



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 4 NICHOLS ROAD, ARMONK, NY 10504

Section III- DESCRIPTION OF WORK:

NEW COVERED ENTRY AND COVERED PORCH AT
REAR AT LOCATION OF EXISTING DECK - NET SF
INCREASE OF 180 SF OF IMPERVIOUS AREA;
NEW DOWNERS/ENLARGED MASTER BEDROOM

Section III- CONTACT INFORMATION:

APPLICANT: JAMES COLEMAN, AIA
ADDRESS: 217 MOUNTAIN ROAD PLEASANTVILLE NY 10570
PHONE: 914 579 2015 MOBILE: _____ EMAIL: JAMES@JCOLEMANSTUDIO.COM

PROPERTY OWNER:
NIKOLAOS & UNCEZZA ARDAN
ADDRESS: 4 NICHOLS RD, ARMONK NY 10504
PHONE: 914 423 7264 MOBILE: _____ EMAIL: ARDAN@GMAIL.COM

PROFESSIONAL: JAMES COLEMAN, AIA
ADDRESS: _____
PHONE: _____ MOBILE: _____
EMAIL: _____

Section IV- PROPERTY INFORMATION:

Zone: RIA Tax ID (lot designation) 108.03-2-3



**Town of North Castle
Residential Project Review Committee**
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

4 NICHOLS ROAD

Initial Submittal Revised Preliminary

Street Location:

4 NICHOLS ROAD

Zoning District: RIA Property Acreage: 1.011 Tax Map Parcel ID: 108.03-2-3

Date: 4/6/21

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

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 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

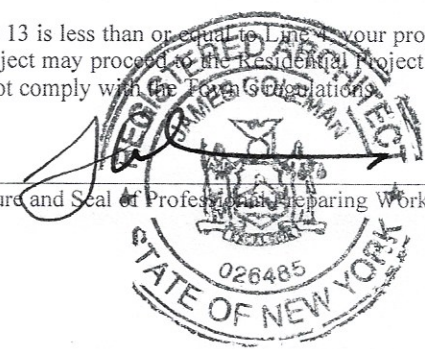
Application Name or Identifying Title: 4 NICHOLS RD Date: 4/6/21
 Tax Map Designation or Proposed Lot No.: 108.03-2-3

Gross Lot Coverage

- | | | |
|-----|--|---------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>44,050</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(a)): | <u>9394</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback
<u>3.2</u> x 10 = | <u>32</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>9426</u> |
| 5. | Amount of lot area covered by principal building:
<u>2005</u> existing + <u>0</u> proposed = | <u>2005</u> |
| 6. | Amount of lot area covered by accessory buildings:
<u>586</u> existing + <u>0</u> proposed = | <u>586</u> |
| 7. | Amount of lot area covered by decks:
<u>250</u> existing + <u>0</u> proposed = | <u>250</u> |
| 8. | Amount of lot area covered by porches:
<u>37</u> existing + <u>180</u> proposed = | <u>217</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways:
<u>2274</u> existing + <u>22</u> proposed = | <u>2296</u> |
| 10. | Amount of lot area covered by terraces:
<u>0</u> existing + <u>0</u> proposed = | |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:
<u>15</u> existing + <u>0</u> proposed = | <u>15</u> |
| 12. | Amount of lot area covered by all other structures:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage: Total of Lines 5 – 12 = | <u>5369</u> |

If Line 13 is less than or equal to Line 4 your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



4/6/21
Date



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 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
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FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Y NICHOLS RD Date: 4/6/21

Tax Map Designation or Proposed Lot No.: 108.03-2-3

Floor Area

- | | | |
|-----|---|---------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>44,050</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>7756</u> |
| 3. | Amount of floor area contained within first floor:
<u>1088</u> existing + <u>0</u> proposed = | <u>1088</u> |
| 4. | Amount of floor area contained within second floor:
<u>577</u> existing + <u>143</u> proposed = | <u>720</u> |
| 5. | Amount of floor area contained within garage:
<u>710</u> existing + <u>0</u> proposed = | <u>710</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>520</u> existing + <u>0</u> proposed = | <u>520</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>3038</u> |

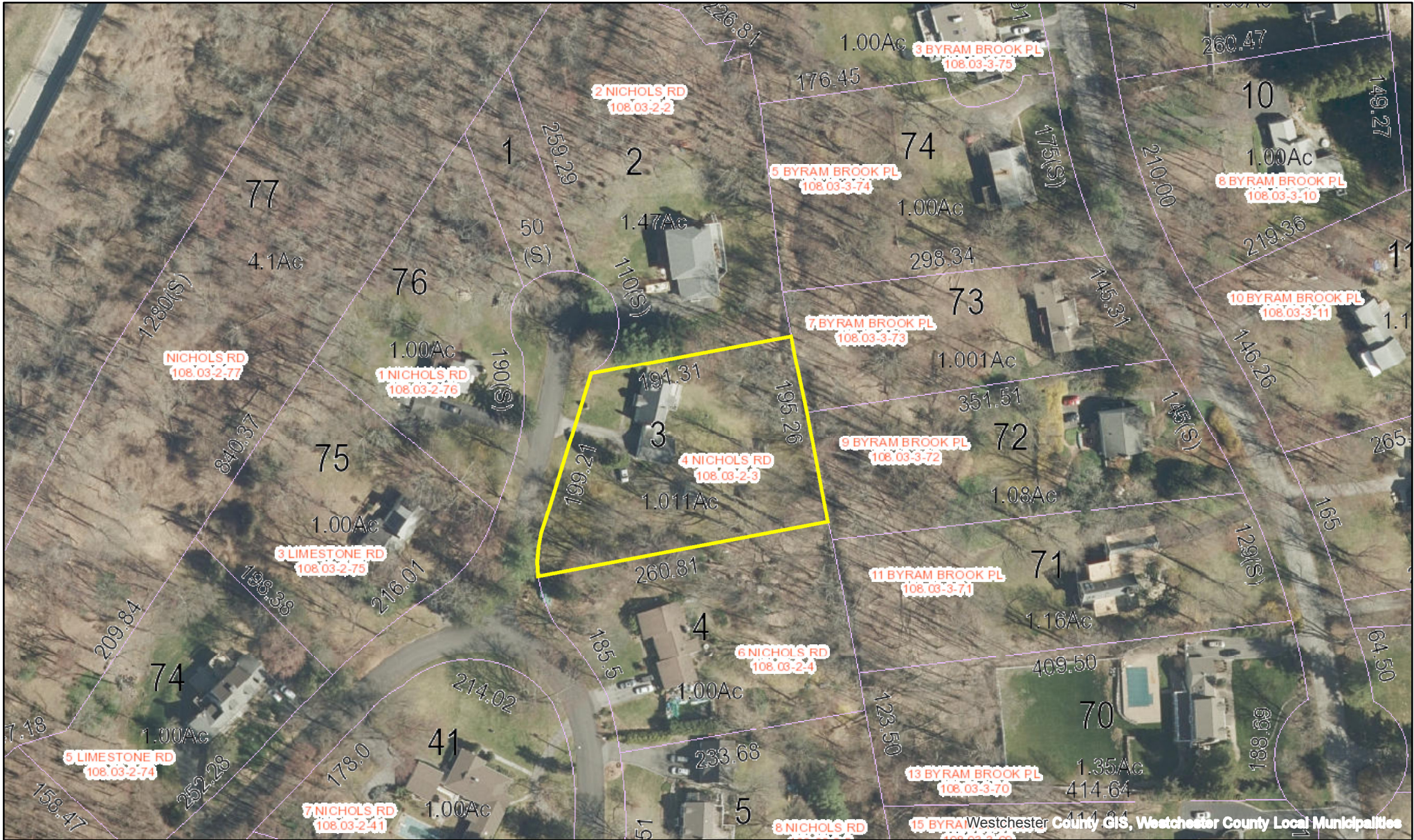
If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



Date 4/6/21

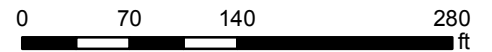
4 NICHOLS RD. ID: 108.03-2-3 (North Castle)



April 6, 2021

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

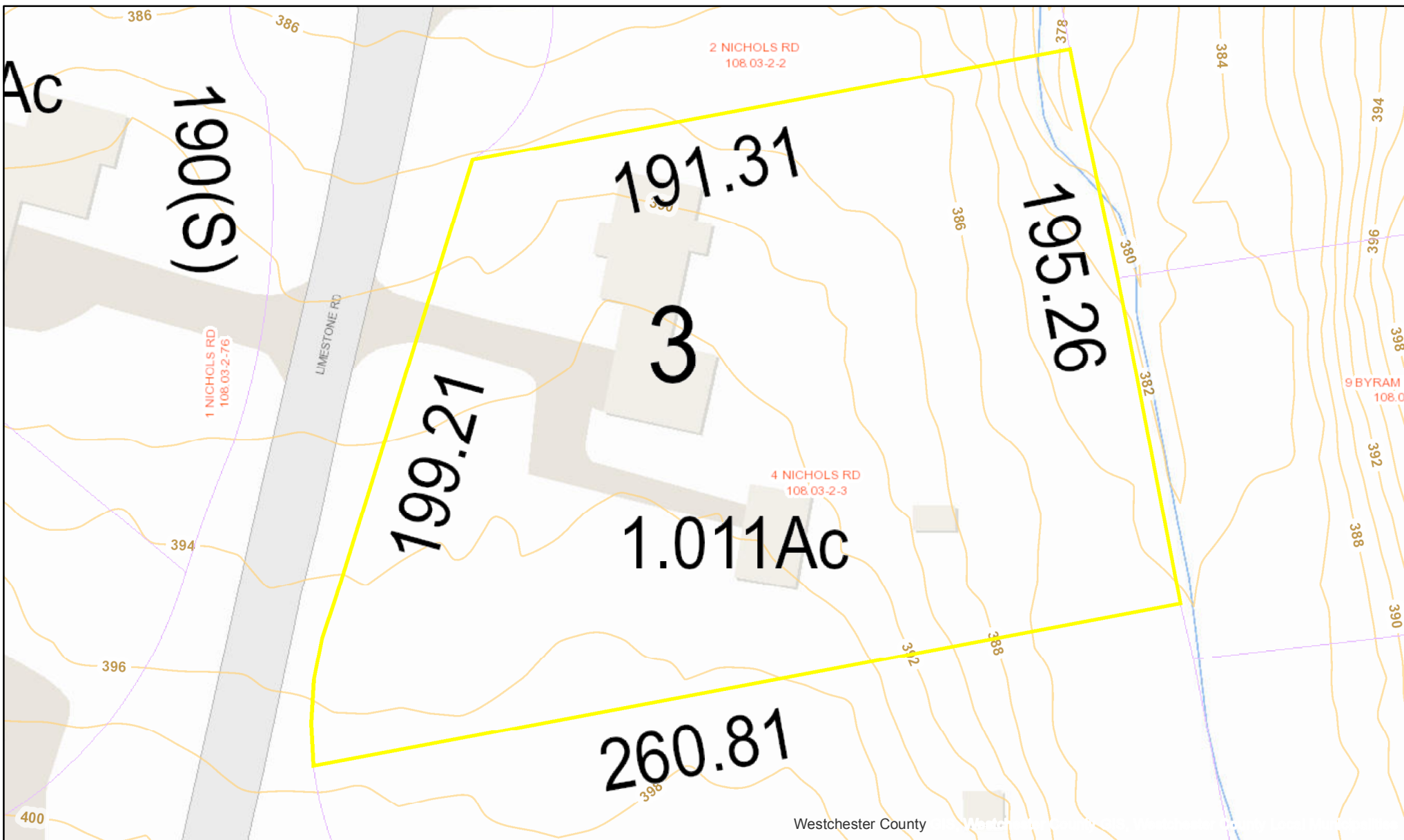
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Westchester County GIS

GIS
<http://giswww.westchestergov.com>
Michaelian Office Building
148 Martine Avenue Rm 214
White Plains, New York 10601

4 NICHOLS RD. ID: 108.03-2-3 (North Castle)



September 28, 2020

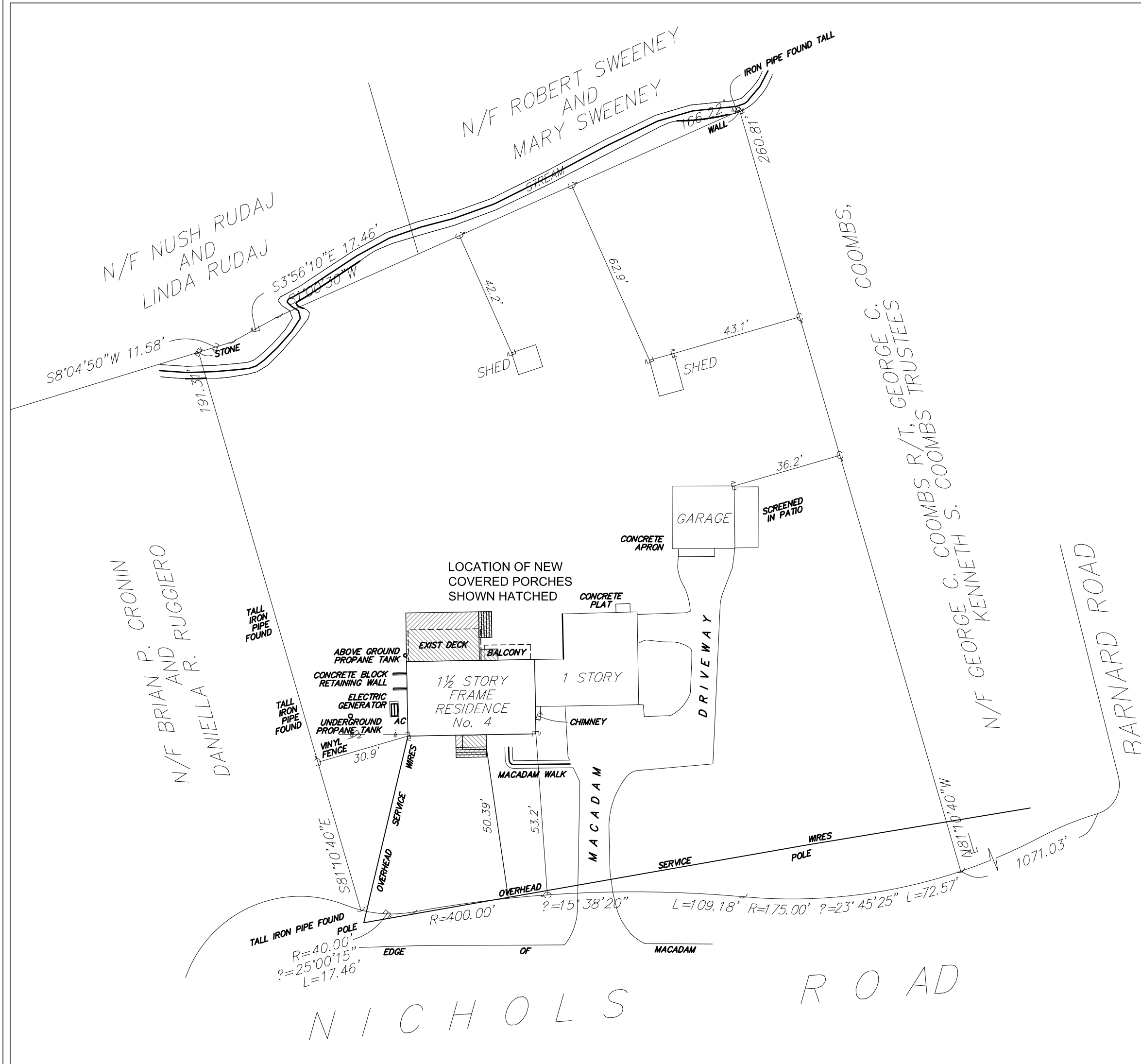
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1:500



Westchester County GIS

GIS
<http://giswww.westchestergov.com>
Michaelian Office Building
148 Martine Avenue Rm 214
White Plains, New York 10601



GENERAL DEMOLITION NOTES:

- The intent of this demolition is to provide a clean space free of debris and equipment (except where indicated to remain) in order to make the space ready for new construction. All demolition is to be carried out in a workmanlike manner and shall be performed in accordance with New York State Building, Zoning, Plumbing and Electrical codes, and all other agencies having jurisdiction.
- The general contractor is responsible for shoring existing construction to remain before cutting or removing any portion of wall or ceiling assembly.
- The general contractor shall supervise and direct the work, using his best skills and attention. The general contractor shall be solely responsible for all means, methods, techniques, sequences, and procedures for the demolition and coordinating all demolition with the protection of the building's infrastructure including, but not limited to egress, plumbing, electrical, mechanical, structural, and fire suppression systems.
- The general contractor and his subcontractors shall thoroughly investigate the space as well as the surrounding spaces that will affect the demolition before starting to demolition work in order to be familiar with the existing conditions to be removed and any difficulties that will affect execution of the work. The contractor shall report any discrepancies and/or concerns in regards to the scope of work and items that may conflict with the drawings for review and possible corrective measures prior to demolition.
- Before demolishing walls and partitions indicated to be removed, the contractor shall determine that such are not structural. If a wall or partition indicated in the drawings to be removed is determined to be structural, notify the Owner immediately.
- Electrical, plumbing, and mechanical services encountered in demolition are to be properly disconnected, rerouted, or capped. Damage caused by the failure to properly protect such systems shall be solely the responsibility of the general contractor.
- The general contractor shall protect adjacent areas and properties from any damage. Any damage as a result of demolition, shall be fully the responsibility of the contractor and shall be restored and/or replaced to the owner's satisfaction at no additional cost to the Owner.
- Remove garbage and rubbish from the building's site in an orderly manner. Provide sufficient containers to hold the rubbish prior to removal. Legally dispose of rubbish from the site.

ELECTRICAL DEMOLITION NOTES:

- All work shall be performed by licensed electricians. The electrical contractor shall investigate the space prior to demolition to become familiar with existing conditions, and shall report any deviation from the scope of work to be demolished.
- Maintain continuous operations of areas not part of demolition as required. The wiring serving areas that are to remain shall be traced out prior to removal.
- Remove all conduit and wiring back to panel that serves the demolished space including connections to related circuit breakers, unless otherwise noted. This included above ceilings space, in wall cavities, and below raised floors (if applicable). All circuit breakers in panels shall be left in the open position, unless serving an area outside of the demolition space or in an area to remain.

PLUMBING DEMOLITION NOTES:

- All work shall be performed by licensed plumbers. The plumbing contractor shall investigate the space prior to demolition to become familiar with existing conditions, and shall report any deviation from the scope of work to be demolished.
- Existing plumbing fixtures, sinks, lavatories, water closets, showers, floor drains, etc. that are to be removed must have water supply shut off prior to disconnecting and removing them to prevent flooding the space. All abandoned plumbing and piping lines must be disconnected and removed and capped properly.
- Protect all equipment that is to remain from damage, water, dust, etc. or replace as required at the contractor's expense.

MECHANICAL DEMOLITION NOTES:

- All work shall be performed by a licensed mechanical contractors. The mechanical contractor shall investigate the space prior to demolition to become familiar with existing conditions, and shall report any deviation from the scope of work to be demolished.
- Patching of existing wall, slab or ceiling openings shall be by the general contractor. HVAC contractors to coordinate with the GC.

ZONING MATRIX R-1A DISTRICT

	Required	Existing	Proposed
Minimum Lot Area sf	43,560	44,050	NC
Minimum Lot Width ft	125	193	NC
Minimum Front Yard ft	50	50	50.39
Minimum Side Yard (one) ft	25	30.9	NC
Minimum Side Yard (both) ft	--	--	NC
Minimum Rear Yard ft	40	42.2	NC
Minimum Floor Area sf	7756	2895	3038
Maximum Building Height st/ft	3/30	2/22.5	25.75
Maximum Impervious Coverage %	--	11.66	11.72
Maximum Building Coverage %	12	5.88	5.89

GENERAL NOTES:

- THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK.
- THE CONTRACTOR, BY SUBMITTING HIS BID, REPRESENTS THAT HE HAS VISITED THE PROJECT SITE AND AGREES WITH PLANS AND DETAILS AS REPRESENTING THE FULL EXTENT OF CONSTRUCTION. IF CONTRACTOR FINDS THAT PLANS AND DETAILS ARE AT VARIANCE WITH WHAT IS PHYSICALLY IN THE FIELD, HE SHALL NOTIFY THE OWNER BEFORE SUBMITTING HIS BID.
- CONTRACTOR(S) SHALL OBTAIN ANY AND ALL PERMITS AS REQUIRED BY VILLAGE OF NORTH CASTLE, NY.
- ALL WORK SHALL BE AS PER 2020 INTERNATIONAL RESIDENTIAL CODE, AND THE 2020 NEW YORK STATE UNIFORM CODE SUPPLEMENT AND ZONING REGULATIONS OF THE VILLAGE OF NORTH CASTLE, NY AND HEALTH DEPARTMENT REGULATIONS OF THE STATE OF NY AND WESTCHESTER COUNTY.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SUB-CONTRACTOR(S) UNLESS OTHERWISE NOTED.
- ALL CONTRACTORS TO COOPERATE IN COORDINATING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SAFE WORKING CONDITIONS AND SHALL OBSERVE ALL SAFETY REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AGENCIES AND OWNER. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENTS SHALL APPLY. CARE SHALL BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR THE STRUCTURE. ALL CUTTING AND PATCHING SHALL BE DONE BY THE GENERAL CONTRACTOR AND SHALL BE THE RESPONSIBILITY OF THE G.C. TO SEE THAT THE FINAL PATCH IS NOT VISIBLE AFTER FINISH(ES).
- THE CONTRACTOR SHALL PROTECT AND NOT DAMAGE TREES, PLANTING OR SHRUBS WHERE WORK OR OPERATION FOR WORK IS REQUIRED AT EXTERIOR OF BUILDING. PROTECTION FENCE SHALL BE INSTALLED AS INDICATED ON SITE PLAN, IF REQUIRED, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL PROTECT ALL ADJACENT AREAS FROM DAMAGE. ANY DAMAGE AS A RESULT OF DEMOLITION OR NEW CONSTRUCTION SHALL FULLY BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE OR REPLACE THE DAMAGED ITEM/AREA AT NOT ADDITIONAL COST OF THE OWNER.
- ALL GARBAGE AND RUBBISH MUST BE REMOVED THE SITE IN AN ORDERLY MANNER. ALL HAZARDOUS MATERIAL MUST BE HANDLED AND DISPOSED OF LEGALLY BY LICENSED CONTRACTORS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING OWNER WITH REQUIRED PROOF OF MATERIALS LEGAL DISPOSAL.
- THE STORAGE OF MATERIALS AND EQUIPMENT SHALL BE LOCATED WHERE APPROVED BY THE OWNER.
- INSTALL NEW ICYNENE INSULATION WHERE EXISTING WALLS ARE OPENED.
- NEW WINDOWS SHALL BE AS SPECIFIED IN WINDOW SCHEDULE. PROVIDE INSECT SCREENS FOR ALL OPERATING SASHES.
- ALL GLASS WITHIN 18" OF THE FLOOR, IN OPERABLE DOORS, IN BATHROOMS OR WITHIN 48" OF DOOR OPENINGS SHALL BE SAFETY GLASS, IN CONFORMANCE WITH 2015 RESIDENTIAL CODE OF NEW YORK STATE.
- ALL FRAMING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF "NATIONAL DESIGN SPECIFICATION FOR STRESS GRADED LUMBER AND ITS FASTENINGS" AS PUBLISHED BY NATIONAL LUMBER MANUFACTURERS ASSOCIATION.
- ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL FREE FROM ROT, MOLD LARGE AND LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZES INDICATED ON DRAWINGS.
- PROVIDE SOLID BLOCKING AT MID-SPAN OF ALL FLOOR JOISTS SPANNING MORE THAN 8'-0".
- ALL WINDOWS AND EXTERIOR DOORS TO BE WEATHER-STRIPPED AND ALL WINDOWS SHALL BE CAULKED. ALL DOORS AND WINDOWS TO BE FITTED W/ PRE-FABRICATED SILL PANS. CONSULT MANUFACTURERS INSTALLATION REQUIREMENTS PRIOR TO INSTALLATION.
- CONTRACTOR TO CARRY APPROPRIATE LIABILITY INSURANCE, WORKMENS COMPENSATION AND VEHICULAR INSURANCE IN THE SUMS PRESCRIBED BY VILLAGE OF GREENBURGH AND STATE OF NEW YORK AND/OR OWNER/CONTRACTOR AGREEMENT.

1 SITE PLAN
A-001 SCALE: 1" = 40'
BASED ON SURVEY PREPARED BY ROBERT S. JOHNSON, PLS APRIL 21 2020



2 EXISTING FRONT VIEW
A-001 NOT TO SCALE



3 PROPOSAL SKETCH
A-001 NOT TO SCALE

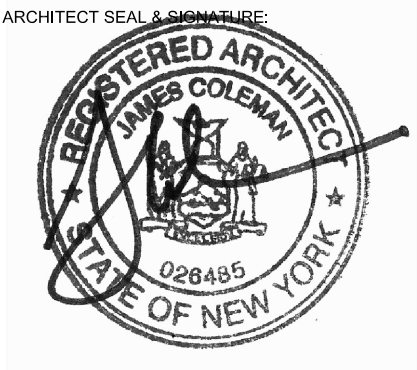
DRAWING NO.	ARCHITECTURAL DRAWINGS
A-001	SITE PLAN AND OUTLINE SPECIFICATIONS
A-100	DEMOLITION AND NEW CONSTRUCTION PLAN
A-101	LIGHTING LAYOUT
A-200	EXTERIOR ELEVATIONS
A-300	FRAMING PLAN AND SECTION

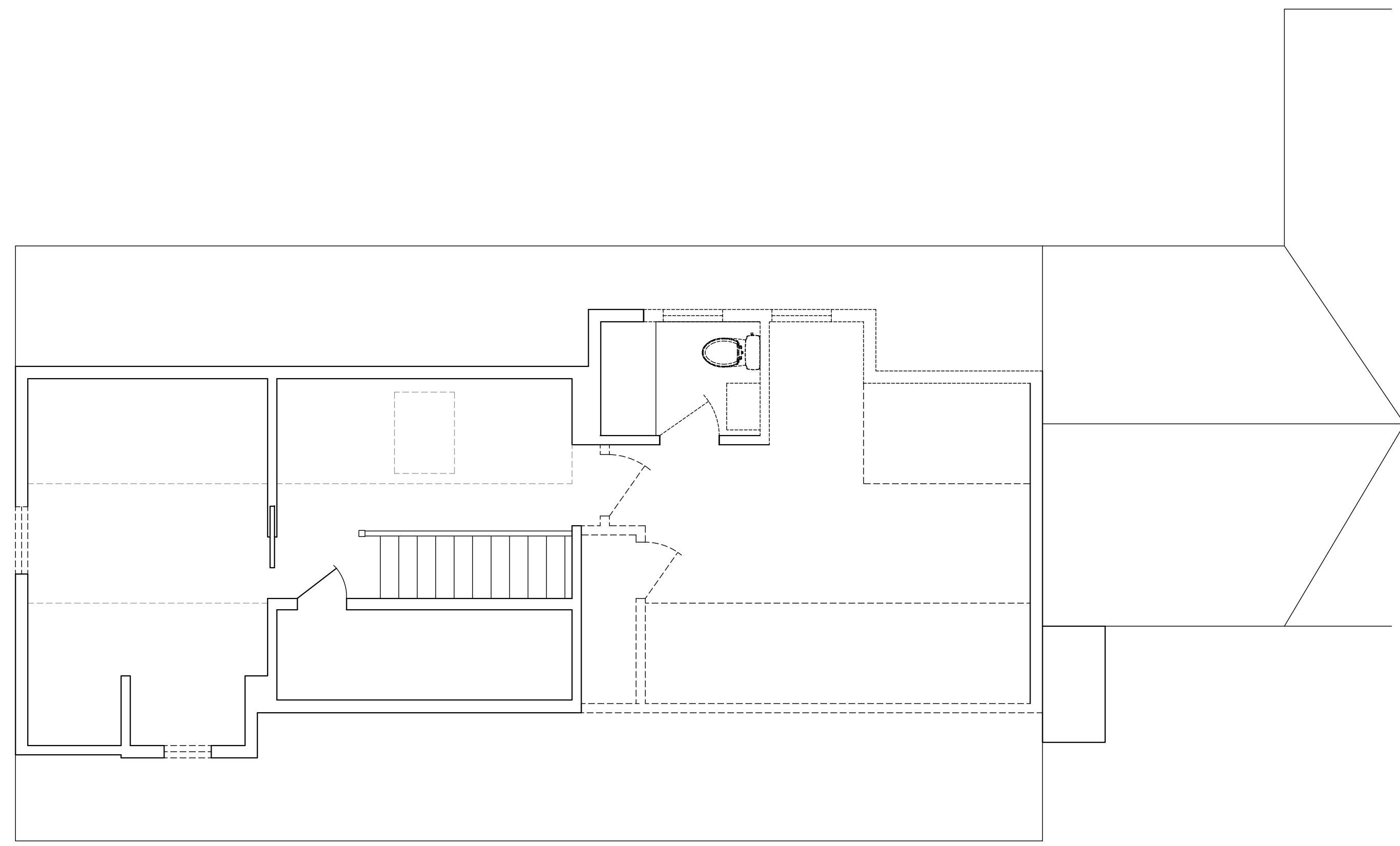
REVISIONS / DATE:

JAMES COLEMAN ARCHITECTURE STUDIO
217 MOUNTAIN ROAD PLEASANTVILLE NEW YORK
WWW.JCOLEMANSTUDIO.COM 914 579 2015
PROJECT / LOCATION:
4 Nichols Road
Armonk, New York

DRAWING TITLE:

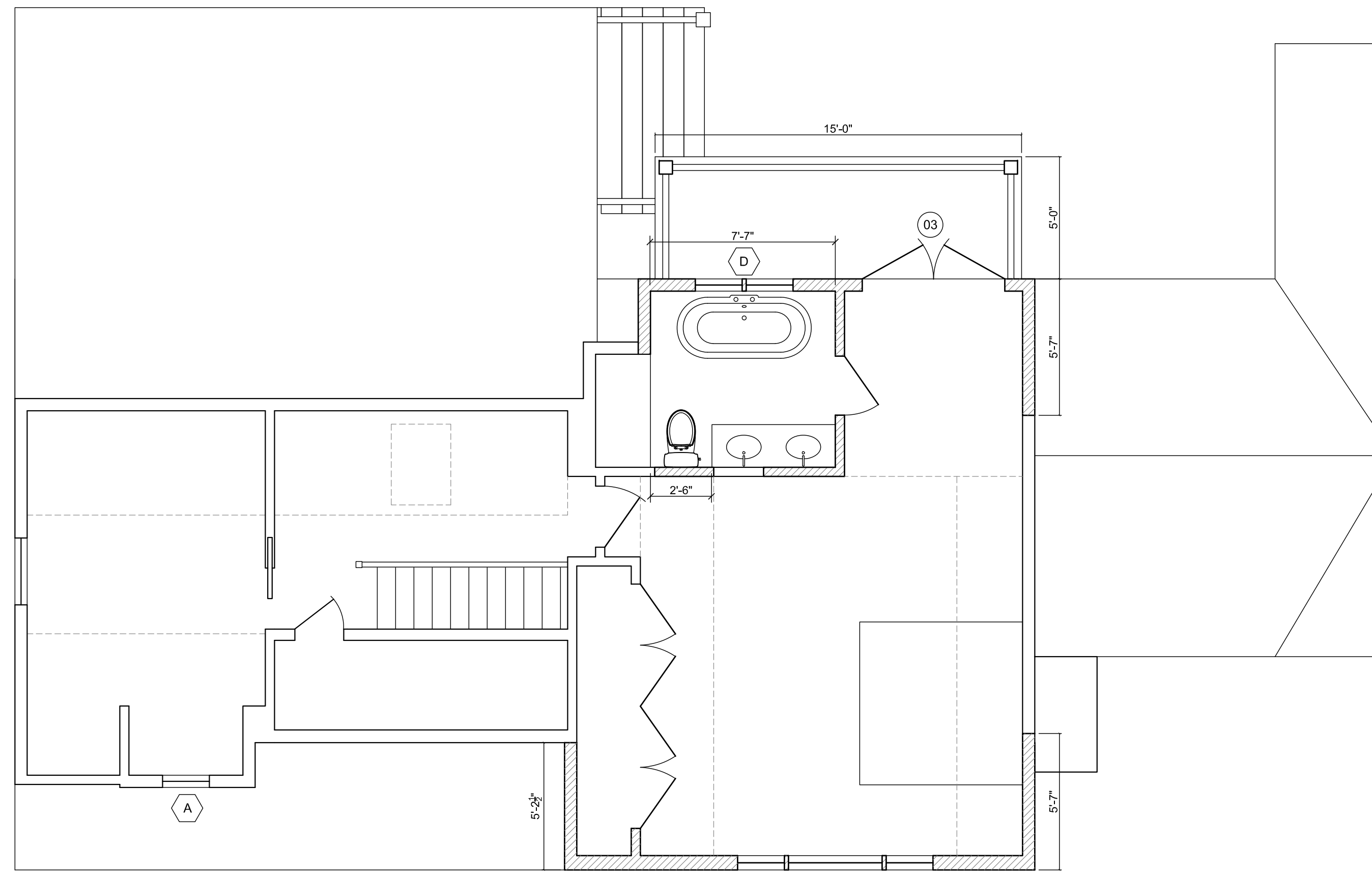
SITE PLAN AND GENERAL NOTES

ARCHITECT SEAL & SIGNATURE:  DATE: March 30, 2021
SCALE: AS NOTED
DRAWING NO.: A-001.00



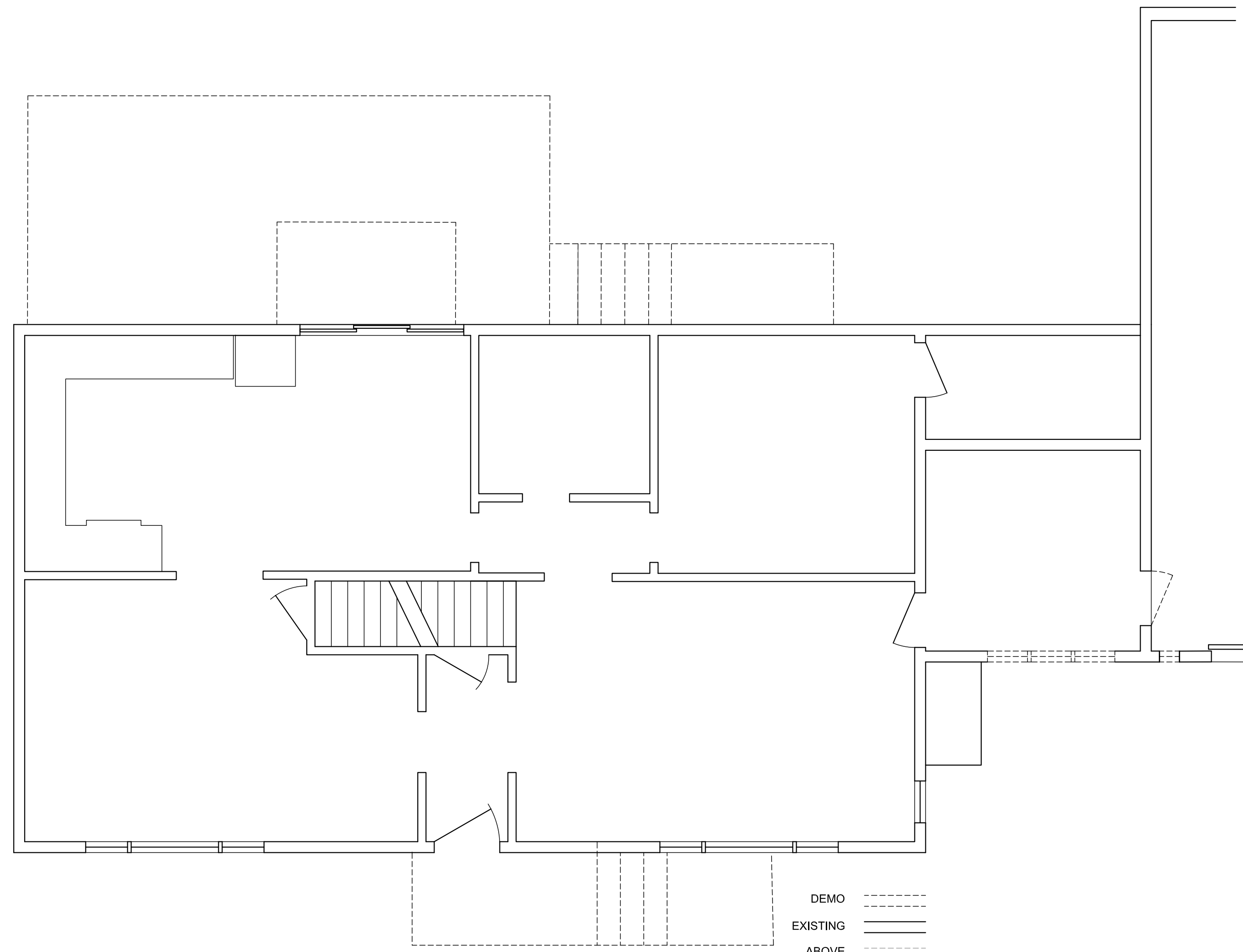
2 SECOND FLOOR DEMO
A-100 SCALE: 1/4" = 1'-0"

DEMO - - - - - DEMO
EXISTING - - - - - EXISTING
ABOVE - - - - - ABOVE



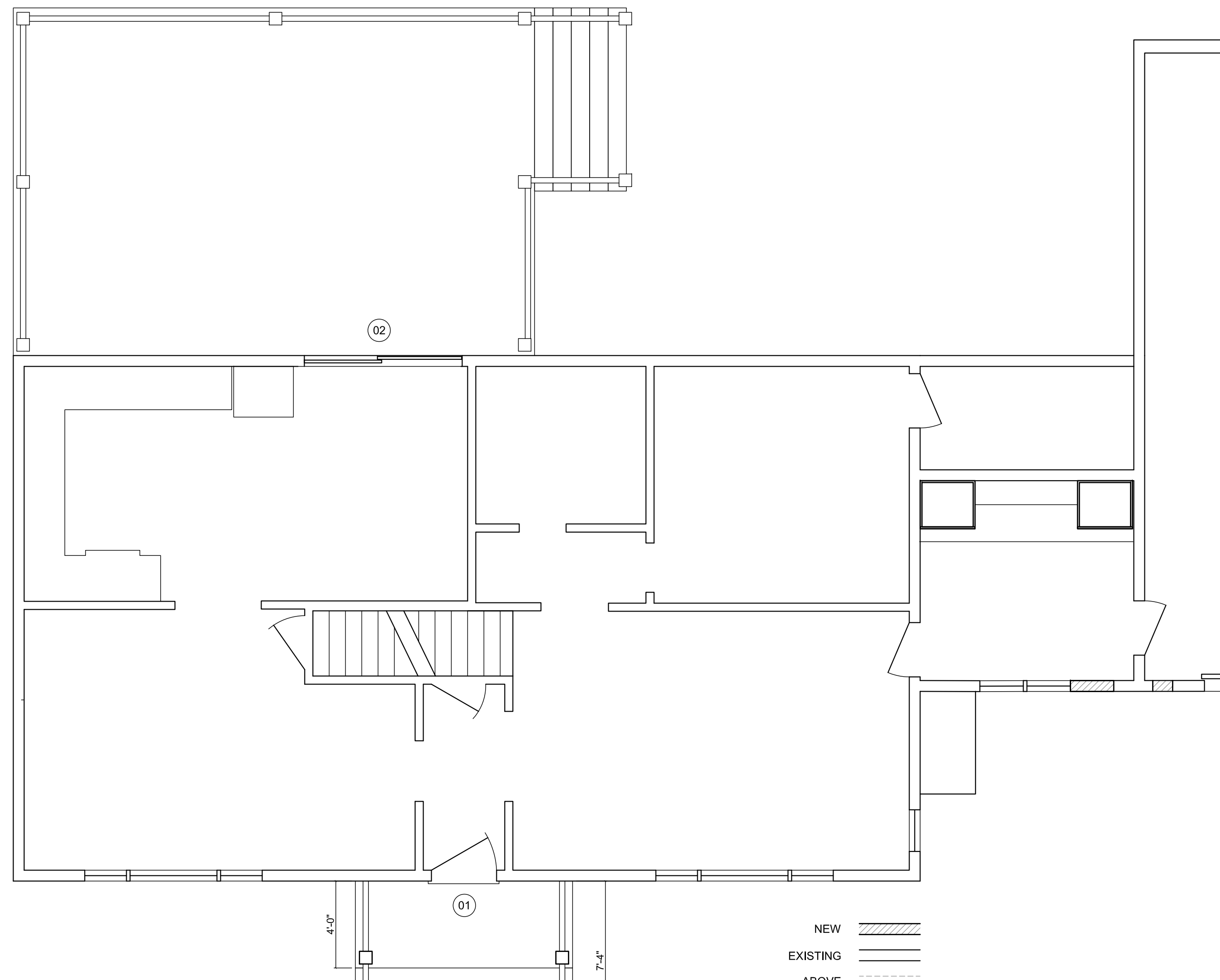
4 SECOND FLOOR NEW CONSTRUCTION
A-100 SCALE: 1/4" = 1'-0"

NEW - - - - - NEW
EXISTING - - - - - EXISTING
ABOVE - - - - - ABOVE



1 FIRST FLOOR DEMO
A-100 SCALE: 1/4" = 1'-0"

DEMO - - - - - DEMO
EXISTING - - - - - EXISTING
ABOVE - - - - - ABOVE



3 FIRST FLOOR NEW CONSTRUCTION
A-100 SCALE: 1/4" = 1'-0"


NEW - - - - - NEW
EXISTING - - - - - EXISTING
ABOVE - - - - - ABOVE

REVISIONS / DATE:

JAMES COLEMAN ARCHITECTURE STUDIO
217 MOUNTAIN ROAD PLEASANTVILLE NEW YORK
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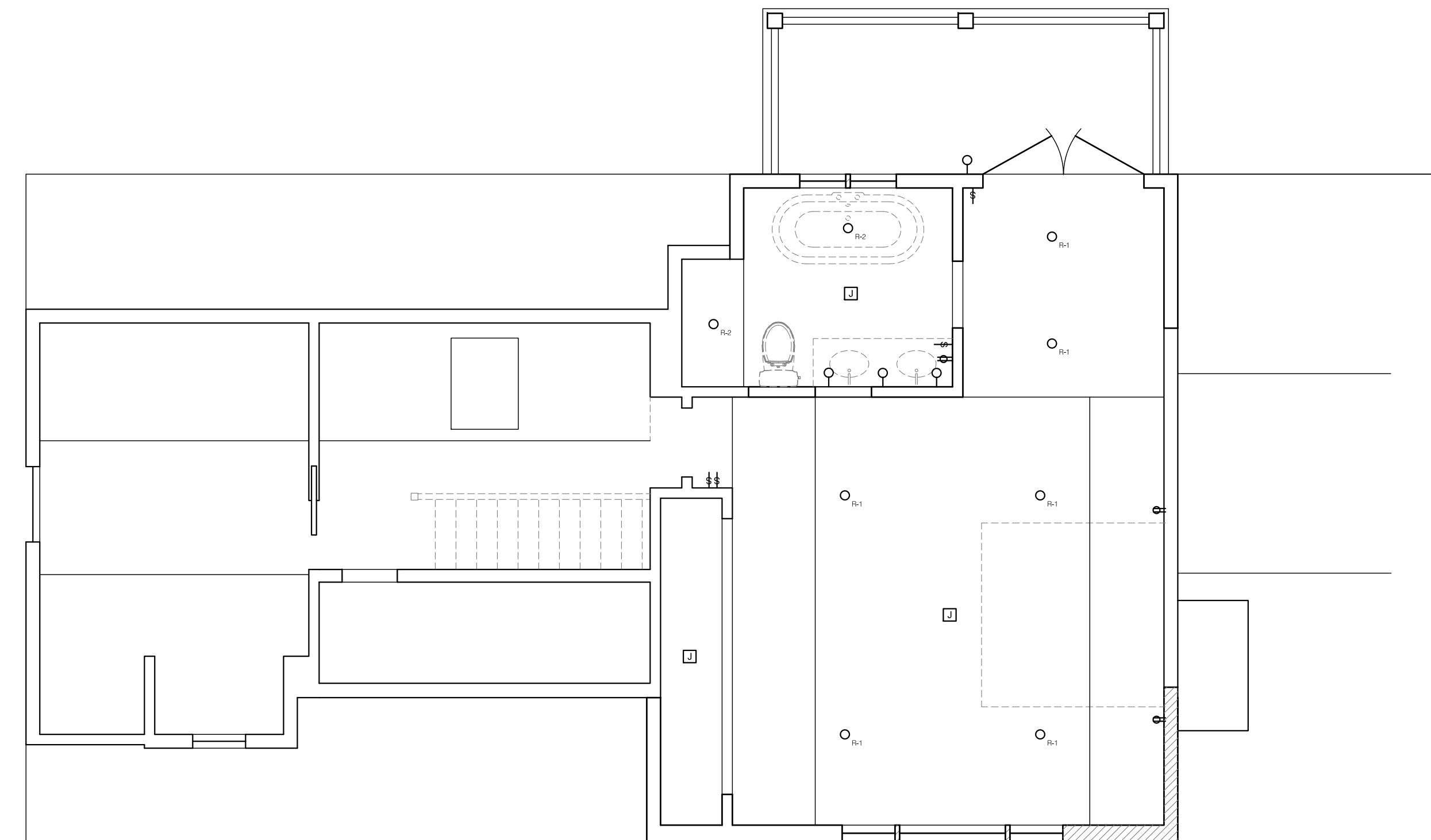
DRAWING TITLE:

DEMO AND NEW CONSTRUCTION

ARCHITECT SEAL & SIGNATURE:  DATE: March 30, 2021
SCALE: 1/4" = 1'-0"
DRAWING NO.: A-100.00

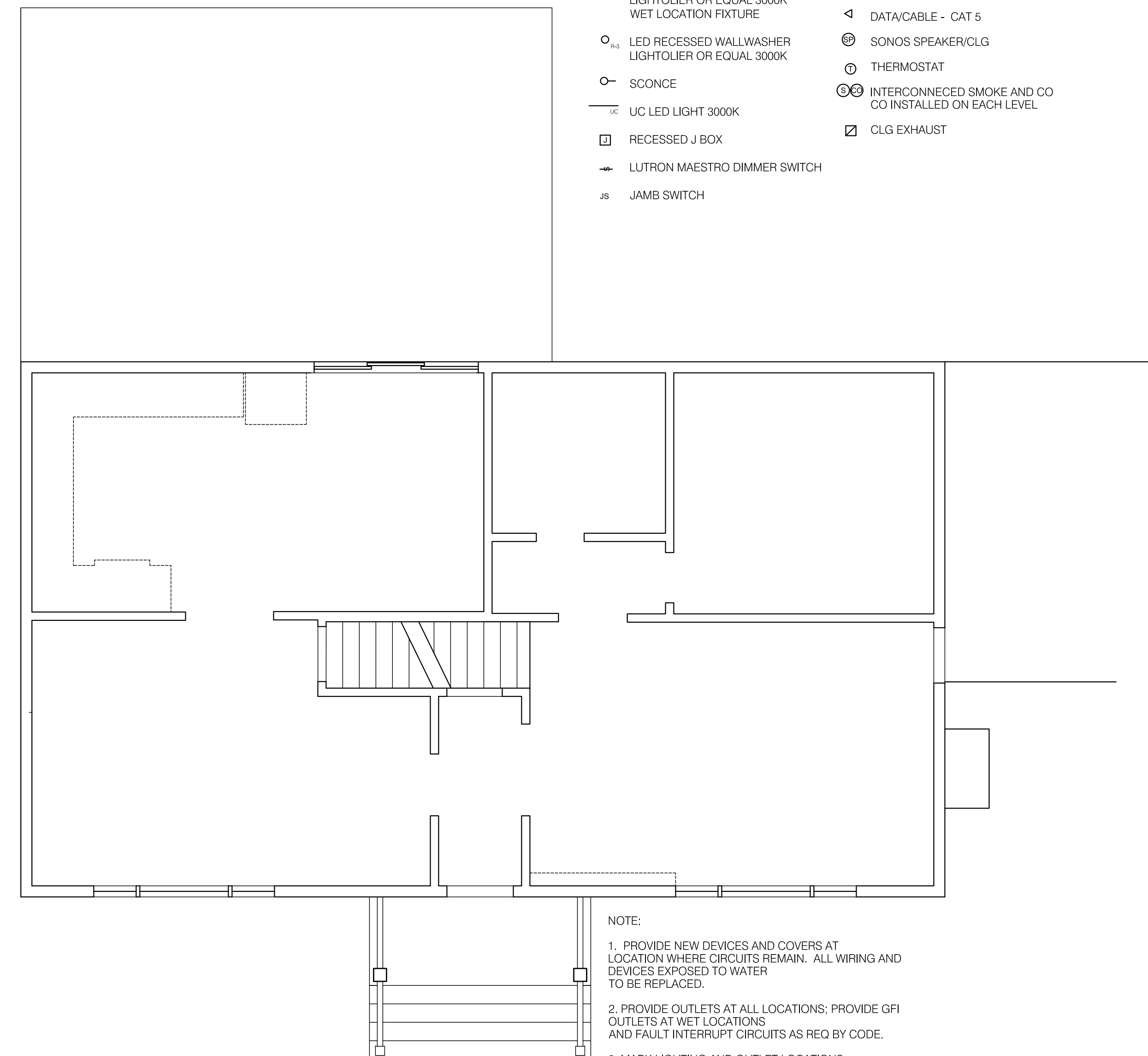
OUTLINE SPECIFICATIONS

Project Description	New siding and trim, new windows, renovated master bedroom and bath with rear deck and cathedral ceiling, new wood frame front porch and rear porch, covered side entry, and mudroom millwork and new roof over connector.
General Conditions	Contractor responsible for project means and methods, project safety, management and supervision. Contractor to provide a detailed project schedule before beginning construction including identifying project phasing, critical paths for each trade, and project milestones. SUBMITTALS AND SAMPLES: Provide manufacturer tear sheets for review and approval of all windows, doors, lighting, outlets, controls and hvac equipment, roofing, and hardware. Provide samples for approval of all paint and stain colors, moldings, and roofing materials.
Site Div. 3	16" Concrete Sonotube Footings Min depth of footing 42" below grade 2 Cultec 330XLHD connected to subsurface drainage
Building Div. 6	2x6 16" O.C. Exterior Wall framing 2x4 16" O.C. Interior wall framing Roof and Ceiling Framing per Plans New 5" exposure hardiplank clapboard siding 1/2" Exterior Grade Plywood Wall Sheathing 3/4" Exterior Grade Plywood Roof Sheathing Exterior Trim / Fascia Molding / Rake Boards / Soffit to match existing
Div. 7	Fill all Exterior Wall and Roof Cavities w/ Closed Cell Spray Foam Insulation Alternate - provide batt insulation and soffit and ridge vent - Addition insulation to meet IECC 2020 Tyvek (or equal) House Wrap Asphalt shingle roof as selected by owners Grace ice and water shield min 4' from eaves and 2' from all valleys 4" K-Section Alum Gutters and 4" Round Downspouts to match existing Caulk all sills and openings per 2020 IECC
Div. 8	New Andersen 400 Series Windows or Equal Solid core molded mdf interior doors to match existing Interior trim to match existing
Div. 9	Painting - 1 Coat Latex Primer, 2 Coats - Latex Paint
Interior Specs Div. 6	Strip Oak Flooring 2 coast stain, 2 coats polyurethane 3/4" Plywood Subfloor Window and Door Casing and Baseboard to Match Existing
Div. 9	1/2" Gypsum Board for all Painted Surfaces - Level 5 Finish Level 4 in closets 5/8" Moisture Resistant Gypsum Board - Painted Surfaces in Wet Areas - Level 5 Finish Hardi Cement Backer Board (or equal) for all Tiled Areas Tile and Stone as selected by owner installed by contractor Painting - 1 Coat Latex Primer, 2 Coats - Latex Paint w/ Finish: Ceilings - Flat, Walls - Eggshell, Trim - Semi-Gloss or as selected by owner
Div. 14	Relocation of master bath plumbing fixtures - shower to remain.
Div. 15	Existing Heating and Domestic Hot Water System - confirm required relocations New Central HVAC - upgrade of existing system Exterior Hose Bib
Div. 16	Provide code required outlets Lighting per Plans Recessed 4" LED 3000k - Halo or equal Bathroom exhaust fan Coordinate limited home audio and network cabling with owner
Items by Owner Installed by Contractor Unless Otherwise Noted	Bathroom Vanity and Cabinets Bathroom Plumbing Fixtures Bathroom Countertops Floor Tile Bath Tile Decorative Fans and Lighting Decorative Exterior Lighting Landscaping



2 SECOND FLOOR LIGHTING LAYOUT
SCALE: 1/4" = 1'-0"

- | | |
|--|--|
| LIGHTING LEGEND: | POWER LEGEND: |
| ○ _{R1} LED RECESSED DOWNLIGHT LIGHTTOLIER OR EQUAL 3000K | ⊞ DUPLEX OUTLET |
| ○ _{R2} LED RECESSED DOWNLIGHT LIGHTTOLIER OR EQUAL 3000K WET LOCATION FIXTURE | ⊞ HALF SWITCHED OUTLET |
| ○ _{R3} LED RECESSED WALLWASHER LIGHTTOLIER OR EQUAL 3000K | ⊞ DEDICATED CIRCUIT |
| ○ SCONGE | ◁ DATA/CABLE - CAT 5 |
| ⊞ UC LED LIGHT 3000K | ⊞ SONOS SPEAKER/CLG |
| ⊞ RECESSED J BOX | ⊞ THERMOSTAT |
| ⊞ LUTRON MAESTRO DIMMER SWITCH | ⊞ INTERCONNECTED SMOKE AND CO CO INSTALLED ON EACH LEVEL |
| ⊞ JAMB SWITCH | ⊞ CLG EXHAUST |



1 FIRST FLOOR LIGHTING LAYOUT
SCALE: 1/4" = 1'-0"

- NOTE:**
1. PROVIDE NEW DEVICES AND COVERS AT LOCATION WHERE CIRCUITS REMAIN. ALL WIRING AND DEVICES EXPOSED TO WATER TO BE REPLACED.
 2. PROVIDE OUTLETS AT ALL LOCATIONS; PROVIDE GFI OUTLETS AT WET LOCATIONS AND FAULT INTERRUPT CIRCUITS AS REQ BY CODE.
 3. MARK LIGHTING AND OUTLET LOCATIONS IN FIELD FOR OWNER REVIEW PRIOR TO INSTALL.
 4. CONFIRM WITH OWNER ROUTER LOCATION, WIRING TO DATA PORTS, AND WIRELESS ACCESS POINTS.
 5. CONFIRM WITH OWNER AV REQUIREMENTS AND LOCATION

REVISIONS / DATE:

JAMES COLEMAN ARCHITECTURE STUDIO
217 MOUNTAIN ROAD PLEASANTVILLE NEW YORK
WWW.JCOLEMANSTUDIO.COM 914 579 2015
PROJECT / LOCATION:
4 Nichols Road
Armonk, New York

DRAWING TITLE:

LIGHTING LAYOUT

ARCHITECT SEAL & SIGNATURE:

DATE: **March 30, 2021**

SCALE: **1/4" = 1'-0"**

DRAWING NO.: **A-101.00**



3 REAR ELEVATION
A-200 SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION
A-200 SCALE: 1/4" = 1'-0"

REVISIONS / DATE:

JAMES COLEMAN ARCHITECTURE STUDIO

217 MOUNTAIN ROAD PLEASANTVILLE NEW YORK
WWW.JCOLEMANSTUDIO.COM 914 579 2015

PROJECT / LOCATION:

4 Nichols Road
Armonk, New York

DRAWING TITLE:

EXTERIOR ELEVATIONS

ARCHITECT SEAL & SIGNATURE:

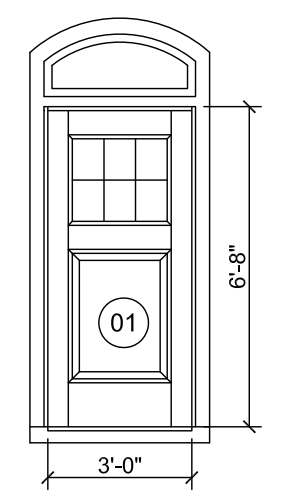


DATE: March 30, 2021

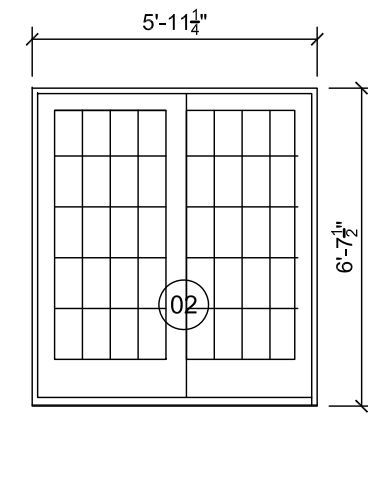
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DRAWING NO.:

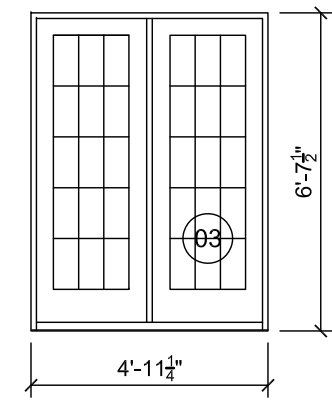
A-200.00



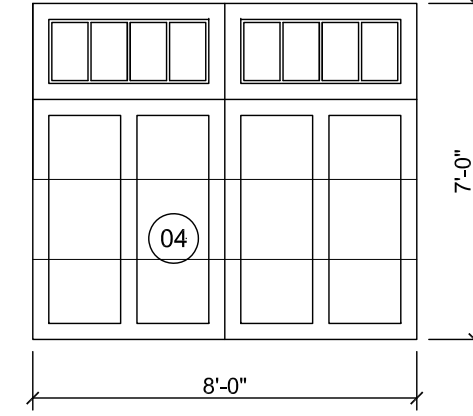
FRONT DOOR WITH
TRANSOM - SIMPSON
OR EQUAL
ALTERNATE
ANDERSEN
ARCH INSWING 3068
QUANTITY: 1



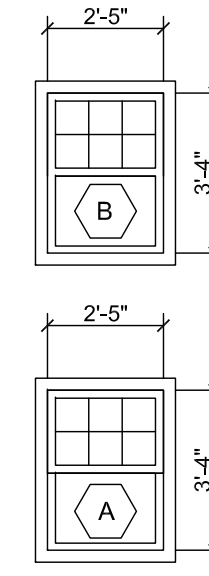
ANDERSEN 400 SERIES
SLIDING DOOR WITH
SCREEN
FWG6068R
QUANTITY: 1



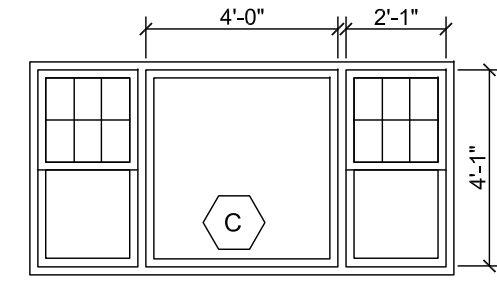
ANDERSEN 400 SERIES
PATIO DOOR
FWWH5068PALR
QUANTITY: 1



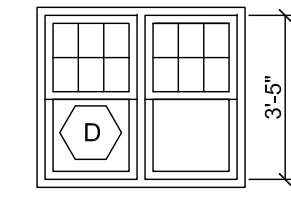
CLOPAY
CANYON RIDGE
GARAGE DOOR
QUANTITY: 2



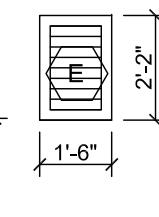
ANDERSEN 400 SERIES
DOUBLE HUNG
WHD2432
QUANTITY: 1



ANDERSEN 400 SERIES
DOUBLE HUNG (2)
WDH20310
PICTURE
F4040
FACTORY MULLED
QUANTITY: 1

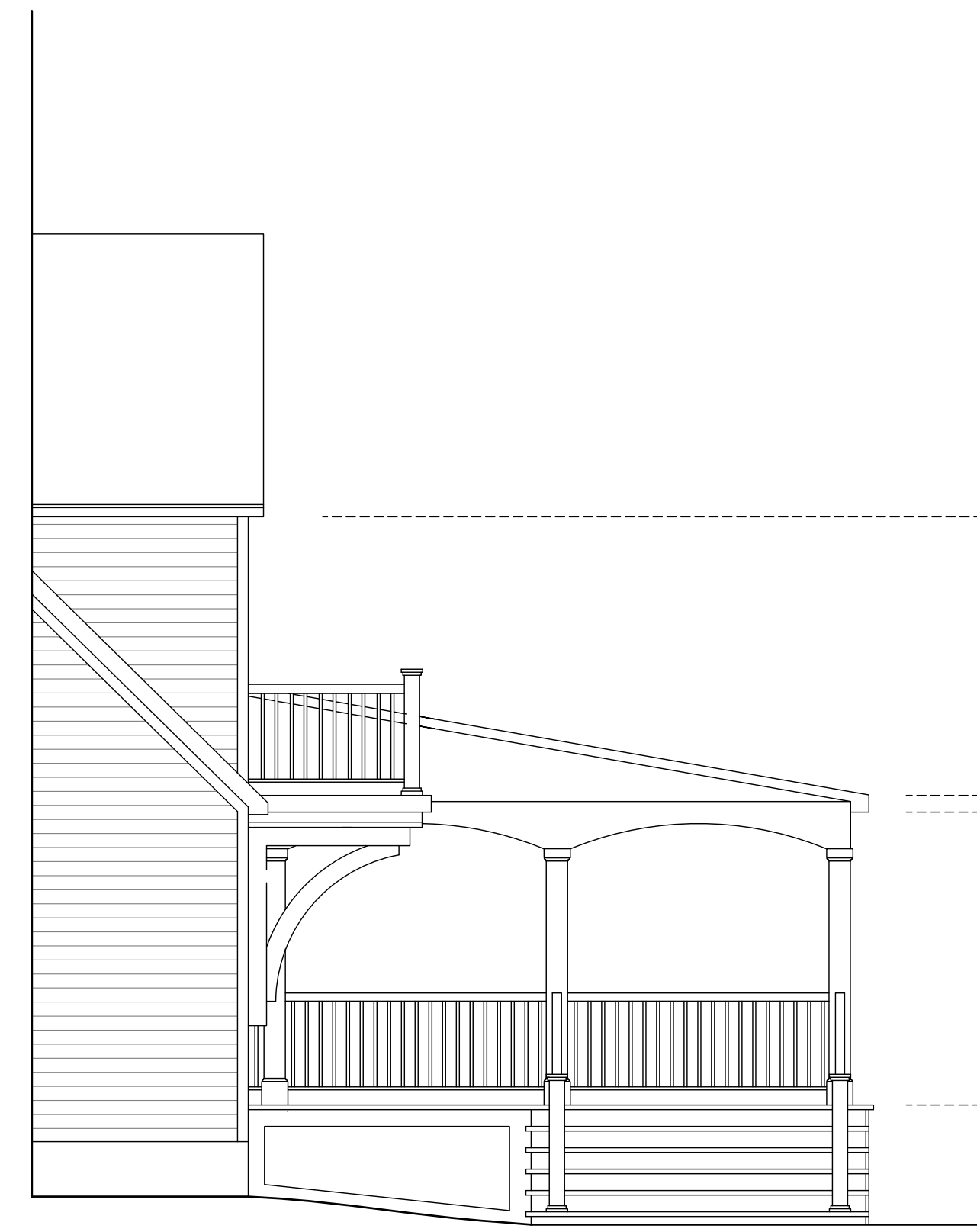


ANDERSEN 400 SERIES
DOUBLE HUNG
WDH2032 (2)
FACTORY MULLED
TEMPERED GLASS
WET LOCATION
QUANTITY: 1



DECORATIVE
LOUVER

NOTE: CONTRACTOR TO VERIFY ALL
DIMENSIONS IN FIELD AND PROVIDE
ARCHITECT WITH SUBMITTAL FOR
APPROVAL PRIOR TO PLACING ORDER.
DOORS AND BATHROOMS TO HAVE
TEMPERED OR SAFETY GLASS
WINDOWS TO BE SDL INSULATED
LOW E MIN U VALUE OF .30 AND MIN SHGC
OF .40



1 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

3 WINDOWS AND DOORS
SCALE: 1/4" = 1'-0"

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DRAWING TITLE:

EXTERIOR ELEVATIONS

ARCHITECT SEAL & SIGNATURE:



DATE: March 30, 2021

SCALE: 1/4" = 1'-0"

DRAWING NO.:

A-201.00