



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: "AS BUILT CONDITIONS"
25 EDGAR RD., NORTH CASTLE, N.Y.

Initial Submittal Revised Preliminary

Street Location:
25 EDGAR RD, ARMONK, N.Y.

Zoning District: R2A Property Acreage: 10.92 Tax Map Parcel ID: 109.01-1-17

Date: 3,16,2021

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

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- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 25 EDGAR RD., ARMONK, N.Y. 10504

Section III- DESCRIPTION OF WORK:

Certificate of Occupancy update/legalization of the following exterior items totalling 609 sq. ft.

(1) sheds totalling 306 sq. ft.

(2) rain collection barrels totalling 88 sq. ft.

Decks, steps totalling 151 sq. ft.

(1) Pizza Oven totalling 64 sq. ft. / Terrace + Walkways (see site plan)

Section III- CONTACT INFORMATION:

APPLICANT: JACLYN TYLER, AIA / NEXUS CREATIVE DESIGN

ADDRESS: 100 WHITE PLAINS RD., TARRYTOWN, NY 10591

PHONE: 914.740.4774 MOBILE: 914.204.6404 EMAIL: jaclyn@nexuscreative.design

PROPERTY OWNER:

EDGAR REALTY

ADDRESS: 25 EDGAR RD., ARMONK, N.Y. 10504.

PHONE: 914.428.8500 MOBILE: _____ EMAIL: _____

PROFESSIONAL: JACLYN TYLER, AIA / NEXUS CREATIVE DESIGN

ADDRESS: 100 WHITE PLAINS RD., TARRYTOWN, N.Y. 10591

PHONE: 914.740.4774 MOBILE: 914.204.6404

EMAIL: jaclyn@nexuscreative.design

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 109.01-1-17



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

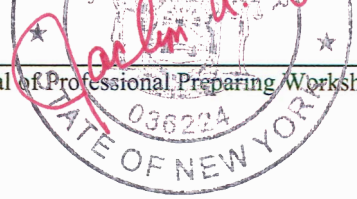
Application Name or Identifying Title: 25 Edgar Rd., Armonk Date: 3.16.2021
 Tax Map Designation or Proposed Lot No.: 109.01-1-17

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 10.92 acres
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 42,412 S.F.
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
4. ¹106.5 Distance principal home is beyond minimum front yard setback x 10 = 1,065
5. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 = 43,477 S.F.
6. Amount of lot area covered by **principal building**:
4258 existing + 609 proposed = 4,867 S.F.
7. Amount of lot area covered by **accessory buildings**:
0 existing + 306 proposed = 306 S.F.
8. Amount of lot area covered by **decks**:
475 existing + 151 proposed = 626 S.F.
9. Amount of lot area covered by **porches**:
245 existing + 0 proposed = 245 S.F.
10. Amount of lot area covered by **driveway, parking areas and walkways**:
8,432 existing + 3,646 proposed = 12,078 S.F.
11. Amount of lot area covered by **terraces**:
0 existing + 1,020 proposed = 1,020 S.F.
12. Amount of lot area covered by **tennis court, pool and mechanical equip**:
931 existing + 0 proposed = 931 S.F.
13. Amount of lot area covered by **all other structures**: (rain collection barrels, pizza oven)
0 existing + 152 proposed = 152 S.F.
13. Proposed **gross land coverage**: Total of Lines 5 - 12 = 20,225 S.F.

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet _____ Date 3/16/21





TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastlenv.com

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

FLOOR AREA CALCULATIONS WORKSHEET

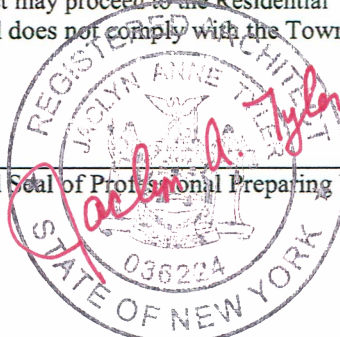
Application Name or Identifying Title: 25 Edgar Rd., Armonk Date: 3.16.2021
 Tax Map Designation or Proposed Lot No.: 109.01-1-17

Floor Area

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): 10.92 acres
2. Maximum permitted floor area (per Section 355-26.B(4)): 22,650 S.F.
3. Amount of floor area contained within first floor:
 - 4,230 existing + 0 proposed = 4,230 S.F.
4. Amount of floor area contained within second floor:
 - 2,118 existing + 0 proposed = 2,118 S.F.
5. Amount of floor area contained within garage:
 - 1,414 existing + 0 proposed = 1,414 S.F.
6. Amount of floor area contained within porches capable of being enclosed:
 - 245 existing + 0 proposed = 245 S.F.
7. Amount of floor area contained within basement (if applicable – see definition):
 - _____ existing + _____ proposed = N/A
8. Amount of floor area contained within attic (if applicable – see definition):
 - +/- 330 existing + 0 proposed = +/- 330 S.F.
9. Amount of floor area contained within all accessory buildings:
 - 0 existing + 306 proposed = 306 S.F.
10. Proposed floor area: Total of Lines 3 – 9 = 8,643 S.F.

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



3/16/21
 Date

AS-BUILT CONDITIONS FOR: 25 EDGAR RD. NORTH CASTLE, NY

ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR	INSUL	INSULATION OR INSULATED
A.C.	AIR CONDITIONING	INT	INTERIOR
APPD	APPROVED	LT	LIGHT
APPROX.	APPROXIMATE	LF	LINEAR FOOT/FEET
ARCH	ARCHITECTURAL	LN	LINEN
ASB.	ASBESTOS	M.O.	MASONRY OPENING
A.A.C.	ASBESTOS ABATEMENT CONTRACTOR	MAX	MAXIMUM
AVG	AVERAGE	MIN	MINIMUM
BM	BEAM	MISC	MISCELLANEOUS
B.O.	BOTTOM OF	N/A	NOT APPLICABLE
BLDG	BUILDING	N.I.C.	NOT IN CONTRACT
		N.T.S.	NOT TO SCALE
CH	CEILING HEIGHT	OC	ON CENTER
CL	CENTER LINE	OPNG	OPENING
C.O.	CLEANOUT	O.H.	OVERHEAD
CLR	CLEAR	PR	PAIR
CLO	CLOSET	PART.	PARTIAL
COL	COLUMN	PL	PLATE
CONC	CONCRETE	P.C.	PLUMBING CONTRACTOR
C.M.U.	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
CONT	CONTINUOUS	POLY	POLYETHYLENE
		PREFAB	PREFABRICATED
DEMO	DEMOLITION	P.T.	PRESSURE TREATED
D	DEPTH	REF.	REFRIGERATOR
DET	DETAIL	REQ	REQUIRE (D) (ING)
DIA	DIAMETER	R	RISER
DIM	DIMENSION	RM	ROOM
DR	DOOR		
DRG	DRAIN	SECT	SECTION
DWG	DRAWING	SQ	SQUARE
		S.F.	SQUARE FOOT/FEET
EA	EACH	STL	STEEL
ELEC	ELECTRICAL	STOR	STORAGE
EL ELEV	ELEVATION	STR	STRUCTURAL
EQ	EQUAL		
E.F.	EXHAUST FAN	TK	THICK
EX. EXIST.	EXISTING	TBD	TO BE DETERMINED
EXT	EXTERIOR	T&G	TONGUE & GROOVE
		TLT	TOILET
F.O.	FACE OF	T.O.	TOP OF
FT	FEET	T.O.W.	TOP OF WALL
F.F.	FINISH FLOOR	TB	TOWEL BAR
FL	FLOOR	T	TREAD
FDN	FOUNDATION	TYP	TYPICAL
		WD	WOOD
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPTER		
G.W.B.	GYPSUM WALL BOARD		
HDR	HEADER		
H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING		
H.W.	HOT WATER		

SYMBOLS & MATERIALS

SYMBOLS LEGEND

	SECTION NUMBER		REVISION NUMBER
	SHEET NUMBER		PARTITION TYPE
	ELEVATION NUMBER		CEILING HEIGHT
	DRAWING NUMBER		DOOR NUMBER HARDWARE SET DOOR TYPE
	ROOM NAME		WALLS/ELEMENTS/ FIXTURES TO BE REMOVED
	ROOM NUMBER		EXISTING WALL
			NEW CONSTRUCTION (HATCH PATTERN)

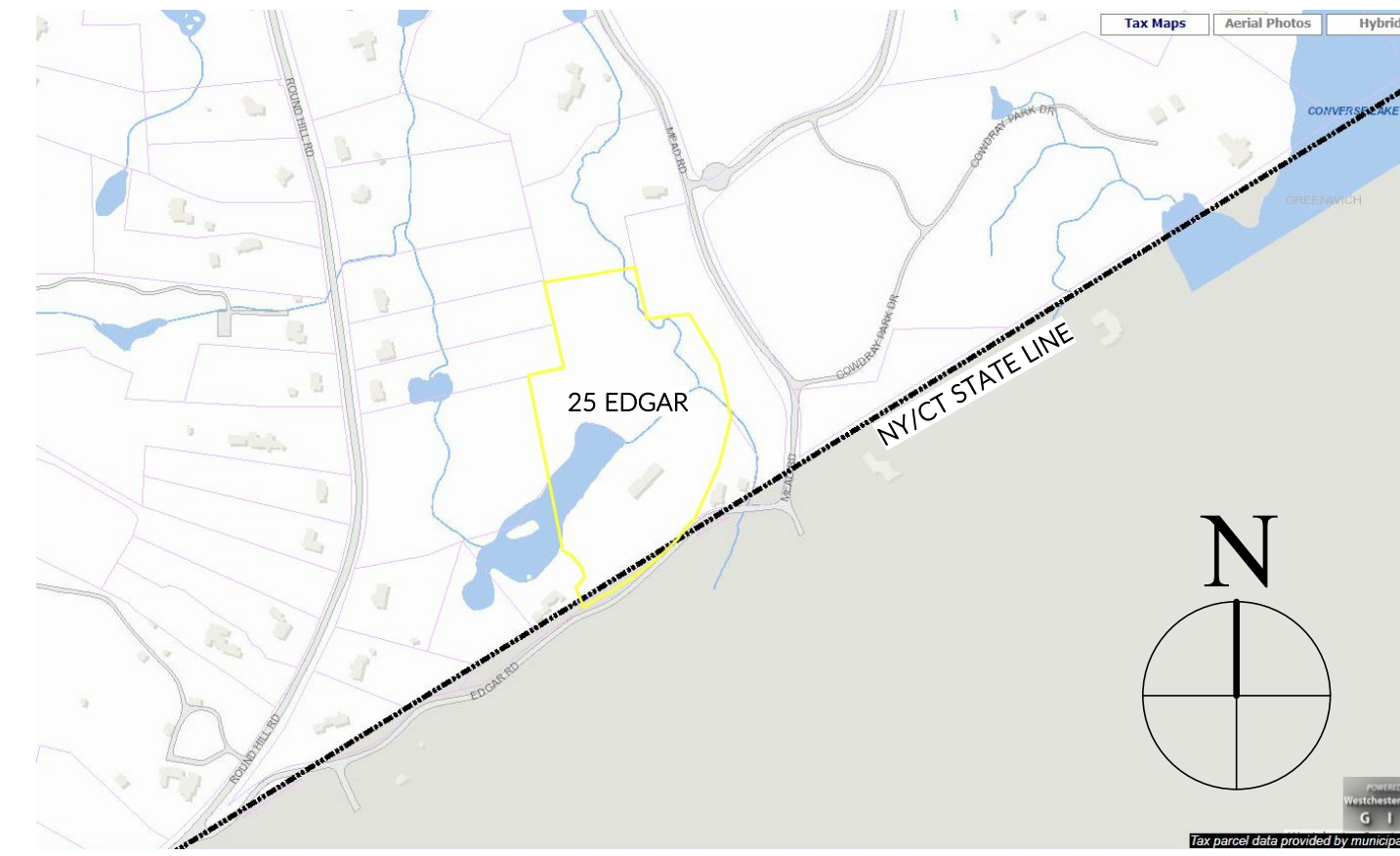
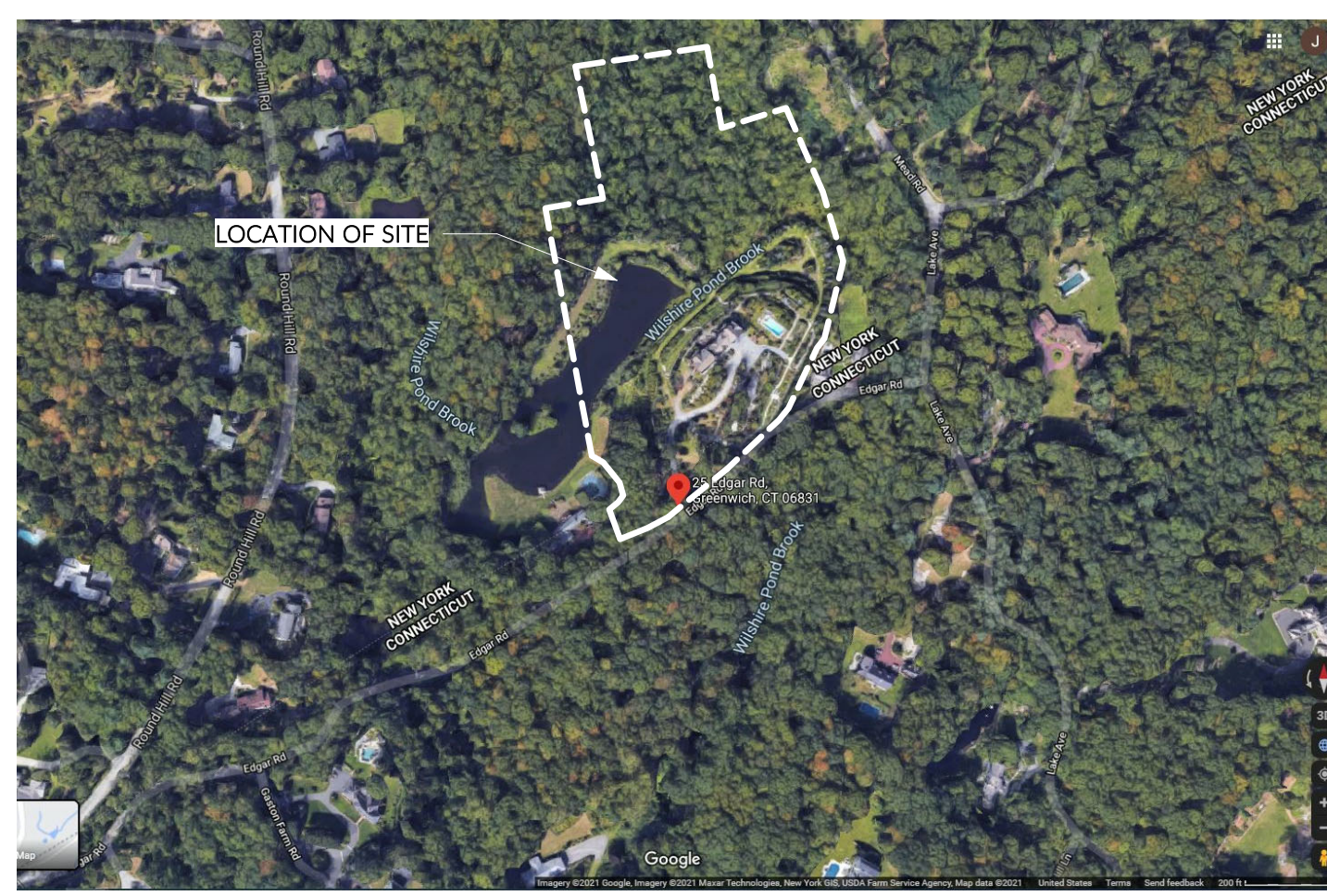
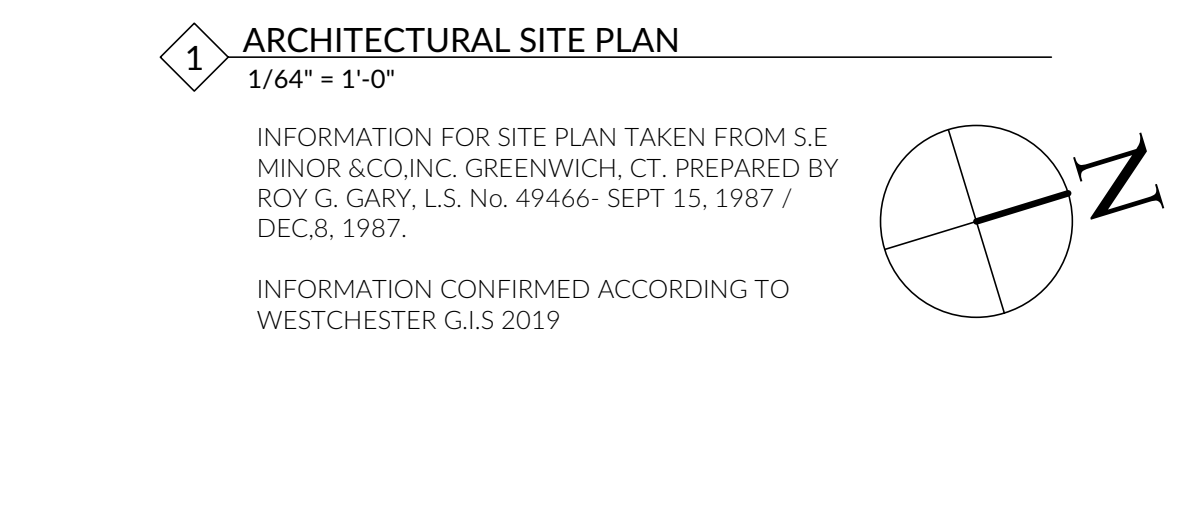
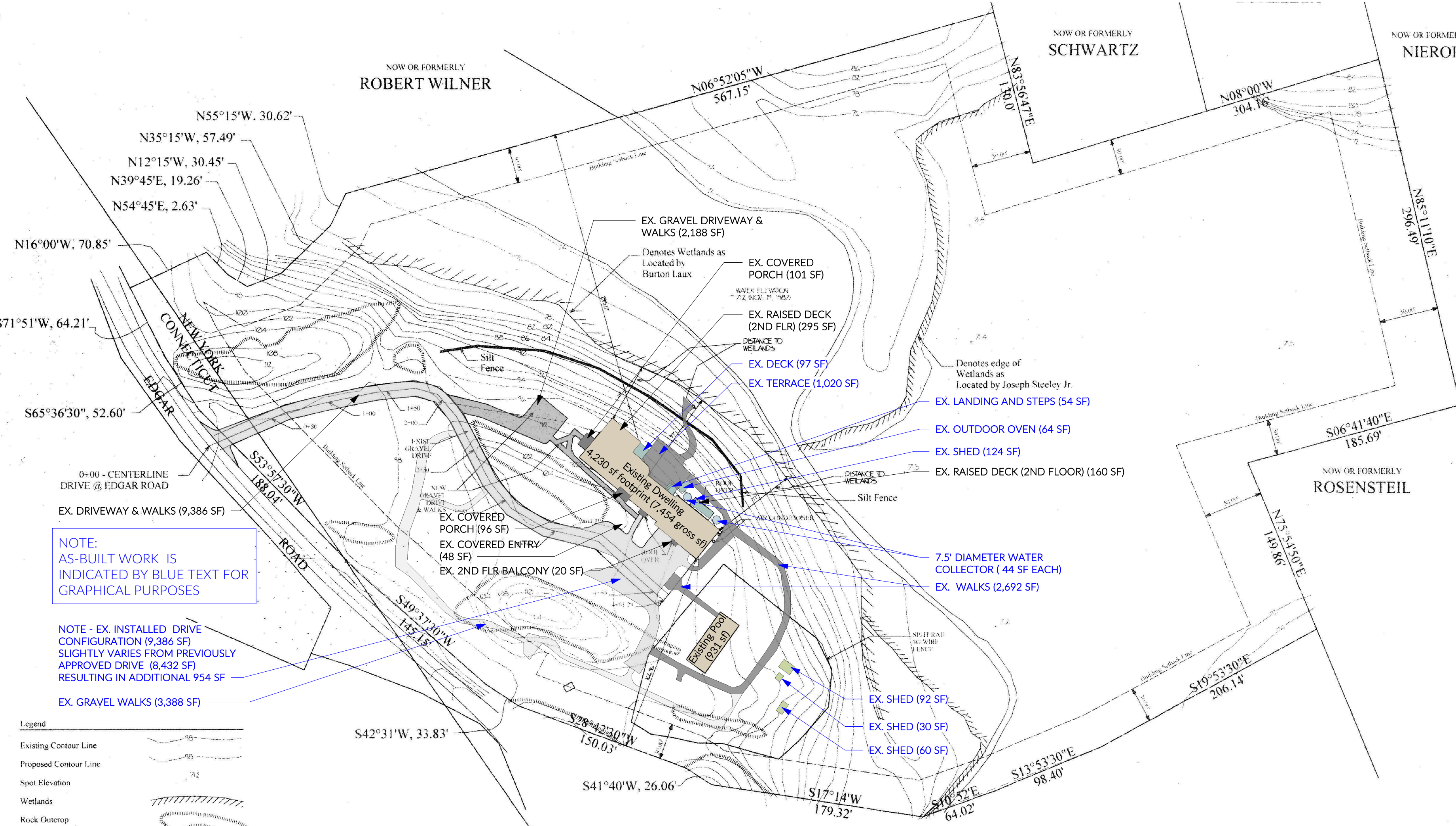
MATERIALS LEGEND

	EARTH		ROUGH LUMBER
	POROUS FILL		BLOCKING
	CONCRETE		PLYWOOD
	CMU		RIGID INSULATION
	BRICK		BATT INSULATION
	STRUCTURAL STEEL		GYPSUM DRYWALL
	GLASS BLOCK		COMPOSITE TRIM

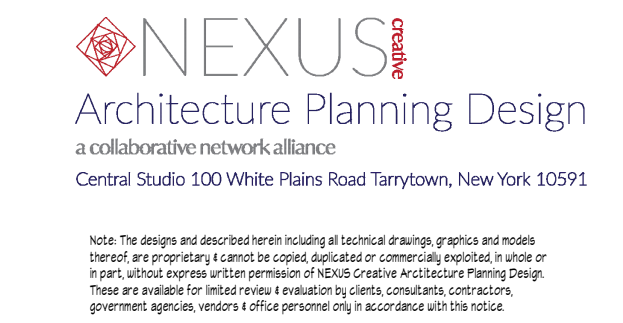
DRAWINGS LIST

ARCHITECTURAL:

AO COVER SHEET



ZONING TABLE		
PRINCIPAL BUILDING	REQUIRED / ALLOWED	PROF.
25 EDGAR RD. ARMONK, NY TAX ID: 109.01.1.17 ZONING DISTRICT: R-2A LOT SIZE: 10.92 ACRES		
MIN. LOT DIMENSIONS		
AREA	2 ACRES	NO CHANGE
FRONTAGE (PRINCIPAL BLDG.)	150'	NO CHANGE
WIDTH	150'	NO CHANGE
DEPTH	150'	NO CHANGE
MIN. YARDS		
FRONT	50'-0"	NO CHANGE
SIDE	30'-0"	NO CHANGE
REAR	50'-0"	NO CHANGE
MAX. BUILDING COVERAGE (%)	8%	NO CHANGE
MAX. BUILDING HEIGHT (STORIES/FT)	30'-0"	NO CHANGE
MAX. DWELLING UNIT SIZE	1,400 SF	N/A
GROSS FLOOR AREA	22,650 SF	8,643 SF
GROSS LAND COVERAGE	43,477 SF*	20,225 SF*



Date Issued:	03/16/21
Project Title:	AS-BUILT CONDITIONS 25 Edgar Rd North Castle, New York
Drawing Title:	COVER SHEET
Scale:	As Indicated
Date:	03/16/2021
Project No:	21-02
Drawing By:	MD, EV
Checked By:	JT, JF
Drawing No:	



sheet 1 of 1
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