonk NY**

Revision	Date
	Feb. 8, 2021
Job No	221-003

Drawing

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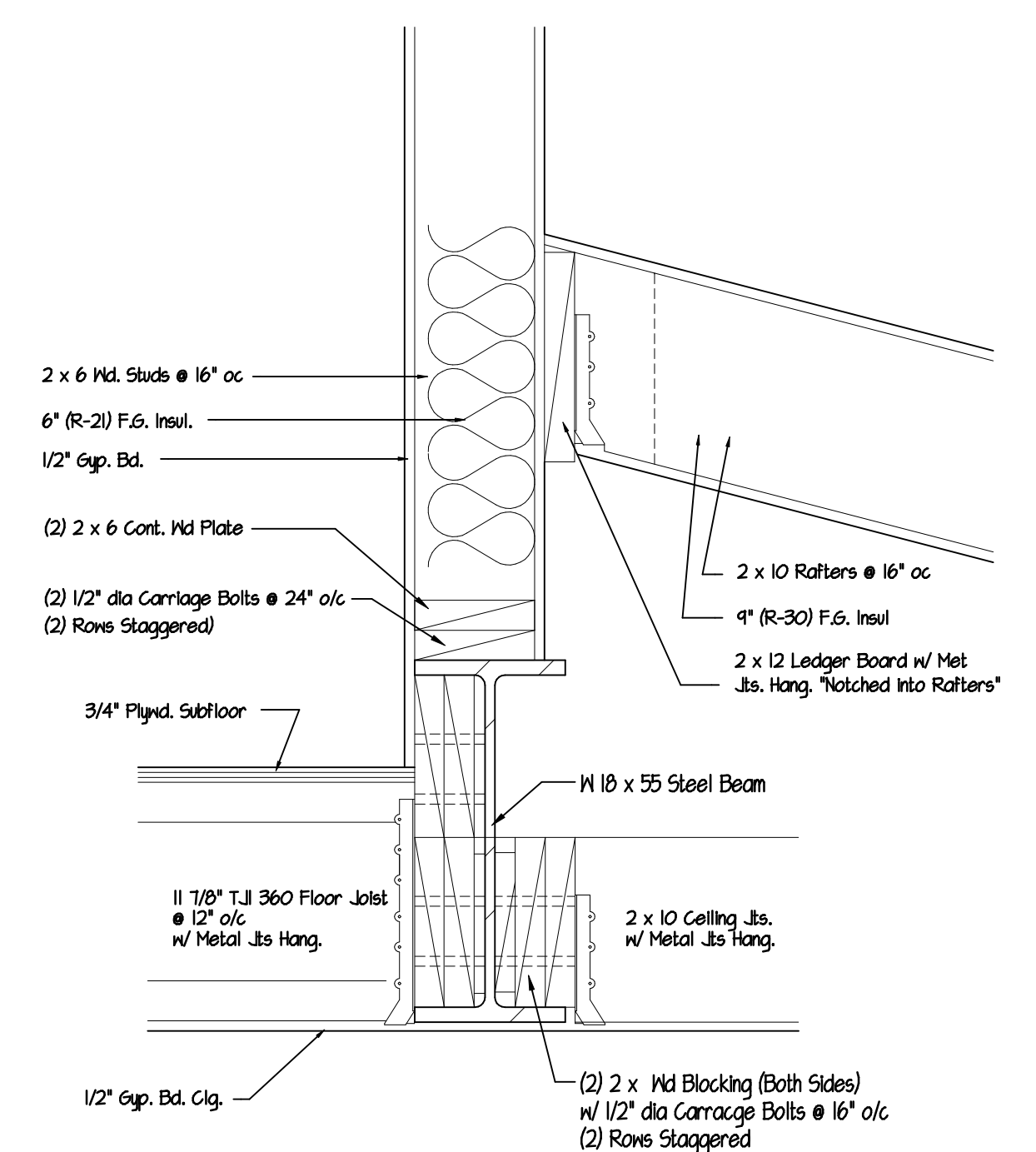
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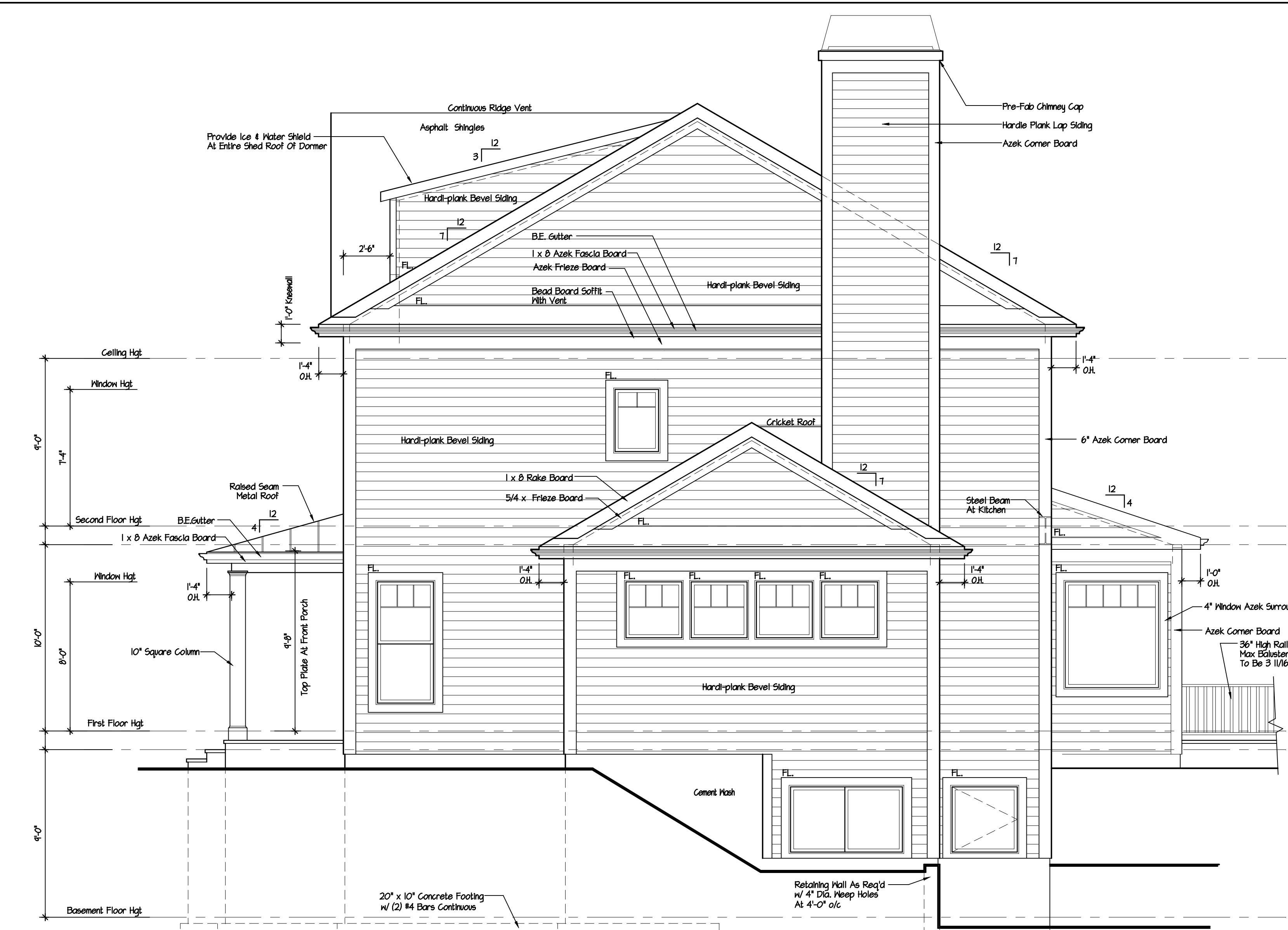
PHONE: (914) 666-3856

EMAIL: Love@DemasiArchitects.com

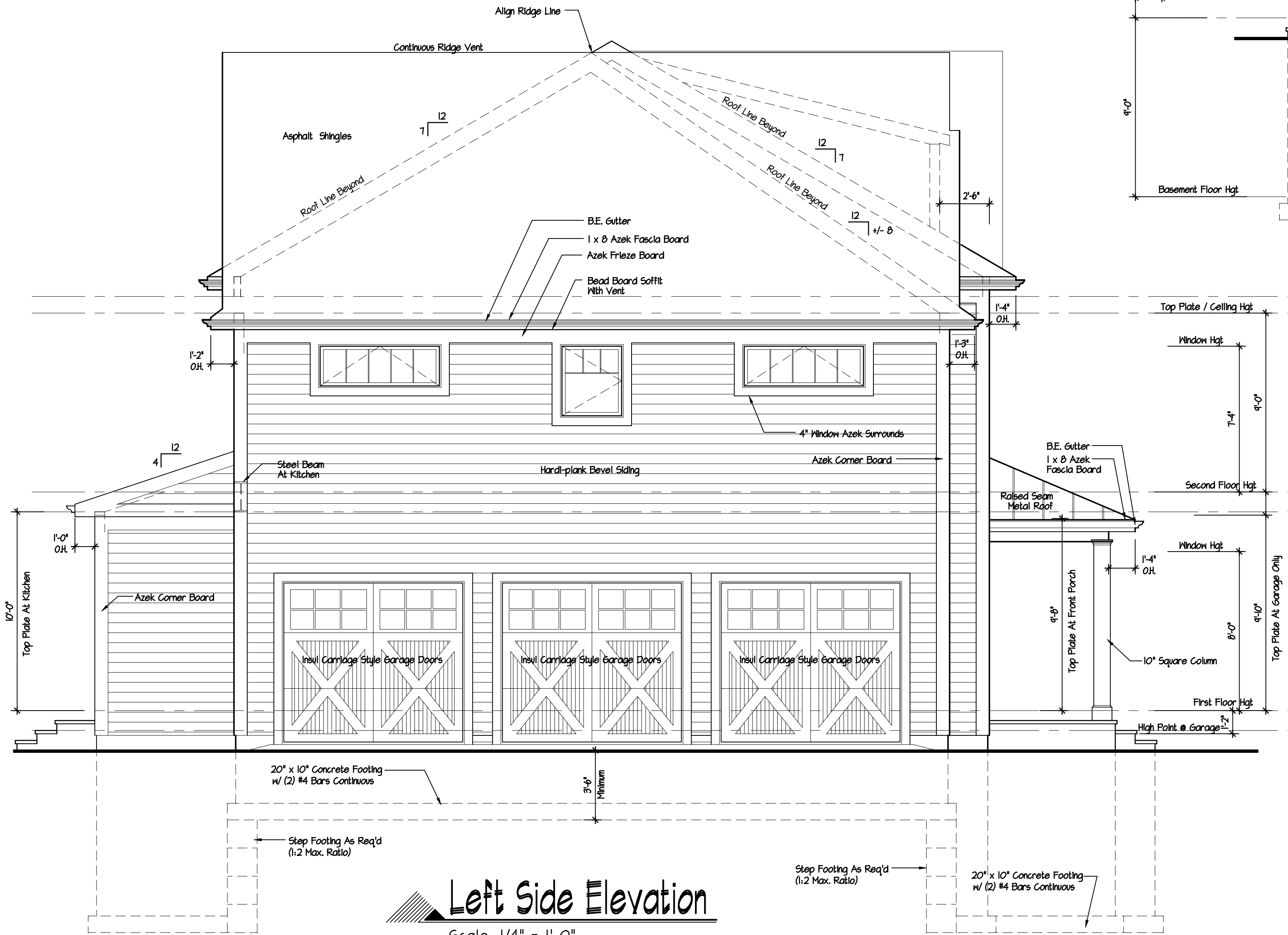
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Steel Beam Detail @ Kitchen
 Scale: 1 1/2" = 1'-0"



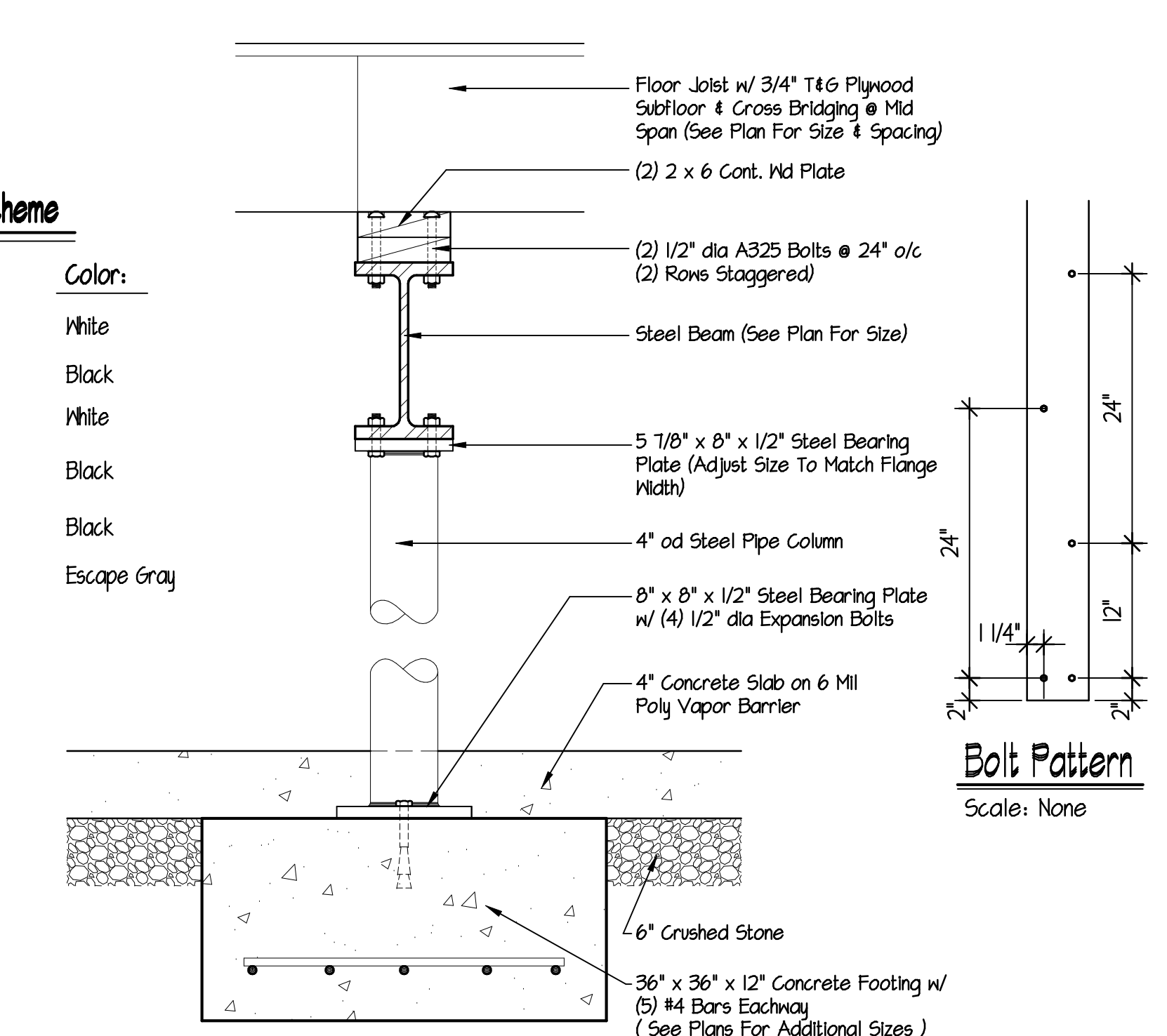
Right Side Elevation
 Scale: 1/4" = 1'-0"



Left Side Elevation
 Scale: 1/4" = 1'-0"

Schedule For Proposed Building Material and Color Scheme

Name:	Type:	Color:
Siding:	Hardi-plank Bevel	White
Windows:	Andersen Double Hung	Black
Trim:	Azek/Fignon	White
Front Door:	Composite	Black
Roofing:	Asphalt Shingle Roof	Black
Roofing:	Metal Roofing	Escape Gray



Steel Beam Girder Detail
 Scale: 1 1/2" = 1'-0"

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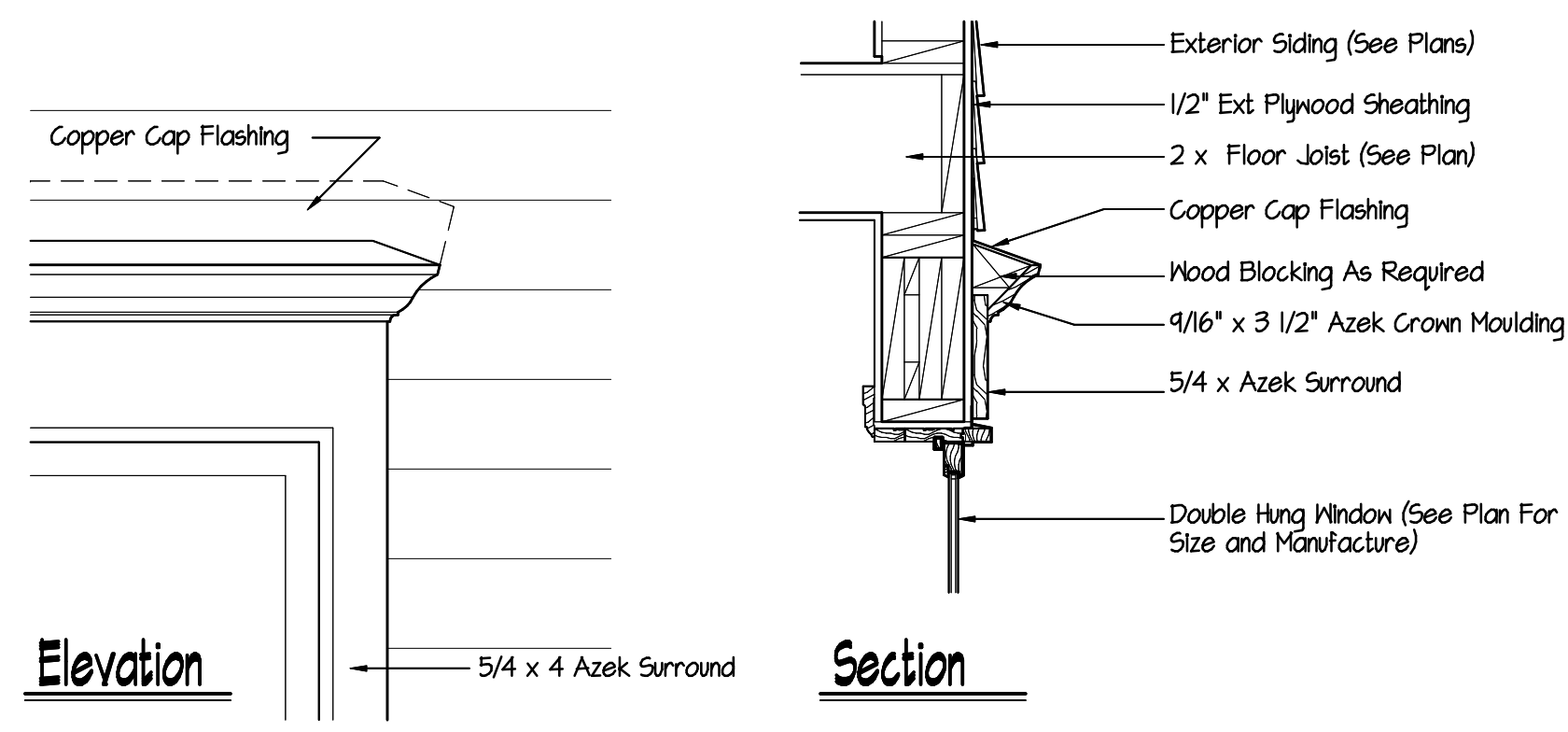
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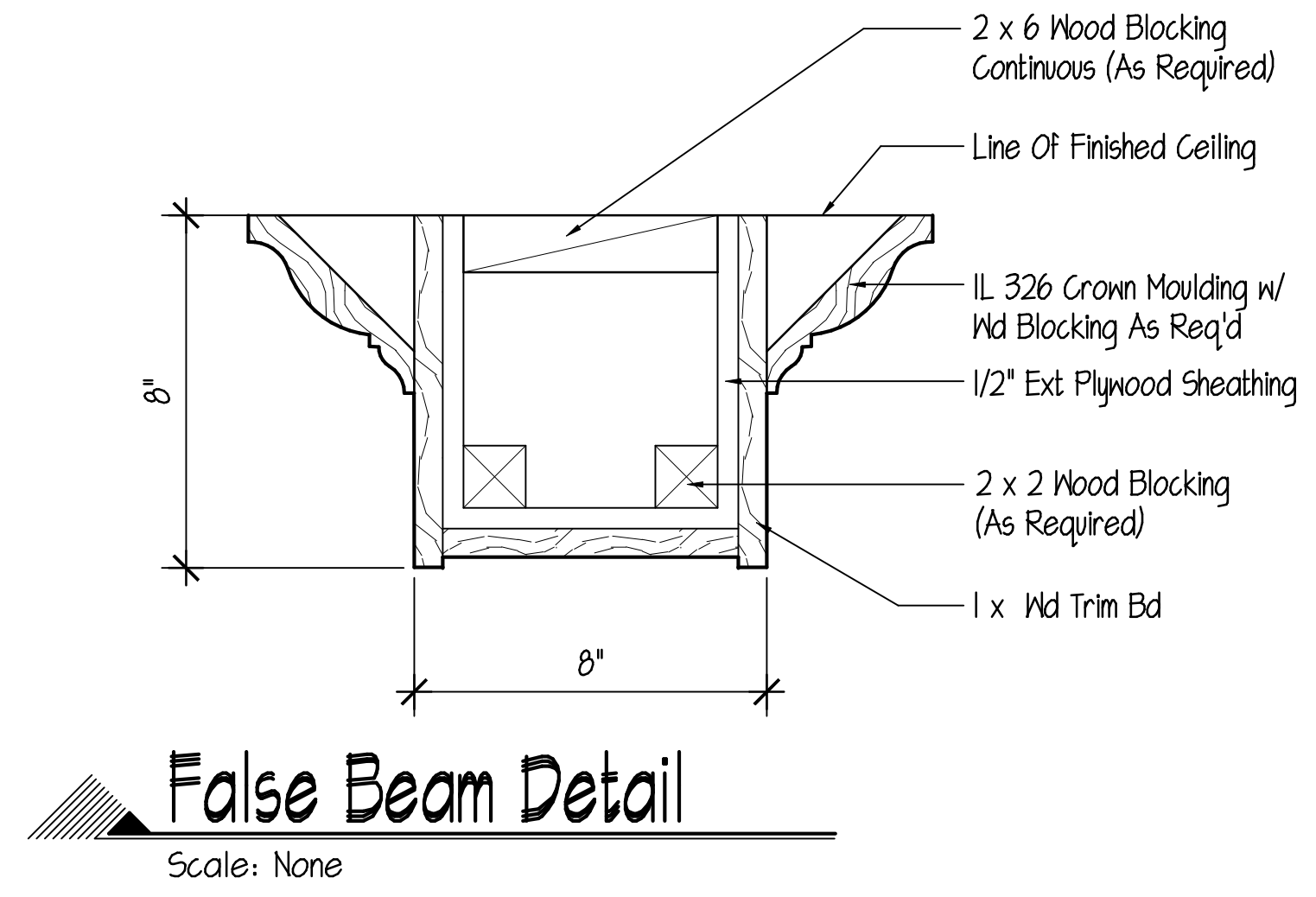
Revision	Date
Date	Feb. 8, 2021
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Schedule For Proposed Building Material and Color Scheme

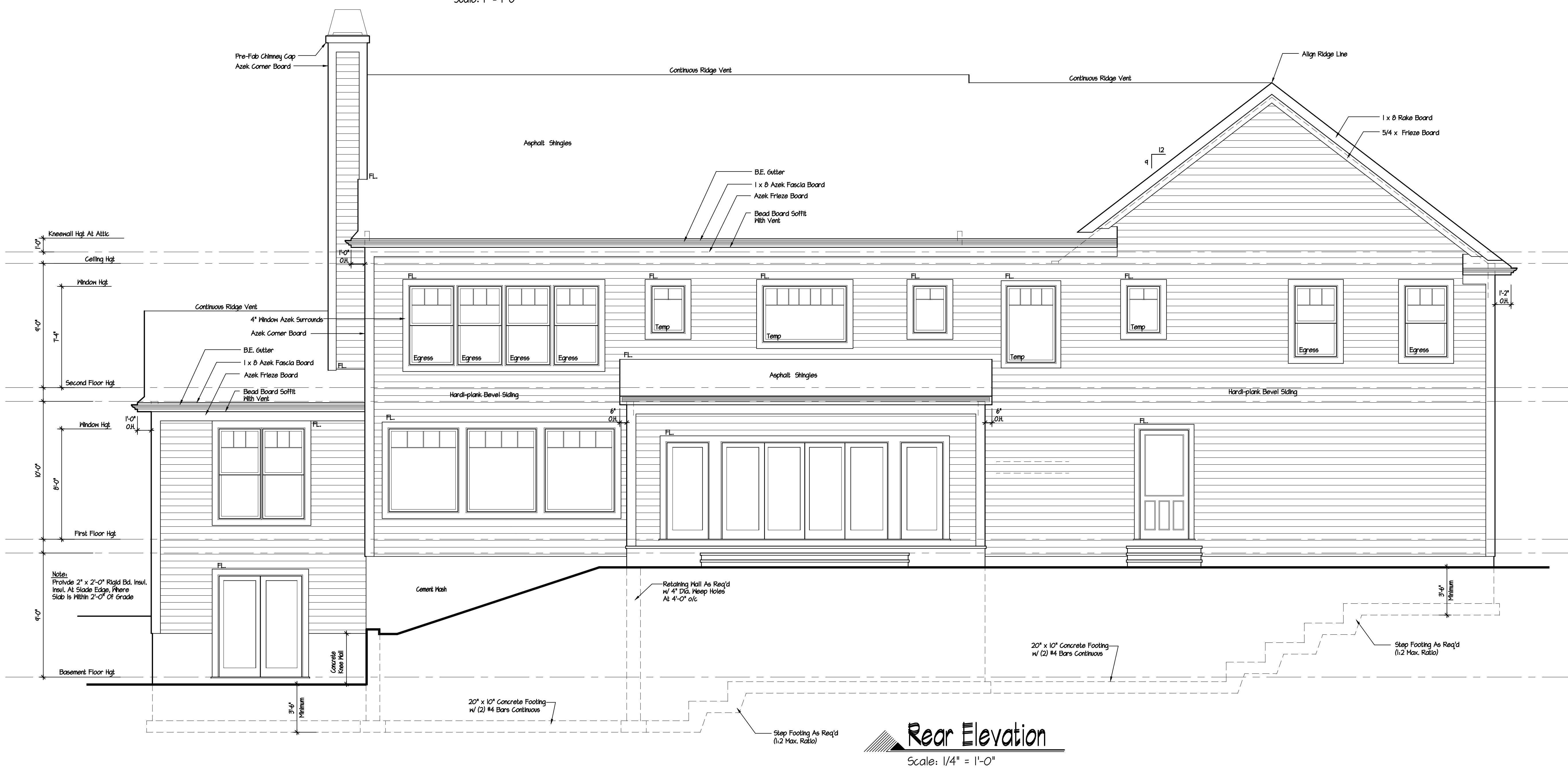
	Name:	Type:	Color:
Siding:	Hardi-plank	Bevel	White
Windows:	Andersen	Double Hung	Black
Trim:	Azek/Fypon	Azek/Fypon	White
Front Door:		Composite	Black
Roofing:	Asphalt Shingle Roof		Black
Roofing:	Metal Roofing		Escape Gray



Window Head Detail
Scale: 1" = 1'-0"



False Beam Detail
Scale: None



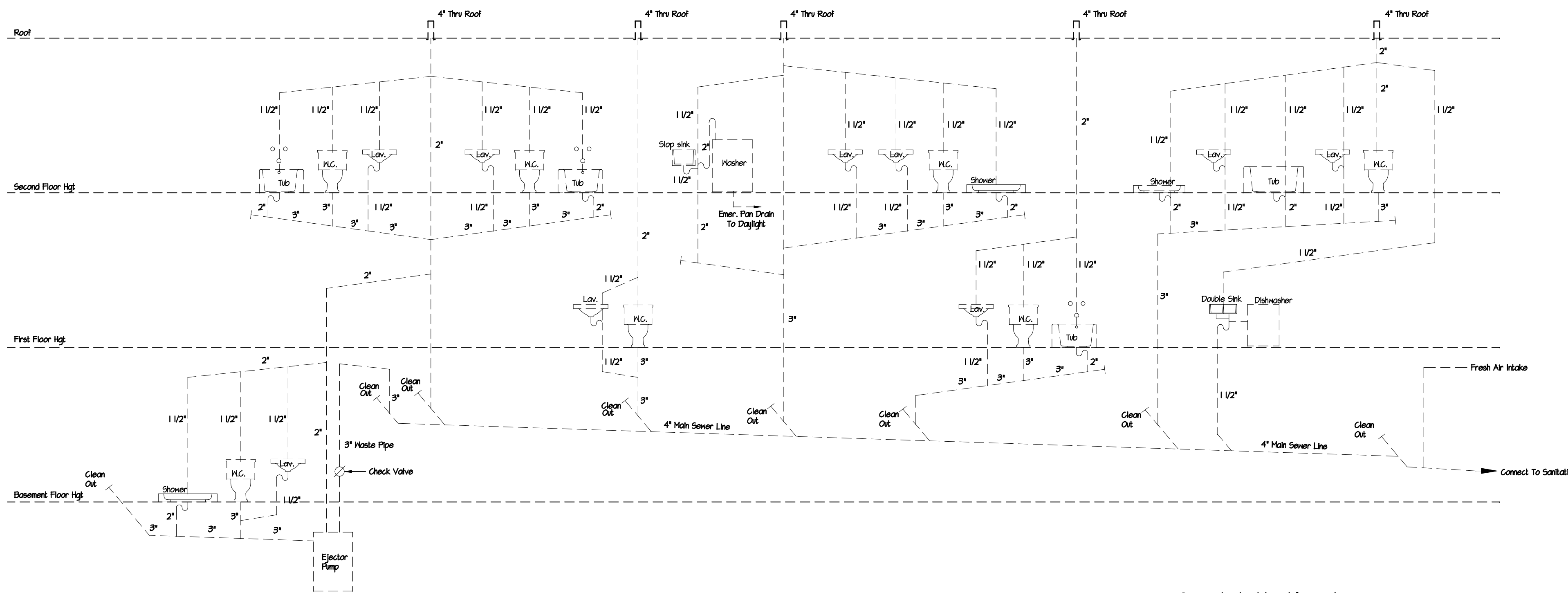
Rear Elevation
Scale: 1/4" = 1'-0"

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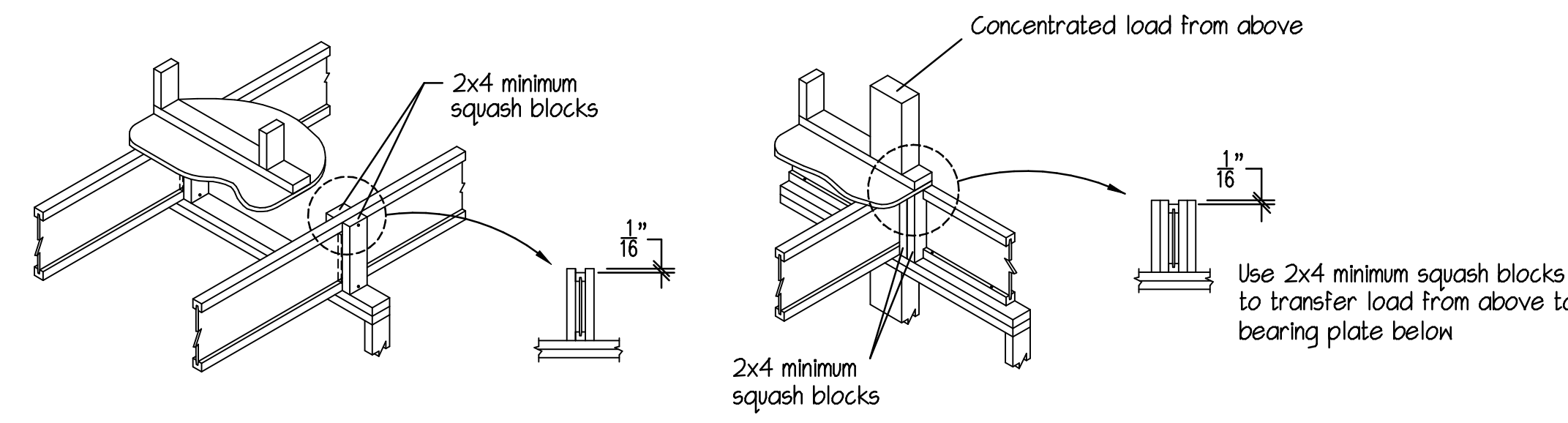
Revision	Date
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Plumbing Riser Diagram

Scale: None
Riser diagram taken from "2020 Residential Code Of New York State" Figure N5, Refer to diagram for all other information

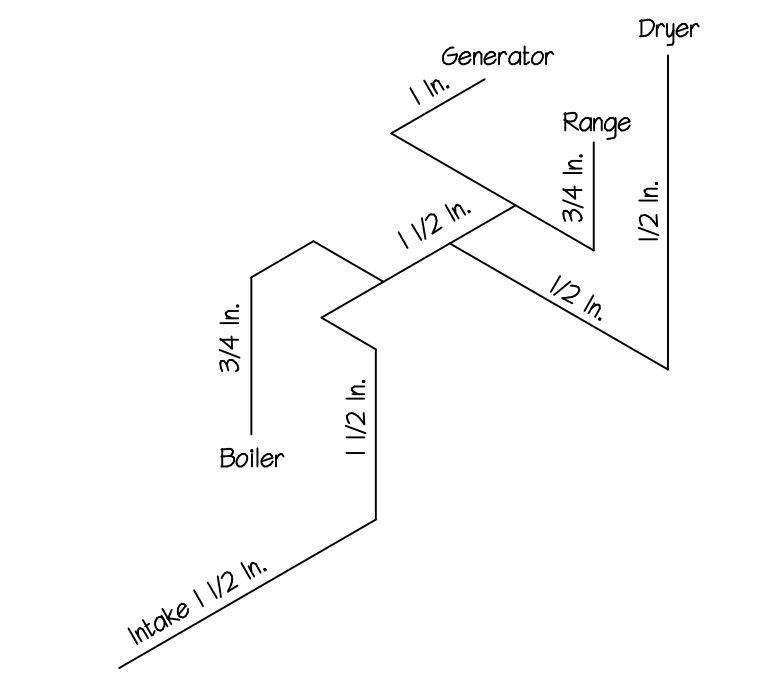
Note: Plumbing riser diagram shown is generic, and should be used only for informational purposes. Plumbing contractor to install plumbing system as per state & local building codes.



Intermediate Bearing Concentrated Load From Above Bearing

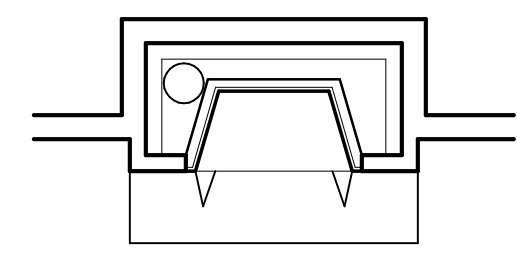
Squash Blocking Details

No Scale



Gas Riser Diagram

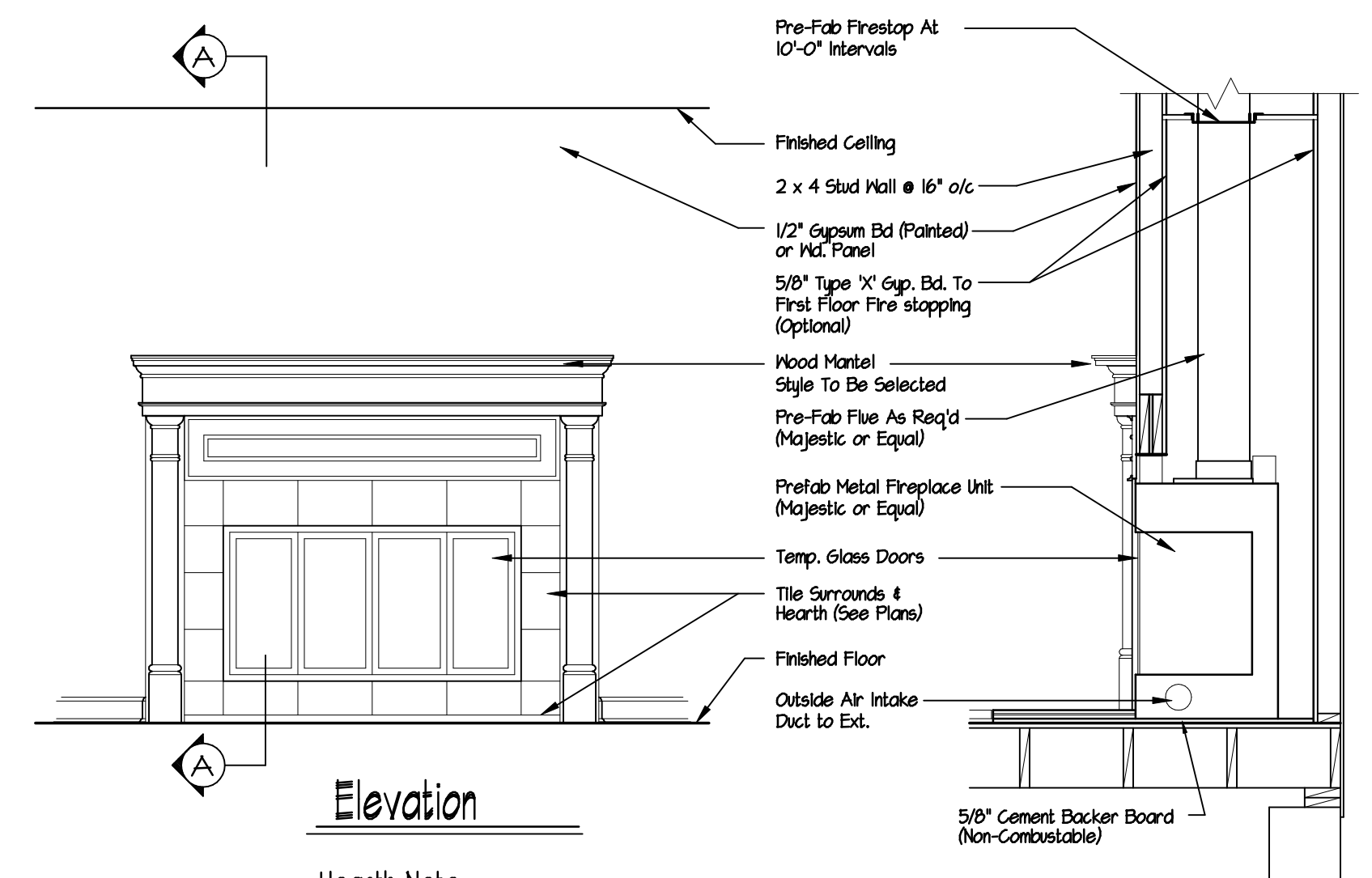
Scale: None
Refer To 2015 International Residential Code Chapter 24 Fuel Gas For Additional Information.



Hearth Note:
Hearth Extensions Of Approved Pre-Fab Fireplaces Shall Be Installed In Accordance With The Listing Of The Fireplace. The Hearth Extension Shall Be Readily Distinguishable From Surrounding Floor Area.

Pre-Fab Fireplace

Scale: None



Elevation

Section A-A

Hearth Note:
Hearth Extensions Of Approved Pre-Fab Fireplaces Shall Be Installed In Accordance With The Listing Of The Fireplace. The Hearth Extension Shall Be Readily Distinguishable From Surrounding Floor Area.

Note: Provide 1/2" N.P.T. Black Iron Pipe At All Gas Units. All Work Shall Comply w/ Manufacturers Specs & Utility Company & NYS Requirements

Typical Pre-Fab Fireplace Detail

Scale: 1/2" = 1'-0"

ALLOWABLE HOLES - TJI® Joists

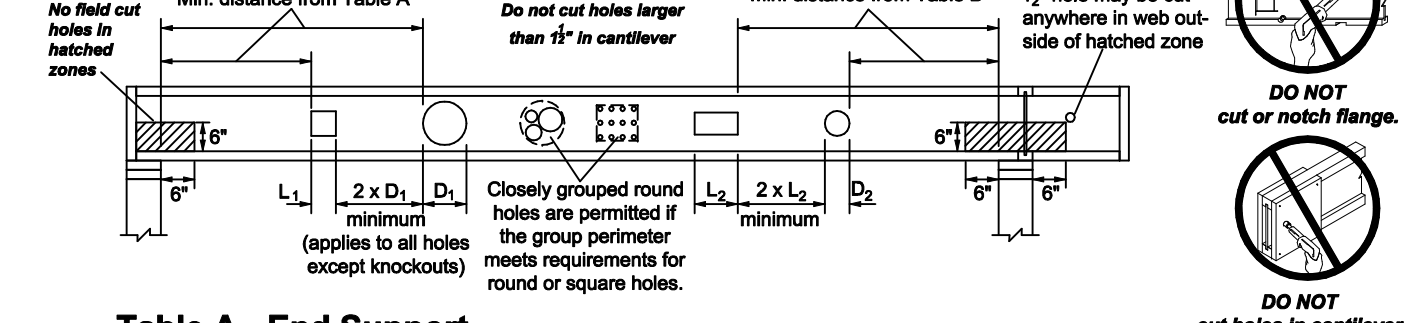


Table A - End Support

Minimum distance from edge of hole to inside face of nearest end support

JOIST DEPTH	TJI#	ROUND HOLE SIZE									SQUARE OR RECTANGULAR HOLE SIZE								
		2"	3"	4"	6"	7"	8"	11"	13"	2"	3"	4"	6"	7"	8"	11"	13"		
9"	110	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
	210	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
	230	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
11 1/2"	110	1'-0"	1'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
	210	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
	230	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
14"	110	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"		
	210	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
	230	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
18"	110	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"		
	210	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
	230	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		

Table B - Intermediate or Cantilever Support

Minimum distance from edge of hole to inside face of nearest intermediate or cantilever support

JOIST DEPTH	TJI#	ROUND HOLE SIZE									SQUARE OR RECTANGULAR HOLE SIZE								
		2"	3"	4"	6"	7"	8"	11"	13"	2"	3"	4"	6"	7"	8"	11"	13"		
9"	110	2'-0"	2'-0"	3'-0"	3'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
	210	2'-0"	2'-0"	3'-0"	3'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
	230	2'-0"	2'-0"	3'-0"	3'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
11 1/2"	110	1'-0"	1'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
	210	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
	230	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
14"	110	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"		
	210	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
	230	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
18"	110	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"		
	210	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		
	230	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"		

- Holes may be located vertically anywhere within the web. Leave 1/2" of web (minimum) at top and bottom of hole.
- Knockouts are located in web at approximately 12" on-center; they do not affect hole placement.
- For simple span (0' minimum), uniformly loaded joists used in residential applications, one maximum size round hole may be located at the center of the joist provided that no other holes occur in the joist.
- Distances are based on the maximum uniform loads from current I-Beam specifications. For other load conditions or hole configurations use Level® T-J-Beam software or contact your I-Beam representative.

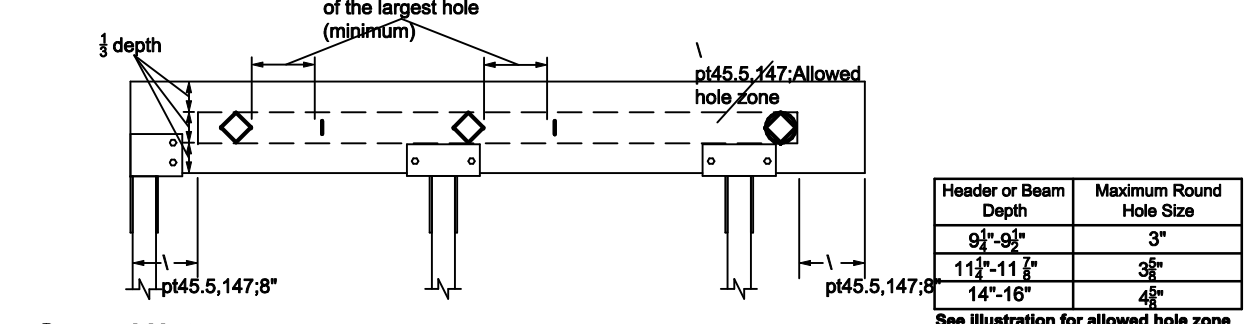
See Weyerhaeuser For Other Specifications

ALLOWABLE HOLES - TJI Joists

NO SCALE

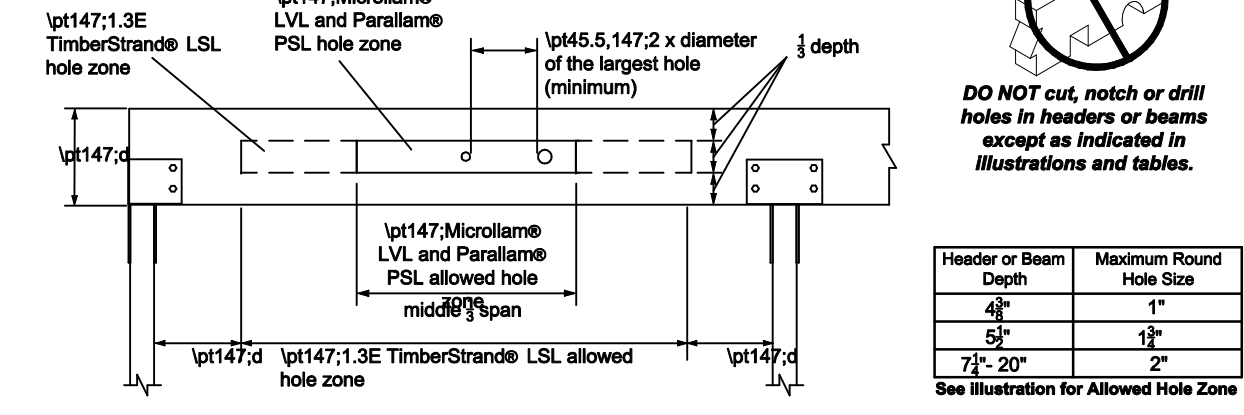
ALLOWABLE HOLES - Headers and Beams

1.5SE TimberStrand® LSL Headers and Beams



- General Notes**
- Allowed hole zone suitable for headers and beams with uniform and/or concentrated loads.
 - Round holes only.
 - No holes in headers or beams in plank orientation.

Other I-Beam® Trus Joists Headers and Beams



- General Notes**
- Allowed hole zone suitable for headers and beams with uniform loads only.
 - Round holes only.
 - No holes in cantilevers.
 - No holes in headers or beams in plank orientation.

See Weyerhaeuser For Other Specifications

ALLOWABLE HOLES - Headers & Beams

NO SCALE

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