



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 45 BYRAM RIDGE ROAD

Section III- DESCRIPTION OF WORK:

NEW HOME

Section III- CONTACT INFORMATION:

APPLICANT: JOSEPH DANIEL

ADDRESS: 9 Cole DR

PHONE: 403-8880 MOBILE: _____ EMAIL: JOSEPH.DANIEL@MSN.COM

PROPERTY OWNER: JOSEPH DANIEL

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: ELIOT SENOR

ADDRESS: 90 N. CENTRAL AVE HARTSDALE NY

PHONE: 422-0070 MOBILE: _____

EMAIL: ENGINEER@ESENOR.COM

Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 101.03-3-24

RESIDENTIAL PROJECT REVIEW COMMITTEE ENGINEERING REVIEW	
Date	August 14, 2020
Project Name	Joseph Daniel
Street Location	45 Byram Ridge Road
Section, Block & Lot	101.03/3/24
<u>Engineering Comments:</u>	
<p>1. The location of the property line should be clarified. There appears to be two similar lines offset with dimension pulled to each.</p> <p>2. The site plan shall illustrate the entire property limits.</p> <p>3. Provide an Existing Conditions Plan illustrating all features and those to be removed, including but not limited to, the residence, drive, walks, well, septic, overhead utilities, etc.</p> <p>4. Illustrate existing topography.</p> <p>5. The improvements within the Town right-of-way will require a Street Opening Permit from the Highway Department. All proposed improvements shall be detailed, per the Town Highway Department standards.</p> <p>6. The plan shall demonstrate that the minimum required Westchester County Department of Health (WCHD) setbacks to the infiltration system/domestic well/proposed improvements are met. The proposed storm connection for the slot drain is not shown on the plan. Assuming it will discharge to the infiltration system, we note that the WCHD requires a separation of 100 feet to a drilled well for infiltration systems collecting runoff from paved surfaces (drives). The plan shall be revised accordingly.</p> <p>7. The Slot Drain Detail does not seem appropriate for use in the drive. Please replace the structure with one suitable for H-20 loading.</p> <p>8. Provide a copy of the WCHD Approval for the proposed modifications/replacement of the on-site wastewater treatment system and drilled well.</p> <p>9. The plan shall illustrate and quantify the limits of disturbance. The plan shall note that disturbance limits shall be staked in the field prior to construction.</p> <p>10. The plan shall illustrate the areas of the proposed septic field and infiltration area to be cordoned off from construction traffic during construction.</p>	

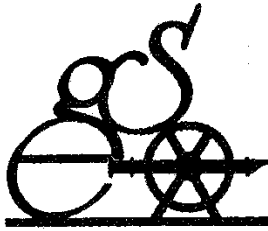
- As shown, it appears that at least two (2) additional trees will require removal in the vicinity of the infiltration system and associated grading, as well as 3-4 trees for the proposed septic field and grading. This should be reviewed and revised, as needed. The plan shall also clearly illustrate all existing trees to be protected.
- Provide a Landscape Plan.
- The proposed finished floor elevation is shown to only be six (6) inches above adjacent surrounding grade. Please verify and revise as needed.
- Provide stormwater mitigation and design calculations for the runoff generated by the net increase in impervious surface for the 100-year, 24-hour design storm event. Rainfall data shall be taken from the NRCS Extreme Precipitation Data.
- The plan should locate the proposed footing drain discharge, as well as the area drain for the exterior basement window wells.
- All proposed drain pipes, including the roof drain piping, should have a minimum of one (1) foot of soil cover.
- Provide construction details for the proposed pipe trenching, pavement, curbing and roof leaders.
- The Trench Drain Detail indicates a four (4) inch total height. However, six (6) inch diameter piping is proposed. The trench drain should be revised to accommodate the six (6) inch pipe and adequate cover.
- An emergency overflow control must be provided for the infiltration system.

Plan Reviewed, prepared by Gabriel E. Senior, P.C., dated July 30, 2020:

- Stormwater Pollution Prevention Plan and Erosion Control Plan (Sheet 1 of 1)

Signed: _____


**Joseph M. Cermele P.E., CFM,
Consulting Town Engineer**



Gabriel E. Senor, P.C.

Engineers Planners Surveyors

90 N Central Park Avenue

Hartsdale, NY 10530

Tel: (914) 422-0070

Fax: (914) 422-3009

E-Mail: info@gesenor.com

01/20/2021

To: Town of North Castle Residential Project Review Committee & Planning Dept

Re: 45 Byram Ridge Rd – Section 101.03 Block 3 Lot 24

Dear Members of the RPRC and Planning Board,

Below are responses to the questions/comments received 08/14/2020:

Residential Project Review Committee Comments

- The location of the property line should be clarified. There appears to be two similar lines offset with dimension pulled to each.
- **Property line location corrected.**
- The site plan shall illustrate the entire property limits.
- **Site plan now illustrates the entire property limits.**
- Provide an Existing Conditions Plan illustrating all features and those to be removed, including but not limited to, the residence, drive, walks, well, septic, overhead utilities, etc.
- **See “Topographic Map and Existing Conditions/Removals Plan”**
- Illustrate existing topography.
- **See “Topographic Map and Existing Conditions/Removals Plan”**
- The improvements within the Town right-of-way will require a Street Opening Permit from the Highway Department. All proposed improvements shall be detailed, per the Town Highway Department standards.
- **Note added to existing curb cut.**
- The plan shall demonstrate that the minimum required Westchester County Department of Health (WCHD) setbacks to the infiltration system/domestic well/proposed improvements are met. The proposed storm connection for the slot drain is not shown on the plan. Assuming it will discharge to the infiltration system, we note that the WCHD requires a separation of 100 feet to a drilled well for infiltration systems collecting runoff from paved surfaces (drives). The plan shall be revised accordingly.
- **All dimensions corresponding to WCHD requirements have been labeled.**
- The Slot Drain Detail does not seem appropriate for use in the drive. Please replace the structure with one suitable for H-20 loading.
- **See new detail**
- Provide a copy of the WCHD Approval for the proposed modifications/replacement of the on-site wastewater treatment system and drilled well.
- **Will provide on receipt**
- The plan shall illustrate and quantify the limits of disturbance. The plan shall note that disturbance limits shall be staked in the field prior to construction.



GABRIEL E SENOR P.C.

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45 Byram Ridge Rd

Response to RPRC & Planning Department Review Comments

- Noted and limits identified.
- The plan shall illustrate the areas of the proposed septic field and infiltration area to be cordoned off from construction traffic during construction.
 - Fence shown.
- As shown, it appears that at least two (2) additional trees will require removal in the vicinity of the infiltration system and associated grading, as well as 3-4 trees for the proposed septic field and grading. This should be reviewed and revised, as needed. The plan shall also clearly illustrate all existing trees to be protected.
 - Additional trees shown to be removed and tree protection shown
- Provide a Landscape Plan.
 - Landscape Plan Provided
- The proposed finished floor elevation is shown to only be six (6) inches above adjacent surrounding grade. Please verify and revise as needed.
 - First floor elevation and grading revised
- Provide stormwater mitigation and design calculations for the runoff generated by the net increase in impervious surface for the 100-year, 24-hour design storm event. Rainfall data shall be taken from the NRCS Extreme Precipitation Data.
 - Plan has been revised for a 100 year storm.
- The plan should locate the proposed footing drain discharge, as well as the area drain for the exterior basement window wells.
 - Additional cultec provided for the footing drain discharge. Window well drain to be tied into footing drains.
- All proposed drain pipes, including the roof drain piping, should have a minimum of one (1) foot of soil cover.
 - All piping now has 1 ft of cover.
- Provide construction details for the proposed pipe trenching, pavement, curbing and roof leaders.
 - Curbing and trench details are on the plan sheet
- The Trench Drain Detail indicates a four (4) inch total height. However, six (6) inch diameter piping is proposed. The trench drain should be revised to accommodate the six (6) inch pipe and adequate cover.
 - Detail has been revised
- An emergency overflow control must be provided for the infiltration system.
 - Emergency overflow has been added (Pop Up Emitter)

Planning Dept Comments

The property is a corner lot. Pursuant to Section 355-15.I of the Town Code, on any corner lot, except in an R-5 District, there shall be provided a side yard on the side street equal in depth to the required front yard on said lot; therefore, the Byram Ridge Road side yard is required to have a 50 foot setback. The site plan will need to be revised.

- Setback has been revised

The site plan should be revised to include a zoning conformance table.

- Zoning table has been added.

8 trees are proposed to be removed. It is recommended that the Applicant provide a landscaping plan for review.



GABRIEL E SENOR P.C.

Page 2 of 3

45 Byram Ridge Rd

Response to RPRC & Planning Department Review Comments

- Landscape plan provided.

The maximum exterior wall height calculation on the left side is not correct. Max Exterior Wall Height should be measured from the bottom of the proposed well to the midpoint of the roof.

- Architect revised

It is not clear whether the existing curbcut is going to be preserved. The site plan should be revised to depict that adequate sight distance is provided at the driveway. If a new curbcut/driveway is proposed, the Applicant will need to obtain a curbcut permit from the Highway Department.

- Existing curb cut will be restored and contractor will obtain permit from highway dept.

The gross land coverage calculations worksheet has a GLC of 5,883 square feet while the backup data depicts a GLC of 5,800. The discrepancy should be addressed.

- The correct GLC calculations are submitted with this response

The gross floor area calculations worksheet has a GFA of 6,369 square feet while the backup data depicts a GFA of 6,341 square feet. The discrepancy should be addressed.

- The correct GFA calculations are submitted with this response

Given that the site plan has to be revised to relocate the house and a landscaping plan has not been submitted it is recommended that the Applicant return to the RPRC for an additional review.

If you need any further clarification, please contact me.

Sincerely,

Eliot Senor P.E.



GABRIEL E SENOR P.C.

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45 Byram Ridge Rd

Response to RPRC & Planning Department Review Comments

Westchester County, New York

ChB—Charlton fine sandy loam, 3 to 8 percent slopes

Map Unit Setting

National map unit symbol: 2wh0n

Elevation: 0 to 1,440 feet

Mean annual precipitation: 36 to 71 inches

Mean annual air temperature: 39 to 55 degrees F

Frost-free period: 140 to 240 days

Farmland classification: All areas are prime farmland

Map Unit Composition

Charlton and similar soils: 85 percent

Minor components: 15 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Charlton

Setting

Landform: Hills, ground moraines, ridges

Landform position (two-dimensional): Backslope, shoulder, summit

Landform position (three-dimensional): Crest, side slope, nose slope

Down-slope shape: Linear, convex

Across-slope shape: Convex

Parent material: Coarse-loamy melt-out till derived from granite, gneiss, and/or schist

Typical profile

Ap - 0 to 7 inches: fine sandy loam

Bw - 7 to 22 inches: gravelly fine sandy loam

C - 22 to 65 inches: gravelly fine sandy loam

Properties and qualities

Slope: 3 to 8 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Well drained

Runoff class: Low

Capacity of the most limiting layer to transmit water

(Ksat): Moderately low to high (0.14 to 14.17 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)

Available water capacity: Moderate (about 6.9 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2e

Hydrologic Soil Group: B

Ecological site: F144AY034CT - Well Drained Till Uplands
Hydric soil rating: No

Minor Components

Sutton

Percent of map unit: 8 percent
Landform: Ground moraines, hills
Landform position (two-dimensional): Footslope
Landform position (three-dimensional): Base slope
Down-slope shape: Concave
Across-slope shape: Linear
Hydric soil rating: No

Paxton

Percent of map unit: 5 percent
Landform: Drumlins, hills, ground moraines
Landform position (two-dimensional): Backslope, summit, shoulder
Landform position (three-dimensional): Side slope, crest
Down-slope shape: Linear, convex
Across-slope shape: Convex
Hydric soil rating: No

Leicester

Percent of map unit: 1 percent
Landform: Drainageways, depressions
Down-slope shape: Linear
Across-slope shape: Concave
Hydric soil rating: Yes

Chatfield

Percent of map unit: 1 percent
Landform: Hills, ridges
Landform position (two-dimensional): Backslope, shoulder, summit
Landform position (three-dimensional): Crest, side slope, nose
slope
Down-slope shape: Convex
Across-slope shape: Linear, convex
Hydric soil rating: No

Data Source Information

Soil Survey Area: Westchester County, New York
Survey Area Data: Version 16, Jun 11, 2020

WESTCHESTER COUNTY DEPARTMENT OF HEALTH
 Bureau of Environmental Quality
 118 North Bedford Road
 Mount Kisco, NY 10549

DESIGN DATA SHEET - SEPARATE SEWAGE SYSTEM WCDH FILE # _____

Owner _____ Address 45 Byram Ridge Rd,

Property Location: _____ Sec. _____ Block _____ Lot _____
 (Indicate nearest cross street)

Municipality _____ NYCEP: Joint Review Delegated
 Watershed _____

SOIL PERCOLATION TEST DATA REQUIRED TO BE SUBMITTED WITH PPLICATION

Presoak Date: 2 Run Date: 2/23/21

Hole #		CLOCK TIME			PERCOLATION			
Hole Number	Run No.	Start	Stop	Elapse Time Min.	Depth to Water From Ground Surface		Water Level Drop In Inches	Soil Rate Min/in Drop
					Start Inches	Stop Inches		
Perc test #1 →	1	2:33	2:39	6	12"	15"	3	2
	2	2:40	2:50	10	12"	15"	3	
	3	2:50	3:01	11	12"	15"	3	
	4	3:01	3:12	11	12"	15"	3	
	5							
Perc test #2 →	①	3:03	3:08	5	12"	15"	3	
	2	3:09	3:14	5	12"	15"	3	
	3	3:14	3:20	6	12"	15"	3	
	4							
	5							
	1							
	2							
	3							
	4							
	5							

Perc test done by: Artoine Eugene

Notes:

- Tests to be repeated at same depth until approximately equal soil rates are obtained at each percolation test hole. All data to be submitted for review.
- Depth measurements to be made from top of hole. DO NOT REPORT INCREMENTS OF LESS THAN ONE INCH.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

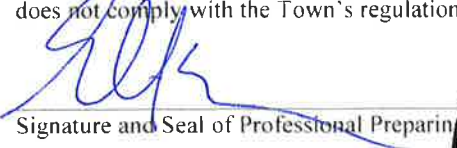
Application Name or Identifying Title: 45 Byram Ridge Rd Date: 01/29/2021

Tax Map Designation or Proposed Lot No.: 101.03 - 3 - 24

Gross Lot Coverage

- | | | |
|-----|---------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>48,029 SF</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>9,752.2 SF</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
<u> </u> x 10 = | <u>1 SF</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>9,753.2 SF</u> |
| 5. | Amount of lot area covered by principal building :
<u> </u> existing + <u> </u> proposed = | <u>3,205 SF</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u> </u> existing + <u> </u> proposed = | <u>0 SF</u> |
| 7. | Amount of lot area covered by decks :
<u> </u> existing + <u> </u> proposed = | <u>0 SF</u> |
| 8. | Amount of lot area covered by porches :
<u> </u> existing + <u> </u> proposed = | <u>316 SF</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u> </u> existing + <u> </u> proposed = | <u>2,134 SF</u> |
| 10. | Amount of lot area covered by terraces :
<u> </u> existing + <u> </u> proposed = | <u>299 SF</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u> </u> existing + <u> </u> proposed = | <u>8 SF</u> |
| 12. | Amount of lot area covered by all other structures :
<u> </u> existing + <u> </u> proposed = | <u>0 SF</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>5,962 SF</u> |

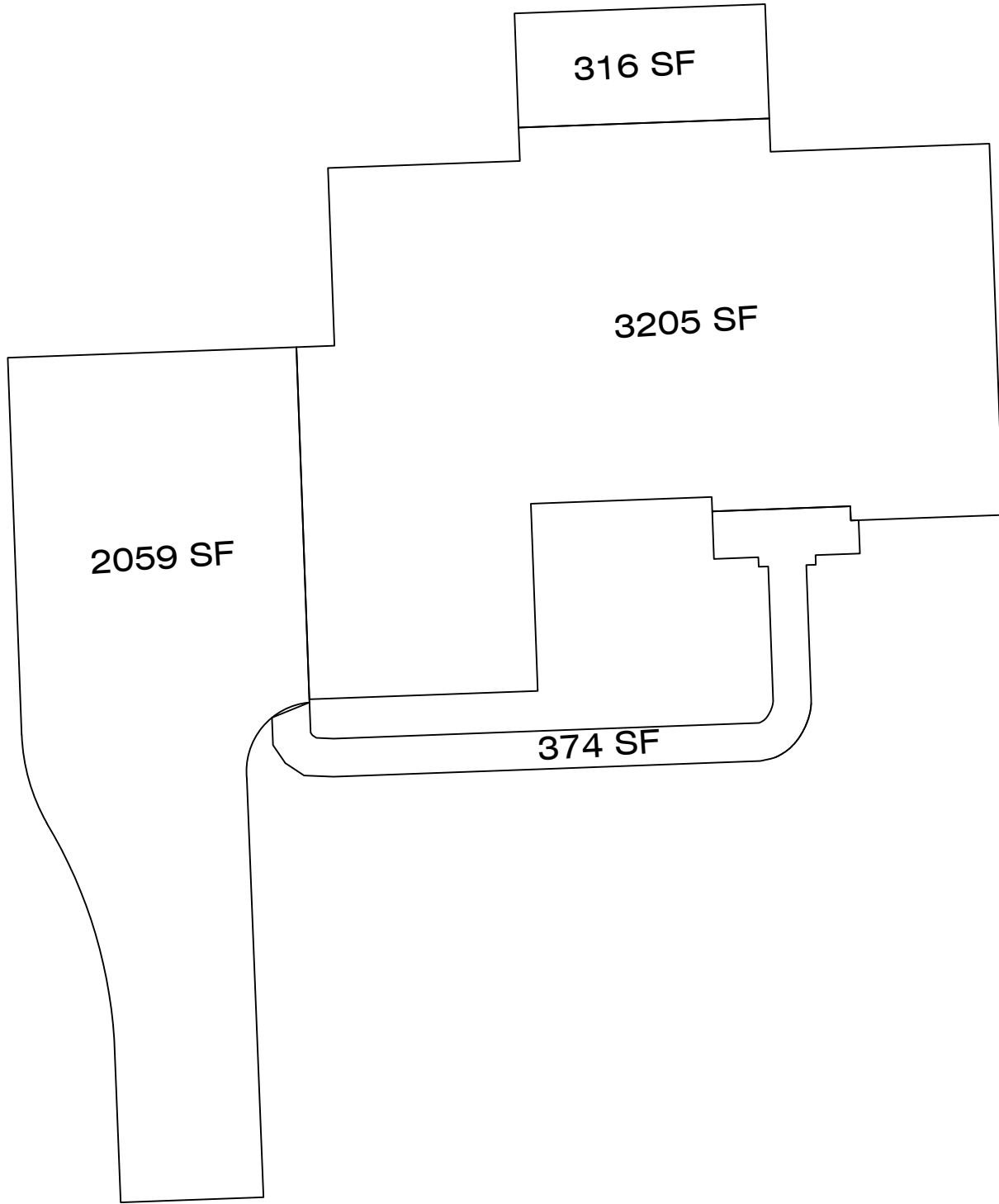
If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet



3-2-2021
 Date

TOTAL IMPERVIOUS SURFACE = 5954 SF



GENERAL NOTES

1. Gabriel E. Senor, P.C. is not responsible for construction supervision unless retained under separate contract.
2. Gabriel E. Senor, P.C. shall be responsible for backfilling any storm water system for inspection if the Engineering Dept. will require a final letter of certification from the design engineer for the storm water approval, site work and drainage installation.
3. Any changes made to these plans shall be approved by Gabriel E. Senor, P.C. Any changes must be filed and approved by the appropriate Department or an amendment.
4. Gabriel E. Senor, P.C. is not responsible for damage to existing utilities, but not limited to the following: NYS Shaking Code, Local Zoning Code, ACT and AISC.
5. All conditions, locations, dimensions and elevations shall be verified by the Contractor or Owner and must report all discrepancies to the Design Engineer prior to the start of construction.
6. All work and materials shall comply with all applicable codes including, but not limited to the following: NYS Shaking Code, Local Zoning Code, ACT and AISC.
7. The Contractor is responsible for all construction means and methods to implement the following: NYS Shaking Code, Local Zoning Code, ACT and AISC.
8. Safety during construction is the responsibility of the Contractor and shall conform to all Local, State and Federal Agencies' requirements.
9. The Contractor shall apply for and receive all necessary permits to perform the work shown on these plans prior to the start of construction.
10. Final grading shall be sloped away from the building and foundations.
11. Unless noted, all drainage piping on this plan is to be 6" rigid HDPE ASTM F910 or better.
12. This storm water design plan is not designed to convey footing drains. Refer to Architectural Plans for footing drain design. Do not connect footing drains or sump pumps to this surface water drainage system.
13. If the drainage system is to be built on a filled area, the fill should be well drained material with a settling period of one to three months prior to the system installation. Additional provisions are required after the settling period and the system design will be revised as necessary.
14. Proposed 3/4" French drains to be installed along existing and proposed conditions.
15. Orange Construction Fence to be installed along the limits of the proposed disturbance limits line.
16. Root leaders to be connected to the drainage system with 6" rigid HDPE pipe at 2% min slope or as shown.
17. The Contractor and all Sub-Contractors shall obtain a "Contractor Certification Statement" as per section 294-4 of the NYCDEC "Stormwater Pollution Prevention Plan" manual prior to the start of construction.
18. If any proposed fill material is required, it shall be certified in writing by a New York State Licensed Professional Engineer as non-contaminated, clean fill suitable for the intended use. Procedures shall be performed by the Design Engineer to demonstrate that the contractor management practice will allow the entire water quality volume within 48 hours. The date of the procedure (or) shall be submitted to the Municipal Engineer for review and approval.
19. All proposed temporary seeding practices shall be in accordance with the New York State Standards and Specifications for Urban Stormwater Control, dated August 2005.
20. New sewer laterals are required for all new construction. Laterals must be extra heavy cast iron or ductile iron pipe or as directed by Municipal Engineer.
21. Construction permits are required from the Department of Public Works for Sewer, Water, and Storm Water System operations.
22. All trees on the Municipality Right of Way must be backfilled with concrete density fill (1:3:6) or as directed by Municipal Engineer.
23. A street opening permit must be obtained from the Municipality, all work in the Right of Way and all impediments performed prior to backfilling and final approval.
24. Replace or re-locate trees cut or damaged by Municipal Engineer.
25. A non-occupancy agreement for the basement in Special Flood Hazard Zone must be signed and filed prior to the issuance of a C.O.C. for properties subjected to flooding.
26. Curb cut permits are required from the Department of Public Works. Curb cut maximum width is 18 feet.
27. The contractor shall schedule with the Municipality to arrange for grading inspection prior to any grading of a building above the first floor raised decking. Excess soils of significance shall be removed and disposed of upon completion of the rough grading.
28. The structures for the storm water management system shall be installed at the earliest date possible when the structure's roof is complete. The contractor shall consult with the Municipality and schedule this work upon completion and inspection of the rough grading activities.
29. The contractor shall secure a Street Opening Permit with the Municipality for all work to take place on the right of way including construction of a new driveway apron, and installation of new service laterals.
30. If necessary, the Contractor shall receive a Tree Removal Permit with the Municipality prior to the commencement of construction activities.
31. Contractor required to provide Dig Safe NY ticket prior to issuance of permits.
32. Contractor to contact Highway Department for details and approval on how to restore the existing curb cut.
33. Limits of disturbance to be marked out in field prior to construction.

POST CONSTRUCTION MAINTENANCE

POST CONSTRUCTION MAINTENANCE:

1. Land Owner to visually inspect all stormwater structures for clogging and debris during busy and slow periods of each year. Any clogging or debris to be removed by the owner within 12" of average event (max 24" temp required).
2. Decommission of such following conditions is recommended. This will not only aid in the establishment of regular following conditions, but will help to ensure that the location is previous to the force.
3. Verification of the ownership of any tree designated to be removed near the property line to the tree owner.

EROSION CONTROL NOTES

INSTALLATION & MAINTENANCE OF EROSION CONTROL

CONSTRUCTION SCHEDULE

NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START:

EROSION CONTROL MEASURES:

1. Install all erosion control measures prior to start of construction.
2. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.

INSPECTION BY MUNICIPALITY

MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

1. After any rain causing runoff, contractor to inspect all berms, etc. and remove any excessive sediment and inspect stockpiles and correct any problems with seed establishment.
2. Inspections shall be documented in writing and submitted to the appropriate Municipal Agency having jurisdiction.

STOCK PILING OF EXCAVATED MATERIAL

1. Strip Topsoil and Stockpile.
2. Stockpile Excavation Subgrade.
3. Stock pile with 1:1 to total annual rain or remove from site within two days.

INSPECTION BY MUNICIPALITY

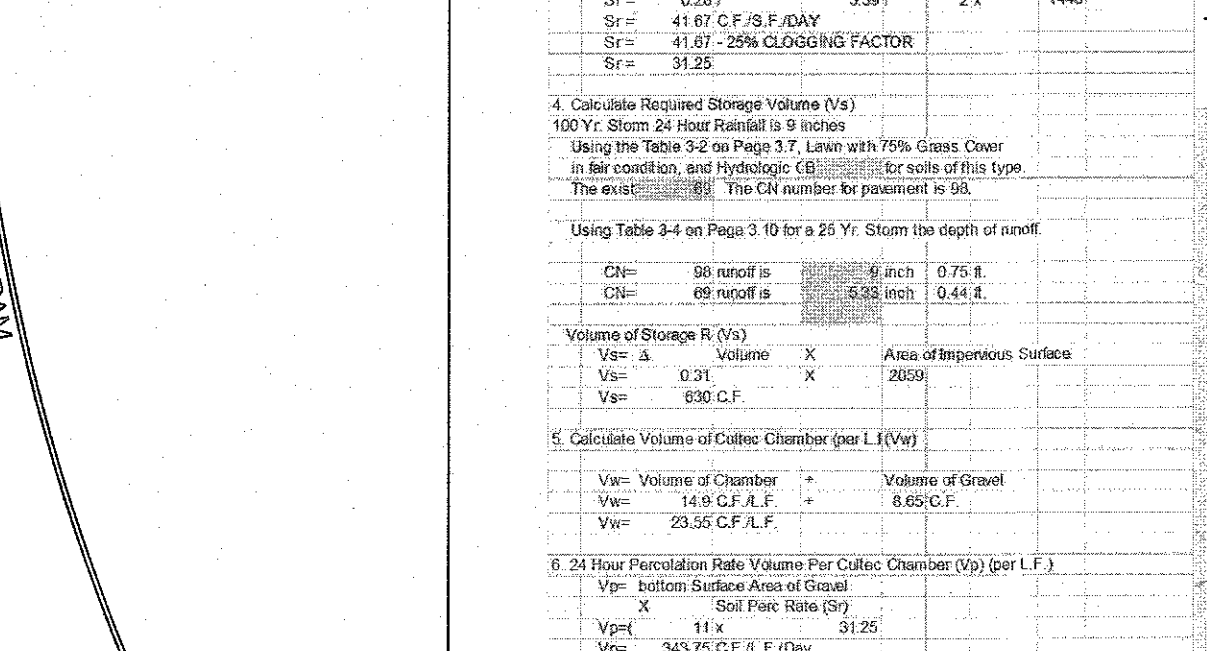
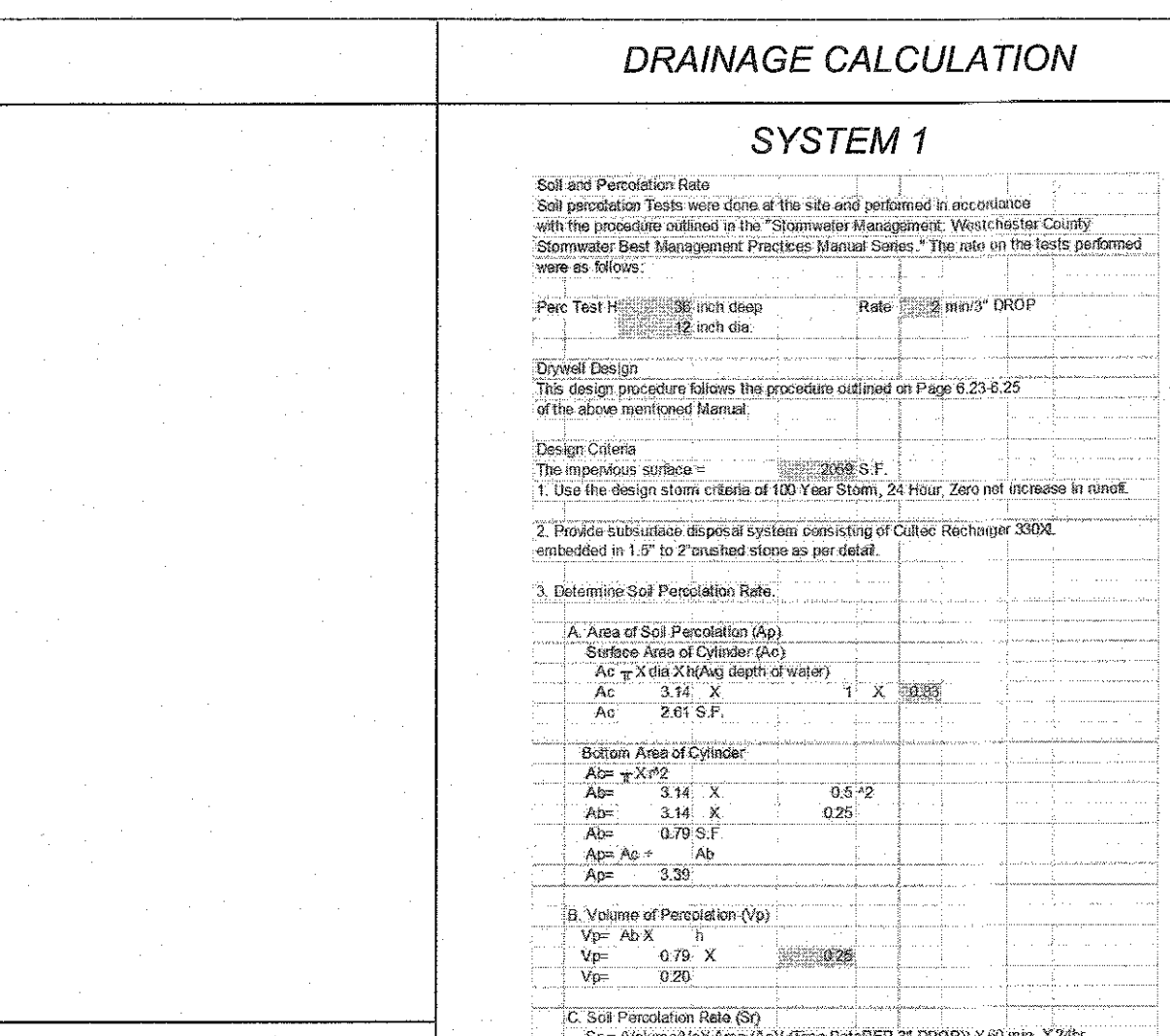
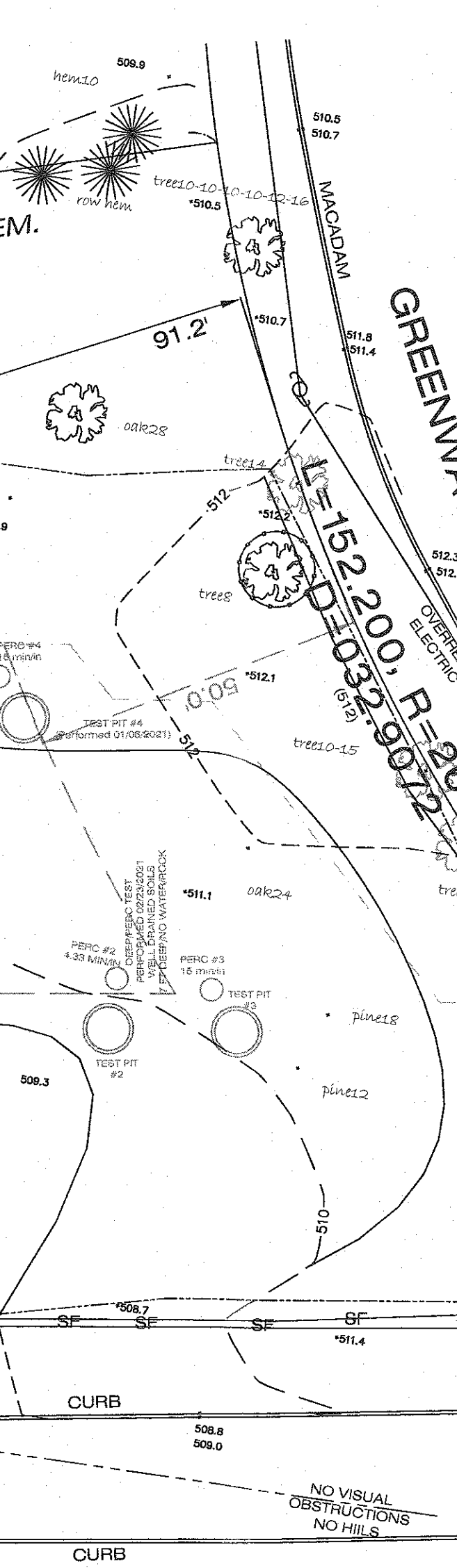
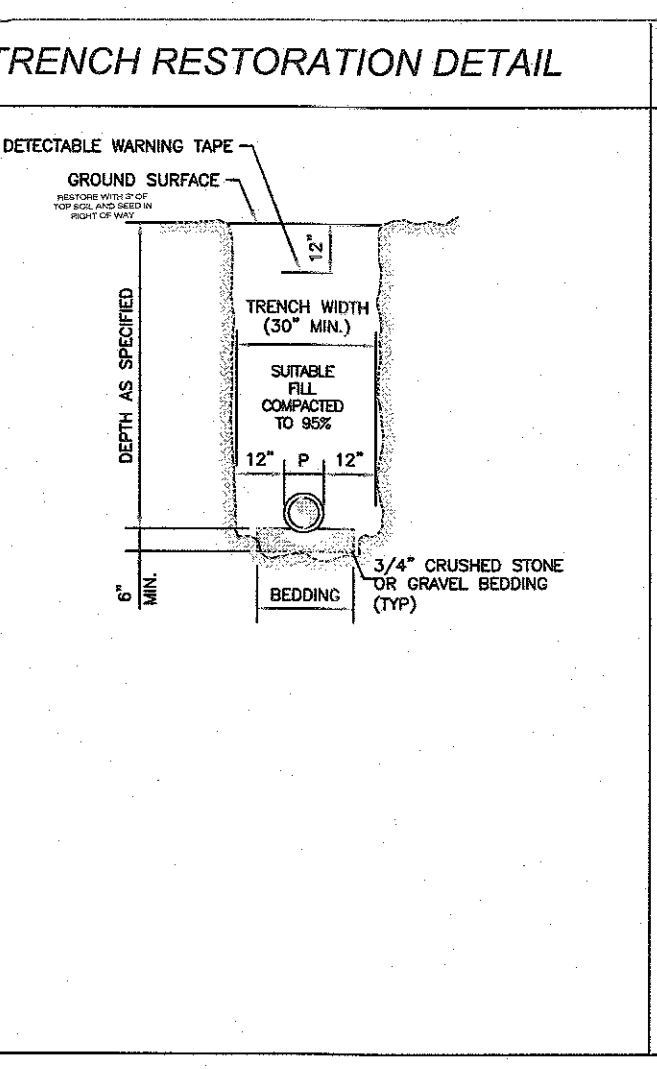
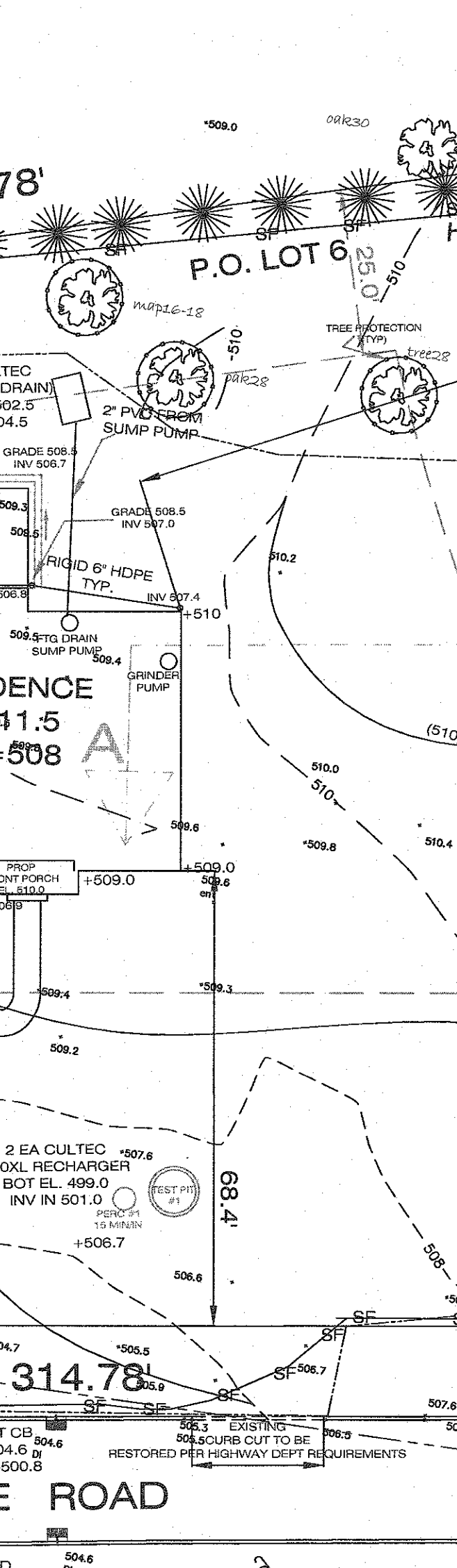
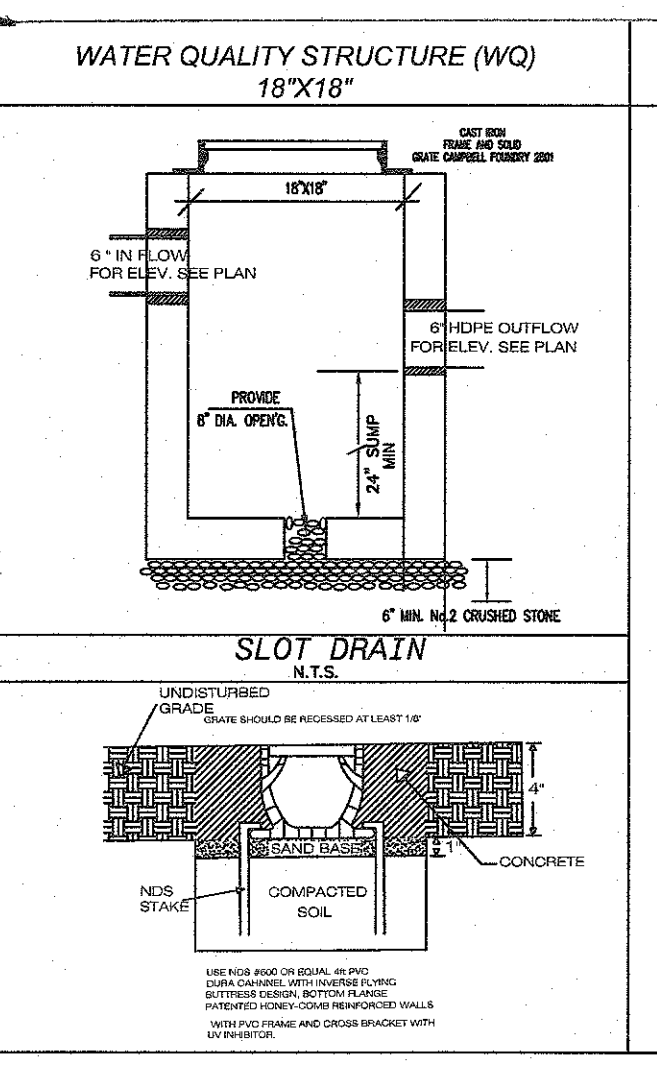
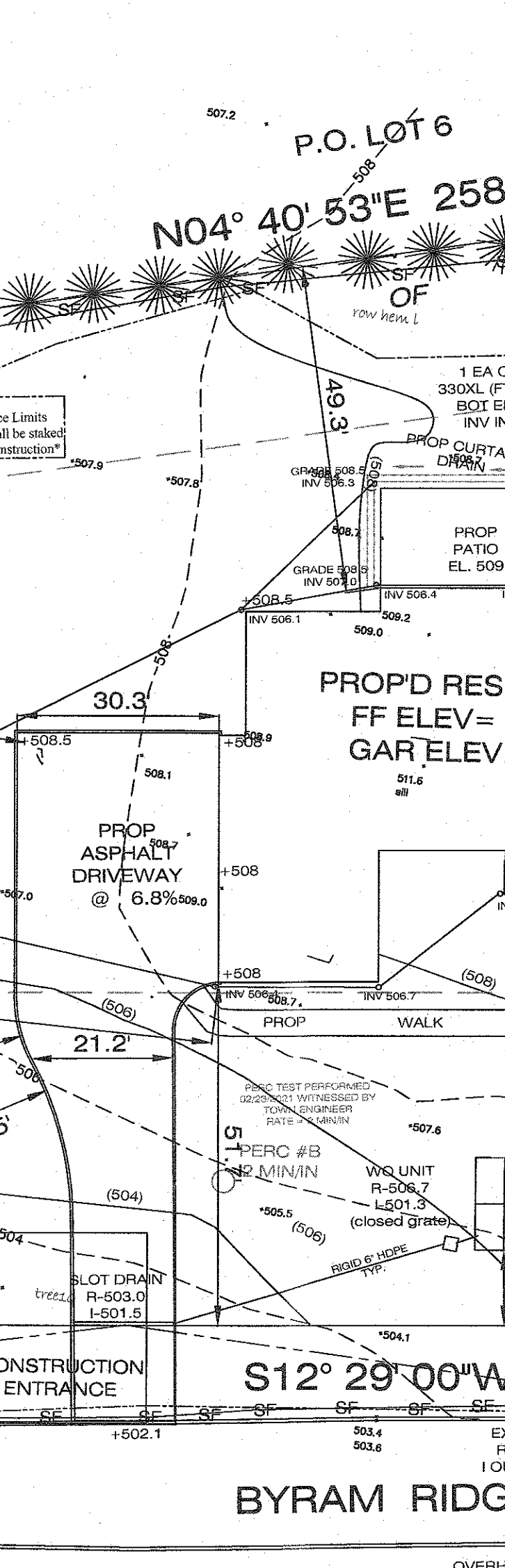
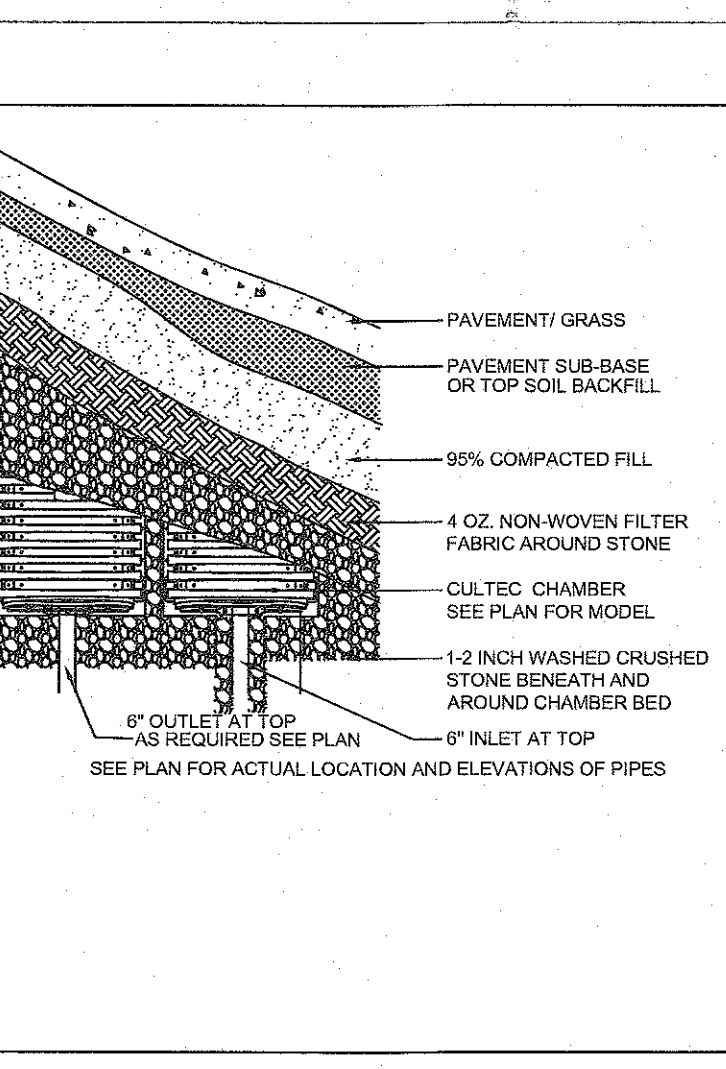
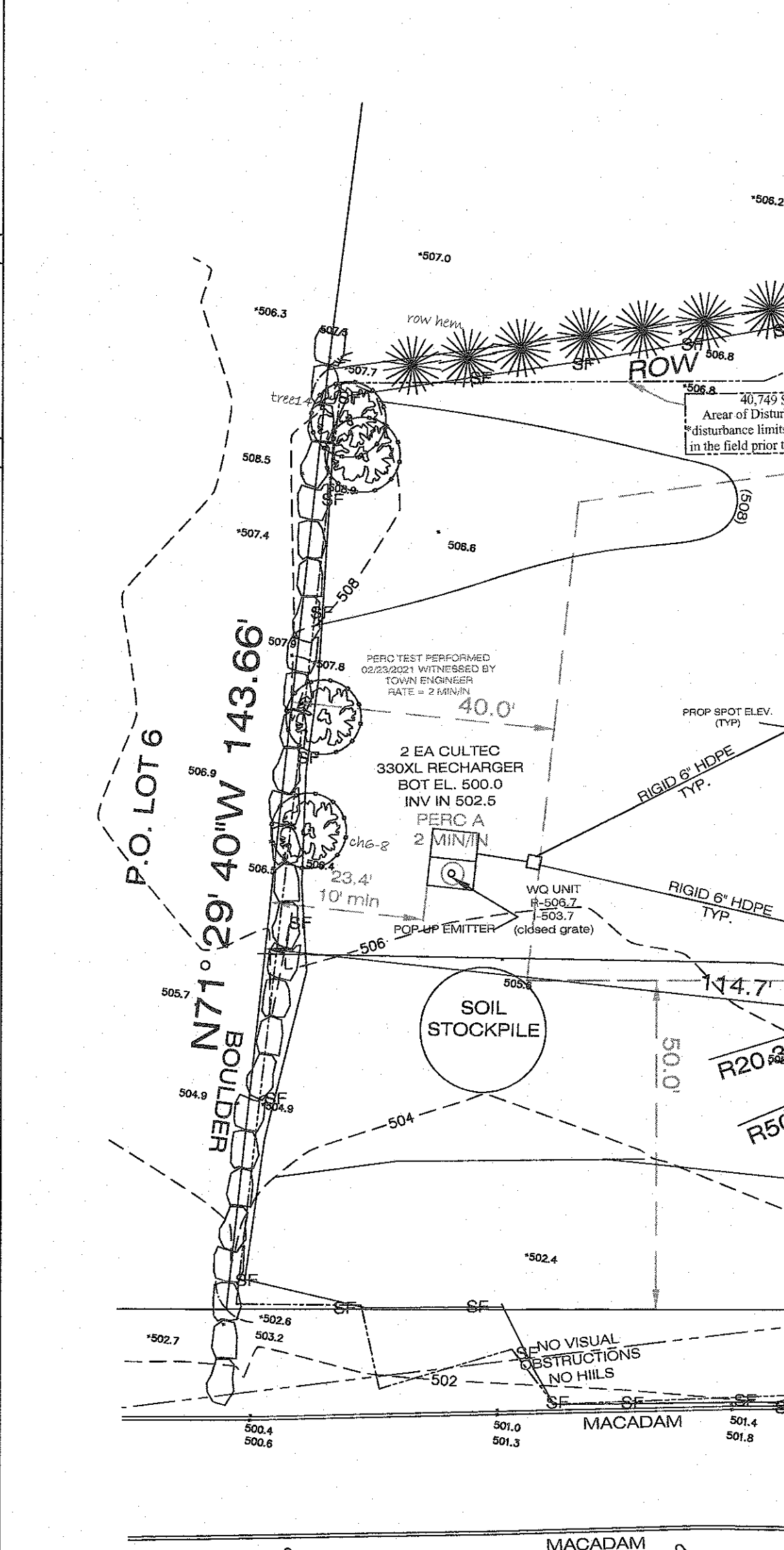
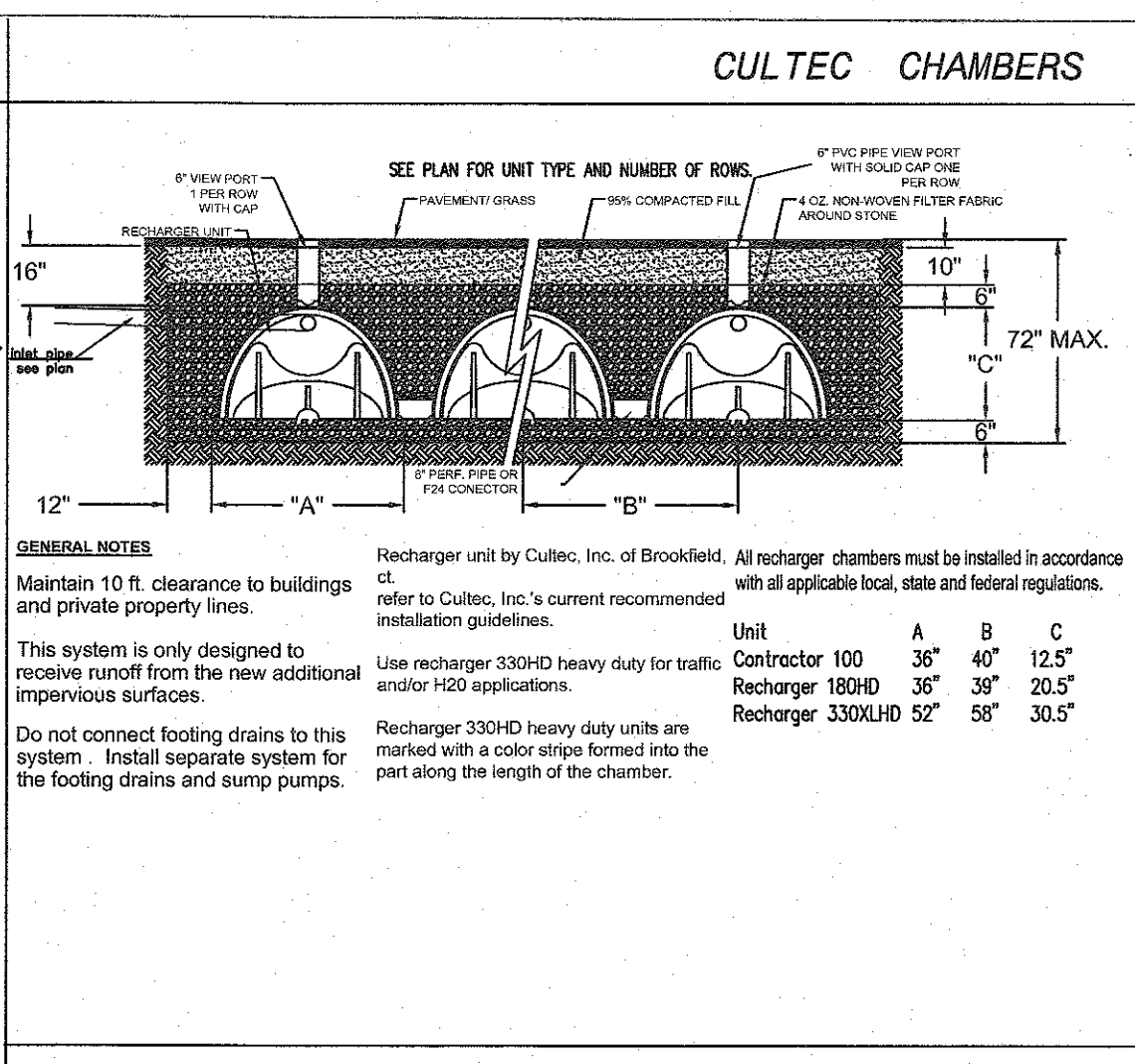
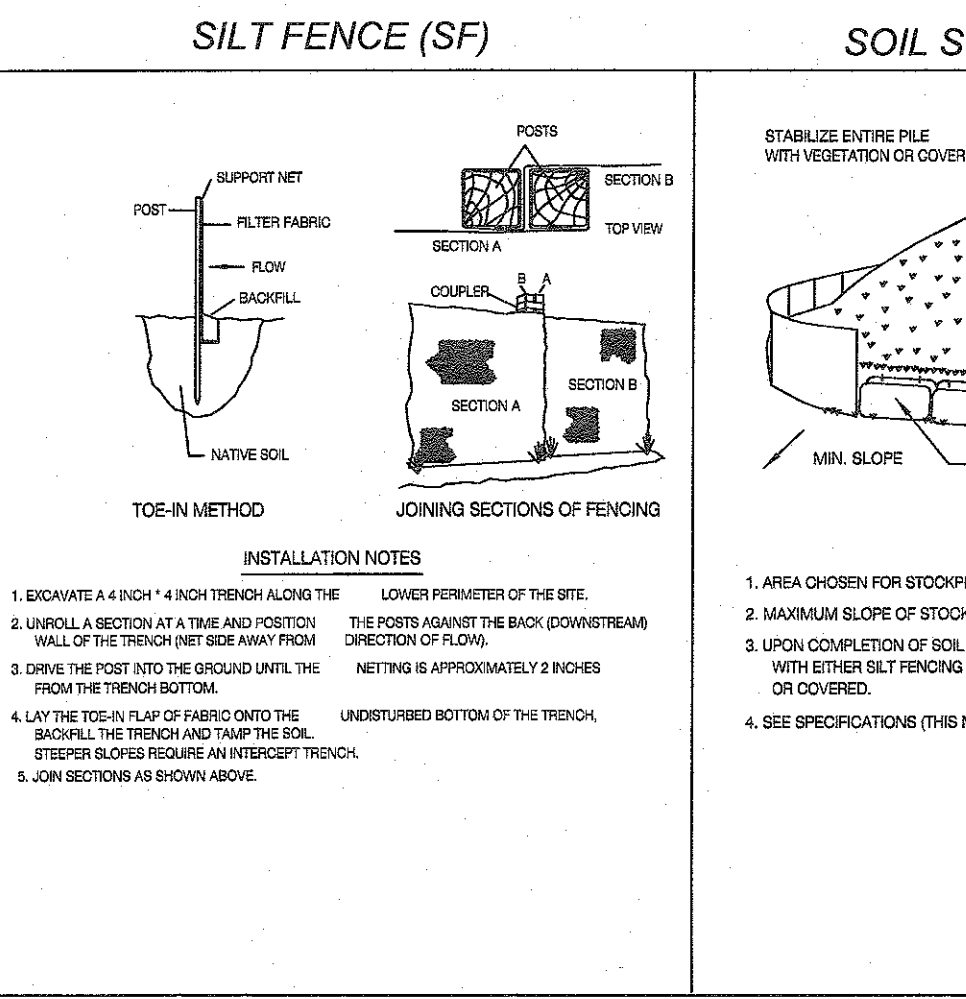
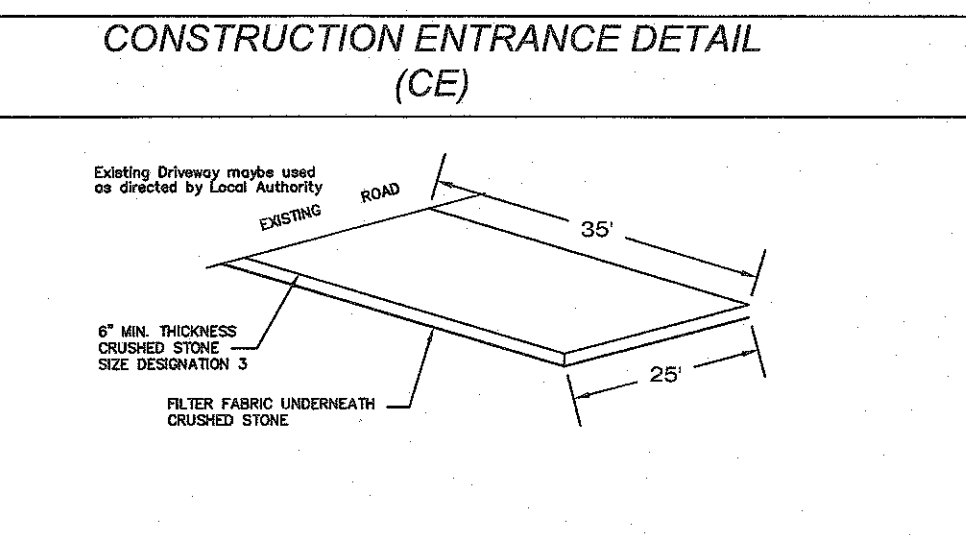
FINAL GRADING

1. Remove unseeded subgrade from site.
2. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.

INSPECTION BY MUNICIPALITY

LANDSCAPING

1. Sodded areas evenly over areas to be seeded. Hand rake level.
2. Broadcast 1" seed, bag of Jonathan Green "Festagrow" mix or equal over areas to be seeded.



LEGEND

- UTILITY POLE
- SIGN POST
- HYDRANT
- WATER VALVE
- GAS VALVE
- LIGHT POLE
- GUY WIRES
- TELE. MANHOLE
- SEWER MANHOLE
- WATER MANHOLE
- ELECTRIC MANHOLE
- DRAIN MANHOLE
- MANHOLE
- ELECTRIC BOX
- EXISTING GRADE (102)
- PROPOSED GRADE
- SILT FENCE / AREA OF DISTURBANCE & CHAIN LINK FENCE (AS REQ'D BY MUNICIPALITY)
- TREE TO BE REMOVED

NO	DATE	DESC	BY
2	01/24/2021	RPRC & PLANNING	GC
1	08-26-2020	RPRC & PLANNING	GC

STORMWATER POLLUTION PREVENTION AND EROSION CONTROL PLAN

PREPARED FOR: JOE DANIELS

STREET: 45 BYRAM RIDGE RD

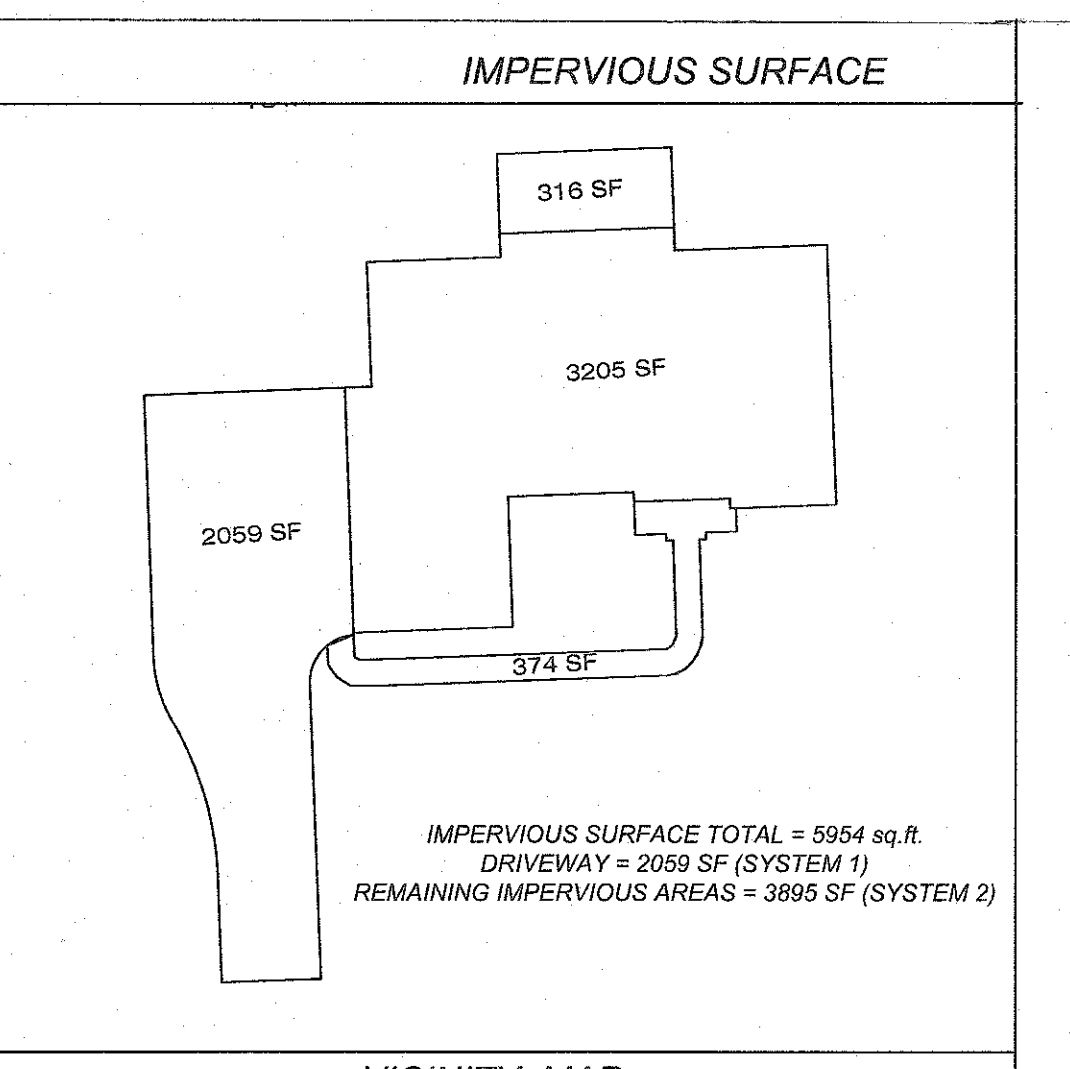
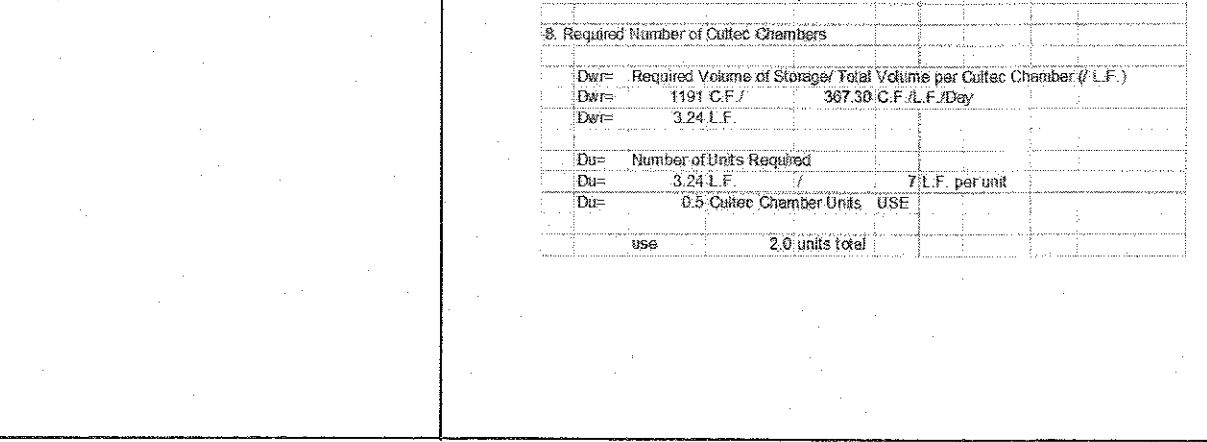
CITY: TOWN OF ARMONK

A.K.A. SECTION 101.03- TAX BLOCK 3 - LOT 24

SITUATE IN THE TOWN OF ARMONK WESTCHESTER COUNTY, NEW YORK

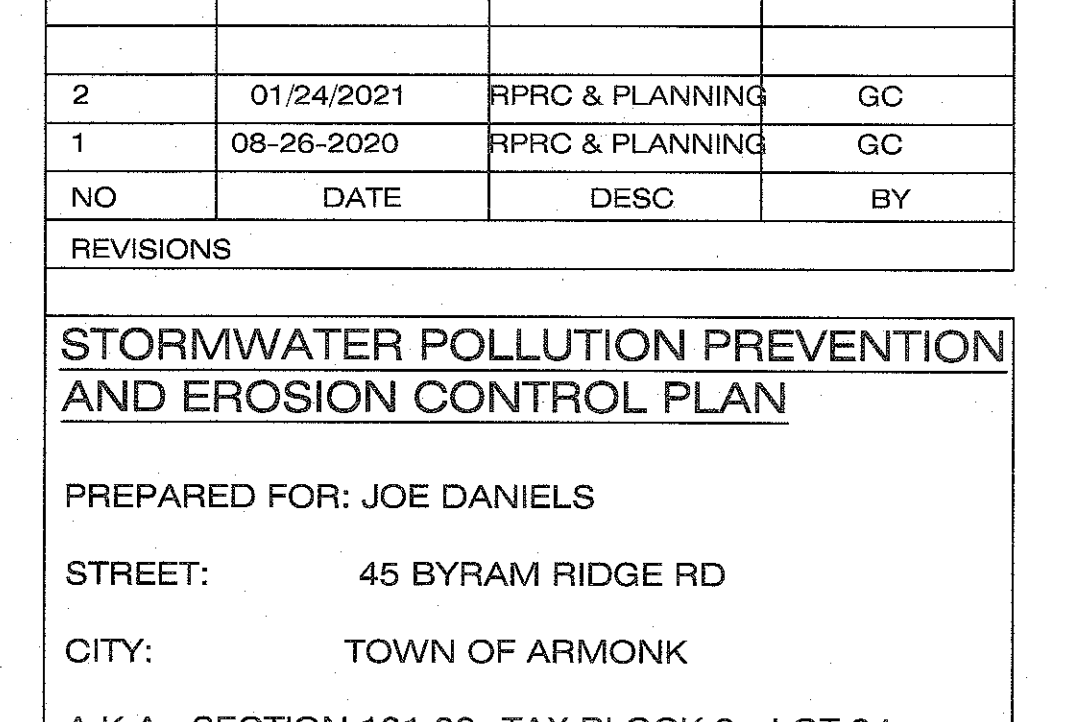
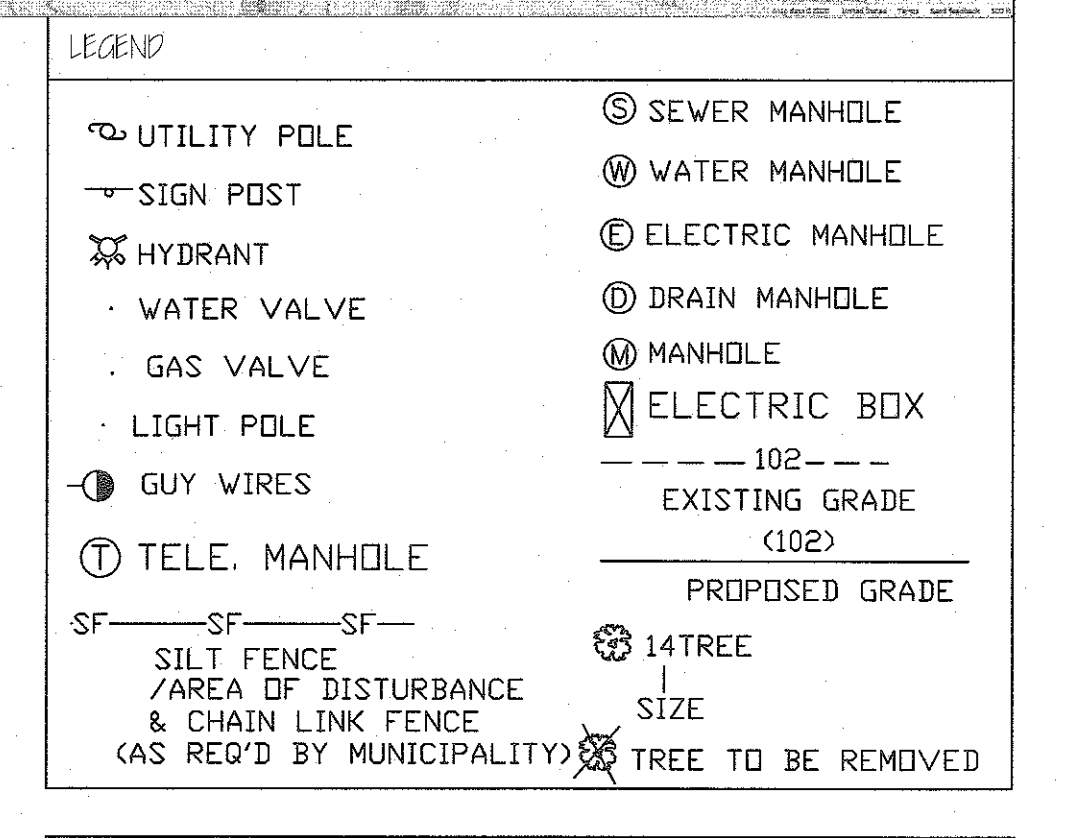
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45 Byram Ridge Rd - S/B/L 101.03/3/24 - ZONING TABLE

Zone - R-1A	Permitted (FT)	Proposed
Lot Area (SF)	45,500	48,200
Street Frontage	125	315
Lot Width	125	297.5
Lot Depth	359	163.5
Front Yard	50	33.1
Side Yard	25	74.1
Rear Yard	40	43.8
Building Height	30	30
Max Building Coverage (%)	100	6.96
Max Driveway Gradient (%)	14%	6.8%
Max Gross Land Coverage	97%	55%
Max Gross Floor Area Ratio	79%	6.9%



SCALE: 1" = 20'

DATE: JULY 30, 2020

DRAWN BY: CHECKED BY: GC. ES.

SHEET 1 OF 1

Construction Type Note:

As Per Title 19 NYCRR Part 1265

Provide Label As Shown Below



V = Construction Type
As Per Section 602 of BCNYS

FR = Floor And Roof Framing
As Per Designation For Structural Components
That Are Of Truss/Engineered Type Construction

Size:
6" Diameter Circle

Colors:

Circle To Be 1/2" Stroke - Reflective Red Pantone #187
Inner Circle - Reflective White
Text - Reflective Red Pantone #187

Sign Location:

The Sign Or Symbol Required Shall Be Affixed To The
Electric Box Attached To The Exterior Of The
Residential Structure.
See Section 1265.5 For Further Notes On Sign Location.

See Title 19 NYCRR Part 1265 For Other Specs

2020 Residential Code Of New York State

Climatic & Geographic Design Criteria Table R301.2(1)

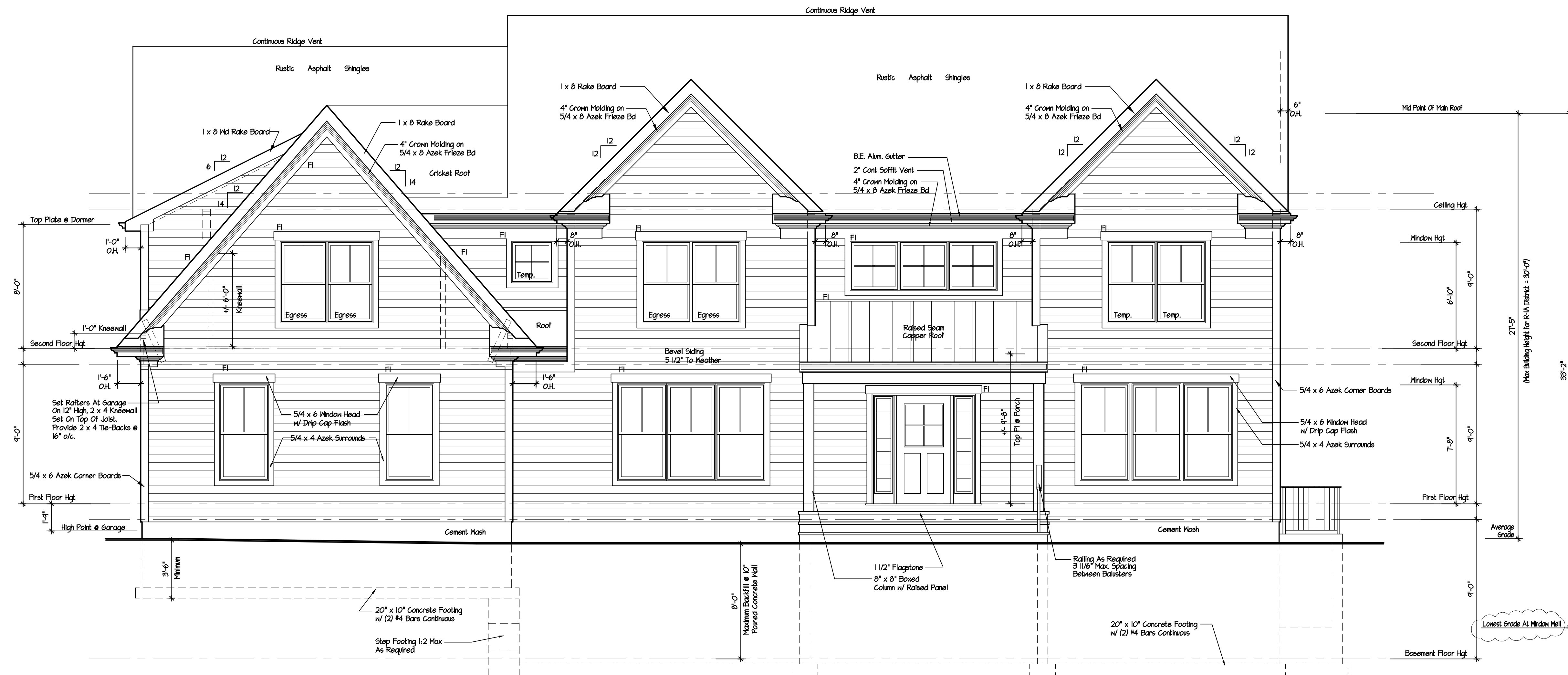
Ground Snow Load	Wind Design Speed (mph)	Topographic Effects	Special Wind Region	Wind-Borne Debris Zone	Seismic Design Category	Subject To Damage From Frost The Depth	Winter Design Temp.	Ice Shed Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temperature
30 lb/ft	115 - 120 mph	No	Yes	Zone I	B	Severe	42°	Yes	No	1500 or Less	52.2 F

Manual J Design Criteria

Elevation	Latitude	Winter Heating	Summer Cooling	Altitude Correction Factor	Indoor Design Temperature	Design Temperature Cooling	Heating Temperature Difference
436	41	7	87	1	68	75	61
Cooling Temperature Difference	Wind Velocity Heating	Wind Velocity Cooling	Coincident Wet Bulb	Daily Range	Winter Humidity	Summer Humidity	
12	20.4	7.5	7.5	M	30	55	

Schedule For Proposed Building Material and Color Scheme

Name:	Type:	Color:	
Siding:	Cedar Clapboard	Bevel Siding	White
Windows:	Marvin (Integrity Series)	Double Hung	Black
Trim:	Azek	Composite	White
Front Door:	n/a	Composite	Black
Garage Door:	n/a	Composite	White
Roofing:	GAF	Asphalt	Pewter
Shutters:	n/a	n/a	n/a
Gutter/ Leaders:	n/a	Aluminum	White



Front Elevation
Scale: 1/4" = 1'-0"

Square Footage

First Floor	2,533 sf
Second Floor	3,331 sf
Total	5,864 sf

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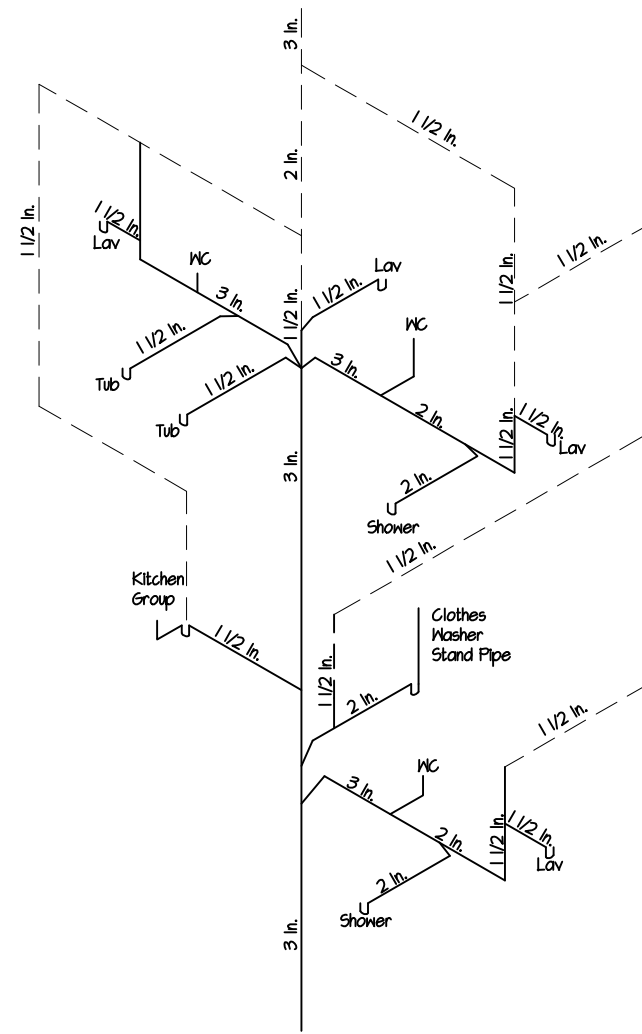


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Residence For
45 Byram Ridge Rd
Armonk NY

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Drawing	OF 08

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Typical Plumbing Riser Diagram

Scale: None
 Riser diagram taken from "2020 Residential Code Of New York State" Figure N5, Refer to diagram for all other information

Note:
 Plumbing riser diagram shown is generic, and should be used only for informational purposes. Plumbing contractor to install plumbing system as per state & local building codes.

Notes:

- All Footings To Bear 12" Below Solid Undisturbed Earth
- All Framing Members To Be # 2 Douglas Fir-Larch Or Better
- Double Frame Under All Partitions Parallel To Framing
- Double All Box Joist At Ceiling Type Windows
- If Tile Floor Is To Be MID Job Consult Architect For Additional Framing Required

Legend:

- 2 x Wood Post (Match Beam Width or As Noted)
- Smoke Detector w/ Battery Back-Up
- Heat Detector w/ Battery Back-Up
- Carbon Monoxide Det w/ Battery Back-Up
- Surface Mounted Light Fixture

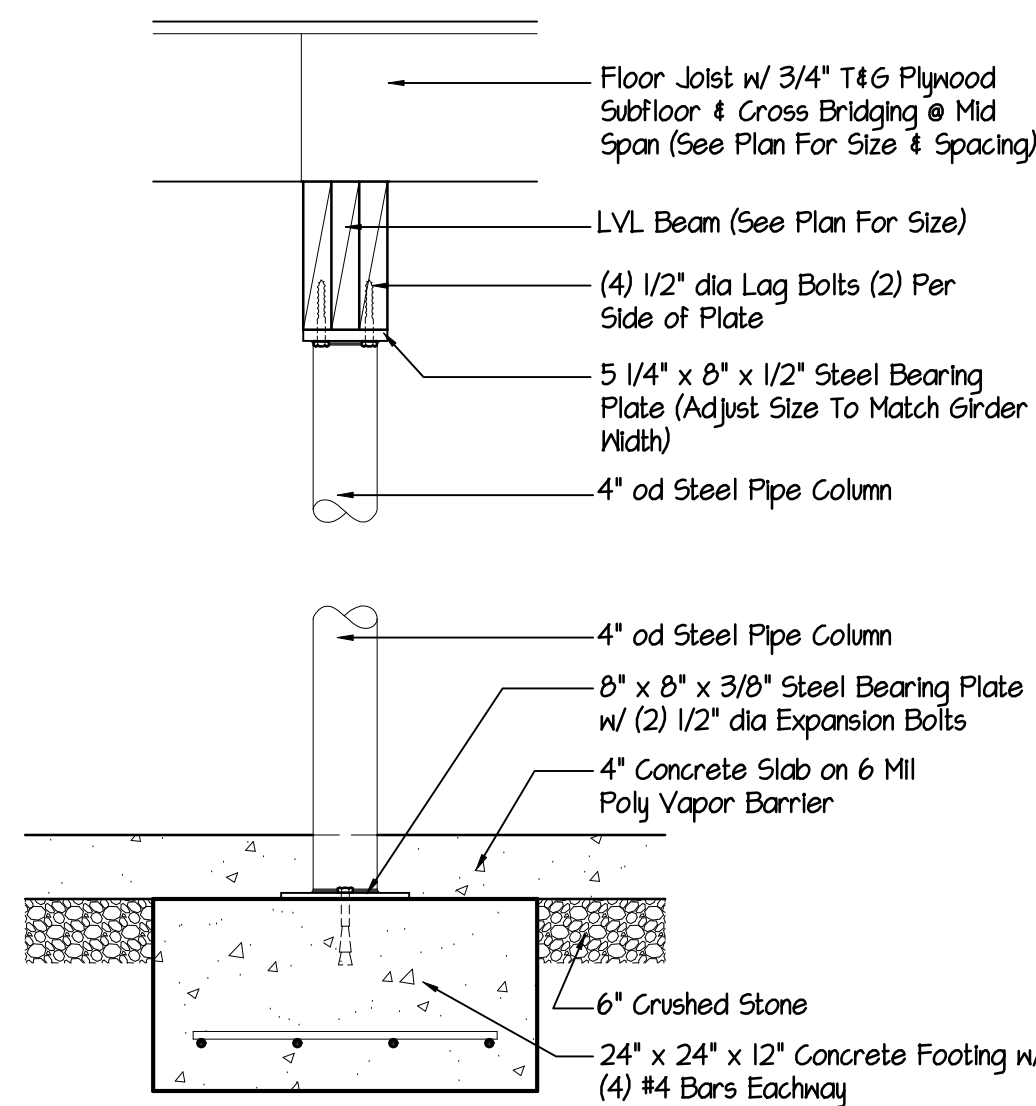
Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Har
Up To 4'-0"	(2) 2 x 10 Har
Up To 6'-0"	(3) 2 x 10 Har

Note:
 Unless Otherwise Noted On Plans

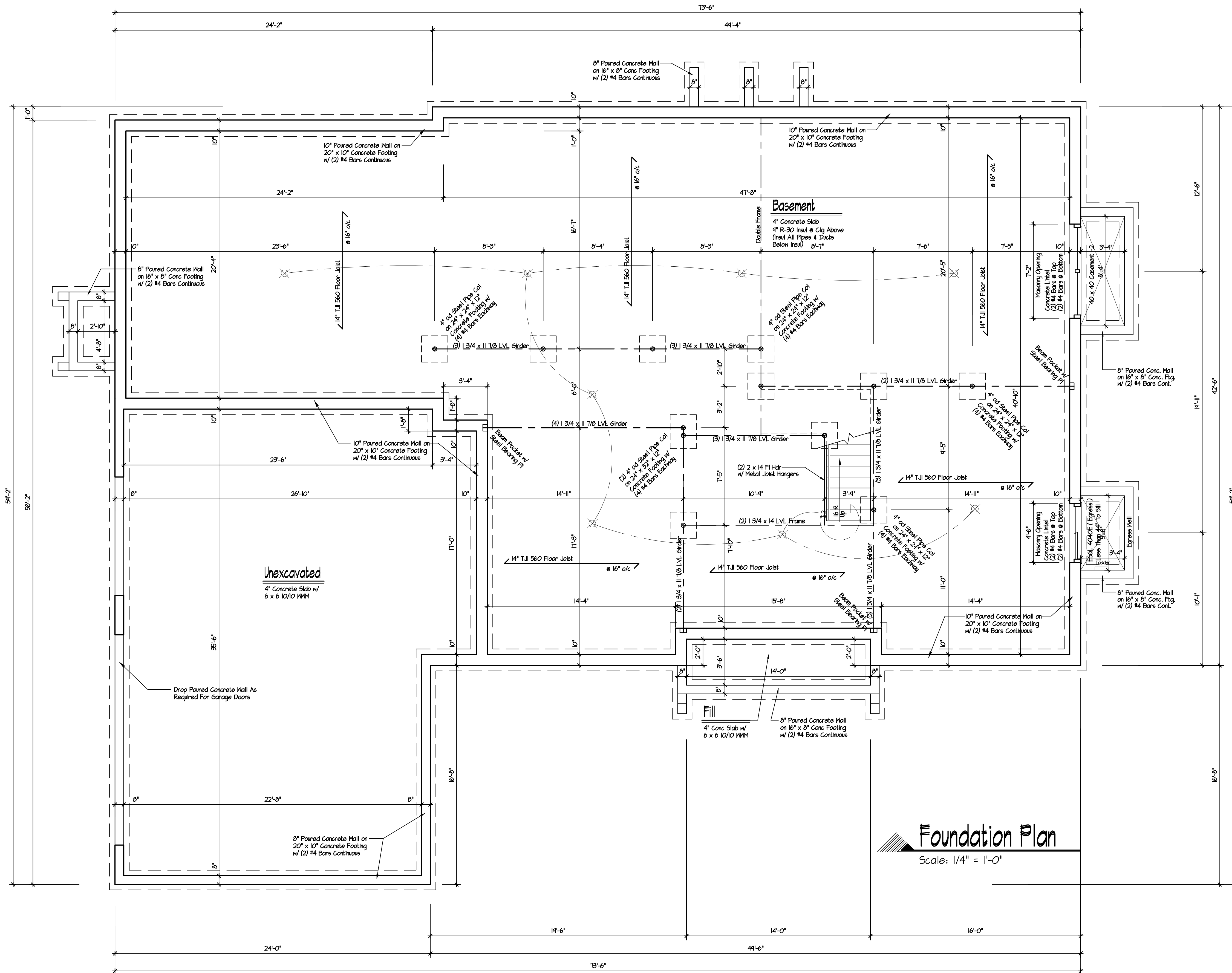
Egress Well Note:

- 8" Paired Concrete Wall w/ (2) #4 Bars Continuous
- Crushed Gravel Base w/ 2" Drain To Daylight Or Drywell
- Aluminum Ladder
- Minimum Width 3'-0" Per Code and 4 sq. ft.
- Provide Light Weight Aluminum Grate If required by Local Code



LVL Beam Girder Detail

Scale: 1" = 1'-0"



Foundation Plan

Scale: 1/4" = 1'-0"

Do Not Scale Prints

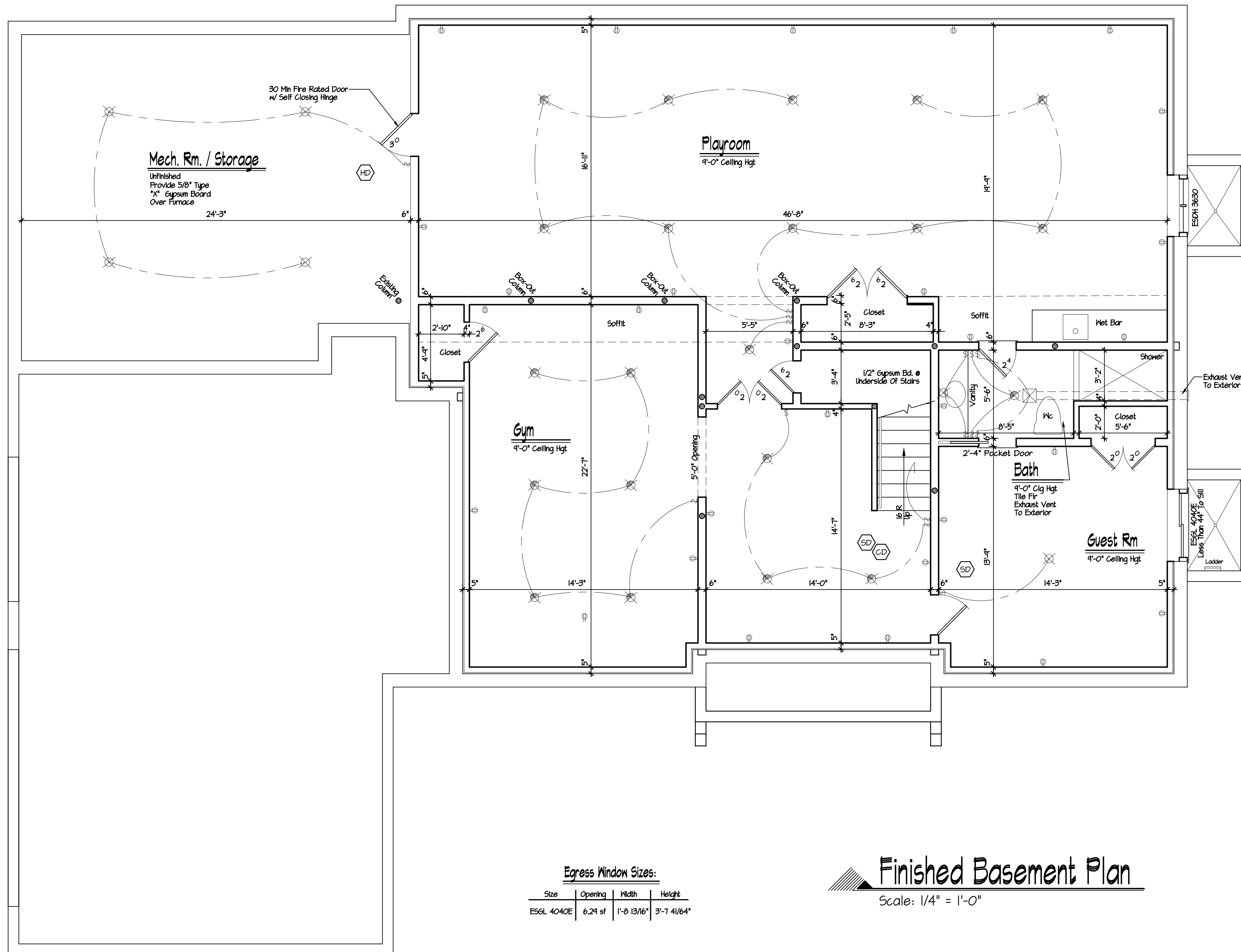
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Residence For
45 Byram Ridge Rd
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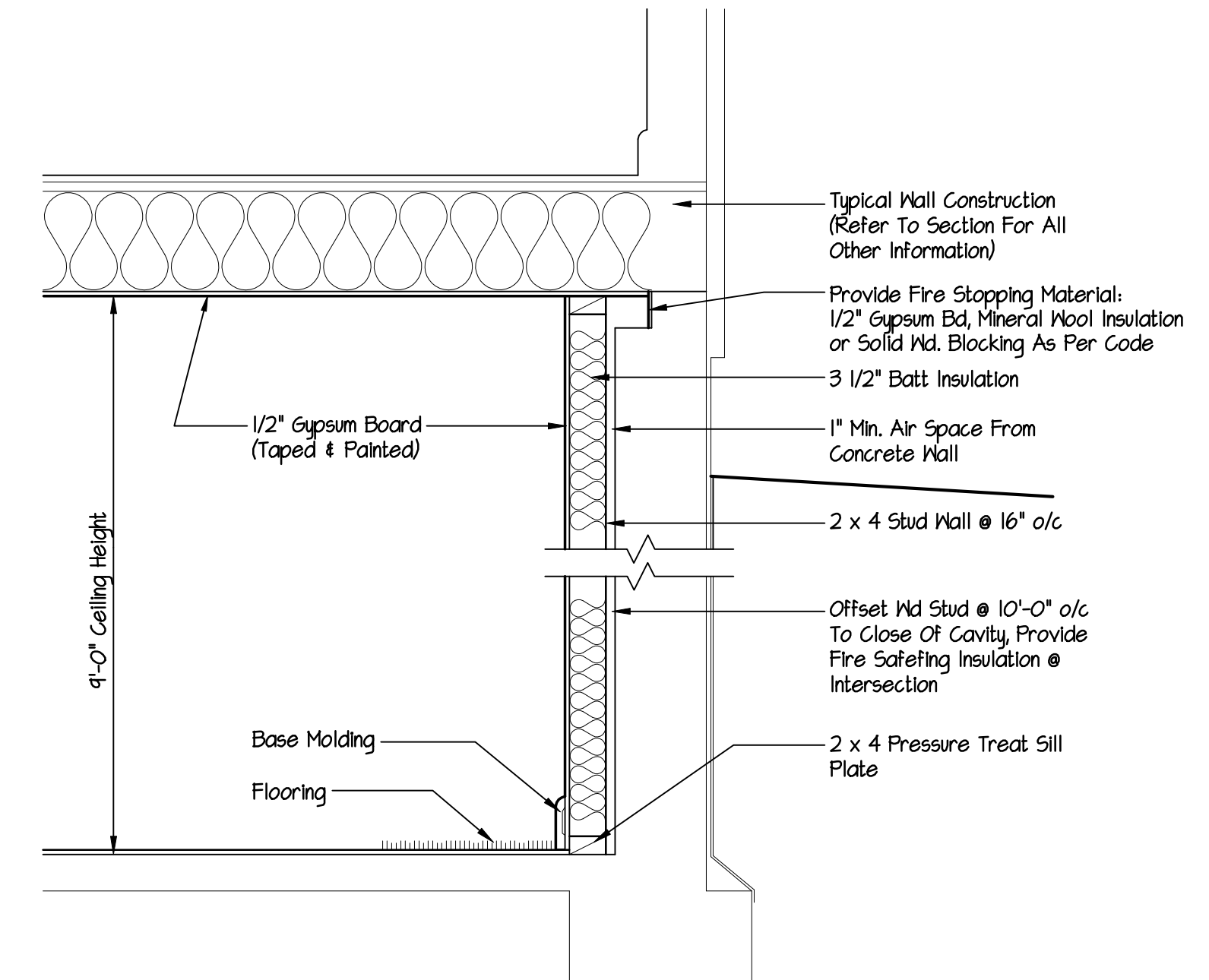


Finished Basement Plan
Scale: 1/4" = 1'-0"

Egress Well Note:

- 8" Poured Concrete Wall
- 16" x 8" Concrete Footing w/ (2) #4 Bars Continuous
- Crushed Gravel Base w/ 2" Drain To Daylight Or Drywell
- Aluminum Ladder
- Minimum Width 3'-0" Per Code and 4 sq. ft
- Provide Light Weight Aluminum Grate if required by Local Code

- Legend:**
- SD Smoke Detector w/ Battery Back-up
 - HD Heat Detector w/ Battery Back-up
 - CD Carbon Monoxide Det w/ Battery Back-up
 - ☒ Recessed Light Fixture
 - ☒ Surface Mounted Light Fixture
 - ⊕ Duplex Outlet
 - ⊕ Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)
 - ⊕ Exhaust Fan



Finished Basement Detail
Scale: 3/4" = 1'-0"

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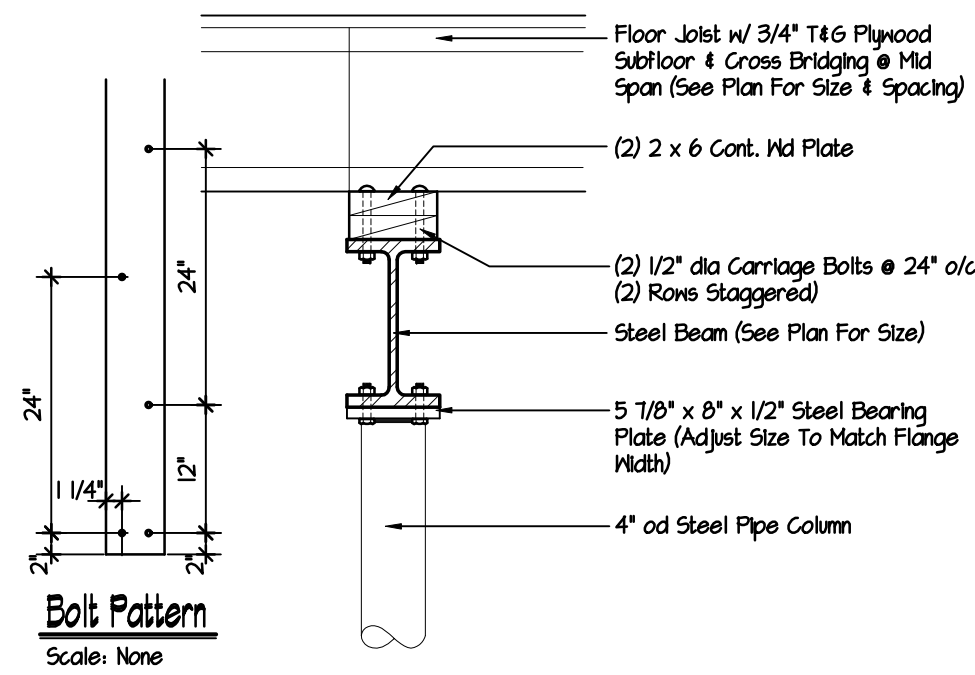


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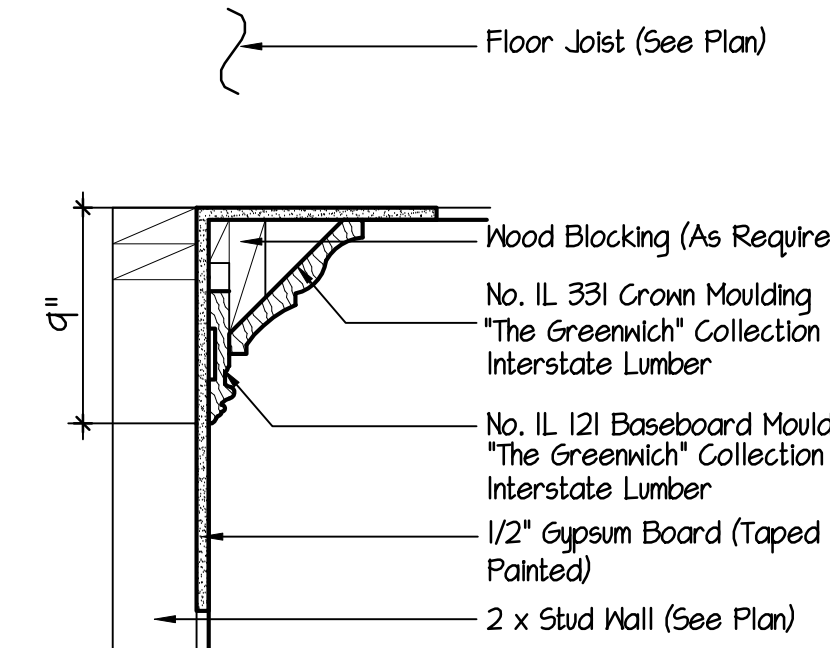
Residence For
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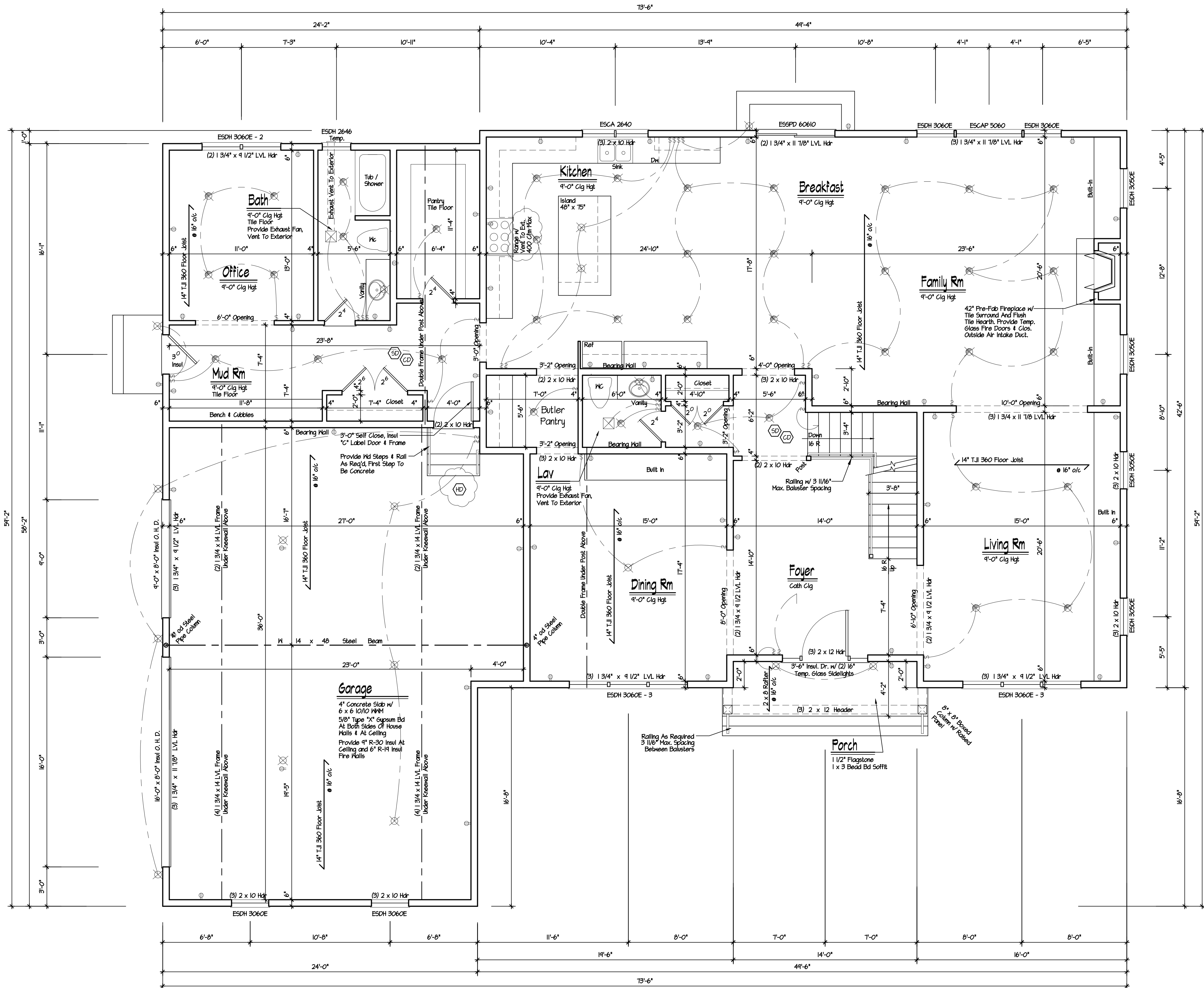
Steel Beam Detail @ Garage
Scale: 1" = 1'-0"



Interior Crown Detail
Scale: 1" = 1'-0"

- Notes:**
- All Framing Members To Be # 2 Douglas Fir- Larch Or Better
 - Double Frame Under All Partitions Parallel To Framing
 - If The Floor Is To Be Mud Job Consult Architect For Additional Framing Required
- Legend:**
- 2 x Wood Post (Match Beam Width or As Noted)
 - Smoke Detector w/ Battery Back-Up
 - Carbon Monoxide Det w/ Battery Back-Up
 - Heat Detector w/ Battery Back-Up
 - Recessed Light Fixture
 - Surface Mounted Light Fixture
 - Duplex Outlet
 - Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)
 - Exhaust Fan
- Wood Header Schedule**
- | Span | Header Size |
|-------------|----------------|
| Up To 3'-0" | (2) 2 x 6 Hdr |
| Up To 4'-0" | (2) 2 x 10 Hdr |
| Up To 6'-0" | (3) 2 x 10 Hdr |
- Note: Unless Otherwise Noted On Plans

- Window Note:**
- All Glazing To Be Low "E" Insulated Glass w/ Minimum R-31 (U=0.32).
 - All Windows Within 18" Of Floor To Have Tempered Glass (Double Hungs-Bottom Sash Only, All Others Full Unit).
 - All Glazing In Doors & Windows Enclosing Hot Tubs, Hot Tubs, Saunas, Steam Rooms, Bathrooms and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
 - All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 SF Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
 - All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.



First Floor Plan
Scale: 1/4" = 1'-0"

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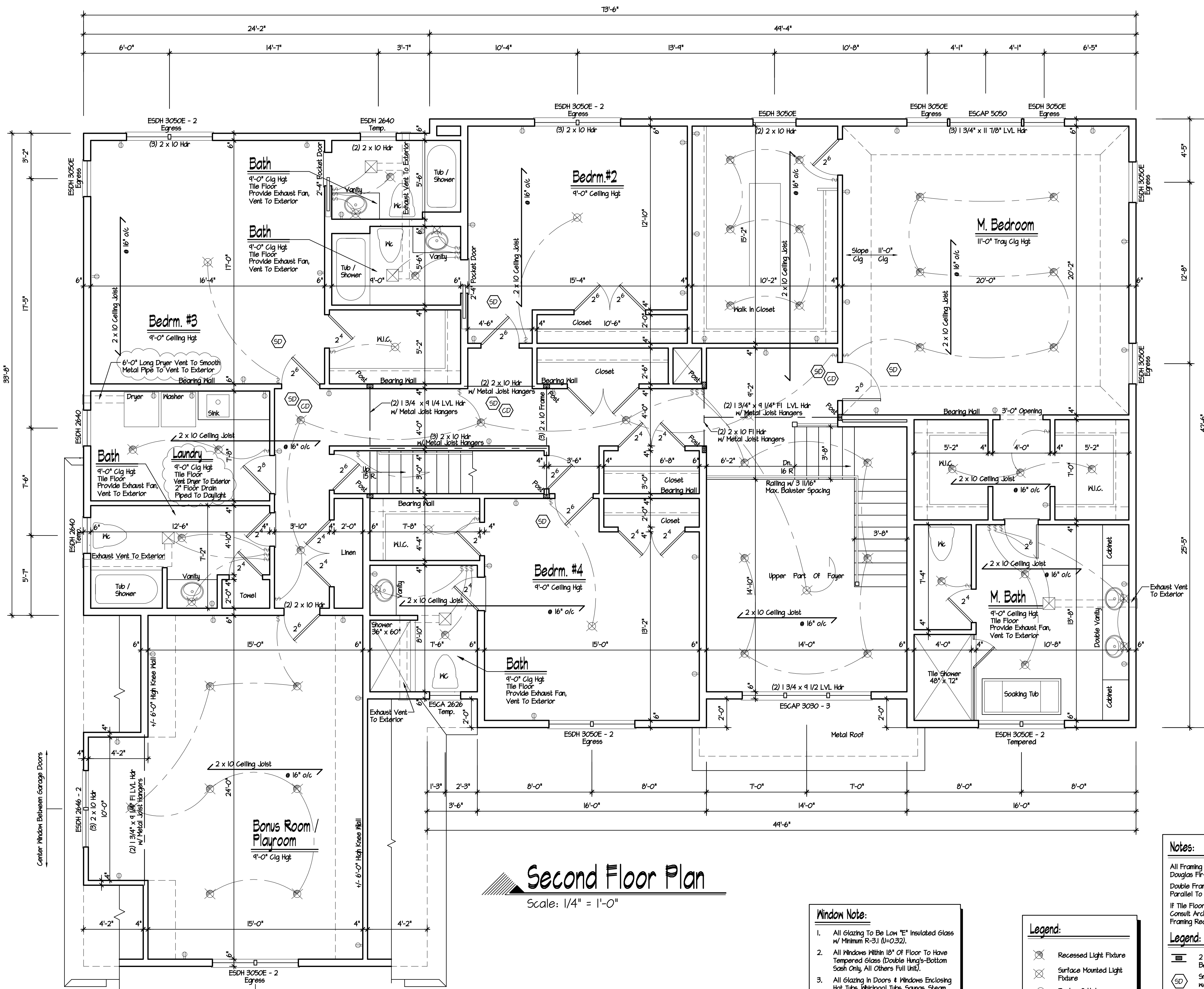


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Second Floor Plan
Scale: 1/4" = 1'-0"

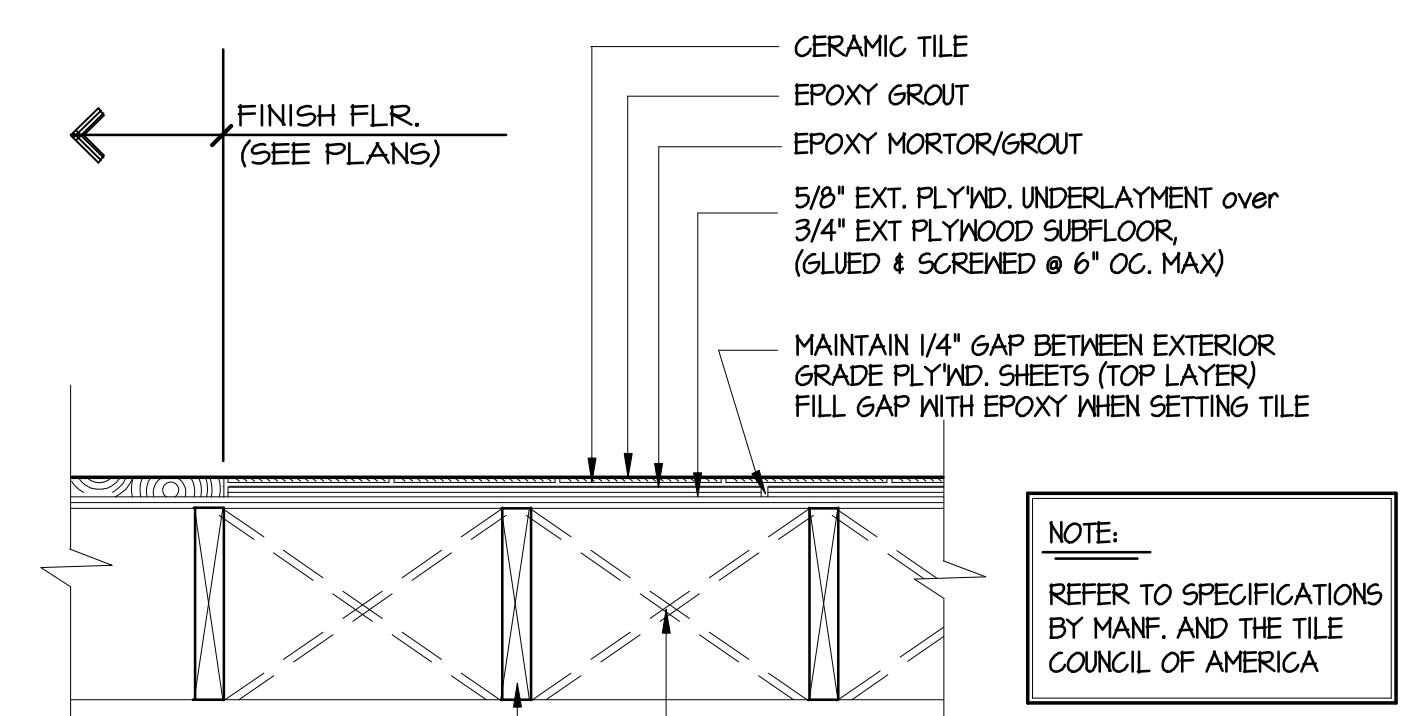
Egress Window Sizes:

Size	Opening	Width	Height
ESDH 3050E	6.75 sf	3'-2 9/16"	2'-4 1/32"

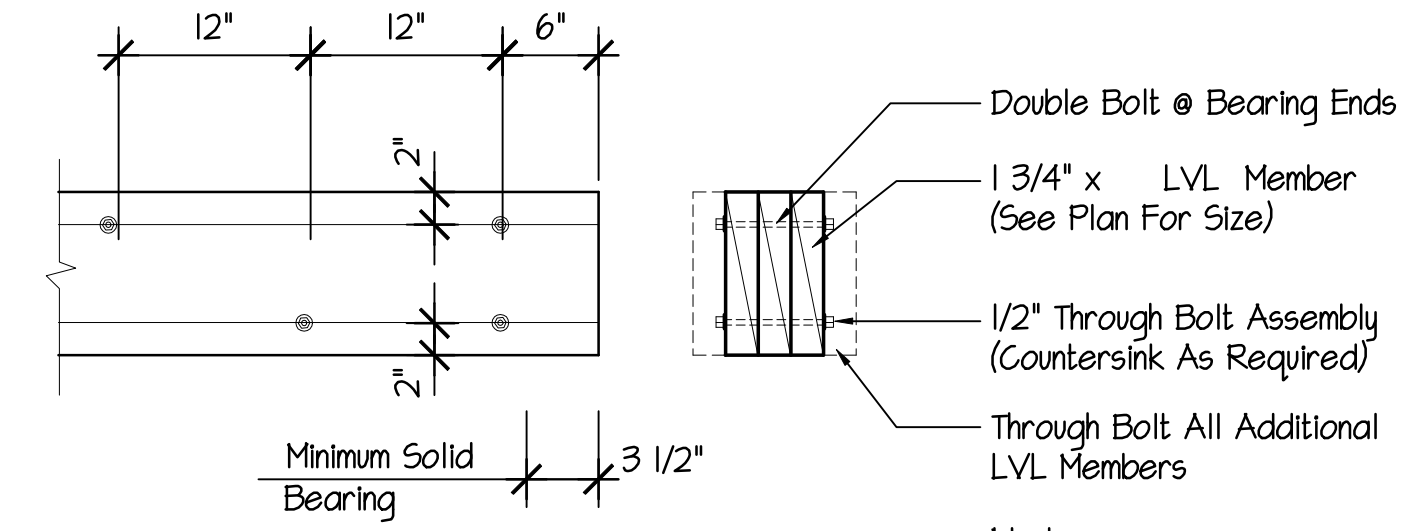
- Window Note:**
- All Glazing To Be Low "E" Insulated Glass w/ Minimum R-3 (U=0.32).
 - All Windows Within 18" Of Floor To Have Tempered Glass (Double Hung's-Bottom Sash Only, All Others Full Unit).
 - All Glazing In Doors & Windows Enclosing Hot Tubs, Hot/Pool Tubs, Saunas, Steam Rooms, Bathtubs and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
 - All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 sq Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
 - All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.

- Legend:**
- ⊗ Recessed Light Fixture
 - ⊗ Surface Mounted Light Fixture
 - ⊕ Duplex Outlet
 - ⊕ Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)
 - ⊕ Exhaust Fan

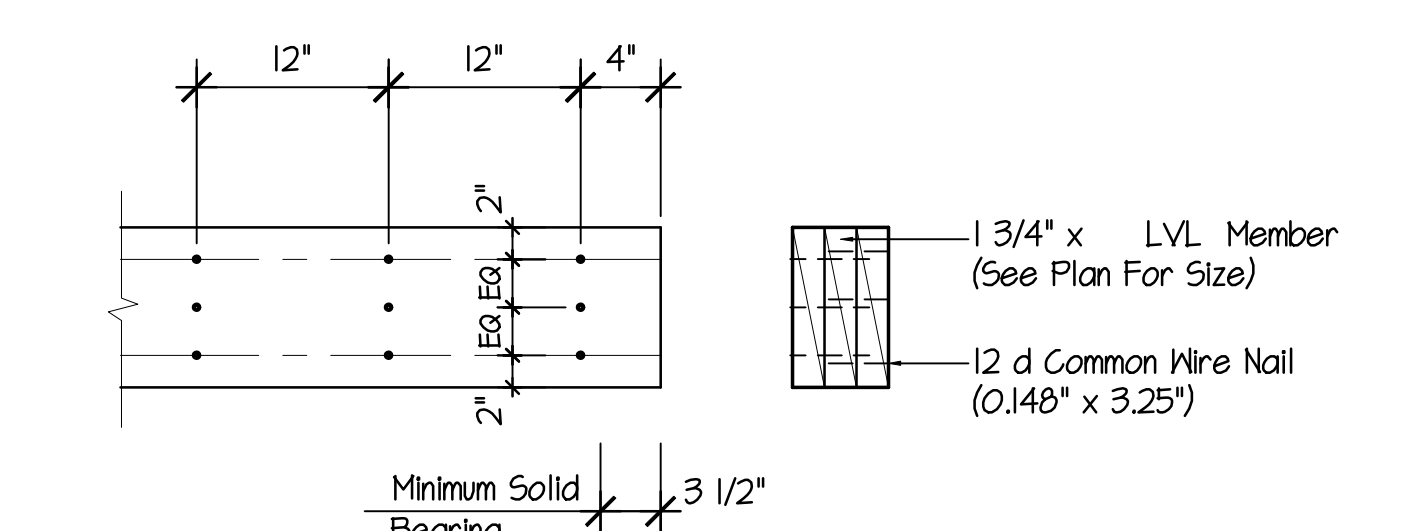
- Notes:**
- All Framing Members To Be # 2 Douglas Fir - Larch Or Better Double Frame Under All Partitions Parallel To Framing
- If The Floor Is To Be MID Job Consult Architect For Additional Framing Required
- Legend:**
- ⊕ 2 x Hood Post (Match Beam Width or As Noted)
 - ⊕ Smoke Detector w/ Battery Back-Up
 - ⊕ Carbon Monoxide Det w/ Battery Back-Up
- Wood Header Schedule**
- | Span | Header Size |
|-------------|----------------|
| Up To 3'-0" | (2) 2 x 8 Hdr |
| Up To 4'-0" | (2) 2 x 10 Hdr |
| Up To 6'-0" | (3) 2 x 10 Hdr |
- Note: Unless Otherwise Noted On Plans



Tile Floor Detail (Thin Set)
Scale: None

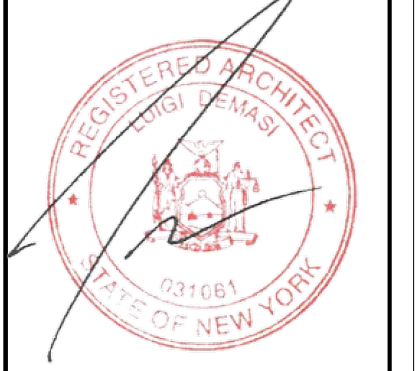


LVL Beam Detail (Bolted)
Scale: None



LVL Beam Detail (Nailed)
Scale: 1" = 1'-0"

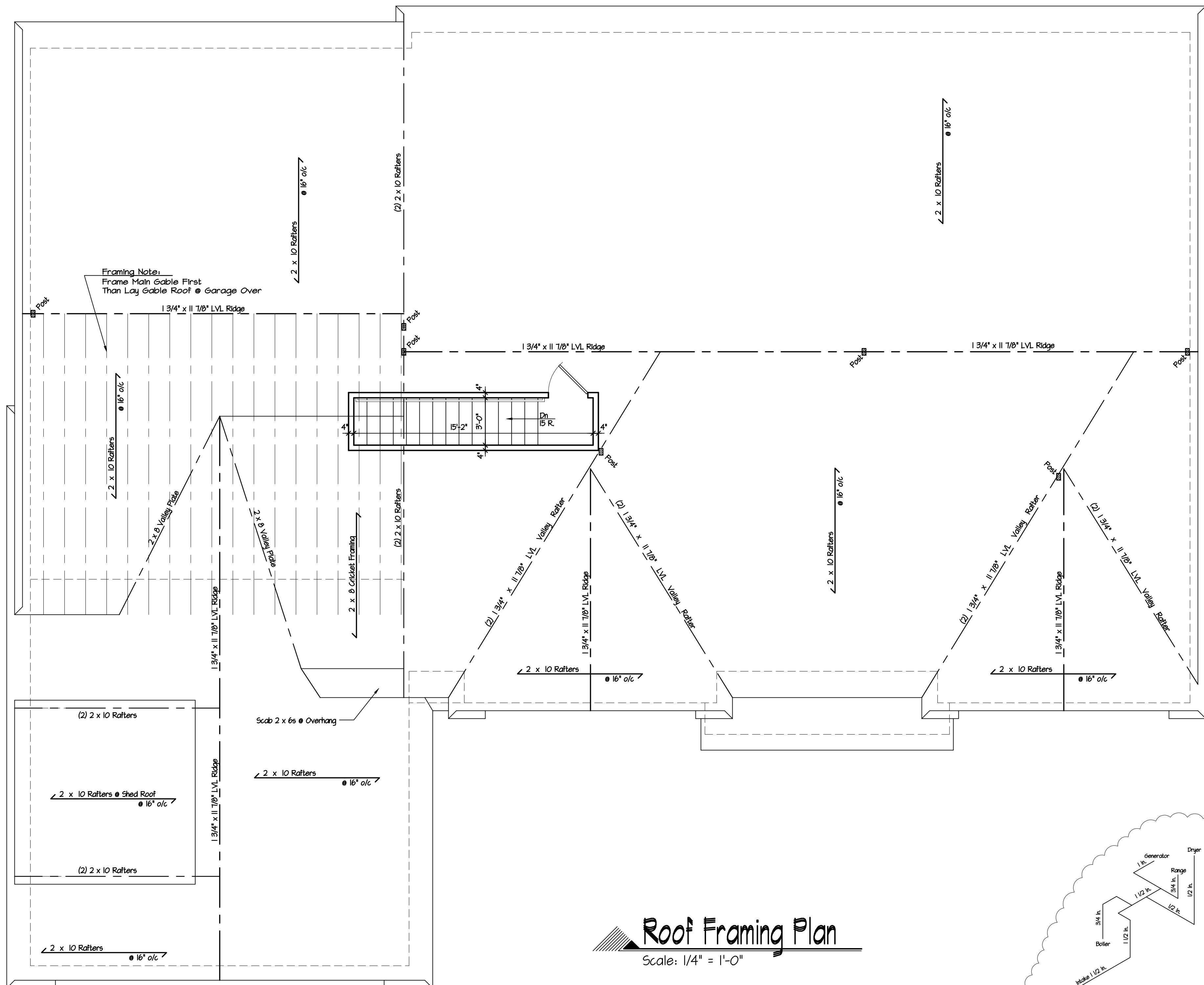
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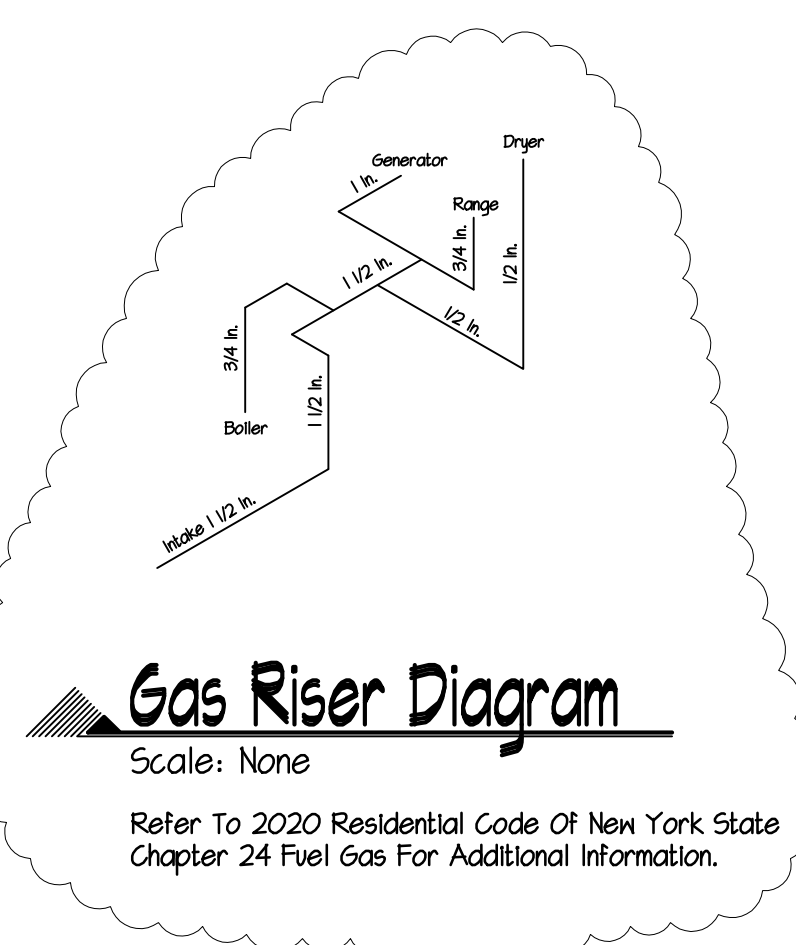
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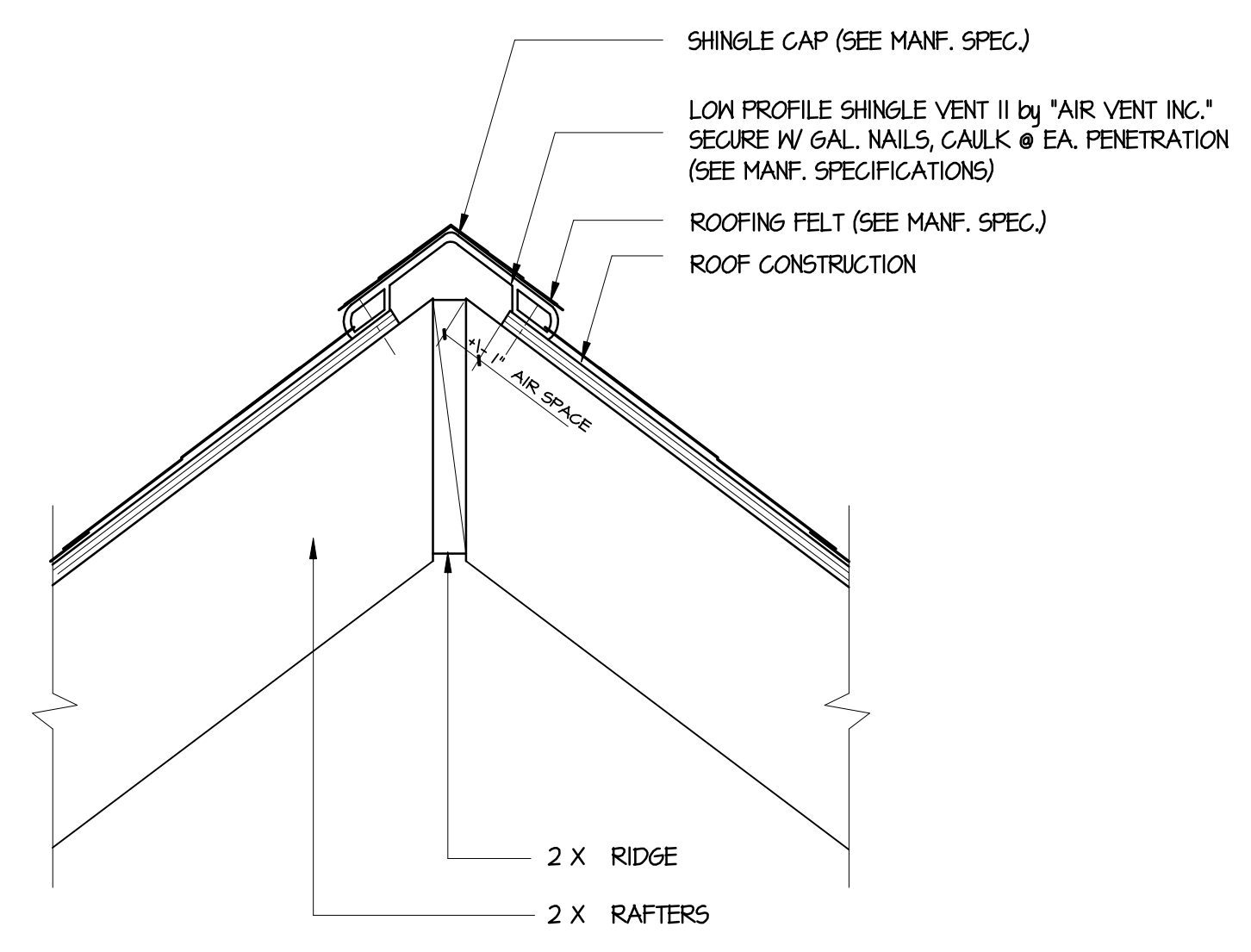


Framing Note:
 Frame Main Gable First
 Than Lay Gable Roof @ Garage Over

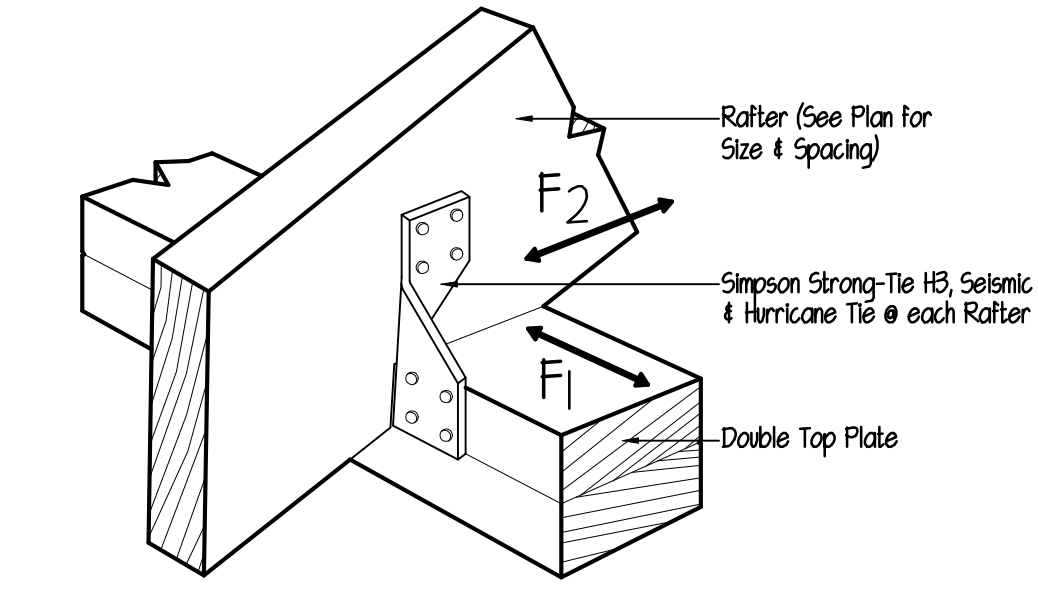
Roof Framing Plan
 Scale: 1/4" = 1'-0"



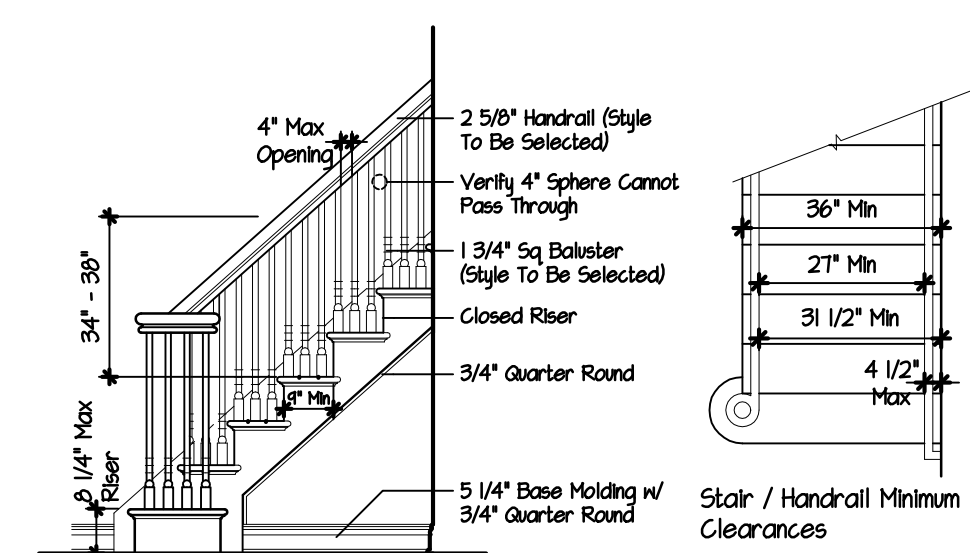
Gas Riser Diagram
 Scale: None
 Refer To 2020 Residential Code Of New York State Chapter 24 Fuel Gas For Additional Information.



Ridge Vent Detail
 NO SCALE



Rafter Tie Down Detail
 Scale: None



Stair Clearance Detail
 Scale: None

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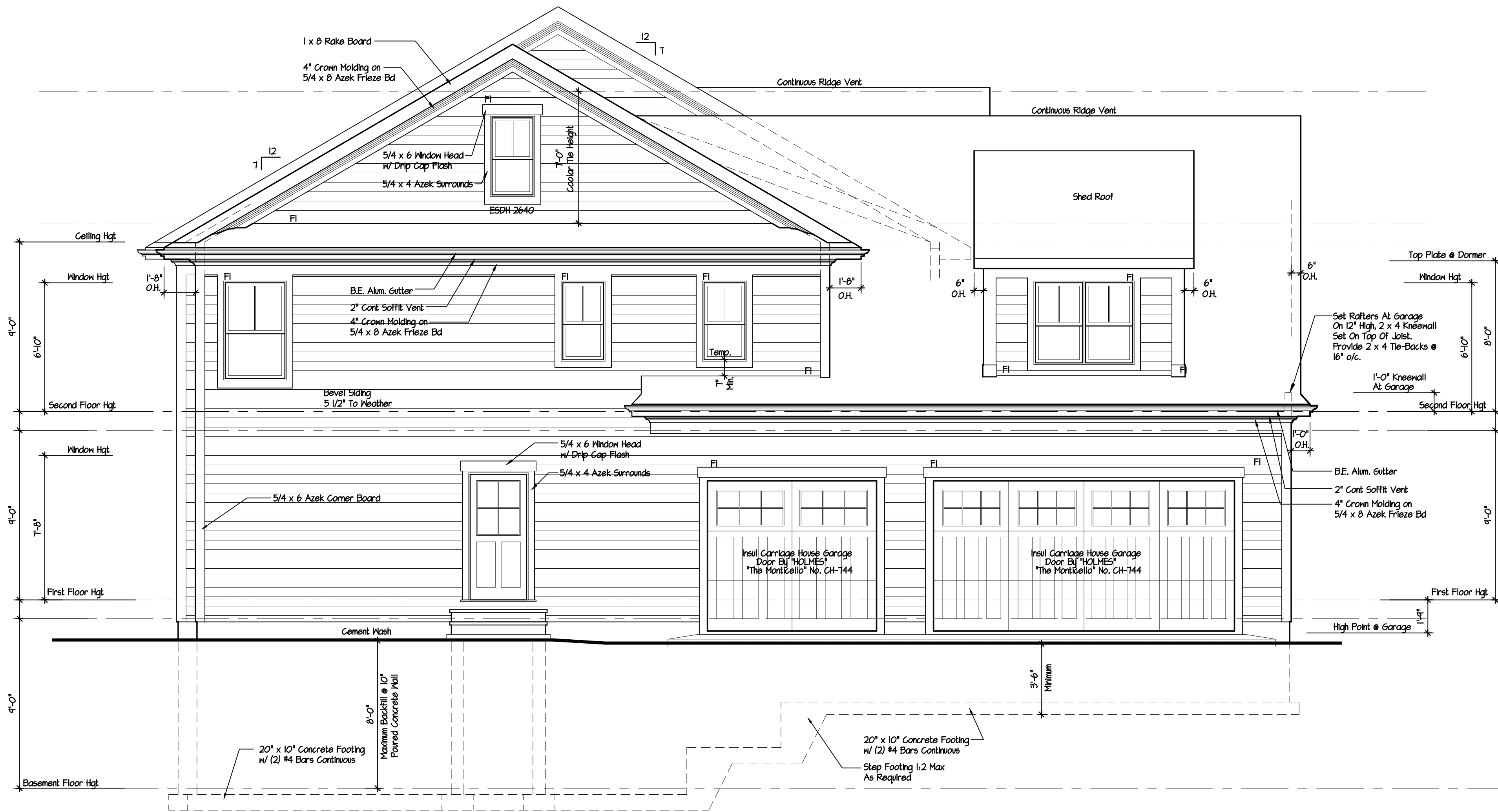


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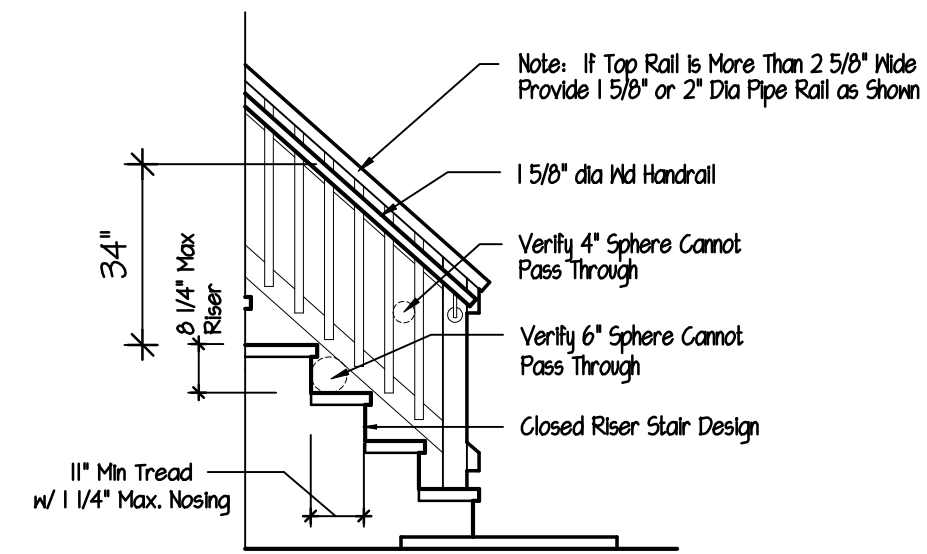
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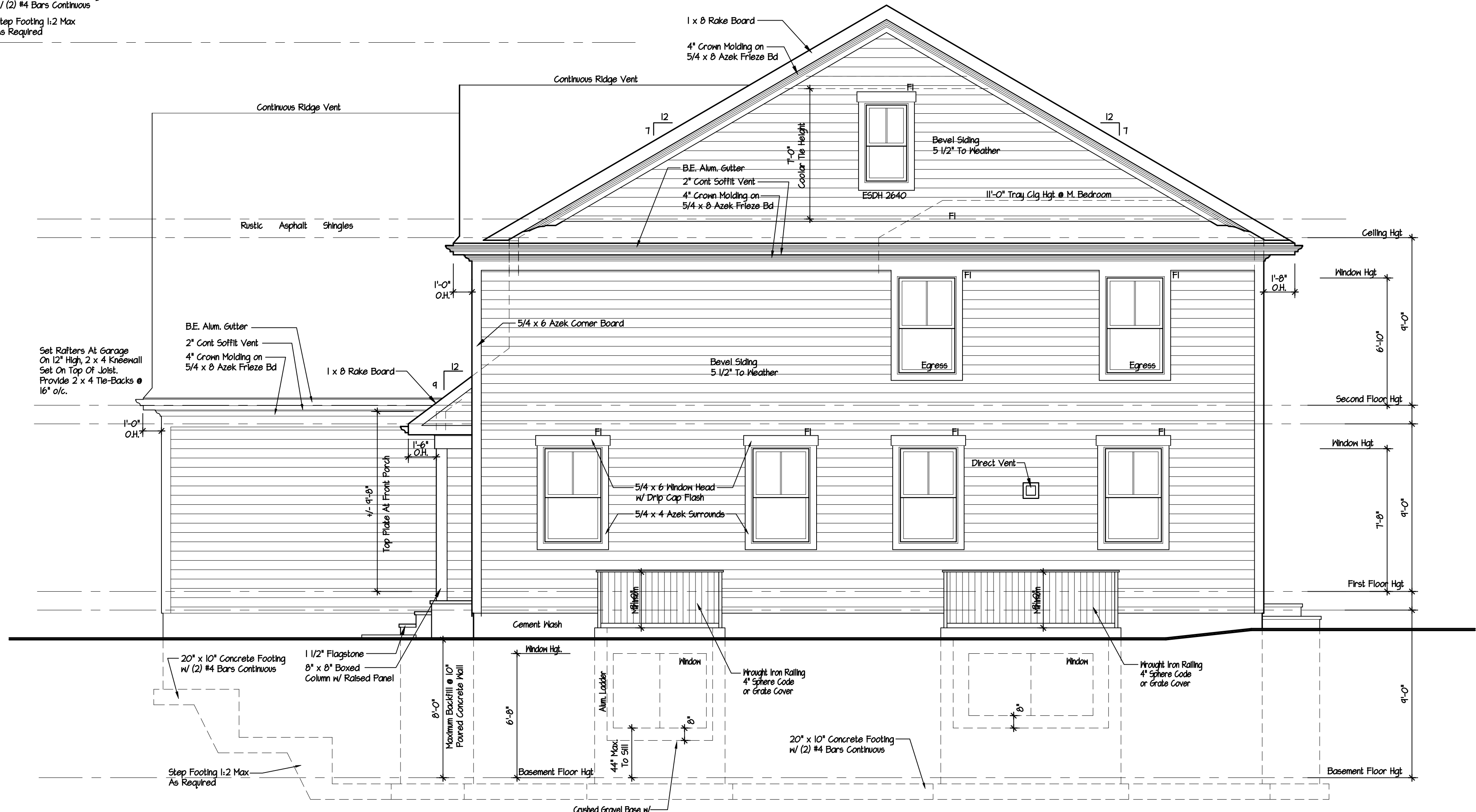
Left Side Elevation
Scale: 1/4" = 1'-0"



Exterior Handrail & Stair Detail
No Scale

Schedule For Proposed Building Material and Color Scheme

Name:	Type:	Color:	
Siding:	Cedar Clapboard	Bevel Siding	White
Windows:	Marvin (Integrity Series)	Double Hung	Black
Trim:	Azek	Composite	White
Front Door:	n/a	Composite	Black
Garage Door:	n/a	Composite	White
Roofing:	GAF	Asphalt	Pewter
Shutters:	n/a	n/a	n/a
Gutter/ Leaders:	n/a	Aluminum	White



Right Side Elevation
Scale: 1/4" = 1'-0"

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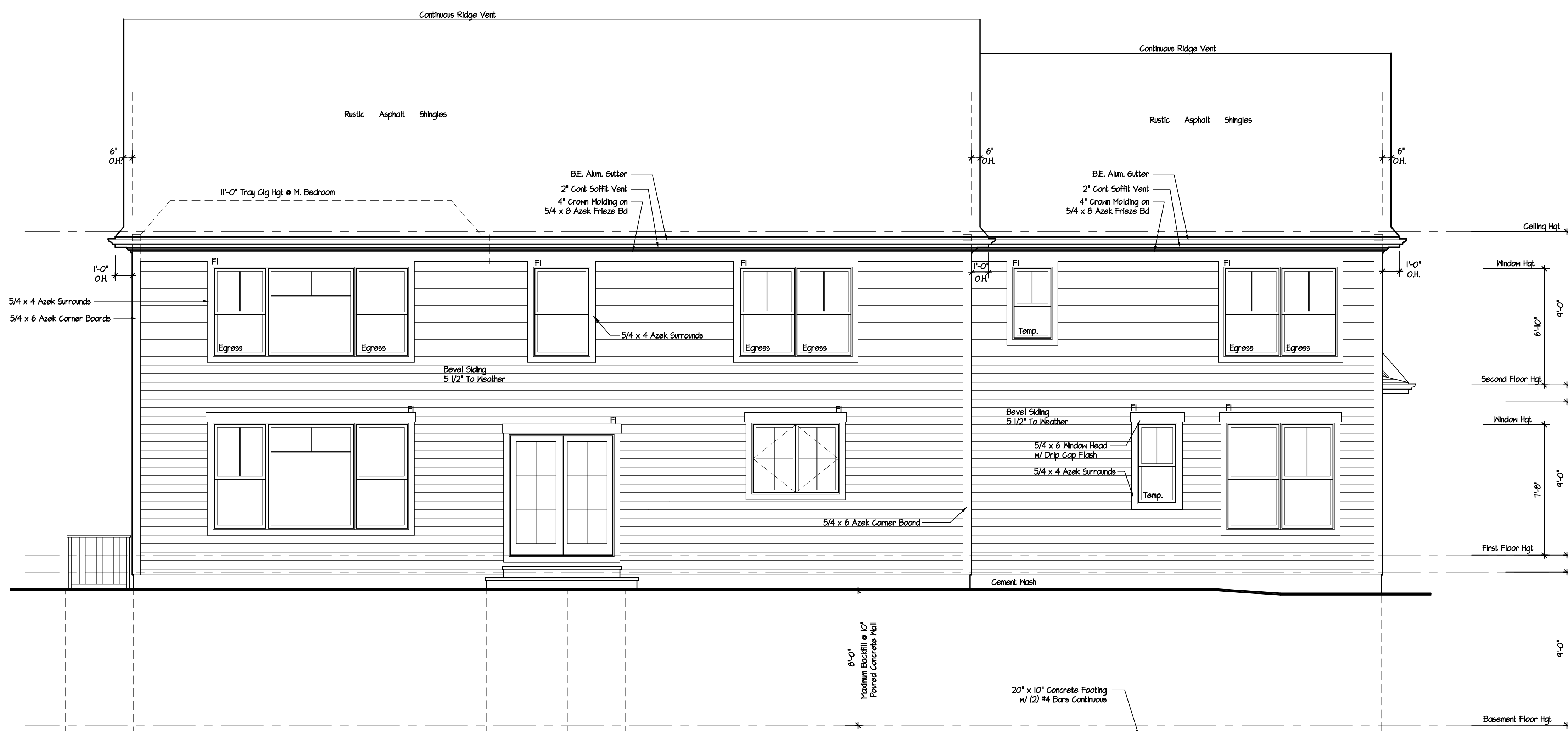
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Residence For
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Schedule For Proposed Building Material and Color Scheme

	Name:	Type:	Color:
Siding:	Cedar Clapboard	Bevel Siding	White
Windows:	Marvin (Integrity Series)	Double Hung	Black
Trim:	Azek	Composite	White
Front Door:	n/a	Composite	Black
Garage Door:	n/a	Composite	White
Roofing:	GAF	Asphalt	Pewter
Shutters:	n/a	n/a	n/a
Gutter/ Leaders:	n/a	Aluminum	White



Rear Elevation
Scale: 1/4" = 1'-0"

ALLOWABLE HOLES - TJI® Joists

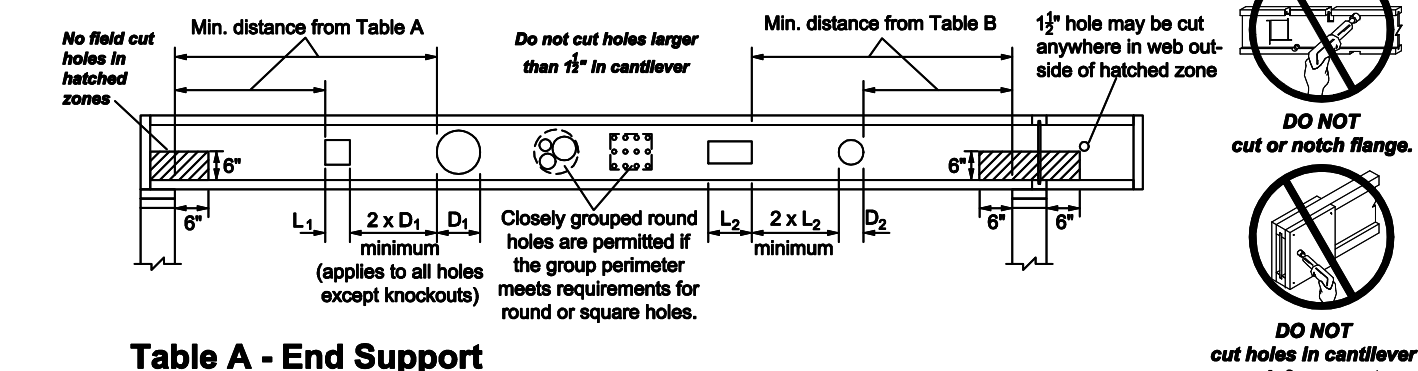


Table A - End Support
Minimum distance from edge of hole to nearest end support

JOIST DEPTH	TJI#	ROUND HOLE SIZE							SQUARE OR RECTANGULAR HOLE SIZE						
		2"	3"	4"	6"	8"	10"	12"	2"	3"	4"	6"	8"	10"	12"
8"	110	1.5"	1.5"	2.0"	3.0"	3.0"	3.0"	3.0"	1.5"	1.5"	2.0"	3.0"	3.0"	3.0"	3.0"
	210	1.5"	2.0"	2.0"	3.0"	3.0"	3.0"	3.0"	1.5"	2.0"	2.0"	3.0"	3.0"	3.0"	3.0"
	230	1.5"	2.0"	2.0"	3.0"	3.0"	3.0"	3.0"	1.5"	2.0"	2.0"	3.0"	3.0"	3.0"	3.0"
10"	110	1.5"	1.5"	1.5"	2.0"	2.0"	2.0"	2.0"	1.5"	1.5"	1.5"	2.0"	2.0"	2.0"	2.0"
	210	1.5"	1.5"	1.5"	2.0"	2.0"	2.0"	2.0"	1.5"	1.5"	1.5"	2.0"	2.0"	2.0"	2.0"
	230	1.5"	1.5"	1.5"	2.0"	2.0"	2.0"	2.0"	1.5"	1.5"	1.5"	2.0"	2.0"	2.0"	2.0"
14"	110	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
	210	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
	230	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
18"	110	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
	210	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
	230	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
20"	110	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
	210	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
	230	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"

Table B - Intermediate or Cantilever Support
Minimum distance from edge of hole to inside face of nearest intermediate or cantilever support

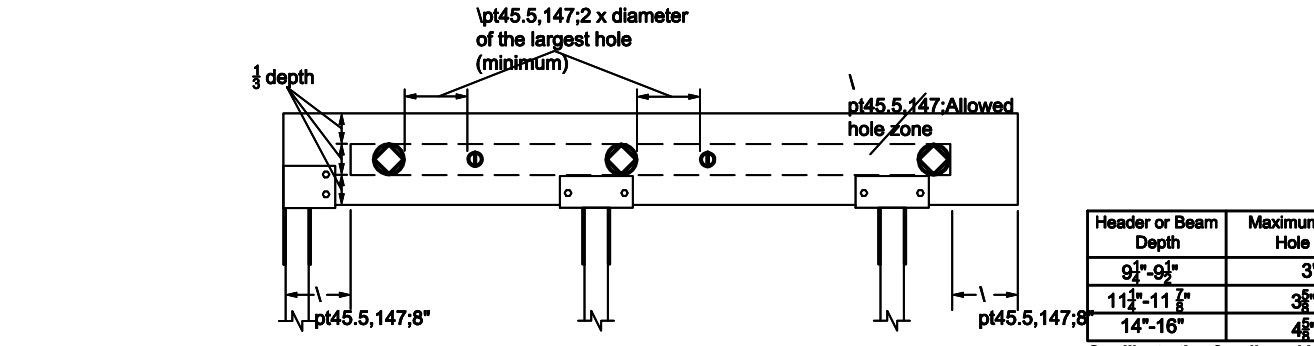
JOIST DEPTH	TJI#	ROUND HOLE SIZE							SQUARE OR RECTANGULAR HOLE SIZE						
		2"	3"	4"	6"	8"	10"	12"	2"	3"	4"	6"	8"	10"	12"
8"	110	2.0"	2.0"	3.0"	4.0"	4.0"	4.0"	4.0"	2.0"	2.0"	3.0"	4.0"	4.0"	4.0"	4.0"
	210	2.0"	2.0"	3.0"	4.0"	4.0"	4.0"	4.0"	2.0"	2.0"	3.0"	4.0"	4.0"	4.0"	4.0"
	230	2.0"	2.0"	3.0"	4.0"	4.0"	4.0"	4.0"	2.0"	2.0"	3.0"	4.0"	4.0"	4.0"	4.0"
10"	110	1.5"	1.5"	1.5"	2.0"	2.0"	2.0"	2.0"	1.5"	1.5"	1.5"	2.0"	2.0"	2.0"	2.0"
	210	1.5"	1.5"	1.5"	2.0"	2.0"	2.0"	2.0"	1.5"	1.5"	1.5"	2.0"	2.0"	2.0"	2.0"
	230	1.5"	1.5"	1.5"	2.0"	2.0"	2.0"	2.0"	1.5"	1.5"	1.5"	2.0"	2.0"	2.0"	2.0"
14"	110	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
	210	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
	230	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
18"	110	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
	210	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
	230	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
20"	110	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
	210	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"
	230	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"	1.5"

- Rectangular holes based on measurement of longest side.
- Holes may be located vertically anywhere within the web. Leave 1" of web (minimum) at top and bottom of hole.
 - Knockouts are located in web at approximately 12" on-center; they do not affect hole placement.
 - For simple span (5' minimum), uniformly loaded joists used in residential applications, one maximum size round hole may be located at the center of the joist span provided that no other holes occur in the joist.
 - Distances are based on the maximum uniform loads from current Level specifier's guides. For other load conditions or hole configurations use iLevel TJI-Beam software or contact your iLevel representative.

See Weyerhaeuser For Other Specifications
ALLOWABLE HOLES - TJI Joists
NO SCALE

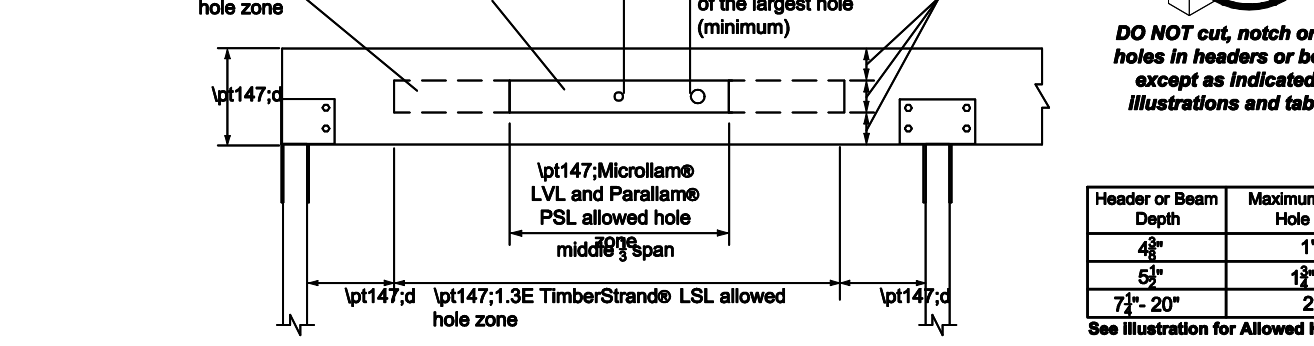
ALLOWABLE HOLES - Headers and Beams

1.5SE TimberStrand® LSL Headers and Beams



- General Notes**
- Allowed hole zone suitable for headers and beams with uniform and/or concentrated loads.
 - Round holes only.
 - No holes in headers or beams in plank orientation.

Other iLevel® Trus Joists Headers and Beams



- General Notes**
- Allowed hole zone suitable for headers and beams with uniform loads only.
 - Round holes only.
 - No holes in cantilevers.
 - No holes in headers or beams in plank orientation.

See Weyerhaeuser For Other Specifications
ALLOWABLE HOLES - Headers & Beams
NO SCALE

Do Not Scale Prints

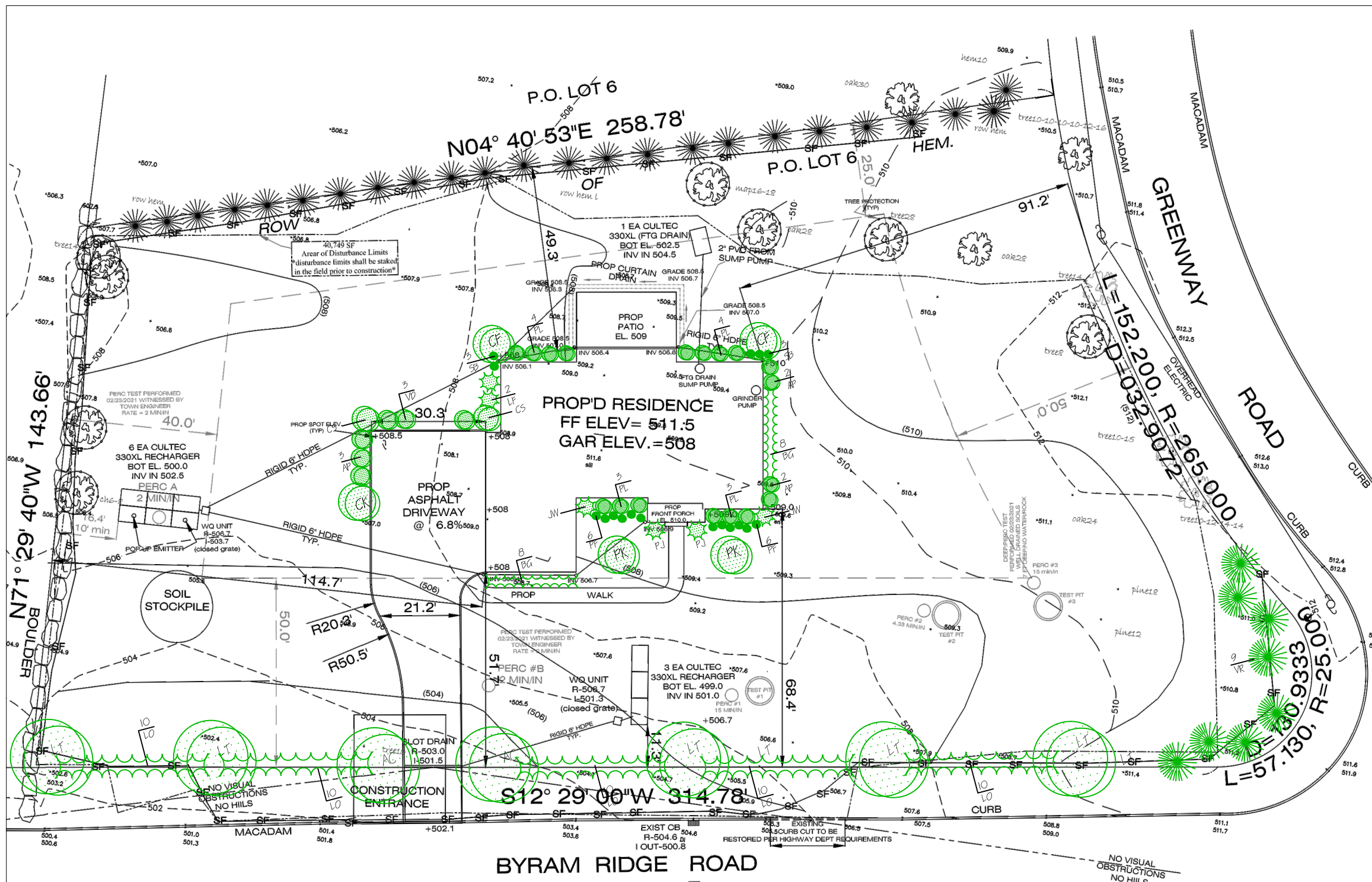
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Residence For
45 Byram Ridge Rd
Armonk NY

Town Comments	11/1/20
RPRC	8/19/20
Revision	Date
Date	April 29, 2020
Job No	220-024
Drawing	7 OF 8



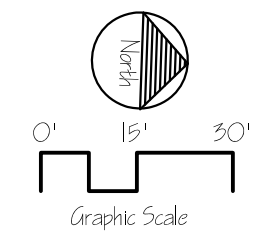
Plant List

45 Byram Ridge Road, Armonk, NY

Abb.	Botanical Name	Common Name	Size	Quan.
Deciduous Trees				
AC	Amalanchier carnea	Red Horsechestnut	14-16' ht.	2
LT	Liriodendron tulipifera	Tulip Tree	14-16' ht.	5
Minor Trees				
CF	Cornus florida	Flowering Dogwood	7-8' ht.	2
CK	Cornus kousa	Kousa Dogwood	7-8' ht.	1
PK	Prunus kwanzan	Kwanzan Cherry	8-10' ht.	2
Shrubs				
AP	Aesculus parviflora	Bottlebrush Buckeye	4-5' ht.	3
BG	Buxus microphylla	Green Mountain Boxwood	2.5-3' ht.	16
CS	Ceanomeles speciosa	Flowering Quince	4-5' ht.	2
LF	Leucothoe fontesiana	Drooping Leucothoe	2.5-3' sp.	2
LO	Ligustrum ovalifolium	California Privet	5-6' ht.	50
PF	Potentilla fruticosa	Abbotswood Potentilla	3-3.5' ht.	12
PJ	Pieris jap. Mtn. Fire	Mountain Fire Andromeda	3-3.5' ht.	2
PL	Prunus laurocerasus	Otto Luyken Laurel	3.5-4' ht.	14
SB	Spirea bumalda	A. Waterer Spirea	2.5-3' ht.	6
VD	Viburnum dentatum	Arrowwood	4-4.5' ht.	3
VR	Viburnum rhytidophyllum	Leatherleaf Viburnum	4.5-5' ht.	9

- Notes:**
1. All plants to be healthy, full and of a form typical of the species at planting, and warranted in the same condition for 2 full growing seasons.
 2. All trees to have 18" of topsoil around the roots, shrubs 12.
 3. All plants and plant beds to be mulched with 2" of brown shredded cedar.
 4. Edge beds with edging tool.
 5. Water all plants thoroughly at planting, and weekly during the first 2 growing seasons as necessary.

- Notes:**
1. This drawing is for plant material specification only. All base data by others. No representation or warranty is express or implied as to accuracy of same.
 2. Contractor is responsible for safety of site during installation of all improvements. Thereafter the owner is responsible for maintaining a safe site.
 3. All environmental constraints subject to local, state and/or federal jurisdiction must be reviewed and approved by appropriate agencies.



Stephen Lopez, AICP, RLA
 254 Bedford Road, Pleasantville, NY 10570

Landscape Plan
 45 Byram Ridge Road
 Armonk, NY

Date: March 1, 2021 Scale: As Shown