



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 155 Hickory Kingdom Rd

### Section III- DESCRIPTION OF WORK:

Residential additions 1st and 2nd floor, new attached garage, interior alterations  
(over 1000 S.F.)

### Section III- CONTACT INFORMATION:

APPLICANT: Cynthia Keiser  
ADDRESS: 155 Hickory Kingdom Rd , Bedford NY 10506  
PHONE: 234 9606 MOBILE: 649 5157 EMAIL: clkeiser@optonline.net

PROPERTY OWNER: same as above

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

PROFESSIONAL: Steven Secon Architect

ADDRESS: 145 Palisade St, 403 Dobbs Ferry NY 10522

PHONE: 674 2950 MOBILE: 980 5532

EMAIL: Steven@seconarchitect.com

### Section IV- PROPERTY INFORMATION:

Zone: r-4A Tax ID (lot designation) 95.02-2-32



**Town of North Castle**  
**Residential Project Review Committee**  
17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan: Keiser Residence

Initial Submittal  Revised Preliminary

Street Location: 155 Hickory Kingdom Rd

Zoning District: R-4a Property Acreage: 4.63 Tax Map Parcel ID: 95.02-2-32

Date: Keiser Residence

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences



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PLANNING DEPARTMENT  
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 Director of Planning

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 Fax: (914) 273-3554  
[www.northcastlenv.com](http://www.northcastlenv.com)

**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: KEISER RESIDENCE Date: 02/20/21  
 Tax Map Designation or Proposed Lot No.: 95.02-2-32

Gross Lot Coverage

- |     |  |                      |
|-----|--|----------------------|
| 1.  | Total lot Area (Net Lot Area for Lots Created After 12/13/06):   | <u>201771</u>        |
| 2.  | Maximum permitted gross land coverage (per Section 213-22.2C):   | <u>21862</u>         |
| 3.  | BONUS maximum gross land cover (per Section 213-22.2C):  |                      |
|     | Distance principal home is beyond minimum front yard setback<br><u>119</u> x 10 =                                    | <u>1190</u>          |
| 4.  | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3   | <u>23052</u>         |
| 5.  | Amount of lot area covered by principal building:<br><u>2879</u> existing + <u>1154</u> proposed =                   | <u>4033</u>          |
| 6.  | Amount of lot area covered by accessory buildings:<br><u>810</u> existing + <u>0</u> proposed =                      | <u>810</u>           |
| 7.  | Amount of lot area covered by decks:<br>_____ existing + _____ proposed =  | <u>0</u>             |
| 8.  | Amount of lot area covered by porches:<br><u>43</u> existing + <u>284</u> proposed =                                 | <u>327</u>           |
| 9.  | Amount of lot area covered by driveway, parking areas and walkways:<br><u>8506</u> existing + <u>1251</u> proposed = | <u>9757</u>          |
| 10. | Amount of lot area covered by terraces:<br><u>702</u> existing + <u>224</u> proposed =                               | <u>926</u>           |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:<br><u>20</u> existing + <u>5</u> proposed =   | <u>25</u>            |
| 12. | Amount of lot area covered by all other structures:<br>_____ existing + _____ proposed =                             | <u>0</u>             |
| 13. | Proposed gross land coverage: Total of Lines 5 – 12 =  | <u>15878</u> (15896) |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Adam R. Kaufman  
 Signature and Seal of Professional Preparing Worksheet

02/20/21  
 Date



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**WESTCHESTER COUNTY**  
17 Bedford Road  
Armonk, New York 10504-1898

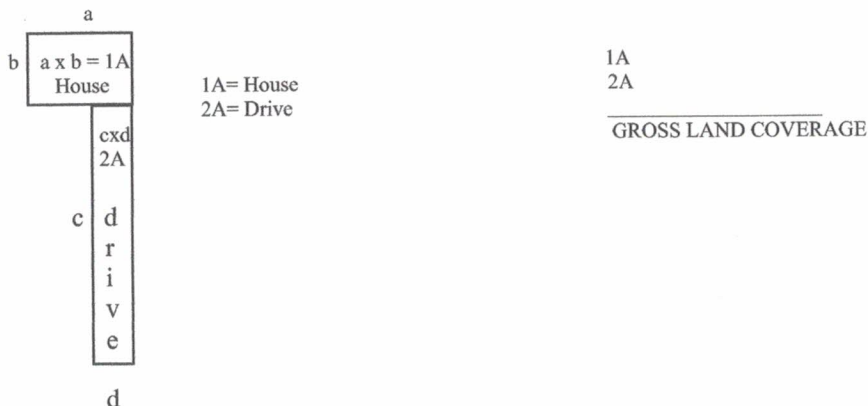
**PLANNING DEPARTMENT**  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

**GROSS LAND COVERAGE WORKSHEET**

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below





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WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

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FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: KEISER RESIDENCE Date: 02/20/21  
Tax Map Designation or Proposed Lot No.: 95.02-2-32

Floor Area

- |     |  |                               |
|-----|--|-------------------------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):   | <u>201771</u>                 |
| 2.  | Maximum permitted floor area (per Section 213-22.2B):  | <u>21862</u>                  |
| 3.  | Amount of floor area contained within first floor:<br><u>2879</u> existing + <u>1154</u> proposed =                    | <u>4033</u>                   |
| 4.  | Amount of floor area contained within second floor:<br><u>1098</u> existing + <u>1148</u> proposed =                   | <u>2246</u>                   |
| 5.  | Amount of floor area contained within garage:<br>_____ existing + _____ proposed =                                     | <u>0</u>                      |
| 6.  | Amount of floor area contained within porches capable of being enclosed:<br><u>43</u> existing + <u>284</u> proposed = | <u>327</u>                    |
| 7.  | Amount of floor area contained within basement (if applicable – see definition):<br>_____ existing + _____ proposed =  | <u>0</u>                      |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):<br>_____ existing + _____ proposed =     | <u>0</u>                      |
| 9.  | Amount of floor area contained within all accessory buildings:<br><u>810</u> existing + <u>0</u> proposed =            | <u>810</u>                    |
| 10. | Proposed floor area: Total of Lines 3 – 9 =  | <u>7416</u> (7402 on diagram) |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Steven Sen

Signature and Seal of Professional Preparing Worksheet

02/20/21  
Date



TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

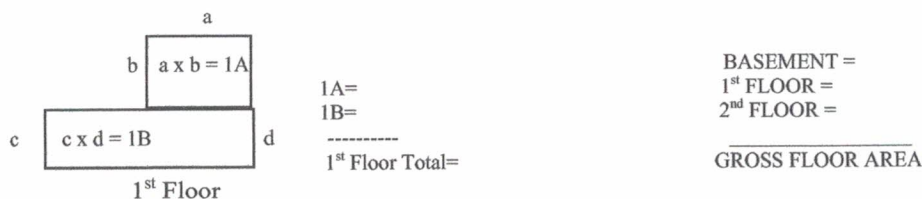
PLANNING DEPARTMENT  
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### GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots <sup>1</sup> (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

\*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings <sup>1</sup> (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

\*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

## **TOWN OF NORTH CASTLE TREE REMOVAL APPLICATION PERMIT WHEN A PERMIT IS REQUIRED**

The Town of North Castle finds and declares that the preservation of Trees is necessary to protect the health, safety and general welfare of the Town of North Castle because trees provide shade, impede soil erosion, aid water absorption and retention, inhibit excess runoff and flooding, enhance air quality, offer a natural barrier to noise, provide a natural habitat for wildlife, provide screening, enhance property values and add to the aesthetic quality of the community.

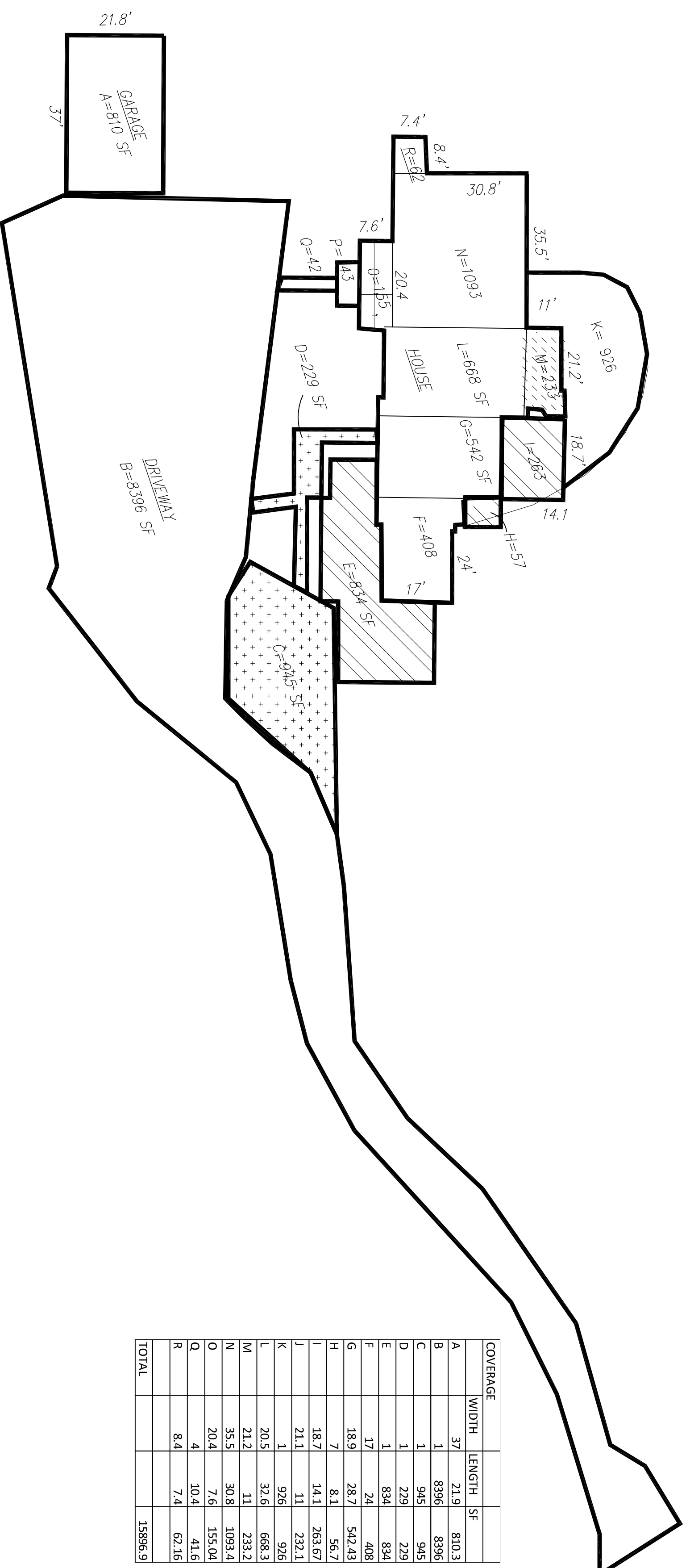
A tree removal permit is required under the following circumstances:

1. **Removal of a tree within a property's regulated setback zone or landscape buffer zone (All trees 8" or greater DBH – Diameter at Breast Height)**

The regulated setback zone refers to the area of vegetative screening or landscaping measured from each property line of a residentially zoned property toward the interior of such property.

1. R-4A One-Family Residence District: 25 feet.
  2. R-2A One-Family Residence District: 15 feet.
  3. R-1.5A One-Family Residence District: 12 feet.
  4. R-1A One-Family Residence District: 10 feet.
  5. All other residential districts: 5 feet.
2. **Removal of a Significant Tree - Any tree 24 inches or greater DBH at 4½ feet.**
  3. **Removal of any tree in wetlands, within clearing lines, or Conservation Easements.**
  4. **Clearing/Thinning - Any cutting of more than 5 trees of 8 inches in diameter or more in any one quarter-acre area, within a 12 month period with such area being measured as a square with each side measuring 104 feet.**
  5. **Removal of any street tree within the Right of Way.**
  6. **Removal in any calendar year of more than ten (10) trees on any lot.**

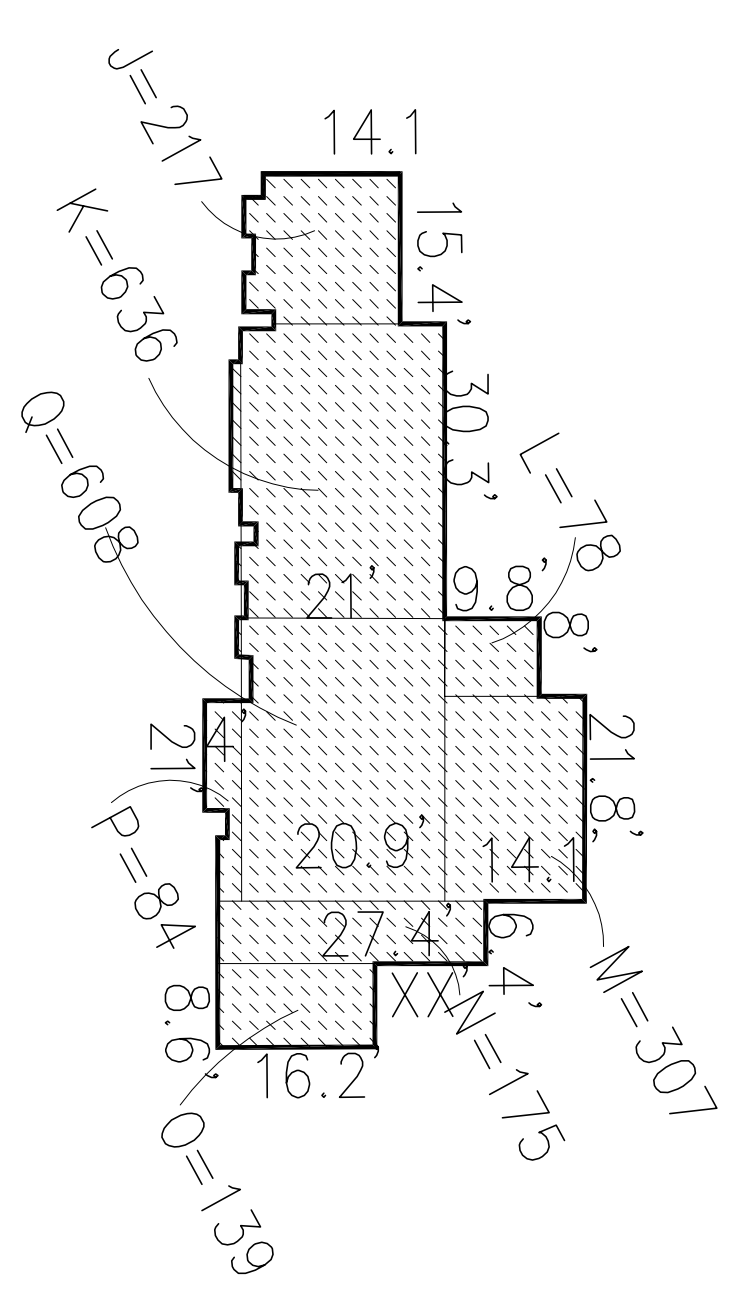




1 COVERAGE DIAGRAM  
1" = 30'-0"

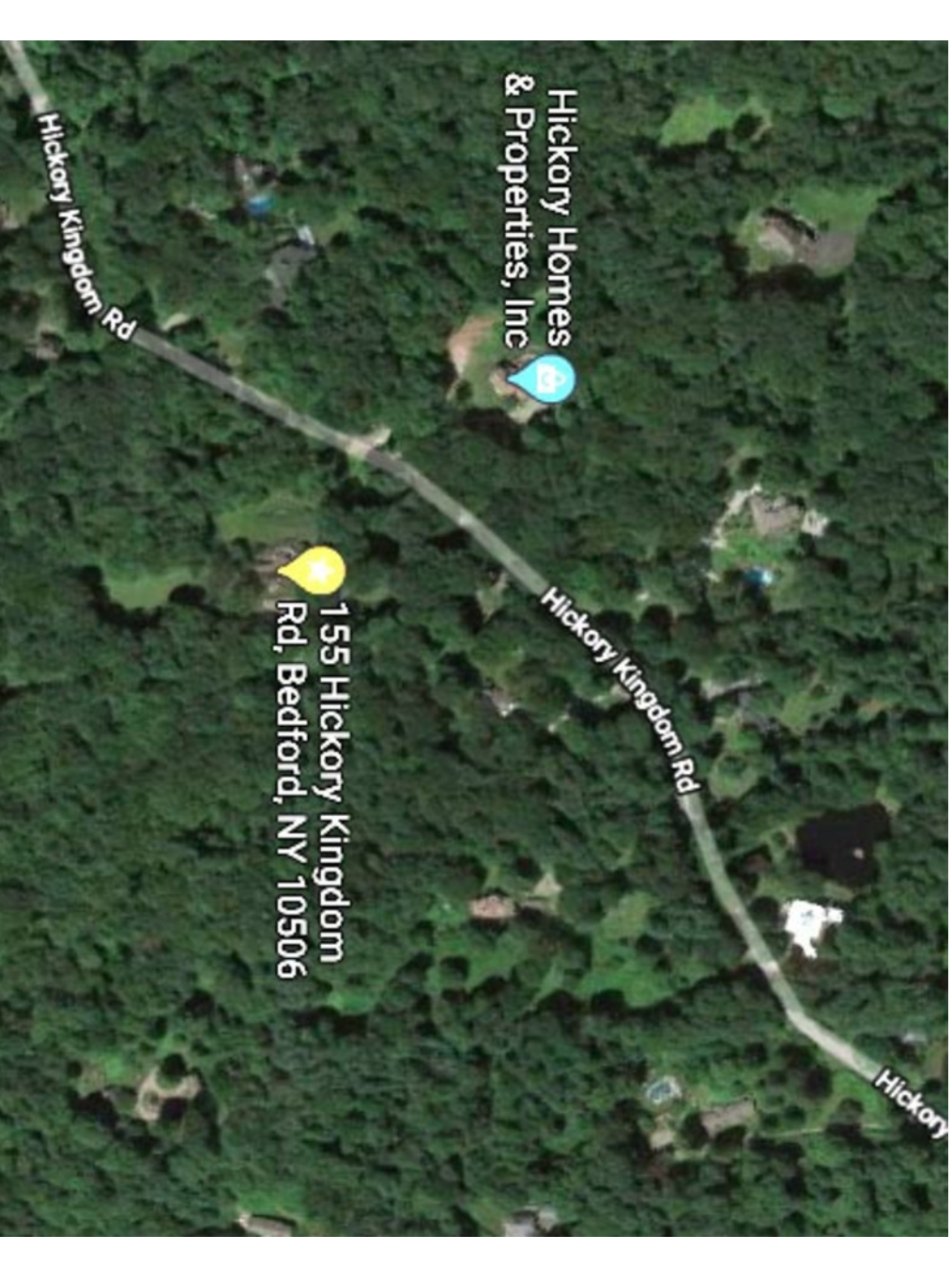


VICINITY PROPERTY MAP

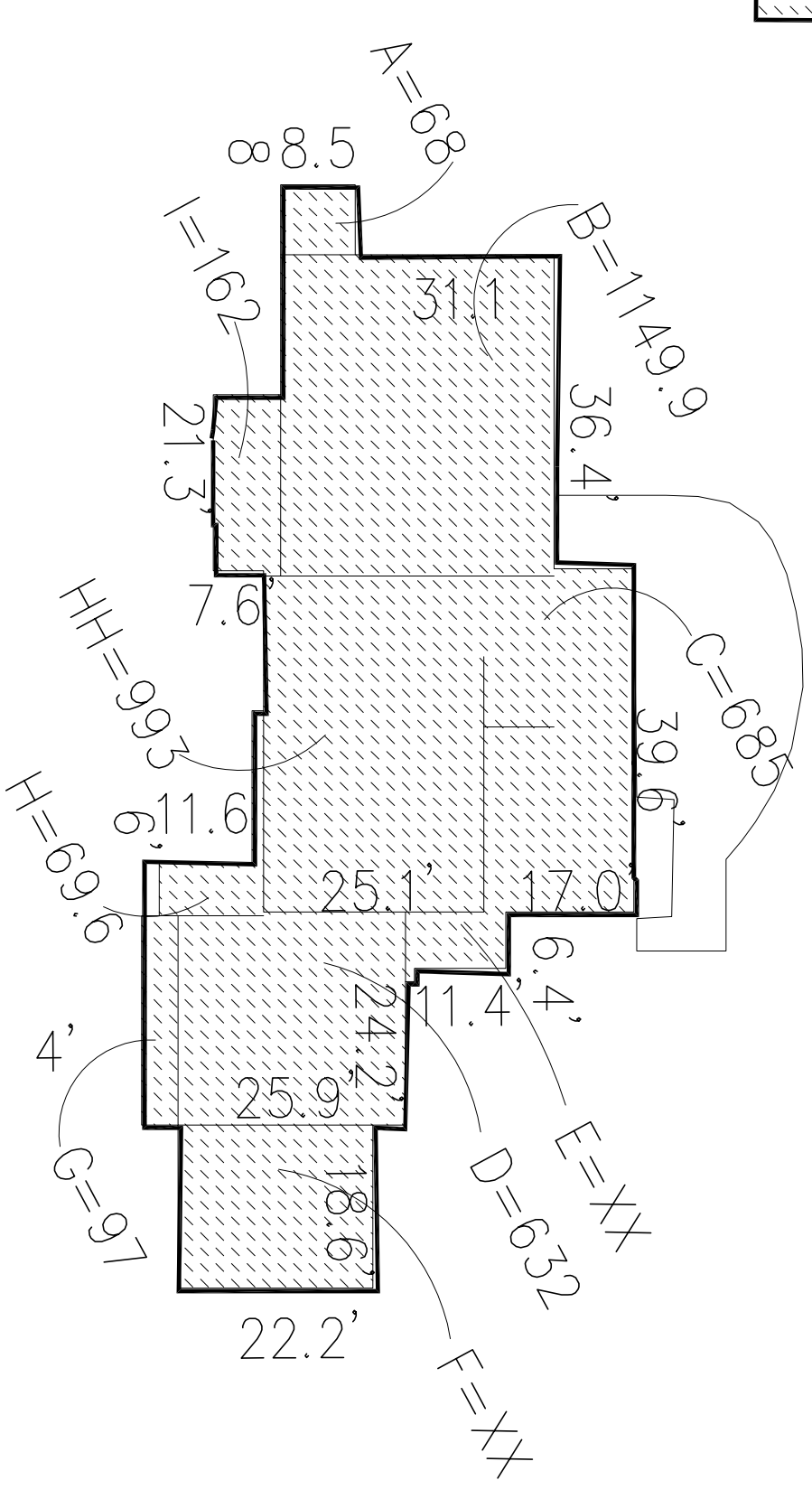
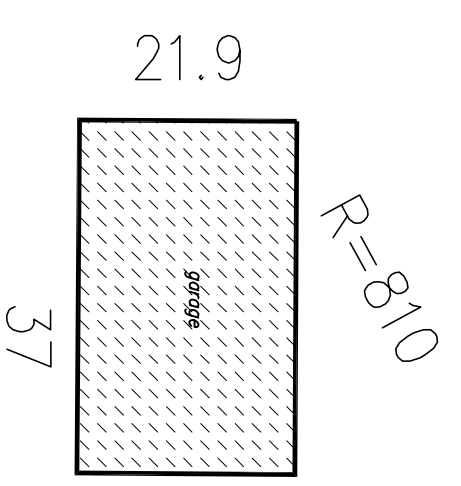


FAS SUMMARY	WIDTH	LENGTH	SF
A	8	8.6	68
B	36.5	31	1131.5
C	39.6	17.3	685.68
D	24.8	25.9	642.32
E	6.4	11.4	72.96
F	18.6	22.3	414.78
G	24.2	4	96.8
H	6	11.9	71.4
HH	39.7	25.2	1000.44
I	21.3	7.6	161.88
ISTFL			4345.16
J	15.4	14.1	217.14
K	30.4	21	638.4
L	9	9.6	86.4
M	21.8	14.2	309.96
N	6.4	27.4	175.36
O	8.6	16.2	139.32
P	21	4	84
Q	29.2	20.9	610.28
2ND FL			2252.46
R (GARAGE)	37	21.9	810.3
TOTAL			7407.92

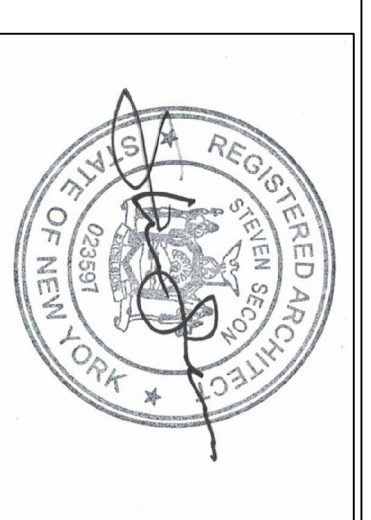
1" = 30'-0"



AERIAL GOOGLE EARTH PHOTO



2 FLOOR AREA RATIO DIAGRAM  
1" = 30'-0"



PROJECT:  
KERNER RESIDENCE ALTERATIONS & ADDITIONS  
155 HICKORY KINGDOM ROAD  
BEDFORD, NY 10506  
SHEET: 18 BLOOR: 3 LOT: 3643

DATE: \_\_\_\_\_ SCALE: \_\_\_\_\_ CAD FILE: \_\_\_\_\_

STEVEN SECOY ARCHITECT PC  
145 Palisades Street, Suite #100  
Bedford, NY 10506  
Tel: (914) 574-0880 Fax: (914) 588-1337  
WWW.STEVENSECOYARCHITECT.COM

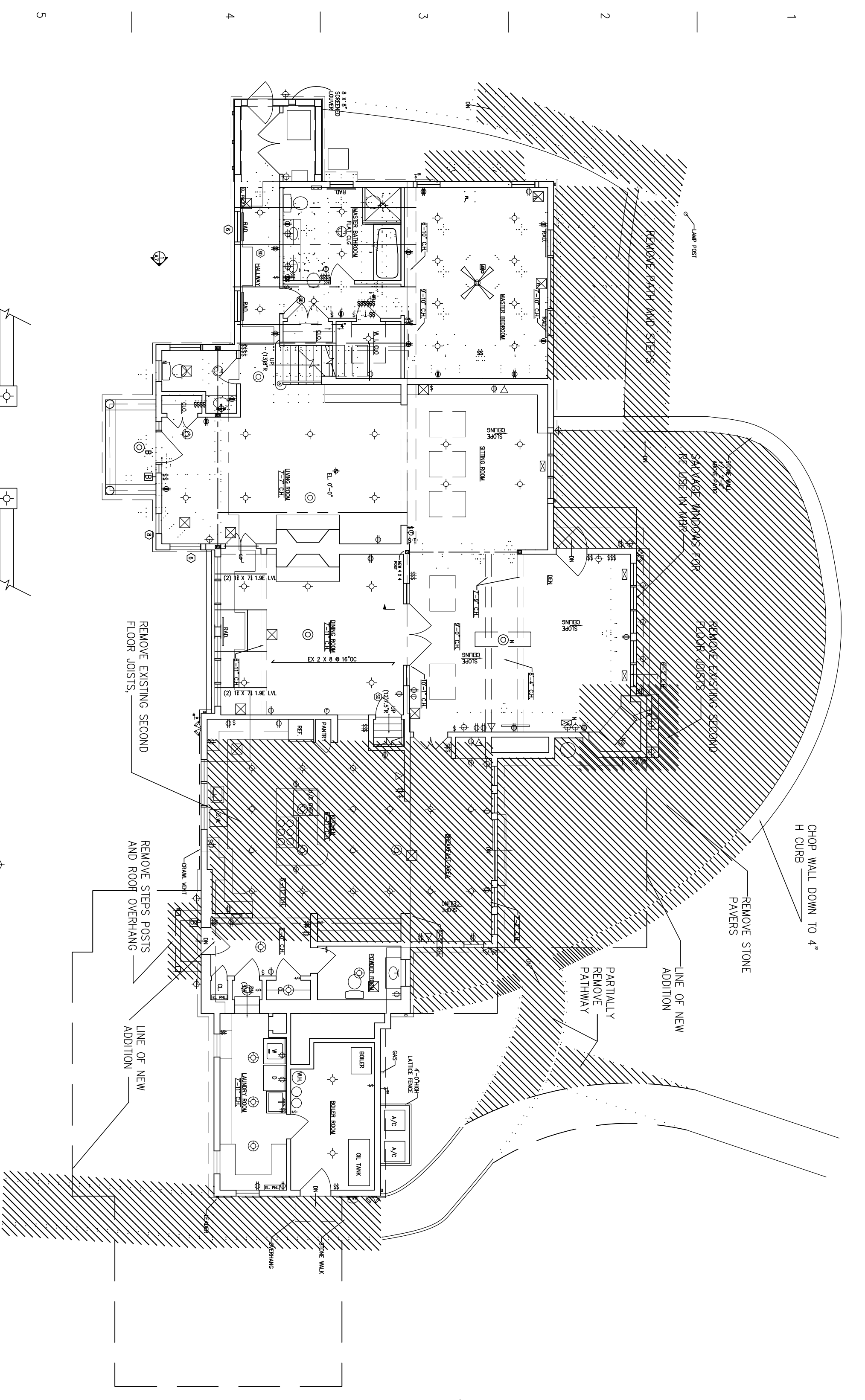
ZONING DIAGRAMS  
A-0.1

1 02.23.21 BRIC REVIEW

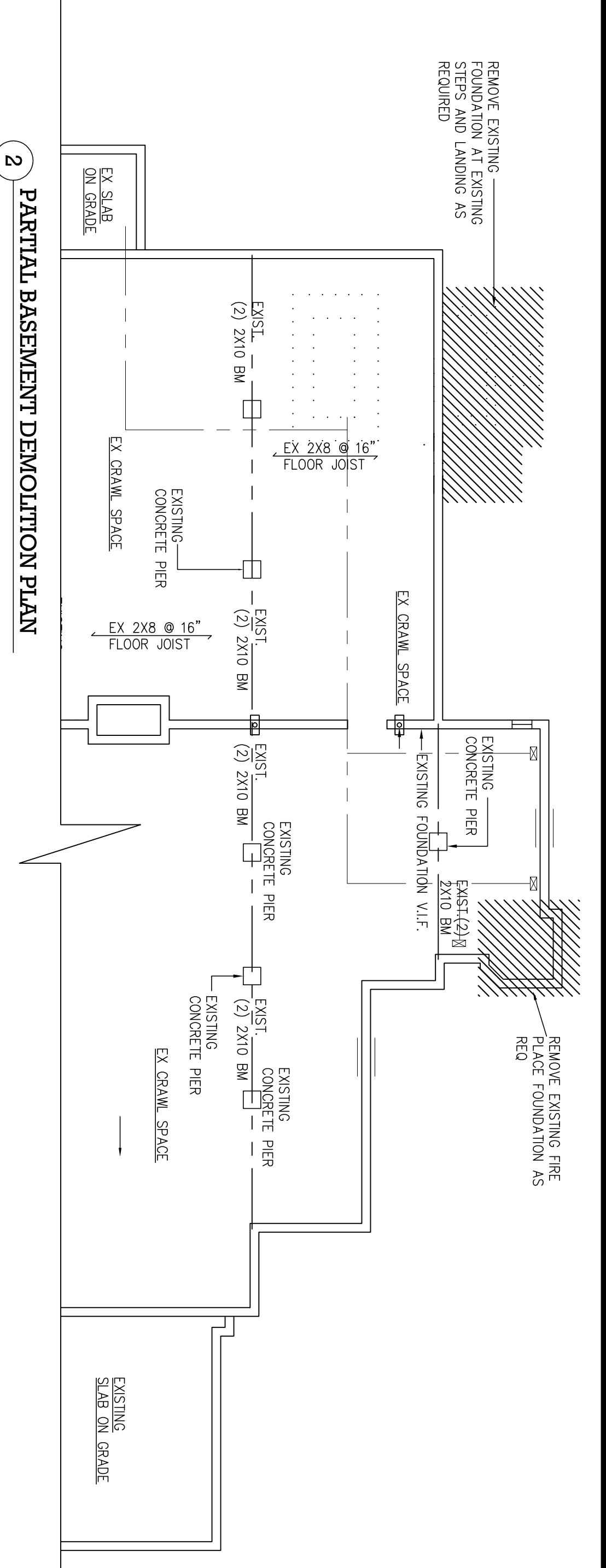
NO. DATE REVISION/ISSUE

SCALE

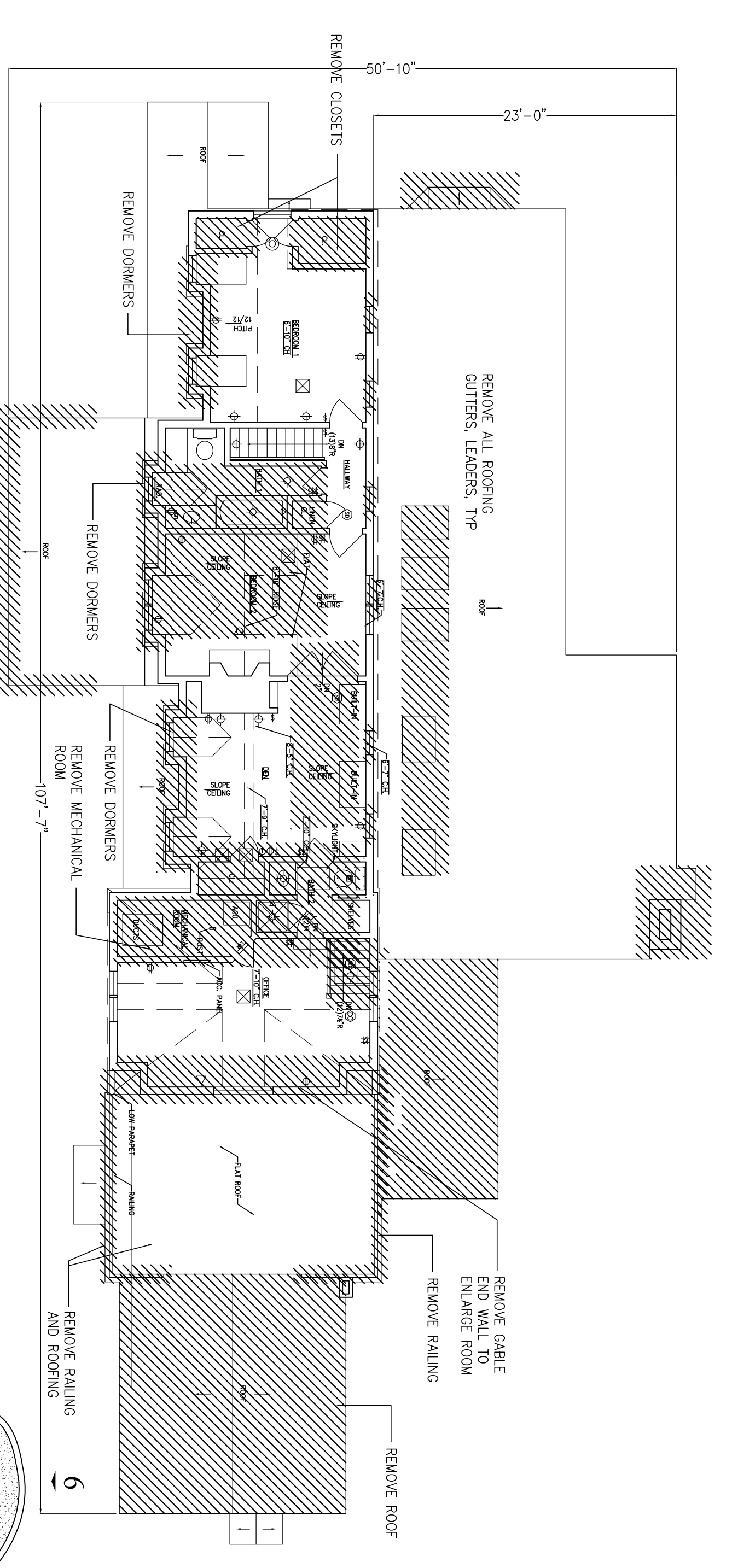




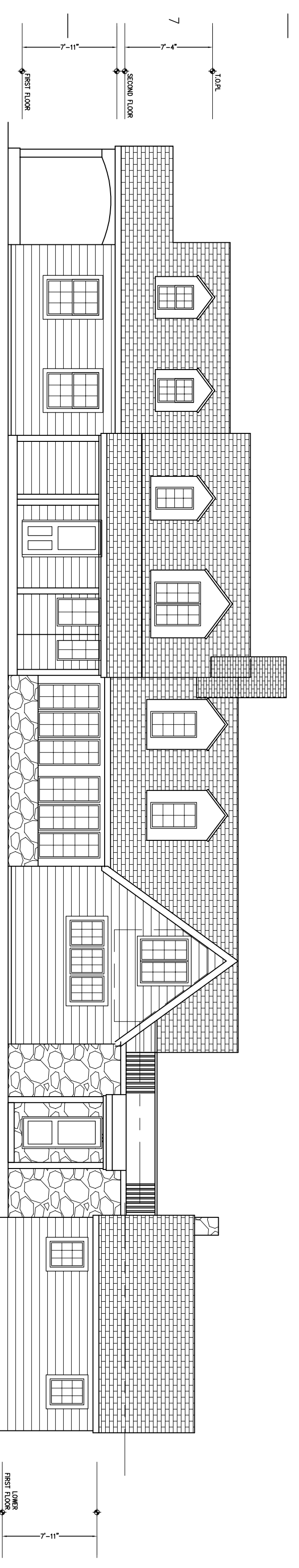
1 FIRST FLOOR DEMOLITION PLAN  
1/8"=1'-0"



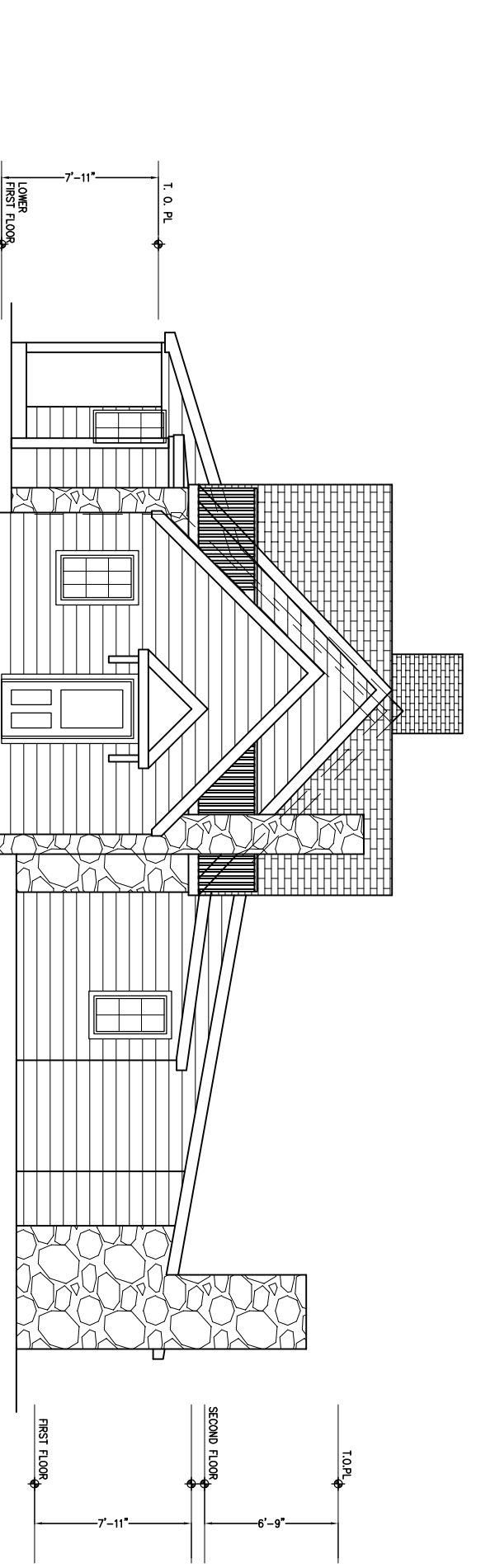
2 PARTIAL BASEMENT DEMOLITION PLAN



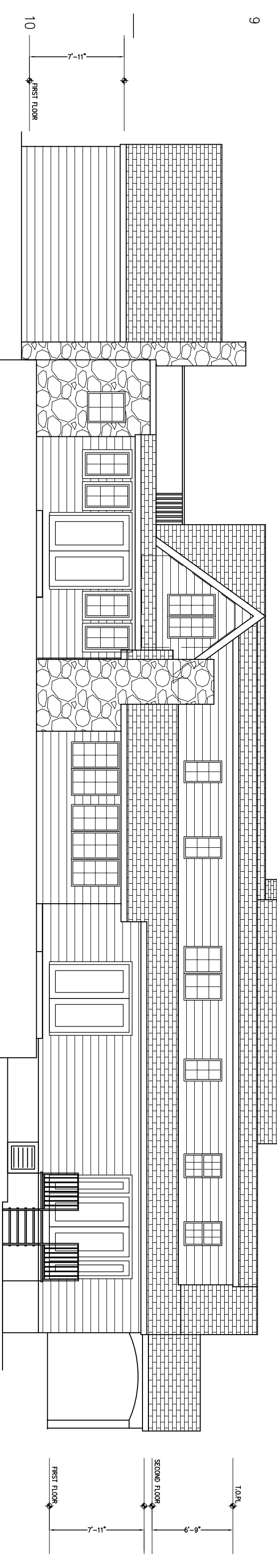
3 SECOND FLOOR DEMOLITION PLAN  
1/8"=1'-0"



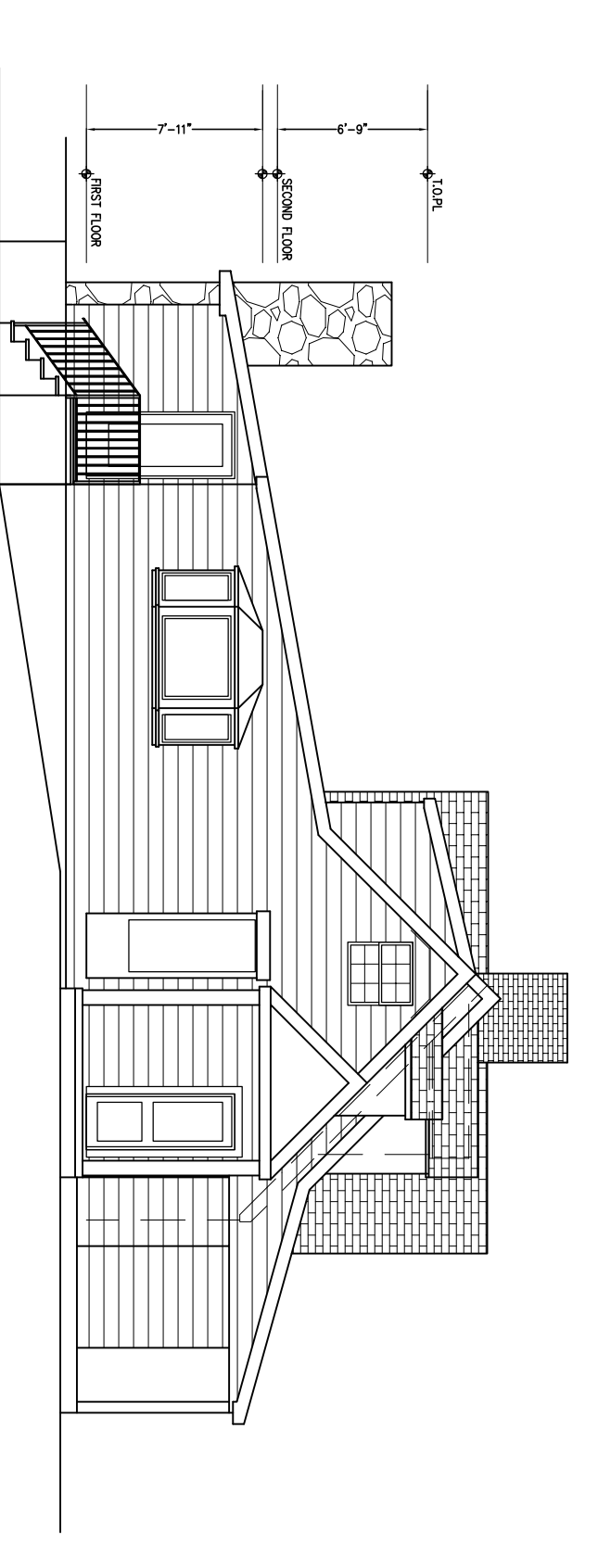
4 SOUTH ELEVATION  
1/8"=1'-0"



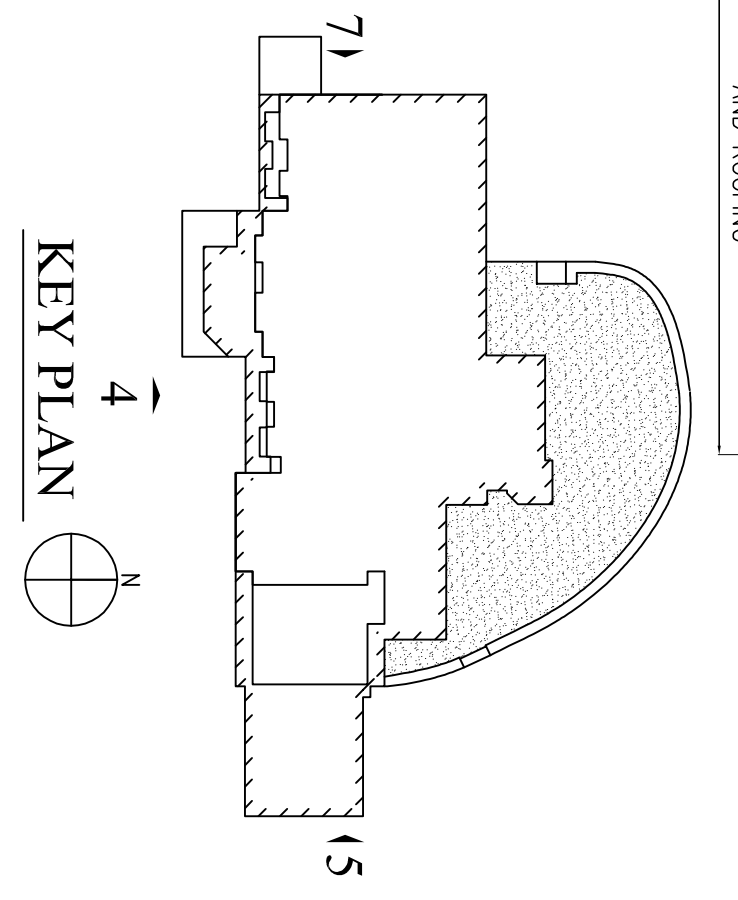
5 EAST ELEVATION  
1/8"=1'-0"



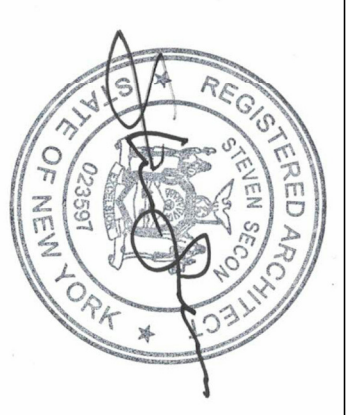
6 NORTH ELEVATION  
1/8"=1'-0"



7 WEST ELEVATION  
1/8"=1'-0"



NO.	DATE	REVISION/SS/E
1	02 23 21	RR/C REVIEW

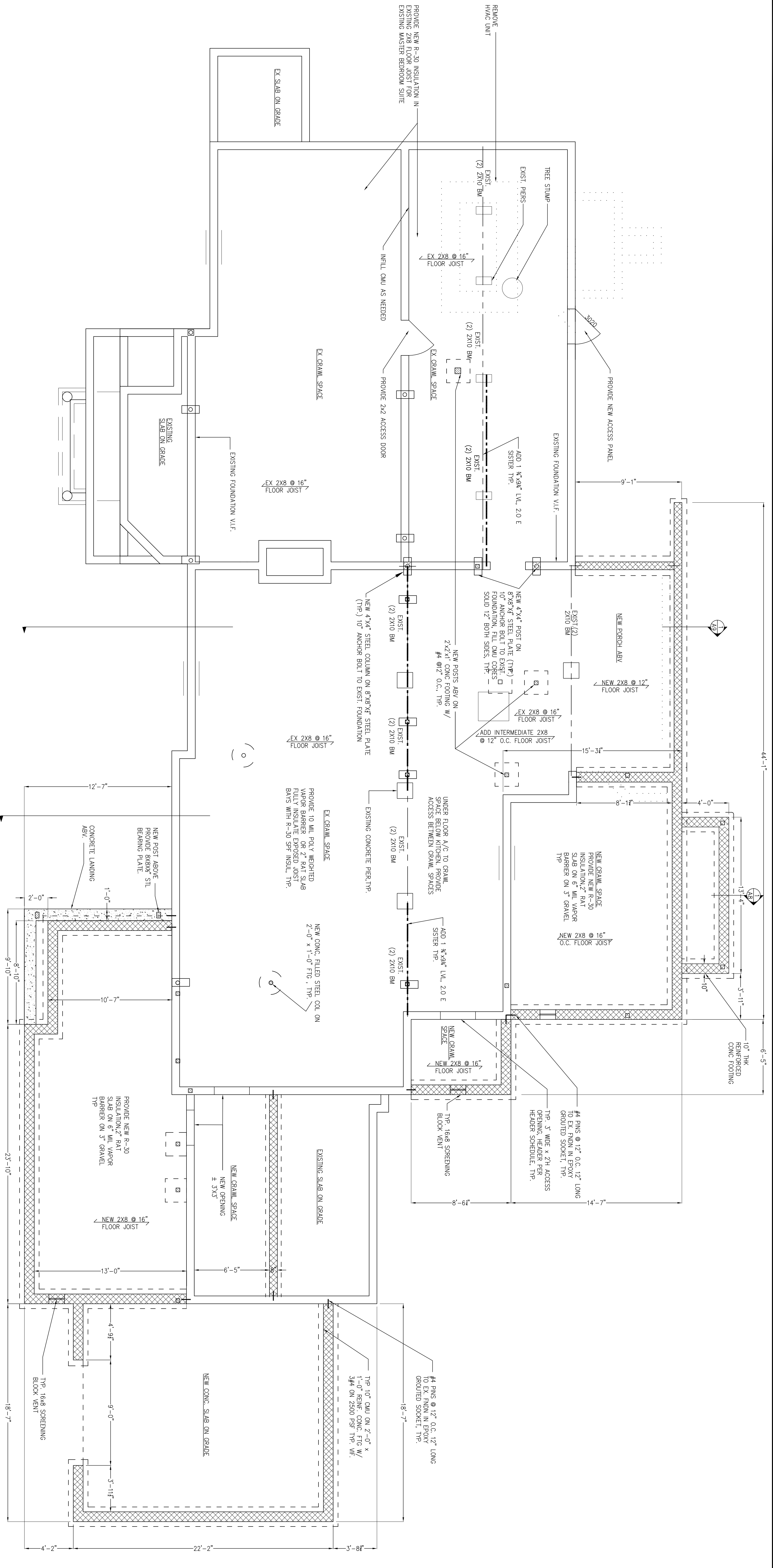


PROJECT  
KEISER RESIDENCE ALTERATIONS & ADDITIONS  
155 HICKORY KINGDOM ROAD  
BEDFORD, NY 10506  
SHEET 18 BLOCK 8 LOT 36-4

DRAWING TITLE  
EXISTING/DEMOLITION PLANS

DATE	SCALE	CAD FILE

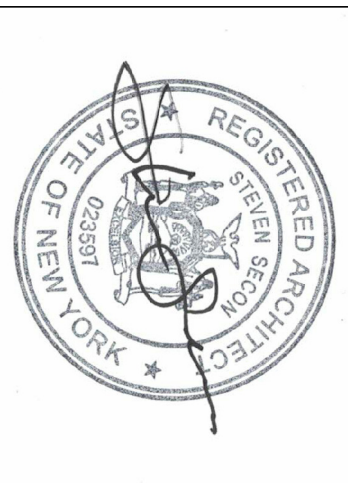
STEVEN SECON ARCHITECT P.C.  
145 Palisade Street, Suite #301  
Dobbs Ferry, New York 10522  
Tel: 914-261-1500  
www.stevenseconarchitect.com



**1 FOUNDATION PLAN**

1/4"=1'-0"

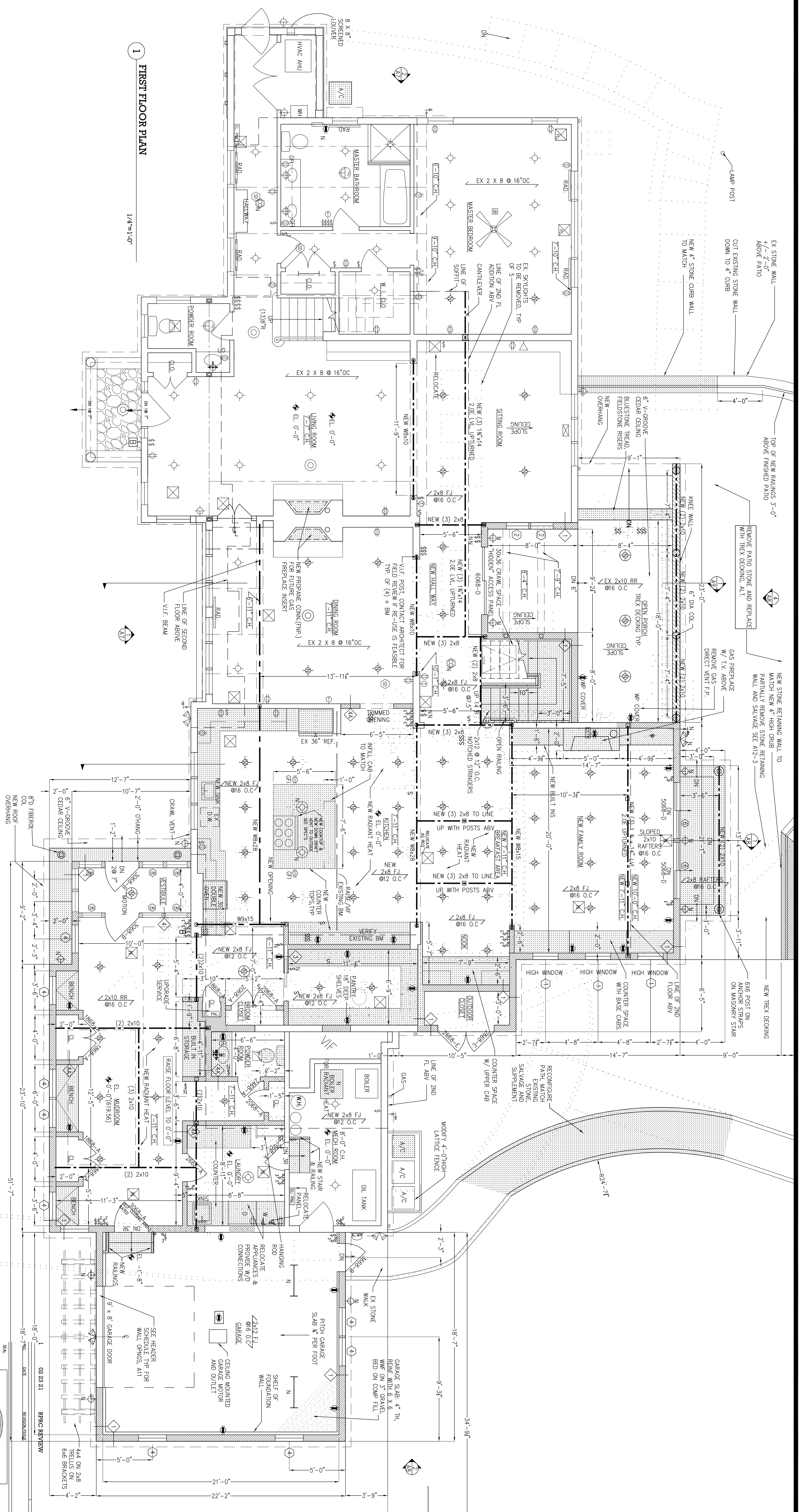
NO.	DATE	REVISION/ISSUE
1	02.23.21	RPRG REVIEW



PROJECT  
**KEISER RESIDENCE ALTERATIONS & ADDITIONS**  
 158 HICKORY KINGDOM ROAD  
 BEDFORD, NY 10816  
 SHEET: 18 BLOCK: 1 LOT: 28-2

**FOUNDATION PLAN**

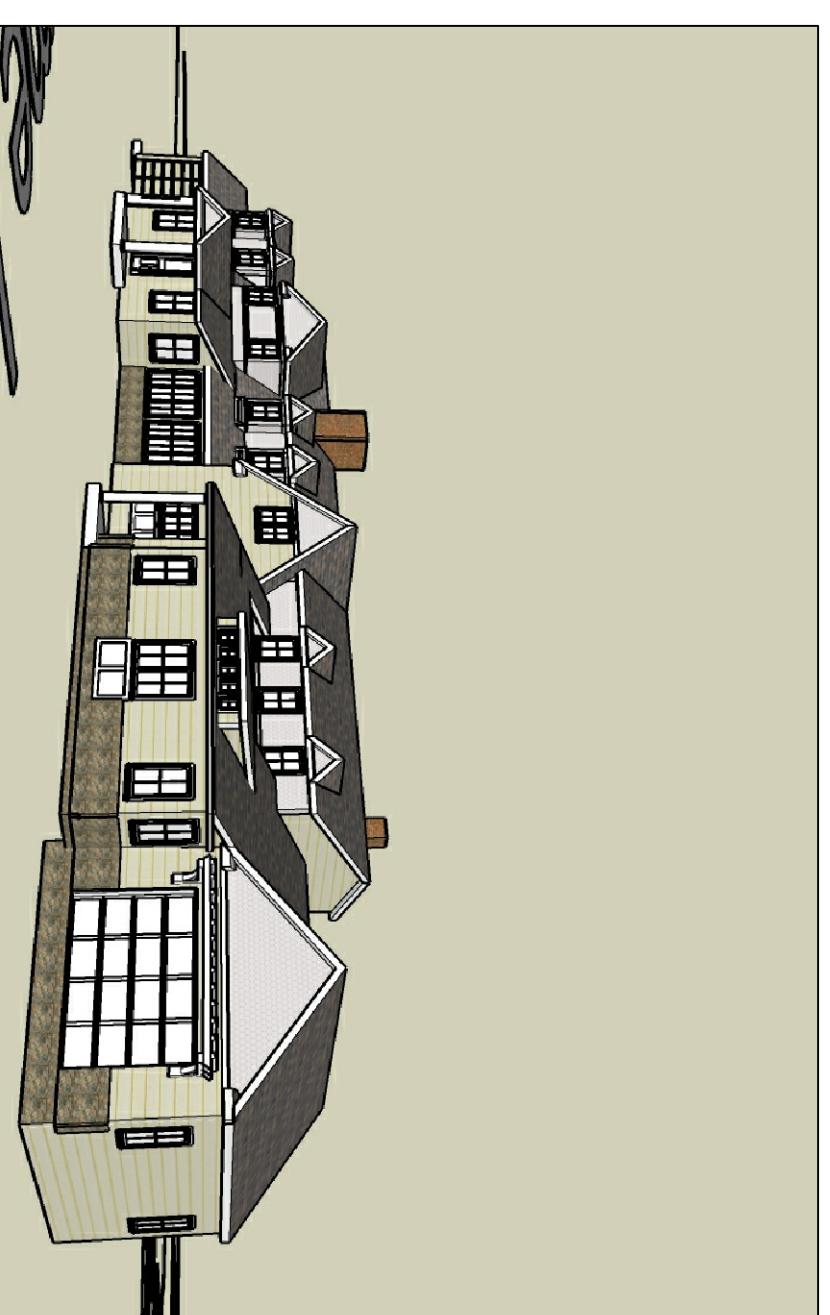
DATE	SCALE	CAD FILE
STEVEN SERCOV ARCHITECT PC		
145 Parkside Street, Suite 402		
Bedford, NY 10816		
Tel: (914) 674-6880 Fax: (914) 688-1817		
www.stevensercov.com		



**1 FIRST FLOOR PLAN**  
1/4"=1'-0"



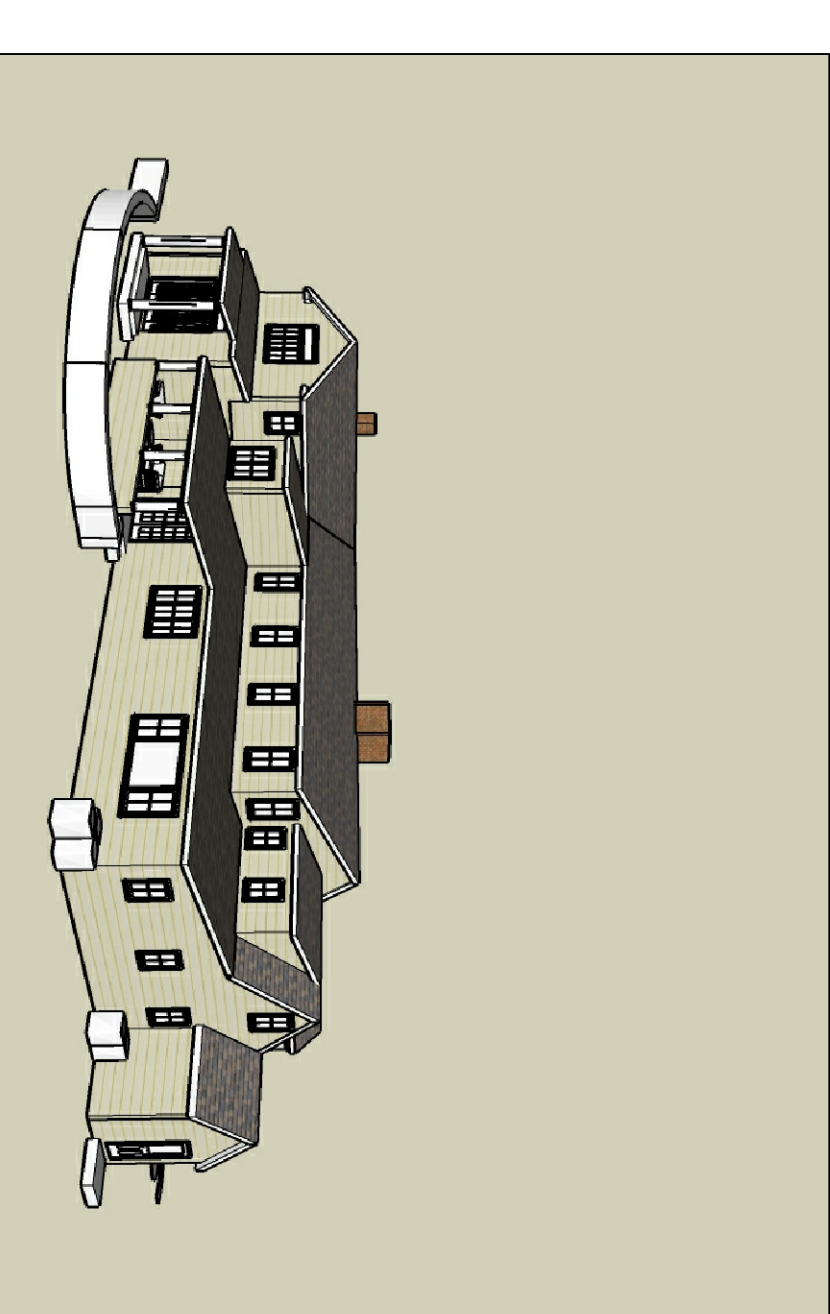
**2 PROPOSED PERSPECTIVE**  
N.T.S.



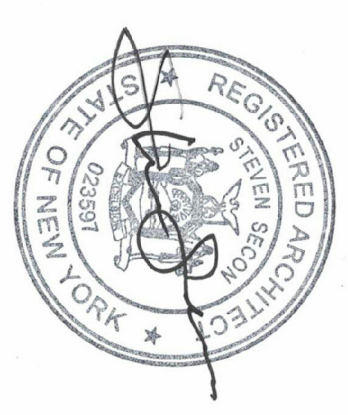
**3 PROPOSED PERSPECTIVE**  
N.T.S.



**4 PROPOSED PERSPECTIVE**  
N.T.S.



**5 PROPOSED PERSPECTIVE**  
N.T.S.



PROJECT:  
**KEISER RESIDENCE ALTERATIONS & ADDITIONS**  
180 HICKORY KINGDOM ROAD  
BEDFORD, NY 10898

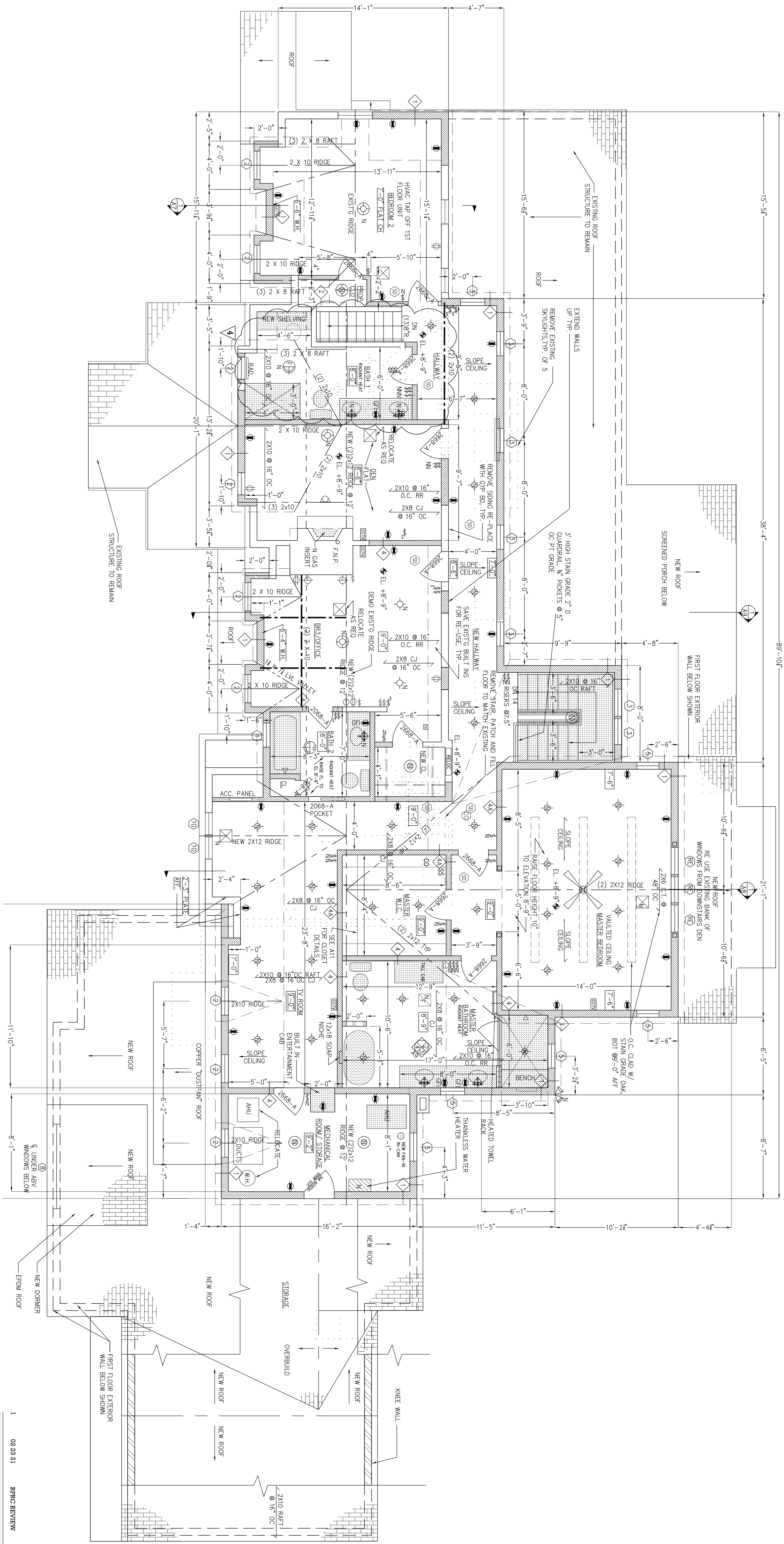
SHEET: 18 BLOCK: 1 LOT: 38-43

**FIRST FLOOR PLAN**

DRAWN TITLE  
DATE SCALE CAD FILE

DESIGNER:  
**STEVEN SECORA ARCHITECT PC**  
145 Talbott Street, Suite #202  
Bedford, NY 10898  
Tel: (914) 468-0000 Fax: (914) 468-1827  
www.stevensecora.com



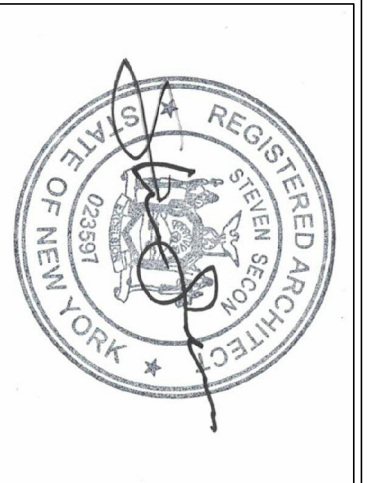


1 SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

NO. DATE REVISION/ISSUE

1 02.23.21 BRRC REVIEW

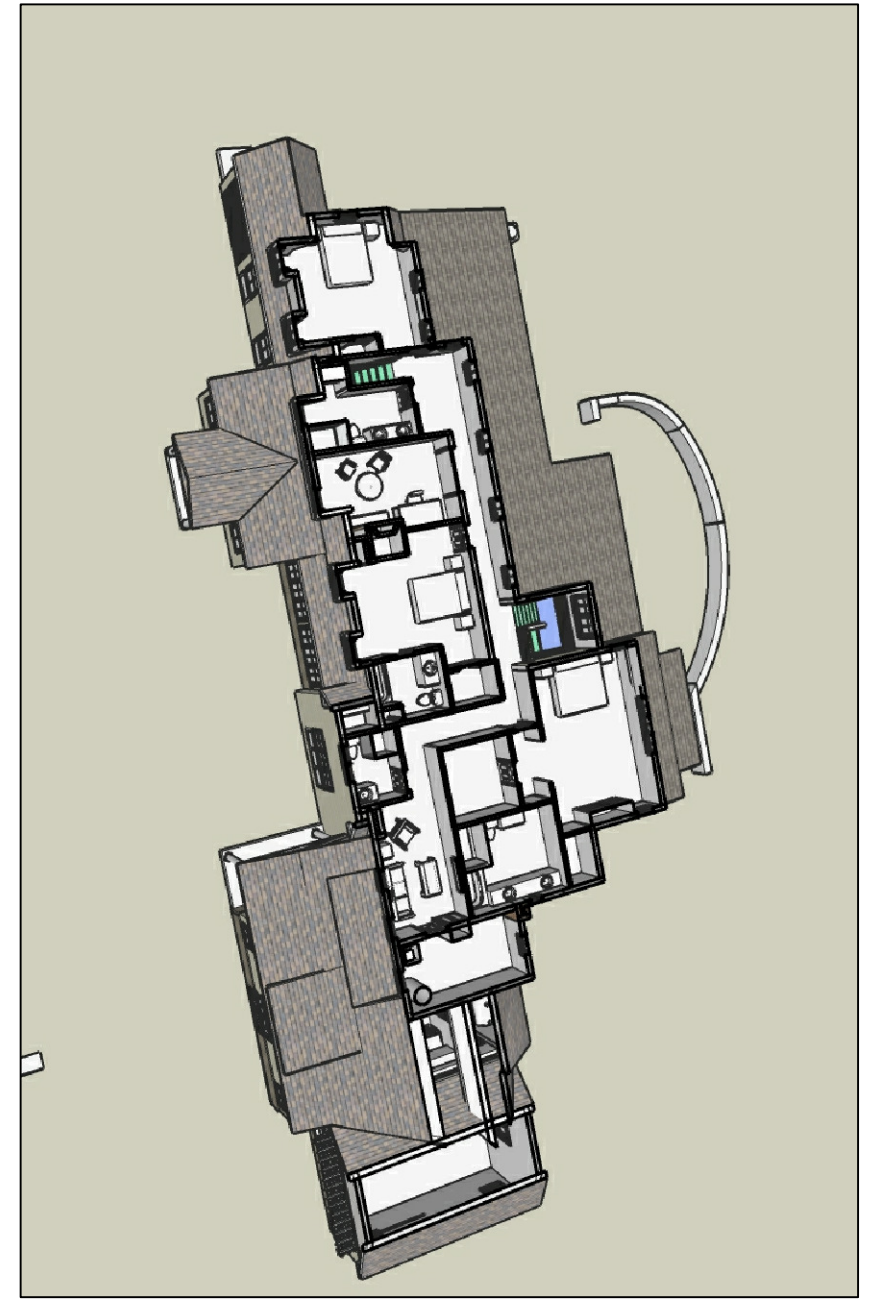


PROJECT  
**KEISER RESIDENCE ALTERATIONS & ADDITIONS**  
 185 HICKORY KINGSTON ROAD  
 BEDFORD, NY 10508  
 SHEET: 18 BLOCK: 3 LOT: 38-4

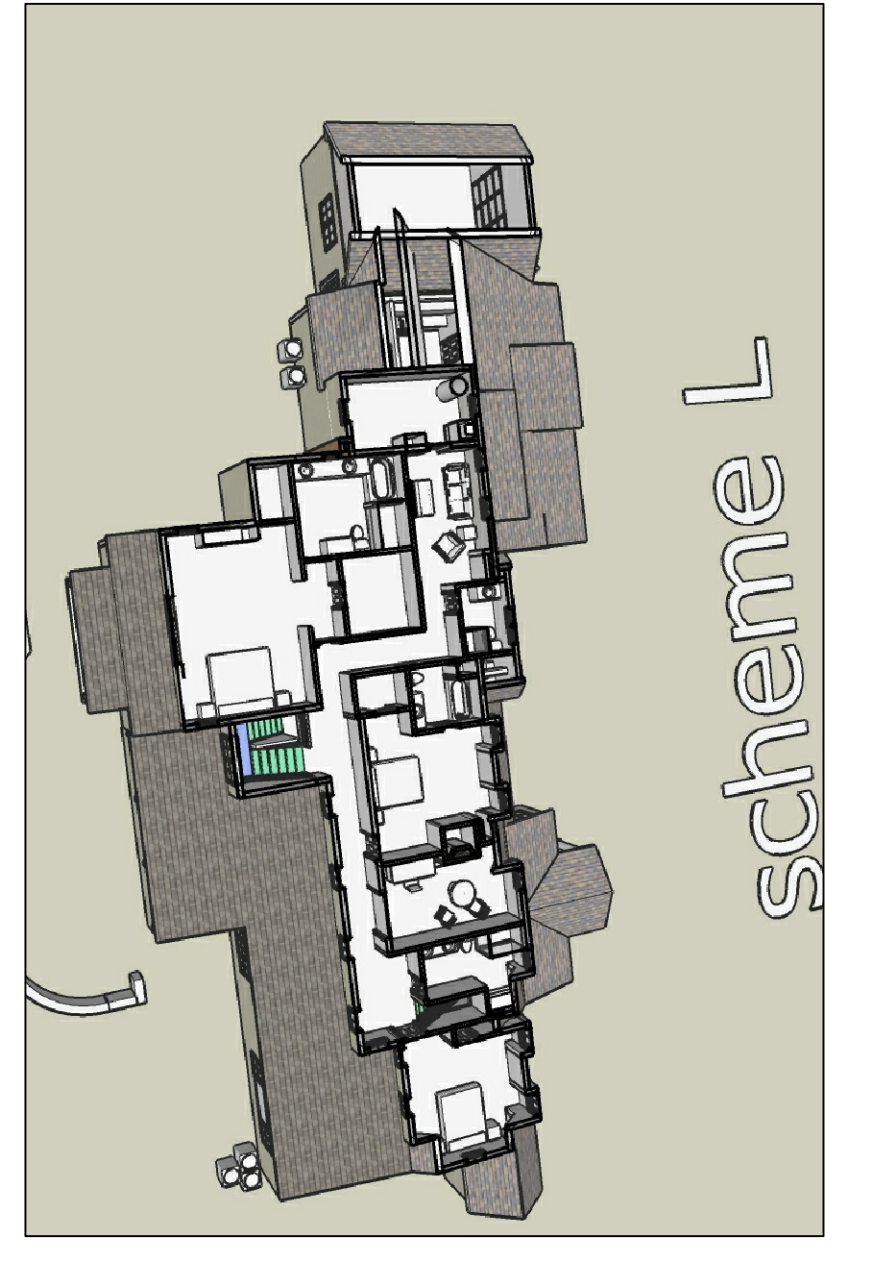
SECOND FLOOR PLAN

DATE SCALE 1/4" = 1'-0" CAD FILE

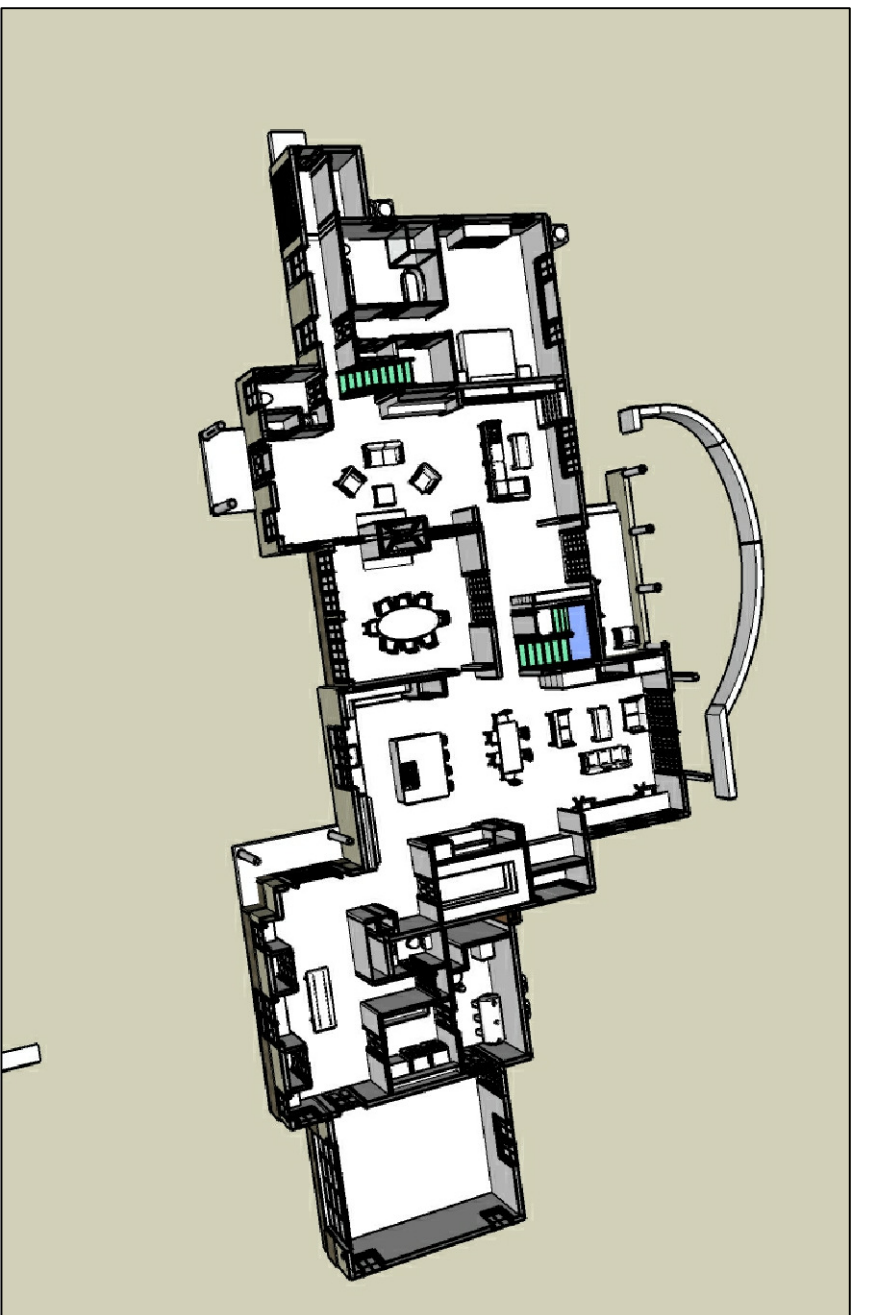
STEVEN SECON ARCHITECT PC  
 145 Parkside Street, Suite #693  
 Bedford, NY 10508  
 Tel: (914) 974-6880 Fax: (914) 989-1887  
 WWW.SECONARCHITECT.COM



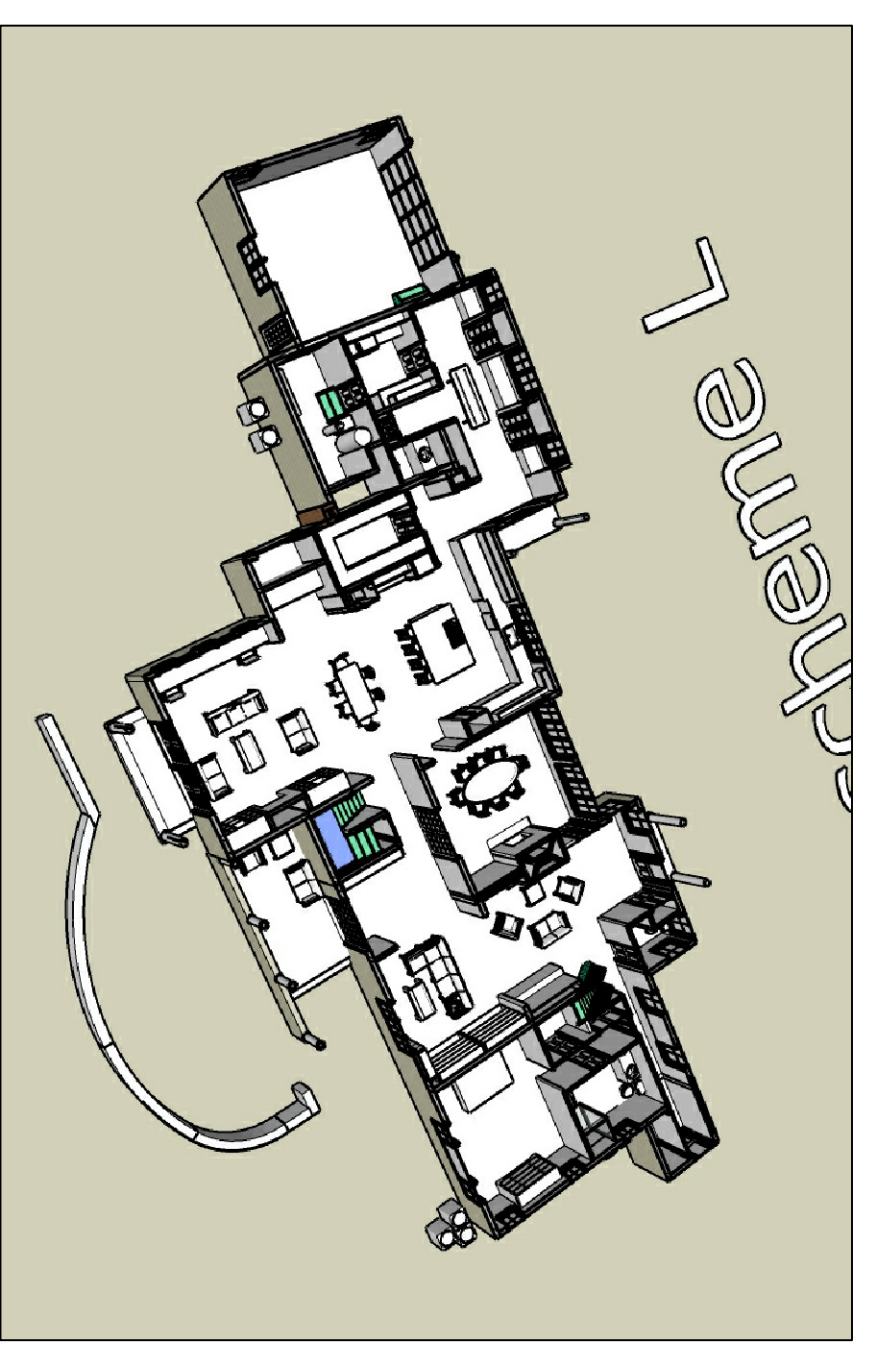
2 PROPOSED SECOND FLOOR PERSPECTIVE N.T.S.



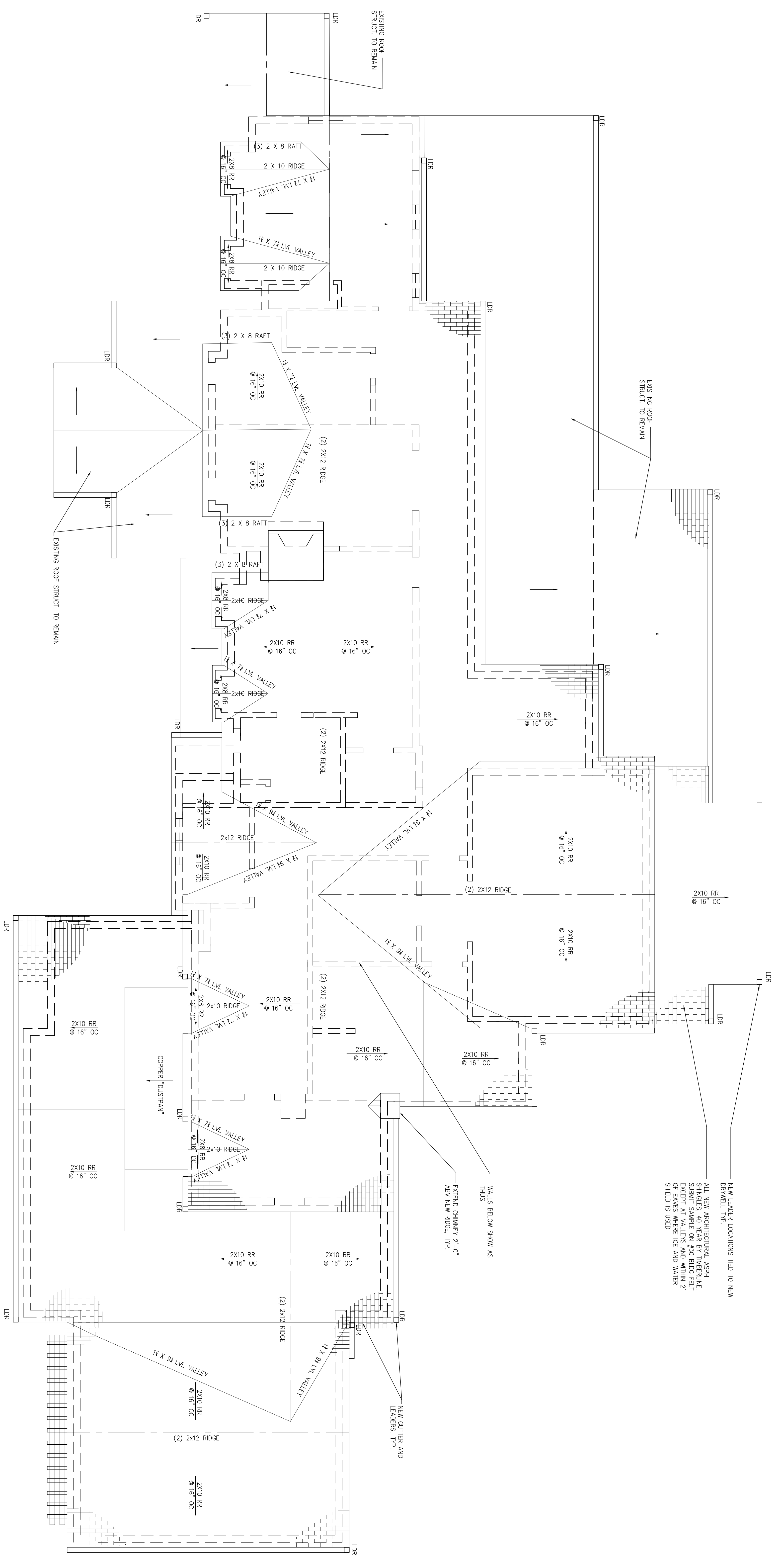
2 PROPOSED SECOND FLOOR PERSPECTIVE N.T.S.



2 PROPOSED FIRST FLOOR PERSPECTIVE N.T.S.



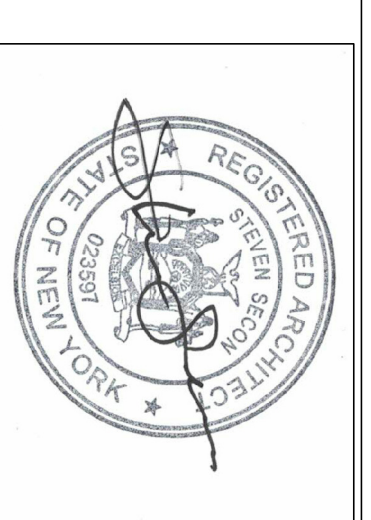
2 PROPOSED FIRST FLOOR PERSPECTIVE N.T.S.



1 ROOF PLAN

1/4"=1'-0"

NO.	DATE	REVISION/ISSUE
1	02.23.21	RRGC REVIEW

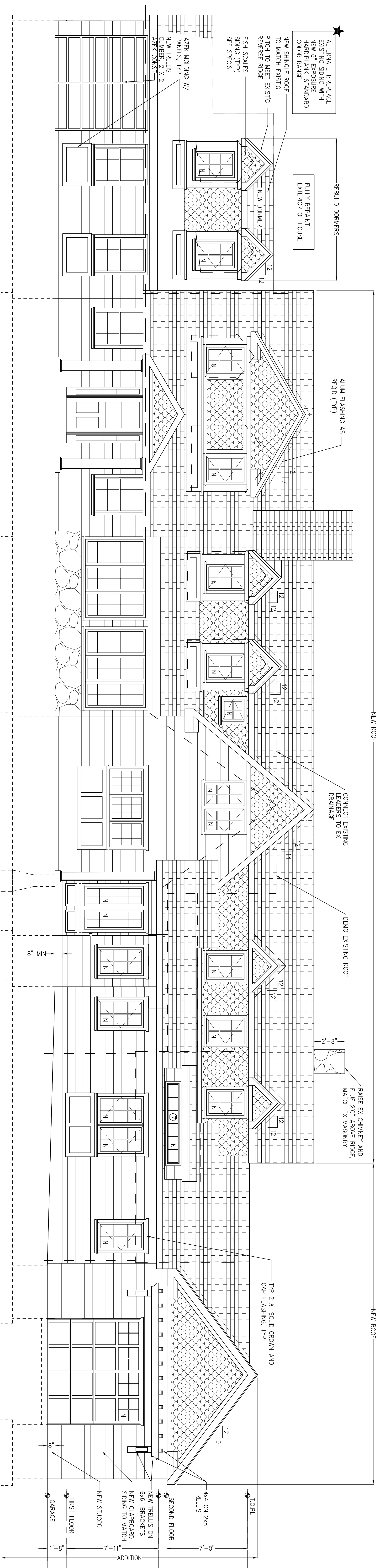


PROJECT:  
**KEISER RESIDENCE ALTERATIONS & ADDITIONS**  
 150 HICKORY KINGDOM ROAD  
 BEDFORD, NY 10606  
 SHEET: 18 BLOCK: 9 LOT: 36-2

ROOF PLAN

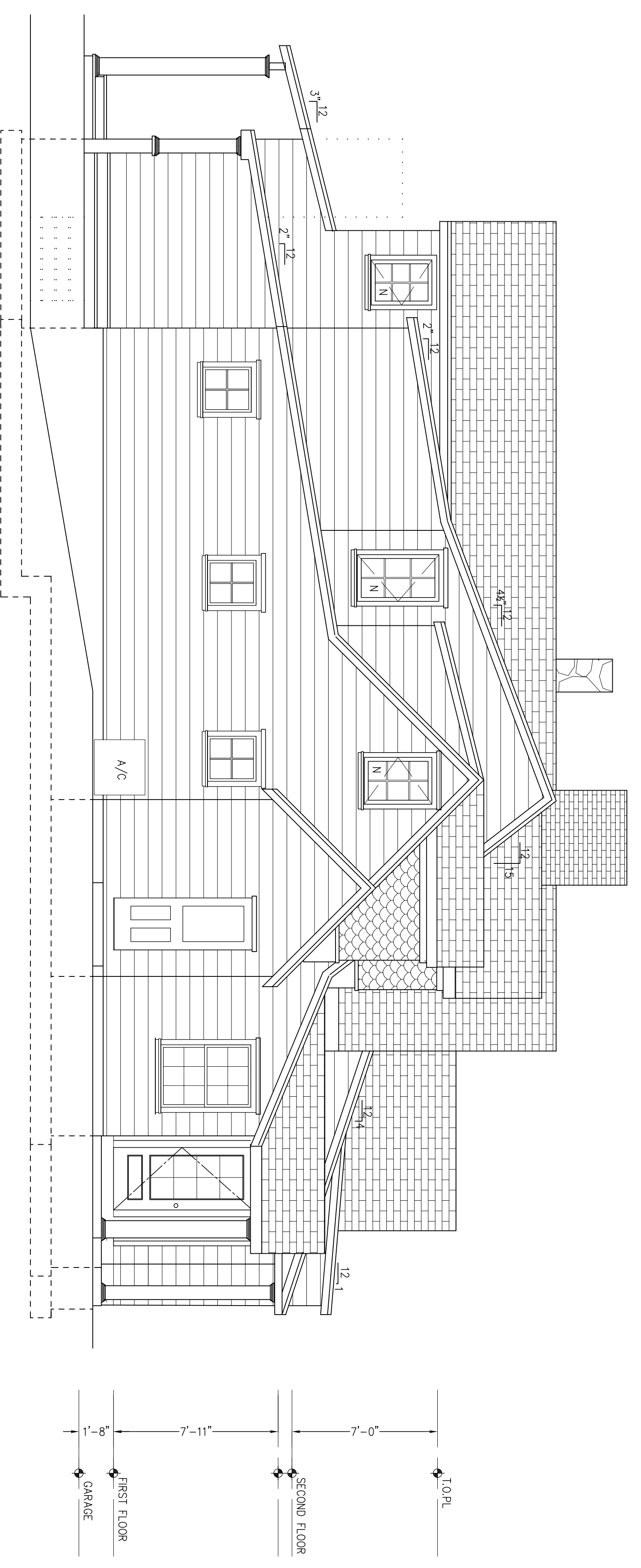
DATE	SCALE	CAD FILE

STEVEN SECOY ARCHITECT PC  
 145 Parkside Street, Suite 402  
 Bedford, NY 10606  
 Tel: (914) 674-6890 Fax: (914) 688-1817  
 WWW.ARCHITECTURENY.COM



1 SOUTH ELEVATION

1/4"=1'-0"



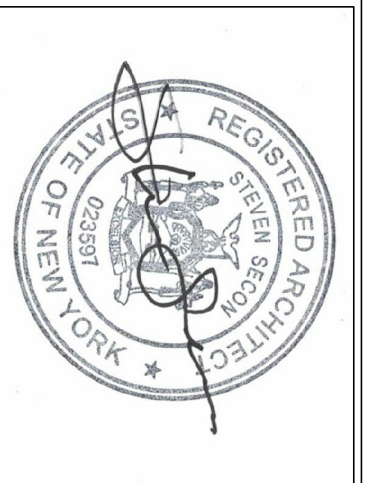
2 WEST ELEVATION

1/4"=1'-0"

PROPOSED ELEVATIONS

DATE	SCALE	CAD FILE

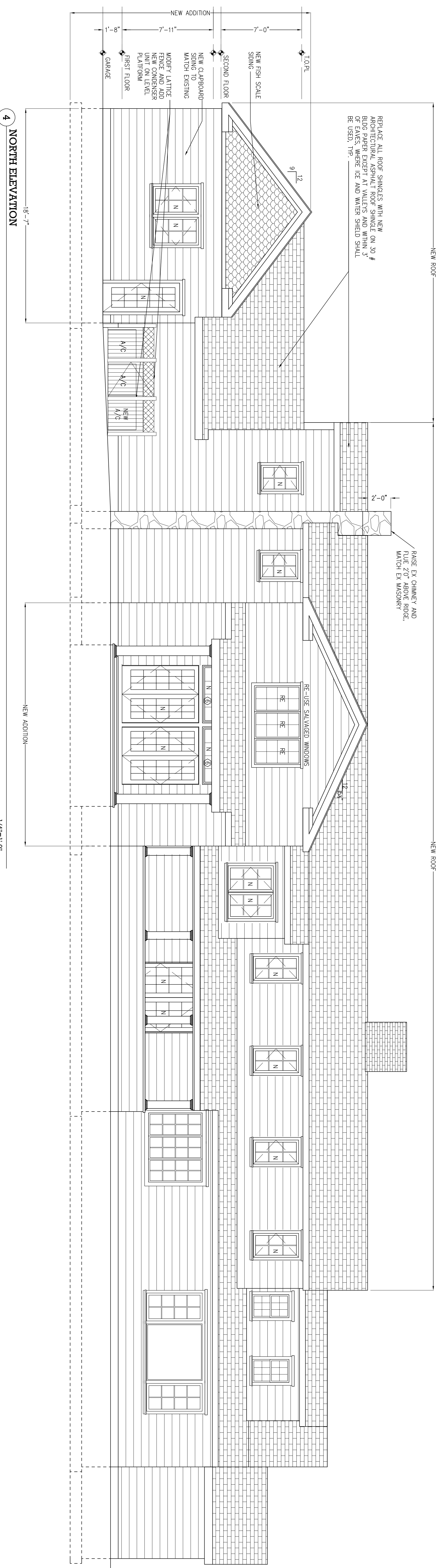
STEVEN SECON ARCHITECT PC  
 145 Palisades Street, Suite 403  
 Bedford, NY 10513  
 Tel: (914) 428-8900 Fax: (914) 888-1817  
 WWW.SECONARCHITECT.COM



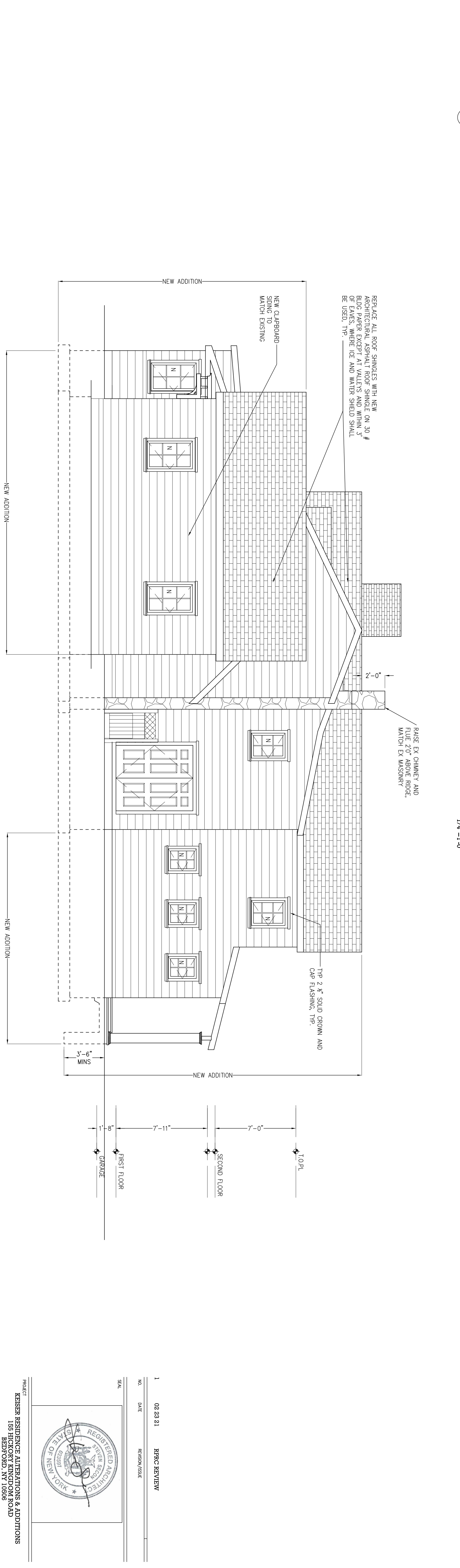
PROJECT:  
 KEISER RESIDENCE ALTERATIONS & ADDITIONS  
 180 HICKORY KINGDOM ROAD  
 BEDFORD, NY 10506  
 SHEET: 18 BLOCK: 3 LOT: 38-43

NO.	DATE	REVISION/SUB
1	02.23.21	RPGC REVIEW

SCALE



4 NORTH ELEVATION



2 EAST ELEVATION

PROJECT  
 KEISER RESIDENCE ALTERATIONS & ADDITIONS  
 150 HICKORY KINGDOM ROAD  
 BEDFORD, NY 10606  
 SHEET: 18 BLOCK: 3 LOT: 28-2

DATE: 02/23/21  
 REVISION/SITE: RBGC REVIEW

SCALE: 1/4"=1'-0"

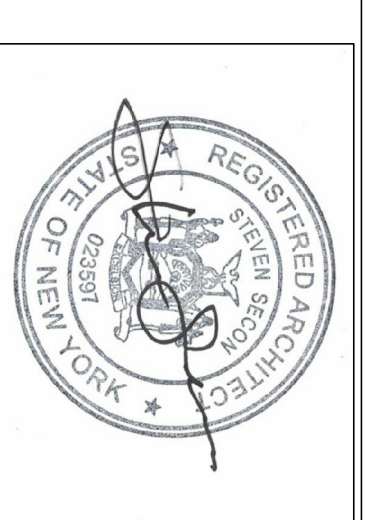
REGISTERED ARCHITECT  
 STEVEN SECOY ARCHITECT PC  
 145 Palisades Street, Suite 403  
 Bedford, NY 10606  
 Tel: (914) 474-2880 Fax: (914) 468-1827  
 WWW.STEVENSECOYARCHITECT.COM

PROPOSED ELEVATIONS

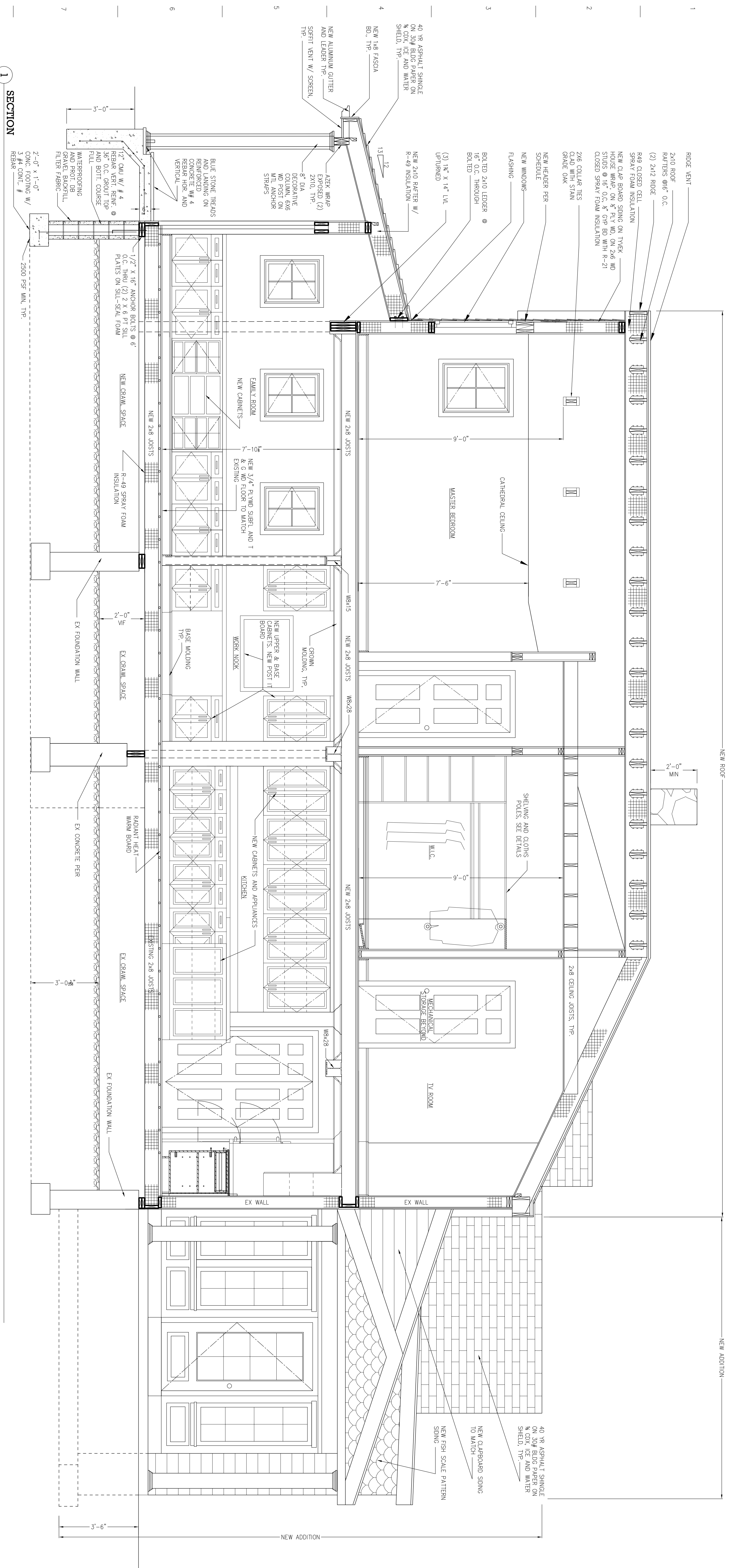
DATE: \_\_\_\_\_ SCALE: \_\_\_\_\_ CAD FILE: \_\_\_\_\_

STEVEN SECOY ARCHITECT PC  
 145 Palisades Street, Suite 403  
 Bedford, NY 10606  
 Tel: (914) 474-2880 Fax: (914) 468-1827  
 WWW.STEVENSECOYARCHITECT.COM

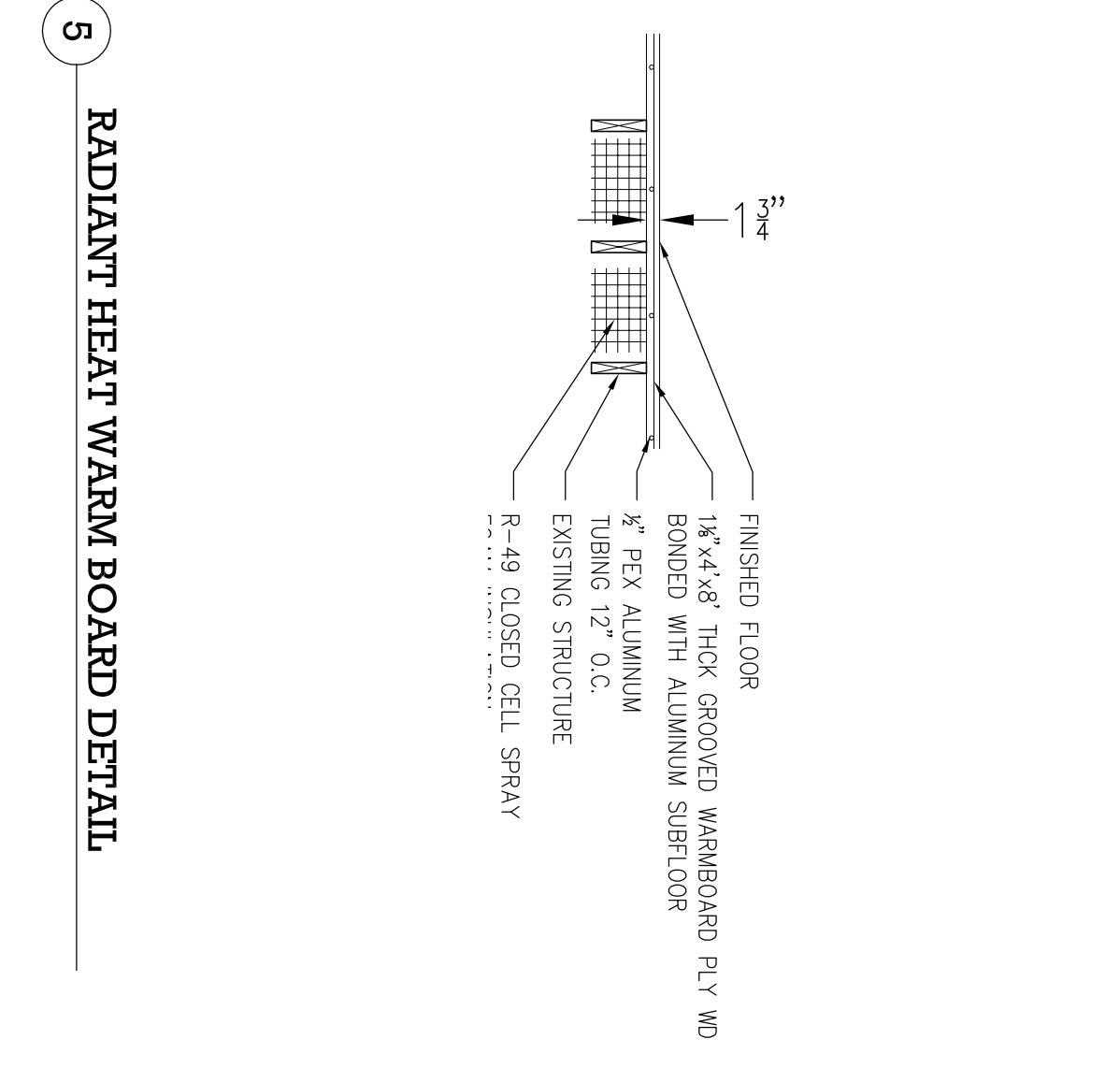
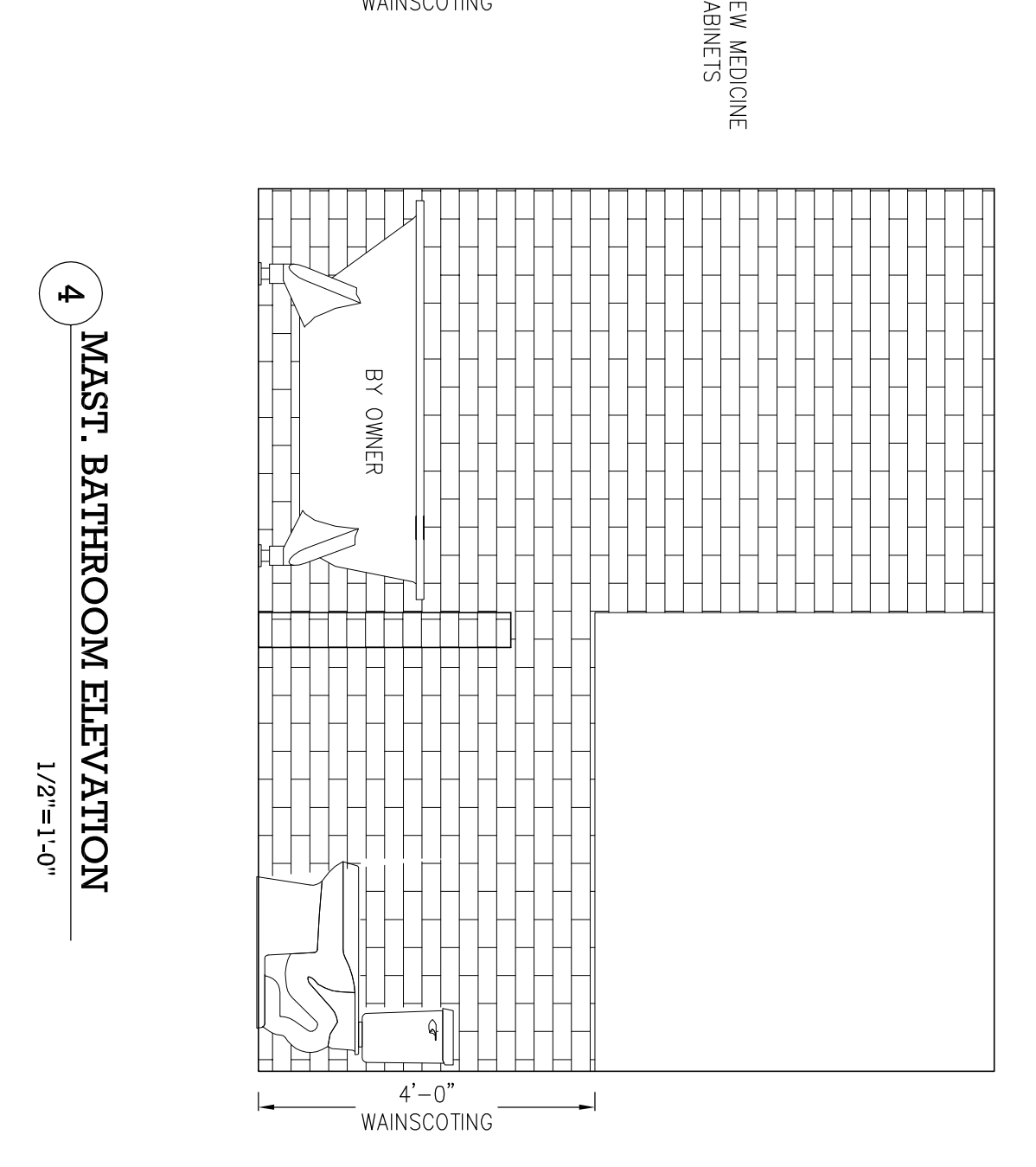
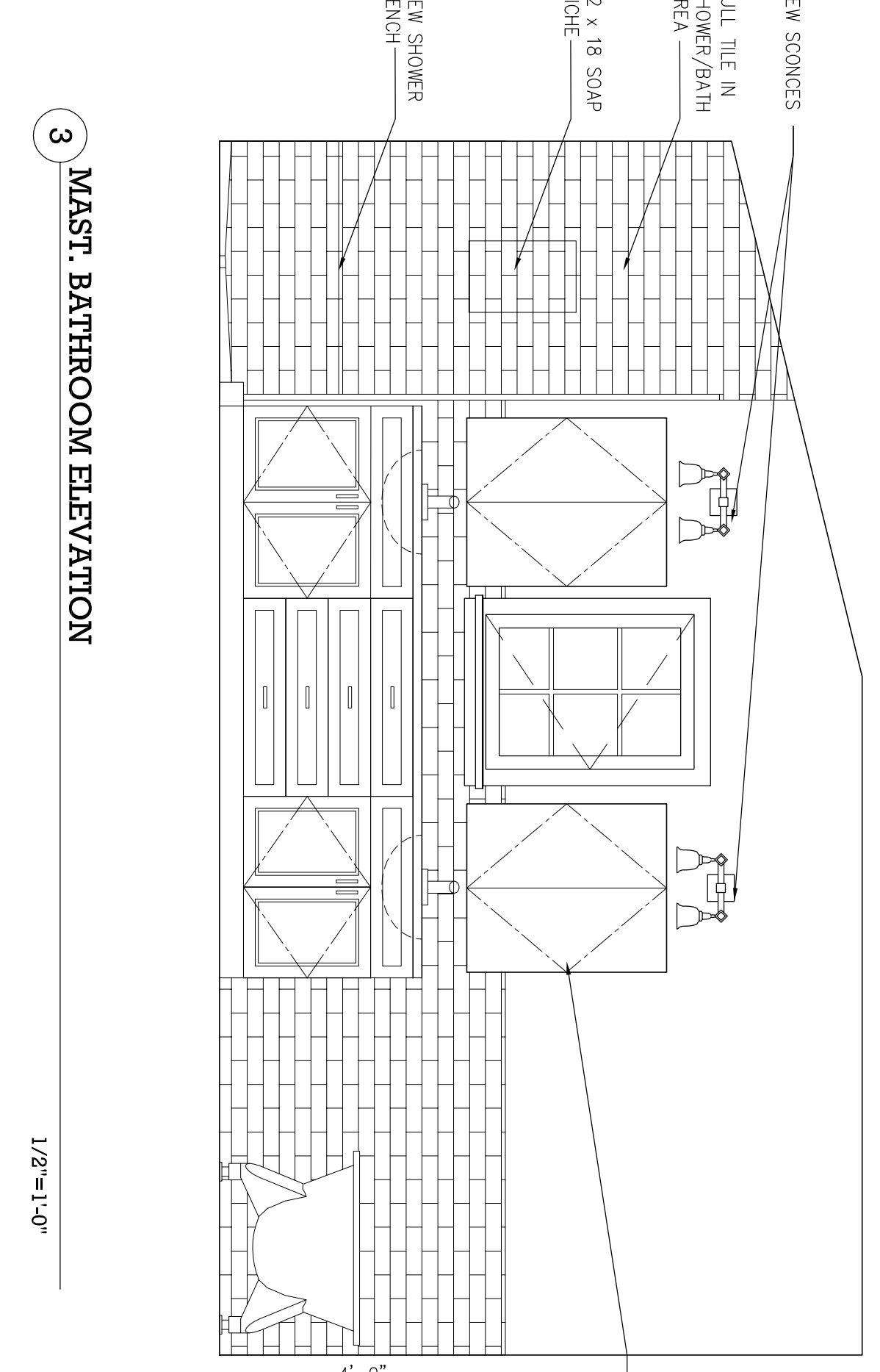
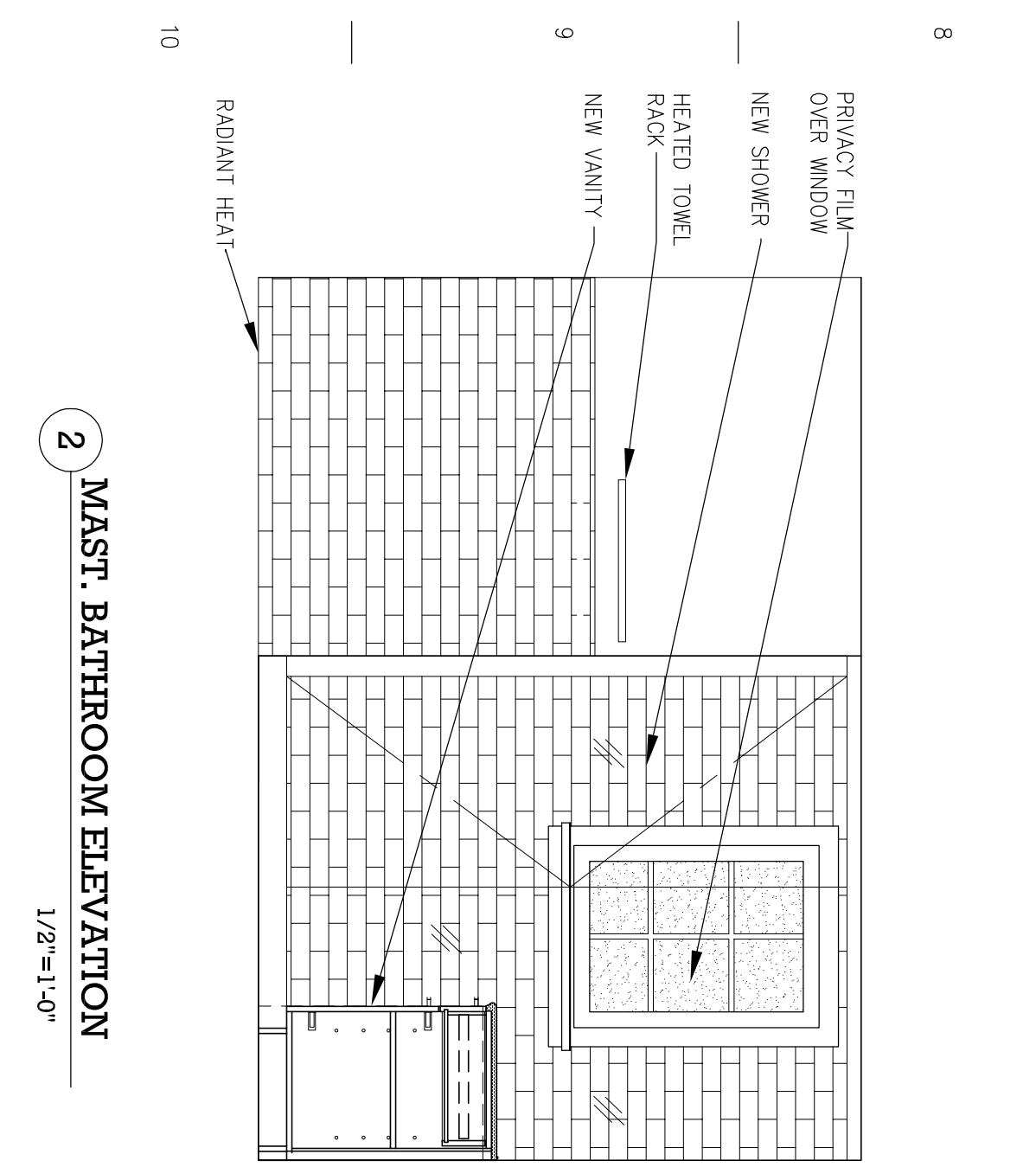
**A-8**



10  
9  
8  
7  
6  
5  
4  
3  
2  
1  
A B C D E F G H I J K



**1 SECTION**



1	02.23.21	RBCG REVIEW
NO.	DATE	REVISION/ISSUE

SCALE: 1/2" = 1'-0"

**REGISTERED ARCHITECT**  
**STEPHEN SECORA ARCHITECT PC**  
 145 Parkside Street, Suite 200  
 Hickory Knolls, NY 10986  
 Tel: (845) 974-6880 Fax: (845) 988-1837  
 www.stephensecora.com

**REGISTERED ARCHITECT**  
**KEISER RESIDENCE ALTERATIONS & ADDITIONS**  
 181 HICKORY KINGDOM ROAD  
 BEDFORD, NY 10814

SHEET: 18 BLOCK: 3 LOT: 38-43

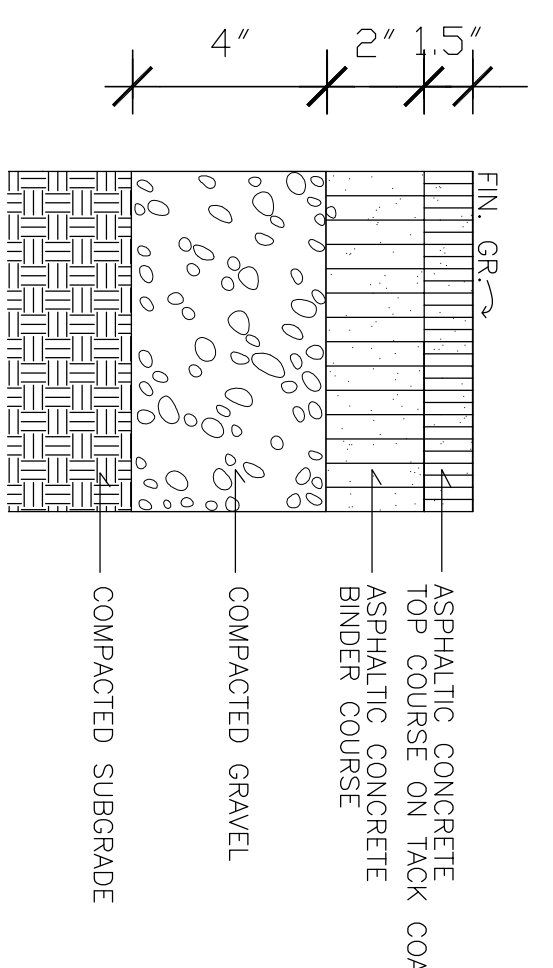
**SECTION & INTERIOR ELEVATIONS**

DATE: \_\_\_\_\_ SCALE: \_\_\_\_\_ CAD FILE: \_\_\_\_\_

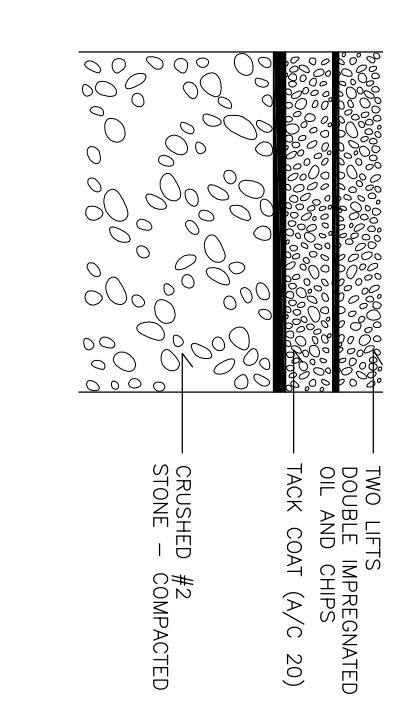
**A-9**



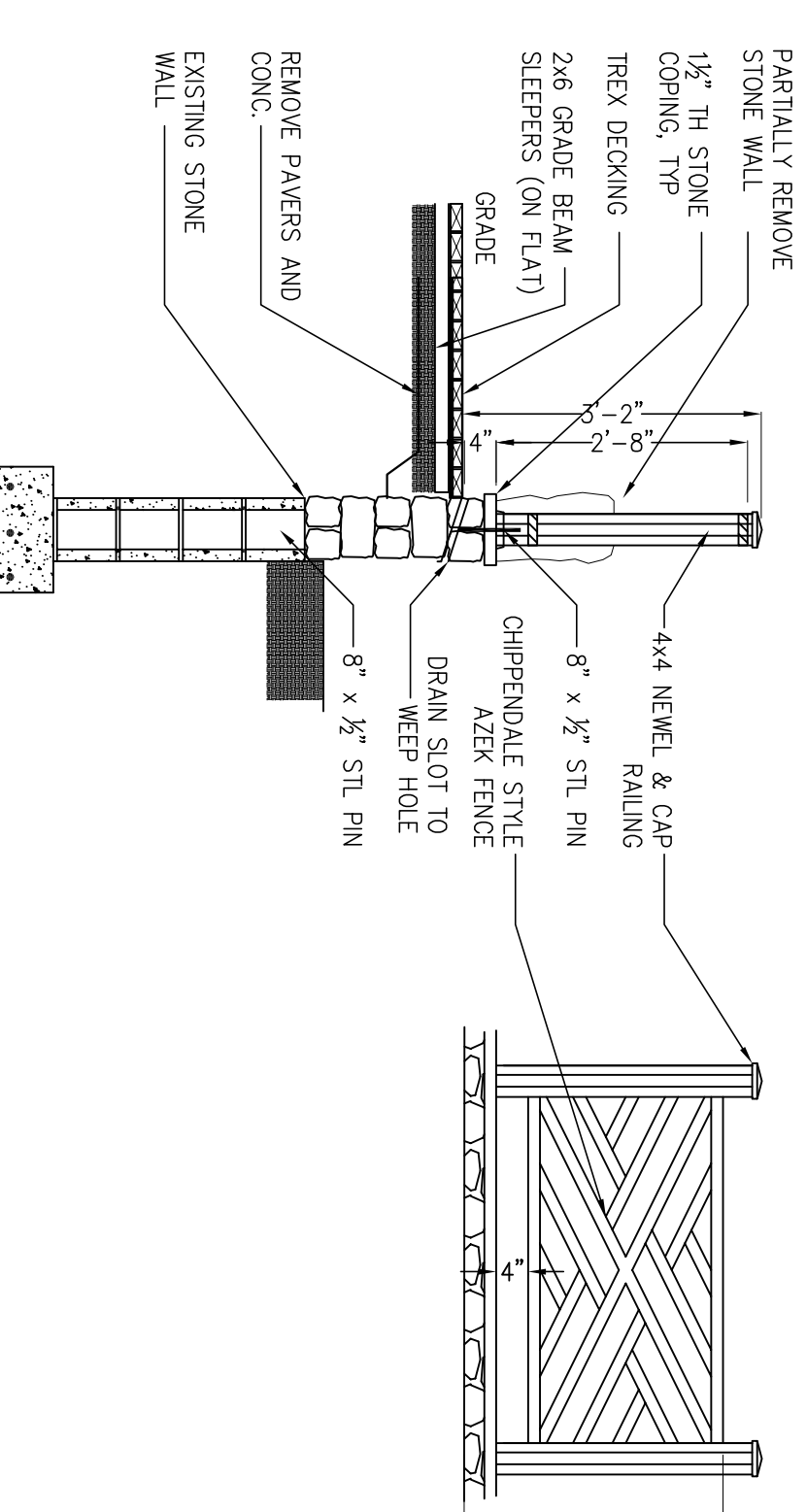




1 ASPHALT DETAIL



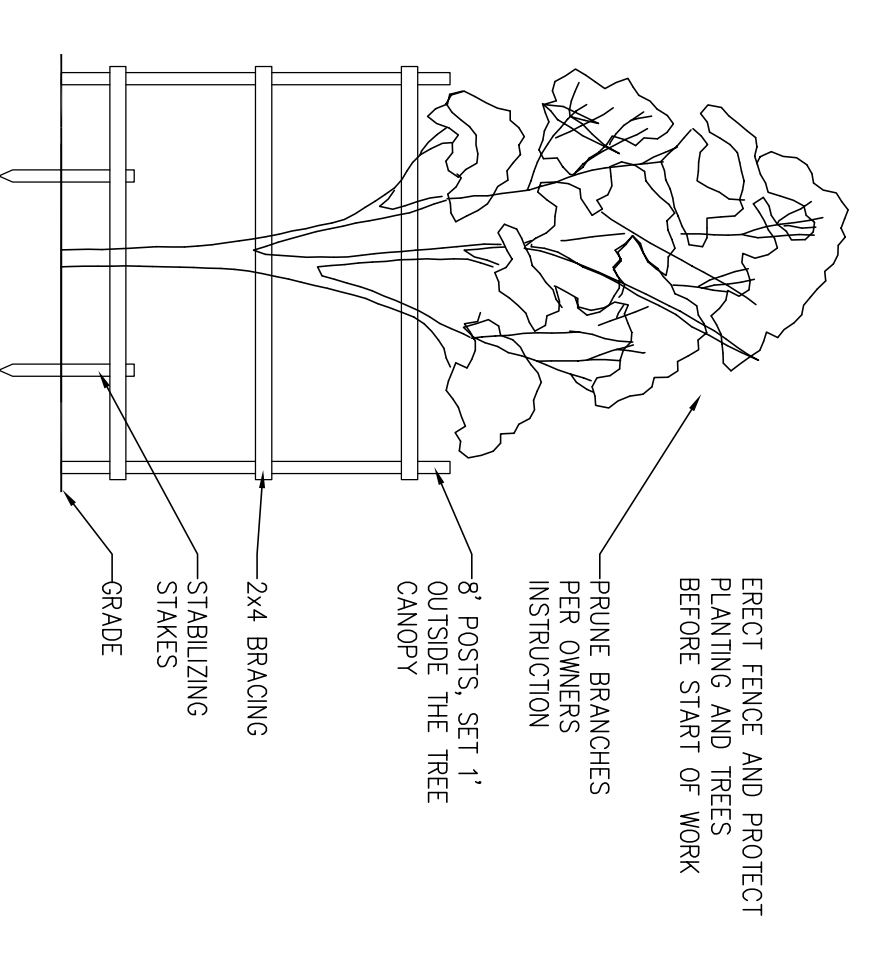
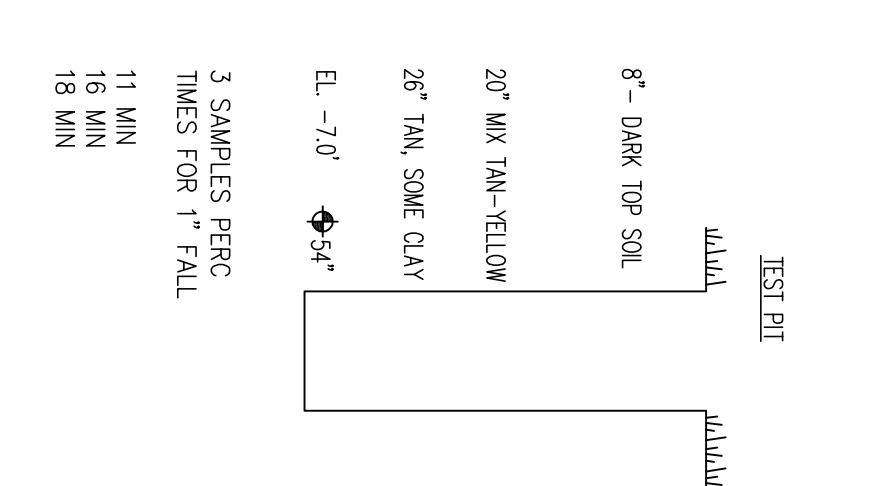
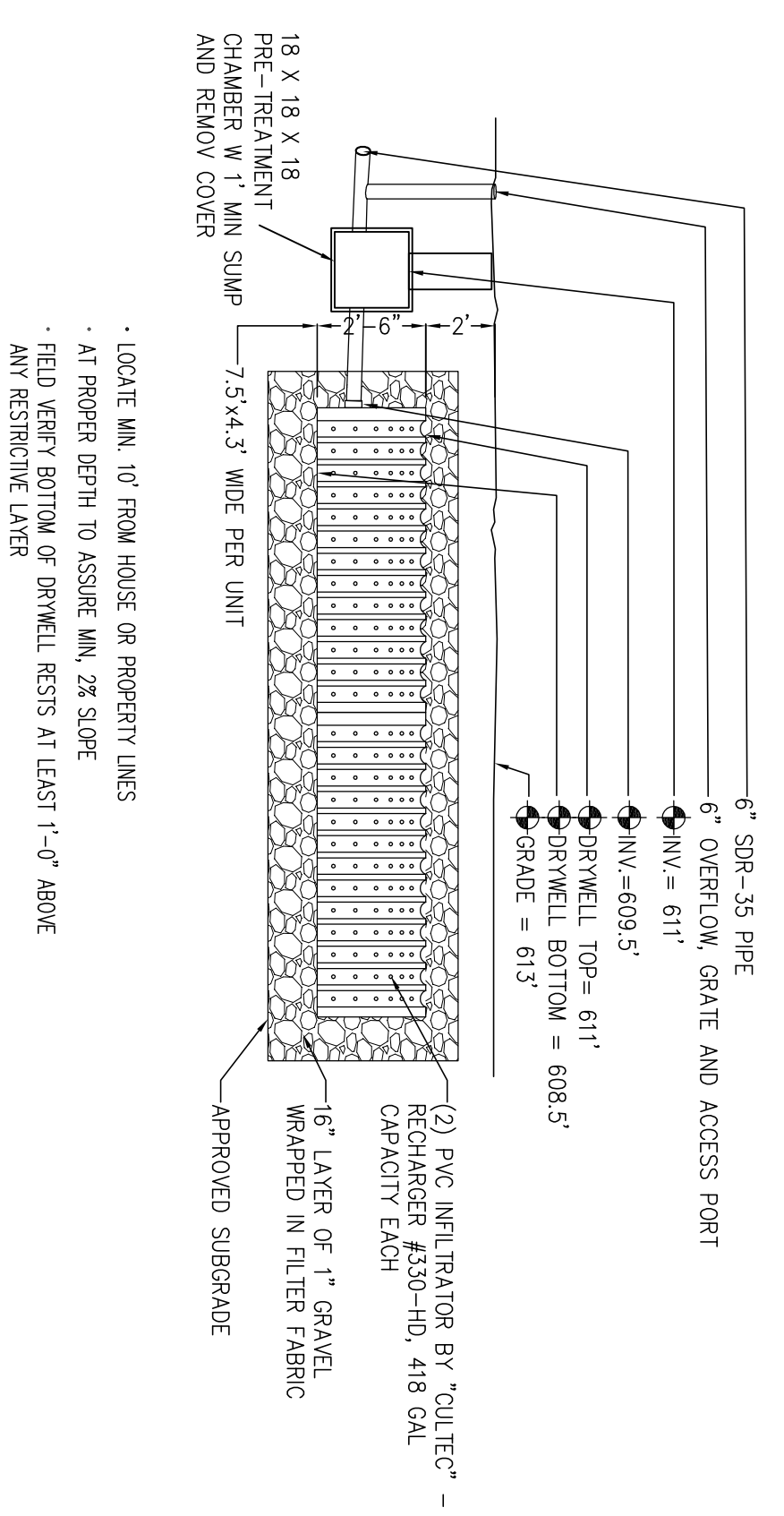
2 GRAVEL DRIVEWAY DETAIL



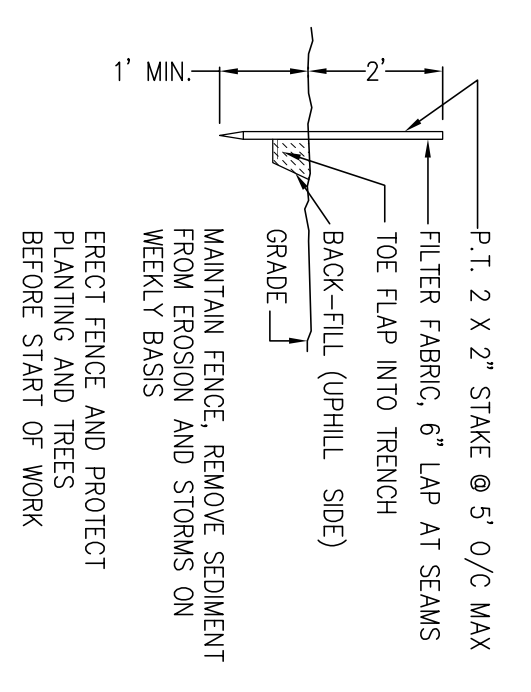
3 STONE RETAINING WALL SECTION/ELEVATION

storm water calculator	
100 year storm	
9\"/>	
drainage area	1656 sf
total volume to be stored	919.08 c.f./day
percolation rate	2 c.f./s.f./day
<b>Volume of units (4) 330</b>	
XL hd	104 c.f
volume of stone around	1150
volume of void	382.95
unit perc area	192
volume of water stored	486.95
<b>total design for water stored</b>	<b>1332.95</b>
	<b>919.08</b>
	<b>passes</b>

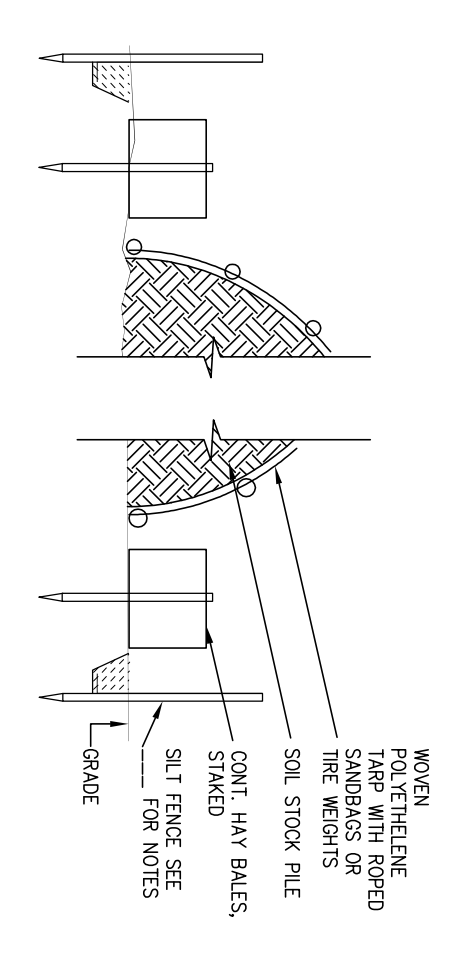
4 DRY WELL DETAIL



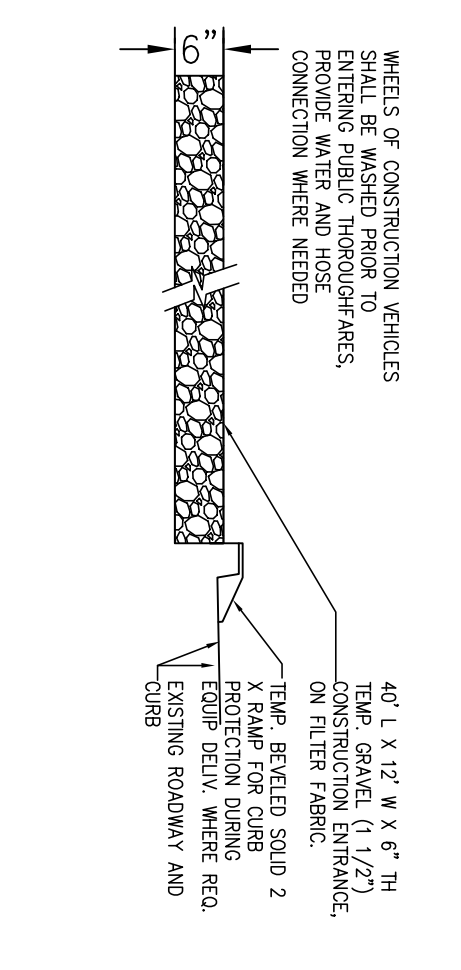
5 TREE PROTECTION



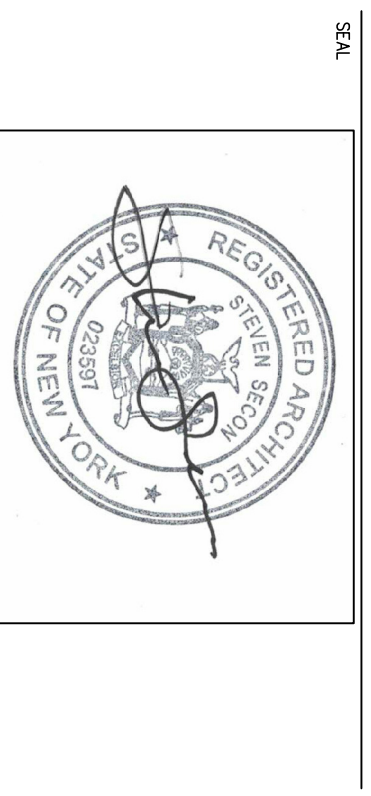
6 SILT FENCE DETAIL



7 STOCK PILE DETAIL



8 TRACK PAD DETAIL



PROJECT  
KERSEN RESIDENCE ALTERATIONS & ADDITIONS  
159 HICKORY KINGDOM ROAD  
BEDFORD, NY 10806

SHEET: 18 BLOCK: 9 LOT: 8-4

SWC & DETAILS

DATE	SCALE	CAD FILE

DESIGNED BY: STEVEN SECORA ARCHITECT PC  
140 Palisade Street, Suite 408  
Bedford, NY 10814  
Tel: (914) 574-4500 Fax: (914) 582-1837  
WWW.STEVENSECORA.COM



**Survey Notes:**

1. This map is based upon a field survey completed on May 18, 2020 and the data document provided. The deed dated 28 June, 2020 between Kenneth B. Solzmann, PE & LS, and Cynthia L. Keiser, recorded on 29 August, 2020 as Control No. 42232022.
2. An abstract of title was not furnished. This property may be affected by instruments which have not been provided to the surveyor, if any. Users of this map should verify title with their attorney or a qualified title examiner.
3. The following maps, recorded with the Office of the Westchester County Clerk, were used as references in preparing this survey.
  - Map of Property belonging to Thora R. McEnroy by Ralph L. Macdonald, PE & LS, filed on June 9, 1969 as Map No. 16,790.
  - "Subdivision of Property belonging to Leonard Goodman" by Ralph L. Macdonald, PE & LS, filed on Nov. 19, 1982 as Map No. 21,059.
  - "Subdivision of Property of Robert L. McEnroy" by S.E. Minor & Co., Inc. filed on Dec. 10, 1997 as Map No. 26,047.
  - "Subdivision of Property known as Haverford Farm" by David L. Odeh filed on Nov. 16, 1999 as Map No. 26,450.
4. Possession only as indicated. All property line monumentation was found obscured by dense vegetation or fallen leaves are not shown.
5. Regulated wetlands, if any, are not depicted herein.
6. Easements are referenced to the North American Vertical Datum, 1988 (NAVD83) and are shown as dashed lines. All measurements were taken using continuous leveling utilizing WSWR2, a spatial reference network of Continuously Operating Reference Stations (CORS) maintained by the New York State Department of Transportation. Contour interval is one (1) foot. Contours on exposed rock may be inaccurate. The following bench marks have been established for reference purposes:
  - BM "1" - the center of a chisel cut in a low stone in the lawn 69 feet NW of the NW corner of the house. Elev. 611.53.
  - BM "2" - on X cut in a low stone in the lawn 42 feet SE of the SW corner of the house. Elev. 618.81.
7. The location or absence of subsurface improvements or encroachments, including, but not limited to power, water, gas, cable and telephone lines, are not depicted herein, except that storm drain pipes are shown where accessible, but storm pipe locations are not complete. The approximate vicinity of the septic tank and septic field are depicted in accordance with verbal direction provided by Cynthia Keiser. Verify the actual location of all utilities with the appropriate agencies prior to design, excavation, or construction.
8. Trees with a diameter of six (6) inches and larger within the contained area are depicted herein, annotated with their common name and diameter estimated 4.5 feet up the trunk. Symbols depict the location of trees and are not to scale. "Bed" denotes planted areas. Individual shrubs within beds are not shown.
9. Unless noted otherwise, all curbs, sidewalks and steps are stone, all storm drains are concrete, and all other structures are masonry. The limits of exposed rock may be approximate. Exposed rock, walls, fences, landscaped beds and trees beyond the contained area may not be depicted or, if depicted, may not be complete.
10. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 2208, Sub-division 2, of the New York State Education Law.
11. Wild cables of this survey are marked with the land surveyor's embossed seal and original signature. Copies lacking the land surveyor's embossed seal and original signature are considered fraudulent and may contain erroneous information.

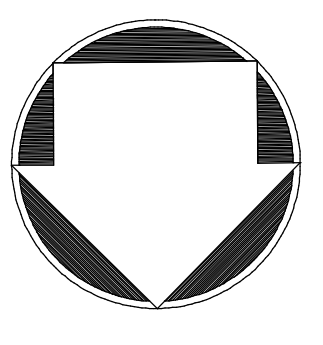
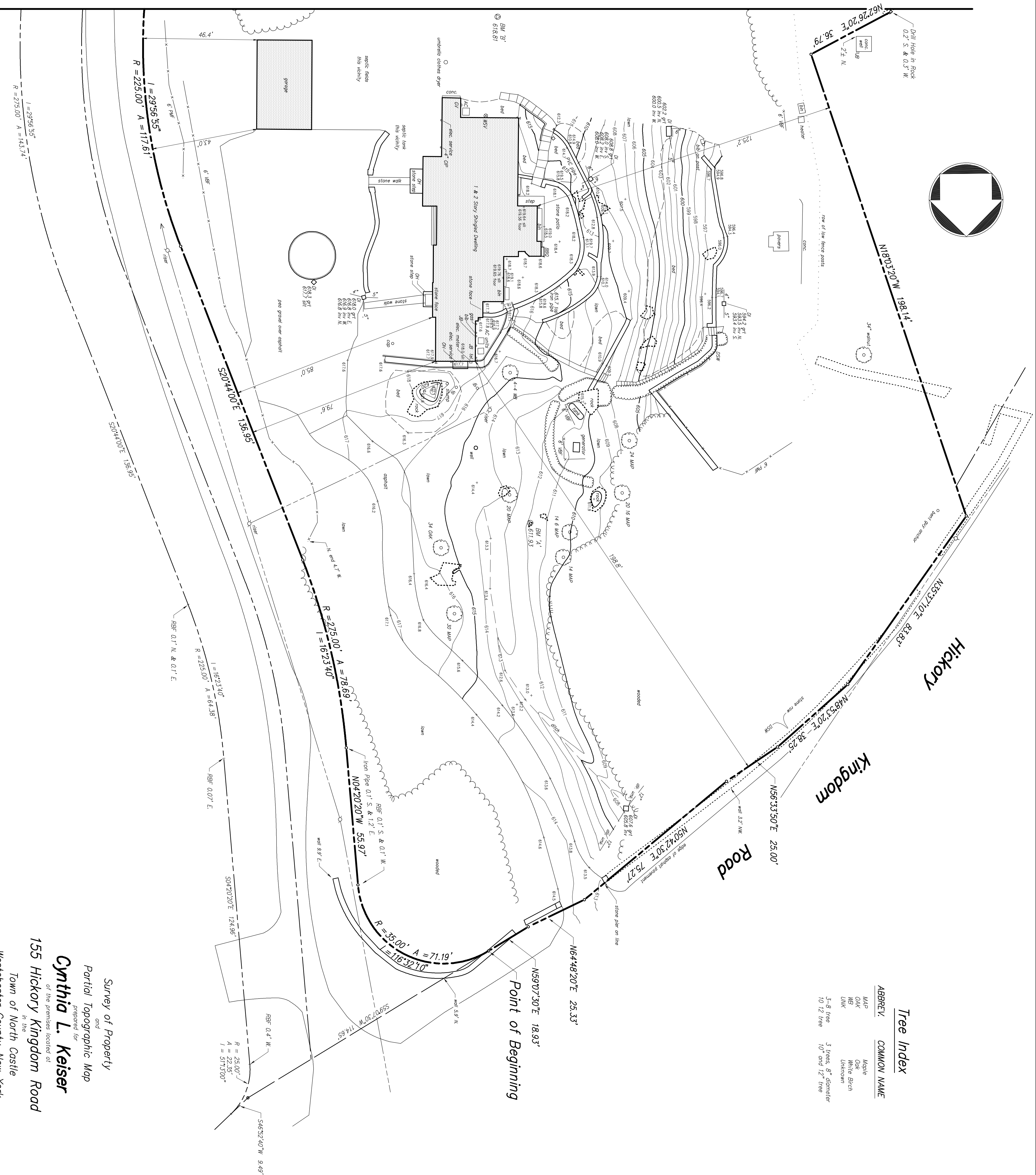
**Certification:**

This Survey has been prepared in accordance with the current Code of Practice for Land Surveys adopted by the New York State Office of Professional Land Surveyors (NYSOLS) for the enclosed parcel and is certified only to:

Cynthia L. Keiser  
 Kenneth B. Solzmann, PE & LS  
 Certified Copy - NOT

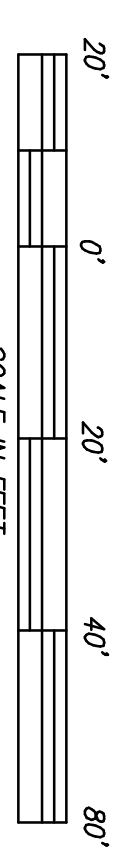
Kenneth B. Solzmann, Land Surveyor, NY Lic. No. 49712  
 12 Hunter Lane, PO Box 498, Pawling, NY 12564 (845) 895-3885

**Match to Sheet 2**

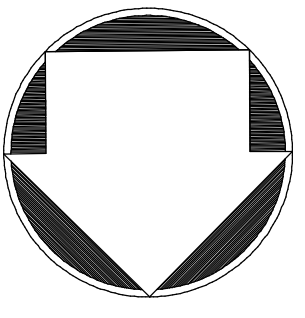


**Tree Index**

ABBREVIATION	COMMON NAME
MAP	Maple
MB	White Birch
UNK	Unknown
3-8 tree	3 trees, 8" diameter
10-12 tree	10' and 12" tree



Survey of Property  
 and  
 Partial Topographic Map  
 prepared for  
**Cynthia L. Keiser**  
 of the premises located at  
 155 Hickory Kingdom Road  
 in the  
 Town of North Castle  
 Westchester County, New York  
 Scale 1" = 20' May 23, 2020



Lot 1, FM 26047  
Tax Map 95.04-2-2

**Legend**

- BM bench mark
- BL building
- CBP cast iron pipe
- CONC concrete
- CONTOUR contour
- CUB curb
- DI ditch inlet
- DSW dry stone wall
- EST assessment
- EDGE edge of bed
- EDGE edge of pavement
- EXP exposed rock or stone
- F fence
- FR fence post
- FM filled map
- GV gas valve
- GR grate
- HR horizontal board fence
- INERT inert
- IPV iron pipe found
- JB junction box
- LAMP lamp
- OW overhead wires
- PMW plastic mesh fence
- PL property line
- RRR rebar found
- RD road drain leader
- SG spot grade
- SW stone wall
- SDM storm drain and size
- TOP top of bottom curb or wall
- TR tree and size
- UG utility pole and guy
- VB vertical board fence
- WV water service valve

Lot 4, FM 26450  
Tax Map 95.04-2-30

Tax Map 95.02-2-32  
Area = 4.632± Acres

Lot 1, FM 26047  
Tax Map 95.04-2-2

**Legend**

- BM bench mark
- BL building
- CBP cast iron pipe
- CONC concrete
- CONTOUR contour
- CUB curb
- DI ditch inlet
- DSW dry stone wall
- EST assessment
- EDGE edge of bed
- EDGE edge of pavement
- EXP exposed rock or stone
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- RD road drain leader
- SG spot grade
- SW stone wall
- SDM storm drain and size
- TOP top of bottom curb or wall
- TR tree and size
- UG utility pole and guy
- VB vertical board fence
- WV water service valve

Match to Sheet 1

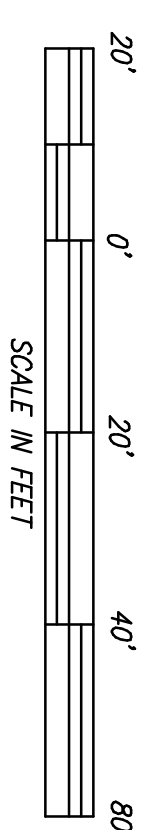
**Certification:**

This Survey has been prepared in accordance with the current Code of Practice for Land Surveys adopted by the New York State Board of Professional Land Surveyors (NYSBPLS) for the registration and is certified only to Cynthia L. Keiser

Original Copy - No  
Certification not transferable to subsequent owners or unnamed institutions.

Kenneth B. Solzmann, Land Surveyor, NY Lic. No. 49712  
12 Hunter Lane, PO Box 498, Pawling, NY 12564 (845) 855-3885

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Sheet 2 of 2

Survey of Property  
and  
Partial Topographic Map

proposed for  
**Cynthia L. Keiser**  
of the premises located at

155 Hickory Kingdom Road  
Town of North Castle  
Westchester County, New York  
Scale 1" = 20' May 23, 2020

WESTCHESTER COUNTY DEPARTMENT OF HEALTH  
REQUEST FOR APPROVED SEPTIC SYSTEM AND WELL RECORDS

MK13-709

DATE: June 7, 2013

NAME: Cynthia L. Keiser  
MAILING ADDRESS 155 Hickory Kingdom Road, Bedford, NY 10506  
TELEPHONE NUMBER 914-234-9606

ITEMS THAT MAY BE REQUESTED FROM FILE, IF AVAILABLE (circle)  
CERT. OF CONSTRUCTION COMPLIANCE  
DESIGN DATA SHEET  
AS-BUILT PLAN  
WELL COMPLETION REPORT  
# OF BEDROOMS APPROVED FOR SEPTIC

**PERTINENT INFORMATION REQUIRED:**  
(PLEASE CONTACT TAX ASSESSOR TO OBTAIN REQUIRED INFORMATION)

PRESENT OWNER: Cynthia L. Keiser  
STREET ADDRESS 155 Hickory Kingdom Road  
MUNICIPALITY: Bedford **NORTH CASTLE**  
ORIGINAL SECTION, BLOCK, LOT: Section 1, Sheet 15, Lot 5, Lot 26-2  
NEW SECTION, BLOCK, LOT:  
YEAR HOUSE CONSTRUCTED: 1955  
ORIGINAL OWNER'S/BUILDER'S NAME: unknown  
YEAR OF BEDROOM ADDITIONS unknown

**TO BE COMPLETED BY WCDOH PERSONNEL:** Hickory Kingdom Road  
SECTION, BLOCK, LOT NUMBERS AT TIME Sec 1 - Bl 5 - Lot 26-1 + 26-2  
OWNERS NAME AT TIME Donald A. McElroy  
WCDOH FILE NUMBER: NC-363A  
APPROVAL DATE: 3-4-60  
BOX NUMBER: H1-1826

**FILE ORDERED FROM RECORD CENTER** to order Bl Lot  
Sec 1 - 5 - 26  
Donald McElroy  
DATE: 6-14-13 INITIALS WE App date 6-1-55 + 5-14-52

**SKETCH BOOK NUMBER:** A5-445 + AP-106  
DATE: 6-14-13 INITIALS WE

Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**RECORDS REQUESTED MAILED TO CALLER**  
DATE: 6-14-13 INITIALS WE

**NO RECORD ON FILE. CALLER NOTIFIED**  
DATE: \_\_\_\_\_ INITIALS \_\_\_\_\_

COMPLETED FORMS CAN BE MAILED TO:  
WESTCHESTER COUNTY DEPT. OF HEALTH - BEQ  
25 Moore Ave.  
Mount Kisco, NY 10549

OR FAXED TO: 914 864-7341

H1-1826  
99-18-07  
5



**TOWN OF NORTH CASTLE**  
Municipality

Separate Sewage System

**CERTIFICATE OF COMPLETION**

located at **BRIGGORY KINGDOM ROAD** Section-Ward \_\_\_\_\_

owner **DONALD A. WATSON** Block \_\_\_\_\_

system built by **LINTON ADAMS** Lot \_\_\_\_\_ Job # \_\_\_\_\_

building type **ONE FAM. DW.** Permit issued **JULY 7, 1999** W. C. D. H. File # **W-363A**

system consists of **1.25** Gal. masonry **200** gal. tank \_\_\_\_\_ Linear feet **24** Width trench \_\_\_\_\_

**W.C-363A**

The separate sewage system serving the above premises was constructed essentially in accordance with plans filed with this Department and the terms of a Permit issued on the above date and otherwise as shown on plans of the completed work, copy of which is attached. Any person occupying the premises served by this system shall promptly take such action as may be necessary to secure the correction of any unsanitary condition resulting from such usage. This approval is revocable as soon as a public sanitary sewer shall become available and is subject to modification or change when in the judgement of the Commissioner of Health such revocation, modification or change shall be necessary. **TRUE COPIES OF THE PERMIT, PLAN OF THE SYSTEM AND OF THIS CERTIFICATION, AND ANY CHANGES THEREOF SHALL BE MAINTAINED ON THE PREMISES AT ALL TIMES AND SHALL BE SHOWN TO ANY REPRESENTATIVE OF THE COMMISSIONER OF HEALTH UPON DEMAND.** *With proper maintenance this system can be expected to function satisfactorily and is not likely to create an unsanitary condition.*

Date **MARCH 4, 1999** William A. Drumfield Jr., M. D., Commissioner by \_\_\_\_\_  
Westchester County Department of Health

FILE COPY



DESIGN DATA SHEET - SEPARATE SEWERAGE SYSTEM

FILE NO. \_\_\_\_\_

Located At (Street) HICKORY KINGDOM RD. Job # \_\_\_\_\_

Owner DONALD A. McEIRO Y Sec. 1 Blk. 5 Lot 26-1

Present Mail Address R.F.D. BEDFORD VILLAGE 26-2

Watershed N.Y.C. Lot Area 50 Ac. S.D. Usable Area \_\_\_\_\_

Water Supply: Drilled , Driven \_\_\_\_\_, Dug Well \_\_\_\_\_, depth \_\_\_\_\_, Public \_\_\_\_\_

No. of Rooms 7 Bedrooms 3 Future: Yes 1 No \_\_\_\_\_ Other \_\_\_\_\_

Septic Tank Capacity (From Table, Item 5.1) 1125 Gals. Masonry  Metal \_\_\_\_\_

Soil Rate Used 7 Min/1" Drop: Soil perc. test data ; test pit data

Soil Rate Approved \_\_\_\_\_ Sq.Ft./gal. Checked by \_\_\_\_\_ Date \_\_\_\_\_

Absorption Area Required (Table Item 10.5) 560 Sq.Ft.

Absorption Provided By 5 Lines of 56 ft. x 24" trench; other \_\_\_\_\_

TRIPPLICATE PLANS AND PROFILES OF SEWERAGE SYSTEM REQUIRED DRAWN TO SCALE OF NOT MORE THAN 1" TO 20' HORIZONTAL AND 1" TO 10' VERTICAL FLOOR PLAN OF BUILDING (REQUIRED)

PLOT PLAN (Check Items)

SEPARATE SEWERAGE DISPOSAL SYSTEM PROFILE

- 1. Identification
- 2. Scale, north point, date
- 3. SEWERAGE DISPOSAL SYSTEM:
  - dimensions;  sewer line;
  - septic tank;  distr. box;
  - trenches;  spacing;
  - other.
- DISTANCES (Nearest Foot) TO:
  - 4. Street lines, name street
  - 5. Property lines (within 250')
  - 6. Buildings and structures
  - 7. Driveways, paved areas
  - 8. Watercourses, ponds, etc.
  - 9. Storm and ground water disposal
    - street;  area;  roof;
    - footing;  cellar;  other;
  - 10. Drilled wells within 250 ft.
  - 11. Dug wells or springs within 250 ft.
  - 12. Curtain drains to discharge pt.
  - 13. Water, oil, gas, electric services and tanks (underground)
  - 14. Trees, over 6" diameter, when grown
  - 15. Contours, before and after grading
    - in or above sewage disposal area

- 1. Identification
- 2. Scales, date
- 3. Section - main system
- 4. Pipe Invert Elevations
  - building;  tank;
  - distr. box;  trenches;
  - curtain drain.
- 5. Ground Level Elevations (before and after grading)
  - building;  tank;
  - distr. box;  trenches;
  - curtain drain.
- 6. Ground Water Elevation
- 7. Ledge Rock Elevation
- 8. Flow Line Elevations
  - Watercourses
  - Adj. ponds, etc.
- 9. Well Water Elevation
- 10. Curtain drain discharge elevation

363A

Reviewed by Site 7-1-70

some work done by Site 7-1-70

DATA SUBMITTED BY LAWTON ADAMS

OWNER \_\_\_\_\_ BUILDER \_\_\_\_\_ CONTRACTOR

IF CORPORATION, GIVE NAME AND TITLE \_\_\_\_\_

MAIL ADDRESS SOMERS, N.Y. TELEPHONE NUMBER CE 2-3275

Job Location DONALD McEIROY-HICKORY KINGDOM RD.

Westchester County Department of Health

TEST PIT DATA REQUIRED TO BE SUBMITTED WITH APPLICATION

DESCRIPTION OF SOILS ENCOUNTERED IN TEST HOLES

DEPTH	HOLE NO. <u>1</u>	HOLE NO. <u>2</u>	HOLE NO. <u>3</u>	HOLE NO. _____
G.L.	<u>TOP Soil</u>	<u>TOP Soil</u>	<u>TOP Soil</u>	_____
6"	<u>TOP Soil</u>	<u>TOP Soil</u>	<u>TOP Soil</u>	_____
12"	<u>TOP Soil</u>	<u>TOP Soil</u>	<u>TOP Soil</u>	_____
18"	<u>LOAM</u>	<u>LOAM</u>	<u>LOAM</u>	_____
24"	<u>LOAM</u>	<u>LOAM</u>	<u>"</u>	_____
30"	<u>LOAM</u>	<u>LOAM</u>	<u>"</u>	_____
36"	_____	_____	<u>"</u>	_____
42"	_____	_____	<u>LOAM &amp; SAND</u>	_____
48"	_____	_____	}	_____
54"	_____	_____		_____
60"	_____	_____		_____
66"	_____	_____		_____
72"	_____	_____	_____	_____
78"	_____	_____	_____	_____
84"	_____	_____	_____	_____

INDICATE LEVEL AT WHICH GROUND WATER IS ENCOUNTERED  
INDICATE LEVEL TO WHICH WATER LEVEL RISES AFTER BEING ENCOUNTERED

Tests made by L.A. TON. A.D.A.M.S. . . . . . Date 6/30/59 . . . . .