



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle. (VIA OWNER)
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)



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RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 36 HICKORY PASS RD, BEDFORD, NY

Section III- DESCRIPTION OF WORK:

EXIST'G DECK ASSEMBLY & FOOTINGS TO BE REMOVED
AND REPLACED W/ NEW AND EXPANDED DECK ASSEMBLY
ALONG WITH NEW HOT TUB

Section III- CONTACT INFORMATION:

APPLICANT: CHRISTINA GUSKY
ADDRESS: 36 HICKORY PASS ROAD, BEDFORD, NY 10506
PHONE: 914.234.3941 MOBILE: 646.331.3941 EMAIL: CHRISTINA.GUSKY@GMAIL.COM

PROPERTY OWNER: SAME AS ABOVE

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: GEORGE J. GASPAR, AIA

ADDRESS: 24 EASTVIEW AVE, BREWSTER, NY 10509

PHONE: _____ MOBILE: 845.216.8348

EMAIL: GJGAI48@GMAIL.COM

Section IV- PROPERTY INFORMATION:

Zone: 2A Tax ID (lot designation) 95.02-1-23



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: GUSKY RESIDENCE

Initial Submittal Revised Preliminary

Street Location: 30 HICKORY PASS ROAD, BEDFORD, NY 10506

Zoning District: 2A Property Acreage: 2.18 Tax Map Parcel ID: 9502-1-23

Date: 3.18.21

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

<input type="checkbox"/>	9. Description of method of water supply and sewage disposal and location of such facilities
<input type="checkbox"/>	10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<input type="checkbox"/>	1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<input type="checkbox"/>	2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<input type="checkbox"/>	3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.
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PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

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 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

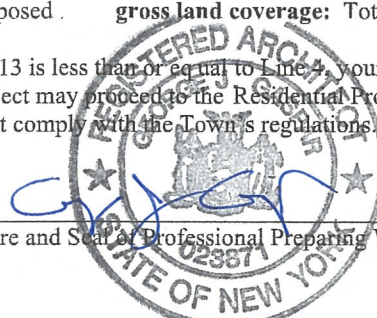
Application Name or Identifying Title: GUSKY RESIDENCE Date: 3.18.21
 Tax Map Designation or Proposed Lot No.: 95.02-1-23

Gross Lot Coverage

- | | | |
|-----|---|---------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>95,135</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>13,270</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | <u>600</u> |
| | Distance principal home is beyond minimum front yard setback
<u>5.2</u> x 10 = <u>52</u> | <u>52</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>13,870</u> |
| 5. | Amount of lot area covered by principal building:
<u>1650</u> existing + <u>-</u> proposed = | <u>1,650</u> |
| 6. | Amount of lot area covered by accessory buildings:
<u>-</u> existing + <u>-</u> proposed = | <u>-</u> |
| 7. | Amount of lot area covered by decks:
<u>-</u> existing + <u>744</u> proposed = | <u>744</u> |
| 8. | Amount of lot area covered by porches:
<u>49</u> existing + <u>-</u> proposed = | <u>49</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways:
<u>1392</u> existing + <u>-</u> proposed = | <u>1,392</u> |
| 10. | Amount of lot area covered by terraces:
<u>-</u> existing + <u>-</u> proposed = | <u>-</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:
<u>-</u> existing + <u>-</u> proposed = | <u>-</u> |
| 12. | Amount of lot area covered by all other structures:
<u>-</u> existing + <u>-</u> proposed = | <u>-</u> |
| 13. | Proposed gross land coverage: Total of Lines 5 - 12 = | <u>3,835</u> |

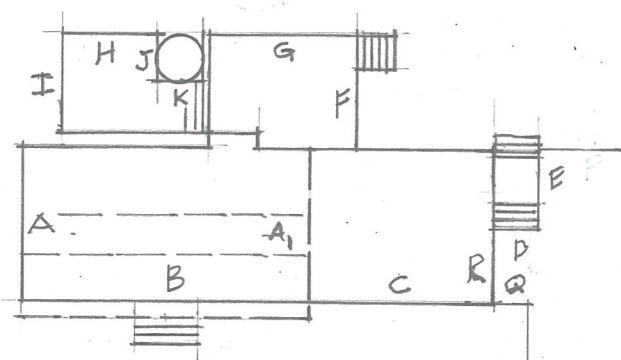
If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



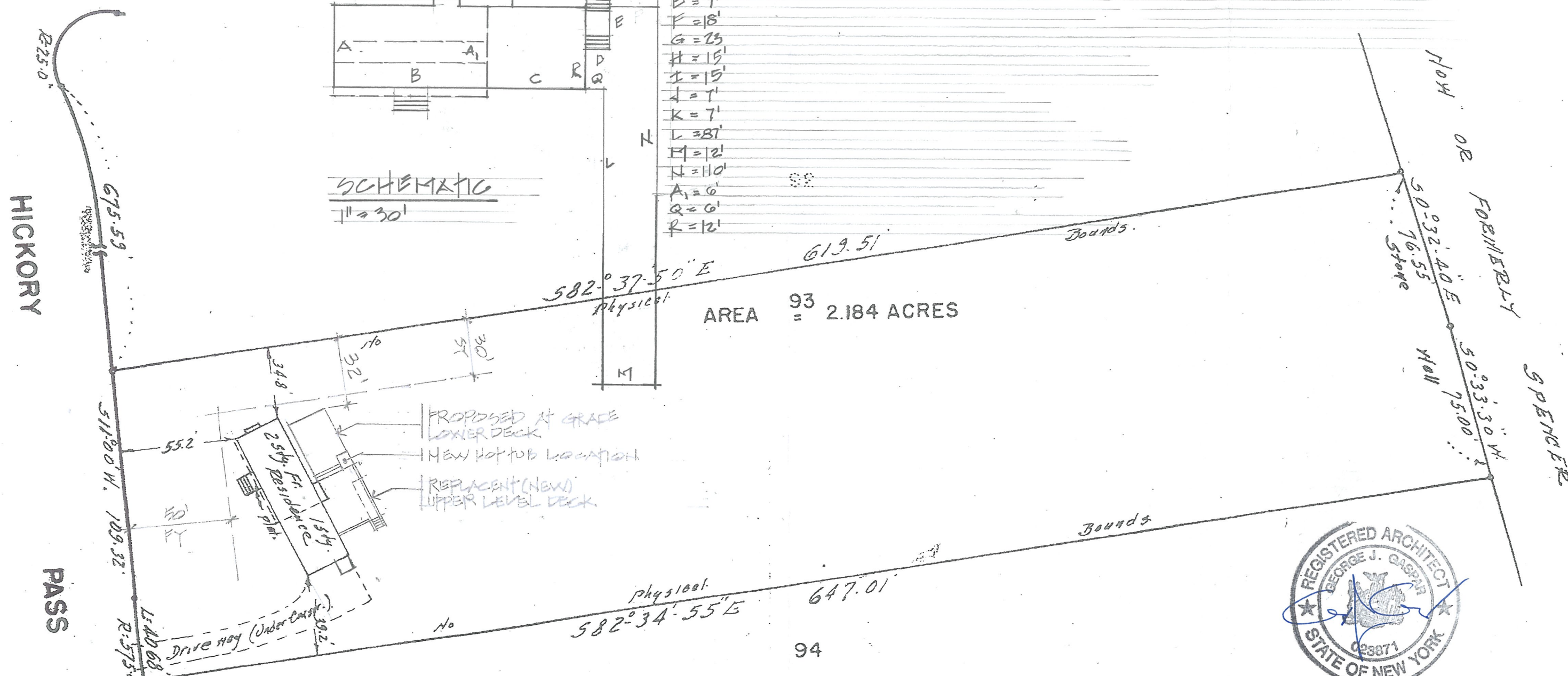
3.18.21
 Date

HOUSE	DECKS	DRIVEWAY
A = 24'	24 x 45 = 1,080	110' x 12' = 1,320
B = 45'	29 x 24 = 696	6 x 12 = 72
C = 29'	7 x 7 = 49	TOTAL = 1,392
D = 7'	TOTAL 1,825	
E = 7'		
F = 18'		
G = 23'		
H = 15'		
I = 15'		
J = 7'		
K = 7'		
L = 37'		
M = 12'		
N = 110'		
A ₁ = 6'		
Q = 6'		
R = 12'		



SCHEMATIC
1" = 30'

AREA = 2.184 ACRES



PROPOSED
PLOT PLAN
SCALE: 1" = 30'

FOR:
GURSKI RESIDENCE
36 HICKORY PASS
NORTH CASTLE, NY (ARMOH)

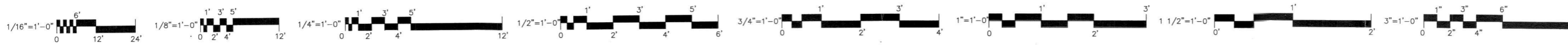
NOTE:
INFORMATION SHOWN HERE TAKEN
FROM SURVEY PREPARED BY:
RALPH MACDONALD, L.S.
COMPLETED: NOV. 15, 1968



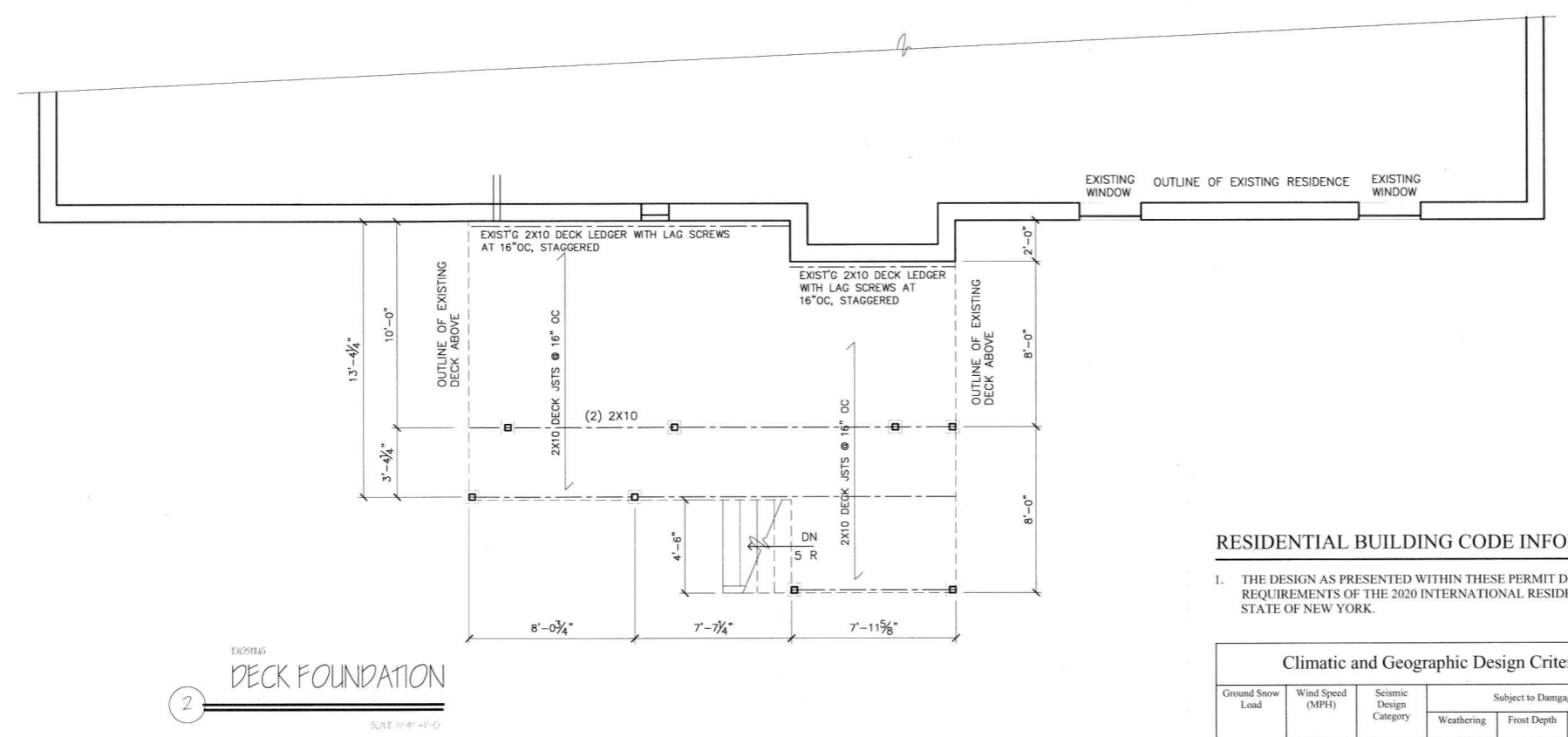
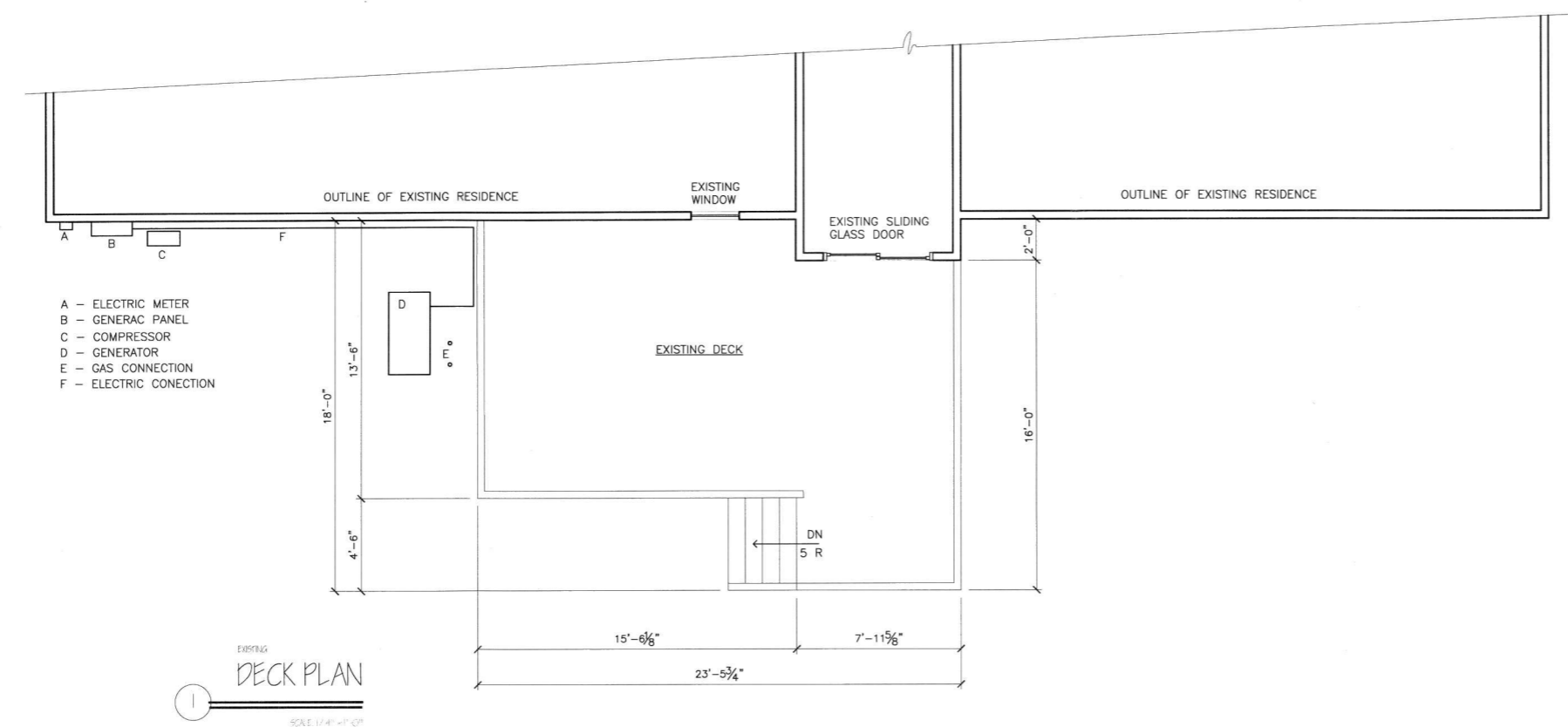
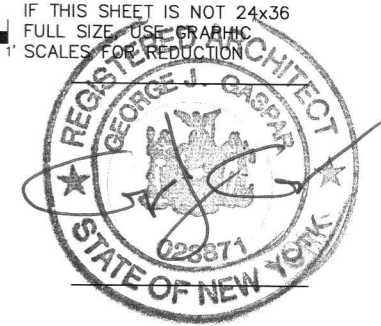
George J. Gaspar AIA
Architect

24 Eastview Avenue
Brewster, New York 10509

845-216-8348
gjgaia48@gmail.com



IF THIS SHEET IS NOT 24x36
FULL SIZE, USE GRAPHIC
SCALES FOR REDUCTION



- I. CONSTRUCTION NOTES**
- The contractor shall obtain Certificate of Occupancy and perform all necessary work for same.
 - Scope of Work: The contractor shall provide all labor, materials and equipment required to complete all work, etc., as shown on the drawings necessary for complete job, unless otherwise specified. All materials used will be in accordance to plans and workmanship shall be of good quality.
 - Codes: All work and materials must conform to the local building codes, 2020 Residential Building Code of New York State and National electrical Code.
 - Materials: Shall be installed according to the manufacturer's specifications.
- II. EXCAVATION / SITE WORK**
- Foundation: Excavate all earth, boulders, loose and soft rock to the lines and depths indicated on the drawing. All footings to bear on solid, undisturbed earth.
 - Finish Grading: Finish grading shall be established to provide surface drainage in all directions away from the house and excavated areas.
 - Site Work:
 - All disturbed areas shall be finish graded with top soil using existing materials on lot and then seeded with good quality perennial seed mix.
- III. CONCRETE AND MASONRY**
- Concrete: Shall be 3500 PSI in strength. Concrete exposed to weather shall be 3500 PSI, air entrained.
 - Poured Concrete Foundation: To plan specifications.
- IV. CARPENTRY**
- Lumber: Framing lumber shall be Douglas Fir grade No. 2 or better.
 - Framing: Framing shall be erected plumb, level and true, securely nailed. Sizes of sheathing and rafters are shown on the plans.
 - Siding: Shall match exist'g

GEORGE J. GASPAR AIA ARCHITECT
24 EASTVIEW AVENUE, BEDFORD, NEW YORK 10500 • 914-795-9661 • C-946-296-880

PROJECT NO. GJG 20-224
DATE: 2020-07-29
DRAWN BY: GASPAR
CHECKED BY: GASPAR
SCALE: AS NOTED
FILE: GJG 224-A101
AREA:

REVISIONS:

2020-08-05 GEN. REVISION
2020-07-29 SUBMISSION FOR BLDG. DEPT. REVIEW

SHEET TITLE:
EXISTING CONDITIONS
DECK FOUNDATION PLAN
DECK PLAN
CONSTRUCTION NOTES

RESIDENTIAL BUILDING CODE INFORMATION

1. THE DESIGN AS PRESENTED WITHIN THESE PERMIT DRAWINGS IS IN COMPLIANCE WITH ALL REQUIREMENTS OF THE 2020 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY THE STATE OF NEW YORK.

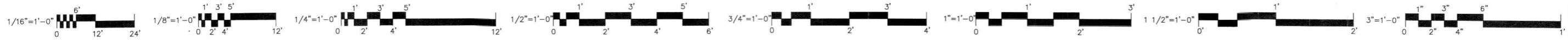
Climatic and Geographic Design Criteria per Table R301.2(1)

Ground Snow Load	Wind Speed (MPH)	Seismic Design Category	Subject to Damage From			Ice Barrier Underlayment Required	Flood Hazards
			Weathering	Frost Depth	Termite		
20 PSF	100-110	C	Severe	42"	Moderate/Heavy	Yes	No

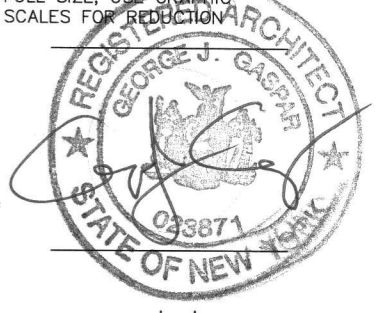
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PROJECT TITLE:
PROPOSED RECONSTRUCTION OF EXIST'G DECK & EXPANSION OF DECK WITH HOT TUB
GUSKI RESIDENCE
36 HICKORY PASS
BEDFORD, NEW YORK 10506
TOWN OF NORTH CASTLE, NY

SHEET NUMBER:
A101
of THREE



IF THIS SHEET IS NOT 24x36
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GEORGE J. GASPARI AIA ARCHITECT
 24 EASTVIEW AVENUE, BEDFORD, NEW YORK 10506 • 914-795-9861 • C-945-226-804

GENERAL NOTES

All work shall comply with the rules and regulations of the New York State building code. The Contractor will be responsible for reviewing all existing conditions, inclusive of foundations, sub-grade utilities, piping, framing, grade elevations, and lot line parameters. Any discrepancies between the Architect's documentation and site conditions should be brought to the attention of the Architect prior to construction. The Contractor will accept responsibility and resultant costs from his failure to obtain full knowledge of said existing conditions.

The Contractor shall guarantee all work for one (1) year after issuance of Certificate of Occupancy. This guarantee shall include all assemblies, materials, or workmanship, which prove to be defective, exclusive of ordinary wear and tear. The Contractor assumes that he will provide all the work necessary to meet the intent of the drawings required for the completion of the project.

The Contractor shall notify the Architect of any discrepancies or questions regarding the drawings and related specifications prior to start of work.

All dimensions shown are taken as "rough to rough" unless otherwise noted.

Where the term "approved equal" is used, it was understood that the Owner and/or Architect will be responsible for approval of submitted substitutions.

The Contractor shall coordinate all work of the various trades whether in his contract or not and shall schedule said trades in a manner suitable for an expeditious project completion.

The Contractor shall anticipate the removal of debris throughout the construction process and maintain the site in a safe, clean and accessible condition. In addition, all "unsafe" areas are to be protected.

The Contractor will be responsible for all surveys, inspections, sign-offs, and securing of the final Certificate of Occupancy as per the requirements of the local building jurisdiction.

It shall be understood that the Contractor will not "scale" the documents for dimensional information and will notify the Architect as questions arise and request clarifications.

The Contractor shall be solely responsible for notification to the local building jurisdiction in conjunction with any required inspections performed by the Town and shall be solely responsible for knowledge of which inspections the Town/City performs.

All material indicated for this project is to be furnished and installed by the Contractor, unless specifically noted otherwise.

All materials and workmanship, of whatever kind, shall be subject to the approval of the Architect at any time during the progress of the work and until the completion and acceptance of it. Acceptance by the Owner shall not relieve the contractor from his responsibility under the building jurisdiction as a requirement for obtaining a Building Permit.

The Contractor is solely responsible for product safety, including the selection of methods, sequences and staffing in conjunction with project safety. Abide by all OSHA requirements.

Contractor is solely responsible for determining need for and methods for accomplishing temporary shoring, supports, etc. for all items of work.

Coordinate storage of material, equipment and dumpsters with the Owner and municipality.

Use all products in strict accordance with manufacturers' printed instructions, unless noted otherwise.

Contractor shall be solely and totally responsible for sequence of construction.

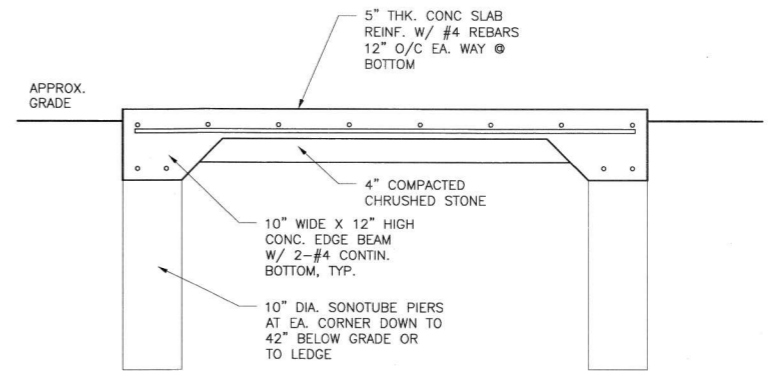
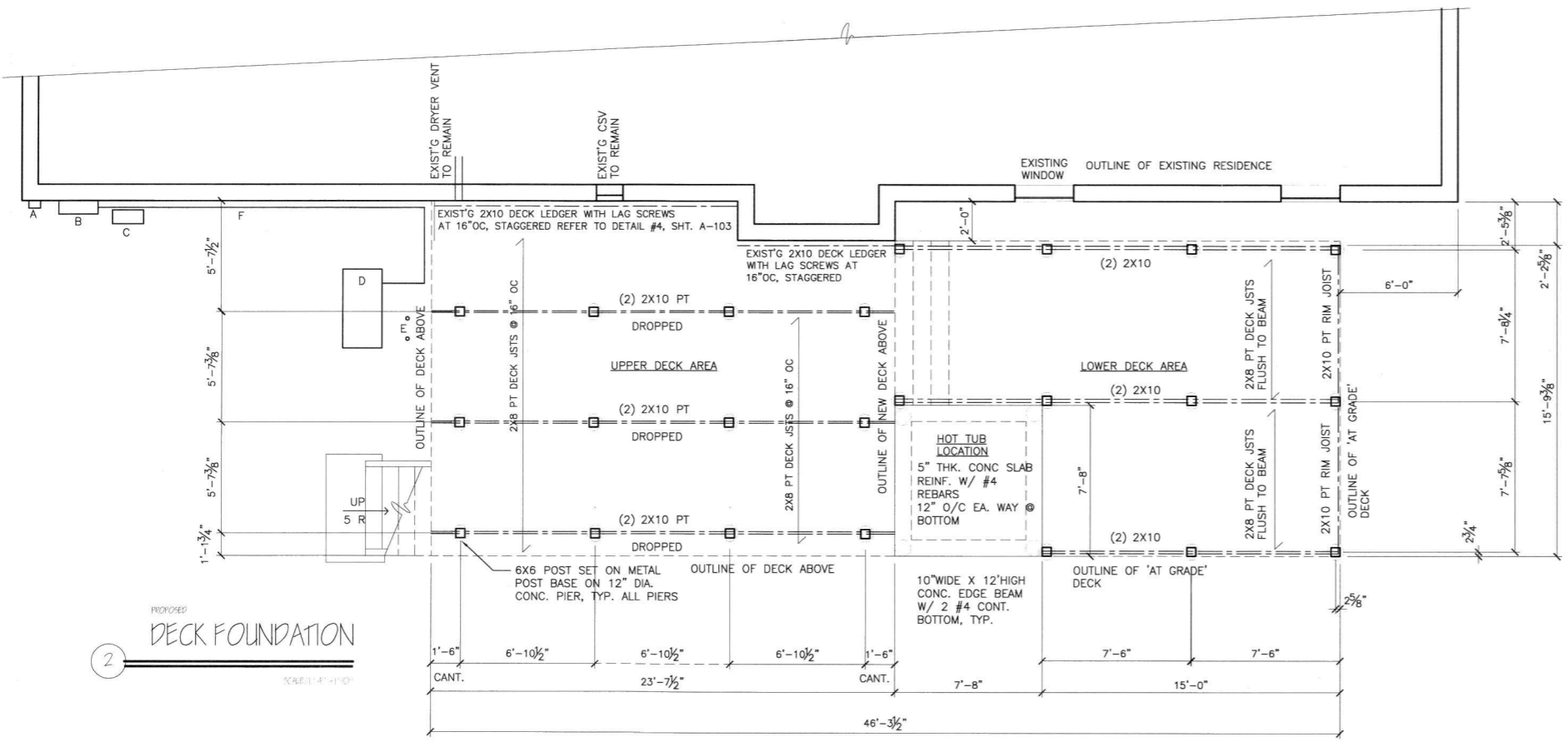
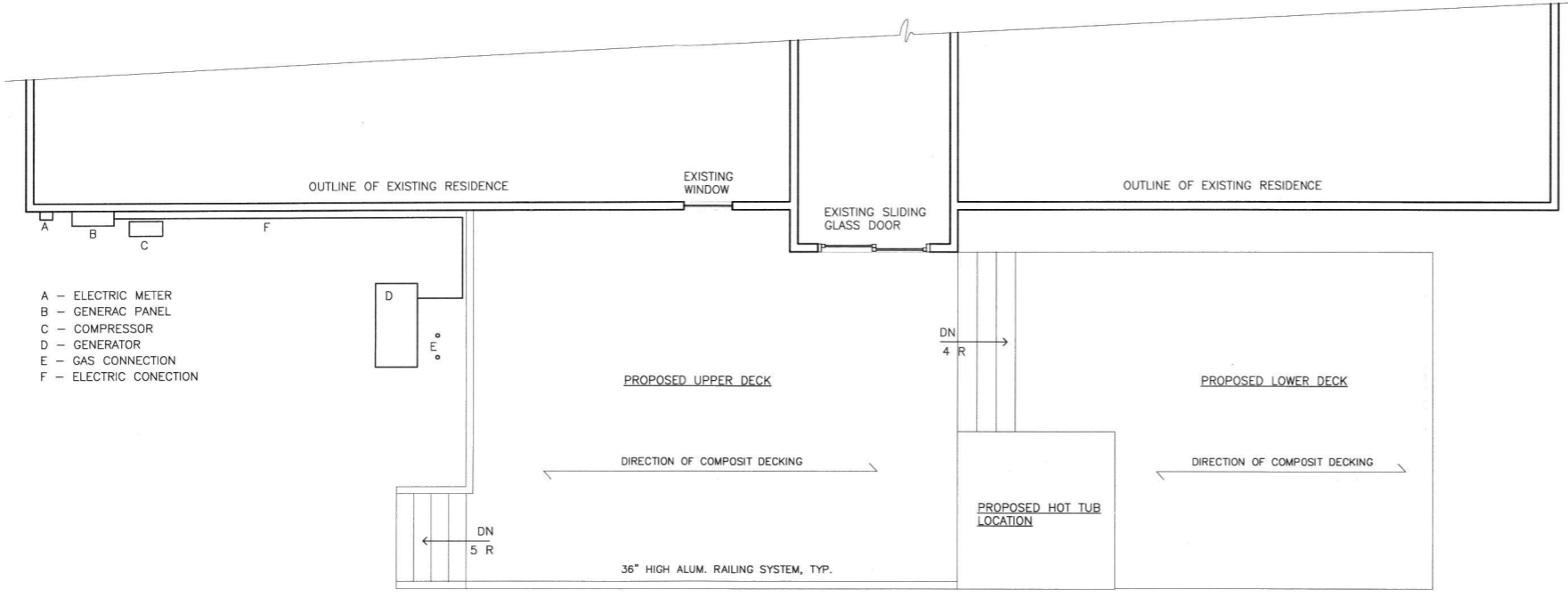
PROJECT NO. GJG 20-224
 DATE: 2020-07-29
 DRAWN BY: GASPARI
 CHECKED BY: GASPARI
 SCALE: AS NOTED
 FILE: GJG 224-A102

AREA:
 REVISIONS:
 2020-08-09 GEN. REVISION
 2020-07-31 SUBMISSION FOR BLDG. DEPT. REVIEW

SHEET TITLE:
 PROPOSED
 NEW DECK FOUNDATION PLAN
 NEW DECK PLAN
 GENERAL NOTES

PROJECT TITLE:
 PROPOSED RECONSTRUCTION OF EXIST'G DECK
 & EXPANSION OF DECK WITH HOT TUB
 GUSKI RESIDENCE
 36 HICKORY PASS
 BEDFORD, NEW YORK 10506
 TOWN OF NORTH CASTLE, NY

SHEET NUMBER:
A102
 of THREE

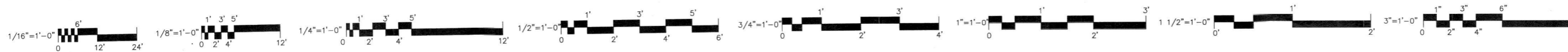


RESIDENTIAL BUILDING CODE INFORMATION

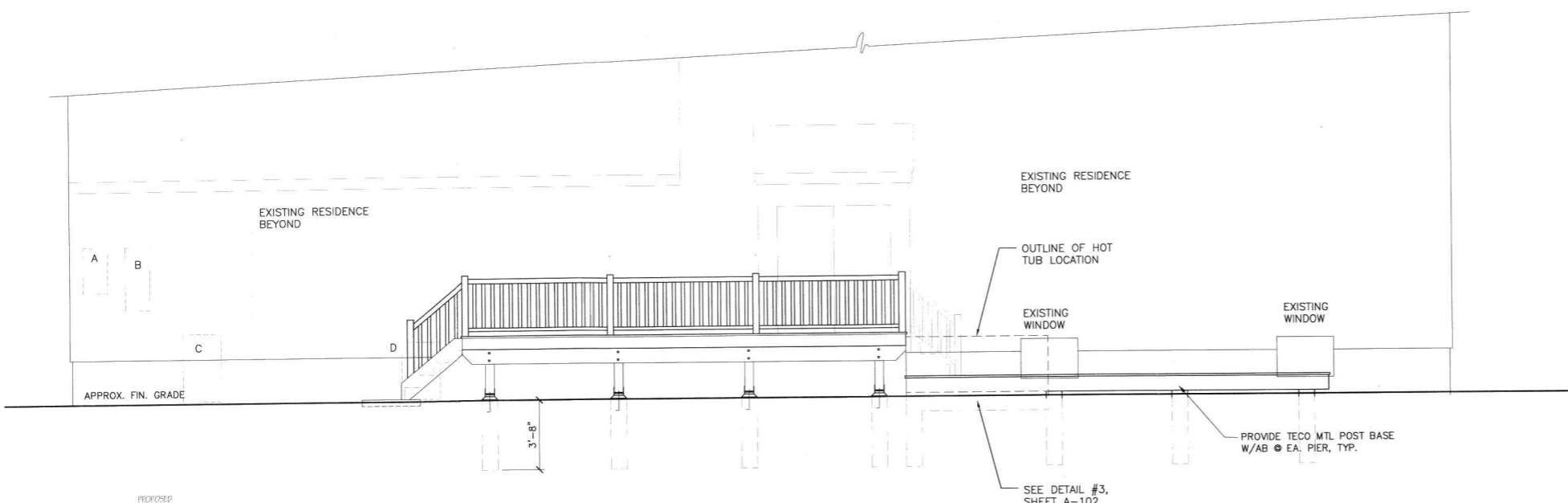
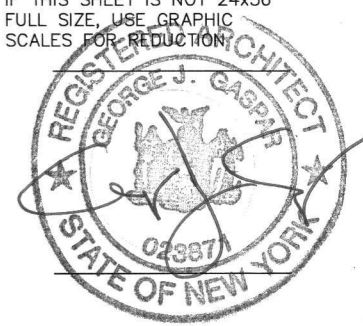
1. THE DESIGN AS PRESENTED WITHIN THESE PERMIT DRAWINGS IS IN COMPLIANCE WITH ALL REQUIREMENTS OF THE 2020 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY THE STATE OF NEW YORK.

Climatic and Geographic Design Criteria per Table R301.2(1)							
Ground Snow Load	Wind Speed (MPH)	Seismic Design Category	Subject to Damage From			Ice Barrier Underlayment Required	Flood Hazards
			Weathering	Frost Depth	Termites		
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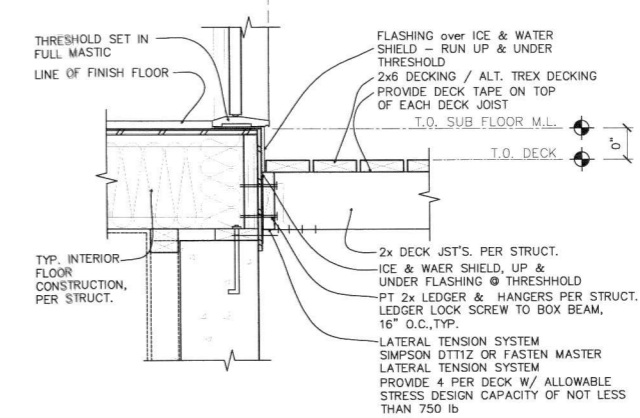
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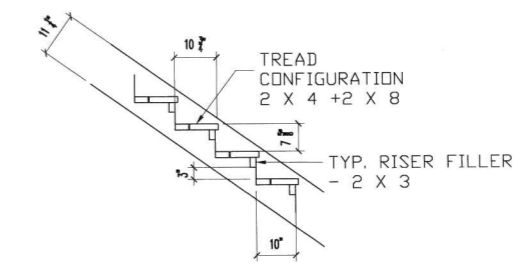
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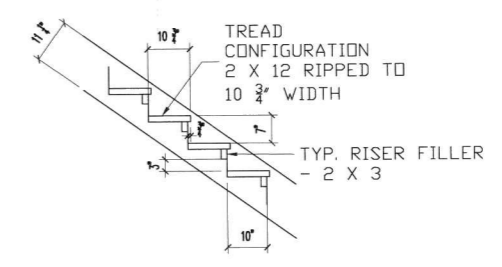
PROPOSED
REAR ELEVATION
SCALE: 1/4\"/>



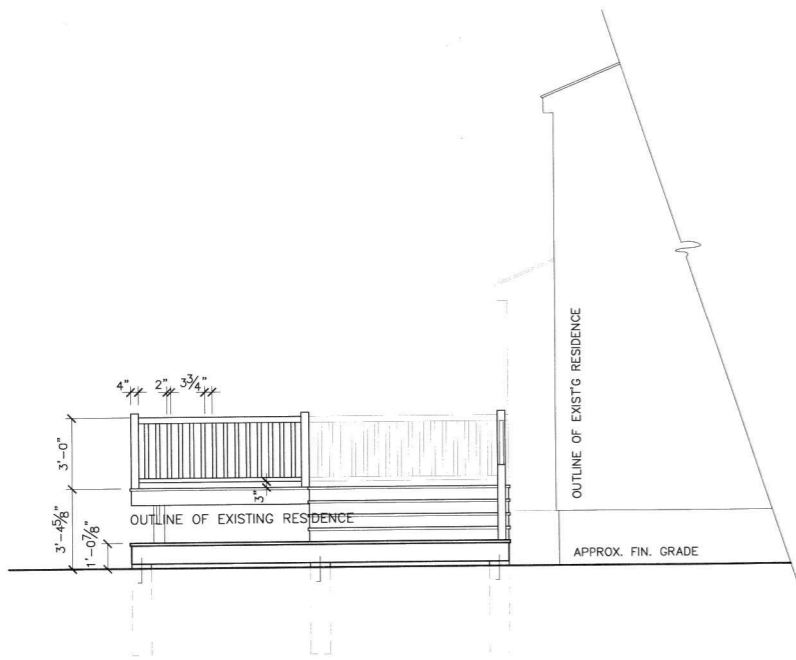
4 TYPICAL ENTRY AT PORCH
SCALE: 1/2\"/>



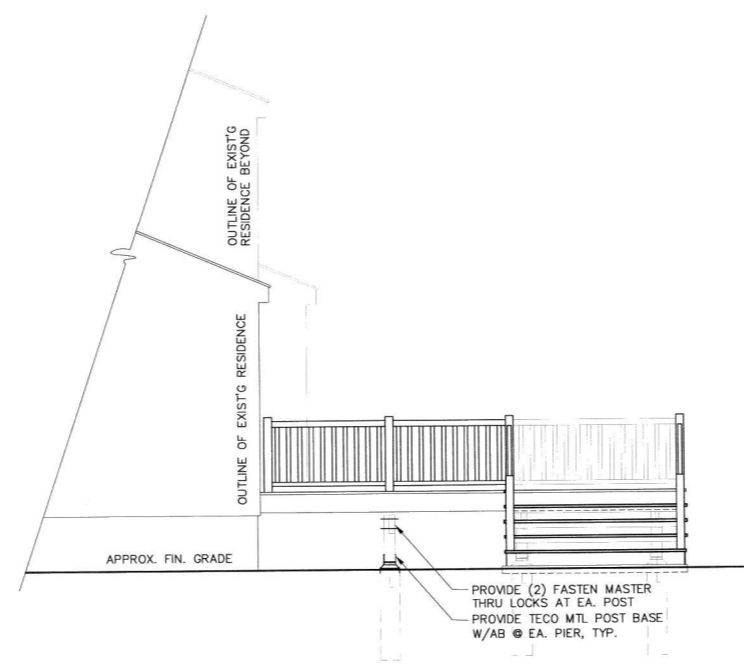
5 2 PIECE TREAD DETAIL
SCALE: 1/2\"/>



6 SOLID TREAD DETAIL
SCALE: 1/2\"/>



PROPOSED
RIGHT SIDE ELEVATION
SCALE: 1/4\"/>



PROPOSED
LEFT SIDE ELEVATION
SCALE: 1/4\"/>

PROJECT NO. GJG 20-224
DATE: 2020-07-29
DRAWN BY: GASPAR
CHECKED BY: GASPAR
SCALE: AS NOTED
FILE: GJG 224-A101
AREA:

REVISIONS:

2020-08-09 GEN. REVISION
2020-07-31 SUBMISSION FOR BLDG. DEPT. REVIEW

SHEET TITLE:
PROPOSED DECK ELEVATIONS
STAR DETAILS
DECK TO HOUSE DETAIL

PROJECT TITLE:
PROPOSED RECONSTRUCTION OF EXIST'G DECK & EXPANSION OF DECK WITH HOT TUB

GUSKI RESIDENCE
36 HICKORY PASS
BEDFORD, NEW YORK 10506
TOWN OF NORTH CASTLE, NY

SHEET NUMBER:
A103
of THREE

RESIDENTIAL BUILDING CODE INFORMATION

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