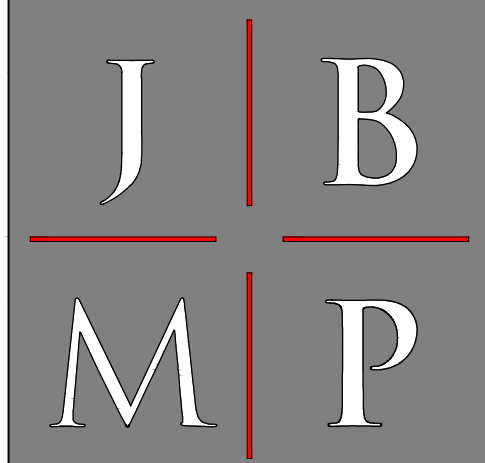


UNGER RESIDENCE

17 GREENBRIAR CIRCLE, ARMONK, NY 10504



JONES | BYRNE
MARGEOTES | PARTNERS
ARCHITECTURE | INTERIOR DESIGN
1786 Bedford Street, Stamford, CT 06905
Phone 203.531.1588 Fax 203.531.6239
www.jbmparch.com

GENERAL NOTES

THE PROJECT SHALL BE GOVERNED IN ANY AND ALL RESPECTS BY THE CURRENT EDITIONS OF THE TOWN OF NORTH CASTLE, STATE OF NEW YORK, 200 RESIDENTIAL CODE.

CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL REQUIRED INSPECTIONS BY THE BUILDING DEPARTMENT AND ANY OTHER REQUIRED TOWN AGENCIES. CONTRACTOR SHALL PROVIDE OWNER WITH EMENDED COVER CERTIFICATE OF COMPLIANCE, AT THE COMPLETION OF THE PROJECT.

CONTRACTOR SHALL OBTAIN THE ARCHITECT'S GUIDANCE WITH RESPECT TO INTERPRETATION OR DESIGN INTENT OF CONTRACT DOCUMENTS. NO ASSUMPTIONS SHALL BE MADE BY THE CONTRACTOR.

CONTRACTOR SHALL IMMEDIATELY NOTIFY AND BRING TO THE ATTENTION OF THE ARCHITECT ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS CONTAINED IN OR ARISING AS A RESULT OF IMPLEMENTING THE CONTRACT DOCUMENTS.

ALL CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE. NO SUBSTITUTIONS OR CHANGES OF ANY KIND WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND THE OWNERS BEFORE COMMENCING WORK. RESPONSIBILITY FOR CHANGES MADE WITHOUT AUTHORIZATION WILL BE BORNE BY THE CONTRACTOR. THAT RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, REMEDIAL MEASURES AND ALL ASSOCIATED COSTS.

THOSE ITEMS AND TASKS NOT NOTED BUT IMPLIED AS NECESSARY FOR COMPLETION OF THE PROJECT SHALL BE CONSIDERED PART OF THE CONTRACT.

ONLY DRAWINGS LABELED "ISSUED FOR CONSTRUCTION" ARE AUTHORIZED TO BE USED FOR CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COLLECTION OF ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND OTHER DRAWINGS NOT LABELED "ISSUED FOR CONSTRUCTION" AND THE DISTRIBUTION TO ALL SUB-CONTRACTORS AND CONSULTANTS OF THE MOST CURRENT REVISED SET OF DRAWINGS.

STRUCTURAL ENGINEERING DRAWINGS AND SPECIFICATIONS SHALL SET PRECEDENCE OVER ARCHITECTURAL DRAWINGS WHEN THERE IS CONFLICTING INFORMATION CONCERNING STRUCTURAL MATTERS. ENGINEER OR ARCHITECT MUST INSPECT ALL STRUCTURAL COMPONENTS FOR COMPLIANCE WITH SPECIFICATIONS PRIOR TO POURING CONCRETE AND TO CLOSING IN WALLS. CONTRACTOR SHALL HAVE RESPONSIBILITY FOR SCHEDULING AND COORDINATING THESE INSPECTIONS.

OWNERSHIP AND USE OF CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART BY ANY OTHER INDIVIDUALS OR FOR ANY OTHER PURPOSE THAN THOSE PROPERLY AUTHORIZED BY THE CONTRACT, WITHOUT THE SPECIFIC WRITTEN AUTHORITY OF THE ARCHITECT.

CONTRACTOR SHALL BE PROPERLY LICENSED AND ALL MECHANICAL AND ELECTRICAL TRADES SHALL BE LICENSED BY THE APPROPRIATE STATE AND LOCAL GOVERNING AUTHORITIES.

CONTRACTOR SHALL CARRY LIABILITY AND WORKMENS COMPENSATION INSURANCE WITH MANDATED STATE MINIMUM AMOUNTS, AND PRODUCE TO THE ARCHITECT AND OWNER PROOF OF INSURANCE. INSURANCE CERTIFICATE SHALL BE MADE OUT TO "OWNER".

NO WORK SHALL BEGIN UNTIL ALL PERMITS ARE SECURED AND ALL INSURANCE CERTIFICATES ARE IN PLACE.

FRAMING LUMBER SHALL BE AS PER STRUCTURAL SPECIFICATIONS.

CONCRETE SHALL BE AS PER STRUCTURAL SPECIFICATIONS.

DIMENSIONS ARE TO FACE OF STUD EXCEPT AS NOTED.

NO DRAWINGS SHALL BE SCALED. DIMENSIONS ONLY SHALL BE USED.

GENERAL CONTRACTOR TO PROVIDE ARCHITECT WITH CATALOGUE CUTTER WRITTEN DOCUMENT DESCRIBING OR SAMPLES OF EXTERIOR MATERIALS TO BE USED ON THE PROJECT PRIOR TO INSTALLATION FOR OWNER APPROVAL.

ABBREVIATIONS

A.F.F. ABOVE FINISHED FLOOR
BLDG. ? BUILDING
CAB. CABINERY
CL.G. CEILING
C.M.U. CONCRETE MASONRY UNIT
COL. COLUMN
CONC. CONCRETE
CONT. CONTINUOUS
CT. CERAMIC TILE
DTL. DETAIL
DN. DOWN
DR. DOOR
D.W. DISH WASHER
DW.G. DRAWING
ELEV. EL. ELEVATION
EXT.G. EXISTING
EXT. EXTERIOR
FD.N. FOUNDATION
FF. FINISHED FLOOR
F.C.E. FINISHED CEILING ELEVATION
F.F.E. FINISHED FLOOR ELEVATION
F.P.C. FIRE PROOF SELF CLOSING
FTG. FOOTING
G.C. GENERAL CONTRACTOR
G.F.I. GROUND FAULT INTERRUPTER
GL. GLASS
G.W.B. GYPSUM WALL BOARD
HD. HEAD
HGT. HEIGHT
INSUL. INSULATION
INT. INTERIOR
L.F. LINEAR FEET
MAX. MAXIMUM
MIN. MINIMUM
MLDG. MOULDING
N.I.C. NOT IN CONTRACT
NO. NUMBER
N.T.S. NOT TO SCALE
O.A. OVER ALL
O.C. ON CENTER
PL. PLATE
PLYWD. PLYWOOD
PTD. PAINTED
P. CONC. POURED CONCRETE
R. RISER
REF. REFRIGERATOR
REFNG. REINFORCING
REQD. REQUIRED
RM. ROOM
S.F. SQUARE FEET
S.S. STAINLESS STEEL
STL. STEEL
T. TREADS
T.M.E. TO MATCH EXISTING
T.O. TOP OF
TYP. TYPICAL
U.O.N. UNLESS OTHERWISE NOTED
W. WOOD
W.W. WELDED WIRE MESH
W. WITH
V.I.F. VERIFY IN FIELD

SYMBOL LIST

SECTION/ELEVATION TAG
LIVING ROOM ROOM NAME
102 ROOM NUMBER
A.2.01 INTERIOR ELEVATION DWG NUMBER

DOOR TAG
WINDOW TAG
DETAIL TAG
REVISION CLOUD
REVISION TAG AND BUBBLE

WALL TYPE SYMBOLS

LEGEND

EXISTING WORK TO BE REMOVED

EXISTING WALL TO REMAIN

NEW WOOD STUD WALL w/ GYP. BOARD EACH SIDE

NEW MASONRY VENEER WALL

NEW CMU WALL

NEW CONCRETE WALL

LIST OF DRAWINGS

DWG#	DRAWING DESCRIPTION	03.18.2021 RPRC SUBMISSION WOOD DECK			
C1.00	COVER SHEET				
C1.02	ZONING COMPLIANCE WORKSHEETS				
A1.00	ARCHITECTURAL SITE PLAN				
A2.00	FOUNDATION & FIRST FLOOR FRAMING PLAN				
A2.01	BASEMENT & FIRST FLOOR PLAN, INCL. DEMO				
A3.00	LIGHTING & ELECTRICAL PLAN S				
A4.00	BUILDING ELEVATIONS				
A4.01	BUILDING ELEVATIONS				
A4.02	BUILDING ELEVATIONS, ALL 3, Smaller Scale				
A5.00	SECTIONS & DETAILS				

DESIGN TEAM

ARCHITECT:
JAMES MARGEOTES
JBMP ARCHITECTS, INC.
1786 BEDFORD STREET
STAMFORD, CT 06905
jmargeotesarchitect@gmail.com
Cell: 646-263-2301

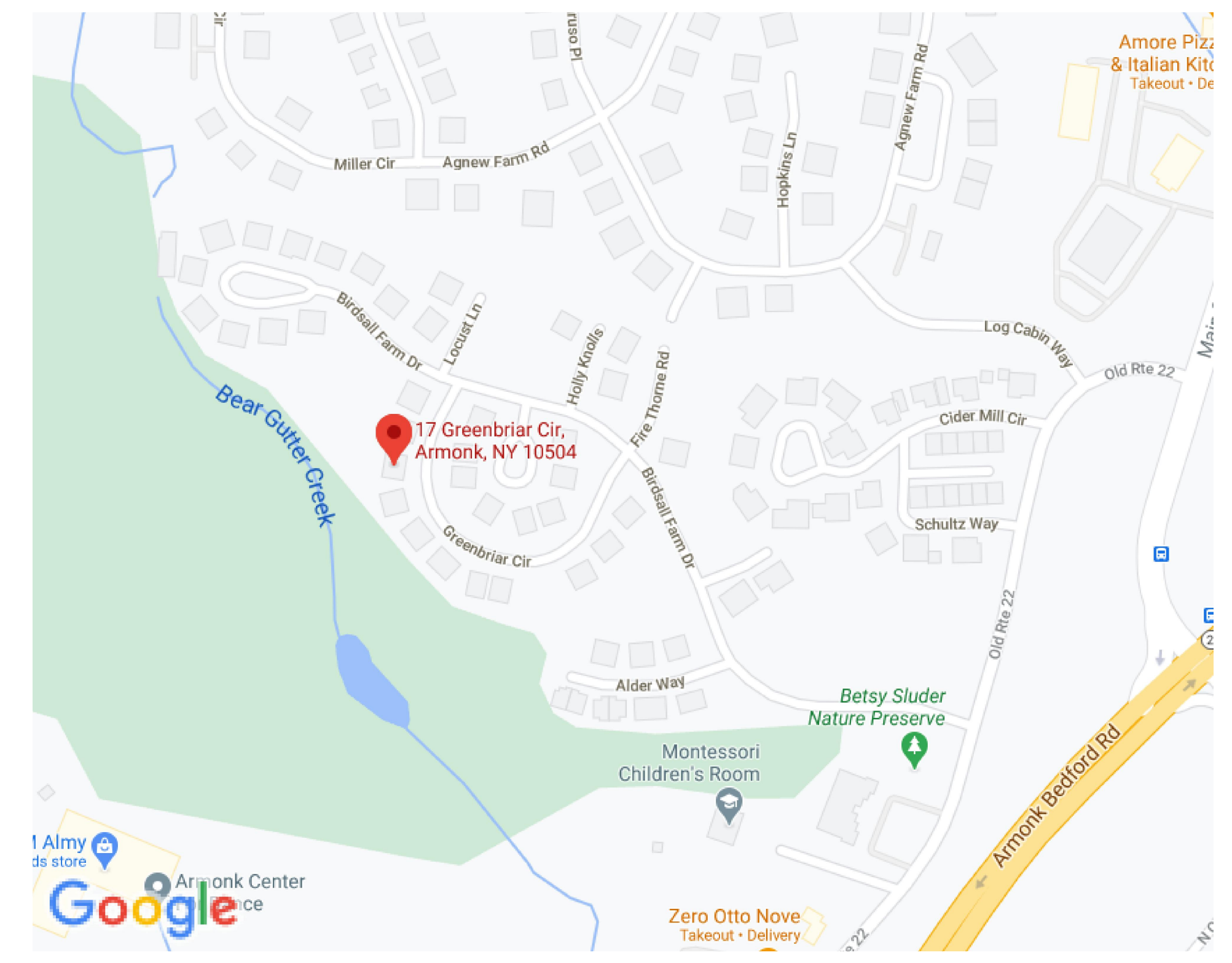
SURVEYOR:
WARD CARPENTER ENGINEERS INC.
BILL FREE, PLS
76 MAMARONECK AVE.
WHITE PLAINS, NY 10601
914-949-6000

PROJECT SCOPE OF WORK

WOOD DECK AT FIRST FLOOR, REAR, AND STEPS TO GRADE

STRUCTURAL NOTES SEE A2.00

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
GROUND SNOW LOAD	SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDER-LAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
30 psf	120 mph	C	SEVERE	42" BELOW GRADE	MOD/HVY	SL/MOD	7	YES	NO



PROJECT LOCATION

03.18.21 RPRC SUBMISSION

SEAL:

JAMES MARGEOTES
NYS LICENSE # 019624
jmargeotesarchitect@gmail.com
Cell: 646-263-2301

DRAWING NOT VALID UNLESS SIGNED & SEALED HERE

PROJECT:
Unger Residence

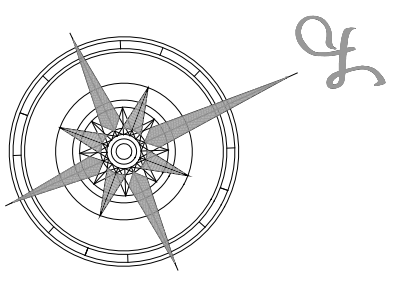
17 Greenbriar Circle
Armonk, NY 10504

DRAWING TITLE:
COVER SHEET

SCALE: Not to Scale
DATE: March 10, 2021
DRAWN: JM
PROJECT MGR: JM

Ownership and Use of Documents:
Drawings and specifications as instruments of service are and shall remain the property of Jones, Byrne, Margeotes & Partners, Inc. These documents are not to be used in whole or in part for any other projects or purposes or by any other parties than those properly authorized by contract without the specific written authority of Jones, Byrne, Margeotes & Partners, Inc.

DRAWING NUMBER:
C1.00



03.18.21 RPRC SUBMISSION

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UNLESS SIGNED & SEALED HERE

PROJECT:
Unger Residence

17 Greenbriar Circle
Armonk, NY 10504

DRAWING TITLE:
ZONING COMPLIANCE
WORKSHEETS

SCALE: Not to Scale
DATE: March 10, 2021
DRAWN: JM
PROJECT MGR: JM

Ownership and Use of Documents:

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DRAWING NUMBER:

C1.01

ZONING ANALYSIS: SEE ALSO GROSS LAND COVERAGE CALCS WORKSHEET

R-MF ZONING DISTRICT, DETACHED STANDARDS
MIN LOT AREA 7,500 SF < 12,583 SF ACTUAL LOT AREA
MIN LOT SIZE: FRONTAGE 25', WIDTH 65', DEPTH 80'
MIN FRONT YARD: 20'-0"
MIN SIDE YARD: 10'-0" < 22'-1" PROPOSED
25'-0" SETBACK FROM BLDGS ON ADJACENT LOTS
15'-0" < 22'-5 1/2" PROPOSED
MIN REAR YARD: 15'-0" < 37'-1 3/4" PROPOSED

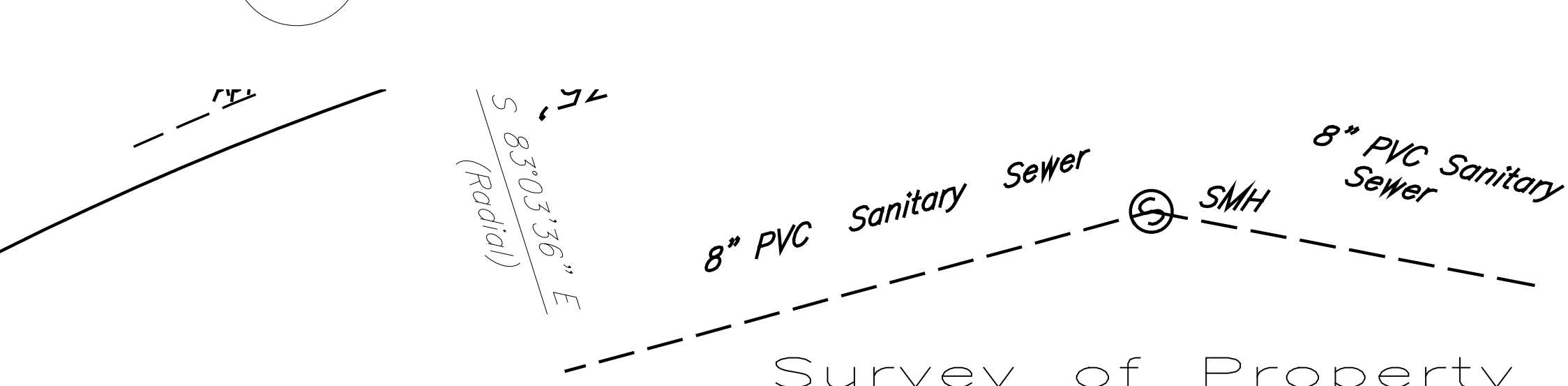
MAX BLDG COVERAGE: 35% = 4,619.9 SF + 114.1 SF BONUS = 4,734.0

LOT AREA = 12,583 SQ FT OR 0.29 ACRES
EXIST PRINCIPAL BLDG 2,225.0 SQ FT
EXIST FRONT COVERED PORCH 108.0 SQ FT
EXIST WOOD DECK TO BE REMOVED 392.0 SQ FT
PROPOSED WOOD DECK/STAIR/LANDING 880.0 SQ FT

TOTAL NET INCREASE WOOD DECK 488.0 SQ FT

PROPOSED MASONRY LANDING @ GRADE 10.5 SQ FT

ZONING ANALYSIS



Survey of Property
prepared for
Mindy Unger
in the Town of
North Castle
Westchester County, N.Y.
Scale 1"=20'
March 1, 2021

Note: Ground Snow Covered
Lot Area = 12,583 sq. ft. or 0.2888 acres

Subsurface structures and their encroachments, if any exist, are not shown hereon.
Unauthorized alterations or additions to a survey map is a violation of section 7209, sub-division 2, of the New York State Education Law.

Only copies of the original survey marked with the land surveyor's inked or embossed seal shall be considered a true and valid copy.

Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run to the person for whom the survey is prepared only, and on his behalf to the Title Company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
Copyright (c) 2021 Ward Carpenter Engineers, Inc. All Rights Reserved.

The premises being Lots 12-27 as shown on a map entitled "Subdivision Map of Phase II prepared for Whippoorwill Ridge Corp." dated Sept. 12, 1994, revised Dec. 30, 1994 and filed Jan. 6, 1995 as County Clerk Map No. 25345.

Ward Carpenter Engineers Inc.

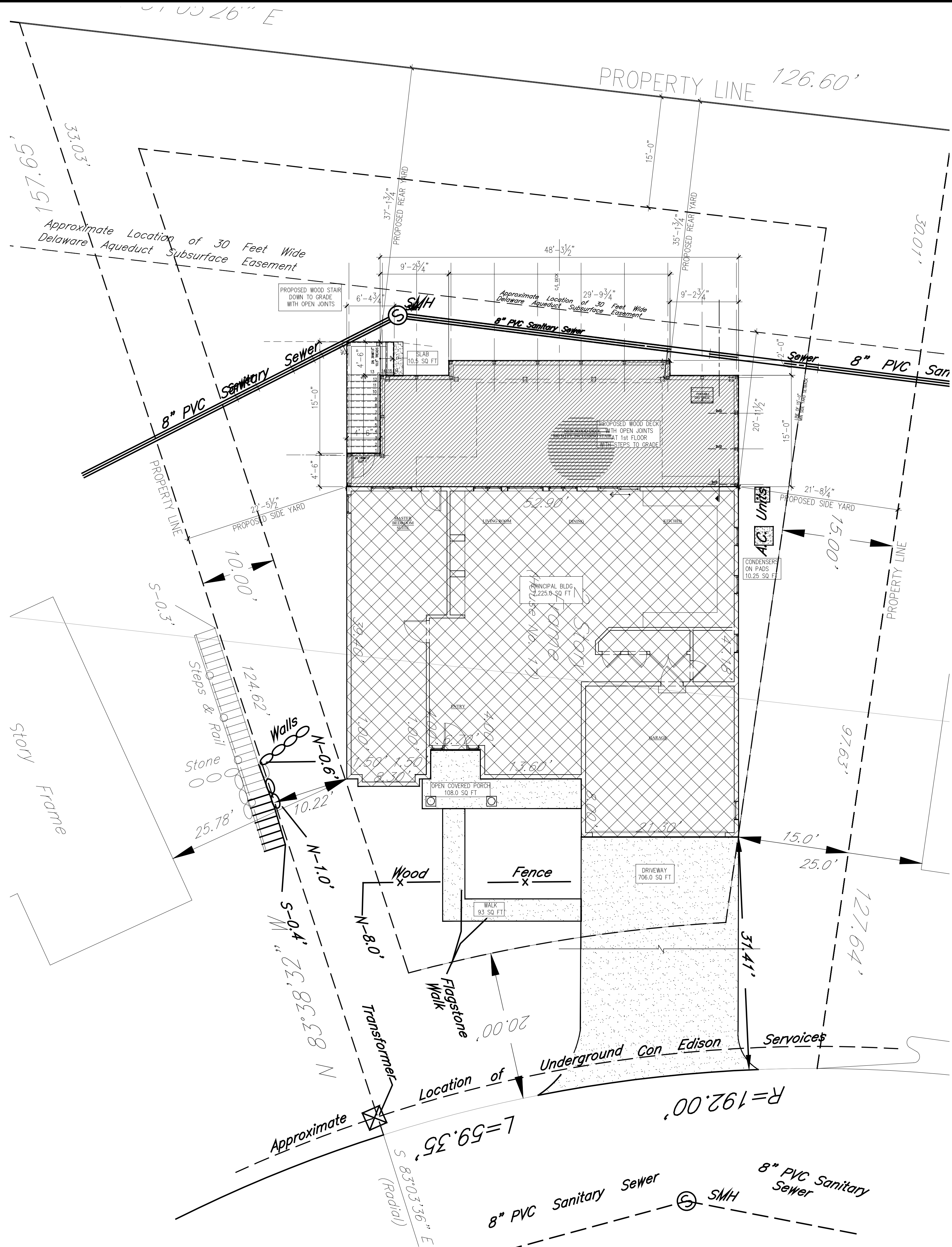
76 Mamaroneck Avenue
White Plains, N.Y. 10601

Job # 55379

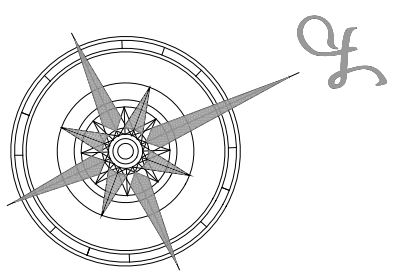
LDD 55379\dwg\55379.dwg WHIP FND.DWG WC8621

MARCH 18, 2021
ARCHITECTURAL SITE PLAN OVERLAID ONTO SURVEY BY
JAMES MARGEOTES, RA OF JBMP ARCHITECTS, INC.
WITH PERMISSION OF BILL FREE PLS, OF WARD CARPENTER ENGINEERS.
COPY OF THIS DRAWING PROVIDED TO WARD CARPENTER

1 SURVEY INFO FROM WARD CARPENTER ENGINEERS LLC
SCALE: 1/8"=1'-0"

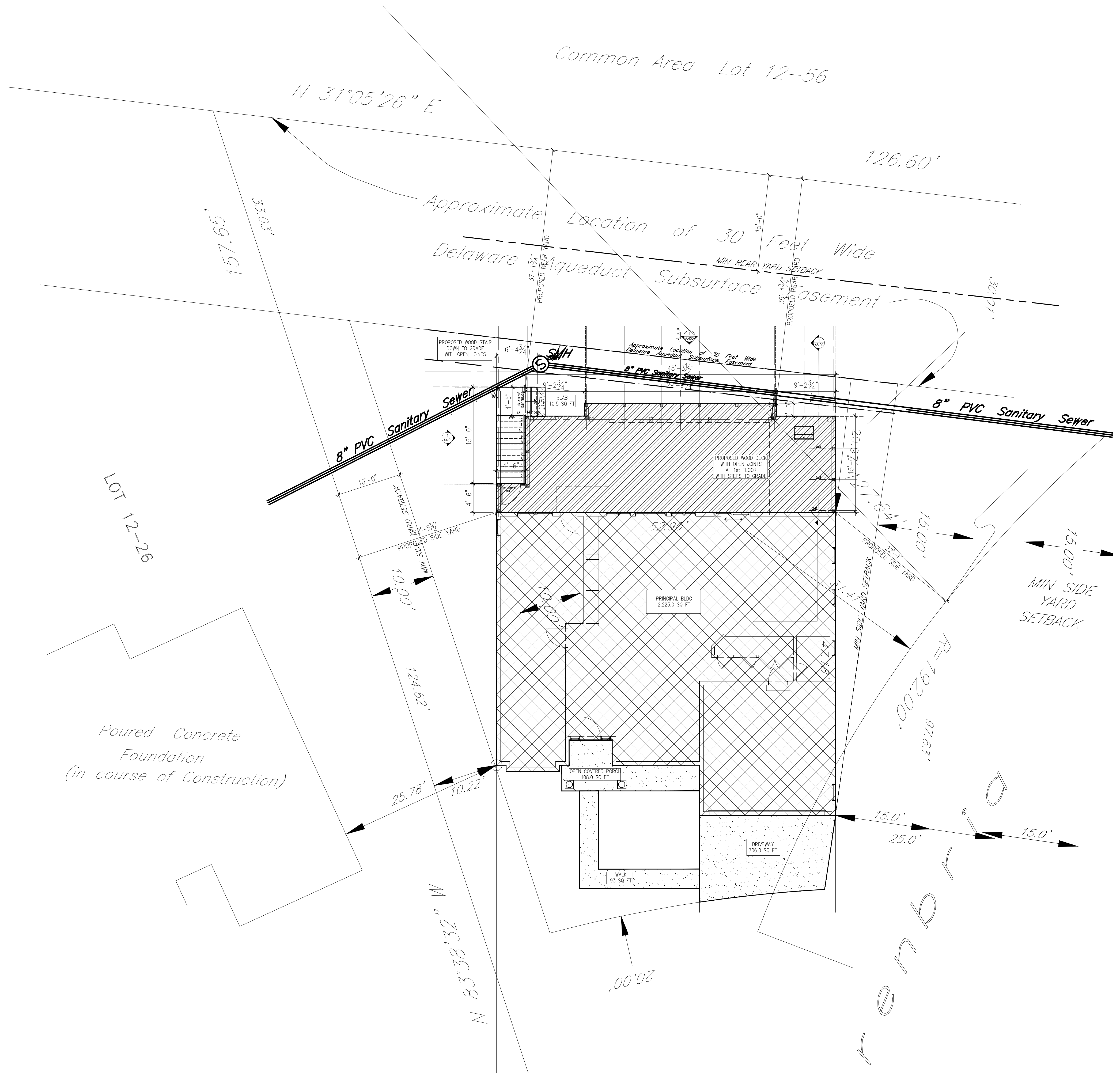


1 SITE PLAN - COVERAGE WORKSHEET
SCALE: 1/8"=1'-0"



County Clerk Map No. 25355

Common Area Lot 12-56



ZONING ANALYSIS: SEE ALSO GROSS LAND COVERAGE CALCS WORKSHEET

R-MF ZONING DISTRICT, DETACHED STANDARDS
 MIN LOT AREA 7,500 SF < 12,583 SF ACTUAL LOT AREA
 MIN LOT SIZE: FRONTAGE 25', WIDTH 65', DEPTH 80'
 MIN FRONT YARD: 20'-0"
 MIN SIDE YARD: 10'-0" < 22'-1" PROPOSED
 25'-0" SETBACK FROM BLDGS ON ADJACENT LOTS
 15'-0" < 22'-5 1/2" PROPOSED
 MIN REAR YARD: 15'-0" < 37'-1 3/4" PROPOSED

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 PROPOSED WOOD DECK/STAIR/LANDING 880.0 SQ FT

TOTAL NET INCREASE WOOD DECK 488.0 SQ FT
 PROPOSED MASONRY LANDING @ GRADE 10.5 SQ FT

03.18.21 RPRC SUBMISSION

SEAL:
 JAMES MARGEOTES
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 jmargeotesarchitect@gmail.com
 Cell: 646-263-2301

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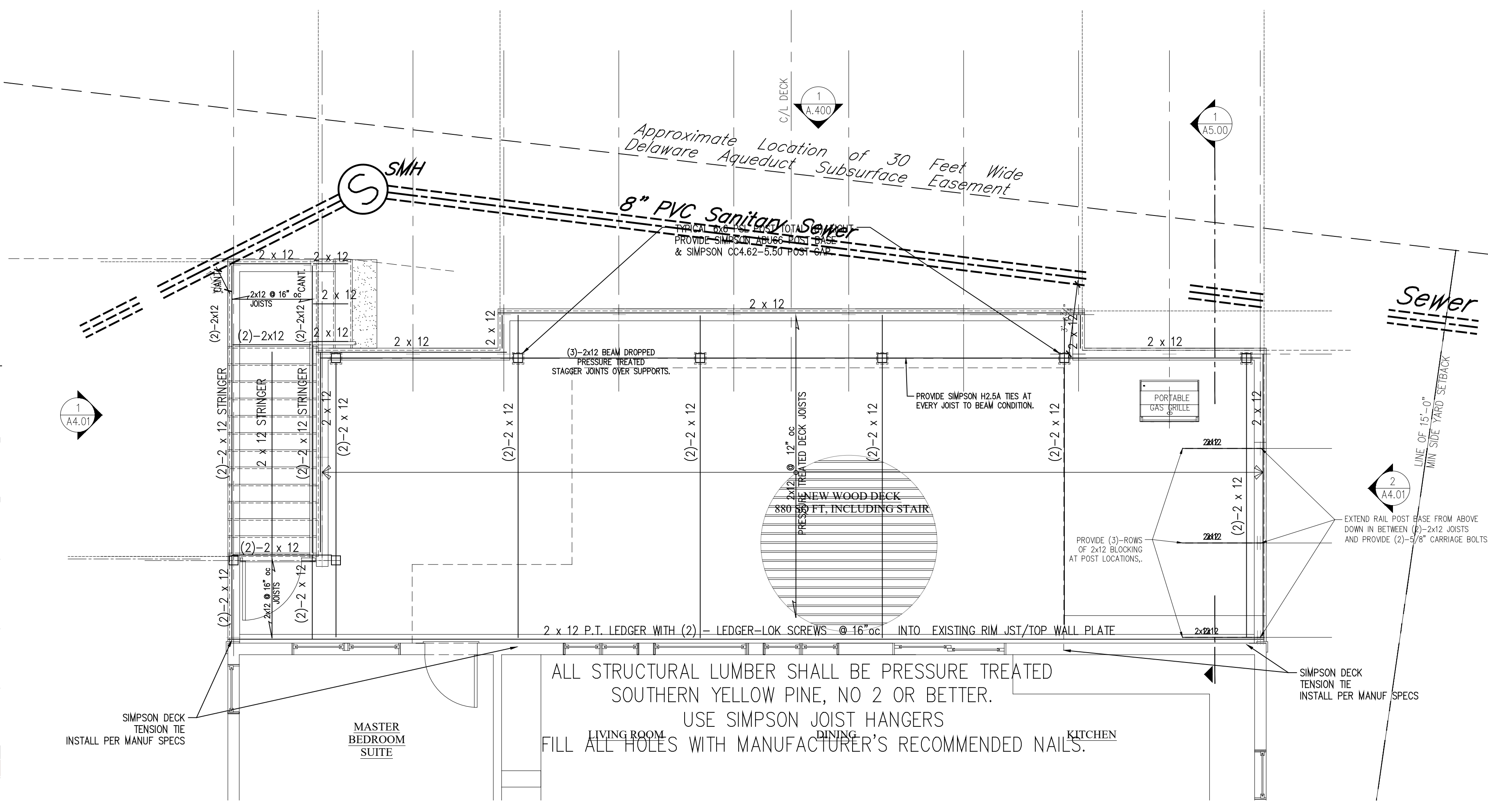
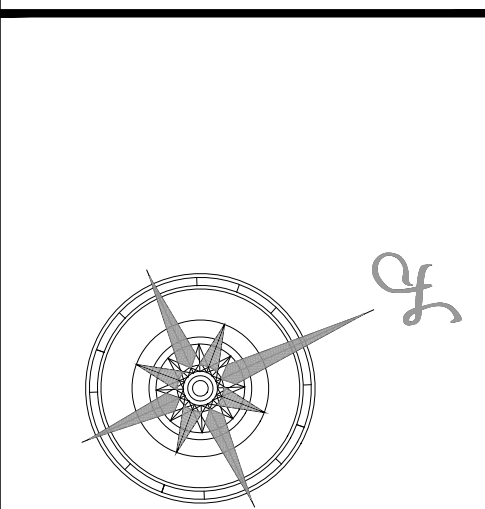
PROJECT:
 Unger Residence
 17 Greenbriar Circle
 Armonk, NY 10904

DRAWING TITLE:
 ARCHITECTURAL SITE PLAN

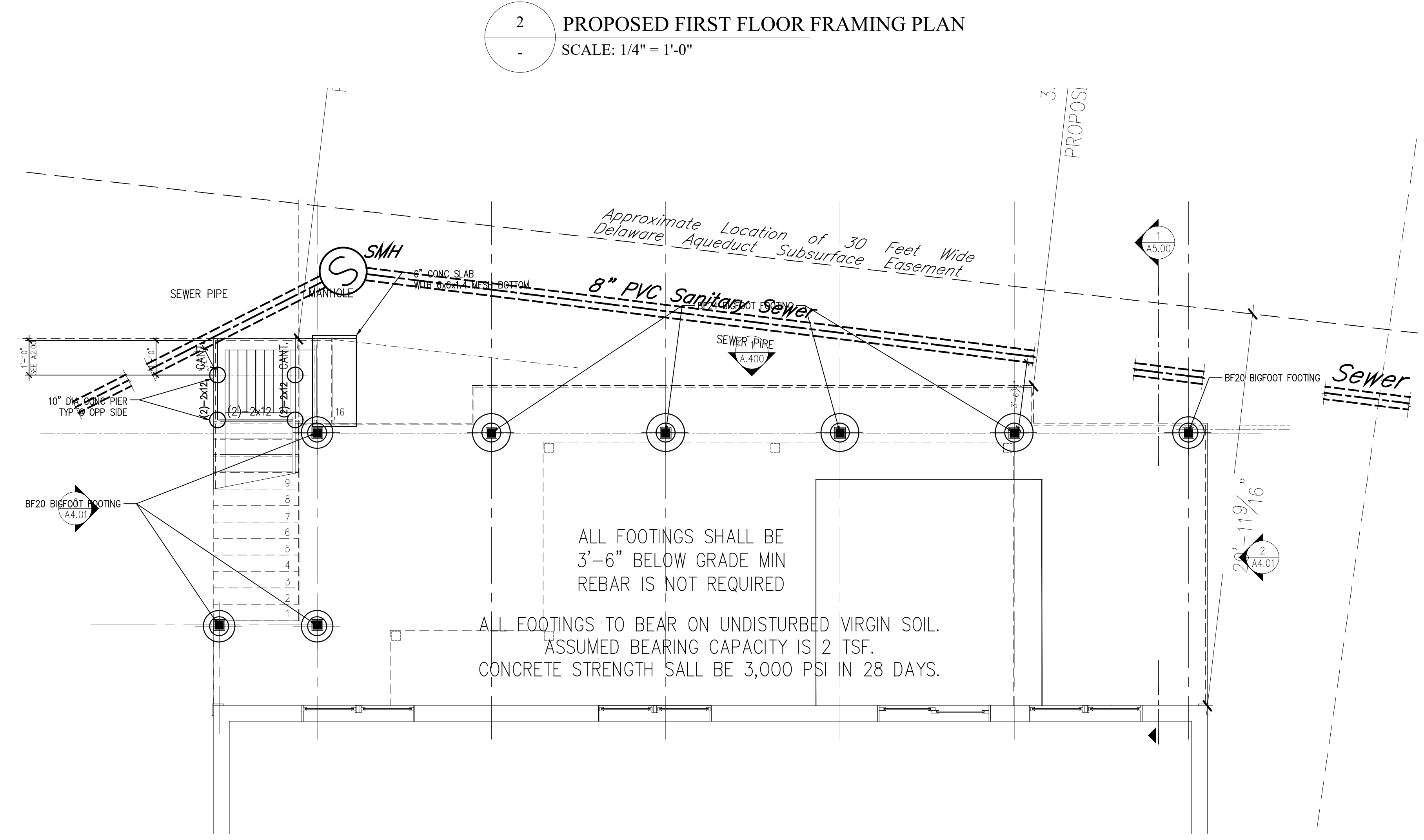
SCALE: 1/4"=1'-0"
 DATE: March 9, 2021
 DRAWN: JM
 PROJECT MGR: JM

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DRAWING NUMBER:
A1.00



2 PROPOSED FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

ABA/ABU/ABW

Adjustable and Standoff Post Bases

Additional standoff bases are on p. 321.

The AB series of retrofit adjustable post bases provide a 1" standoff for the post, are slotted for adjustability and can be installed with nails. Strong-Drive® SD Connector screws or bolts (ABU). Depending on the application needs, these adjustable post bases are designed for versatility, cost-effectiveness and maximum uplift performance.

Features:

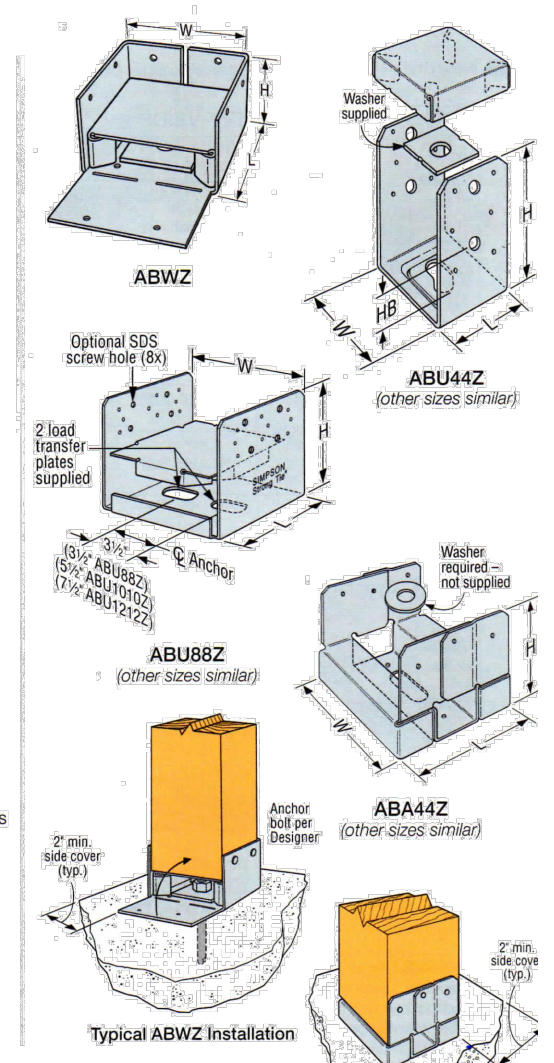
- The SD in the base enables flexible positioning around the anchor bolt, making precise post placement easier.
- The 1" standoff helps prevent rot at the end of the post and meets code requirements for structural posts installed in basements or exposed to weather or water splash.

Material: Varies (see table)

Finish: ZnPVC and some in business steel; see Corrosion Information, pp. 13-15

Installation:

- Use all specified fasteners; see General Notes.
- See our Anchoring and Fastening Systems for Concrete and Masonry catalogs, or visit strongtie.com for retrofit anchor options or reference technical bulletin T-1413H-RCR-ECO.
- Post bases do not provide adequate resistance to prevent members from rotating about the base and therefore are not recommended for non-top-supported installations (such as balconies or enclosed captions).
- Place the base, cut washer(s) or load transfer plate(s) and nut(s) on the anchor bolts. Make any necessary adjustments to post placement, and tighten the nut securely on the anchor bolt.
- See strongtie.com for information on hollow column installation.



CC/ECC/ECU Column Caps

Product Details

Column caps provide a strong connection for column-beam combinations.

Material

- CC3 1/4, CC4, CC4B, CC4B, CC4B2, CC64, CC66, CC68, CC67 1/8, ECC3 1/4, ECC4, ECC4B, ECC4B, ECC4B2, ECC64, ECC66, ECC68, ECC67 1/8 - 7 gauge; all others - 3 gauge

Finish

- Simpson Strong-Tie gray paint. Some products available in HDG, stainless steel or black powder coat, COO, ECCO - no coating.

Installation

- Use all specified fasteners; see General Notes.
- Bolt holes shall be a minimum of 1/32" to a maximum of 1/16" larger than the bolt diameter (per 2015 NDS, section 12.1.3.2)
- Contact engineered wood manufacturers for connections that are not through the wide face.

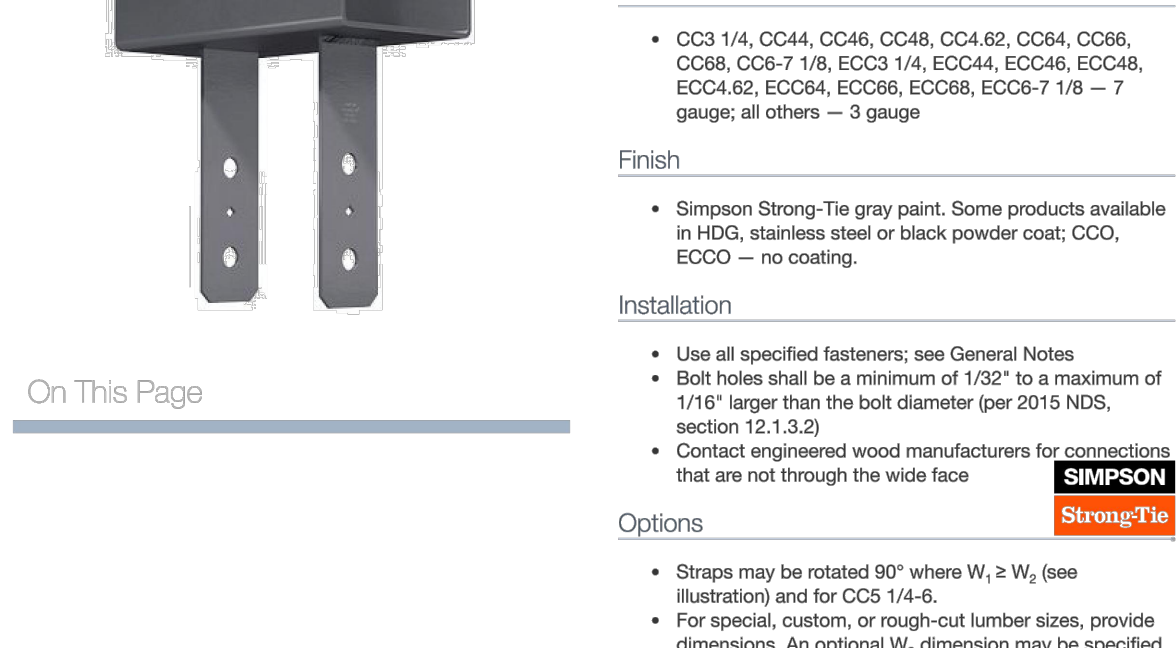
Options

- Straps may be rotated 90° where W₁ ≥ W₂ (see illustration) and for CC3 1/4.
- For special, custom, or rough-cut lumber sizes, provide dimensions. An optional W₂ dimension may be specified. (The W₂ dimension on straps rotated 90° is limited by the W₁ dimension.)
- CCO/ECCO - column cap only (no straps) may be ordered for field welding to pipe or other columns. CCO/ECCO dimensions are the same as CO/ECC. Weld by Designer.
- COOB - any two CCOs may be specified for back-to-back welding to create a cross beam connector. Use the table loads; the load is no greater than the lesser element employed.

Related Links

- Wood Construction Connectors Technical and Installation Notes
- General Notes
- 2015 and 2018 International Building Code® Resources Portal

Catalog Pages



Allowable Loads - Beam Installation

Model No.	Nominal Size	Material	Dimensions (in.)			Fasteners	DFSP Allowable Loads		SPF/HF Allowable Loads			
			Base	W	L		Span (100)	Span (100)	Span (100)	Span (100)		
ABA44Z	Double 2x4	12	12	3 1/2	5	7	1/4"	(1) 0.182 x 3 1/2	2,330	2,475	1,620	8,075
ABA44Z	4x	12	12	3 1/2	5	7	1/4"	(1) 0.182 x 3 1/2	2,155	1,890	1,550	7,590
ABA44Z	Range 4x	12	12	4	6	6 1/4	1/4"	(2) 0.182 x 3 1/2	2,155	3,890	1,550	7,090
ABA44Z	Triple 2x4	12	12	3 1/2	5	7 1/4	1/4"	(1) 0.182 x 3 1/2	1,405	12,715	1,165	8,115
ABA44Z	4x	12	12	3 1/2	5	7 1/4	1/4"	(1) 0.182 x 3 1/2	1,385	112,260	1,630	11,310
ABA44Z	Range 4x	12	12	4	6	5 3/4	1/4"	(1) 0.182 x 3 1/2	1,365	12,260	1,640	11,110

1. Lateral loads have been increased for earthquake or wind loading with no further increase allowed.
2. Downloads may not be increased for short-term loading.
3. Specify 6 to design concrete and anchorage for uplift capacity.
4. Beam depth must be a minimum of 7".
5. Straps are required for double 2x4 and triple 2x4 installations as shown in the illustrations.
6. Fasteners: Nail dimensions in the table are listed diameter by length. See pp. 21-22 for fastener information.

STRUCTURAL NOTES

DESIGN LOADS:
The deck structure and foundations have been designed to resist the following loads in accordance with Chapter 16 of the 2018 International Building Code.

Floor live load: 50 PSF

FOUNDATION NOTES:
Design assumption: soil bearing capacity is 2 tons per square foot.

Footings shall bear on undisturbed virgin soil, free of frost, mud, and ice.

Footings sub-grade shall be compacted using a vibratory tamper or a jumping soil rammer after the soil has been inspected and approved.

The Contractor shall be responsible for all dewatering, shoring, sheeting, or bracing required to maintain a safe, dry, and stable excavation.

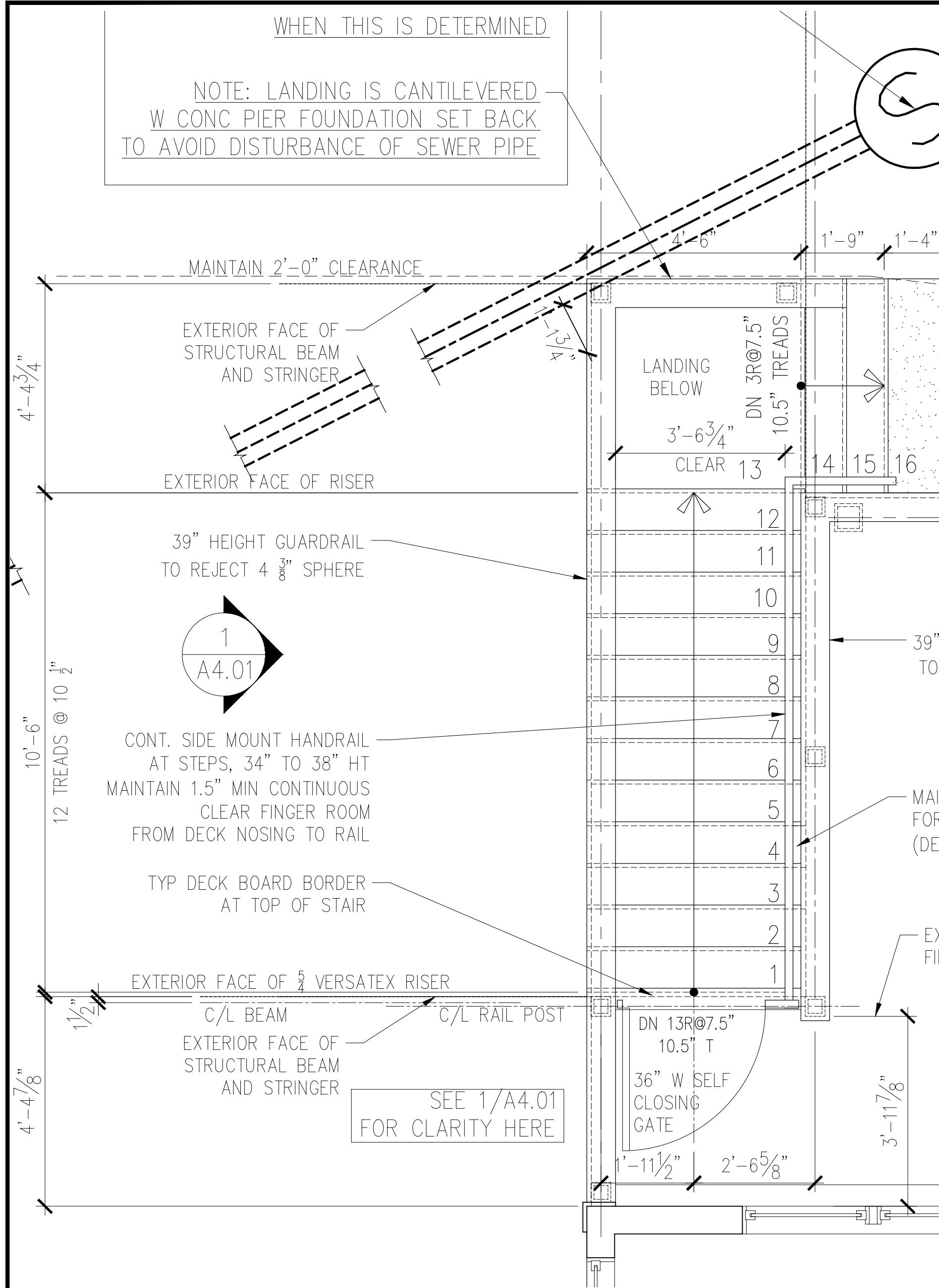
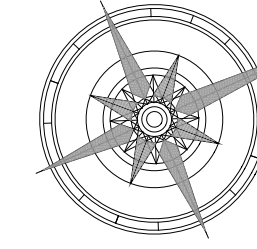
No footings shall be placed in water.

Soil adjacent to and below footings shall be kept from freezing at all times.

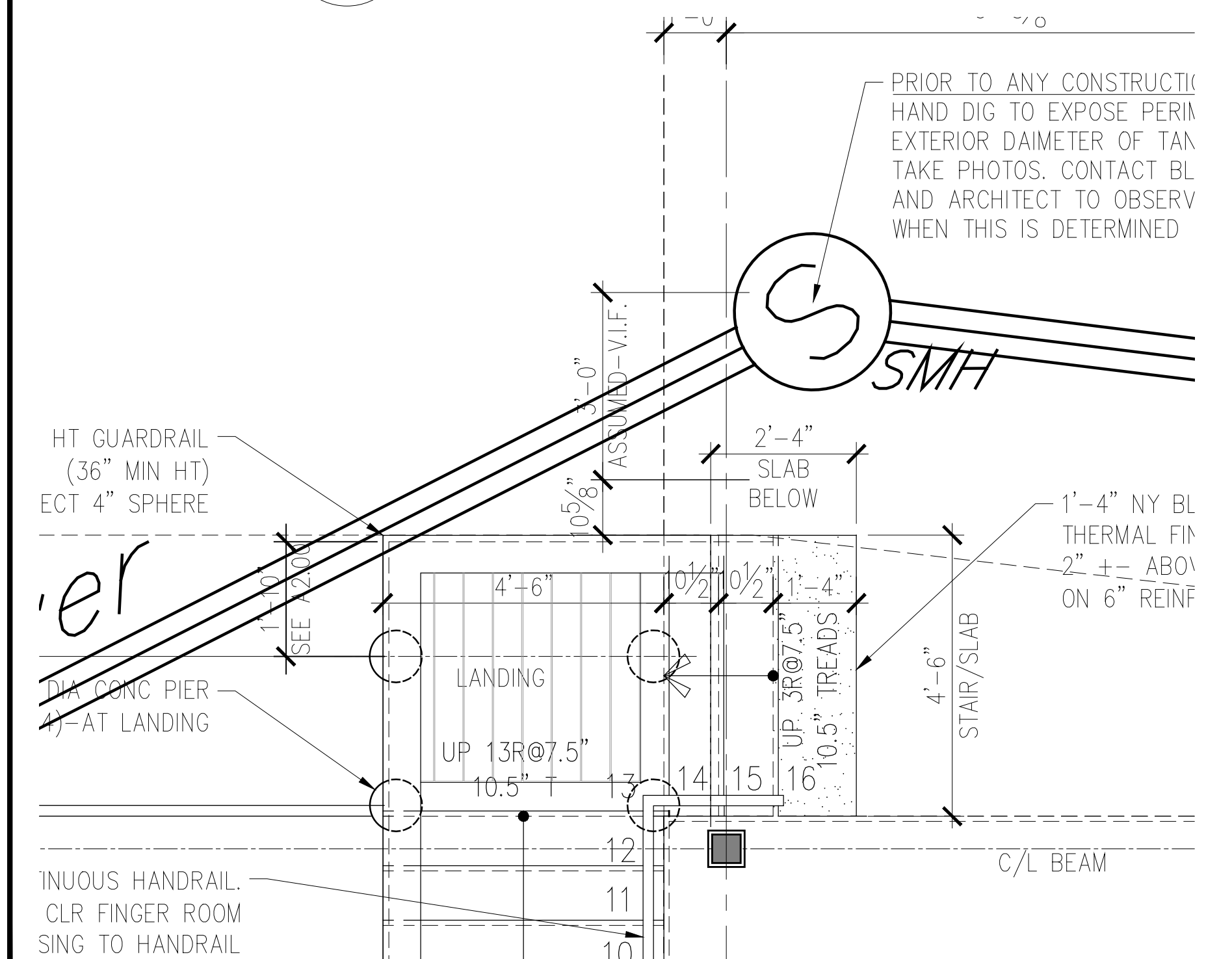
WOOD FRAMING NOTES:
Framing lumber in contact with concrete or masonry, and exterior deck framing, shall be Southern Yellow Pine #2 or better ACQ preservative treated in accordance with AWWPA Standard C2.

All framing lumber and plywood shall be clearly marked with a grade stamp. Plywood shall be APA rated sheathing.

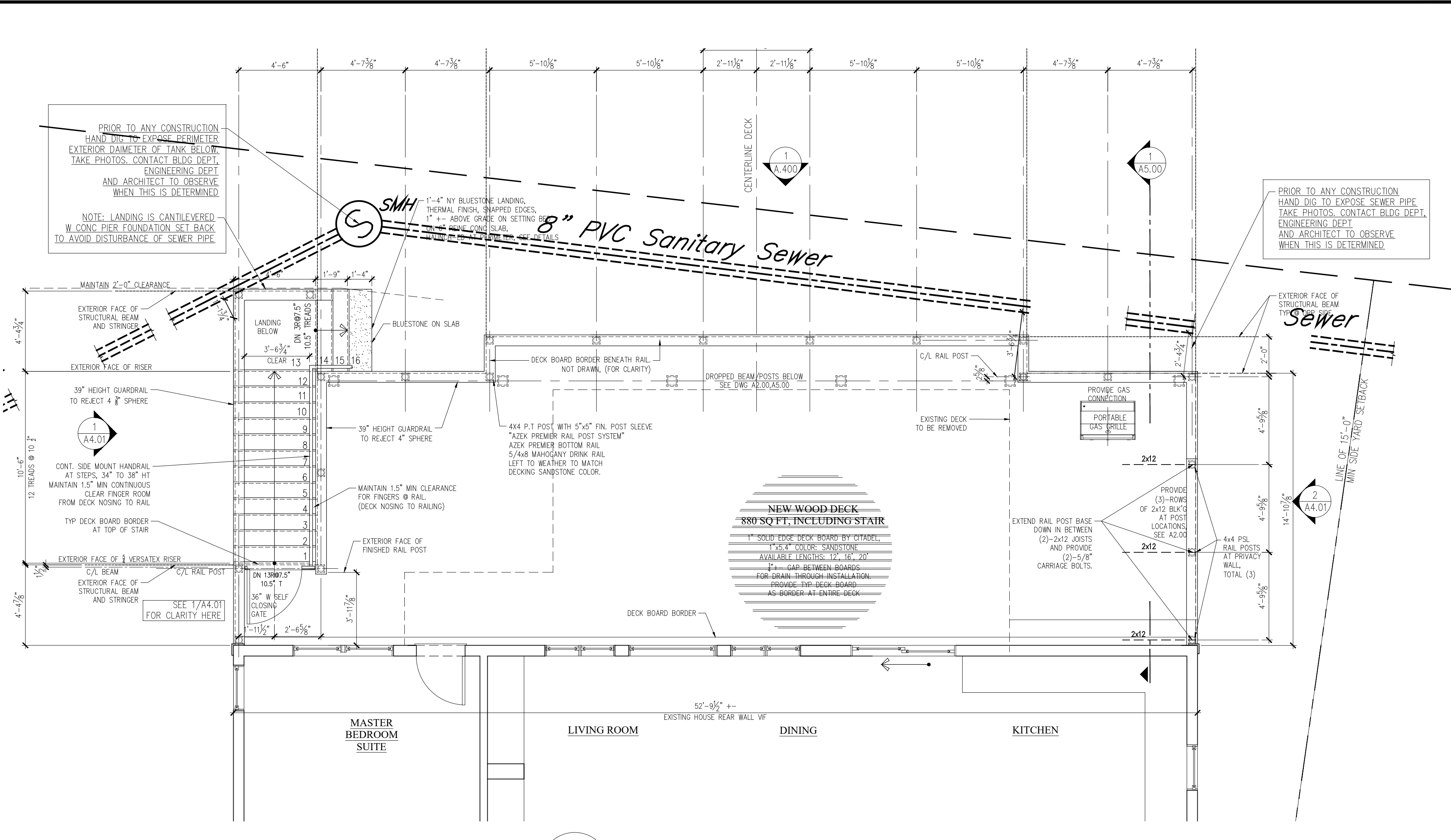
Laminated Veneer Lumber (LVL) shall be Microllam as manufactured by iLevel-Weyerhaeuser.



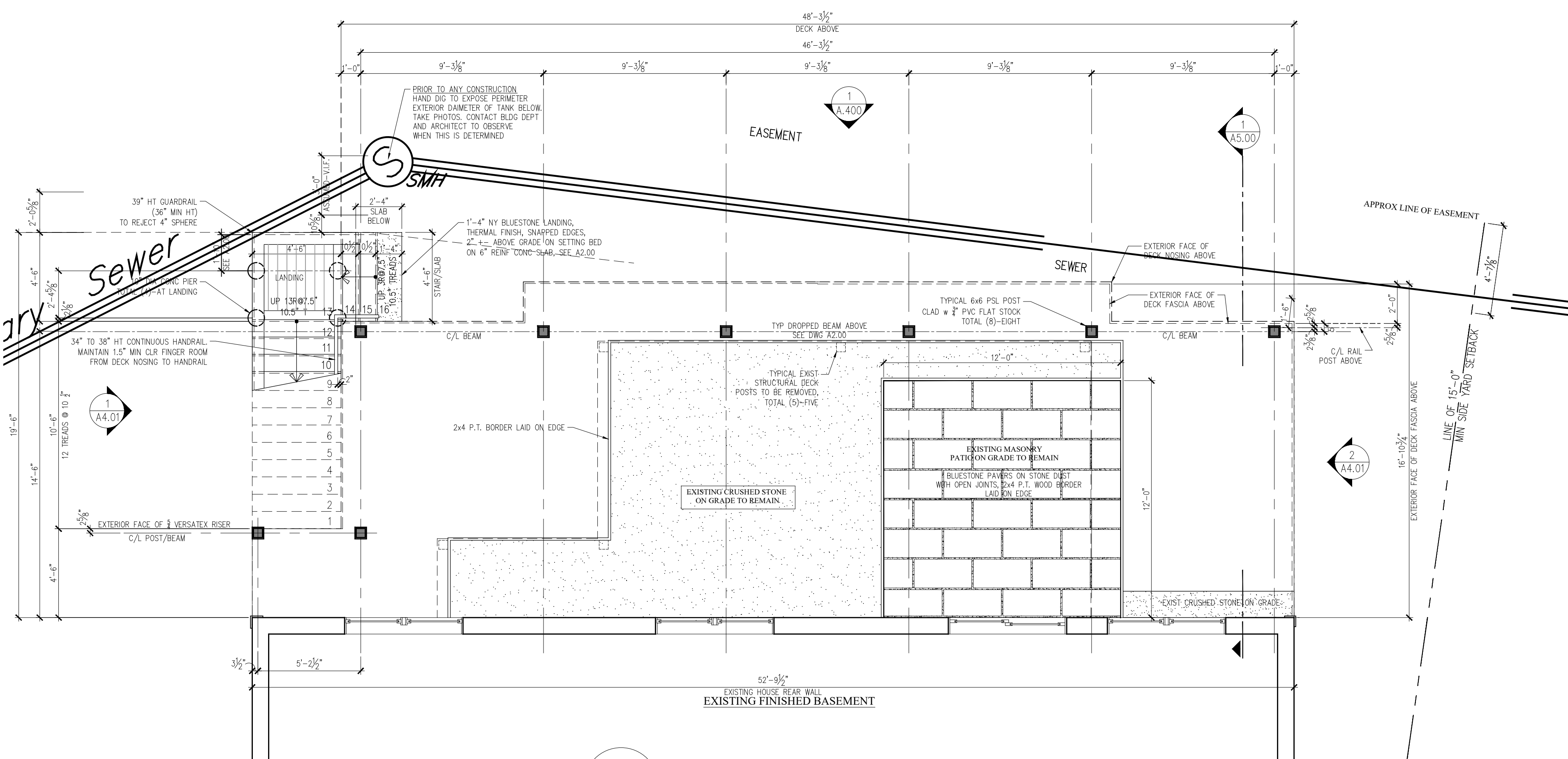
2 ENLARGED PLAN OF STAIR SCALE: 1/2" = 1'-0"



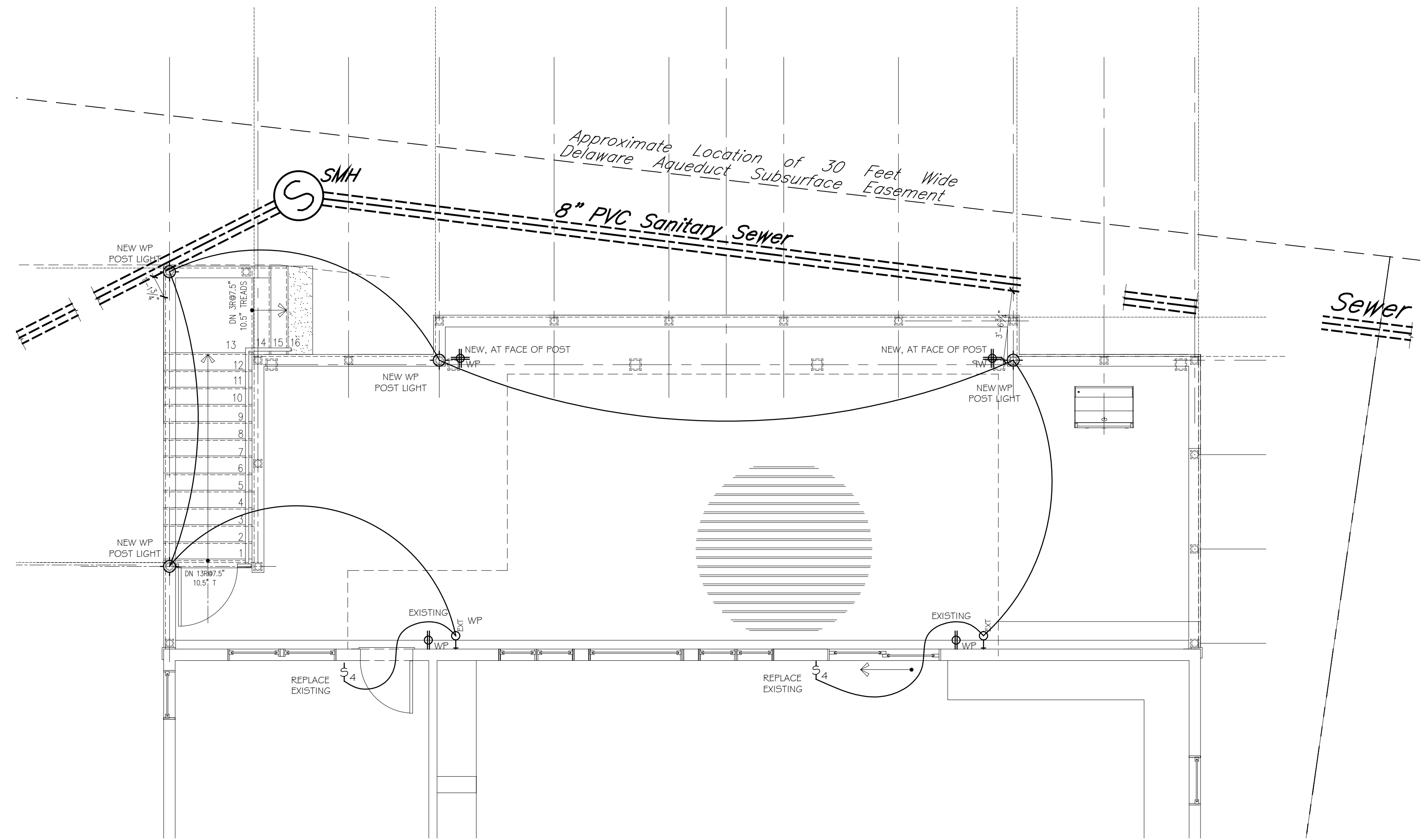
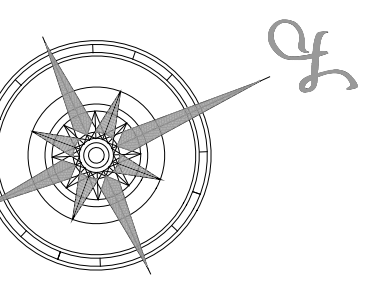
2 ENLARGED PLAN OF STAIR LANDING VS SEWER SCALE: 1/2" = 1'-0"



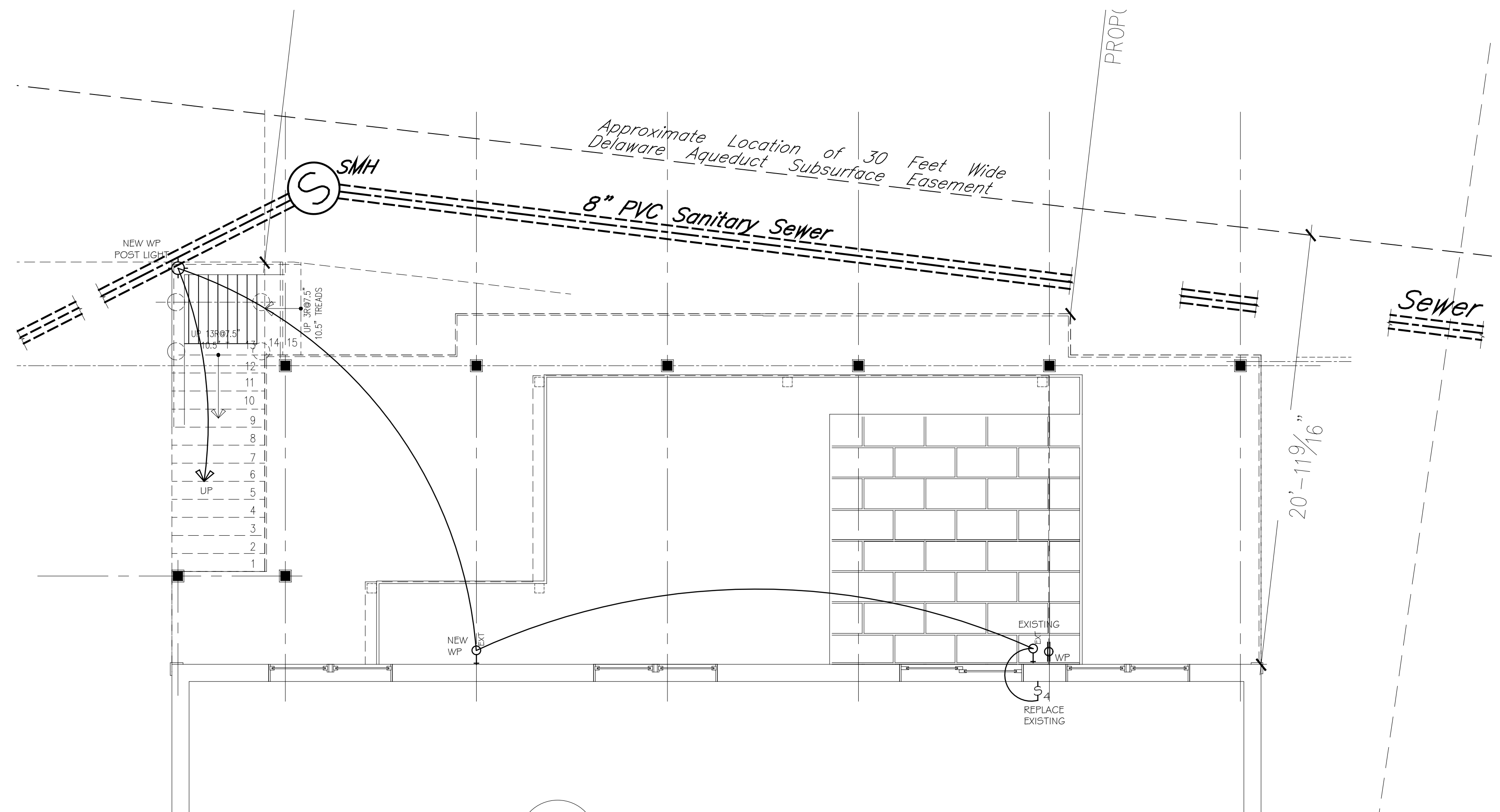
2 PROPOSED FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"



1 PROPOSED BASEMENT PLAN SCALE: 1/4" = 1'-0"



2 FIRST FLOOR LIGHTING & ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT LEVEL LIGHTING & ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

FIXTURE LEGEND		
SYM.	MANUFACTURER / #:	REMARKS:
⊕ _A	'LIGHTOLIER' #1000 / 1013CD	5" RECESSED DOWNLIGHT, CLEAR DIFFUSE 75PAR30
⊕ _B	'LIGHTOLIER' #1000 / 1096CD	5" RECESSED WALL WASH, CLEAR DIFFUSE GOW A19
⊕ _C	'LIGHTOLIER' #2000/ 2013CD	3 3/4" RECESSED DOWNLIGHT, CLEAR DIFFUSE 50WPAR20
⊕ _D	'LIGHTOLIER' #2000/ 2029CD	3 3/4" RECESSED WALL WASH, CLEAR DIFFUSE 50WPAR20
⊕ _{WP}	'LIGHTOLIER' #1000/ 1090	5" RECESSED LENSED WET LOCATION, FLUSH GLASS WET TRIM GOWPAR30S
⊕ _{CL}	'LIGHTOLIER' #1000/ 1121	6-3/4" RECESSED LENSED WET LOCATION, OPAL GLASS GOWA19
⊕ _{EX}	'LIGHTOLIER' #1000/ 1005	5" RECESSED DOWNLIGHT, BLACK BAFFLE 50PAR30
⊕ _{INT}	INTERIOR DECORATIVE CEILING FIXTURE, BY OWNER	PROVIDE JUNCTION BOX (VERIFY BOX STYLE w/ FIXTURE)
⊕ _W	INTERIOR WALL MOUNTED FIXTURE BY OWNER	PROVIDE JUNCTION BOX (VERIFY BOX STYLE w/ FIXTURE)
—	LED STRIP LIGHT, DAMP LOCATION, ELEC. TO PROVIDE CUT SHEET FOR OWNER APPROVAL	UNDER CAB. LIGHT BAR LED, 3000K,
⊕ _{EX}	REMOTE EXHAUST FAN	SPEC BY ELECTRICAL / HVAC CONTRACTOR
⊕ _W	WALL MOUNTED COVERED FLUORESCENT LIGHT	SPEC BY ELECTRICAL CONTRACTOR
⊕ _{MP}	'MP LIGHTING' #L52	RECESSED LED FIXTURE FOR CABINETRY
⊕ _{GD}	GARAGE DOOR OPENER	MOTOR w/ LIGHT
⊕ _{CF}	CEILING FAN, FIXTURE BY OWNER	PROVIDE JUNCTION BOX (VERIFY BOX STYLE w/ FIXTURE)
⊕ _{EXT}	EXTERIOR CEILING FIXTURE BY OWNER	PROVIDE JUNCTION BOX (VERIFY BOX STYLE w/ FIXTURE)
⊕ _{EXT}	EXTERIOR WALL MOUNTED FIXTURE BY OWNER	PROVIDE JUNCTION BOX (VERIFY BOX STYLE w/ FIXTURE)
⊕ _{LF}	LENSED FLUORESCENT	SPEC BY ELECTRICAL CONTRACTOR
⊕ _{RAB}	'RAB' #QB2A TWIN 75W	EXTERIOR FLOOD LIGHT
⊕ _{SCD}	SMOKE AND CARBON MONOXIDE DETECTOR	SPEC BY ELECTRICAL CONTRACTOR

ELECTRICAL LEGEND	
SYM.	DESCRIPTION:
⊕ _E	⊕ DENOTES EXIST TO REMAIN
⊕ _S	SWITCH
⊕ _{3D}	3-WAY SWITCH
⊕ _{3D}	3-WAY SWITCH W/ DIMMER
⊕ _{4D}	4-WAY SWITCH W/ DIMMER
⊕ _{3D}	3-WAY SWITCH W/ DIMMER
⊕ _J	JAMB SWITCH
⊕ _{DO}	DUPLEX OUTLET
⊕ _{DO}	DUPLEX OUTLET - HALF SWITCHED
⊕ _{GFI}	DUPLEX OUTLET - GFI
⊕ _{AC}	DUPLEX OUTLET - ABOVE COUNTER
⊕ _{APP}	APPLIANCE OUTLET
⊕ _T	THERMOSTAT
⊕ _{QO}	QUADRAPLEX OUTLET
⊕ _{FO}	FLOOR OUTLET
⊕ _{FO}	FLOOR OUTLET - HALF SWITCHED
⊕ _{WFO}	WATERPROOF OUTLET (EXTERIOR)
⊕ _{WFO}	WATERPROOF QUADRAPLEX OUTLET
⊕ _{CS}	COMMUNICATION SYSTEM (CAT 6) PHONE/ FAX/ COMPUTER
⊕ _{TV}	T.V. JACK (CAT 6) AND OUTLET
⊕ _{DB}	DOOR BELL W/ CAMERA
⊕ _{SP}	SPEAKER

03.18.21 RPRC SUBMISSION

SEAL:

DRAWING NOT VALID
UNLESS SIGNED & SEALED HERE

PROJECT:
Unger Residence

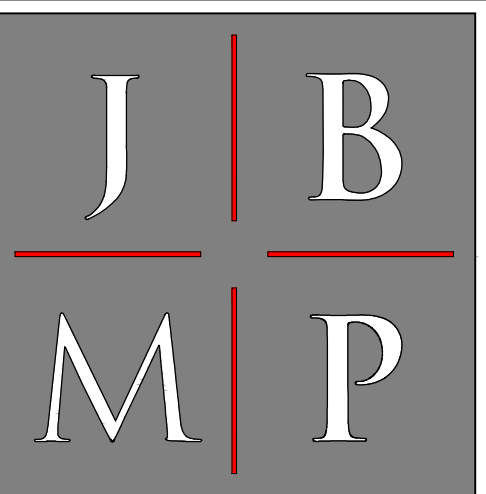
17 Greenbriar Circle
Armonk, NY 10504

DRAWING TITLE:
BSMT LEVEL & FIRST FLOOR
LIGHTING & ELECTRICAL
PLAN
SCALE: 1/4"=1'-0"
DATE: March 9, 2021
DRAWN: JM
PROJECT MGR: JM

Ownership and Use of Documents:

Drawings and specifications as instruments of service are and shall remain the property of Jones, Byrnes, Margeotes & Partners, Inc. These documents are not to be used in whole or in part for any other projects or purposes or by any other parties than those properly authorized by contract without the specific written authority of Jones, Byrnes, Margeotes & Partners, Inc.

DRAWING NUMBER:
A3.00



JONES | BYRNE
MARGEOTES | PARTNERS
ARCHITECTURE | INTERIOR DESIGN

1786 Bedford Street, Stamford, CT 06905
Phone 203.531.1588 Fax 203.531.6239
www.jbmparch.com

PROPOSED EXTERIOR MATERIALS:

DECK: ENTIRE DECK, ALL PARTS EXCEPT DRINK RAIL, SHALL BE PAINTED WITH BEN MOORE WHITE OC-151
 1" SOLID EDGE DECK BOARD BY CITADEL, 1"x5.4" COLOR: SANDSTONE
 AVAILABLE LENGTHS: 12', 16', 20', 24' +/- GAP BETWEEN BOARDS FOR DRAIN THROUGH INSTALLATION
 "AZEK PREMIER RAIL SYSTEM" 4X4 P.T POST WITH 5"x5" FIN. POST SLEEVE/AZEK PREMIER BOTTOM RAIL
 SHOE MOLDING AT POSTS: IL 122 BASE IN VERSATEX, RIP TO 1 1/2" HT. 5/4x8 SAPELE MAHOGANY DRINK RAIL LEFT TO WEATHER TO MATCH DECKING "SANDSTONE" COLOR.
 SELF CLOSING GATE, WROUGHT IRON, (STEEL.)
 BEN MOORE WHITE OC-151
 TRIM, FLAT STOCK, VERSATEX.

EXISTING EXTERIOR MATERIALS:

SIDING: WOOD CLAPBOARD SIDING, 6" EXPOSURE, COLOR: CREAM
WINDOWS, CORNERBOARDS, CASING, FASCIAS, SOFFITS, GUTTERS AND LEADERS, COLUMNS, TRIM, ETC.
 COLOR: WHITE
ROOF: ASPHALT SHINGLES: COLOR: BROWN



1 PROPOSED REAR (WEST) ELEVATION
 SCALE: 3/8" = 1'-0"

03.18.21 RPRC SUBMISSION

SEAL:

DRAWING NOT VALID
 UNLESS SIGNED & SEALED HERE

PROJECT:
 Unger Residence

17 Greenbriar Circle
 Armonk, NY 10504

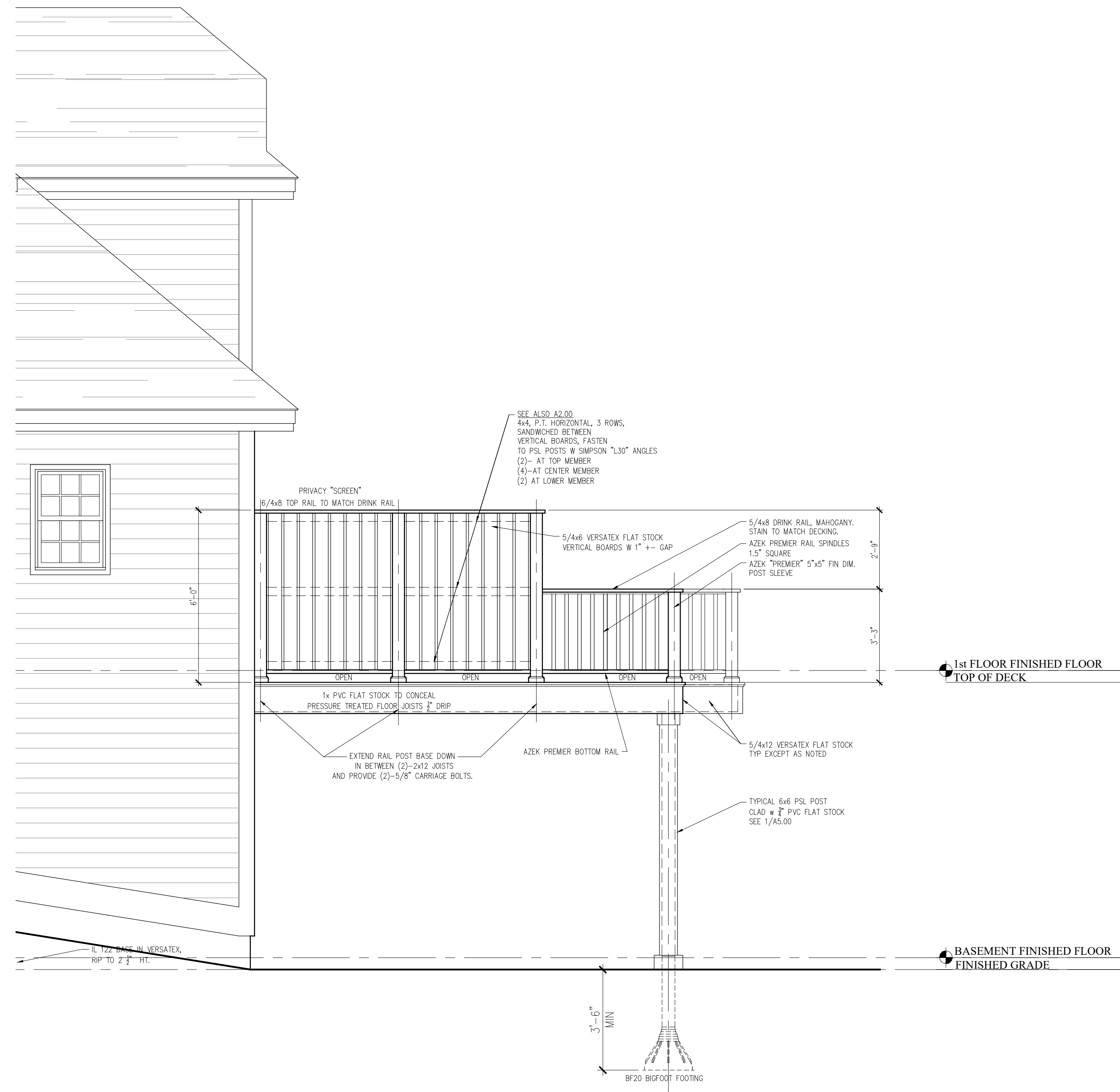
DRAWING TITLE:
 PROPOSED
 BUILDING ELEVATIONS

SCALE: 3/8"=1'-0"
 DATE: March 17, 2021
 DRAWN: JM
 PROJECT MGR: JM

Ownership and Use of Documents:

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DRAWING NUMBER:
A4.00



2 PROPOSED SIDE (NORTH) ELEVATION
SCALE: 3/8" = 1'-0"

PROPOSED EXTERIOR MATERIALS:

DECK: ENTIRE DECK, ALL PARTS EXCEPT DRINK RAIL, SHALL BE PAINTED WITH BEN MOORE WHITE OC-151

1" SOLID EDGE DECK BOARD BY CITADEL, 1"x5.4" COLOR: SANDSTONE
AVAILABLE LENGTHS: 12', 16', 20'. 3/4"± GAP BETWEEN BOARDS FOR DRAIN THROUGH INSTALLATION

"AZEK PREMIER RAIL SYSTEM" 4X4 P.T POST WITH 5"x5" FIN. POST SLEEVE "AZEK PREMIER BOTTOM RAIL."
SHOE MOLDING AT POSTS: IL 122 BASE IN VERSATEX, RIP TO 1 3/4" HT.
5/4x8 SAPELE MAHOGANY DRINK RAIL LEFT TO WEATHER TO MATCH DECKING "SANDSTONE" COLOR.

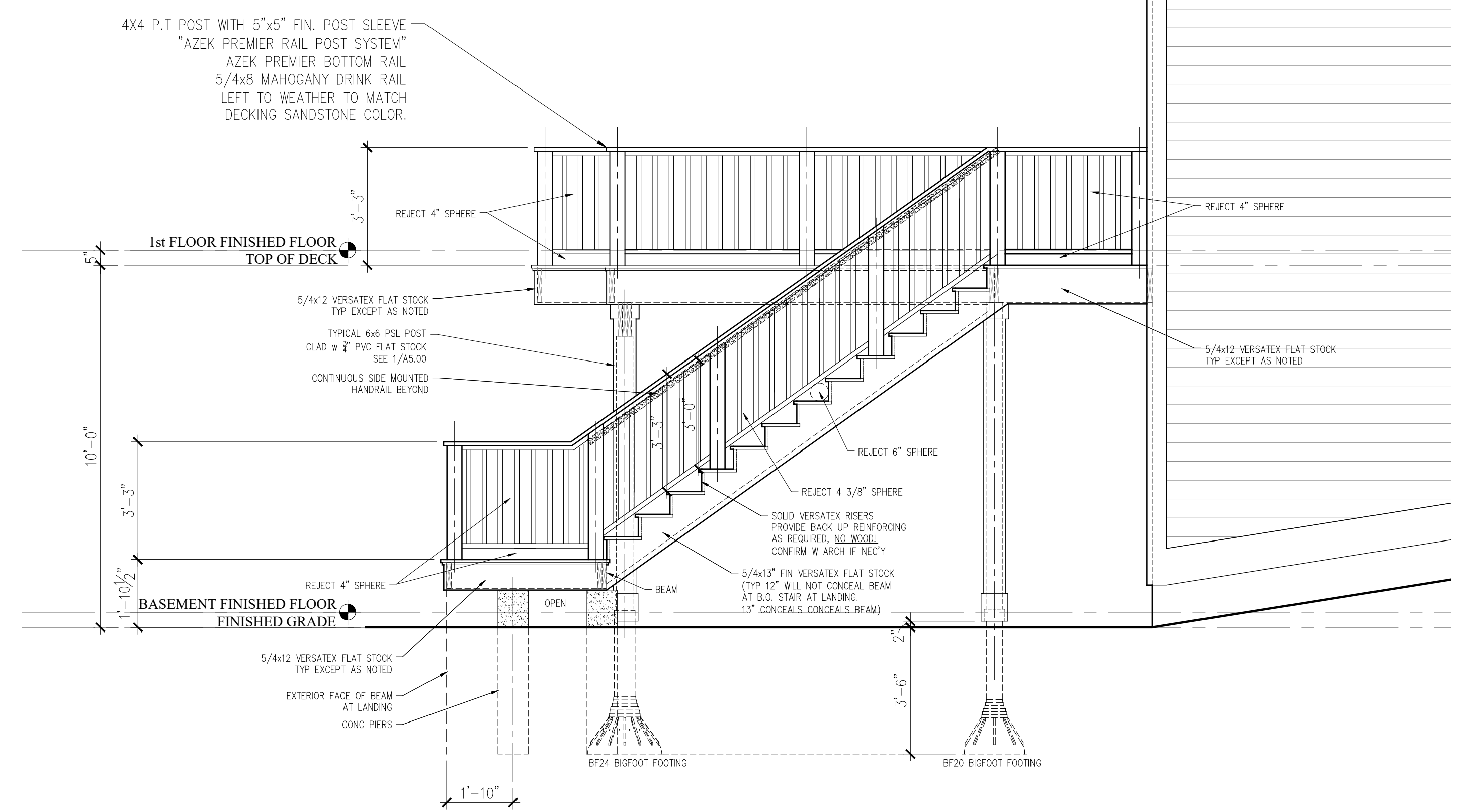
SELF CLOSING GATE, WROUGHT IRON, (STEEL.)
BEN MOORE WHITE OC-151
TRIM, FLAT STOCK, VERSATEX.

EXISTING EXTERIOR MATERIALS:

SIDING: WOOD CLAPBOARD SIDING, 6" EXPOSURE,
COLOR: CREAM

**WINDOWS, CORNERBOARDS, CASING, FASCIAS, SOFFITS,
GUTTERS AND LEADERS, COLUMNS, TRIM, ETC.**
COLOR: WHITE

ROOF: ASPHALT SHINGLES. COLOR: BROWN



1 PROPOSED SIDE (SOUTH) ELEVATION
SCALE: 3/8" = 1'-0"

03.18.21 RPRC SUBMISSION

SEAL:

DRAWING NOT VALID
UNLESS SIGNED & SEALED HERE

PROJECT:
Unger Residence

17 Greenbriar Circle
Armonk, NY 10504

DRAWING TITLE:
PROPOSED
BUILDING ELEVATIONS

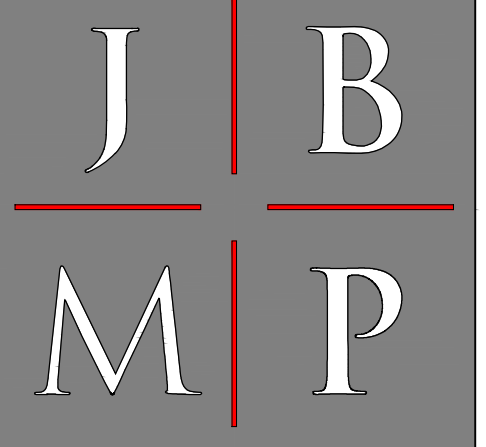
SCALE: 3/8"=1'-0"
DATE: March 17, 2021
DRAWN: JM
PROJECT MGR: JM

Ownership and Use of Documents:

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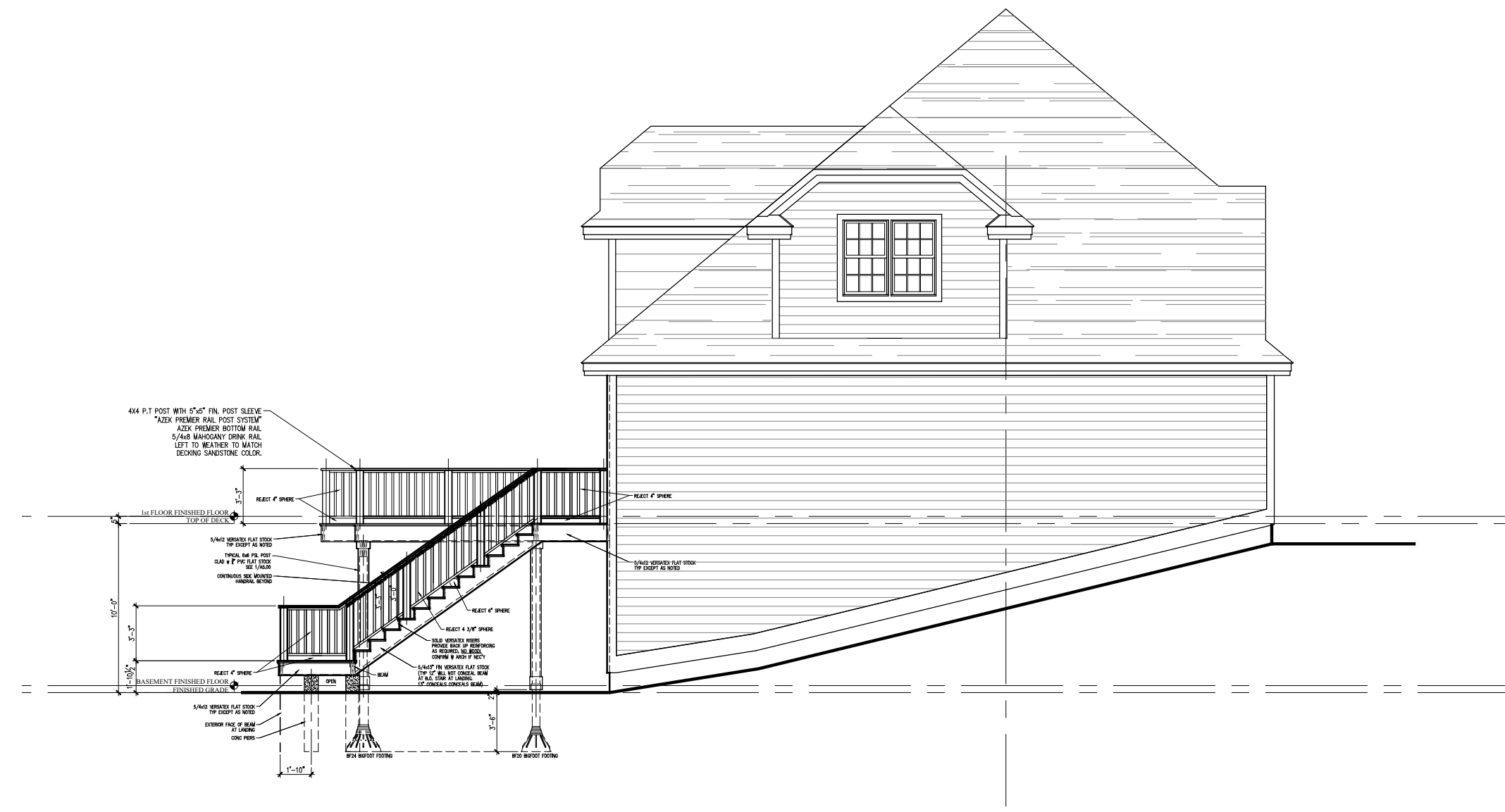
DRAWING NUMBER:

A4.01

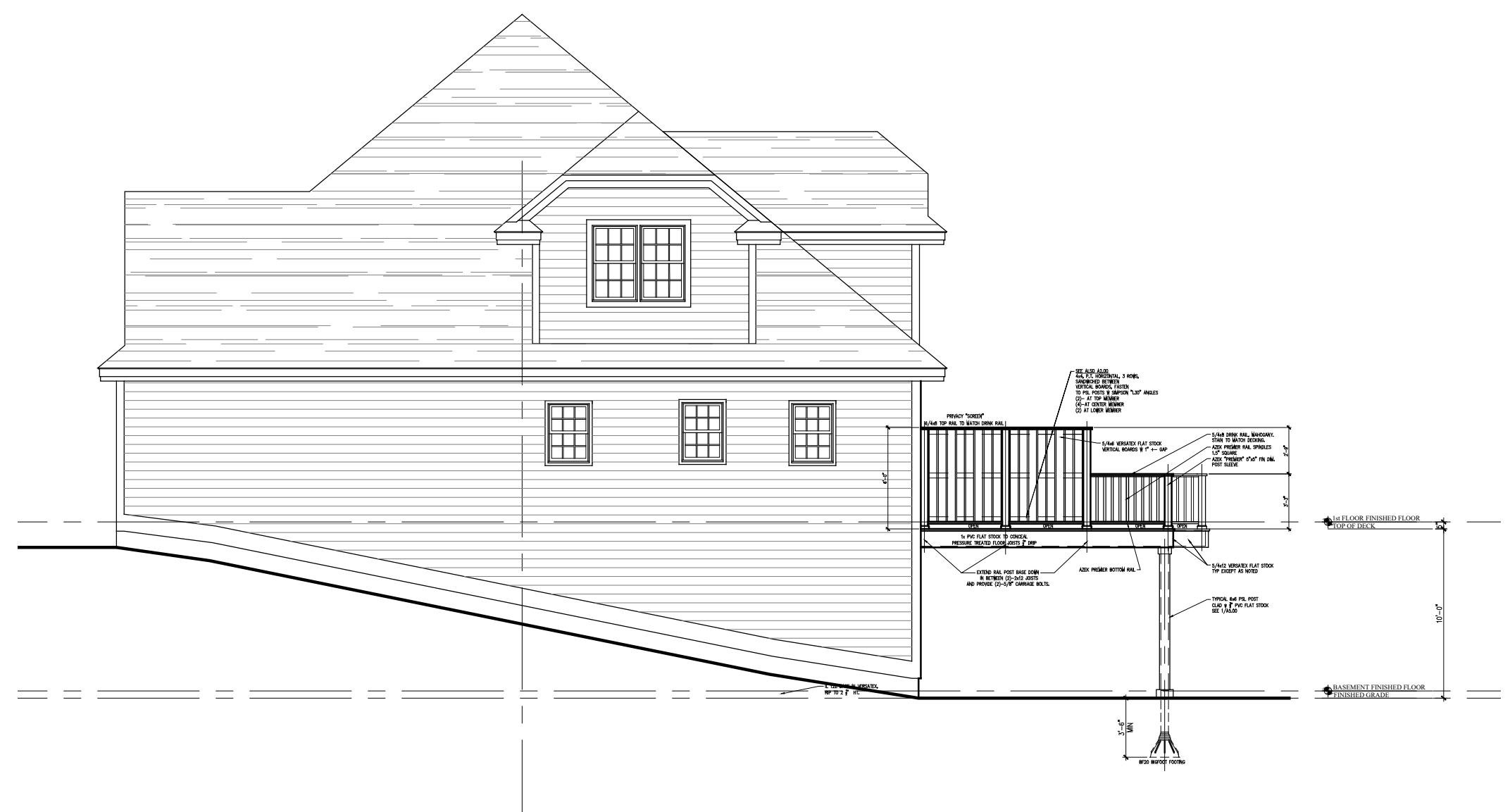


JONES | BYRNE
MARGEOTES | PARTNERS
ARCHITECTURE | INTERIOR DESIGN

1786 Bedford Street, Stamford, CT 06905
Phone 203.531.1588 Fax 203.531.6239
www.jbmparch.com



1 PROPOSED SIDE (SOUTH) ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED SIDE (NORTH) ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED REAR (WEST) ELEVATION
SCALE: 1/8" = 1'-0"

03.18.21 RPRC SUBMISSION

SEAL:

DRAWING NOT VALID
UNLESS SIGNED & SEALED HERE

PROJECT:
Unger Residence

17 Greenbriar Circle
Armonk, NY 10504

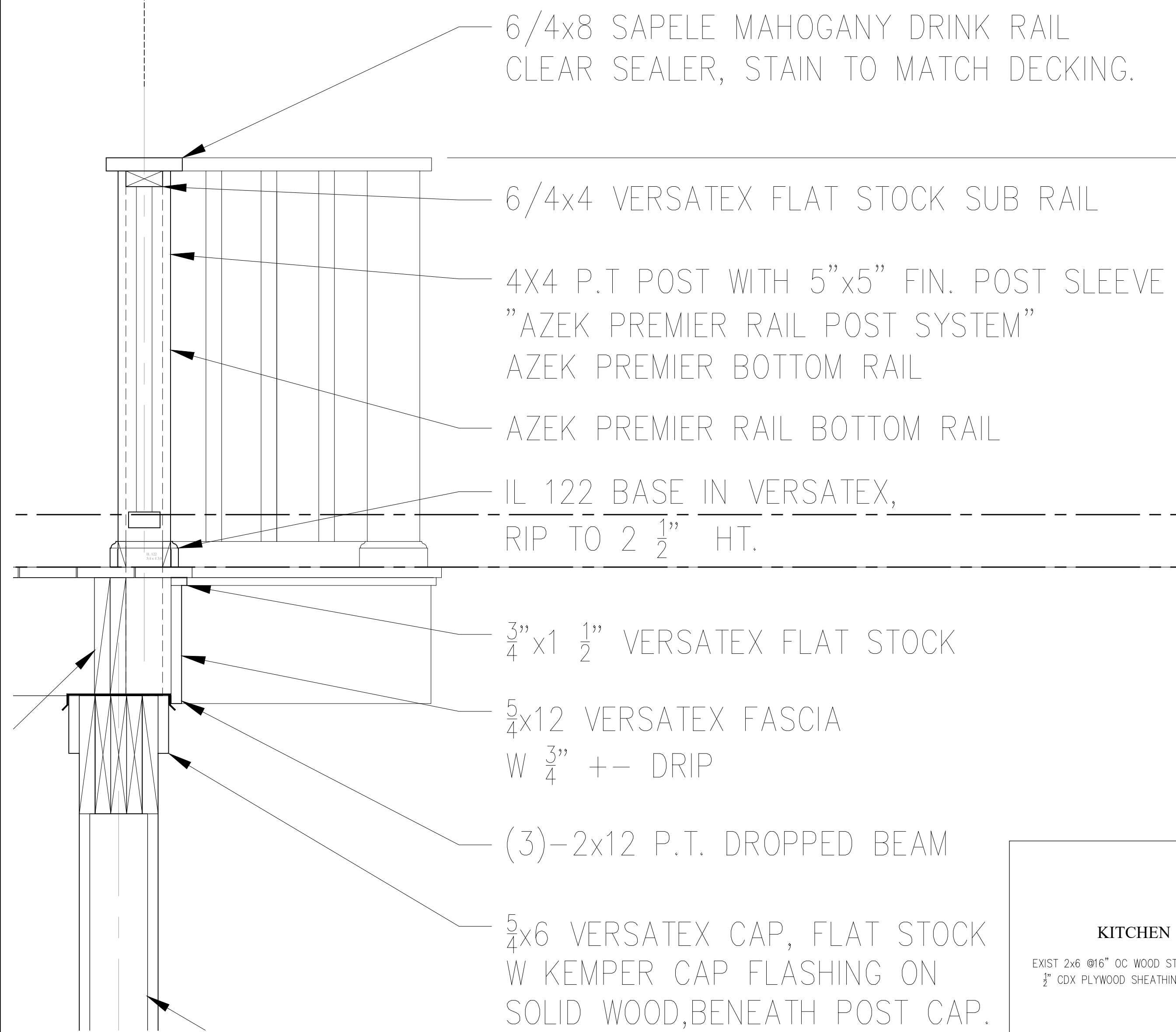
DRAWING TITLE:
PROPOSED
BUILDING ELEVATIONS
All 3, Smaller Scale
SCALE: 1/8"=1'-0"
DATE: March 17, 2021
DRAWN: JM
PROJECT MGR: JM

Ownership and Use of Documents:

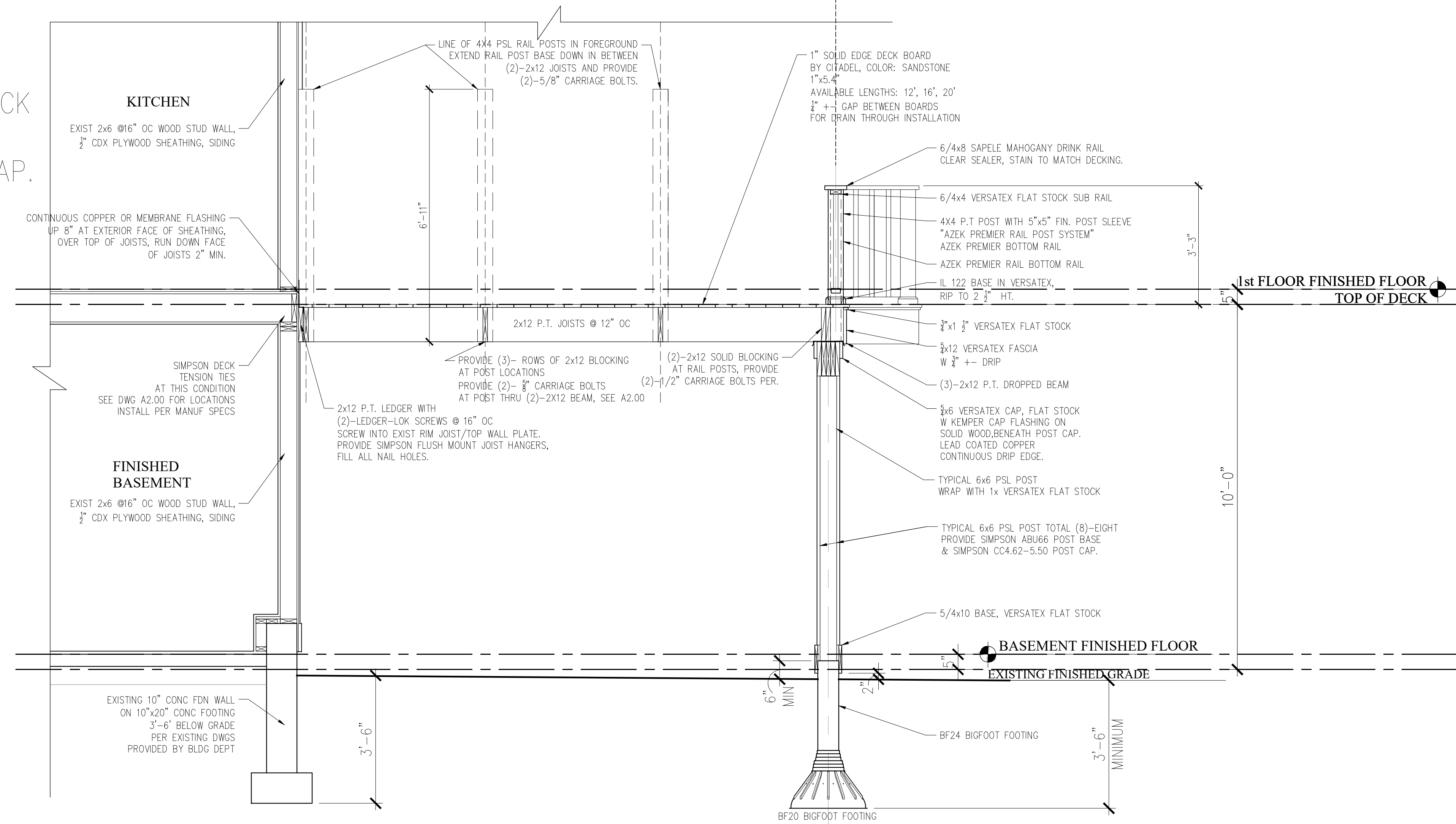
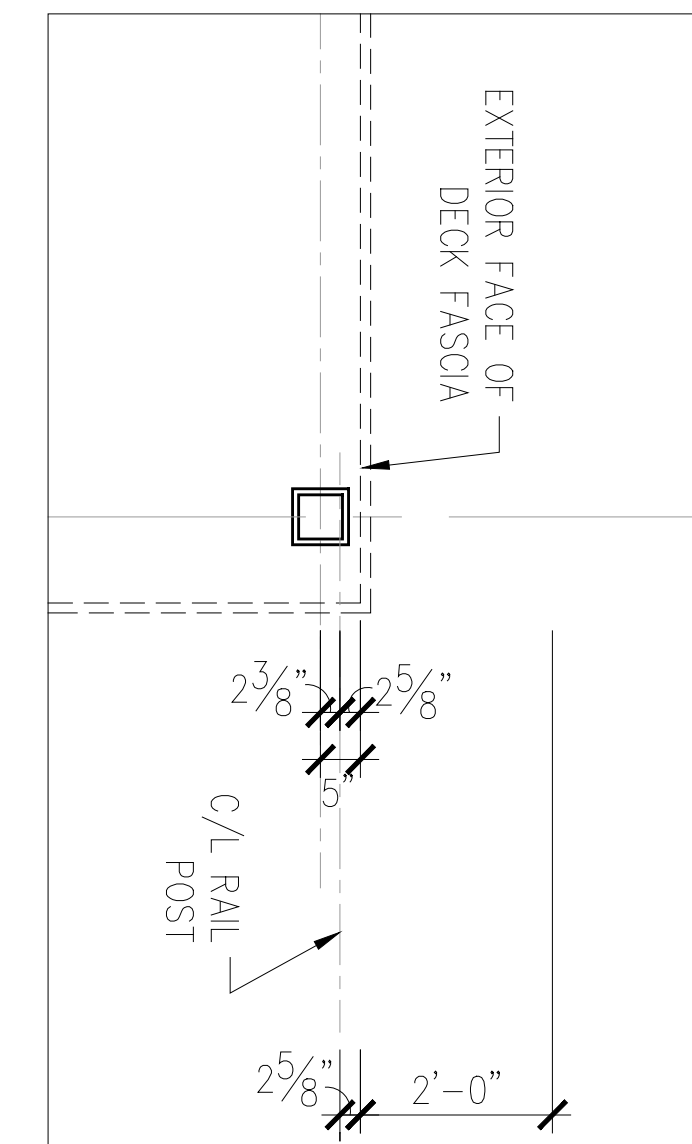
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DRAWING NUMBER:

A4.02



1 ENLARGED SECTION AT GUARDRAIL
SCALE: 1 1/2" = 1'-0"



1 SECTION AT DECK
SCALE: 1/2" = 1'-0"

03.18.21 RPRC SUBMISSION

SEAL:

DRAWING NOT VALID
UNLESS SIGNED & SEALED HERE

PROJECT:
Unger Residence

17 Greenbriar Circle
Armonk, NY 10504

DRAWING TITLE:
PROPOSED SECTIONS
AND DETAILS

SCALE: As Noted
DATE: March 17, 2021
DRAWN: JM
PROJECT MGR: JM

Ownership and Use of Documents:

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contract without the specific written authority of Jones,
Byrne, Margeotes & Partners, Inc.

DRAWING NUMBER:
A5.00



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 17 GREEN BRIAR CIRCLE

Section III- DESCRIPTION OF WORK:

NEW WOOD AT 1ST FLOOR, REAR.
REMOVE EXIST WOOD DECK

Section III- CONTACT INFORMATION:

APPLICANT: JAMES MARGEOTES
ADDRESS: JBMP ARCHITECTS, 1786 BEDFORD ST, STAMFORD, CT
PHONE: - N/A MOBILE: 646-263-2301 EMAIL: jmarginotesarchitect@gmail.com 06905

PROPERTY OWNER: MINDY UNGER

ADDRESS: _____

PHONE: NA MOBILE: 914-588-1969 EMAIL: mindyungere@gmail.com

PROFESSIONAL: JAMES MARGEOTES, R.A.

ADDRESS: JBMP ARCHITECTS, 1786 BEDFORD ST, STAMFORD, CT

PHONE: 646-263-2301 MOBILE: 646-263-2301 06905

EMAIL: jmarginotesarchitect@gmail.com

Section IV- PROPERTY INFORMATION:

Zone: R-MF Tax ID (lot designation) 107.16-3-48



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

UNGER RESIDENCE

Initial Submittal Revised Preliminary

Street Location:

17 GREENBRIAR CIRCLE

Zoning District: RMF Property Acreage: .29 Tax Map Parcel ID: 107.16-3-98

Date: MARCH 18, 2021

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: MINDY UNGER Date: 3.18.2021

Tax Map Designation or Proposed Lot No.: 107.16-3-48

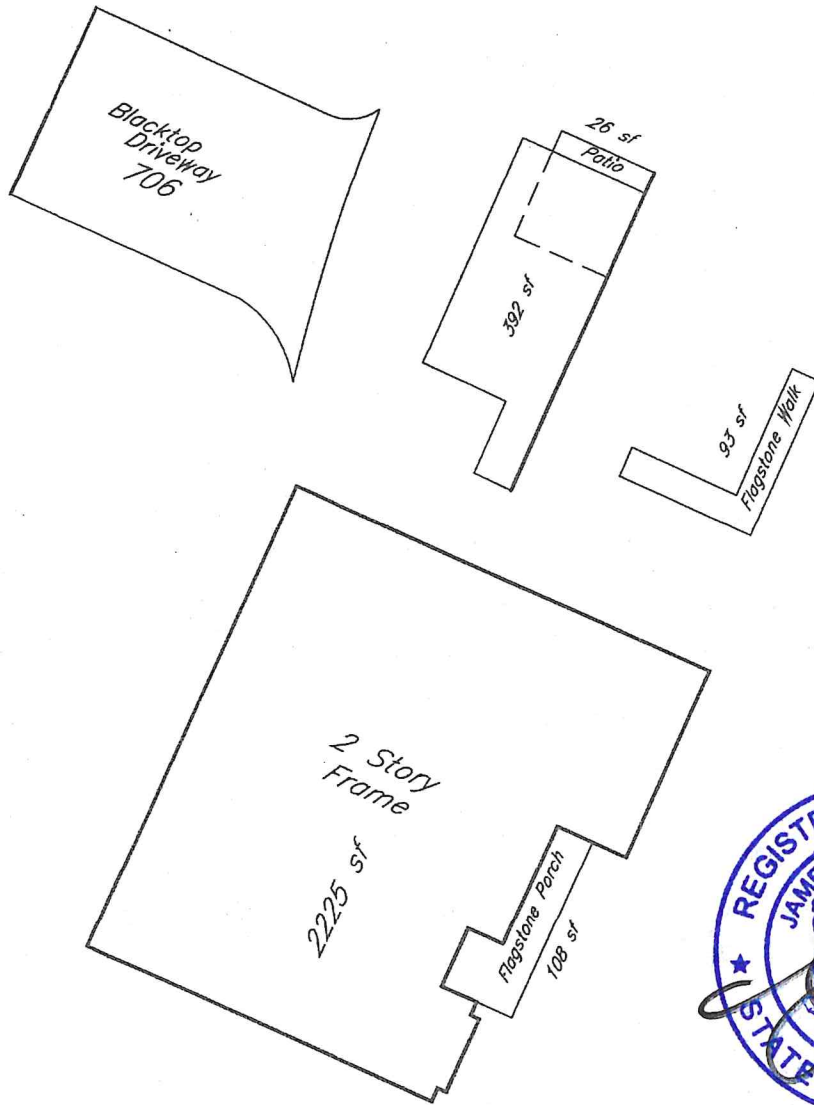
Gross Lot Coverage

- | | | |
|-----|---|----------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>12,583</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>4,619.9</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback
x 10 = <u>11.41</u> | <u>114.1</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>4,734.0</u> |
| 5. | Amount of lot area covered by principal building:
<u>2,225</u> existing + <u>0</u> proposed = | <u>2,225.0</u> |
| 6. | Amount of lot area covered by accessory buildings:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of lot area covered by decks:
<u>392</u> existing + <u>880</u> proposed = | <u>488.0</u> |
| 8. | Amount of lot area covered by porches:
<u>108</u> existing + <u>0</u> proposed = | <u>108.0</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways:
<u>799</u> existing + <u>10.5</u> proposed = | <u>809.5</u> |
| 10. | Amount of lot area covered by terraces:
<u>26</u> existing + <u>0</u> proposed = | <u>26.0</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:
<u>10.25</u> existing + <u>0</u> proposed = | <u>10.25</u> |
| 12. | Amount of lot area covered by all other structures:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage: Total of Lines 5 – 12 = | <u>3,550.0</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet

3.18.2021
 Date



UNGER RES 17 GREENBRIAR CIRCLE
PROVIDED BY BILL FREE, P.S.L.
WARD CARPENTER ENGINEERS.

(J. MARGEOTES R.A.) 2021.03.10

