

ALFONZETTI ENGINEERING, P.C.
1100 Route 52, Carmel, N.Y. 10512

(845) 228-9800

Info@AlfonzettiEng.com

Adam R. Kaufman, AICP
Director of Planning
Planning Department
Town of North Castle
17 Bedford Road
Armonk, NY 10504

March 15, 2021

Re: RPRC Application No.: 2021-0137
9 Seymour Place East
Town of North Castle

We have received the RPRC return letter dated March 2, 2021 and offer the following responses:

Comment 1. The site plan depicts the removal of most of the trees on the property to accommodate the new house, lawn and septic system. The site plan should quantify the proposed amount of tree removal and identify the size and species of tree removal.

Response 1. The species and size of the trees is shown on the Demolition and Tree Plan. A tree legend table has also been added quantifying the trees to be removed.

Comment 2. The submitted material does not contain a landscaping plan/tree removal mitigation plan. Given the proposed amount of tree removal proposed a mitigation plan is necessary. At a minimum, the regulated landscape buffer zone along the side and rear lot lots should be revegetated.

Response 2. The revised site plan depicts additional proposed trees and landscaping to be provided as part of the tree removal mitigation plan.

Comment 3. The pool and patio should be removed from the plans if not proposed at this time.

Response 3. The pool and patio have been removed.

Comment 4. The plan shall clarify whether or not the pool will be part of this application and revise the plan accordingly. The gross land coverage calculation shall be revised accordingly.

Response 4. The pool and patio have been removed.

Comment 5. The plan shall illustrate a stabilized outfall for the proposed footing drain outfall. Provide detail.

Response 5. Stabilized outfall for the proposed footing drain is provided.

Comment 6. The proposed driveway profile shall be extended to the existing edge of pavement on the Town right-of-way. The profile shall include the appropriate vertical geometry.

Response 6. The proposed driveway profile has been clarified.

Comment 7. The plan shall include a sight line profile for the proposed driveway location demonstrating adequate visibility for a minimum of 200 feet.

Response 7. The proposed residence is using the existing driveway entrance. A 200-foot minimum sight line is shown on the site plan looking left. A sight line looking right is not needed since the driveway is on a cul-de-sac.

Comment 8. The plan shall include a pool fence and gate detail. The plan shall note that the pool fence and gate shall comply with all applicable NYS Building Code requirements.

Response 8. No pool is being proposed in this application.

Comment 9. Provide a copy of the Westchester County Department of Health (WCHD) Approval for the proposed modifications to the on-site wastewater treatment system.

Response 9. Westchester County Department of Health (WCDH) approval for the proposed OWTS is pending and we will forward to the building department when we receive it.

Comment 10. Given the proposed project is a tear-down with disturbances over one (1) acre, and as illustrated on the plan, the applicant will require a full

Stormwater Pollution Prevention Plan (SWPPP) to be submitted in accordance with Chapter 267, Stormwater Management, of the Town Code. Additionally, the proposed stormwater practice shall be designed to mitigate the 100-year storm event. The applicant will be required to obtain coverage under the New York State Department of Environmental Conservation (NYSDEC) General Permit G-0-20-001 for Stormwater Discharge from Construction Activity. A Notice of Intent (NOI) and MS4 SWPPP Acceptance Form will need to be filed with the NYSDEC. Submit draft copies to the Town Engineer for review.

Response 10. The stormwater mitigation practice has been sized for the 100-year storm event. A Notice of Intent and an MS4 SWPPP Acceptance Form is included in this submission.

Comment 11. The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact this office to schedule the testing. Due to the overall length of the proposed infiltration system, multiple test locations will be required.

Response 11. Site testing took place and was witnessed by a representative of the Town Consulting Engineer's office.

Comment 12. The plan proposes disturbances within the locally-regulated 100-foot wetland buffer. A local Wetland Permit is required. The applicant shall illustrate the local wetland boundary and regulated 100-foot buffer on the plan for verification by the Town Wetland Consultant. Notify this office once the wetland boundary has been established in the field. The applicant will be required to prepare a Wetland Mitigation Plan in accordance with Chapter 340, Wetlands and Watercourse Protection, of the Town Code.

Response 12. The plan was revised to minimize the disturbance. In addition, the approximate location of an existing off-site pond was added to the plan along with the 100-foot and 150-foot buffer from the edge of the existing pond.

Comment 13. If the potential pool is part of this application, the plan shall illustrate the connection between the pool equipment and drawdown mitigation practice.

Response 13. No pool is proposed in this application.

Comment 14. The plan shall demonstrate that appropriate conveyance and mitigation for stormwater runoff generated from proposed driveway.

Response 14. The site plan was revised to capture the runoff from the proposed driveway and accommodate it into the proposed infiltration system. The plan uses a portion of the existing driveway.

Comment 15. The proposed curtain drain, and proposed infiltration system overflow shall be connected into a single junction point onsite prior to the connection to the existing catch basin in the Town right-of-way. The plan shall be revised accordingly. Provide details.

Response 15. The site plan was revised to connect the 2 outfalls into a single connection to the existing catch basin.

Comment 16. Include erosion control measures on the plan, including, but not limited to, temporary construction access and construction sequence, etc. Provide details.

Response 16. Additional erosion control measures were added to the site plan. The construction sequence was clarified on the plan.

Comment 17. The plan shall illustrate the following details: o Pavement Restoration Detail o Asphalt Curb Restoration Detail.

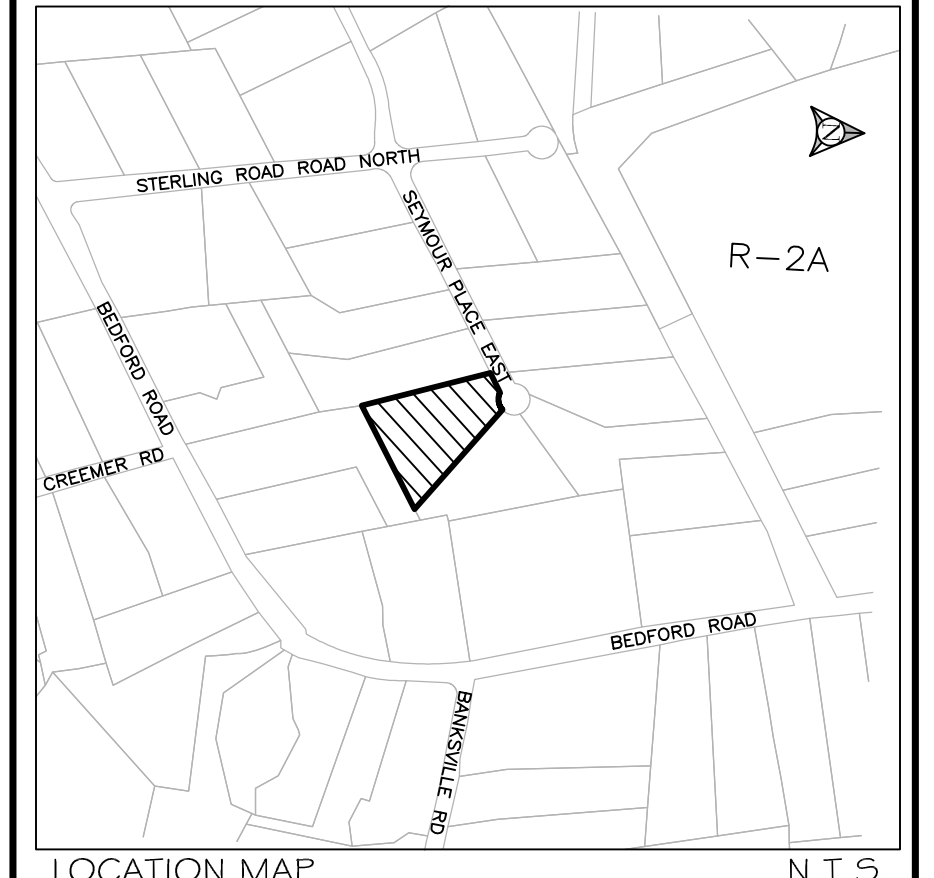
Response 17. The site plan has been revised to include these details.

Please call if there are any questions.

Thank you,

A handwritten signature in black ink, appearing to read 'Ralph Alfonzetti', written over a horizontal line.

Ralph Alfonzetti P.E.
ALFONZETTI ENGINEERING, P.C.



TREE LEGEND

	58 TREES TO BE REMOVED
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DEMO LEGEND

	TO BE REMOVED
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- TREE REMOVAL NOTES:**
1. THE REAR AND SIDE YARD AREAS WITHIN THE LANDSCAPE BUFFER ZONE TO BE REVEGETATED POST CONSTRUCTION WITH NATIVE PLANT SPECIES.
 2. PLEASE REFER TO PLAN FOR SIZE AND SPECIES OF THE TREES TO BE REMOVED AS PART OF THIS PROJECT.

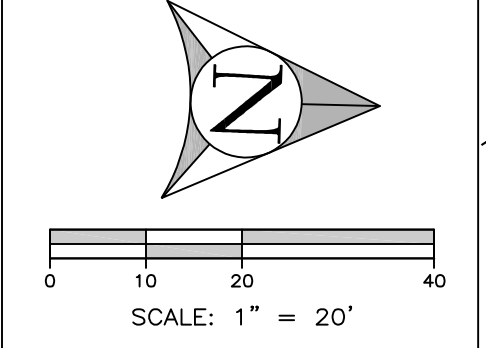
PERCOLATION TEST DATA

P1	20 MIN./IN.
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DEEP TEST HOLE DESCRIPTION

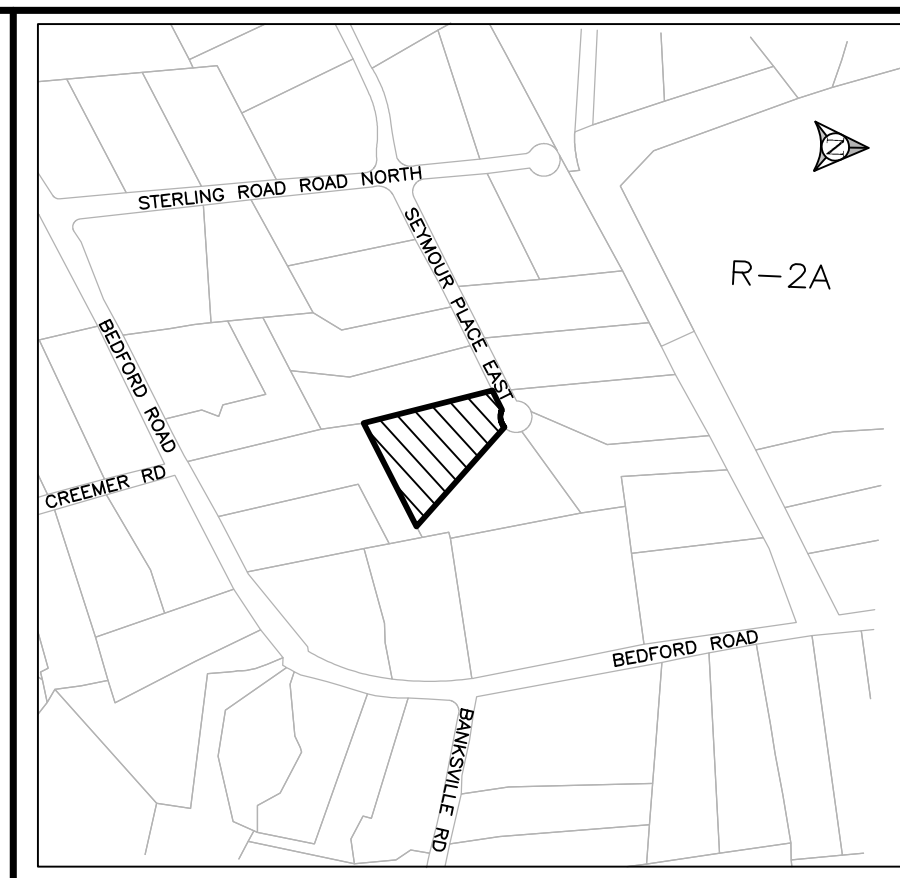
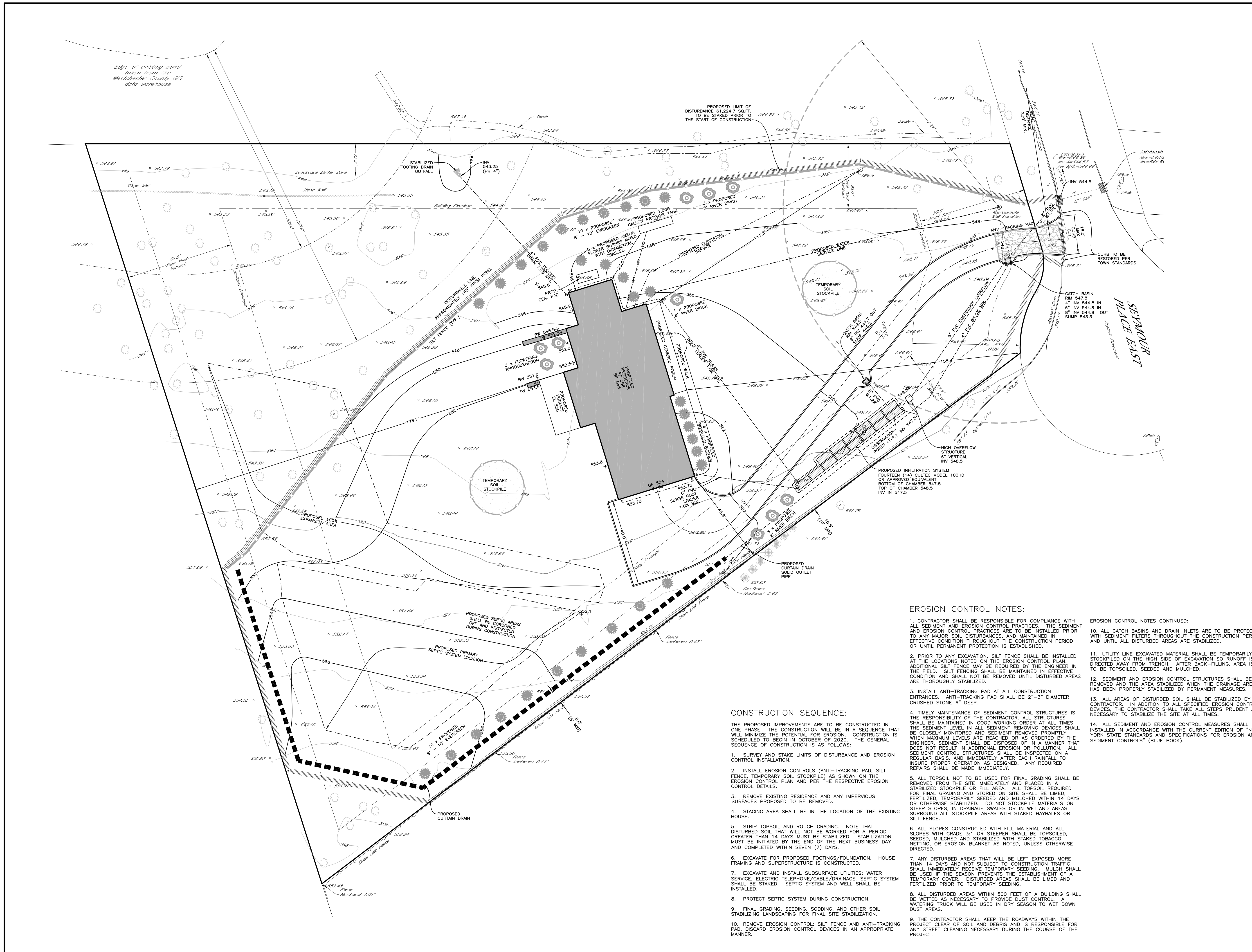
DT1	0"-6" TOPSOIL 6"-96" MOD-TIGHT SANDY SILTS WATER ENCOUNTERED AT 56"
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IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



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 1100 ROUTE 52, CARMEL, N.Y. 10512
 845 - 228 - 9800

SITE DATA	
OWNER/APPLICANT: AMERICAN BUILDING TECHNOLOGIES	
SITE ADDRESS: 9 SEYMOUR PLACE EAST, ARMONK, NEW YORK 10504	
TAX MAP #: 108.02-1-51	
LOT AREA: 2.07 ACRES	
ZONING: R-2A	REVISED: MARCH 15, 2021
DEMOLITION & TREE PLAN	
FEBRUARY 9, 2021	
PROJECT: 9 SEYMOUR PLACE EAST TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK	



LOCATION MAP N.T.S.

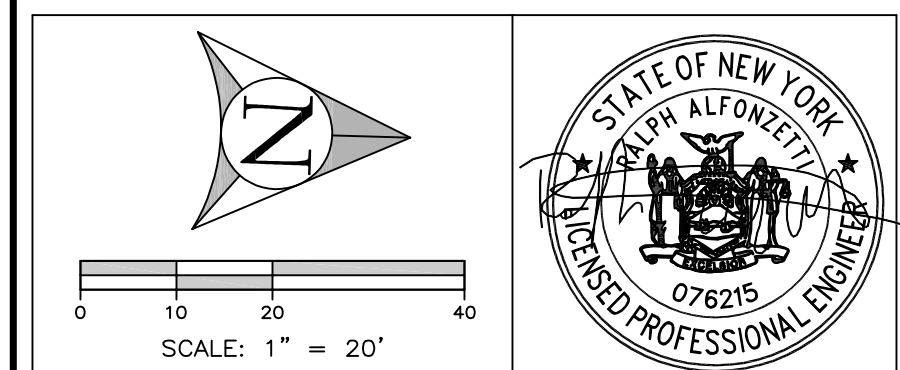
ZONING TABLE

ZONE: ONE FAMILY RESIDENCE DISTRICT ZONE R-2A

TOTAL LOT AREA:	REQUIRED/ PERMITTED	PROPOSED
2.07 AC	2 ACRES	2.07 ACRES
MINIMUM LOT AREA:	50 FT.	155.4 FT.
FRONT YARD SETBACK	30 FT.	45.9 FT.
REAR YARD SETBACK	50 FT.	178.7 FT.
MAXIMUM HEIGHT	30 FT.	30 FT.
MAXIMUM BUILDING COVERAGE	8%	4.4%

- CONSTRUCTION NOTES:**
1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
 2. THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
 3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
 4. AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
 5. ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
 7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
 8. UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
 9. ALL PROPOSED OR DISTURBED SLOPES, 1:1.25 OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
 10. IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
 11. NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.
 12. OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.

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TAX MAP #:	108.02-1-51
LOT AREA:	2.07 ACRES
ZONING:	R-2A
REVISION:	MARCH 15, 2021
SITE PLAN	
FEBRUARY 9, 2021	
9 SEYMOUR PLACE EAST	
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK	

CONSTRUCTION SEQUENCE:

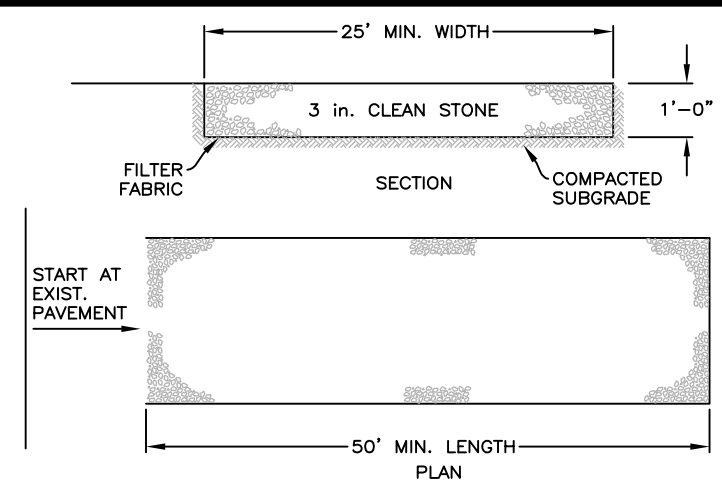
- THE PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ONE PHASE. THE CONSTRUCTION WILL BE IN A SEQUENCE THAT WILL MINIMIZE THE POTENTIAL FOR EROSION. CONSTRUCTION IS SCHEDULED TO BEGIN IN OCTOBER OF 2020. THE GENERAL SEQUENCE OF CONSTRUCTION IS AS FOLLOWS:
1. SURVEY AND STAKE LIMITS OF DISTURBANCE AND EROSION CONTROL INSTALLATION.
 2. INSTALL EROSION CONTROLS (ANTI-TRACKING PAD, SILT FENCE, TEMPORARY SOIL STOCKPILE) AS SHOWN ON THE EROSION CONTROL PLAN AND PER THE RESPECTIVE EROSION CONTROL DETAILS.
 3. REMOVE EXISTING RESIDENCE AND ANY IMPERVIOUS SURFACES PROPOSED TO BE REMOVED.
 4. STAGING AREA SHALL BE IN THE LOCATION OF THE EXISTING HOUSE.
 5. STRIP TOPSOIL AND ROUGH GRADING. NOTE THAT DISTURBED SOIL THAT WILL NOT BE WORKED FOR A PERIOD GREATER THAN 14 DAYS MUST BE STABILIZED. STABILIZATION MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS.
 6. EXCAVATE FOR PROPOSED FOOTINGS/FOUNDATION. HOUSE FRAMING AND SUPERSTRUCTURE IS CONSTRUCTED.
 7. EXCAVATE AND INSTALL SUBSURFACE UTILITIES; WATER SERVICE, ELECTRIC TELEPHONE/CABLE/DRAINAGE, SEPTIC SYSTEM SHALL BE STAKED. SEPTIC SYSTEM AND WELL SHALL BE INSTALLED.
 8. PROTECT SEPTIC SYSTEM DURING CONSTRUCTION.
 9. FINAL GRADING, SEEDING, SODDING, AND OTHER SOIL STABILIZING LANDSCAPING FOR FINAL SITE STABILIZATION.
 10. REMOVE EROSION CONTROL: SILT FENCE AND ANTI-TRACKING PAD. DISCARD EROSION CONTROL DEVICES IN AN APPROPRIATE MANNER.

EROSION CONTROL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
3. INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2"-3" DIAMETER CRUSHED STONE 6" DEEP.
4. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
5. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
6. ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
7. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
8. ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
9. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.

EROSION CONTROL NOTES CONTINUED:

10. ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
11. UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED.
12. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
13. ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
14. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).

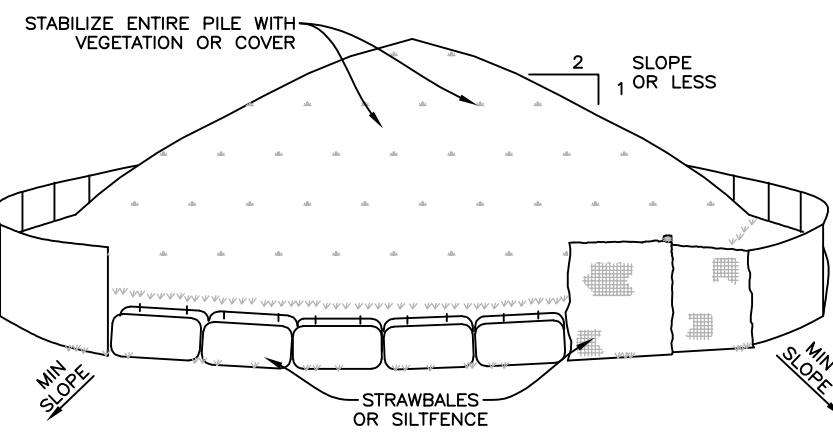


TO BE PROVIDED AT ALL POINTS OF EQUIPMENT INGRESS OR EGRESS ONTO PUBLIC RIGHTS-OF-WAY.

INSTALLATION NOTES

- STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIRECTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. PIPING SHALL BE IMPROVED WITH A MOUNTAIN BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD) N.T.S.



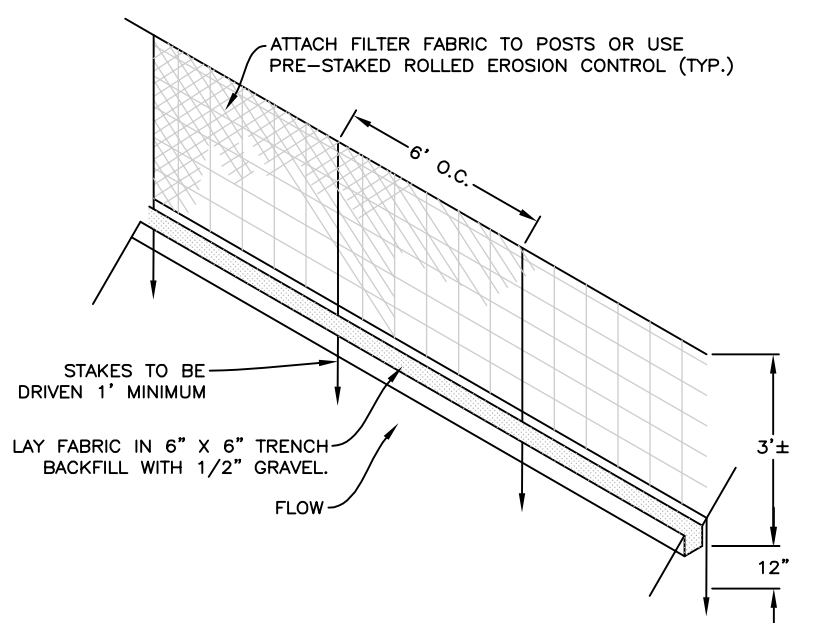
TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS TO SUBSOILS THAT ARE DROUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BASKET AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURES SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

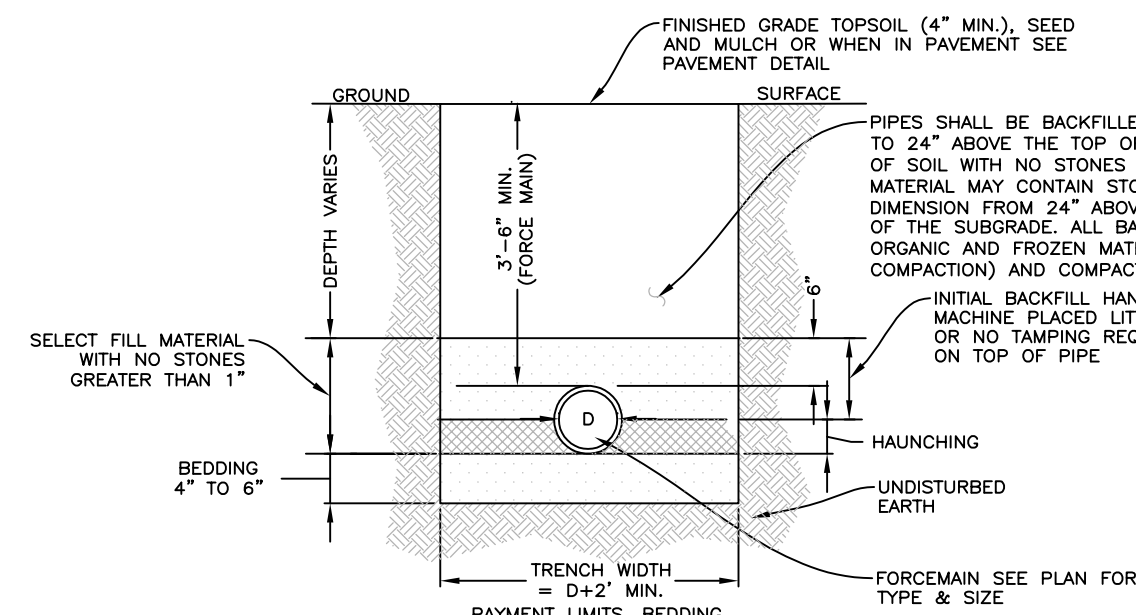
INSTALLATION NOTES

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

TEMPORARY MATERIAL STOCKPILE N.T.S.



SILT FENCE N.T.S.



FORCEMAIN TRENCH DETAIL N.T.S.

PIPES SHALL BE BACKFILLED WITH SELECT FILL MATERIAL FROM 6" TO 24" ABOVE THE TOP OF THE PIPE. SELECT FILL SHALL CONSIST OF SOIL WITH NO STONES GREATER THAN 2" IN DIAMETER. BACKFILL MATERIAL MAY CONTAIN STONES UP TO 6" IN THEIR GREATEST DIMENSION FROM 24" ABOVE THE TOP OF THE PIPE TO THE BOTTOM OF THE SUBGRADE. ALL BACKFILL MATERIAL SHALL BE FREE OF ORGANIC AND FROZEN MATERIAL. PLACED IN 6" LIFTS (PRIOR TO COMPACTION) AND COMPACTION WITH A MECHANICAL TAMPER.

INITIAL BACKFILL HAND OR MACHINE PLACED LITTLE OR NO TAMPING REQUIRED ON TOP OF PIPE.

UNDISTURBED EARTH.

HAUNCHING.

FORCEMAIN SEE PLAN FOR TYPE & SIZE.

PAVEMENT LIMITS, BEDDING, HAUNCHING AND INITIAL BACKFILLS.

TRENCH WIDTH = D+2" MIN.

DEPTH VARIES.

FINISHED GRADE TOPSOIL (4" MIN.), SEED AND MULCH OR WHEN IN PAVEMENT SEE PAVEMENT DETAIL.

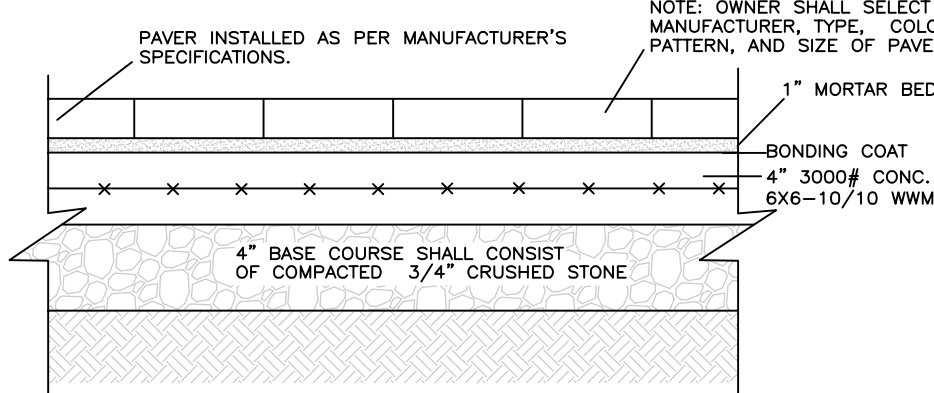
SELECT FILL MATERIAL WITH NO STONES GREATER THAN 1".

DEPTH VARIES.

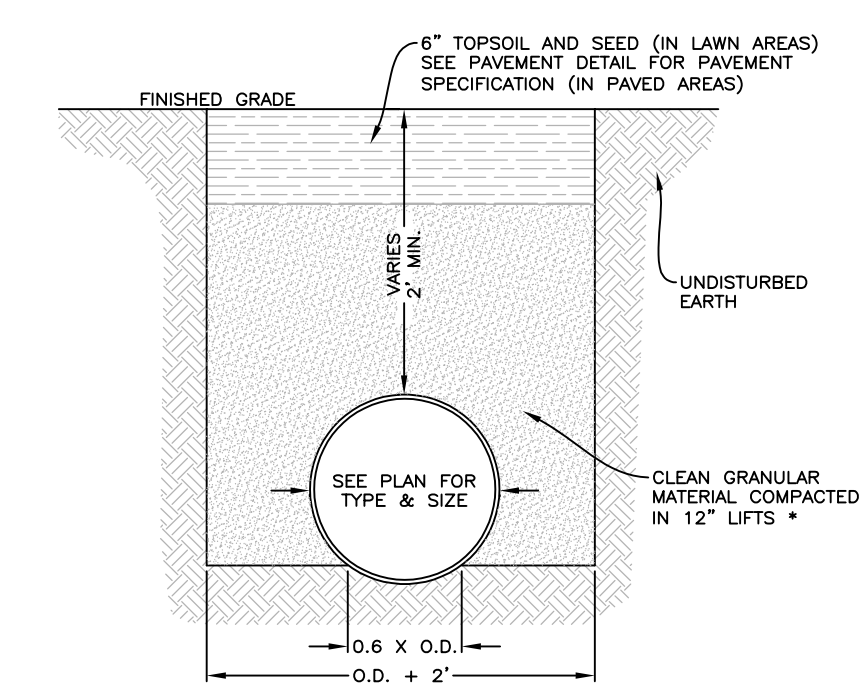
GROUND SURFACE.

NOTES:

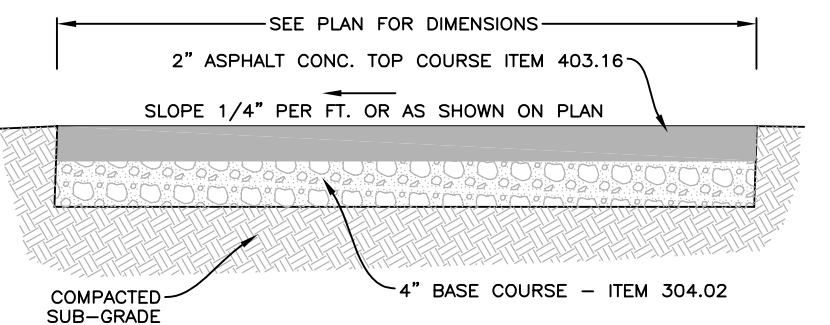
- NO ROCK IS TO PROJECT INTO WITHIN THE EDGES OF THE TRENCH, IN ROCK.
- EXCAVATION PIPE SHALL BE A MIN. OF 6" OVER AND AWAY FROM ROCK.
- BACKFILL SHALL BE PLACED SO AS TO NOT DISTURB THE PIPE ALIGNMENT.



WALKWAY DETAIL N.T.S.



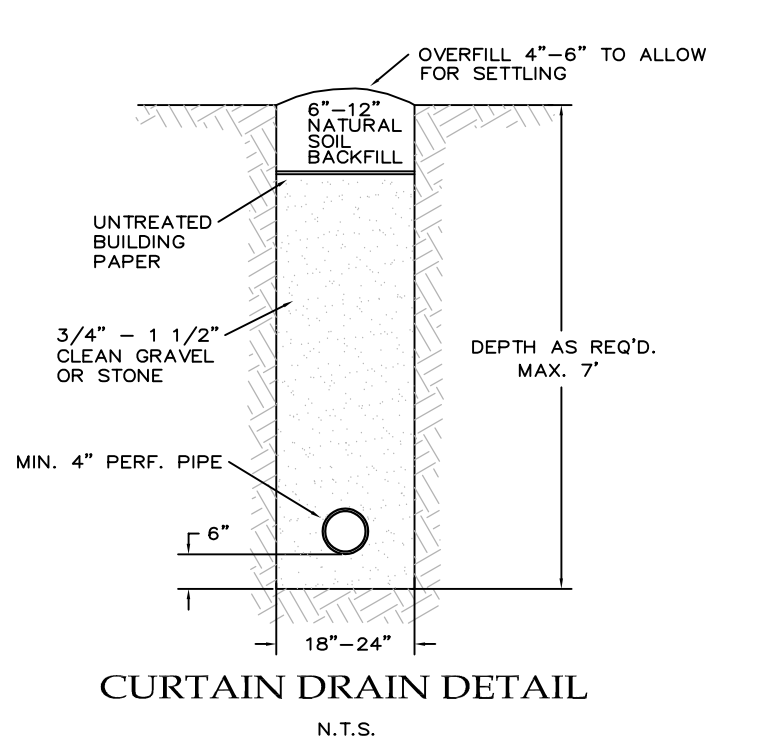
DRAIN PIPE TRENCH DETAIL N.T.S.



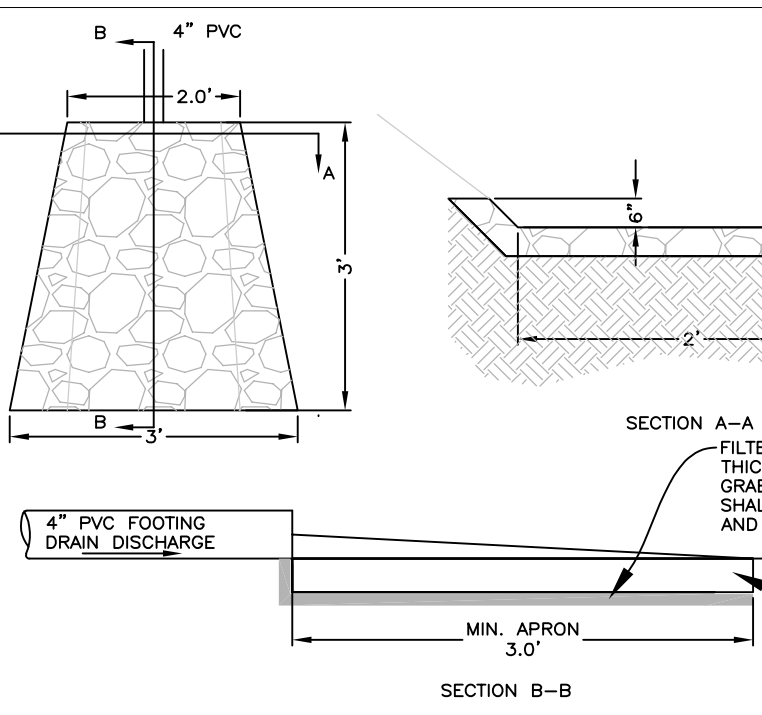
DRIVEWAY SECTION N.T.S.

DETENTION SYSTEM CALCULATIONS

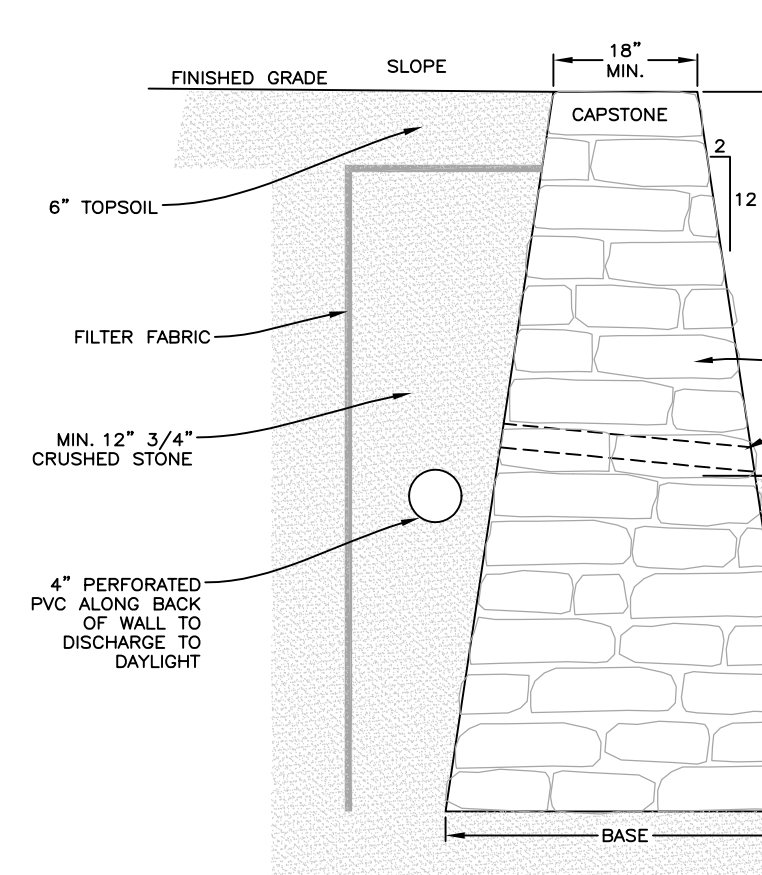
USING STORMWATER CHAMBERS CULTEC RECHARGER 100 HD	
DRAINAGE STUDY AREA: (NET NEW IMPERVIOUS)	S.F. 4,358
DESIGN STORM (100 YR.):	IN. 9.2
HYDROLOGIC SOIL TYPE:	C/D
EXISTING CN:	77
PROPOSED CN:	98
REQUIRED STORAGE VOLUME CALCULATION	
EX. RUNOFF DEPTH:	IN. 6.39
PR. RUNOFF DEPTH:	IN. 8.96
DELTA RUNOFF DEPTH:	IN. 2.57
REQUIRED STORAGE VOLUME:	C.F. 934.8
CHAMBER INFORMATION	
LENGTH OF 1 CHAMBER:	FT. 8
WIDTH OF 1 CHAMBER:	FT. 3.00
HEIGHT OF CHAMBER:	FT. 1.04
WIDTH OF STONE SURROUNDING CHAMBER:	FT. 1
DEPTH OF STONE UNDER CHAMBER:	FT. 0.5
STONE VOID RATIO:	0.33
VOLUME PER CHAMBER (AS PER MANUFACTURER):	C.F./L.F. 1.87
TRENCH SIZE	
TRENCH WIDTH:	FT. 5.00
TRENCH LENGTH (UNIT LENGTH):	FT. 1
TRENCH HEIGHT:	FT. 1.54
TRENCH VOLUME:	C.F./L.F. 7.70
STONE VOID VOLUME:	C.F. 1.92
PERCOLATION AREA:	S.F./L.F. 5.00
PERCOLATION RATE:	MIN./IN. 20
PERCOLATION HOLE DIAMETER:	IN. 10
WATER LEVEL DROP:	IN. 1
AVERAGE DEPTH OF WATER:	IN. 8.5
PERCOLATION HOLE BOTTOM AREA:	S.F. 0.55
PERCOLATION HOLE SIDE AREA:	S.F. 1.85
PERCOLATION HOLE TOTAL AREA:	S.F. 2.40
PERCOLATION VOLUME CHANGE:	C.F. 0.045
ADJUSTED PERCOLATION RATE:	C.F./S.F./DAY 1.36
PERCOLATION VOL. PER DAY:	C.F./DAY/L.F. 6.8
SOIL CLOGGING FACTOR:	25%
PERCOLATION WITH CLOGGING:	C.F./DAY/L.F. 5.1
TOTAL VOLUME OF CHAMBERS:	C.F./DAY/L.F. 8.9
REQUIRED LENGTH CHAMBERS:	L.F. 104.95
REQUIRED NUMBER OF CHAMBERS:	IN. 13.99
PROPOSED NUMBER OF CHAMBERS:	14.00



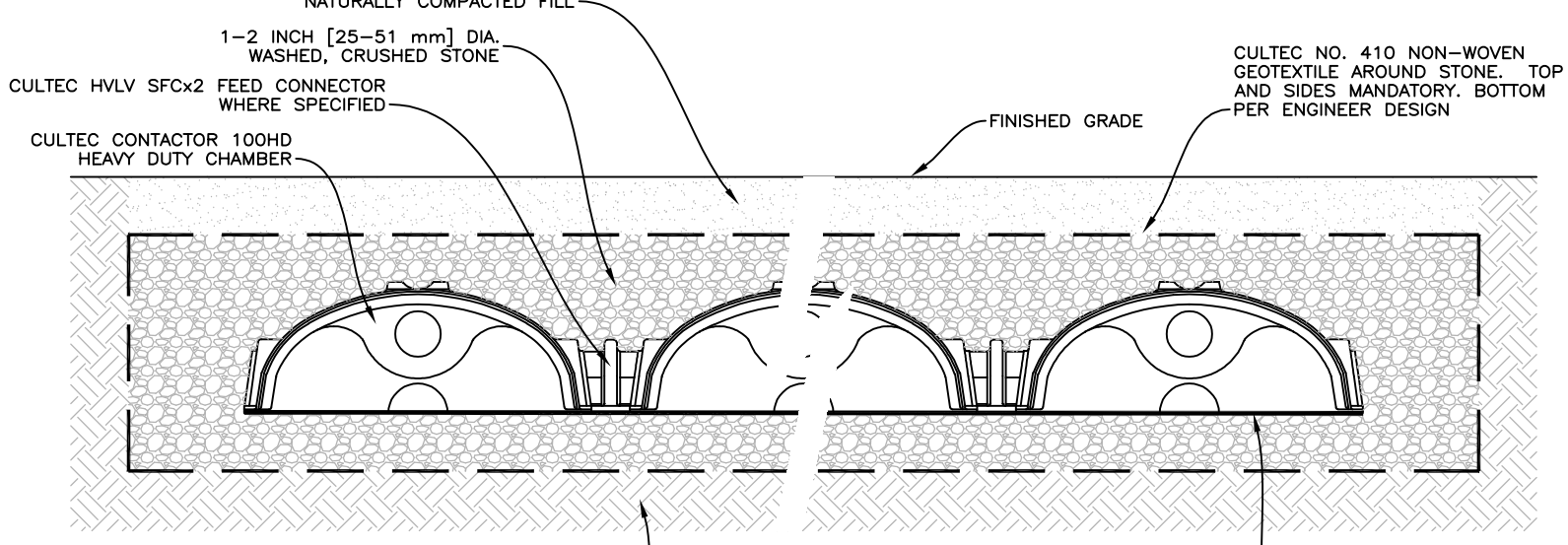
CURTAIN DRAIN DETAIL N.T.S.



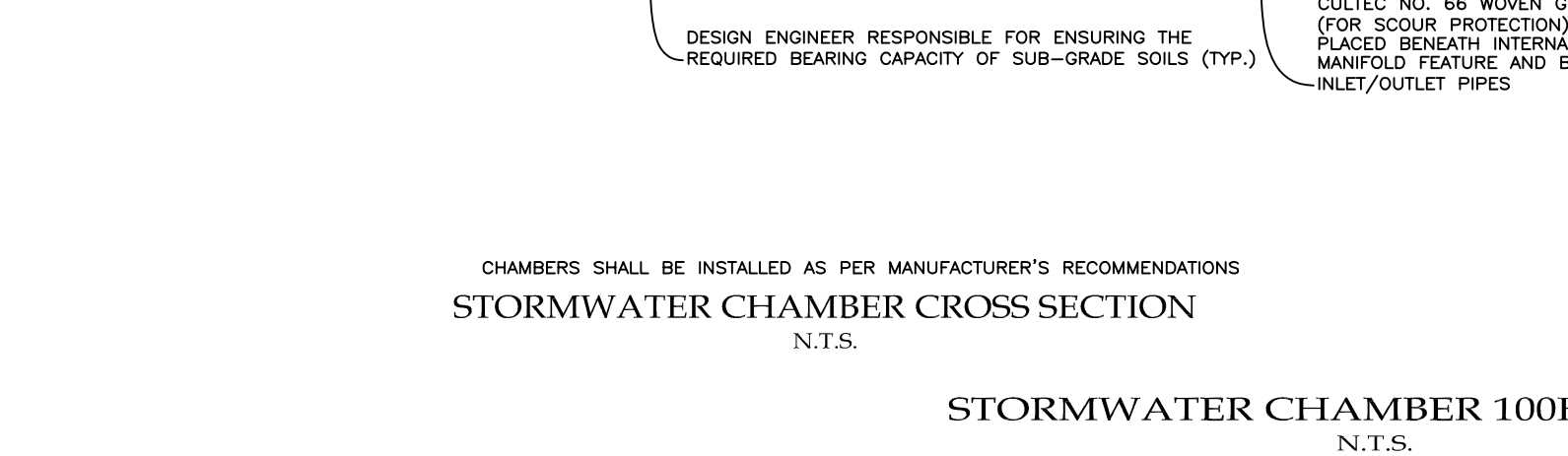
FOOTING DRAIN OUTLET PROTECTION DETAIL N.T.S.



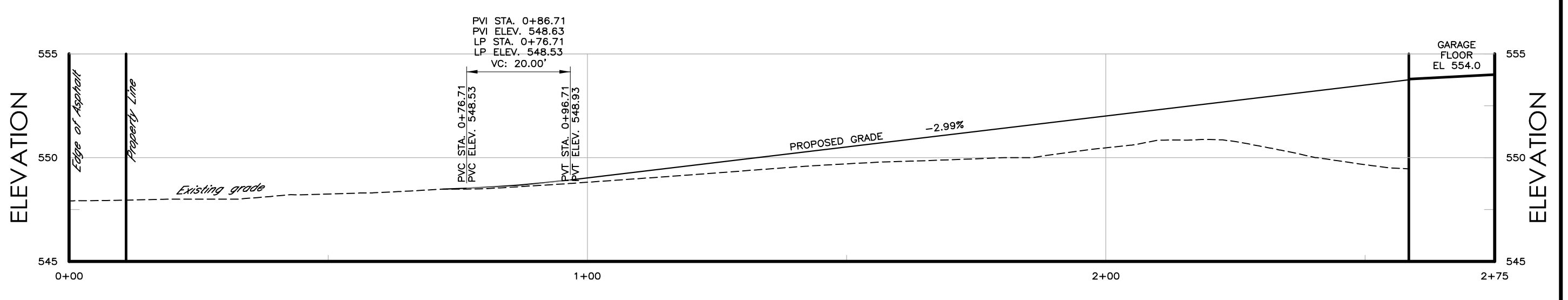
TYPICAL RETAINING WALL N.T.S.



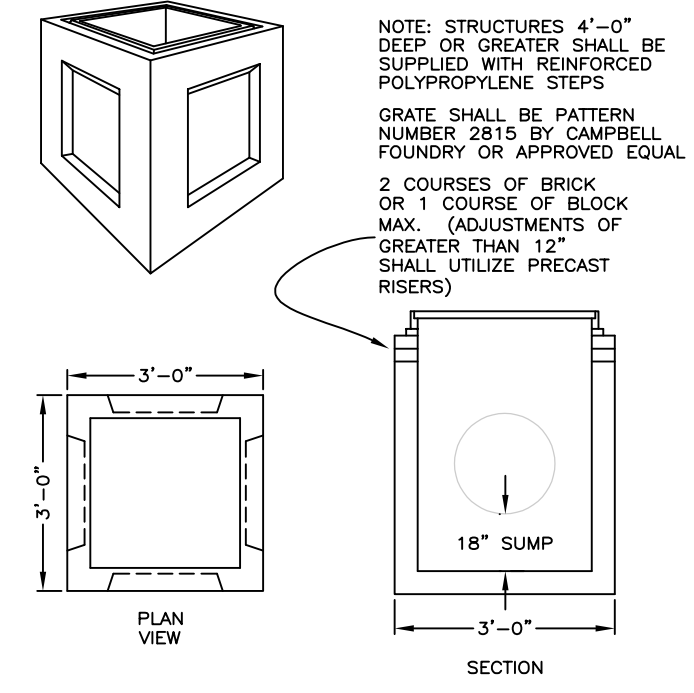
STORMWATER CHAMBER CROSS SECTION N.T.S.



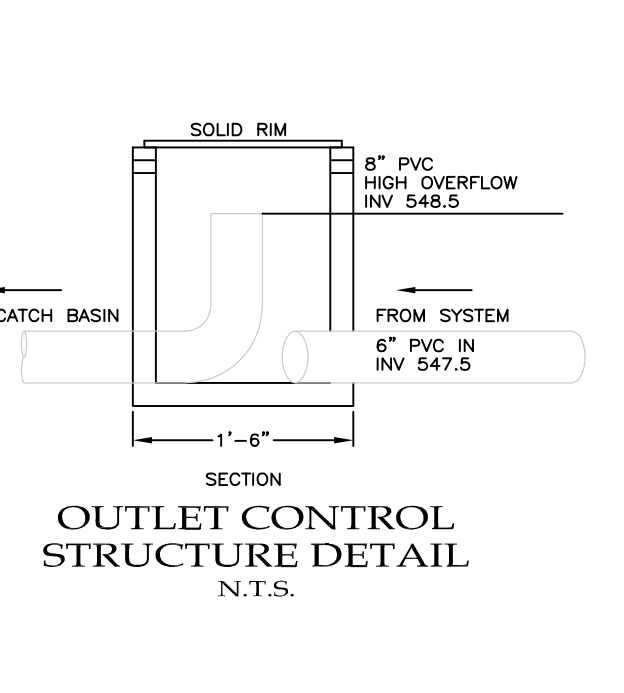
STORMWATER CHAMBER 100HD DETAIL N.T.S.



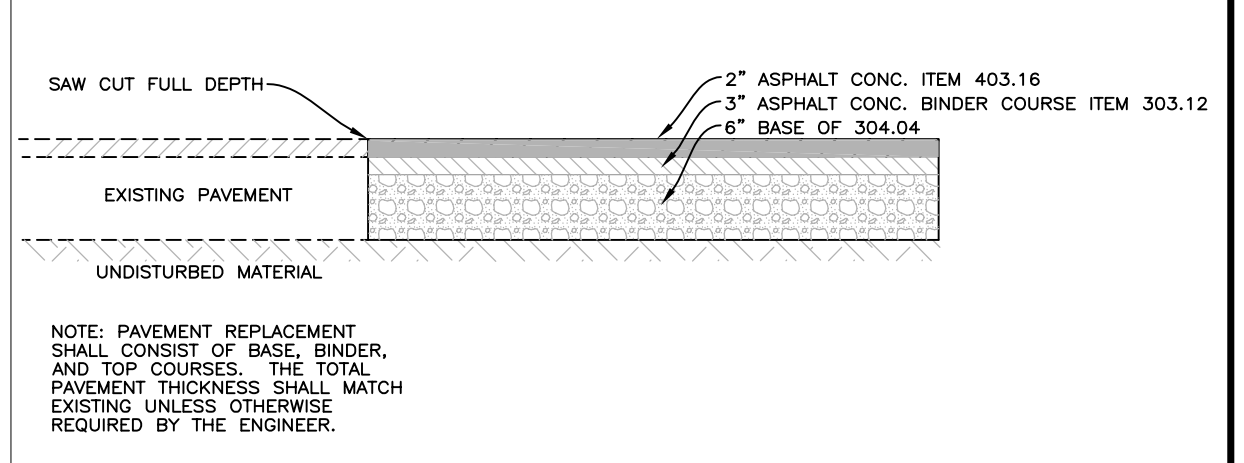
PROPOSED DRIVEWAY PROFILE HORIZONTAL SCALE: 1" = 20' VERTICAL SCALE: 1" = 5'



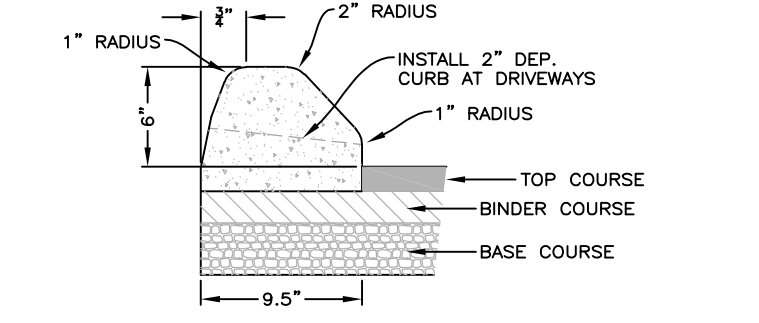
CATCH BASIN DETAIL N.T.S.



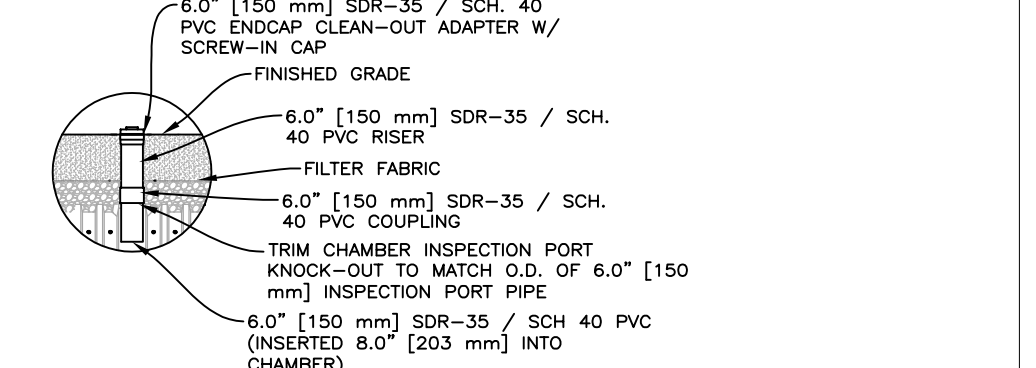
OUTLET CONTROL STRUCTURE DETAIL N.T.S.



PAVEMENT REPLACEMENT N.T.S.

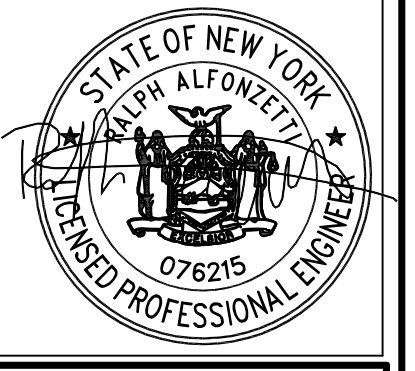


ASPHALT CONCRETE CURB RESTORATION N.T.S.



'CULTEC' CHAMBERS INSPECTION PORT NON-TRAFFIC APPLICATION N.T.S.

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

SITE DATA

OWNER/APPLICANT: AMERICAN BUILDING TECHNOLOGIES

SITE ADDRESS: 9 SEYMOUR PLACE EAST, ARMONK, NEW YORK, 10504

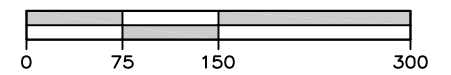
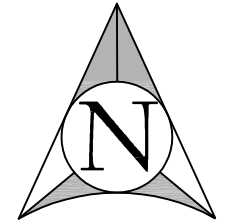
TAX MAP #: 108.02-1-51

LOT AREA: 8.27 ACRES

ZONING: R-2A REVISED: MARCH 15, 2021

SITE DETAILS
FEBRUARY 9, 2021

PROJECT: 9 SEYMOUR PLACE EAST
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK



SCALE: 1" = 150'

ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

PROJECT:

9 SEYMOUR PLACE EAST
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NEW YORK

DRAWING:

AERIAL VIEW
FEBRUARY 11, 2021



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

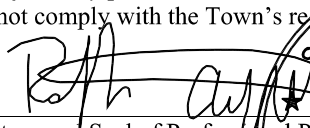
Application Name or Identifying Title: 9 Seymour Place East Date: 02/12/2021

Tax Map Designation or Proposed Lot No.: 108.02-1-51

Gross Lot Coverage

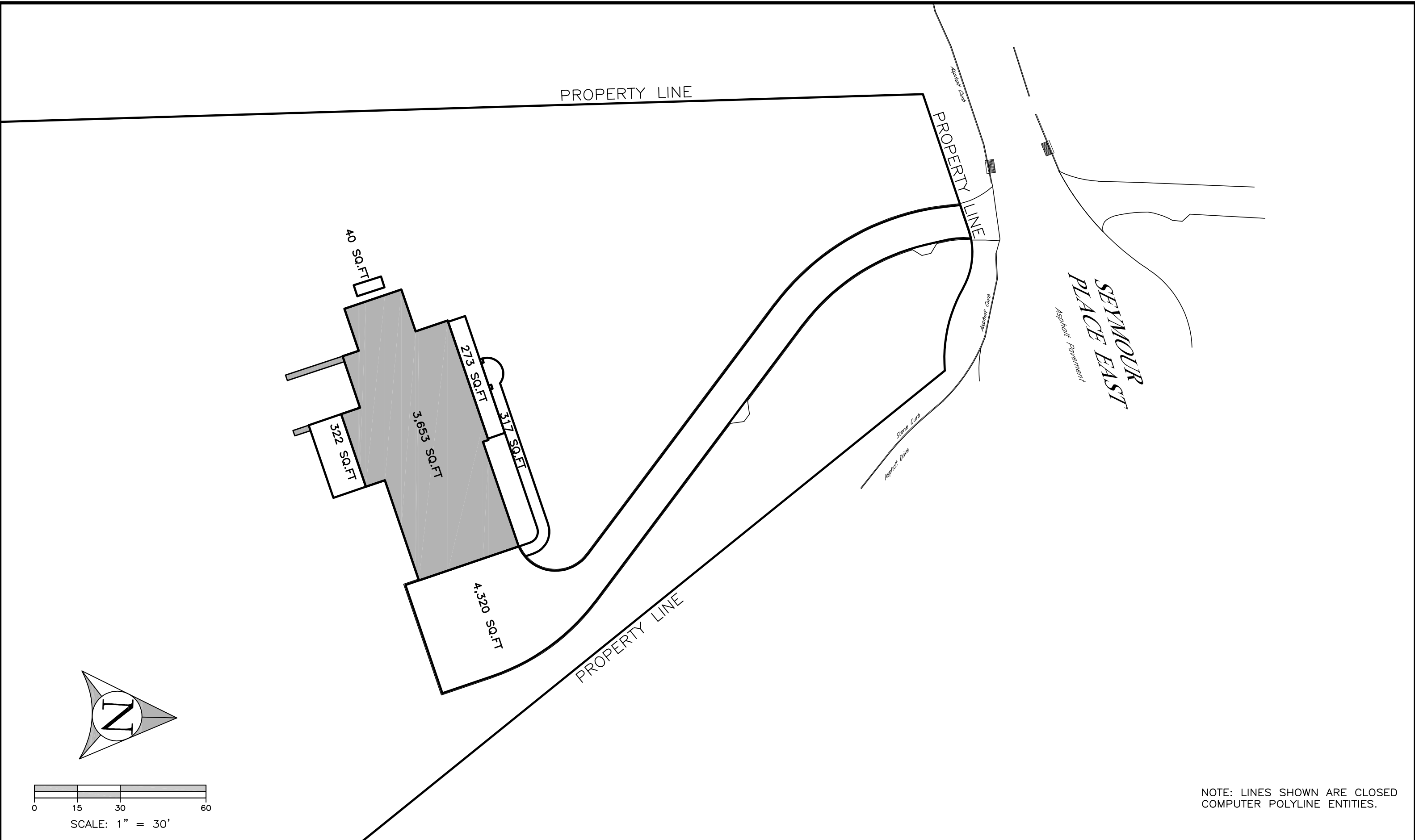
1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 90,193.932 s.f.
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 13,505 s.f.
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
105.7 x 10 = 1057 1,057 s.f.
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 14,562 s.f.
5. Amount of lot area covered by **principal building**:
0 existing + 3653 proposed = 3,653 s.f.
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0 s.f.
7. Amount of lot area covered by **decks**:
0 existing + 0 proposed = 0 s.f.
8. Amount of lot area covered by **porches**:
0 existing + 273 proposed = 273 s.f.
9. Amount of lot area covered by **driveway, parking areas and walkways**:
0 existing + 4637 proposed = 4,637 s.f.
10. Amount of lot area covered by **terraces**:
0 existing + 322 proposed = 322 s.f.
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 40 proposed = 40 s.f.
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0 s.f.
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 8,925 s.f.

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparation Worksheet



2/12/2021
 Date



2020 Residential Code Of New York State

Climatic & Geographic Design Criteria Table R301.2(1)													
Ground Snow Load	Wind Design			Seismic Design Category	Subject To Damage From			Ice Shield Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temperature		
	Speed (mph)	Topographic Effects	Special Wind Region		Wind-Borne Debris Zone	Weathering	Frost Line Depth					Termites	
30 kN/ft	115 - 120 mph	No	Yes	Zone I	B	Severe	42"	Moderate Heavy	7" F	Yes	No	1500 or Less	52.2 F

Manual J Design Criteria							
Elevation	Latitude	Winter Heating	Summer Cooling	Altitude Correction Factor	Indoor Design Temperature	Design Temperature Cooling	Heating Temperature Difference
436	41	7	81	1	68	75	61
Cooling Temperature Difference	Wind Velocity Heating	Wind Velocity Cooling	Coincident Wet Bulb	Daily Range	Winter Humidity	Summer Humidity	
12	20.4	15	15	M	30	55	

Schedule For Proposed Building Material and Color Scheme

	Name:	Type:	Color:
Siding:	Hard-plank	Bevel	White
Windows:	Andersen	Double Hung	Black
Trim:	Azek/Fypon		White
Front Door:		Composite	Black
Roofing:	Asphalt Shingle Roof		Black
Roofing:	Metal Roofing		Escape Gray

Construction Type Note:

As Per Title 19 NYCRR Part 1265

Provide Label As Shown Below



V = Construction Type As Per Section 602 of BCNYS

FR = Floor And Roof Framing As Per Designation For Structural Components That Are Of Truss/Engineered Type Construction

Size: 6" Diameter Circle

Color:

Circle To Be 1/2" Stroke - Reflective Red Pantone #187
Inner Circle - Reflective White
Text - Reflective Red Pantone #187

Sign Location:

The Sign Or Symbol Required Shall Be Affixed To The Electric Box Attached To The Exterior Of The Residential Structure. See Section 1265.5 For Further Notes On Sign Location.

See Title 19 NYCRR Part 1265 For Other Specs

Design Loads:

Required Live Loads:

First Floor Loads	Live Load	40 #/sf
Second Floor Loads	Live Load	30 #/sf
Attic Load (w/ Storage)	Live Load	20 #/sf
Attic Load (w/ Storage)	Live Load	30 #/sf
Exterior Balconies	Live Load	60 #/sf
Decks	Live Load	40 #/sf
Guardrails	Live Load	200 #/sf
Stairs	Live Load	40 #/sf

Refer to section R301.4 of the Residential code of New York State for any additional information.

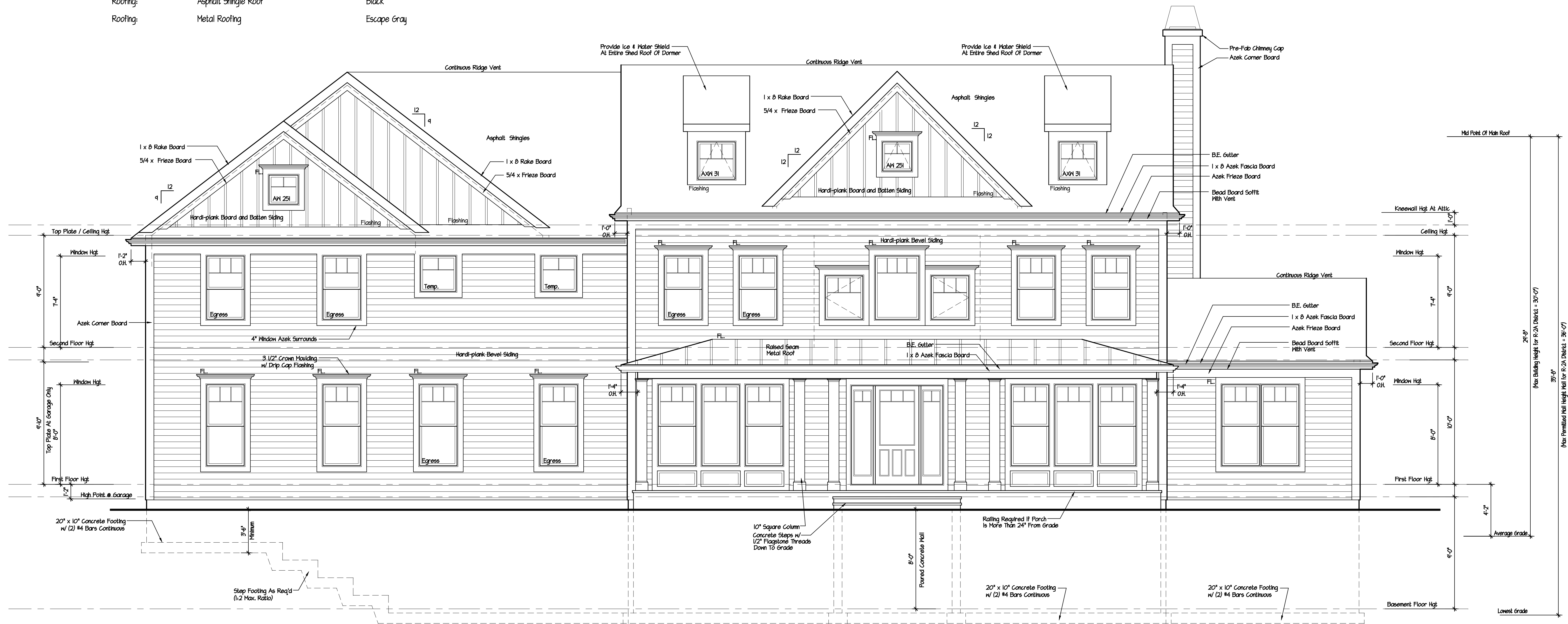
Provided Design Loads:

First Floor Loads	Live Load	40 #/sf	Dead Load	12 #/sf
Second Floor Loads	Live Load	30 #/sf	Dead Load	12 #/sf
Attic Load (4'-6" Headroom)	Live Load	20 #/sf	Dead Load	12 #/sf
Attic Load (6'-4" Headroom)	Live Load	30 #/sf	Dead Load	12 #/sf
Ground Snow Load	Live Load	45 #/sf	Dead Load	1 #/sf

Snow Load Reduction
Ground Snow Loads Have Been Converted To Roof Snow Loads In Accordance With The Provisions Of ASCE 7.

Pitch	Roof Snow Load
4-4	28.35
10-11	21
12	22.7
13	20
14	18.5
15-16	17

LUMBER: All framing lumber to be stress grade Douglas-Fir Larch No. 2 or better.



Front Elevation
Scale: 1/4" = 1'-0"

Square Footage

First Floor	2,711 Sf
Second Floor	2,851 Sf
Total	5,628 Sf

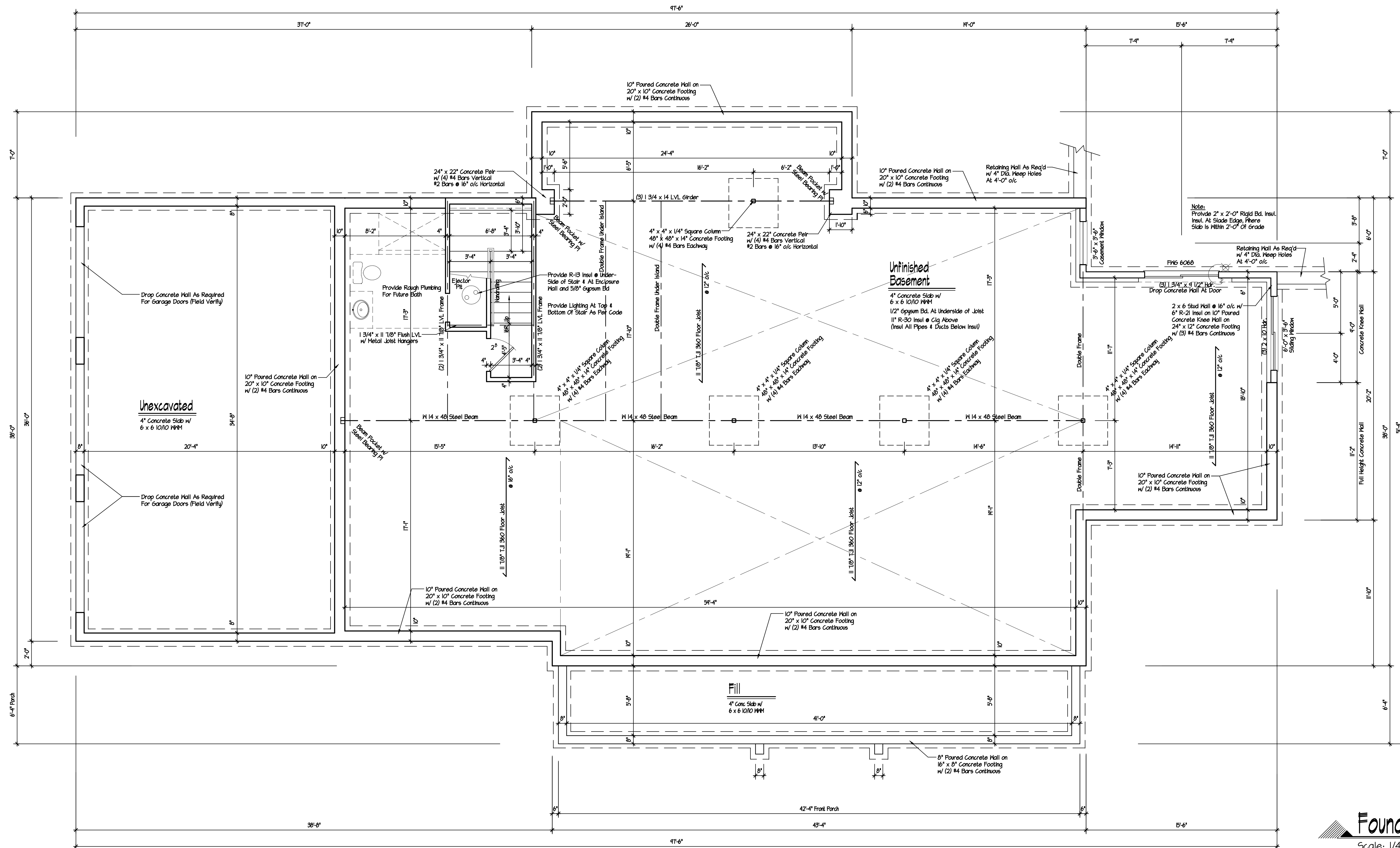
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Residence For
9 Seymour Pl East
Armonk NY

Revision	Date
	Feb. 8, 2021
Job No	221-003
Drawing	

DeMasi Architects P.C.
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
PHONE: (914) 666-3856
EMAIL: Lou@DemasiArchitects.com

Do Not Scale Prints



Notes:

All Footings To Bear 12" Below Solid Undisturbed Earth
 All Framing Members To Be # 2 Douglas Fir-Larch Or Better
 Double Frame Under All Partitions Parallel To Framing
 Double All Box Joist At Cellar Type Windows
 If The Floor Is To Be MID Job Consult Architect For Additional Framing Required

Legend:

- 2 x Wood Post (Match Beam Width or As Noted)
- Smoke Detector w/ Battery Back-up
- Heat Detector w/ Battery Back-up
- Carbon Monoxide Det w/ Battery Back-up
- Surface Mounted Light Fixture

Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

Note: Unless Otherwise Noted On Plans

Foundation Plan
 Scale: 1/4" = 1'-0"

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Residence For
9 Seymour Pl East
Armonk NY

Revision	Date
Date	Feb. 8, 2021
Job No	221-003
Drawing	2 OF 9

General Notes:

ALL WORK AND MATERIALS SHALL CONFORM TO THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ALL LOCAL, COUNTY AND STATE CODES.

ALL FRAMING LUMBER TO BE # 2 DOUGLAS FIR - LARCH OR BETTER.

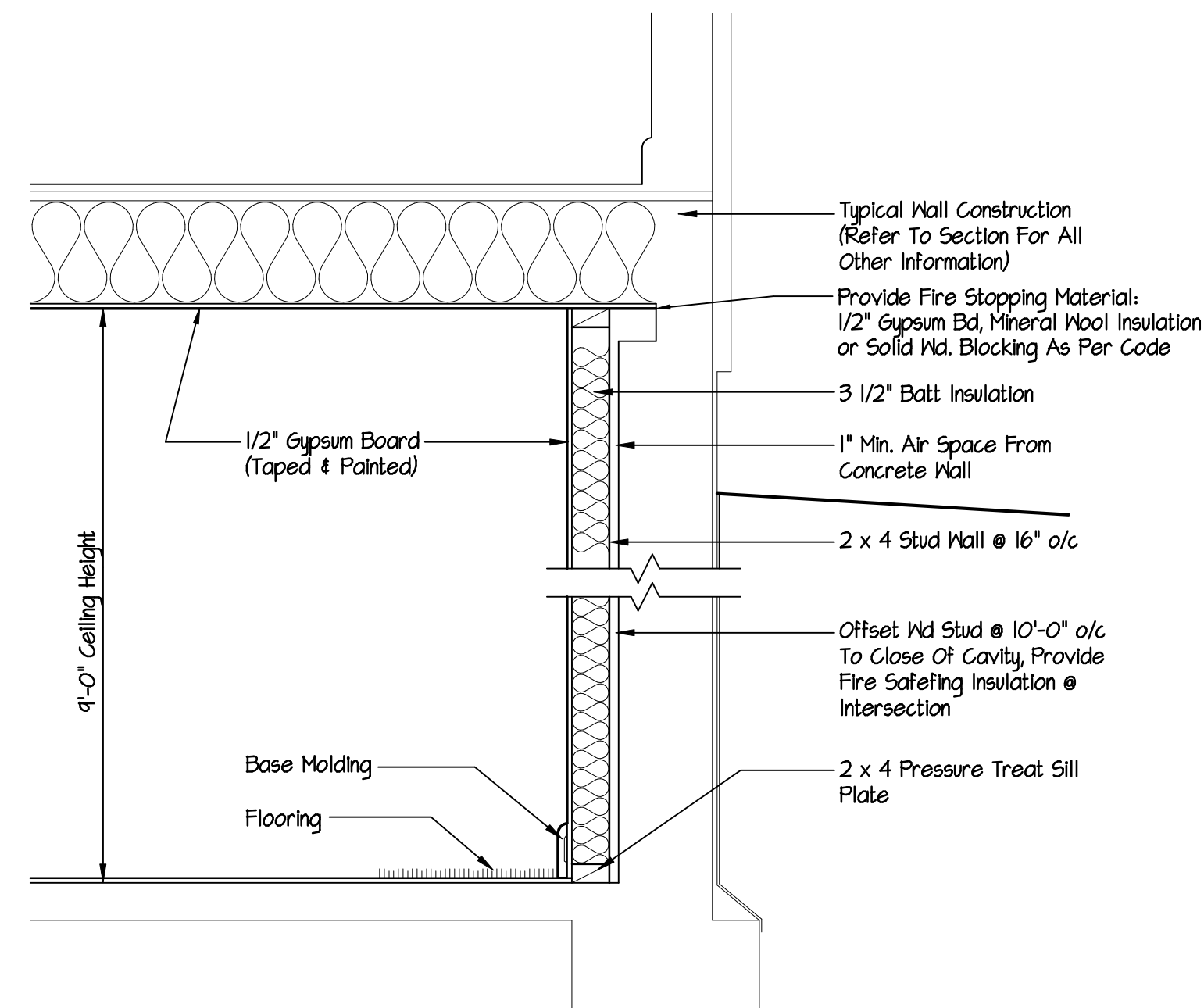
ALL NEW WORK AND MATERIALS, UNLESS OTHERWISE SPECIFIED, SHALL MATCH EXISTING CONSTRUCTION.

ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

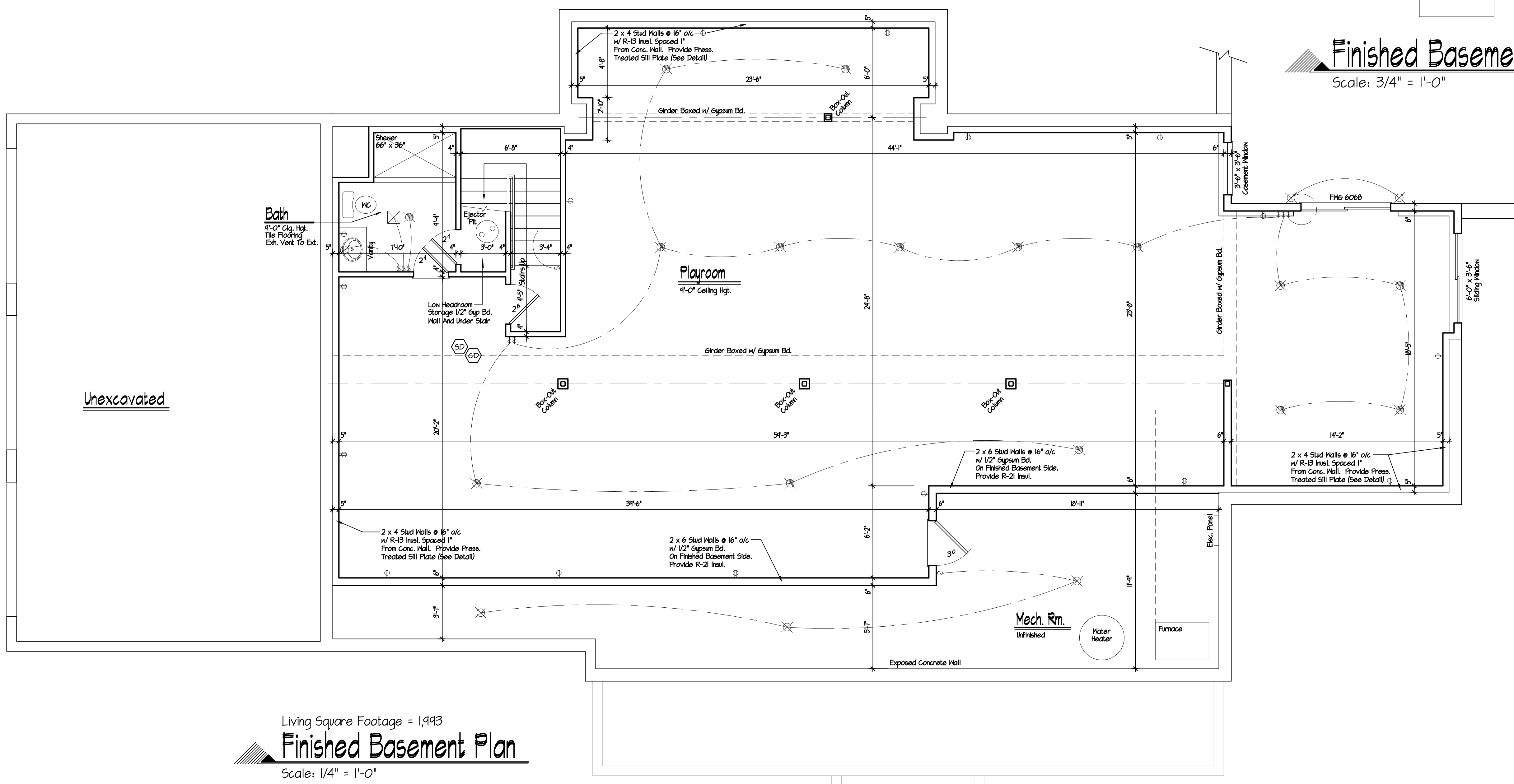
PROVIDE ONE SMOKE DETECTOR IN EACH BEDROOM, IF NOT EXISTING ALREADY PLUS ONE SMOKE & CO DETECTOR WITH HALLWAY ADJACENT TO BEDROOM AS PER 2020 RESIDENTIAL CODE OF NEW YORK STATE

Legend:

- Surface Mounted Light Fixture
- Recessed Light Fixture
- Duplex Outlet Ground Fault Interrupter (GFI) at All Wet Areas (As Required By Code)
- Exhaust Fan



Finished Basement Detail
Scale: 3/4" = 1'-0"



Living Square Footage = 1,993
Finished Basement Plan
Scale: 1/4" = 1'-0"

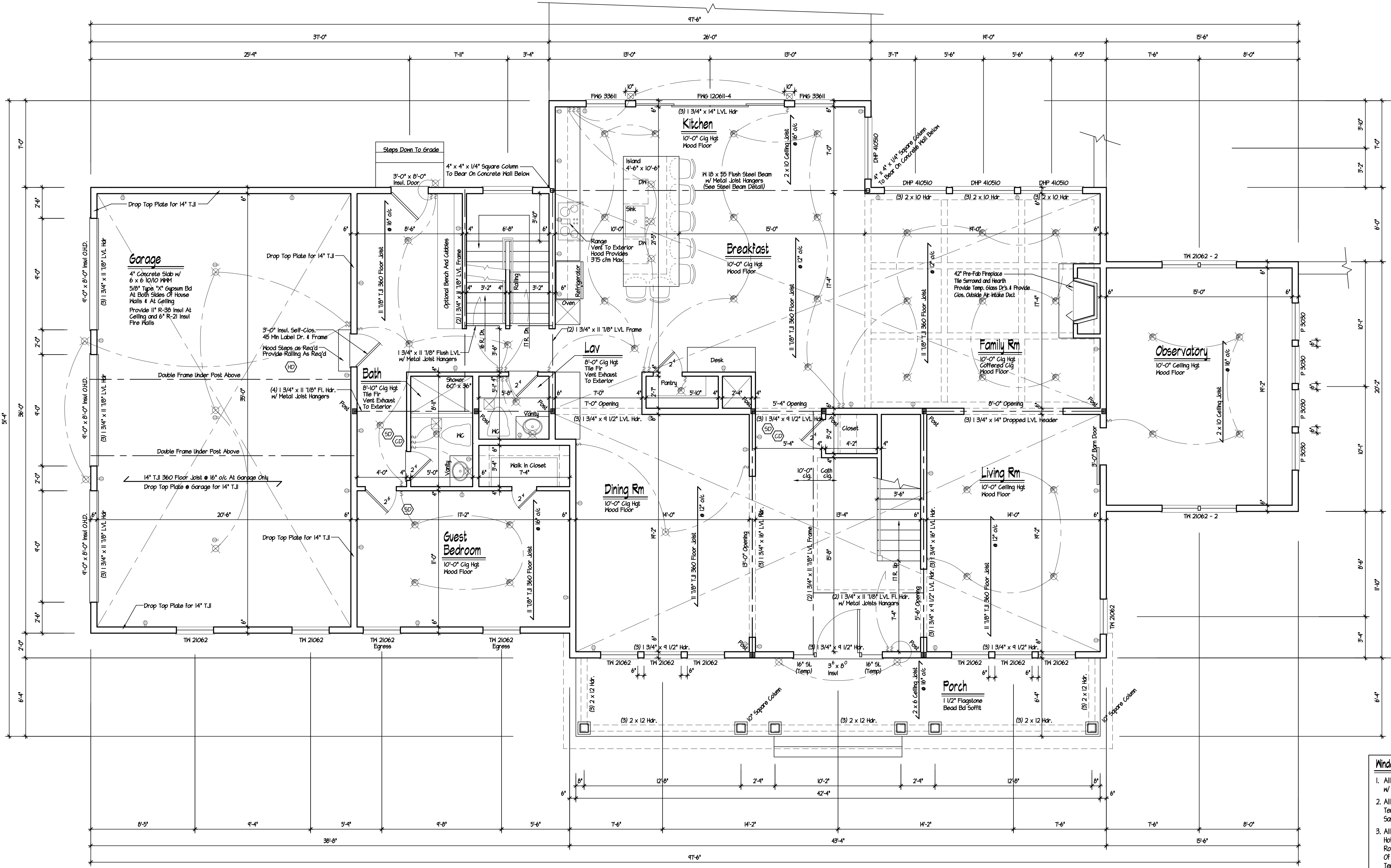
DeMasi Architects P.C.
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
PHONE: (914) 666-3856
EMAIL: Lou@DemasiArchitects.com

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Residence For
9 Seymour PL East
Armonk NY

Revision	Date
	Feb. 8, 2021
Job No	221-003
Drawing	2A OF 9

Do Not Scale Prints



First Floor Plan
Scale: 1/4" = 1'-0"

Notes:

- All Framing Members To Be # 2 Douglas Fir - Larch Or Better
- Double Frame Under All Partitions Parallel To Framing
- If Tile Floor Is To Be MUD Job Consult Architect For Additional Framing Required

Legend:

- 2 x Wood Post (Match Beam Width or As Noted)
- Smoke Detector w/ Battery Back-Up
- Carbon Monoxide Det w/ Battery Back-Up
- Heat Detector w/ Battery Back-Up
- Surface Mounted Light Fixture
- Recessed Light Fixture
- Duplex Outlet
- Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)
- Exhaust Fan

Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

Note:
Unless Otherwise Noted On Plans

Andersen Egress Window Sizes:

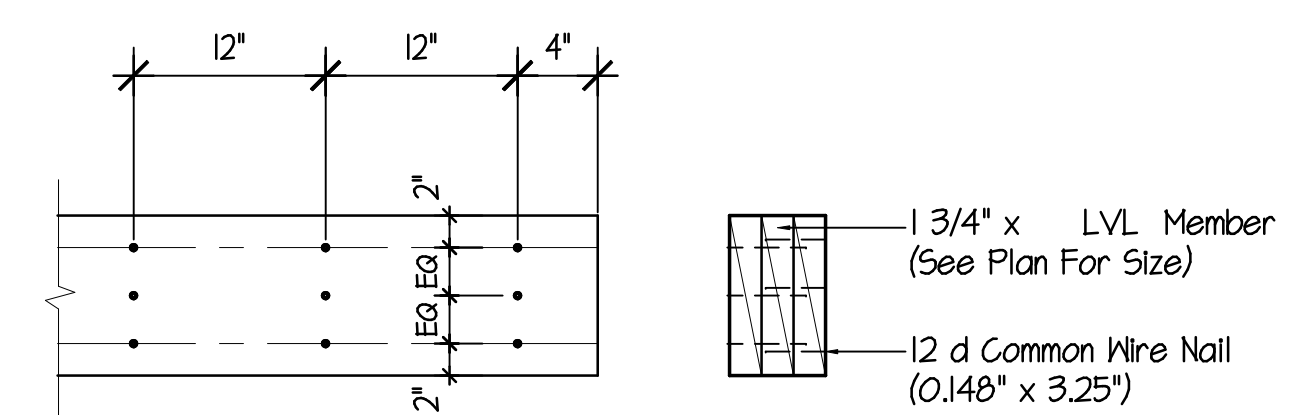
Size	Opening	Width	Height
TN 21062	156 sq"	31 1/8"	34 1/4"

- Window Note:**
- All Glazing To Be Low E⁺ Insulated Glass w/ Minimum R-31 (U=0.32).
 - All Windows Within 18" Of Floor To Have Tempered Glass (Double Hungs-Bottom Sash Only, All Others Full Unit).
 - All Glazing in Doors & Windows Enclosing Hot Tubs, Hot Tubs, Saunas, Steam Rooms, Bathrooms and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
 - All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 Sf Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
 - All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.
 - All Windows Sills Within 24" Above The Finished Floor & Greater Than T2" Above Finished Grade Or Other Surface. Requires Fall Protection. See Section R312.2 For More Info.

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Residence For
9 Seymour Pl East
Armonk NY

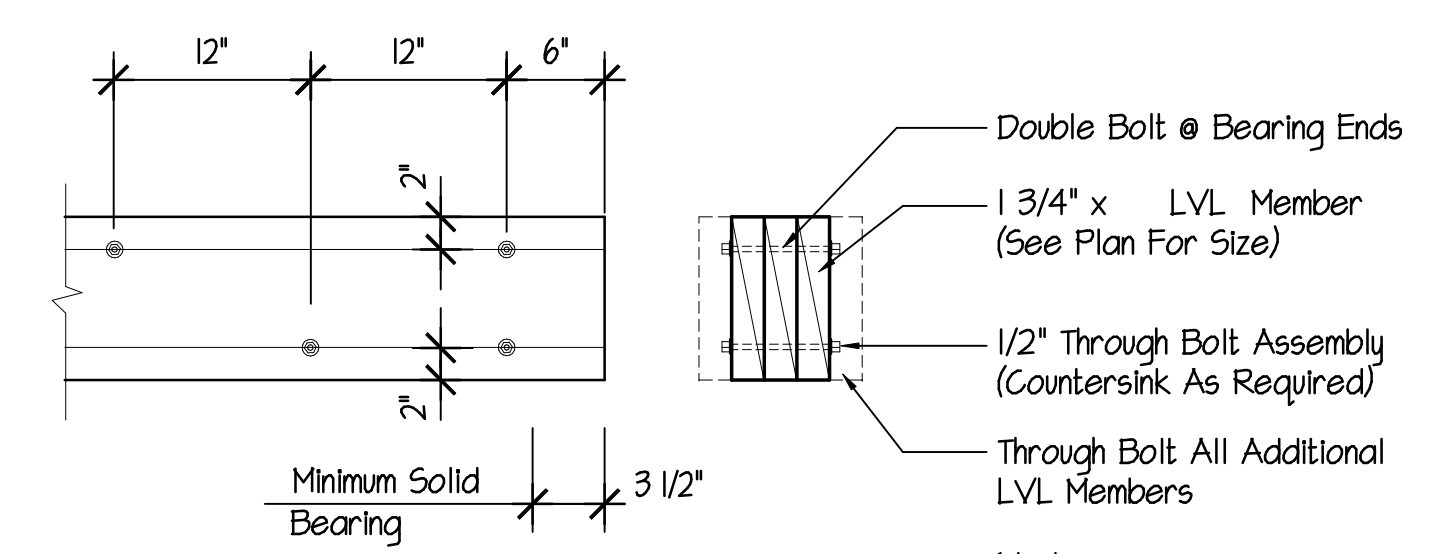
Revision	Date
Date	Feb. 8, 2021
Job No	221-003
Drawing	3 OF 9



Elevation
Note:
 LVL = Laminated Veneer Lumber
 By Trus-Joist Neyerhaeuser (1.9 E)
 Minimum or Equal

Section
Note:
 See Plans For Size & Location
 Of All LVL Members

LVL Beam Detail (Nailed)
 Scale: 1" = 1'-0"

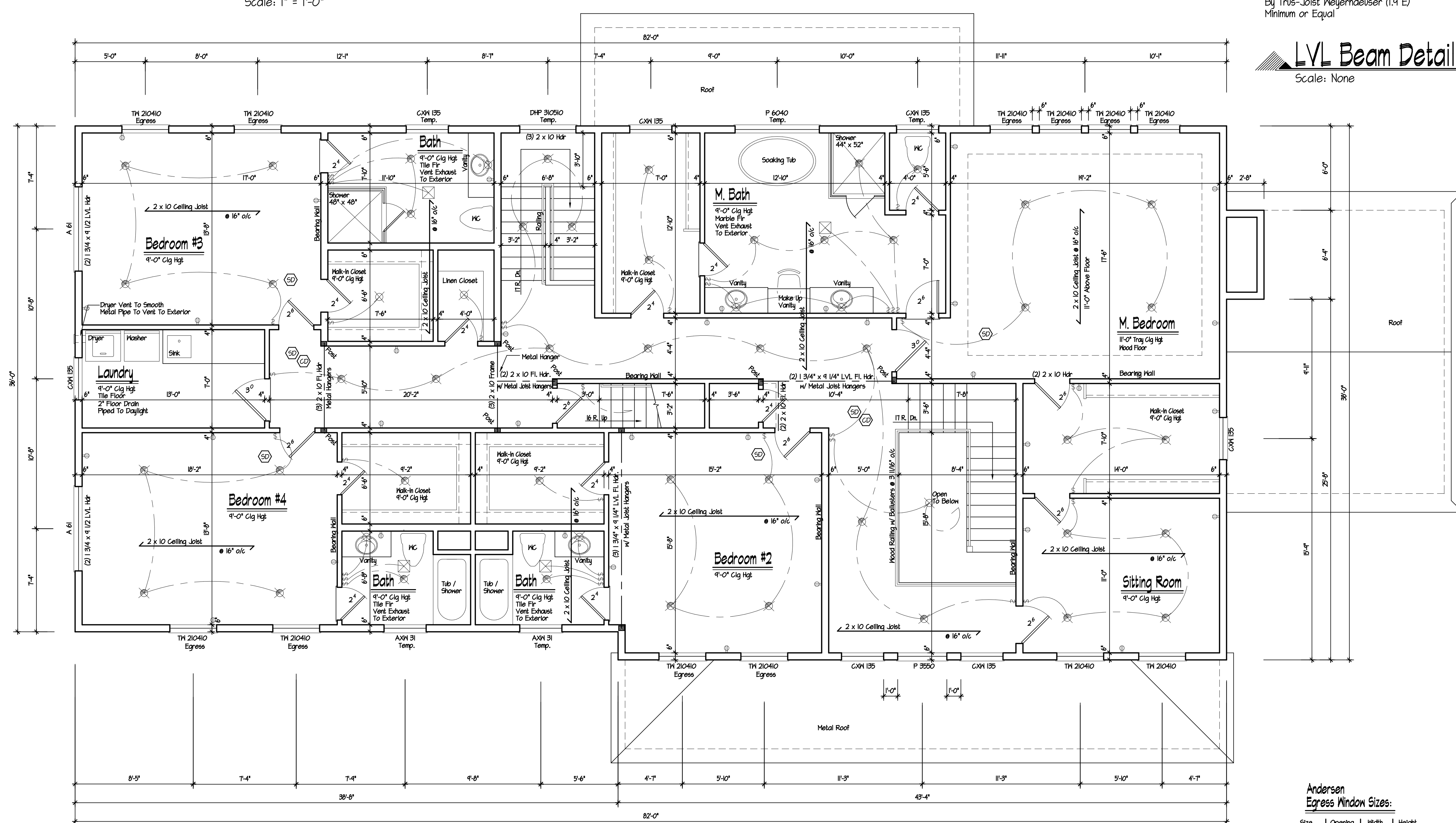


Elevation
Note:
 LVL = Laminated Veneer Lumber
 By Trus-Joist Neyerhaeuser (1.9 E)
 Minimum or Equal

Section
Note:
 Bolting As Required, Refer
 To Manufactured Specifications
 For All Information & Specifics

Note:
 See Plans For Size & Location
 Of All LVL Members

LVL Beam Detail (Bolted)
 Scale: None



- Notes:**
- All Framing Members To Be # 2 Douglas Fir-Larch Or Better
 - Double Frame Under All Partitions Parallel To Framing
 - If Tile Floor Is To Be MID Job Consult Architect For Additional Framing Required
- Legend:**
- 2 x Wood Post (Match Beam Width or As Noted)
 - Smoke Detector w/ Battery Back-Up
 - Carbon Monoxide Det w/ Battery Back-Up
 - Surface Mounted Light Fixture
 - Recessed Light Fixture
 - Duplex Outlet
 - Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)
 - Exhaust Fan
- Wood Header Schedule**
- | Span | Header Size |
|-------------|---------------|
| Up To 3'-0" | (2) 2 x 6 Hr |
| Up To 4'-0" | (2) 2 x 10 Hr |
| Up To 6'-0" | (3) 2 x 10 Hr |
- Note:**
 Unless Otherwise Noted On Plans

- Window Note:**
- All Glazing To Be Low "E" Insulated Glass w/ Minimum R-31 (I=0.32).
 - All Windows Within 18" Of Floor To Have Tempered Glass (Double Hings-Bottom Sash Only, All Others Full Unit).
 - All Glazing In Doors & Windows Enclosing Hot Tubs, Hot Tubs, Saunas, Steam Rooms, Bathrooms and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
 - All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 Sf Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
 - All Windows or Doors Marked w/ "IEHP" To Have Full Unit Tempered.
 - All Windows Sills Within 24" Above Finished Floor & Greater Than 12" Above Finished Grade Or Other Surface. Requires Fall Protection. See Section R312.2 For More Info.

Andersen Egress Window Sizes:

Size	Opening	Width	Height
TN 210410	5.12 sf	31 7/8"	25 3/4"

Second Floor Plan
 Scale: 1/4" = 1'-0"

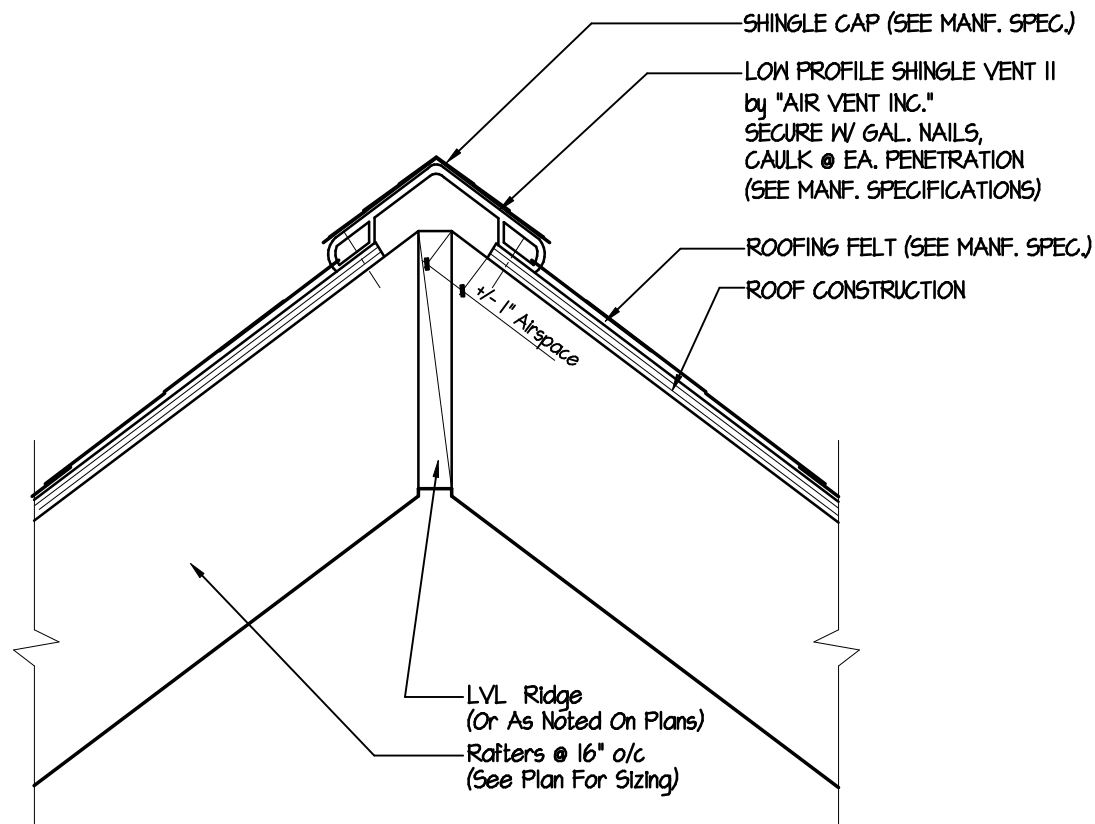
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 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
 EMAIL: Love@DemasiArchitects.com
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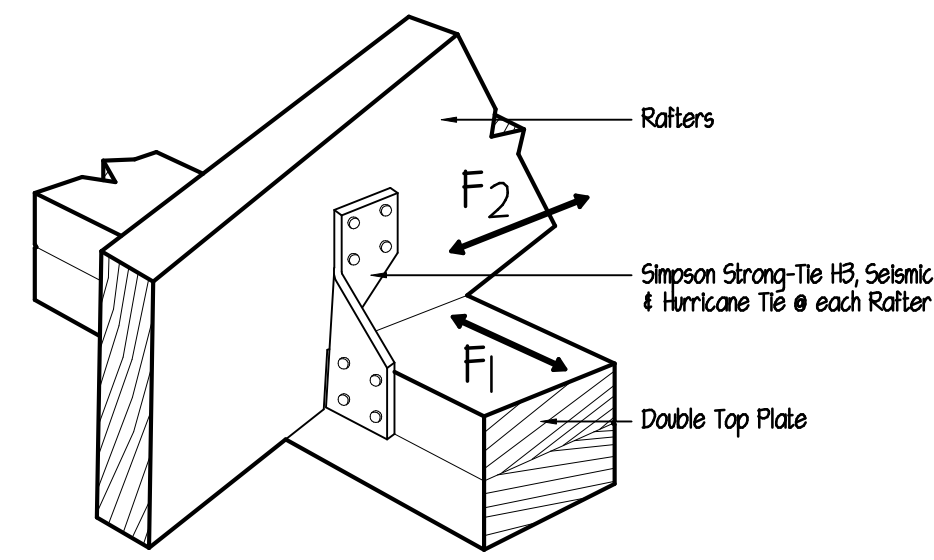
Residence For
9 Seymour Pl East
Armonk NY

Revision	Date
Date	Feb. 8, 2021
Job No	221-003
Drawing	4 OF 9



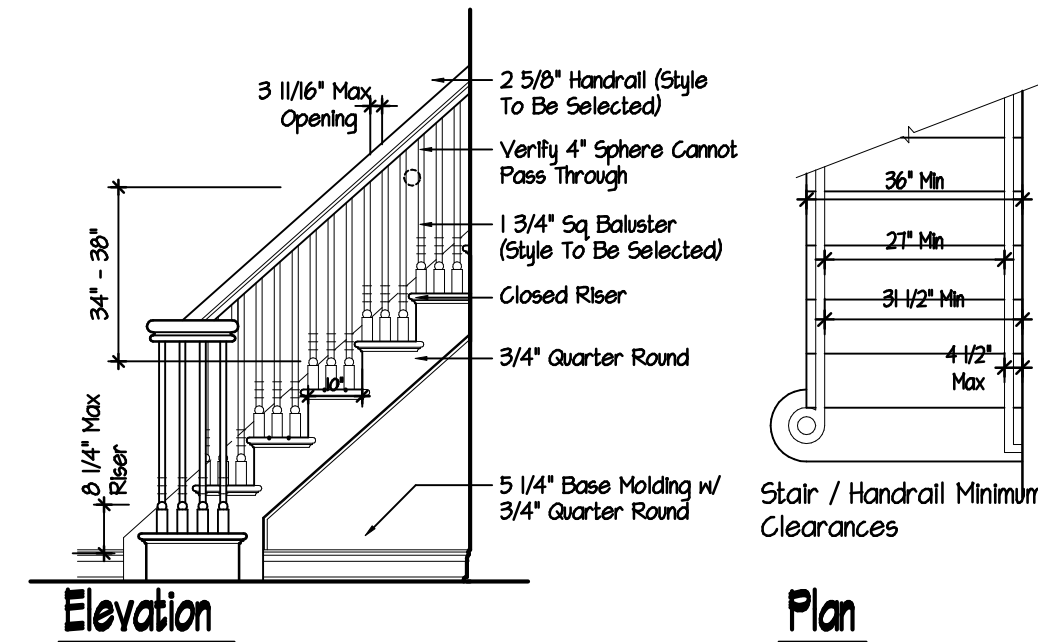
Ridge Vent Detail

Scale: None



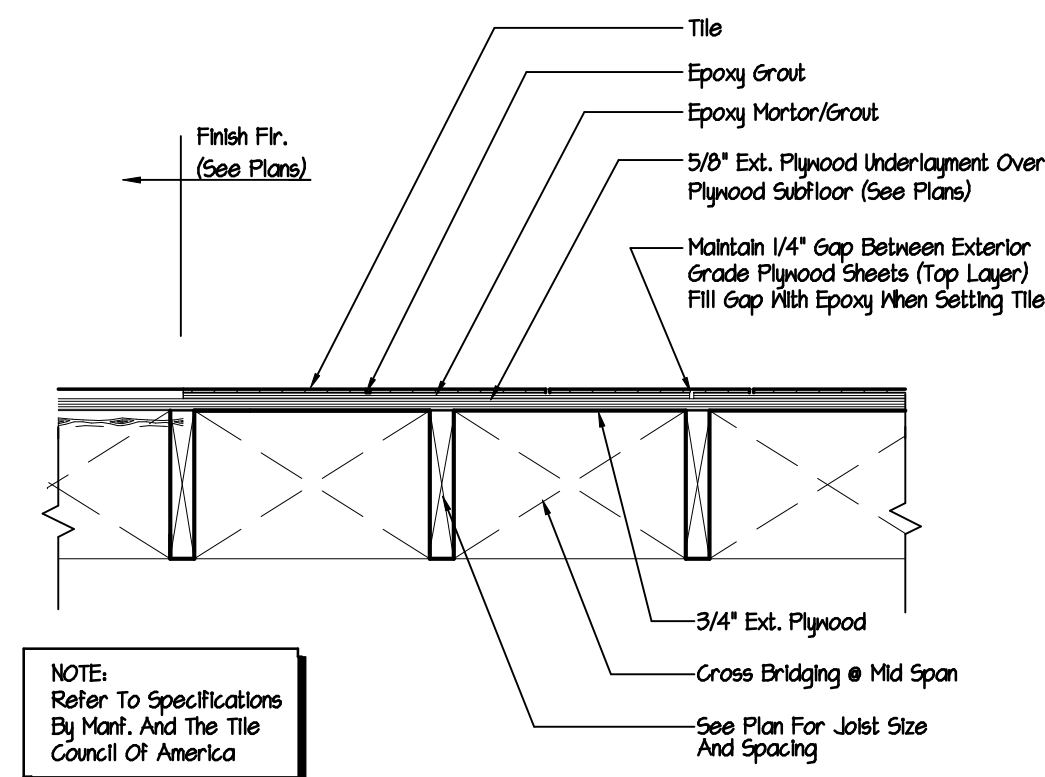
Rafter Tie Down Detail

Scale: None



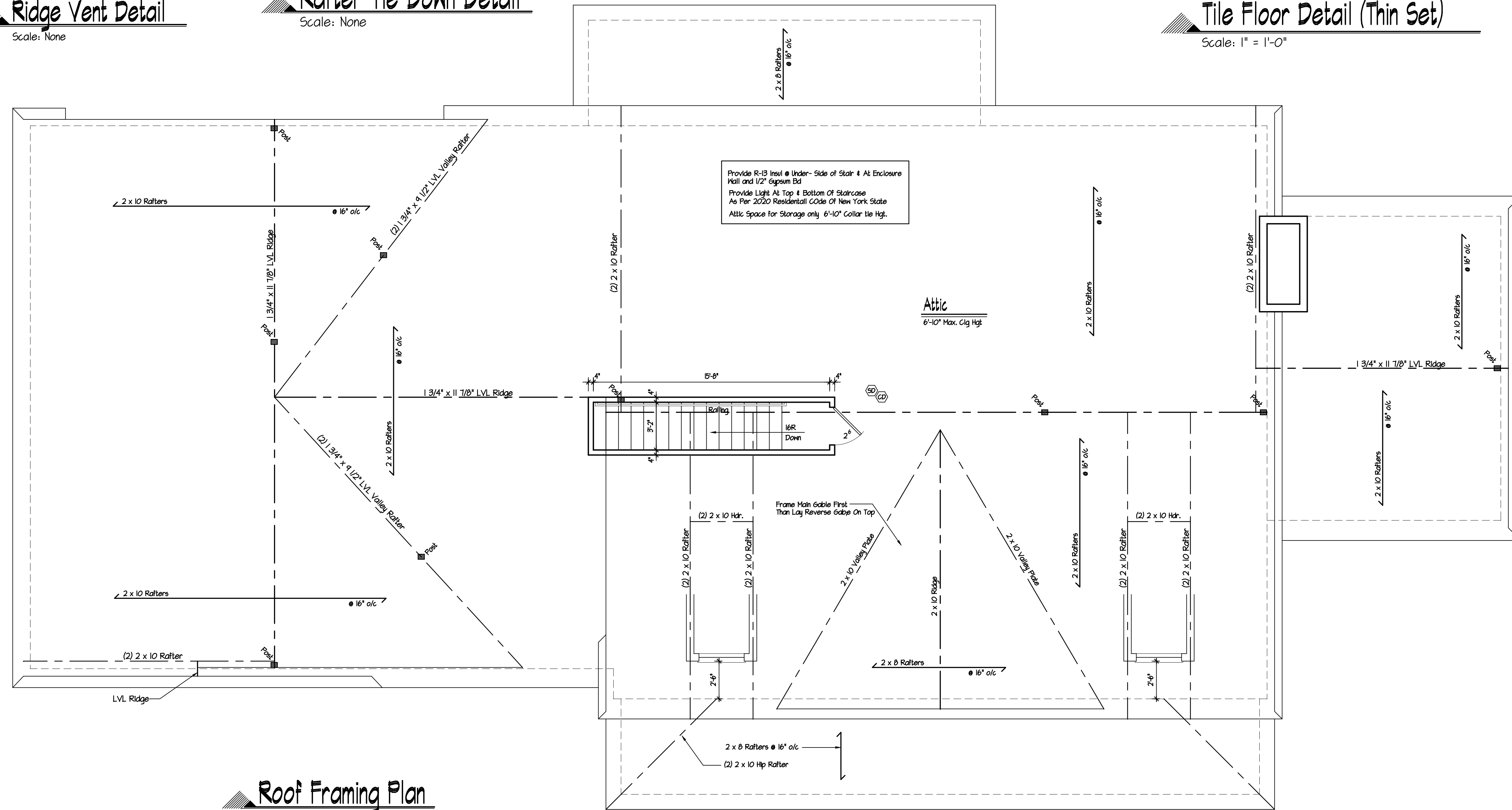
Stair Clearance Detail

Scale: None



Tile Floor Detail (Thin Set)

Scale: 1" = 1'-0"



Roof Framing Plan

Scale: 1/4" = 1'-0"

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Residence For
9 Seymour Pl East
Armonk NY

Revision	Date
	Feb. 8, 2021
Job No	221-003

Drawing
5 OF **9**

DeMasi Architects P.C.

105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549

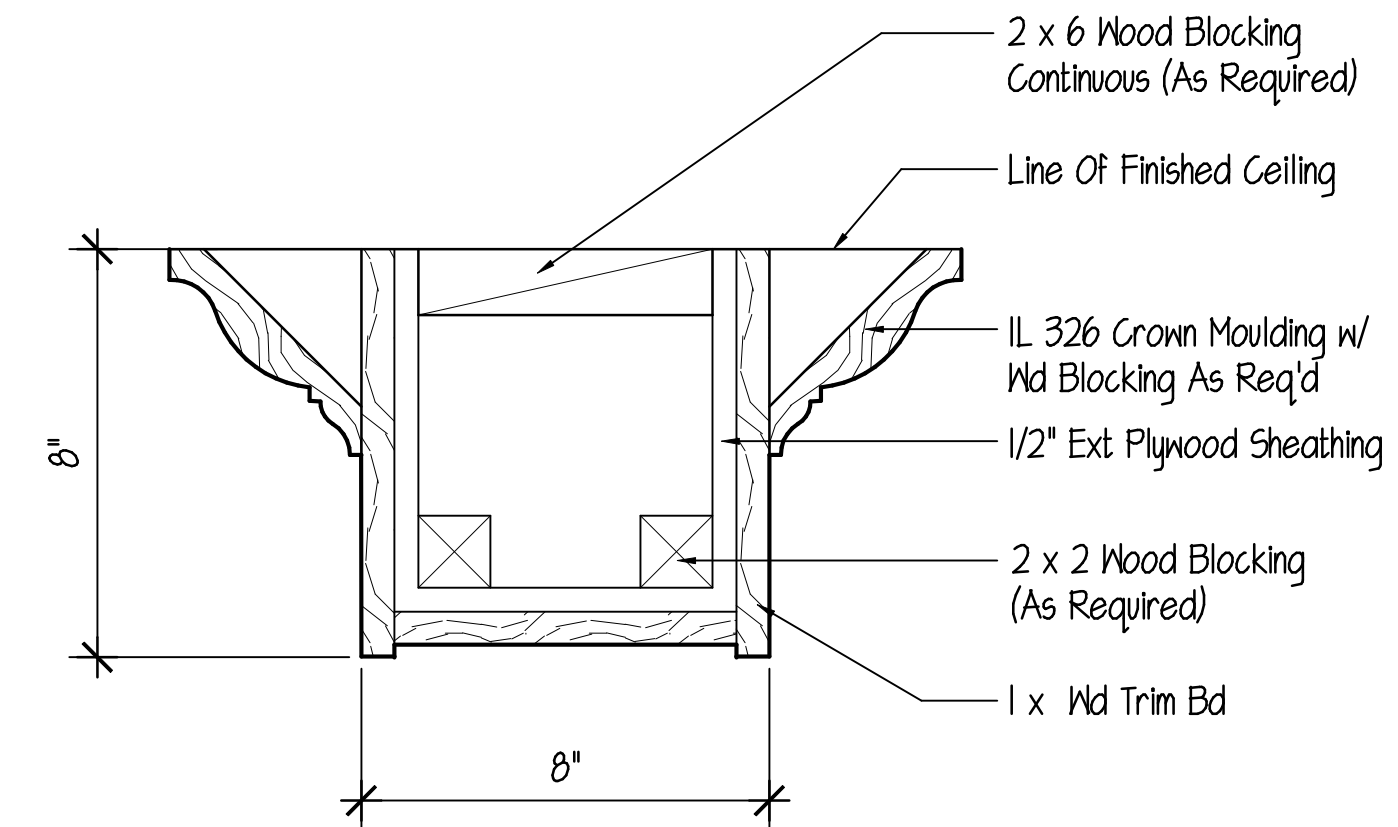
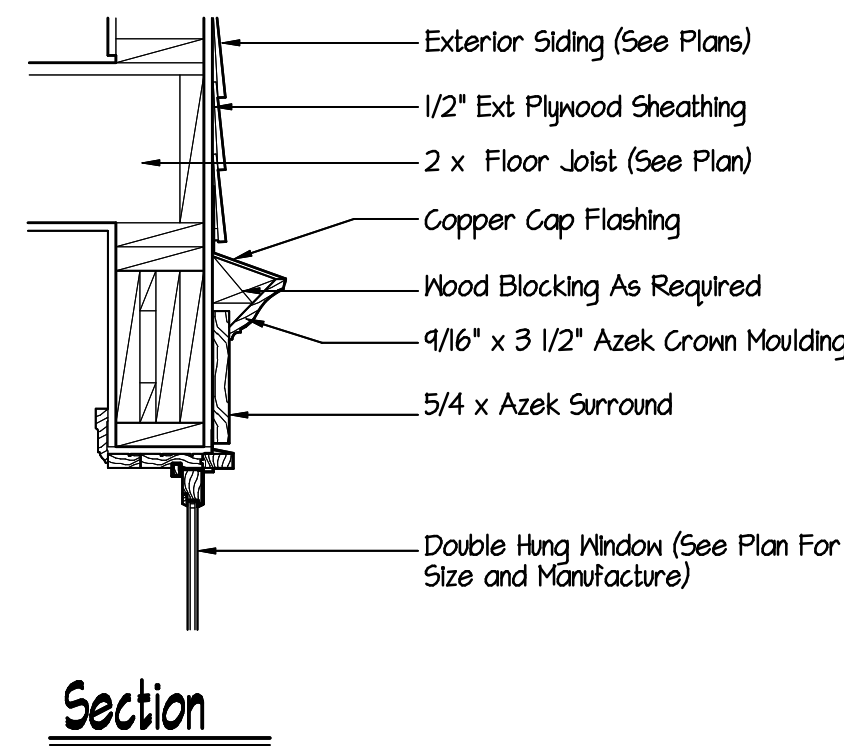
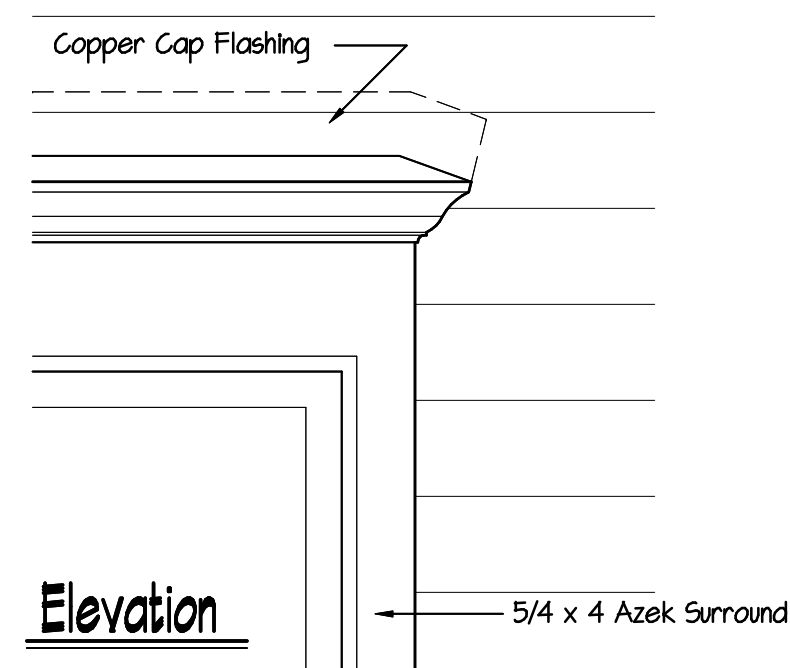
PHONE: (914) 666-3856

EMAIL: Love@DemasiArchitects.com

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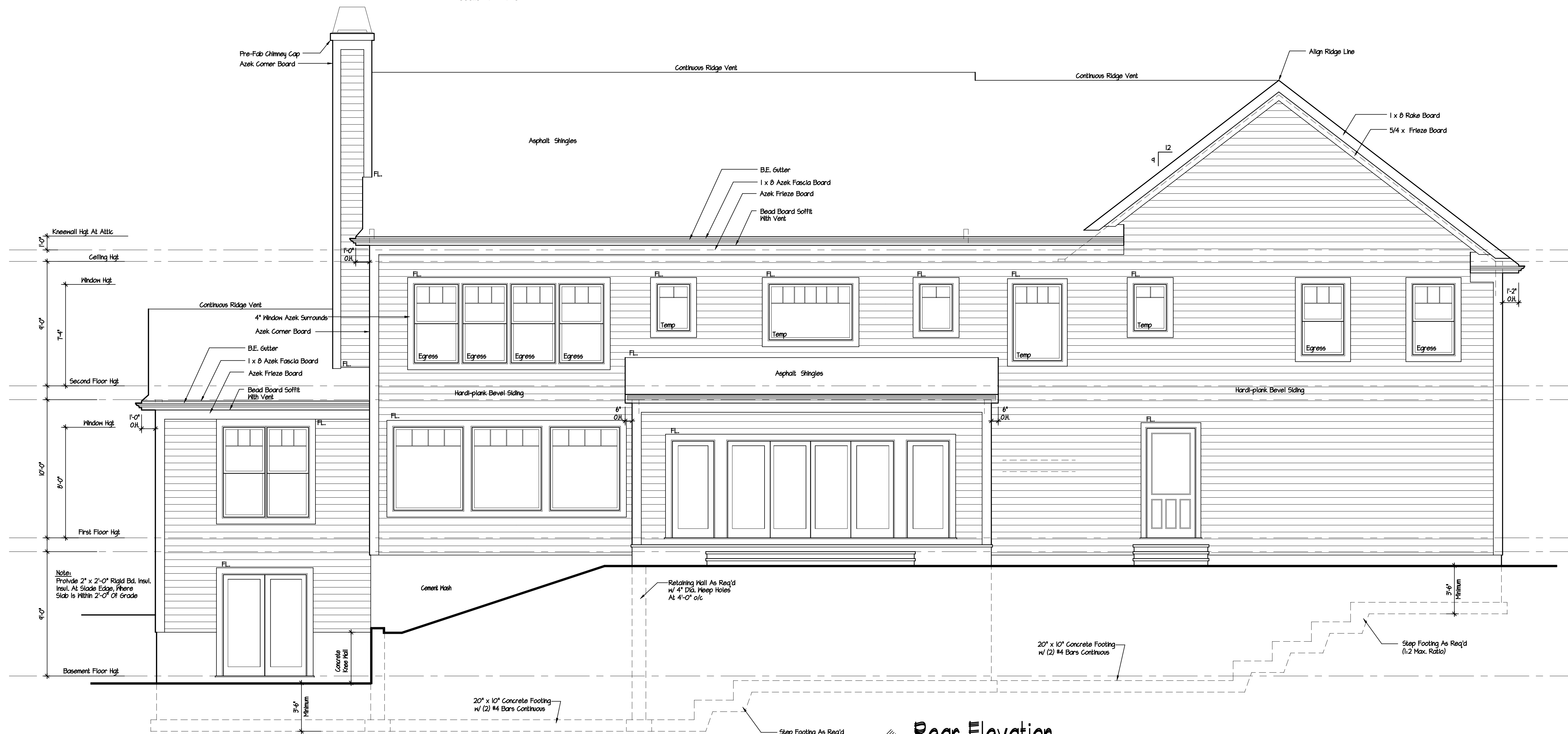
Schedule For Proposed Building Material and Color Scheme

	Name:	Type:	Color:
Siding:	Hardi-plank	Bevel	White
Windows:	Andersen	Double Hung	Black
Trim:	Azek/Fypon	Azek/Fypon	White
Front Door:		Composite	Black
Roofing:	Asphalt Shingle Roof		Black
Roofing:	Metal Roofing		Escape Gray



Window Head Detail
Scale: 1" = 1'-0"

False Beam Detail
Scale: None

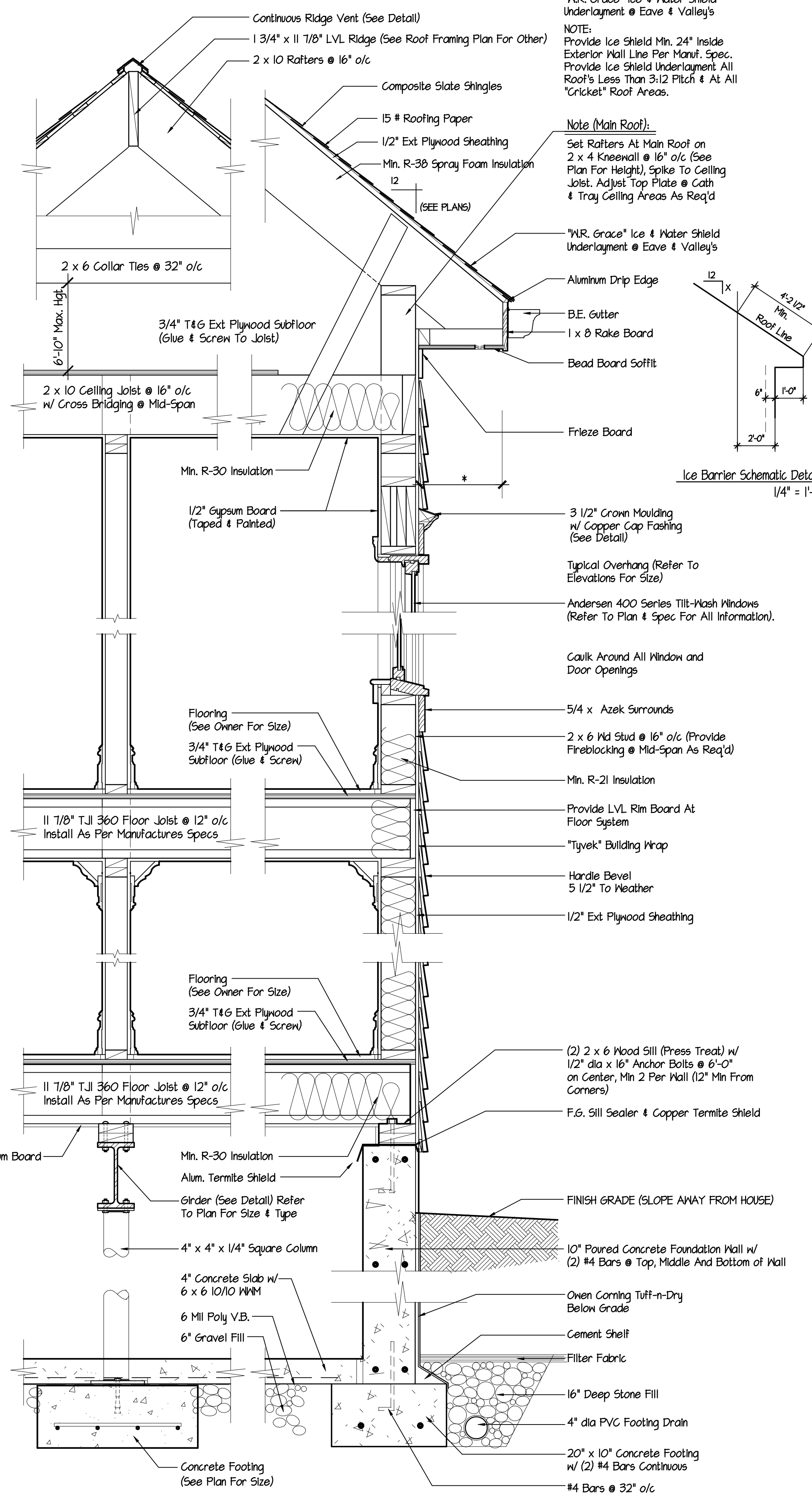


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Residence For
9 Seymour Pl East
Armonk NY

Revision	Date
Date	Feb. 8, 2021
Job No	221-003
Drawing	7 OF 9



General Conditions:

SPECIFICATIONS: These specifications are made in general form only and not specifically for any one building. The owner applying these specifications, assumes complete responsibility for their use, changes, or omissions.

SCOPE OF WORK: The Contractor shall provide all labor, materials, appliances and equipment required to complete all work, etc., as shown on the drawings necessary for a complete job unless otherwise specified. All material and workmanship shall be of good quality.

OMISSIONS: All written figures (notes and dimensions) on the floor plans or specifications shall take precedence over any drawn figures (elevations). Do not scale prints. All dimensions must be verified by the contractor before start of construction. Any discrepancies on the plans or specifications must be reported to the Architect prior to the start of construction.

CODES: All work and materials must conform to all local and The 2020 Residential Code of New York State, National Board of Fire Underwriters, 2020 Energy Conservation Code of New York State and requirements of the Board of Health.

ACCEPTABLE BUILDING STANDARDS: Installation of materials shall comply with industry standards as instituted by the national association or equivalent group of material used. Acceptable associations shall include, but are not limited to, the following: Western Wood Products Assoc., Cedar Shake & Shingle Bureau, Brick Industry Assoc., Tile Council of America, National Roofing Contractors Assoc. and American Concrete Institute, etc.

MATERIALS: Shall be installed according to the manufacturer's specifications. All work shall comply with applicable sections of the state and local codes and the generally accepted standards as listed in the state building code.

PERMANENT CERTIFICATION: A permanent certificate shall be completed by the builder or registered design professional and posted on a wall in the space where the furnace is located, a utility room or an approved location inside the building, where located on an electrical panel, the certificate shall not cover or obstruct the visibility of the circuit directory label, service disconnect label or other required labels. The certificate shall list the predominant R-values of insulation installed in or on ceiling/roof, walls, foundation (slab, basement wall, crawlspace wall and floor) and ducts outside conditioned spaces; U-factors for fenestration and the solar heat gain coefficient (SHGC) and the results from any required duct system and building envelope air leakage testing done on the building. Where there is more than one value for each component, the certificate shall list the value covering the largest area. The certificate shall list the types and efficiencies of heating, cooling and service water heating equipment. Where a gas-fired inverted room heater, electric furnace or baseboard electric heater is installed in the residence, the certificate shall list "gas-fired inverted room heater," "electric furnace," or "baseboard electric heater," as appropriate. An efficiency shall not be listed for gas-fired inverted room heaters, electric furnaces or electric baseboard heaters. See Section R401.3 of the 2015 International Energy Conservation Code.

SITE CONDITIONS: The General Contractor shall verify all conditions before submitting his proposal. No allowance for extra charges will be permitted because of lack of knowledge of the conditions peculiar thereto except as otherwise specified elsewhere in the contract documents. Each contractor will be responsible for his own engineering and layout once the owner has established property lines and minimum number of benchmarks. The contractor shall verify all lines, levels and dimensions shown on the drawings and will be held responsible for the correctness and setting out of his work.

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ARCHITECT STATUS: Architect has not been retained by owner to provide periodic job inspections or job administration. Purchaser of the plans shall assume full responsibilities for any deviations or changes to these plans.

Excavation: Excavate all earth, boulders, loose and soft rock to the lines and depths indicated on the drawings. All footings to bear on solid, undisturbed earth. Excavate for all utilities as required.

FOOTINGS: To bear 12" below line of solid undisturbed earth. Design of footings are based on 2,000 psi soil. If soil bearing conditions are questionable, contractor shall consult engineer for footing design. Sloped footings shall be 1:2 max. slope. Provide (2) #4 bars continuous (refer to wall section). All footings bearing from rock to soil shall be reinforced with (4) #5 bars (6" min. on both sides of joint). Dowel and pin all footings bearing on rock with a slope greater than 1:12 (30 degrees) w/ #4 dowels @ 24" o/c max.

FINISH GRADING: Finish grading shall be established to provide surface drainage in all directions away from the house and excavated areas.

Concrete & Masonry:
CONCRETE: Shall be a min. Fc = 3,000 psi compressive strength for footings & foundation walls and Fc = 3,500 psi compressive strength for porches, steps & garage floors. Concrete shall be "Air Entrained", total air content shall not be less than 5% or more than 7%. All concrete work shall conform to the latest American Concrete Institute (ACI) guidelines.

CONCRETE FLOORS: Shall have a smooth, dense steel trowel finish suitable to receive composition flooring. Concrete floors in living areas shall have 6 mil. poly vapor barrier and 2" x 24" (min) rigid polystyrene foam insulation around the perimeter of the slab, where slab is within 2'-0" of grade. Pitch all garage and porch floors for drainage. (1/8"/ft. min)

POURED CONCRETE FOUNDATION: Shall comply with the latest edition of American Concrete Institute Specification and shall be plumb, straight, level and true. Forms to be properly constructed to hold concrete. Provide (2) #4 bars located at top and bottom of wall. All reinforcing bars for concrete work shall conform to A.S.T.M. A615 grade 60.

MASONRY: Concrete block shall be load bearing laid level, plumb and straight in a full bed of cement mortar (TYPE "S") with galvanized metal lugs-type ties @ 24" horizontal and vertical. All joints to be well tooled. All masonry work shall conform to ACI 530 code and all reinforcement work shall conform to ACI 318-11. Fill top two courses solid with cement mortar.

MASONRY CHIMNEY & FIREPLACES: Where shown on the plans, shall be brick or stone where exposed and laid in a full bed of cement mortar with well tooled joints. Flues to be fire clay size shown on the plans. Provide cast iron damper, ash pit and clean-out doors. Provide for proper clearances with combustible construction. Firestop at all clearances with non-combustible material. Contractor shall ensure proper clearances of chimney and fireplace per 2020 Residential and Energy Codes of New York State.

PRE FAB CHIMNEY AND FIREPLACES: Installation of prefabricated chimneys and fireplaces shall be in strict accordance with manufacturer's specification. Install firestops as required by code. Fireplace shall be metal prefabricated with compatible flue and shall be UL listed.

FIREPLACES: All fireplaces shall have tempered glass fire doors and closable combustion air intake ducts and comply with the 2020 Energy Conservation Code of New York State.

DAMP-PROOFING: Foundation wall shall be damp proofed with two (2) coats of asphalt waterproofing over 1/2" cement garage block wall or cement wash (poured wall). Provide 4" perforated pipe footing drain laid in 16" stone with layer of filter fabric. Drain to outflow above ground or stone drainwell.

DAMP-PROOFING: Provide a complete TUFF-N-DRI Exterior Foundation Waterproofing System as manufactured by KOCH MATERIALS COMPANY or equal. Provide 4" perforated PVC footing drain laid in 16" deep (min) stone with a layer of filter fabric over. Drain to outflow above ground, min. 30' from house, when not permitted, provide drainwell.

DAMP-PROOFING: In areas of high water table or severe soil-water conditions are known to exist, provide 2-ply hot mopped felt, 55 pound roll roofing from top of footing to finished grade. All joints are to be lapped and sealed with adhesive.

Miscellaneous Metals:
STEEL: Shall conform to ASTM specification A-36 for structural steel.

FLITCH BEAMS: All steel plates shall conform to ASTM specifications A-36 for structural steel. All bolt holes to be properly drilled. Torched holes are not acceptable.

ANCHOR BOLTS: Provide 1/2" dia. X 16" with hooked end. Bolts to be placed 6"-0" o.c. max., 12" min. from corner and 2 bolts min. per sill. Consult Architect for anchoring in other seismic zone.

Carpentry:
 Decay Design Condition: Slight - Moderate
 Termites Design Condition: Moderate - Heavy

Design Loads:

First Floor Loads	Live Load	40 #/sf
	Dead Load	12 #/sf
Second Floor Loads	Live Load	30 #/sf
	Dead Load	12 #/sf
Attic Load	Live Load	20 #/sf
(4'-6" Headroom)	Dead Load	12 #/sf
(6'-4" Headroom)	Live Load	30 #/sf
	Dead Load	12 #/sf
Ground Snow Load	Live Load	45 #/sf
	Dead Load	7 #/sf

Wind Speed Design load: 115-120 mph

LUMBER: All framing lumber to be stress grade Douglas Fir Larch No. 2 or better.

FRAMING: Framing of the entire house shall be erected plumb, level and true, securely nailed. Joists, studs and rafters shall be doubled above all openings. All flush headers shall be connected with metal joist hangers. Double frame under all partitions parallel to framing. Sizes of joists, sheathing and rafters are shown on plans. Provide solid blocking at all posts. Contractor to provide all fire blocking at all stud wall over 10'-0" high or all horizontal turned spaces at 10'-0" intervals max.

TERMITE SHIELD: Shall be bent aluminum with sealed lapped joints (refer to wall section for other information).

SILL PLATES: All wood sill plates that rest on concrete or masonry exterior walls shall be pressure preservative treated in accordance with ANFA standards or shall be of decay-resistant heartwood of redwood, black locust, or cedar's. All sill plates to be set on fiberglass sill sealer or equal.

GLULAM BEAM: Shall be No. 1 Douglas Fir (min. Fb-2200 PSI).

LAMINATED VENEER BEAM: Shall be "MicroLam 15E" by True Joist Meyerhoefer or equal, min. 1b. 2600. Install as per manufacturer's specifications.

PLYWOOD JOISTS: Shall be "TJI" Joists by True Joist Meyerhoefer. Install as per manufacturer's specifications.

SUB FLOOR: Shall be 23/32" Advantech Flooring w/ manufacturer recommendation for glue and screwed to each framing member @ 6" o/c.

SHEATHING: Shall be 1/2" exterior grade plywood nailed to each framing member.

WOOD DECKS AND RAILINGS: Where shown on plans, shall be pressure treated No. 1 Southern yellow pine wood. All nails, bolts and all metal fastenings to be hot-dipped galvanized steel, silicon bronze or copper (see detail).

BRICK OR STONE VENEER: Shall be as shown on plans, laid in cement mortar with galvanized metal wall ties 24" horizontal and vertical. Provide weep holes at 4" o/c max. or as required (option provide "MortarNet" at bottom of cavity). All joints to be well tooled. Brick and/or stone shall be selected by owner.

WINDOWS: Shall be Marvin Essential Collection or equal windows with insulated "Low E" glass and screens. Size and type shown on plans. Provide tempered glass where shown or where within 10' of floor.

FRENCH DOORS: Shall be ANDERSEN Frenchwood or equal with tempered insulated "Low E" glass and screens.

FIBER-CEMENT SIDING: Shall be fiber-cement plank siding by Hardie or CertainTeed. Install according to manufacturer's guidelines and details. Provide 3/8" x 1/2" wood starter strip set to true level 1/4" up from bottom edge of siding. Lap siding on 1/4" minimum over course below placing all joints over stud bearing. Use only galvanized or corrosion resistant fasteners.

INTERIOR DOORS: Interior doors shall be 1 3/8" flush mahogany stain grade or 6 panel pre-hung units, complete with hardware and casing. Sliding bi-fold and pocket doors shall be 1 3/8" flush mahogany or 6 panel doors or as shown on the code official. See Section R402.3.3 of the 2020 Energy Conservation Code of New York State. Provide a self-closing 50" Min. label insulated door and frame between garage and house.

EXTERIOR TRIM: Shall be "Azek" or Equal. Size and shape shown on plans.

INTERIOR TRIM: Shall be stock sections of pine and shall be neatly fitted and mitered and complete, including doors and window casings, aprons, and stools, base at the floor. Closets to have one 3/4" shaft with clothes pole adequately supported. Linen closets to have five (5) 3/4" shelves.

WOOD STAIR: Provide oak tread stair, size shown on the plan. Provide complete handrail, post, newel, and balusters (4 1/2" o.c. max.) as required. Stair to have oak tread (10" w/ 1 1/8" nosing @ closed stair), clear pine stringer and risers (8 1/4" max.). Provide oak tread return and bullnose on open sides. Stair shall be glued and wedged. All trim to be mitered and glued. Stair shall be fabricated in millshop by professional stair-builder. The general contractor shall be responsible to field check and verify stair dimensions and compliance with local & state building codes.

FLOORS: Wood floors shall be 25/32 strip oak securely nailed to joists over a layer of rosin paper. Composition floors shall be 1/8" vinyl set in mastic on concrete, or 5/8" exterior A/C plywood underlayment in joist areas.

ATTIC (CRAWLSPACE) ACCESS: Access doors from conditioned spaces to unconditioned spaces such as attics and crawl spaces shall be weatherstripped and insulated to a level equivalent to the insulation on the surrounding surfaces. Access shall be provided to all equipment that prevents damaging or compressing the insulation. A wood-framed or equivalent baffle is installed, the purpose of which is to prevent the loose-fill insulation from spilling into the living space when the attic access is opened, and to provide a permanent means of maintaining the installed R-value of the loose-fill insulation. See Section R402.2.4 of the 2020 Energy Conservation Code of New York State.

BUILDING CAVITIES: Building framing cavities shall not be used as ducts or plenums as Per Section R403.3.5 of the 2020 Energy Conservation Code of New York State.

ROOFING: All chimneys shall be properly flashed. Provide self-sealing rubberized water roof membrane (36" wide min) at eaves, openings, pipes, valleys, and ridges by M.R. Grace and Company or equal (Ice and water shield). All roofing shall be installed by qualified roofing contractors, in strict accordance with manufacturer's specifications.

ASPHALT SHINGLE ROOF: Shall be 30-yr rustic asphalt shingles laid on 15 lb. roofing felt.

ROOF VENTILATION: Ventilate all attic and rafter spaces with proper sized screened ridge and soffit vents or louvers (see plans).

GYPSON BOARD: 1/2" nailed with rosin nails according to manufacturer's specifications. All joints to be taped and receive three (3) coats of joint compound. Finish to be smooth and even, ready for painting. Provide 5/8" type "X" gypsum board at both sides of garage house walls and ceilings. Also, provide 100 SF min. over furnace.

GUTTERS AND LEADERS: Provide baked enamel gutters and leaders as required. All leaders and gutters are to be properly supported at all joint areas.

INSULATION: Shall be fiberglass batts with vapor barrier. Provide insulation as per 2020 International Energy Conservation Code of New York State Section R402. RES-CHECK software is allowed to be used to calculate insulation requirements.

Tile Work:
CERAMIC TILE: Baths and lavatory floors to receive matt glazed ceramic tile set in thin-set grout. Installation to be as per manufacturer's specifications. All joints to be taped and receive three (3) coats of joint compound. Finish to be smooth and even, ready for painting. Provide 5/8" type "X" gypsum board at both sides of garage house walls and ceilings. Also, provide 100 SF min. over furnace.

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Painting:
EXTERIOR: Siding, fascias, and trim shall receive one (1) prime coat and one (1) finish coat of exterior stain or paint.

INTERIOR: Walls to receive one (1) prime coat and one (1) finish coat of latex or oil flat paint. Flush hardwood doors to receive one (1) coat of stain and one (1) coat of satin polyurethane finish. Six (6) panel doors to receive one (1) coat primer and one (1) coat of satin enamel finish. Floors to be sanded and receive one (1) coat of sealer and one (1) coat of floor polyurethane, gloss finish.

TRIM AND MISCELLANEOUS WOOD: Shall have one (1) prime coat and one (1) finish coat of satin enamel.

Heating:
HEATING AND AIR CONDITIONING: Shall be oil-fired hydro-air system, complete with boiler, hydronic zone controls, thermostats, oil tank, etc. for 5 zones. Provide domestic hot water coil or separate circulating storage tank if required in boiler. Provide air handling units, condensers, insulated supply ducts and vents to each room. Heating and cooling system to be designed and guaranteed to conform to the latest ASHRAE specifications and the 2020 Energy Code of New York State. Heating system shall be designed and guaranteed to maintain 72 degrees F indoor temperature with T2 degrees F outdoor temperature.

DUCTS: All ducts shall be fabricated and rigidly installed with required bracing and supports. The main supply and return duct shall be isolated from the heater and blower by means of fabric insulators. Provide duct damper for each run. Insulate all ducts located in garage, attic, and unheated areas.

DUCT TESTING: Ducts shall be pressure tested to determine air leakage by one of the following methods: Rough-in test Or Post-construction test. A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. See Section R402.3.3 of the 2020 Energy Conservation Code of New York State.

EQUIPMENT SIZING AND EFFICIENCY RATING: Heating and cooling equipment shall be sized in accordance with ACCA Manual 5 based on building loads calculated in accordance with ACCA Manual 1 or other approved heating and cooling calculation methodologies. New or replacement heating and cooling equipment shall have an efficiency rating equal to or greater than the minimum required by federal law for the geographic location where the equipment is installed. See Section R403.1 of the 2020 Energy Conservation Code of New York State For More Detail.

GRILLS AND REGISTER: Provide supply and return registers in each room. All supply grills to have adjustable dampers.

BALANCING: Heating contractor shall balance entire house so that all rooms heat evenly to the required temperature set on the thermostat.

Plumbing:
WORK INCLUDED: Contractor shall furnish all labor, materials and equipment required to fully complete all plumbing work shown on plans.

FLASHING: All pipes passing through roof shall receive aluminum collar, strapped and fitted to provide water-proof seal.

TESTING: Contractor shall test all water, drainage, and vent piping in accordance with local codes.

WATER SUPPLY: Water supply in street or well shall be extended to house with 1" heavy copper pipe and entire house shall be supplied with both hot and cold water by means of heavy copper pipe of appropriate sizes, min. 3/4" sub main to each bath, kitchen, and laundry. The weather resistant hose fittings shall be supplied. Provide hook-up for washer where shown.

DRAINAGE SYSTEM: Shall be installed in accordance with local codes and standards and shall be complete with copper drains and copper vents, cleanouts, etc connected to street sewer or septic system. Drains under concrete to be cast iron.

FIXTURES: As shown on plans shall be AMERICAN STANDARD, KOHLER, or equal. All exposed fittings and pipe to be chrome plated.

SEPTIC AND WELL SYSTEMS: (if required) shall conform to all requirements of the Board of Health.

Electrical:
 Electrical system to be designed to comply with NEC 170 specification.

Electrical: Provide a minimum of 120/208-200 amp, or larger, if required, for service. Switches to be silent type. Locations of outlets, fixtures, etc., as shown on plans. All electrical work to conform to the National Board of Fire Underwriters Codes. Provide a complete door bell system.

Contractor to provide exhaust fans at both rooms (vent to exterior). Provide & install as per code.

Contractor to provide smoke & heat detectors with battery back-up (see plans for location). Detectors shall conform to all applicable codes and shall be installed as per code R314.3. Hard-wire and interconnected per section R314.4

Contractor to provide carbon monoxide detectors with battery back-up (see plans for location). Detectors shall conform to all applicable codes and shall be installed as per building code. Section R315.1

Lighting Equipment: Not Less Than 75 Percent Of The Lamps Provided In Permanently Installed Light Fixtures Are High Efficacy Lamps Or Not Less Than 75 Percent Of The Lamps In Permanently Installed Light Fixtures Shall Contain Only High Efficacy Lamps As Per R404.1 Of The 2020 Energy Conservation Code Of New York State.

MECHANICAL VENTILATION: The building shall be provided with ventilation that meets the requirements of the 2020 Residential Code or 2020 Mechanical Code of New York State, as applicable, or with other approved means of ventilation. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating. See Section R403.6 of the 2020 Energy Conservation Code of New York State For More Detail.

Site Work:
SITE WORK: Provide 2" blacktop driveway, 4" gravel base to street. Sidewalks to be 3' wide, 4" concrete or 1 1/2" flagstone laid in sand, from house to driveway. Provide top soil and seed to all areas disturbed by construction.

Insulation / Energy Code:
 Refer to "RES CHECK" energy study attached to plans or fixed to first page.

INSULATION: Shall be fiberglass batt with foil faced vapor barrier, "R" value stated on attached RES-CHECK.

Pack insulation in all cavities around all exterior windows, doors and other openings.

AIR LEAKAGE: Joints, penetrations, and all other such openings in the building envelope that are sources of air leakage must be sealed in accordance with the requirements of Sections R402.4.1 through R402.4.4. Of the 2020 Energy Conservation Code of New York State. Recessed lights must be 1) Type IC rated, or 2) installed inside an appropriate air-tight assembly with a 0.5" clearance from combustible materials. If non-IC rated, the fixture must be installed with a 3" clearance from insulation.

VAPOR RETARDER: Required on the warm-in-winter side of all non-vented framed ceilings, walls, and floors.

Material Identification:
 Materials and equipment must be installed in accordance with the manufacturer's installation instructions. Materials and equipment must be identified so that compliance can be determined. Manufacturer manuals for all installed heating and cooling equipment and service water heating equipment must be provided. Insulation R-values and glazing U-factors must be clearly marked on the building plans or specifications.

Duct Insulation:
 Supply and return ducts in attics shall be insulated to an R-value of not less than R-6 for ducts 3 inches (76 mm) in diameter and larger and not less than R-6 for ducts smaller than 3 inches (76 mm) in diameter.

Supply and return ducts in other portions of the building shall be insulated to not less than R-6 for ducts 3 inches (76 mm) in diameter and to not less than R-4.2 for ducts smaller than 3 inches (76.2 mm) in diameter. Exception being ducts located in conditioned spaces. See 2020 Residence Code of New York State.

Ducts buried within ceiling insulation both supply and return shall have an insulation R-value not less than R-8. At all points along each duct, the sum of the ceiling insulation R-values against and above the top of the duct, and against and below the bottom of the duct shall be not less than R-4, excluding the R-value of the duct insulation.

Duct Construction:
 All joints, seams, and connections must be securely fastened with welds, gaskets, mastics (adhesives), mastic-plus-embedded-fabric, or tapes. Duct tape is not permitted.

- Exception: Continuously welded and locking-type longitudinal joints and seams on ducts operating at less than 2 in. Hg. (500 Pa).
- Exception: Air-impervious spray foam products shall be permitted to be applied without additional joint seals.

Ducts shall be supported every 10 feet or in accordance with the manufacturer's instructions.

Cooling ducts with exterior insulation must be covered with a vapor retarder.

Air filters are required in the return air system.

The HVAC system must provide a means for balancing air and water systems.

Temperature Controls:
 Each dwelling unit has at least one thermostat capable of automatically adjusting the space temperature set point of the largest zone.

Electrical Systems:
 Separate electric meters are required for each dwelling unit.

Fireplaces:
 Fireplaces must be installed with tight fitting non-combustible fireplace doors. Fireplaces must be provided with a source of combustion air, as required by the Fireplace construction provisions of the Building Code, the Residential Code as applicable.

Service Water Heating:
 Water heaters with vertical pipe risers must have a heat trap on both the inlet and outlet unless the water heater has an integral heat trap or is part of a circulating system.

Swimming Pools:
 All heated swimming pools must have an on/off heater switch and require a cover unless over 20% of the heating energy is from non-depletable sources. Pool pumps require a time clock.

Heating & Cooling Piping Insulation:
 Mechanical system piping capable of carrying fluids above 105 degrees F or chilled fluids below 55 degrees F must be insulated to a Minimum of R-3. See Section R403.4 of the 2020 Energy Conservation Code of New York State for more detail.

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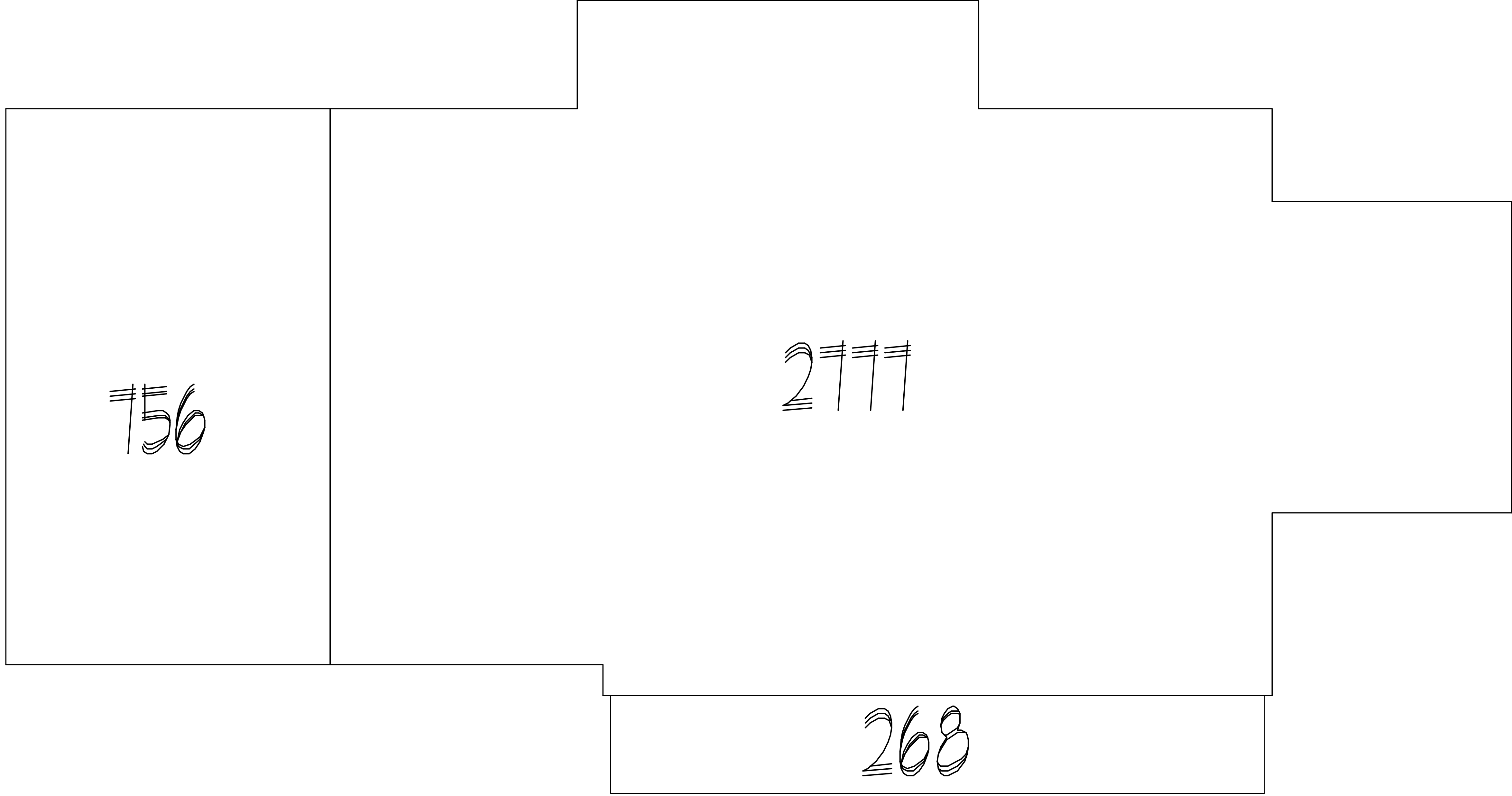
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Residence For
9 Seymour Pl East
Armonk NY

Revision	Date
	Feb. 8, 2021
Job No	221-003
Drawing	9 OF 9

Do Not Scale Prints



First Floor
 Scale: 1/4 " = 1'-0"

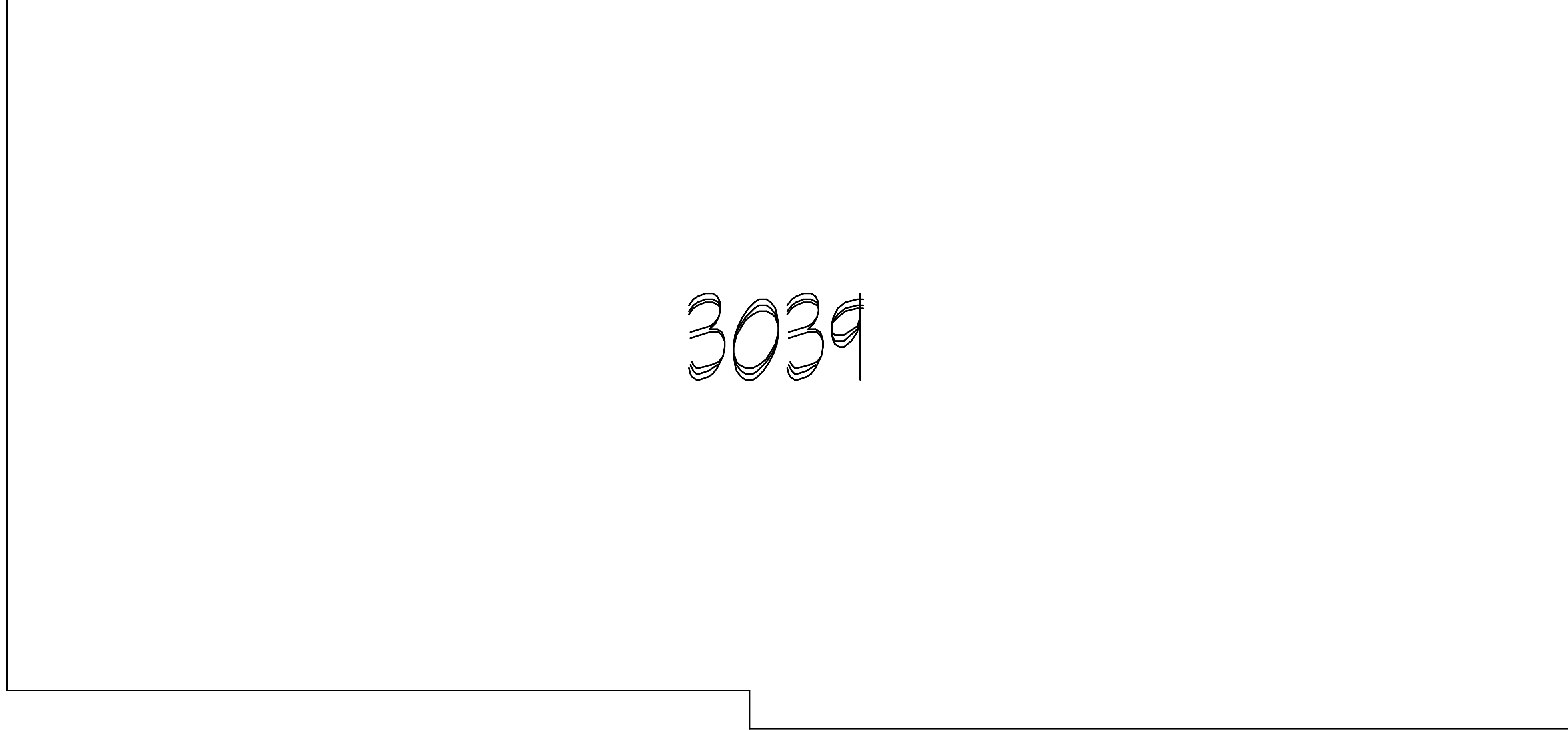
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FAR Drawing	1 OF 2

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Second Floor

Scale: 1/4 " = 1'-0"

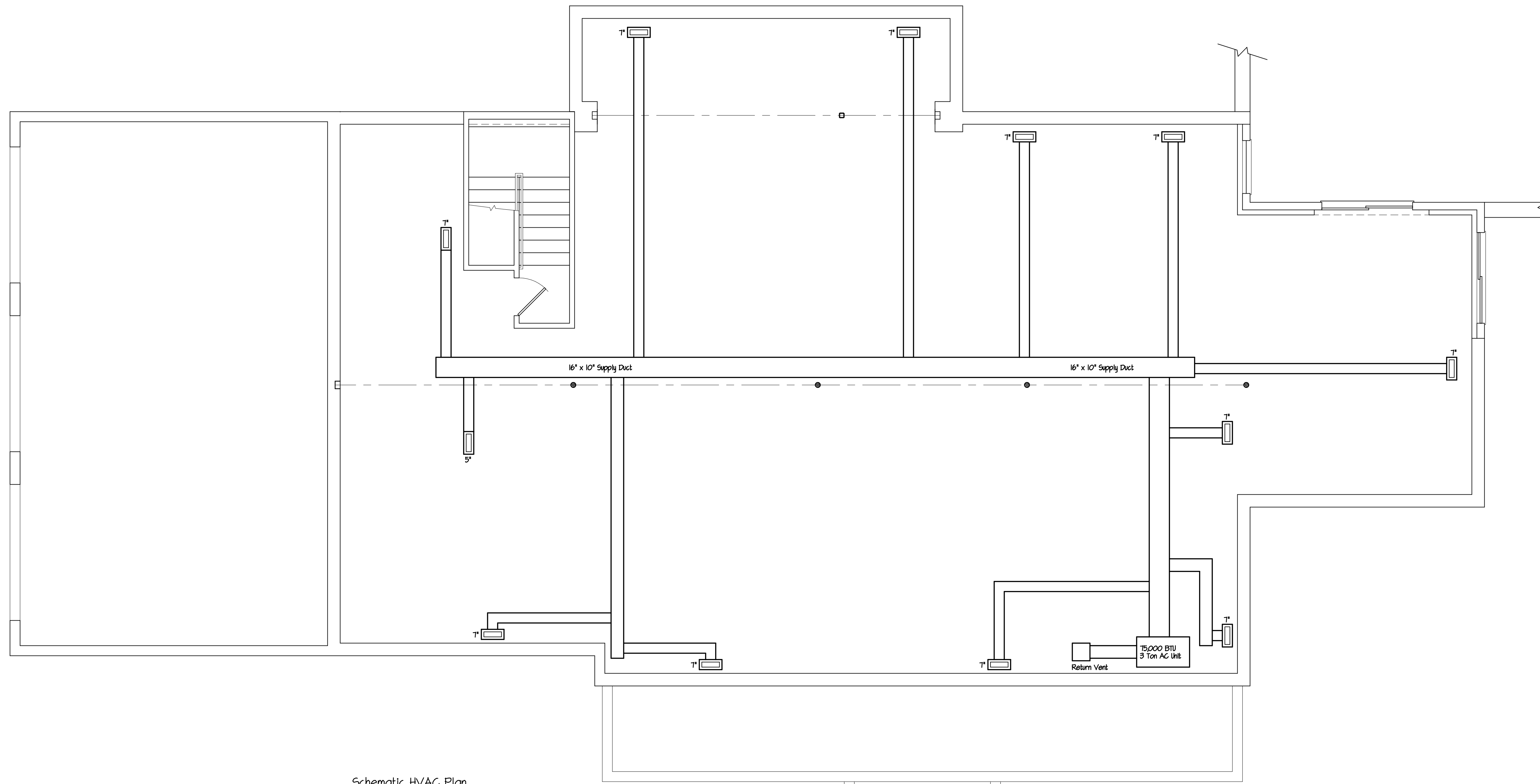
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FAR Drawing	
2 OF 2	

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Schematic HVAC Plan
Foundation Plan
 Scale: 1/4" = 1'-0"

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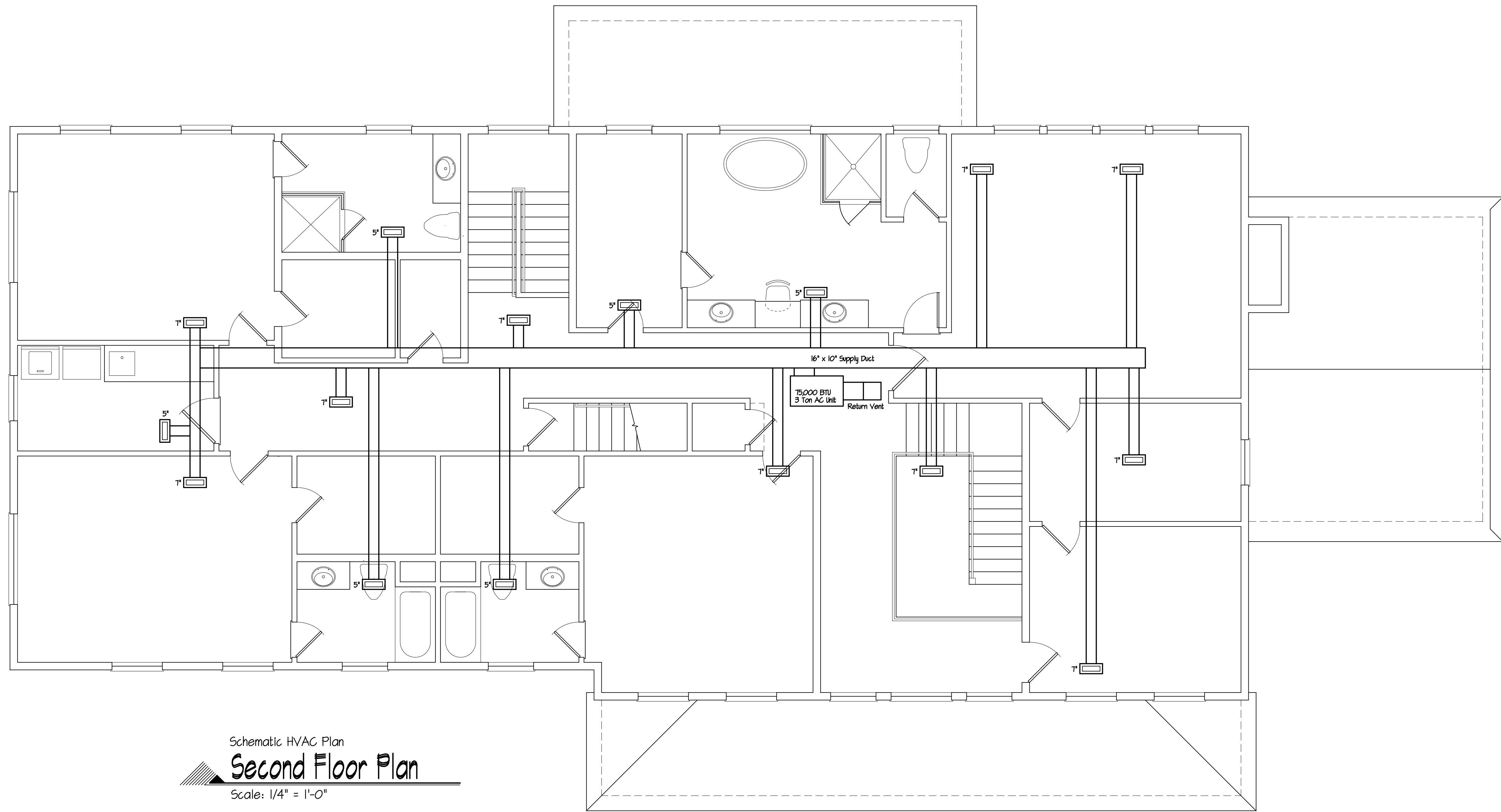
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HVAC Drawing
 1 OF 2

DeMasi Architects P.C.
 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
 PHONE: (914) 666-3856
 EMAIL: Lou@DemasiArchitects.com

Do Not Scale Prints



Schematic HVAC Plan
Second Floor Plan
 Scale: 1/4" = 1'-0"

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Residence For
9 Seymour PL East
Armonk NY

Revision	Date
	Feb. 8, 2021
Job No	221-003



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 9 Seymour Place East Date: 2/8/2021

Tax Map Designation or Proposed Lot No.: 108.02-1-51

Floor Area

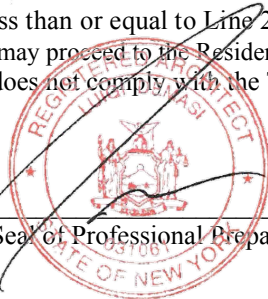
- | | | |
|-----|--|------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>90,212.76</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>10,245.7</u> |
| 3. | Amount of floor area contained within first floor:
— <u> </u> existing + <u>2,777</u> proposed = — | <u>2,777</u> |
| 4. | Amount of floor area contained within second floor:
— <u> </u> existing + <u>3,039</u> proposed = — | <u>3,039</u> |
| 5. | Amount of floor area contained within garage:
— <u> </u> existing + <u>756</u> proposed = — | <u>756</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
— <u> </u> existing + <u>268</u> proposed = — | <u>268</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
— <u> </u> existing + <u>0</u> proposed = — | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
— <u> </u> existing + <u>0</u> proposed = — | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
— <u> </u> existing + <u>0</u> proposed = — | <u>0</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = — | <u>6,840</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

2/8/2021

Date



NOI for coverage under Stormwater General Permit for Construction Activity



Alternate ID 9 Seymour Place **Submission** HP7-346D-GB5Y1 **Revision** 1 **Form Version** 1.29

Review

This step allows you to review the form to confirm the form is populated completely and accurately, prior to certification and submission.

Please note: Any work you perform filling out a form will not be accessible by NYSDEC staff or the public until you actually submit the form in the 'Certify & Submit' step.

OWNER/OPERATOR INFORMATION
Owner/Operator Name (Company/Private Owner/Municipality/Agency/Institution, etc.) American Building Technologies Inc
Owner/Operator Contact Person Last Name (NOT CONSULTANT) Feit
Owner/Operator Contact Person First Name Galina
Owner/Operator Mailing Address 333 E 55 Street
City New York
State New York
Zip 10022
Phone 917-416-3413
Email bscg@msn.com

Federal Tax ID

None Specified

PROJECT LOCATION

Project/Site Name

9 Seymour Place

Street Address (Not P.O. Box)

9 Seymour Place E

Side of Street

South

City/Town/Village (THAT ISSUES BUILDING PERMIT)

North Castle

State

NY

Zip

10504

County

WESTCHESTER

DEC Region

3

Name of Nearest Cross Street

Sterling Road North

Distance to Nearest Cross Street (Feet)

665

Project In Relation to Cross Street

East

Tax Map Numbers Section-Block-Parcel

108.02-1-51

Tax Map Numbers

None Specified

1. Coordinates

Provide the Geographic Coordinates for the project site. The two methods are:
- Navigate to the project location on the map (below) and click to place a marker and obtain the XY coordinates.
- The "Find Me" button will provide the lat/long for the person filling out this form. Then pan the map to the correct location and click the map to place a marker and obtain the XY coordinates.

Navigate to your location and click on the map to get the X,Y coordinates

Latitude	Longitude
41.1314822	-73.6875814

PROJECT DETAILS

2. What is the nature of this project?

Redevelopment with increase in impervious area

3. Select the predominant land use for both pre and post development conditions.

Pre-Development Existing Landuse

Single Family Home

Post-Development Future Land Use

Single Family Home

3a. If Single Family Subdivision was selected in question 3, enter the number of subdivision lots.

None Specified

4. In accordance with the larger common plan of development or sale, enter the total project site acreage, the acreage to be disturbed and the future impervious area (acreage)within the disturbed area.

*** ROUND TO THE NEAREST TENTH OF AN ACRE. ***

Total Site Area (acres)

2.1

Total Area to be Disturbed (acres)

1.4

Existing Impervious Area to be Disturbed (acres)

0.1

Future Impervious Area Within Disturbed Area (acres)

0.1

5. Do you plan to disturb more than 5 acres of soil at any one time?

No

6. Indicate the percentage (%) of each Hydrologic Soil Group(HSG) at the site.

A (%)

0

B (%)

0

C (%)

100

D (%)

100

7. Is this a phased project?

No

8. Enter the planned start and end dates of the disturbance activities.

Start Date

4/5/2021

End Date

7/31/2022

9. Identify the nearest surface waterbody(ies) to which construction site runoff will discharge.

Pond

9a. Type of waterbody identified in question 9?

Other Type Off Site (enter description below)

Other Waterbody Type Off Site Description

Pond

9b. If "wetland" was selected in 9A, how was the wetland identified?

None Specified

10. Has the surface waterbody(ies in question 9 been identified as a 303(d) segment in Appendix E of GP-0-20-001?

No

11. Is this project located in one of the Watersheds identified in Appendix C of GP-0-20-001?

No

12. Is the project located in one of the watershed areas associated with AA and AA-S classified waters?

No

If No, skip question 13.

13. Does this construction activity disturb land with no existing impervious cover and where the Soil Slope Phase is identified as an E or F on the USDA Soil Survey?

No

If Yes, what is the acreage to be disturbed?

None Specified

14. Will the project disturb soils within a State regulated wetland or the protected 100 foot adjacent area?

No

15. Does the site runoff enter a separate storm sewer system (including roadside drains, swales, ditches, culverts, etc)?

Yes

16. What is the name of the municipality/entity that owns the separate storm sewer system?

Town of North Castle

17. Does any runoff from the site enter a sewer classified as a Combined Sewer?

No

18. Will future use of this site be an agricultural property as defined by the NYS Agriculture and Markets Law?

No

19. Is this property owned by a state authority, state agency, federal government or local government?

No

20. Is this a remediation project being done under a Department approved work plan? (i.e. CERCLA, RCRA, Voluntary Cleanup Agreement, etc.)

No

REQUIRED SWPPP COMPONENTS

21. Has the required Erosion and Sediment Control component of the SWPPP been developed in conformance with the current NYS Standards and Specifications for Erosion and Sediment Control (aka Blue Book)?

Yes

22. Does this construction activity require the development of a SWPPP that includes the post-construction stormwater management practice component (i.e. Runoff Reduction, Water Quality and Quantity Control practices/techniques)?

No

If you answered No in question 22, skip question 23 and the Post-construction Criteria and Post-construction SMP Identification sections.

23. Has the post-construction stormwater management practice component of the SWPPP been developed in conformance with the current NYS Stormwater Management Design Manual?

None Specified

24. The Stormwater Pollution Prevention Plan (SWPPP) was prepared by:

Professional Engineer (P.E.)

SWPPP Preparer

Alfonzetti Engineering, P.C.

Contact Name (Last, Space, First)

Alfonzetti Ralph

Mailing Address

1100 Route 52

City

Carmel

State

NY

Zip

10512

Phone

845-228-9800

Email

ralpha@alfonzettieng.com

Download SWPPP Preparer Certification Form

Please take the following steps to prepare and upload your preparer certification form:

- 1) Click on the link below to download a blank certification form
- 2) The certified SWPPP preparer should sign this form
- 3) Scan the signed form
- 4) Upload the scanned document

[Download SWPPP Preparer Certification Form](#)

Please upload the SWPPP Preparer Certification

FEIT-SWPPP CERTIFICATION FORM 2021-03-09.pdf

Comment

None Specified

EROSION & SEDIMENT CONTROL CRITERIA

25. Has a construction sequence schedule for the planned management practices been prepared?

No

26. Select all of the erosion and sediment control practices that will be employed on the project site:

Temporary Structural

- Silt Fence
- Stabilized Construction Entrance
- Storm Drain Inlet Protection

Biotechnical

None

Vegetative Measures

- Seeding
- Sodding
- Straw/Hay Bale Dike
- Mulching

Permanent Structural

Rock Outlet Protection

Other

None Specified

POST-CONSTRUCTION CRITERIA

*** IMPORTANT: Completion of Questions 27-39 is not required if response to Question 22 is No.**

27. Identify all site planning practices that were used to prepare the final site plan/layout for the project.

None Specified

27a. Indicate which of the following soil restoration criteria was used to address the requirements in Section 5.1.6("Soil Restoration") of the Design Manual (2010 version).

None Specified

28. Provide the total Water Quality Volume (WQv) required for this project (based on final site plan/layout). (Acre-feet)

None Specified

29. Post-construction SMP Identification

Use the Post-construction SMP Identification section to identify the RR techniques (Area Reduction), RR techniques(Volume Reduction) and Standard SMPs with RRv Capacity that were used to reduce the Total WQv Required (#28).

Identify the SMPs to be used by providing the total impervious area that contributes runoff to each technique/practice selected. For the Area Reduction Techniques, provide the total contributing area (includes pervious area) and, if applicable, the total impervious area that contributes runoff to the technique/practice.

Note: Redevelopment projects shall use the Post-Construction SMP Identification section to identify the SMPs used to treat and/or reduce the WQv required. If runoff reduction techniques will not be used to reduce the required WQv, skip to question 33a after identifying the SMPs.

30. Indicate the Total RRv provided by the RR techniques (Area/Volume Reduction) and Standard SMPs with RRv capacity identified in question 29. (acre-feet)

None Specified

31. Is the Total RRv provided (#30) greater than or equal to the total WQv required (#28)?

None Specified

If Yes, go to question 36. If No, go to question 32.

32. Provide the Minimum RRv required based on HSG. [Minimum RRv Required = (P) (0.95) (Ai) / 12, Ai=(s) (Aic)] (acre-feet)

None Specified

32a. Is the Total RRv provided (#30) greater than or equal to the Minimum RRv Required (#32)?

None Specified

If Yes, go to question 33.

Note: Use the space provided in question #39 to summarize the specific site limitations and justification for not reducing 100% of WQv required (#28). A detailed evaluation of the specific site limitations and justification for not reducing 100% of the WQv required (#28) must also be included in the SWPPP.

If No, sizing criteria has not been met; therefore, NOI can not be processed. SWPPP preparer must modify design to meet sizing criteria.

33. SMPs

Use the Post-construction SMP Identification section to identify the Standard SMPs and, if applicable, the Alternative SMPs to be used to treat the remaining total WQv (=Total WQv Required in #28 - Total RRv Provided in #30).

Also, provide the total impervious area that contributes runoff to each practice selected.

NOTE: Use the Post-construction SMP Identification section to identify the SMPs used on Redevelopment projects.

33a. Indicate the Total WQv provided (i.e. WQv treated) by the SMPs identified in question #33 and Standard SMPs with RRV Capacity identified in question #29. (acre-feet)

None Specified

Note: For the standard SMPs with RRV capacity, the WQv provided by each practice = the WQv calculated using the contributing drainage area to the practice - provided by the practice. (See Table 3.5 in Design Manual)

34. Provide the sum of the Total RRV provided (#30) and the WQv provided (#33a).

None Specified

35. Is the sum of the RRV provided (#30) and the WQv provided (#33a) greater than or equal to the total WQv required (#28)?

None Specified

If Yes, go to question 36.

If No, sizing criteria has not been met; therefore, NOI can not be processed. SWPPP preparer must modify design to meet sizing criteria.

36. Provide the total Channel Protection Storage Volume (CPv required and provided or select waiver (#36a), if applicable.

CPv Required (acre-feet)

None Specified

CPv Provided (acre-feet)

None Specified

36a. The need to provide channel protection has been waived because:

None Specified

37. Provide the Overbank Flood (Qp) and Extreme Flood (Qf) control criteria or select waiver (#37a), if applicable.

Overbank Flood Control Criteria (Qp)

Pre-Development (CFS)

None Specified

Post-Development (CFS)

None Specified

Total Extreme Flood Control Criteria (Qf)

Pre-Development (CFS)

None Specified

Post-Development (CFS)

None Specified

37a. The need to meet the Qp and Qf criteria has been waived because:

None Specified

38. Has a long term Operation and Maintenance Plan for the post-construction stormwater management practice(s) been developed?

None Specified

If Yes, Identify the entity responsible for the long term Operation and Maintenance

None Specified

39. Use this space to summarize the specific site limitations and justification for not reducing 100% of WQv required (#28). (See question #32a) This space can also be used for other pertinent project information.

None Specified

POST-CONSTRUCTION SMP IDENTIFICATION

Runoff Reduction (RR) Techniques, Standard Stormwater Management Practices (SMPs) and Alternative SMPs

Identify the Post-construction SMPs to be used by providing the total impervious area that contributes runoff to each technique/practice selected. For the Area Reduction Techniques, provide the total contributing area (includes pervious area) and, if applicable, the total impervious area that contributes runoff to the technique/practice.

RR Techniques (Area Reduction)

Round to the nearest tenth

Total Contributing Acres for Conservation of Natural Area (RR-1)

None Specified

Total Contributing Impervious Acres for Conservation of Natural Area (RR-1)

None Specified

Total Contributing Acres for Sheetflow to Riparian Buffers/Filter Strips (RR-2)

None Specified

Total Contributing Impervious Acres for Sheetflow to Riparian Buffers/Filter Strips (RR-2)

None Specified

Total Contributing Acres for Tree Planting/Tree Pit (RR-3)

None Specified

Total Contributing Impervious Acres for Tree Planting/Tree Pit (RR-3)

None Specified

Total Contributing Acres for Disconnection of Rooftop Runoff (RR-4)

None Specified

RR Techniques (Volume Reduction)

Total Contributing Impervious Acres for Disconnection of Rooftop Runoff (RR-4)

None Specified

Total Contributing Impervious Acres for Vegetated Swale (RR-5)

None Specified

Total Contributing Impervious Acres for Rain Garden (RR-6)

None Specified

Total Contributing Impervious Acres for Stormwater Planter (RR-7)

None Specified

Total Contributing Impervious Acres for Rain Barrel/Cistern (RR-8)

None Specified

Total Contributing Impervious Acres for Porous Pavement (RR-9)

None Specified

Total Contributing Impervious Acres for Green Roof (RR-10)

None Specified

Standard SMPs with RRv Capacity

Total Contributing Impervious Acres for Infiltration Trench (I-1)

None Specified

Total Contributing Impervious Acres for Infiltration Basin (I-2)

None Specified

Total Contributing Impervious Acres for Dry Well (I-3)

None Specified

Total Contributing Impervious Acres for Underground Infiltration System (I-4)

None Specified

Total Contributing Impervious Acres for Bioretention (F-5)

None Specified

Total Contributing Impervious Acres for Dry Swale (O-1)

None Specified

Standard SMPs

Total Contributing Impervious Acres for Micropool Extended Detention (P-1)

None Specified

Total Contributing Impervious Acres for Wet Pond (P-2)

None Specified

Total Contributing Impervious Acres for Wet Extended Detention (P-3)

None Specified

Total Contributing Impervious Acres for Multiple Pond System (P-4)

None Specified

Total Contributing Impervious Acres for Pocket Pond (P-5)

None Specified

Total Contributing Impervious Acres for Surface Sand Filter (F-1)

None Specified

Total Contributing Impervious Acres for Underground Sand Filter (F-2)

None Specified

Total Contributing Impervious Acres for Perimeter Sand Filter (F-3)

None Specified

Total Contributing Impervious Acres for Organic Filter (F-4)

None Specified

Total Contributing Impervious Acres for Shallow Wetland (W-1)

None Specified

Total Contributing Impervious Acres for Extended Detention Wetland (W-2)

None Specified

Total Contributing Impervious Acres for Pond/Wetland System (W-3)

None Specified

Total Contributing Impervious Acres for Pocket Wetland (W-4)

None Specified

Total Contributing Impervious Acres for Wet Swale (O-2)

None Specified

Alternative SMPs (DO NOT INCLUDE PRACTICES BEING USED FOR PRETREATMENT ONLY)

Total Contributing Impervious Area for Hydrodynamic

None Specified

Total Contributing Impervious Area for Wet Vault

None Specified

Total Contributing Impervious Area for Media Filter

None Specified

"Other" Alternative SMP?

None Specified

Total Contributing Impervious Area for "Other"

None Specified

Provide the name and manufacturer of the alternative SMPs (i.e. proprietary practice(s)) being used for WQv treatment.

Note: Redevelopment projects which do not use RR techniques, shall use questions 28, 29, 33 and 33a to provide SMPs used, total WQv required and total WQv provided for the project.

Manufacturer of Alternative SMP

None Specified

Name of Alternative SMP

None Specified

OTHER PERMITS

40. Identify other DEC permits, existing and new, that are required for this project/facility.

None

If SPDES Multi-Sector GP, then give permit ID

None Specified

If Other, then identify

None Specified

41. Does this project require a US Army Corps of Engineers Wetland Permit?

No

If "Yes," then indicate Size of Impact, in acres, to the nearest tenth

None Specified

42. If this NOI is being submitted for the purpose of continuing or transferring coverage under a general permit for stormwater runoff from construction activities, please indicate the former SPDES number assigned.

NO

MS4 SWPPP ACCEPTANCE

43. Is this project subject to the requirements of a regulated, traditional land use control MS4?

Yes - Please attach the MS4 Acceptance form below

If No, skip question 44

44. Has the "MS4 SWPPP Acceptance" form been signed by the principal executive officer or ranking elected official and submitted along with this NOI?

No

MS4 SWPPP Acceptance Form Download

Download form from the link below. Complete, sign, and upload.

MS4 SWPPP Acceptance Form

MS4 Acceptance Form Upload

FEIT-MS4 ACCEPT FORM 2021-03-09.pdf

Comment

None Specified

OWNER/OPERATOR CERTIFICATION

The owner/operator must download, sign, and upload the certification form in order to complete this application.

Owner/Operator Certification Form Download

Download the certification form by clicking the link below. Complete, sign, scan, and upload the form.

Owner/Operator Certification Form (PDF, 45KB)

Upload Owner/Operator Certification Form

FEIT-OWNER OPERATOR CERTIFICATION FORM 2021-03-09.pdf

Comment

None Specified



SWPPP Preparer Certification Form

SPDES General Permit for Stormwater Discharges From Construction Activity (GP-0-20-001)

Project Site Information

Project/Site Name

9 SEYMOUR PL E

Owner/Operator Information

Owner/Operator (Company Name/Private Owner/Municipality Name)

AMERICAN BUILDING TECHNOLOGIES

Certification Statement – SWPPP Preparer

I hereby certify that the Stormwater Pollution Prevention Plan (SWPPP) for this project has been prepared in accordance with the terms and conditions of the GP-0-20-001. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of this permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings.

RALPH

First name

MI

ALFONZETTI

Last Name

Ralph Alfonzetti

Signature

Digitally signed by Ralph Alfonzetti
DN: cn=Ralph Alfonzetti, gn=Ralph Alfonzetti, o=US United States I-US
United States, e=info@AlfonzettiEng.com
Reason: I am the author of this document
Location:
Date: 2021-03-09 13:28-05:00

3/9/2021

Date



Department of
Environmental
Conservation

NYS Department of Environmental Conservation
Division of Water
625 Broadway, 4th Floor
Albany, New York 12233-3505

MS4 Stormwater Pollution Prevention Plan (SWPPP) Acceptance Form

for

Construction Activities Seeking Authorization Under SPDES General Permit

*(NOTE: Attach Completed Form to Notice Of Intent and Submit to Address Above)

I. Project Owner/Operator Information

1. Owner/Operator Name: AMERICAN BUILDING TECHNOLOGIES INC
2. Contact Person: GALINA FEIT
3. Street Address: 333 E 55 STREET
4. City/State/Zip: NEW YORK, NY 10022

II. Project Site Information

5. Project/Site Name: 9 SEYMOUR PL E
6. Street Address: 9 SEYMOUR PL E
7. City/State/Zip: ARMONK, NY 10504

III. Stormwater Pollution Prevention Plan (SWPPP) Review and Acceptance Information

8. SWPPP Reviewed by:
9. Title/Position:
10. Date Final SWPPP Reviewed and Accepted:

IV. Regulated MS4 Information

11. Name of MS4:
12. MS4 SPDES Permit Identification Number: NYR20A
13. Contact Person:
14. Street Address:
15. City/State/Zip:
16. Telephone Number:

MS4 SWPPP Acceptance Form - continued

V. Certification Statement - MS4 Official (principal executive officer or ranking elected official) or Duly Authorized Representative

I hereby certify that the final Stormwater Pollution Prevention Plan (SWPPP) for the construction project identified in question 5 has been reviewed and meets the substantive requirements in the SPDES General Permit For Stormwater Discharges from Municipal Separate Storm Sewer Systems (MS4s). Note: The MS4, through the acceptance of the SWPPP, assumes no responsibility for the accuracy and adequacy of the design included in the SWPPP. In addition, review and acceptance of the SWPPP by the MS4 does not relieve the owner/operator or their SWPPP preparer of responsibility or liability for errors or omissions in the plan.

Printed Name:

Title/Position:

Signature:

Date:

VI. Additional Information