



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 3 DEER RIDGE LANE, ARMONK, NY 10504

Section III- DESCRIPTION OF WORK:

NEW SINGLE FAMILY HOME.

Section III- CONTACT INFORMATION:

APPLICANT: MICHAEL SMITH ARCHITECTS
ADDRESS: 41 NORTH MAIN ST, NORWALK, CT 06854
PHONE: 203 563 0553 MOBILE: _____ EMAIL: kevin@michaelsmitharchitects.com

PROPERTY OWNER: ANDREW + ROBYN FRANK
ADDRESS: 3 DEER RIDGE LANE, ARMONK NY 10504
PHONE: _____ MOBILE: 914.522.7667 EMAIL: andrew.frank@gmail.com

PROFESSIONAL: MICHAEL SMITH ARCHITECTS
ADDRESS: 41 NORTH MAIN ST, NORWALK, CT 06854
PHONE: 203.563.0553 MOBILE: _____
EMAIL: kevin@michaelsmitharchitects.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 100.04-2-20.5



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Frank Residence

Initial Submittal Revised Preliminary

Street Location: 3 Deer Ridge Lane

Zoning District: R-2A Property Acreage: 2.3 Tax Map Parcel ID: 100.04-2-20.5

Date: Frank Residence

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

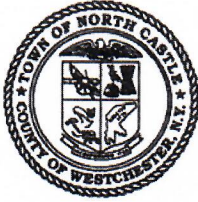
RPRC COMPLETENESS REVIEW FORM

Page 2

<input type="checkbox"/>	9. Description of method of water supply and sewage disposal and location of such facilities
<input type="checkbox"/>	10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<input type="checkbox"/>	1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<input type="checkbox"/>	2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<input type="checkbox"/>	3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

April 9, 2021 _____	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.
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TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET


Application Name or Identifying Title: Frank Residence Date: April 9, 2021

Tax Map Designation or Proposed Lot No.: 100.04-2-20.5

Floor Area

1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>95,483</u>
2.	Maximum permitted floor area (per Section 355-26.B(4)):	<u>10456.5</u>
3.	Amount of floor area contained within first floor: 0 existing + $4,175.6$ proposed =	<u>4,175.6</u>
4.	Amount of floor area contained within second floor: 0 existing + $2,869.6$ proposed =	<u>2,869.6</u>
5.	Amount of floor area contained within garage: 0 existing + $1,011.6$ proposed =	<u>1,011.6</u>
6.	Amount of floor area contained within porches capable of being enclosed: 0 existing + 0 proposed =	<u>0</u>
7.	Amount of floor area contained within basement (if applicable – see definition): 0 existing + 0 proposed =	<u>0</u>
8.	Amount of floor area contained within attic (if applicable – see definition): 0 existing + 0 proposed =	<u>0</u>
9.	Amount of floor area contained within all accessory buildings: 0 existing + 0 proposed =	<u>0</u>
10.	Proposed floor area : Total of Lines 3 – 9 =	<u>8,056.8</u>

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet

4-12-21
 Date





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WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

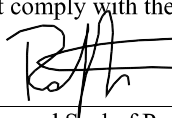
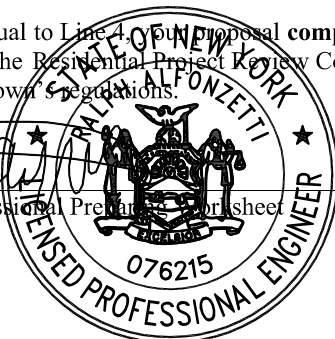
Application Name or Identifying Title: FRANK RESIDENCE Date: 04/20/2021

Tax Map Designation or Proposed Lot No.: 100.04-2-20.5

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 96,373.6 S.F.
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 13,897.3 S.F.
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
14.2 x 10 = 142 142 S.F.
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 14,039.3 S.F.
5. Amount of lot area covered by **principal building**:
0 existing + 5614 proposed = 5,614.0 S.F.
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0.0 S.F.
7. Amount of lot area covered by **decks**:
0 existing + 0 proposed = 0.0 S.F.
8. Amount of lot area covered by **porches**:
0 existing + 889.5 proposed = 889.5 S.F.
9. Amount of lot area covered by **driveway, parking areas and walkways**:
0 existing + 4972.0 proposed = 4972.0 S.F.
10. Amount of lot area covered by **terraces**:
0 existing + 1145 proposed = 1,145.0 S.F.
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 1064 proposed = 1,064.0 S.F.
12. Amount of lot area covered by **all other structures**:
0 existing + 279.5 proposed = 279.5 S.F.
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 13,964.0 S.F.

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Engineer 

4/20/2021
 Date



ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

PROJECT:

3 DEER RIDGE LANE
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NEW YORK

DRAWING:

AERIAL VIEW
APRIL 16, 2021

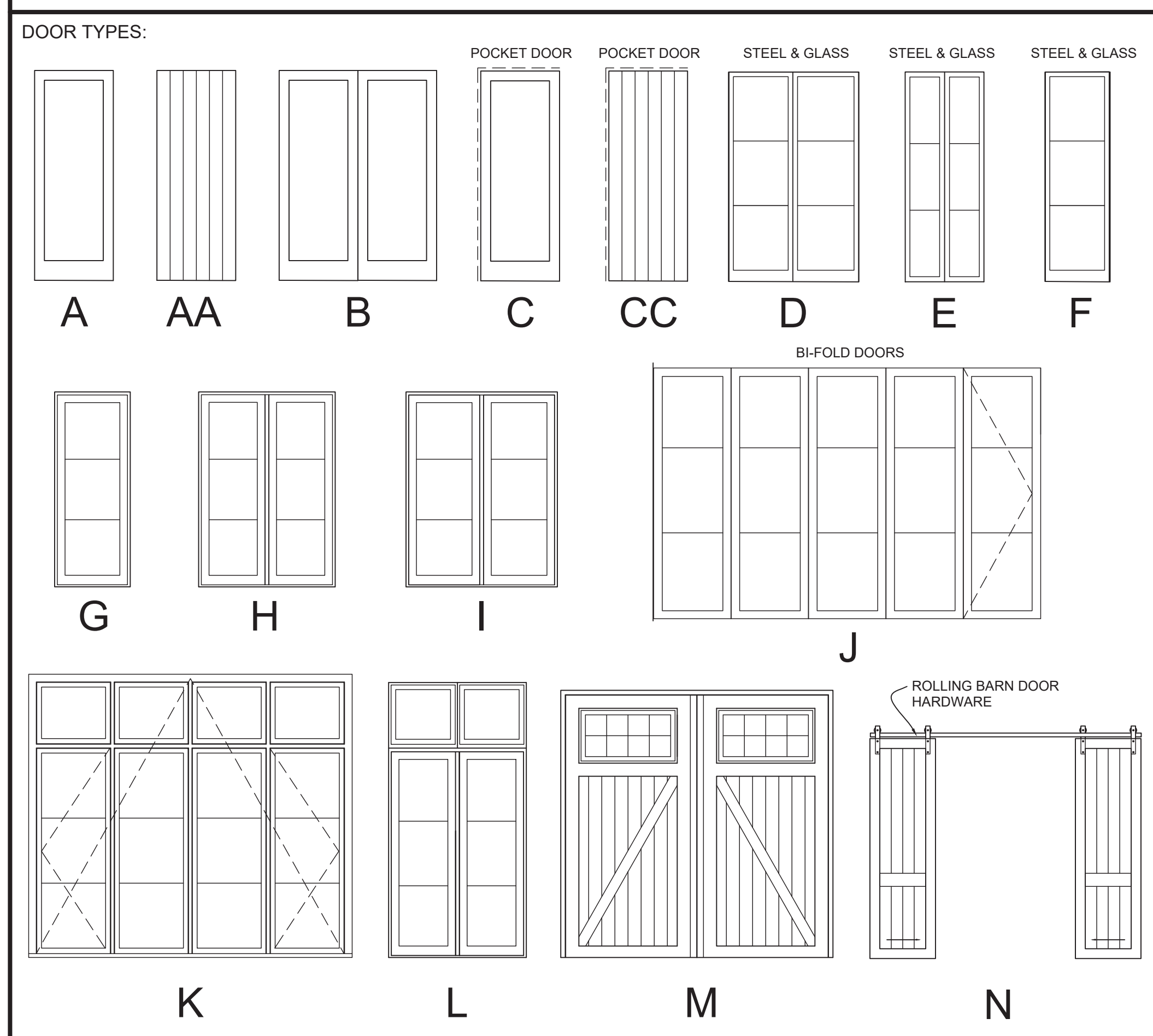
DOOR SCHEDULE

TAG #	DOOR LEAF SIZE W x H	MNFCTR	TYPE	THICK	HWR	MATERIAL		FINISH		NOTES
						INT	EXT	INT	EXT	
001	2'-10 5/8" x 7'-5 1/8"	LEPAGE	G	1 1/2"	H2	PINE	PINE	PAINT	PAINT	
002	2'-10 5/8" x 7'-5 1/8"	LEPAGE	G	1 1/2"	H2	PINE	PINE	PAINT	PAINT	
003	2'-6" x 7'-0"	TRUSTILE	A	1 1/2"	H1	MDP	MDP	PAINT	PAINT	
004	2'-6" x 7'-0"	TRUSTILE	A	1 1/2"	H1	MDP	MDP	PAINT	PAINT	
005	2'-6" x 7'-0"	TRUSTILE	A	1 1/2"	H4	MDP	MDP	PAINT	PAINT	
006	5'-2 1/2" x 7'-5 1/8"	LEPAGE	H	1 1/2"	H2	PINE	PINE	PAINT	PAINT	
007	3'-0" x 7'-0"	TBD	F	1 1/2"	H3	STEEL	STEEL	PAINT	PAINT	
008	(2) 2'-6" x 7'-0"	TRUSTILE	B	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
009	6'-7 1/4" x 7'-5 1/8"	LEPAGE	I	1 1/2"	H2	PINE	PINE	PAINT	PAINT	
010	6'-7 1/4" x 7'-5 1/8"	LEPAGE	I	1 1/2"	H2	PINE	PINE	PAINT	PAINT	
011	6'-7 1/4" x 7'-5 1/8"	LEPAGE	I	1 1/2"	H2	PINE	PINE	PAINT	PAINT	
012	(2) 2'-6" x 7'-0"	TRUSTILE	B	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
013	2'-6" x 7'-0"	TRUSTILE	A	1 1/2"	H1	MDP	MDP	PAINT	PAINT	
014	2'-6" x 7'-0"	TRUSTILE	C	1 1/2"	H4	MDP	MDP	PAINT	PAINT	1.0
015	2'-6" x 7'-0"	TRUSTILE	C	1 1/2"	H4	MDP	MDP	PAINT	PAINT	1.0
016	2'-6" x 7'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
017	(2) 2'-6" x 7'-0"	TRUSTILE	B	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
018	(2) 2'-6" x 7'-0"	TRUSTILE	B	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
019	2'-6" x 7'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
020	2'-6" x 7'-0"	TRUSTILE	A	1 1/2"	H4	MDP	MDP	PAINT	PAINT	
021	(2) 2'-6" x 7'-0"	TRUSTILE	B	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
022	2'-6" x 7'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
101	(2) 3'-0" x 8'-0"	LEPAGE	H	1 1/2"	H2	PINE	PINE	PAINT	PAINT	
102	2'-6" x 8'-0"	TRUSTILE	A	1 1/2"	H4	MDP	MDP	PAINT	PAINT	
103	2'-6" x 8'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
104	(2) 2'-0" x 8'-0"	TBD	D	1 1/2"	H3	STEEL	STEEL	PAINT	PAINT	1.0
105	2'-10 13/16" x 8'-9 1/8"	LEPAGE	G	1 1/2"	H2	PINE	PINE	PAINT	PAINT	
106	3'-0 1/2" x 8'-9 1/8"	LEPAGE	G	1 1/2"	H2	PINE	PINE	PAINT	PAINT	
107	2'-6" x 8'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
108	2'-6" x 8'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
109	2'-10" x 8'-0"	TRUSTILE	C	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
110	2'-10" x 8'-0"	TBD	AA	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
111	2'-10" x 8'-0"	TBD	AA	1 1/2"	H4	MDP	MDP	PAINT	PAINT	
112	(2) 2'-10 13/16" x 8'-9 1/8"	LEPAGE	H	1 1/2"	H2	PINE	PINE	PAINT	PAINT	
113	2'-10 13/16" x 8'-9 1/8"	LEPAGE	G	1 1/2"	H2	PINE	PINE	PAINT	PAINT	
114	3'-0" x 8'-0"	TRUSTILE	A	1 1/2"	H1	MDP	MDP	PAINT	PAINT	2.0
115	3'-0" x 8'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
116	(2) 3'-0" x 8'-0"	TRUSTILE	B	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
117	(2) 3'-0" x 8'-0"	TBD	B	1 1/2"	H3	CEDAR	CEDAR	PAINT	PAINT	
118	179-5/8" x 119-7/8"	LEPAGE	J	1 1/2"	H2	PINE	PINE	PAINT	PAINT	
119	(2) 2'-6" x 8'-0"	TBD	D	1 1/2"	H3	STEEL	STEEL	PAINT	PAINT	
120	(2) 2'-6" x 8'-0"	TBD	D	1 1/2"	H3	STEEL	STEEL	PAINT	PAINT	
121	12'-0" x 10'-6 5/8"	TBD	K	2-1/2"	H5/H2	METAL	METAL	PAINT	PAINT	3.0
122	(2) 2'-0" x 8'-0"	TRUSTILE	B	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
123	2'-4" x 8'-0"	TRUSTILE	C	1 1/2"	H4	MDP	MDP	PAINT	PAINT	1.0
124	(2) 2'-6" x 7'-11 13/16" W/ (2) 2'-6" X 2'-6" TRANSOMS	LEPAGE	L	1 1/2"	H2	PINE	PINE	PAINT	PAINT	
125	10'-0" X 10'-0"	TBD	M	2-1/4"	H5	CEDAR	CEDAR		RECLAIMED CEDAR	
126	10'-0" X 10'-0"	TBD	M	2-1/4"	H5	CEDAR	CEDAR		RECLAIMED CEDAR	
127	10'-0" X 10'-0"	TBD	M	2-1/4"	H5	CEDAR	CEDAR		RECLAIMED CEDAR	
128	3'-0" x 8'-0"	TBD	CC	1 1/2"	H4	MDP	MDP	PAINT	PAINT	1.0
129	3'-0" x 8'-0"	LEPAGE	G	1 1/2"	H3	MDP	MDP	PAINT	PAINT	5.0
130	2'-10 13/16" x 8'-9 1/8"	LEPAGE	G	1 1/2"	H2	PINE	PINE	PAINT	PAINT	5.0
131	2'-10 13/16" x 8'-9 1/8"	LEPAGE	G	1 1/2"	H2	PINE	PINE	PAINT	PAINT	5.0
201	3'-0" x 8'-0"	TRUSTILE	A	1 1/2"	H4	MDP	MDP	PAINT	PAINT	
202	(2) 1'-6" x 8'-0"	TBD	E	1 1/2"	H3	STEEL	STEEL	PAINT	PAINT	
203	(2) 1'-6" x 8'-0"	TBD	E	1 1/2"	H4	STEEL	STEEL	PAINT	PAINT	
204	2'-6" x 8'-0"	TRUSTILE	A	1 1/2"	H4	MDP	MDP	PAINT	PAINT	
205	(2) 2'-1" x 8'-0"	TRUSTILE	N	1 1/2"	H3	OAK	OAK	STAIN	STAIN	4.0
206	2'-10 13/16" x 8'-2"	LEPAGE	G	1 1/2"	H2	PINE	PINE	PAINT	PAINT	
207	2'-6" x 8'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
208	2'-6" x 8'-0"	TRUSTILE	A	1 1/2"	H4	MDP	MDP	PAINT	PAINT	
209	2'-6" x 8'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
210	2'-6" x 8'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
211	2'-6" x 8'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
212	3'-0" x 8'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
213	2'-6" x 8'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
214	2'-6" x 8'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
215	2'-6" x 8'-0"	TRUSTILE	C	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
216	2'-6" x 8'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
217	2'-6" x 8'-0"	TRUSTILE	A	1 1/2"	H3	MDP	MDP	PAINT	PAINT	
218	2'-6" x 8'-0"	TRUSTILE	C	1 1/2"	H4	MDP	MDP	PAINT	PAINT	
219	3'-0" x 8'-0"	TRUSTILE	C	1 1/2"	H3	MDP	MDP	PAINT	PAINT	

NOTES:	HARDWARE:
1.0 PROVIDE SOFT CLOSE POCKET DOOR HARDWARE	H1 ENTRY DOOR LOCKSET W/ DEADBOLT
2.0 20-MINUTE FIRE RATED DOOR WITH SELF-CLOSING HINGES	H2 PATIO LOCKSET
3.0 METAL & GLASS OVERHEAD DOOR W/ FUNCTIONING SINGLE FRENCH DOORS WHEN CLOSED	H3 PASSAGE LATCHSET
4.0 BARN DOOR W/ ROLLING DOOR HARDWARE	H4 PRIVACY LOCKSET
5.0 FIXED DOOR UNIT	H5 GARAGE DOOR TRACK AND OPERATOR
	H6 KEYPED KNOB

DOOR SCHEDULE NOTES - APPLY TO ALL DOORS U.N.O.:

- LEPAGE DOORS TO MATCH WINDOWS. QUANTITIES AND SIZES LISTED ARE FOR PRICING ONLY. VERIFY FINAL QUANTITIES AND SIZES WITH PLANS, ELEVATIONS AND EXISTING CONDITIONS PRIOR TO ORDERING. ALL DOORS TO HAVE 3-5/8" STILES & RAILS.
- SEE ALLOWANCES FOR DOOR HARDWARE. FINAL HARDWARE FINISH T.B.D.
- PROVIDE TEMPERED UNITS WHERE REQUIRED BY CODE.
- PROVIDE DETAILED SHOP DRAWINGS AND CUT SHEETS FOR APPROVAL BY ARCHITECT PRIOR TO ORDERING DOORS.
- SEE ELEVATIONS AND PLANS FOR ALL DOOR DESIGNATIONS. DOORS ARE DENOTED IN PLAN UNLESS NOT VISIBLE IN PLAN IN WHICH CASE THEY ARE KEYPED ON THE ELEVATION.
- EXTERIOR DOORS SHALL MEET ENERGY STAR GUIDELINES FOR NORTHERN ZONE.
- ALL EXTERIOR FRENCH DOORS SHALL BE FULLY OPERABLE WITH ONE ACTIVE AND ONE INACTIVE LEAF. U.N.O.
- EXTERIOR DOORS SHALL HAVE BORAL SMOOTH PAINTED EXTERIOR CASINGS.
- EXTERIOR DOORS SHALL HAVE LEAD COATED COPPER PAN FLASHINGS.
- EXTERIOR DOORS SHALL HAVE WEATHERSTRIPPING AND MANGONY SILLS.
- ALL DOORS TO HAVE SOL BARS TO MATCH WINDOWS.



WINDOW SCHEDULE

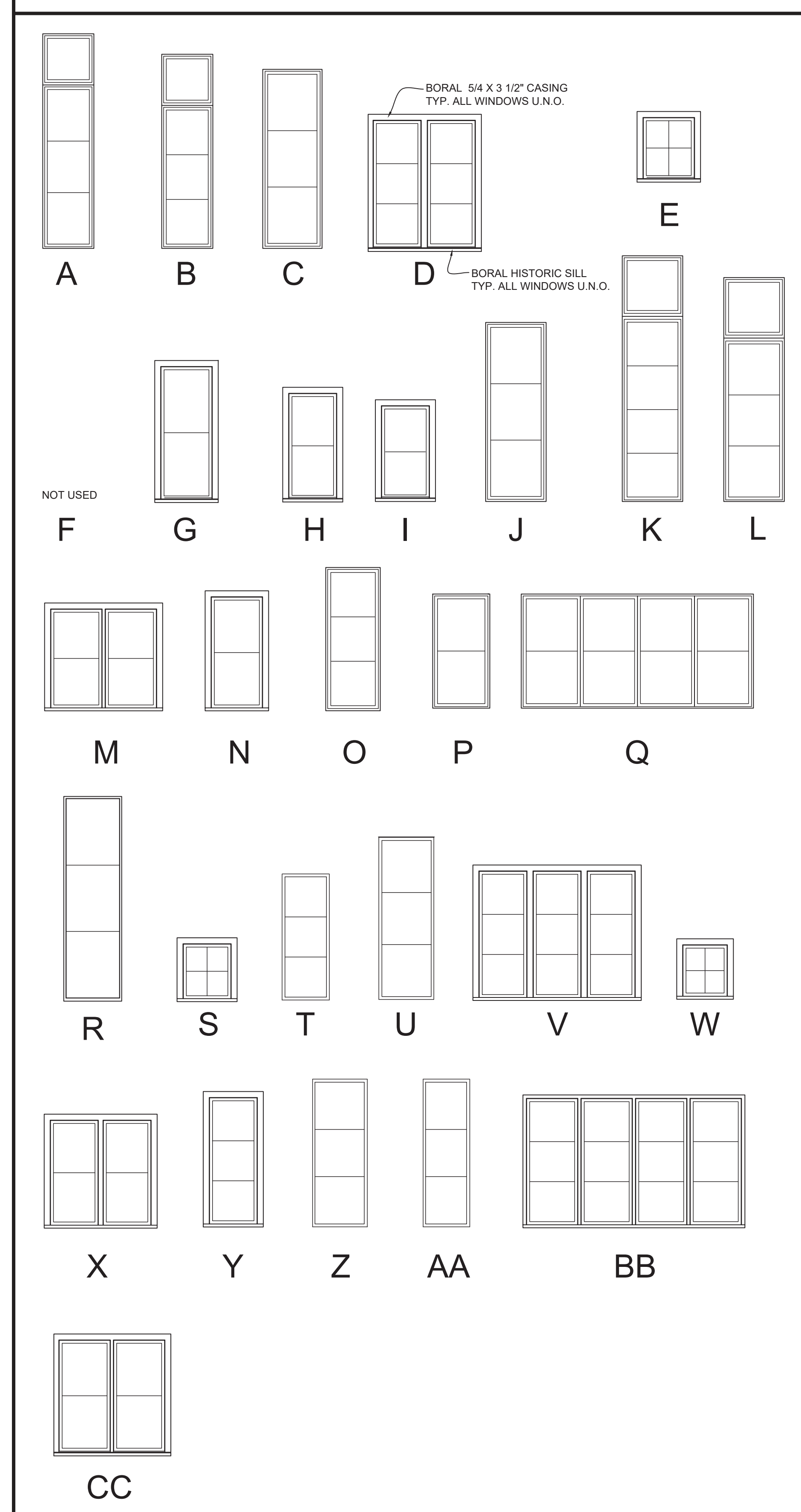
TAG #	UNIT SIZE W x H	MNFCTR	TYPE	STYLE	MATERIAL		FINISH		NOTES
					INT	EXT	INT	EXT	
AA#	30" X 95-13/16" W/ 30" X 30" TRANSOM	LEPAGE	A	FIXED CASEMENT	PINE	PINE	PAINT	PAINT	
BB#	30" X 95-13/16" W/ 30" X 30" TRANSOM	LEPAGE	B	CASEMENT	PINE	PINE	PAINT	PAINT	
CC#	34-13/16" X 105"	LEPAGE	C	FIXED CASEMENT	PINE	PINE	PAINT	PAINT	
DD#	(2) 30" X 76"	LEPAGE	D	CASEMENT	PINE	PINE	PAINT	PAINT	2.0
EE#	NOT USED	LEPAGE	E	CASEMENT	PINE	PINE	PAINT	PAINT	
FF#	NOT USED								
GG#	32" X 79-3/8"	LEPAGE	G	CASEMENT	PINE	PINE	PAINT	PAINT	
HH#	30" X 63-3/8"	LEPAGE	H	CASEMENT	PINE	PINE	PAINT	PAINT	
II#	30" X 55-7/8"	LEPAGE	I	CASEMENT	PINE	PINE	PAINT	PAINT	
JJ#	35-1/2" X 105"	LEPAGE	J	FIXED CASEMENT	PINE	PINE	PAINT	PAINT	
KK#	35-1/2" X 109-9/16" W/ 35-1/2" X 35-1/2" TRANSOM	LEPAGE	K	FIXED CASEMENT	PINE	PINE	PAINT	PAINT	
LL#	35-1/2" X 95-13/16" W/ 35-1/2" X 35-1/2" TRANSOM	LEPAGE	L	FIXED CASEMENT	PINE	PINE	PAINT	PAINT	
MM#	(2) 32" X 59-7/8"	LEPAGE	M	CASEMENT	PINE	PINE	PAINT	PAINT	3.0
NN#	32" X 67"	LEPAGE	N	CASEMENT	PINE	PINE	PAINT	PAINT	
OO#	32" X 84"	LEPAGE	O	CASEMENT	PINE	PINE	PAINT	PAINT	
PP#	33-1/2" X 67"	LEPAGE	P	CASEMENT	PINE	PINE	PAINT	PAINT	
QQ#	136-1/4" X 67"	PARRETT	Q	BI-FOLD	PINE	PINE	PAINT	PAINT	
RR#	34" X 100"	LEPAGE	R	DIRECT SET	PINE	PINE	PAINT	PAINT	1.0
SS#	30" X 34"	LEPAGE	S	CASEMENT	PINE	PINE	PAINT	PAINT	
TT#	30" X 64"	LEPAGE	T	CASEMENT	PINE	PINE	PAINT	PAINT	
UU#	34-3/4" X 97-7/8"	LEPAGE	U	FIXED CASEMENT	PINE	PINE	PAINT	PAINT	
VV#	(3) 30" X 76"	LEPAGE	V	CASEMENT	PINE	PINE	PAINT	PAINT	
WW#	28" X 32"	LEPAGE	W	CASEMENT	PINE	PINE	PAINT	PAINT	
XX#	(2) 30" X 63-3/8"	LEPAGE	X	CASEMENT	PINE	PINE	PAINT	PAINT	
YY#	30" X 76"	LEPAGE	Y	CASEMENT	PINE	PINE	PAINT	PAINT	
ZZ#	34-5/8" X 89-1/8"	LEPAGE	Z	FIXED CASEMENT	PINE	PINE	PAINT	PAINT	
AAA#	29-13/16" X 89-1/8"	LEPAGE	AA	FIXED CASEMENT	PINE	PINE	PAINT	PAINT	
BBB#	(4) 32" X 76"	LEPAGE	BB	CASEMENT	PINE	PINE	PAINT	PAINT	3.0
CCC#	(2) 32" X 67"	LEPAGE	CC	CASEMENT	PINE	PINE	PAINT	PAINT	3.0

NOTES:

- LEPAGE DIRECT SET UNITS
- UNITS SHALL BE POCKET MULLED TO ACCOMMODATE 3 1/2" CASING
- UNITS SHALL BE TIGHT MULLED

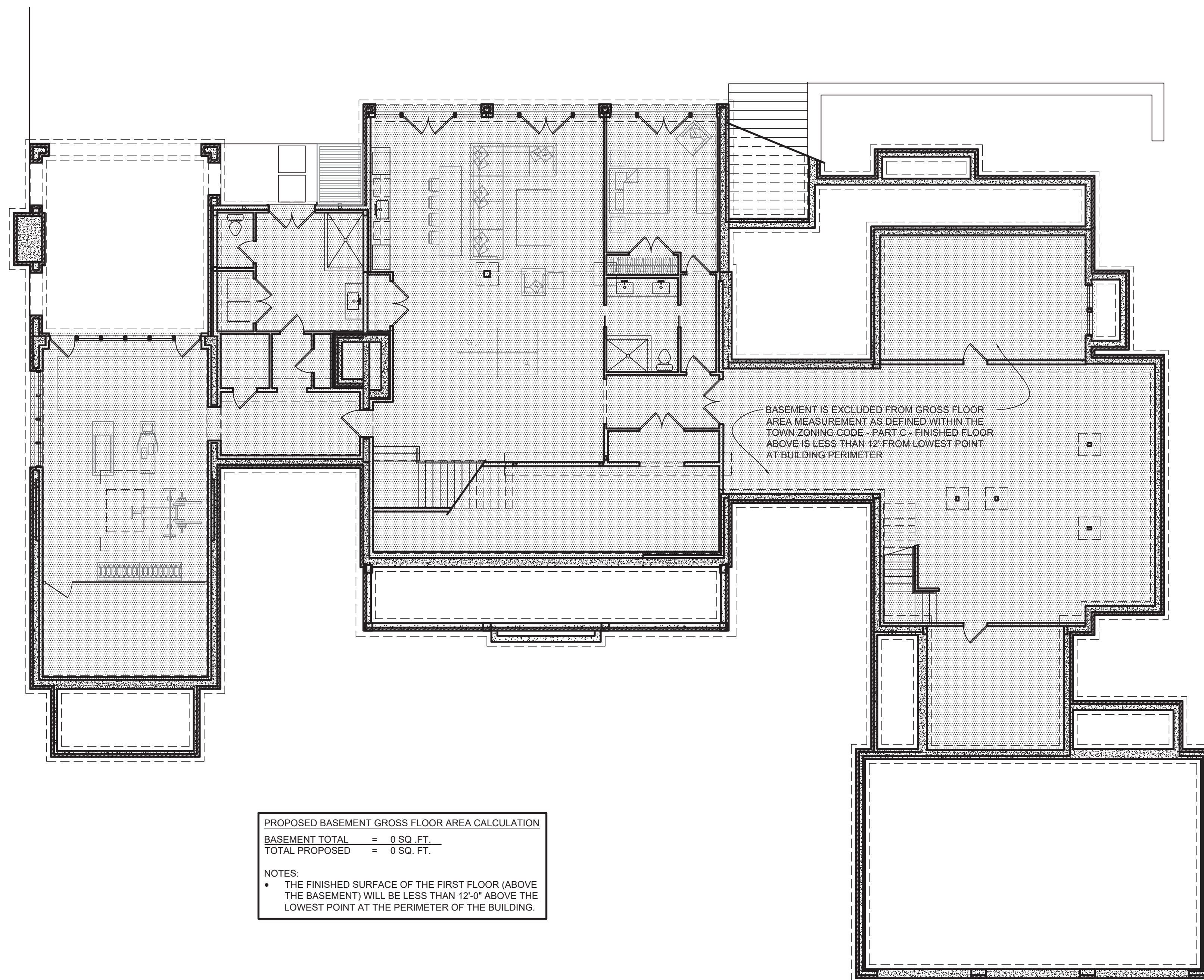
WINDOW SCHEDULE NOTES - APPLY TO ALL WINDOWS U.N.O.:

- WINDOWS SHALL BE LEPAGE WOOD WINDOWS. ALL WINDOWS TO INCLUDE 1/2" PUTTY GLAZE SIMULATED LITES AT INTERIOR AND EXTERIOR W/ BLACK SPACER BARS. LOW E ARGON INSULATED GLASS. ANTIQUE BRASS HARDWARE (FINAL FINISH T.B.D.). BI-FOLD AT KITCHEN TO BE BY PARRETT W/ SPECS TO MATCH LEPAGE.
- ALL CASEMENT TYPE WINDOWS SHALL BE PUSH-OUT CASEMENTS UNLESS NOTED AS FIXED. ALL DUAL SASH CASEMENTS SHALL BE FRENCH PUSH-OUT TYPE WITH NO DIVIDING MULLION. ALL TO HAVE 1-3/4" SASHES.
- OPERATING WINDOWS TO INCLUDE INVISIBLE STYLE INSECT SCREENS. CASEMENT WINDOWS SHALL BE PROVIDED WITH ROLL DOWN SCREENS.
- QUANTITIES AND SIZES LISTED ARE FOR PRICING ONLY. VERIFY FINAL QUANTITIES AND SIZES WITH PLANS AND ELEVATIONS PRIOR TO ORDERING.
- PROVIDE TEMPERED UNITS WHERE REQUIRED BY CODE AND WHERE DESIGNATED ON EXTERIOR ELEVATIONS BY THIS "T" SYMBOL OR IN PLAN.
- PROVIDE DETAILED SHOP DRAWINGS AND CUT SHEETS FOR APPROVAL BY ARCHITECT PRIOR TO ORDERING WINDOWS.
- SEE ELEVATIONS AND PLANS FOR ALL WINDOW DESIGNATIONS. WINDOWS ARE DENOTED IN PLAN UNLESS NOT VISIBLE IN PLAN IN WHICH CASE THEY ARE KEYPED ON THE ELEVATION.
- WINDOWS SHALL MEET ENERGY STAR GUIDELINES FOR NORTHERN ZONE.
- ALL WINDOWS SHALL HAVE SMOOTH BORAL CASINGS AND HISTORIC SUBSILLS.
- THE FOLLOWING WINDOWS TO RECEIVE 2" X 2" SMOOTH BORAL FLAT CASING AT STONE WALLS. ALL "K" UNITS, ALL "L" UNITS, SOL SOL AND BB1
- ALL WINDOWS SHALL HAVE COPPER PAN FLASHING.
- PROVIDE FALL PROTECTION AT WINDOWS AS REQUIRED BY CODE.



FINISH SCHEDULE

FLOOR	NAME OF ROOM	CEILING	HEIGHT	WALLS			FLOOR	TRM	NOTES	
				N	S	E				
BASEMENT	LOUNGE	C117	102"	W6	-	W1	W1	F5	T1	
	GAME ROOM	C1	109.5"	-	W1	W1	W1	F5	T1	
	HALL #1	C1	124.5"	W1	W1	W1	W1	F5	T1	
	GYM / YOGA	C12	124.5"	W1	W1	W1	W1	F6	T1	
	POOL BATH	C13	99.75"	W1	W1	W1	W1	F2 OR F3	T4	1.0, 2.0, 3.0; SEE INTERIOR ELEVATIONS
	HALL #2	C1	109.5"	W1	W1	W1	W1	F5	T1	
	BASEMENT BATH	C1	109.5"	W4 OR W5	W4 OR W5	W4 OR W5	W4 OR W5	F2 OR F3	T4	1.0, 2.0, 3.0; SEE INTERIOR ELEVATIONS
	GUEST HALL	C1	109.5"	W1	W1	W1	W1	F5	T1	
	GUEST BEDROOM	C1	102"	W5	W5	W5	W5	F5	T1	
	FINISHED STORAGE	C1	125.5"	W1	W1	W1	W1	F5	T1	
	UNFINISHED STORAGE / MECH	-	125.5"	-	-	-	-	F5	-	
1ST FLOOR	ENTRY HALL	C1	120" - 250"	-	W4	W1	W4	F1	T1	SEE INTERIOR ELEVATIONS
	POWDER ROOM #1	C1	120"	W1	W1	W1	W1	F2	T1	SEE INTERIOR ELEVATIONS
	ROBYSNS OFFICE	C1	135"	W1	W1	W1	W1	F1	T1	
	FAMILY ROOM / DINING	C14	135"	W1	W1	W1	W1	F1	T1	SEE INTERIOR ELEVATIONS
	KITCHEN HALL	C3	1							

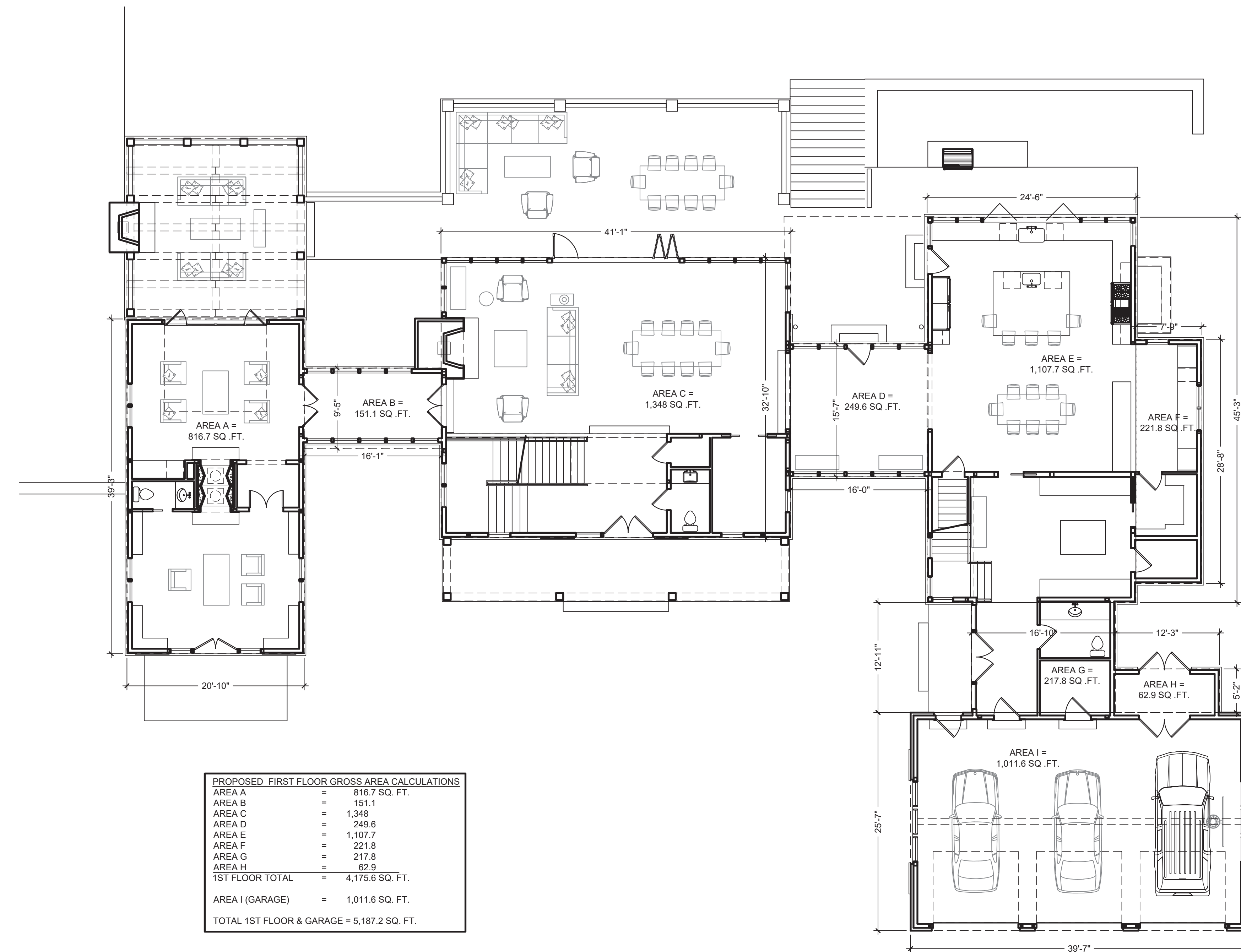


PROPOSED BASEMENT GROSS FLOOR AREA CALCULATION

BASEMENT TOTAL	= 0 SQ. FT.
TOTAL PROPOSED	= 0 SQ. FT.

NOTES:

- THE FINISHED SURFACE OF THE FIRST FLOOR (ABOVE THE BASEMENT) WILL BE LESS THAN 12" ABOVE THE LOWEST POINT AT THE PERIMETER OF THE BUILDING.

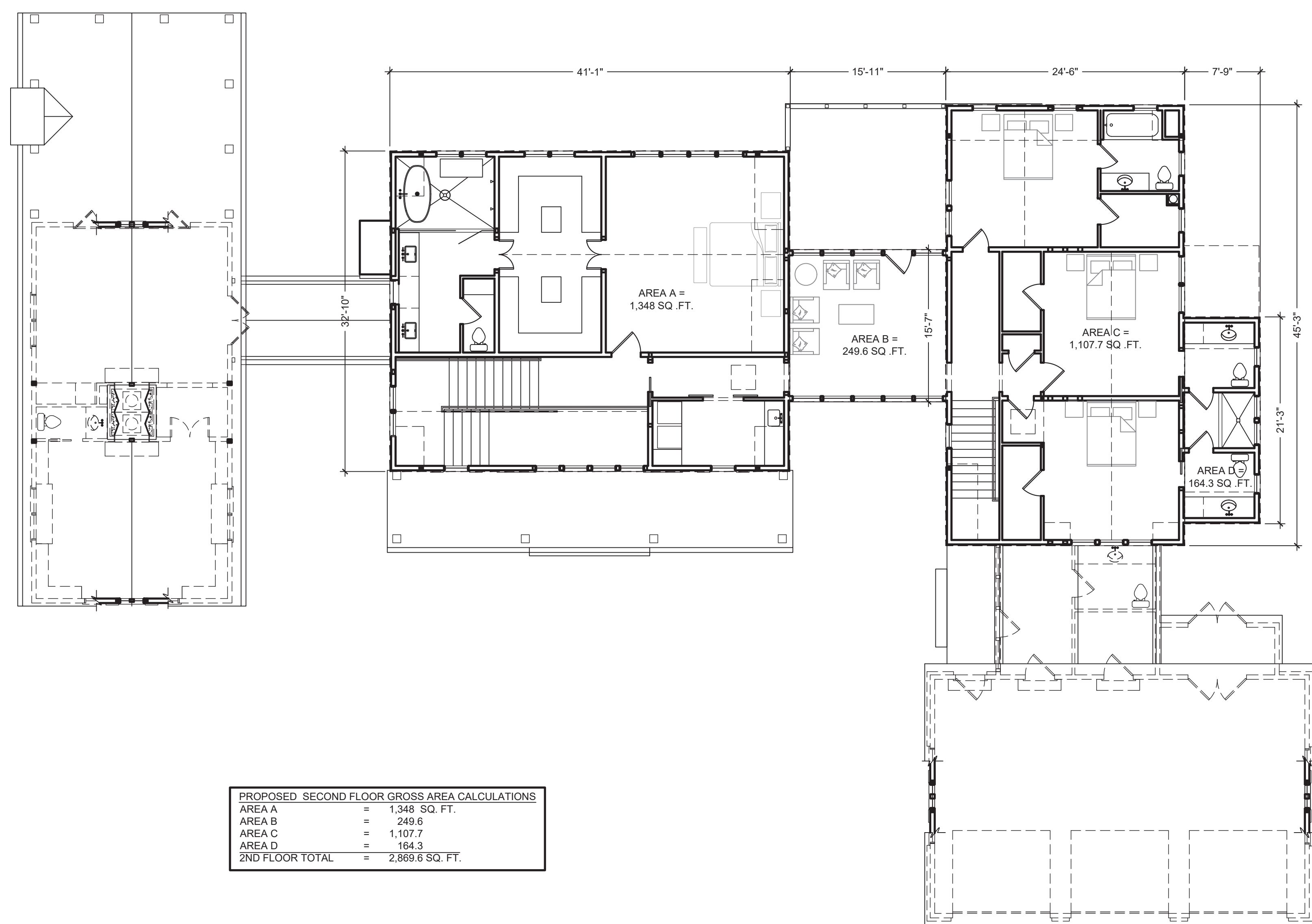


PROPOSED FIRST FLOOR GROSS FLOOR AREA CALCULATIONS

AREA A	= 816.7 SQ. FT.
AREA B	= 151.1
AREA C	= 1,348
AREA D	= 249.6
AREA E	= 1,107.7
AREA F	= 221.8
AREA G	= 217.8
AREA H	= 62.9
1ST FLOOR TOTAL	= 4,175.6 SQ. FT.
AREA I (GARAGE)	= 1,011.6 SQ. FT.
TOTAL 1ST FLOOR & GARAGE	= 5,187.2 SQ. FT.

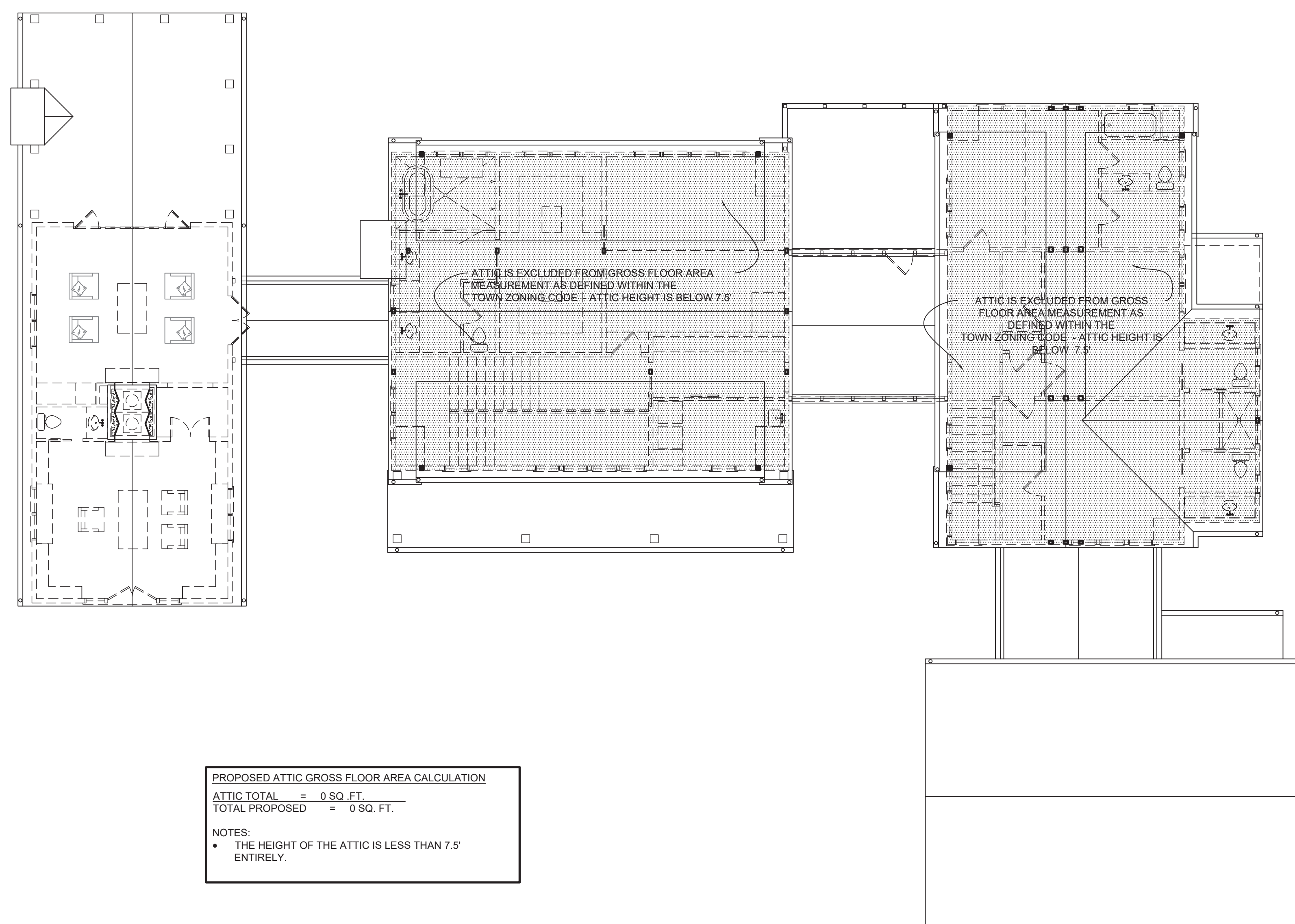
TOTAL PROPOSED GROSS FLOOR AREA

BASEMENT	= 0.0 SQ. FT.
1ST FLOOR	= 5,187.2
2ND FLOOR	= 2,869.6
ATTIC	= 0.0
GROSS AREA TOTAL	= 8,056.8 SQ. FT.



PROPOSED SECOND FLOOR GROSS FLOOR AREA CALCULATIONS

AREA A	= 1,348 SQ. FT.
AREA B	= 249.6
AREA C	= 1,107.7
AREA D	= 164.3
2ND FLOOR TOTAL	= 2,869.6 SQ. FT.



PROPOSED ATTIC GROSS FLOOR AREA CALCULATION

ATTIC TOTAL	= 0 SQ. FT.
TOTAL PROPOSED	= 0 SQ. FT.

NOTES:

- THE HEIGHT OF THE ATTIC IS LESS THAN 7.5' ENTIRELY.



REVISIONS / ADDENDA

ISSUED FOR PERMIT

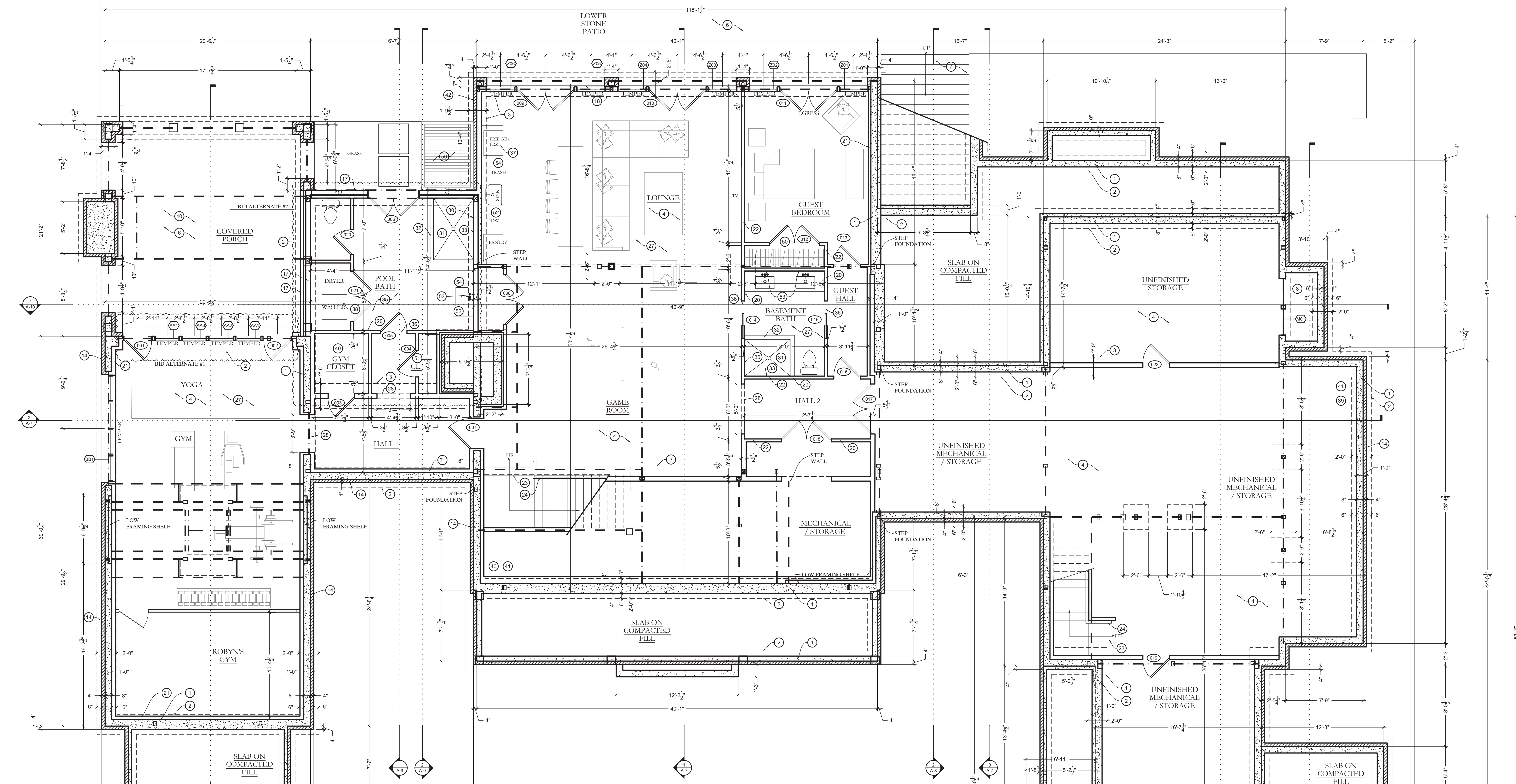
04.20.2021

PROJECT NAME
Frank Residence

OWNER
 Andrew and Robyn Frank
 8 Deer Ridge Lane
 Armonk, New York 10504

F.A.R. PLANS & CALCULATIONS

Z-1



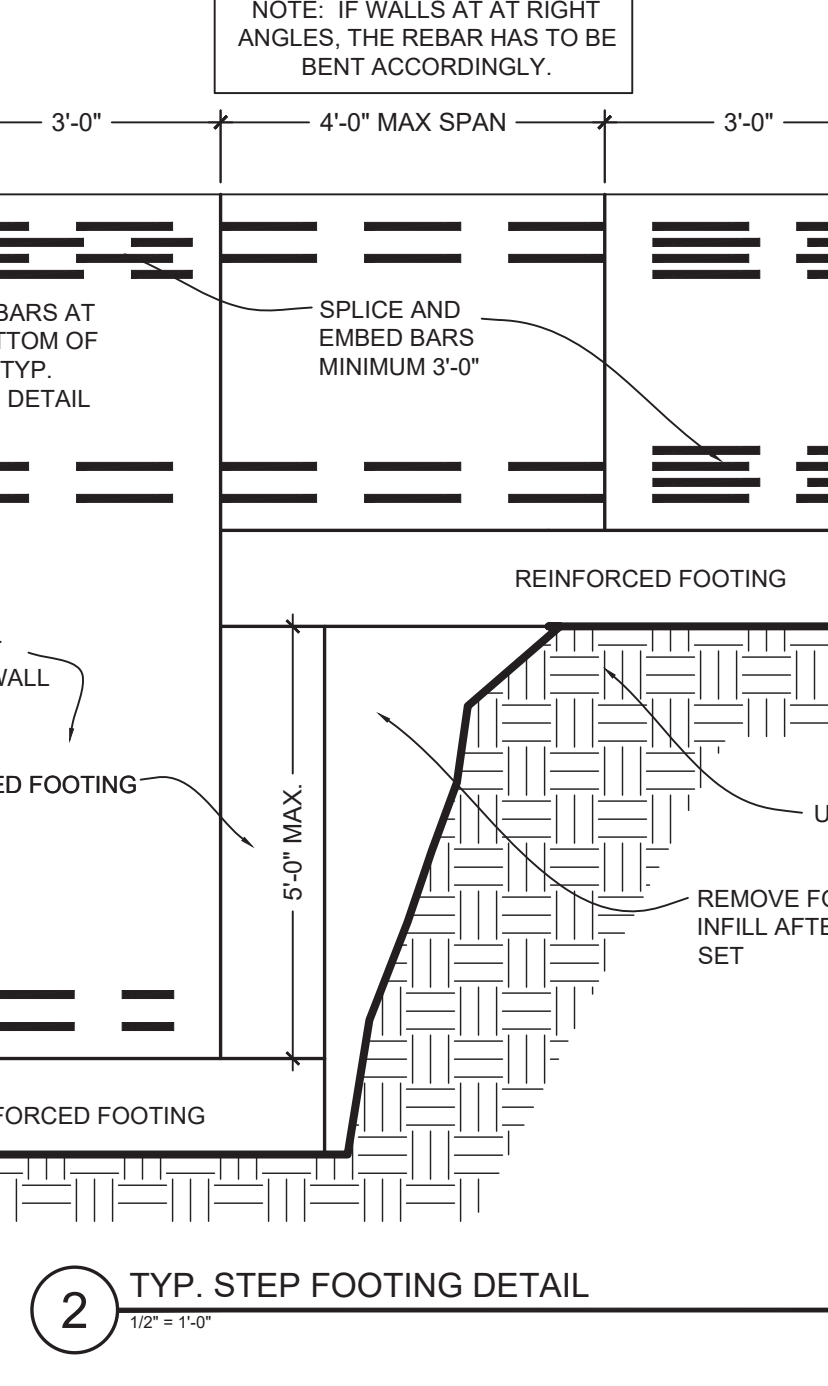
1. BASEMENT & FOUNDATION CONSTRUCTION PLAN

CONSTRUCTION PLAN NOTES

- FOUNDATION WALL: REINFORCED CAST-IN-PLACE STEM WALL. SEE PLANS, SECTIONS, AND DETAILS FOR SIZES AND REINFORCING. PROVIDE WATERPROOF MEMBRANE. DRAINAGE MAT, FILTER FABRIC, AND RIGID INSULATION PER DETAILS. PROVIDE 6" DIAMETER PERFORATED FOOTING DRAIN WITH 1/2" MIN. 1/2" CRUSHED STONE SURROUNDED BY FILTER FABRIC. SET PIPE WITH PERFORATIONS FACING DOWN. PROVIDE SEPARATE 4" SOLID HOPE PERIMETER ROOF GUTTER AND DOWNSPOUT STORM DRAINAGE PIPE ABOVE FOOTING DRAIN AS NEEDED. COORDINATE WITH DOWNSPOUT AND OUTLET LOCATIONS. DO NOT CONNECT DOWNSPOUTS TO FOOTING DRAIN. FOUNDATION FOOTINGS TO EXTEND MIN. 42" BELOW GRADE. GARAGE FOUNDATION SHALL INCLUDE A CURB PER SECTIONS AND DETAILS. PROVIDE THICKENED SLAB EDGES AT GARAGE DOOR LOCATIONS.
- FOOTING: 12" DEEP CAST-IN-PLACE REINFORCED CONCRETE SPREAD FOOTING. SEE PLANS, SECTIONS, AND DETAILS FOR SIZES AND REINFORCING.
- BEARING WALL FOOTING: 12" DEEP CONTINUOUS FOOTING UNDER SLAB WITH (2) #4 CONT. IN MIDDLE THIRD OF FOOTING DEPTH AND #4 BARS AT 40" O.C. ACROSS. SEE PLAN FOR WIDTH. PROVIDE 4" SCHEDULE 40 PVC PIPES THROUGH FOOTING TO ALLOW THE PASSAGE OF RADON GAS TO THE RADON REDUCTION SYSTEM. PROVIDE A MINIMUM OF TWO PIPES WITH ADDITIONAL PIPES EVERY 10 FEET. DO NOT ALLOW CONCRETE TO ENTER PIPE.
- BASEMENT SLAB: 4" CONCRETE SLAB WITH W.W.F. OVER 3" CLOSED CELL SPRAY FOAM INSULATION OVER 6" DEPTH COMPACTED 1 1/2" CRUSHED STONE ON FILTER FABRIC ON COMPACTED FILL. SEE FINISH SCHEDULE FOR FLOOR FINISH.
- GARAGE SLAB: 4" AIR-ENTRAINED CONCRETE SLAB WITH W.W.F. OVER 4" DEPTH GRAVEL ON COMPACTED FILL. SLOPE FLOOR 1/4" PER FOOT TOWARDS VEHICLE DOORS.
- PATIO CONSTRUCTION: 1" THICK DIMENSIONAL PENNSYLVANIA SELECT TRUE BLUE THERMAL BLENDED PORCH ON 4" AIR-ENTRAINED CONCRETE SLAB WITH W.W.F. OVER 4" DEPTH GRAVEL ON COMPACTED FILL. PROVIDE 2" THICK EDGINGS.
- EXTERIOR STAIRS: 2" THICK TRUE BLUE THERMAL BLENDED STEPS WITH 2" THIN STONE VENEER RISERS. REFER ALSO TO LANDSCAPE PLAN.
- WINDOW WELL: FOUNDATION WALL AND FOOTING DIMENSIONS AS NOTED. PROVIDE 2" THICK BLUESTONE CAP. PROVIDE PARGE COAT ON INTERIOR SIDE OF WELL. PROVIDE CRUSHED STONE AT BOTTOM OF WELL AND CONNECT TO STORM DRAINAGE SYSTEM. PROVIDE EGRESS LADDER PER CODE REQUIREMENTS AT EGRESS WINDOWS ONLY.
- WOOD DECKING: 1 1/4" PLUS G.P.E. SECURE USING HIDDEN DISCOUT FASTENERS WITH STAINLESS STEEL SCREWS TO WOOD FRAMING. PROVIDE EDGE BOARD AT PERIMETER TO CONCEAL ALL CUT ENDS.
- PORCH CEILING: PAINTED CLEAR CEDAR IN BASKET WEAVE PATTERN.
- EXTERIOR COLUMN: TRUE 1 1/4" X 1 1/4" CLEAR CEDAR SOLID COLUMNS. FINISH TBD.
- MASONRY FIREPLACE: SOLID BUILT-UP CONCRETE BLOCK FIREPLACE AND CHIMNEY FOUNDATION WITH SEALED TERRA COTTA FLUE LINER SHAFT. ALL MASONRY FIREPLACE AND CHIMNEY WORK SHALL COMPLY WITH IRC CHAPTER 18 AND BRICK INDUSTRY ASSOCIATION REQUIREMENTS FOR MASONRY FIREPLACES. PROVIDE VERTICAL & HORIZONTAL REINFORCING PER CODE. PROVIDE 12" DEEP FOOTING 4" BEYOND PERIMETER BELOW FIREPLACE FOOTPRINT. PROVIDE SELF-SUPPORTING HEARTH EXTENSION. IF FIREPLACE IS LOCATED ON EXTERIOR WALL, PROVIDE CLEAN-OUT ON EXTERIOR WALL. DO NOT PROVIDE CLEAN-OUT IF ONLY OPTION IS ON INTERIOR SIDE.
- EXTERIOR FLOOR DRAIN: PROVIDE BACKFLOW PREVENTER. CONNECT DRAIN TO STORM WATER DETENTION SYSTEM.
- STONE VENEER: 4" STONE VENEER ON STONE SHELF. SEE ELEVATIONS AND DETAILS.
- GRILLING STATION: PROVIDE NEW GAS LINE CONNECTION.
- GARAGE HEATER: CEILING MOUNTED MODERNE HOT DAMP LIQUID PROPANE GAS FIRED HEATER BY QMARK, FAHRENHEAT OR EQUAL. MODEL TYPE/SIZE PER SPACE HEATING REQUIREMENTS.
- EXTERIOR WALL CONSTRUCTION: VERTICAL 1x8 YELLOW CEDAR OR PAINTED BORAL SMOOTH SIDING ON 2" ZIP WALL SYSTEM ON 2x6 WOOD STUDS AT 16" O.C. WITH 1/2" GYP. BD. INTERIOR SHEATHING. PROVIDE MIN. R-21 OC-SPF INSULATION WITH FRAMING. SEE BATHROOM WALL NOTE FOR INTERIOR SIDE OF BATHROOM WALLS. SEE ELEVATIONS.
- EXTERIOR STONE WALL CONSTRUCTION: 4" STONE VENEER OVER KEENE CAV-AIRATOR
- DRAINAGE MAT WITHIN 1" AIR SPACE ON 1/2" ZIP WALL SYSTEM ON 2x6 WOOD STUDS AT 16" O.C. WITH 1/2" GYP. BD. INTERIOR SHEATHING. PROVIDE MIN. R-21 OC-SPF INSULATION. SEE BATHROOM WALL NOTE FOR INTERIOR SIDE OF BATHROOM WALLS.
- INTERIOR WALL CONSTRUCTION: 5/8" GYPSUM BOARD ON 2x4 L.S.L. STUDS AT 16" O.C. UNLESS OTHERWISE NOTED OR OTHERWISE. PROVIDE CEMENT BOARD WHERE BACKING TIE.
- BATHROOM/LAUNDRY WALL CONSTRUCTION: 2x4 L.S.L. STUDS AT 16" O.C. UNLESS OTHERWISE NOTED OR OTHERWISE. PROVIDE 3" ROXUL SAFESOUND INSULATION AT TOP OF WALL AND AT 10" O.C. INTERVALS ALONG WALL BACK TO FOUNDATION WALL FOR FIREBLOCKING.
- INTERIOR BASEMENT WALL CONSTRUCTION: SAME AS NOTE #18 EXCEPT USE FIBERGLASS FACED GYPSUM BOARD. PROVIDE PRESSURE TREATED SILL PLATE ON FLOOR AND PROVIDE 1" GAP BETWEEN FOUNDATION WALL AND FRAMING. PROVIDE MIN. R-19 OC-SPF WITHIN FRAMING. PROVIDE ROXUL SAFESOUND INSULATION AT TOP OF WALL AND AT 10" O.C. INTERVALS ALONG WALL BACK TO FOUNDATION WALL FOR FIREBLOCKING.
- WOOD STAIRS: 1 1/2" WHITE OAK TREADS AND 1/2" PAINTED RISERS. START TO MEET CODE REQUIREMENTS. MAINTAIN MIN. 8" HEAD CLEARANCE. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO BUILDING STAIRS. MIN. WIDTH OF STAIR = 36" MAX RISER HEIGHT = 8 1/2". MIN. TREAD DEPTH = 9". PROVIDE 2" SOLID SQUARE EDGE SPOUN. LANDINGS FOR STAIRS SHALL MATCH WIDTH OF STAIRS (36" MIN). INSULATE ALL LANDINGS.
- INTERIOR HANDRAIL GUARDRAIL: 1" SQUARE STEEL SPINDLES W/ 1 1/2" STEEL HANDRAIL HANDRAILS AND GUARDRAILS SHALL MEET THE CODE REQUIREMENTS. HANDRAIL TO BE 1 1/2" OFF WALL SURFACE. TYP. TRAIL TO BE 36" ABOVE TREAD NOSING. SEE INTERIOR DETAIL PACKAGE FOR FINAL RAIL DESIGN.
- 3" TYPE X GYP. BD. PROVIDE ON WALLS AND CEILING OF GARAGE.
- ROBYN'S GYM: PROVIDE 3" ROXUL SAFESOUND WITHIN WALL FRAMING CAVITIES.
- SOUNDPROOFED CEILING: PROVIDE 5" ROXUL SAFESOUND WITHIN CEILING FRAMING CAVITIES.
- CEILING OPENING: MATCH ADJACENT DOOR HEIGHTS.
- PORCH CEILING: RECLAIMED CEDAR IN BASKET WEAVE PATTERN.
- SHOWER WALLS: FULL HEIGHT TILE OVER SCHLUTER KERDI WATERPROOFING MESSAGING ON 1/2" GIBBS BACKER BOARD.
- SHOWER BASE: SITE BUILT USING SCHLUTER KERDI SYSTEM. TILE FLOOR ON UNMODIFIED PORTLAND CEMENT THIN SET MORTAR OVER KERDI BONDING WATERPROOF MEMBRANE ON SLOPED PORTLAND CEMENT MORTAR BED ON 1/2" HANDIBACKER OR EQUAL BOARD BASE ON FLOOR. PROVIDE CURB WITH FULL MEMBRANE OVER CURB. PROVIDE KERDI DRAIN IN FLOOR DRAIN AND PLUMBING REQUIRED FOR SHOWER.
- GLASS ENCLOSURE: 7/8" TEMPERED FRAMELESS STAIRSHURE GLASS DOOR & ENCLOSURE PROVIDE HEATING PANEL AT STEAM SHOWERS.
- NICHE: TILED INTERIOR OR STONE SIDE WALL WITH STONE SHELF. SEE INTERIOR ELEVATIONS.
- STEAM SHOWER: STEAMIST TSG-7 TOTAL SENSE STEAM GENERATOR WITH 450 DIGITAL CONTROL. PROVIDE GENERATOR PAN AND AUTO DRAIN. LOCATE GENERATOR IN ATTIC ABOVE MASTER BATH.
- ELECTRIC FLOOR WARMING: PROVIDE SCHLUTER DITRA-HEAT SYSTEM WITH DITRA UNCOUPLING AND WATERPROOF MEMBRANE.
- STONE SADDLE: PROVIDED BY OWNER, INSTALLED BY G.C.
- APPLIANCE WATER LINE: PROVIDE TO REFRIGERATOR & FREEZER FOR ICE AND WATER MAKERS.
- WASHER / DRYER HOOK-UPS: PROVIDE ELECTRICAL HOOK-UP WITH BALL-TYPE MASTER VALVE FOR WASHER & DRYER. PROVIDE RECESSED GAS (IF REQUIRED), AND PLUMBING HOOK-UP AND INSTALL APPLIANCES. PROVIDE WATERPROOF SHOWER TIE BASE WITH TILE FINISH AND HOSE TO WASHING OUTLET. PROVIDE SMOOTH METAL DUCT DRYER VENT TO EXTERIOR. PROVIDE BRAIDED STAINLESS STEEL SUPPLY LINES WITH AUTOMATIC SHUT-OFF VALVES.
- RADON REDUCTION SYSTEM: PROVIDE PASSIVELY OPERATED RADON REDUCTION SYSTEM PER ASTM E1552-08A. FINAL LOCATION T.B.D. AT A MINIMUM, THE SYSTEM SHALL INCLUDE A 3" SCHEDULE 40 PVC PIPE EXTENDING FROM BELOW THE SLAB UP THROUGH THE ROOF. WHERE THE PIPE TERMINATES BELOW THE SLAB, PROVIDE AN ELBOW FITTING AND SHORT EXTENSION OF PVC PIPE THAT IS COUPLED TO A 3" CORRUGATED & PERFORATED ABS PIPE AT LEAST 10 FEET LONG RUNNING UNDER THE SLAB. DO NOT ALLOW CONCRETE INTO PIPE. SEAL ALL SLAB PENETRATIONS WITH POLYURETHANE SEALANT. TERMINATE PIPE 12" ABOVE THE ROOF. A MINIMUM OF 10 FEET AWAY FROM ANY BUILDING OPENING THAT IS ON A PLANE LESS THAN 2 FEET BELOW THE DISCHARGE. PROVIDE 1/2" PODNET SCREEN ON DISCHARGE. DO NOT ELBOW DISCHARGE. LEAVE ROOM IN ATTIC FOR FUTURE ACTIVE SOIL DEPRESSURIZATION FAN IF TESTS SHOW THAT THE RADON CONCENTRATION IS GREATER THAN 4 PICOCURIES PER LITER.
- SEWAGE EJECTOR: FOR NEW BATH. PROVIDE ACCESS PANEL IN ADJACENT WALL FOR WITHIN FRAMING. PROVIDE ROXUL SAFESOUND INSULATION AT TOP OF WALL AND AT 10" O.C. INTERVALS ALONG WALL BACK TO FOUNDATION WALL FOR FIREBLOCKING.
- INTERIOR BASEMENT CONSTRUCTION: SAME AS NOTE #18 EXCEPT COORDINATE FINAL LOCATIONS WITH OWNER.
- EXHAUST HOOD: PROVIDE VENT TO EXTERIOR FOR RANGE HOOD. COORDINATE WITH FRAMING AND CABINETS. PROVIDE FULLY RECESSED INSTALLATION WITH 1/2" TYPE X GYP. BOARD ON ALL 5 SIDES OF CAVITY OR AS REQUIRED BY MANUFACTURER AND CODE. SEE ELECTRICAL PLAN FOR LOCATIONS.
- GAS LINE: PROVIDE GAS LINE TO CENTER TABLE FIREPLACE. FIREPLACE TO BE PROVIDED BY OWNER. CONTRACTOR TO PROVIDE GAS LINE AND SHUT-OFF VALVE PER CODE.
- GAS STARTER: PROVIDE GAS STARTER TO FIREPLACE SHUT-OFF TO BE LOCATED BY OWNER & ARCHITECT IN FIELD.
- LIGHTWEIGHT MASONRY FIREPLACE SYSTEM: FIREPROOF 42" CONVENTIONAL SEE THROUGH FIREPLACE BOX WITH LITEROOK RISER KIT.
- HEARTH & MANTEL: INSTALL STONE HEARTH, WOOD MANTEL, AND STONE SLAB SURROUND.
- CUSTOM CLOSET SYSTEM: PROVIDE DRAWINGS FOR OWNER REVIEW.
- CLOSET ROD & SHELF: SHELF OVER ROD TO BE PAINT GRADE PLYWOOD WITH HARDWOOD EDGEBOARD.
- CLOSET SHELVING: MULTIPLE SHELVES WITH HARDWOOD EDGEBOARD.
- BUILT-IN CABINETRY: SEE ALLOWANCES.
- RECESSED MEDICINE CABINET: SEE INTERIOR ELEVATIONS.
- STONE COUNTERTOP: SEE ALLOWANCES.
- ATTIC STAIR WOOD ACCESS HATCH: 30" X 30" CONFIRM ADEQUATE SIZE WITH MECHANICAL CONTRACTOR. INSTALL FLAT STOCK TRIM AT PERIMETER.
- EXTERIOR SHOWER: PROVIDE PLUMBING LINE WITH SHUT-OFF VALVE AND INSTALL FIXTURES FOR SHOWER HEAD AND FOOT WASH. INSTALL ON P.E. DECKING AT OP CRUSHED STONE. DRAIN AS REQUIRED.

SPECS AND DETAILS. ALL LVL BEAMS SHALL BE ANCHORED AND ATTACHED AS PER MANUFACTURER RECOMMENDED METHODS.

- DOUBLE ALL FRAMING MEMBERS UNDER PARALLEL PARTITIONS. TYP.
- PROVIDE SOLID BLOCKING IN FLOOR FRAMING UNDER ALL APPLIANCES, BUILT INS, KITCHEN ISLAND, BATH FIXTURES AND ALL COUNTERTOP LOCATIONS.
- ALL FIXTURES AND FINISHES TO BE VERIFIED BY ARCHITECT AND OWNER.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE DONE ON A FULL DESIGN BUILD BASIS AND PROVIDED PER CODE AND AS INDICATED ON DRAWINGS.
- SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REQUIREMENTS INCLUDING WIND RESISTANCE REQUIREMENTS, HURRICANE CLIPS, TIE, STRAPS, HOLD DOWNS, ETC.
- INSTALL APPLIANCES AND PLUMBING FIXTURES AS INDICATED ON PLANS INCLUDING ASSOCIATED PLUMBING AND ELECTRICAL REQUIREMENTS. SEE ALLOWANCES FOR FURNISHING ITEMS. PROVIDE CUSTOM CABINETS AND MILLWORK AS INDICATED ON PLAN. SEE ALLOWANCES FOR FURNISHING ITEMS.
- PROVIDE STONE COUNTERTOP WHERE COUNTERTOPS ARE INDICATED. SEE ALLOWANCES.



2. TYP. STEP FOOTING DETAIL

GENERAL FLOOR PLAN NOTES

- SEE BUILDING SECTIONS, WALL SECTIONS, AND DETAILS FOR BUILDING THERMAL INSULATION AND VAPOR BARRIER REQUIREMENTS.
- INSULATE ALL WATER SUPPLY AND DRAINAGE PIPING IN WALLS AND CEILINGS WITH NEOPRENE TO PREVENT CONDENSATION AND FOR SOUNDING.
- ALL EXTERIOR WINDOWS, AND CASERD DRINGS SHALL HAVE CASINGS. CONFIRM FINAL CASING FINISH WITH ELEVATIONS.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE PROVIDED PER CODE.
- COORDINATE ALL FLOOR FRAMING MEMBERS AND LAYOUT WITH MANUFACTURERS STANDARD



REVISIONS / ADDENDA

NO.	DATE	DESCRIPTION

ISSUED FOR PERMIT

04.20.2021

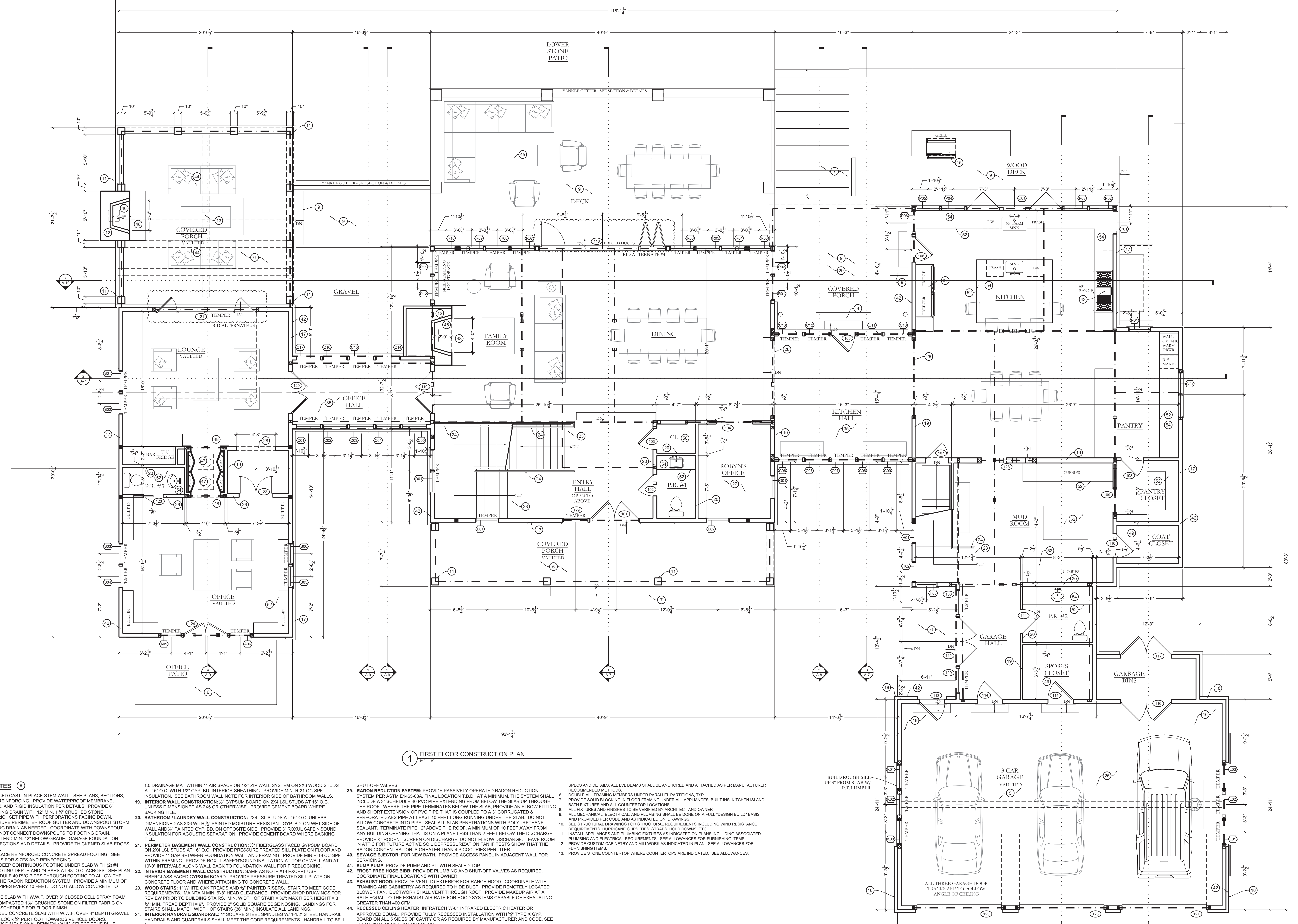
PROJECT NAME

Frank Residence

OWNER

Andrew and Robyn Frank
 8 Deer Ridge Lane
 Armonk, New York 10504

BASEMENT & FOUNDATION CONSTRUCTION PLAN



1 FIRST FLOOR CONSTRUCTION PLAN

CONSTRUCTION PLAN NOTES

- FOUNDATION WALL:** REINFORCED CAST-IN-PLACE STEM WALL. SEE PLANS, SECTIONS, AND DETAILS FOR SIZES AND REINFORCING. PROVIDE WATERPROOF MEMBRANE, DRAINAGE MAT, FILTER FABRIC, AND RIGID INSULATION PER DETAILS. PROVIDE 6" DIAMETER PERFORATED FOOTING DRAIN WITH 1/2" MIN. 1/2" CRUSHED STONE SURROUNDED BY FILTER FABRIC. SET PIPE WITH PERFORATIONS FACING DOWN. PROVIDE SEPARATE 8" SOLID HDPE PERIMETER ROOF GUTTER AND DOWNSPOUT STORM DRAINAGE PIPE ABOVE FOOTING DRAIN AS NEEDED. COORDINATE WITH DOWNSPOUT AND OUTLET LOCATIONS. DO NOT CONNECT DOWNSPOUTS TO FOOTING DRAIN. FOUNDATION FOOTINGS TO EXTEND MIN. 42" BELOW GRADE. GARAGE FOUNDATION SHALL INCLUDE A CURB PER SECTIONS AND DETAILS. PROVIDE THICKENED SLAB EDGES AT GARAGE DOOR LOCATIONS.
- FOOTING:** 12" DEEP CAST-IN-PLACE REINFORCED CONCRETE SPREAD FOOTING. SEE PLANS, SECTIONS, AND DETAILS FOR SIZES AND REINFORCING.
- BEARING WALL FOOTING:** 12" DEEP CONTINUOUS FOOTING UNDER SLAB WITH (2) #4 CONT. IN MIDDLE THIRD OF FOOTING DEPTH AND #4 BARS AT 48" O.C. ACROSS. SEE PLAN FOR WIDTH. PROVIDE 4" SCHEDULE 40 PVC PIPES THROUGH FOOTING TO ALLOW THE PASSAGE OF RADON GAS TO THE RADON REDUCTION SYSTEM. PROVIDE A MINIMUM OF TWO PIPES WITH ADDITIONAL PIPES EVERY 10 FEET. DO NOT ALLOW CONCRETE TO ENTER PIPE.
- BASEMENT SLAB:** 4" CONCRETE SLAB WITH W.W.F. OVER 3" CLOSED CELL SPRAY FOAM INSULATION OVER 6" DEPTH COMPACTED 1 1/2" CRUSHED STONE OR FILTER FABRIC ON COMPACTED FILL. SEE FINISH SCHEDULE FOR FLOOR FINISH.
- GARAGE SLAB:** 4" AIR-ENTRAINED CONCRETE SLAB WITH W.W.F. OVER 4" DEPTH GRAVEL ON COMPACTED FILL. SLOPE FLOOR 1/8" PER FOOT TOWARDS VEHICLE DOORS.
- PATIO CONSTRUCTION:** 1" THICK DIMENSIONAL PENNSYLVANIA SELECT TRUE BLUE THERMAL BLUESTONE PORCH ON 4" AIR-ENTRAINED CONCRETE SLAB WITH W.W.F. OVER 4" DEPTH GRAVEL ON COMPACTED FILL. PROVIDE 2" THICK EDGING.
- EXTERIOR STAIRS:** 2" THICK TRUE BLUE THERMAL BLUESTONE STEPS WITH 2" THIN STONE VENER VENEERS. REFER ALSO TO LANDSCAPE PLAN.
- WINDOW WELL:** FOUNDATION WALL AND FOOTING DIMENSIONS AS NOTED. PROVIDE 2" THICK BLUESTONE CAP. PROVIDE PARGE COAT ON INTERIOR SIDE OF WELL. PROVIDE CRUSHED STONE AT BOTTOM OF WELL AND CONNECT TO STORM DRAINAGE SYSTEM. PROVIDE EGRESS LADDER PER CODE REQUIREMENTS AT EGRESS WINDOWS ONLY.
- WOOD DECKING:** 1 1/4" PLUS F.E. SECURE USING HIDDEN BRISQUIT FASTENERS WITH STAINLESS STEEL SCREWS TO WOOD FRAMING. PROVIDE EDGE BOARD AT PERIMETER TO CONCEAL ALL JOINT ENDS.
- PORCH CEILING:** PAINTED CLEAR CEDAR IN BASKET WEAVE PATTERN.
- EXTERIOR COLUMNS:** TRUE 10" X 10" CLEAR CEDAR SOLID COLUMNS. FINISH TBD.
- MASONRY FIREPLACE:** SOLID BUILT-UP CONCRETE BLOCK FIREPLACE AND CHIMNEY FOUNDATION WITH SEALED TERRA COTTA FLUE LINER SHAFT. ALL MASONRY FIREPLACE AND CHIMNEY WORK SHALL COMPLY WITH IRC CHAPTER 18 AND BRICK INDUSTRY ASSOCIATION REQUIREMENTS FOR MASONRY FIREPLACES. PROVIDE VERTICAL & HORIZONTAL REINFORCING PER CODE. PROVIDE 12" DEEP FOOTING 18" BEYOND PERIMETER BELOW FIREPLACE FOOTPRINT. PROVIDE SELF-SUPPORTING HEARTH EXTENSION. IF FIREPLACE IS LOCATED ON EXTERIOR WALL, PROVIDE CLEAN-OUT ON EXTERIOR WALL. DO NOT PROVIDE CLEAN-OUT IF ONLY OPTION IS ON INTERIOR SIDE.
- EXTERIOR FLOOR DRAIN:** PROVIDE BACKFLOW PREVENTER. CONNECT DRAIN TO STORM WATER DETENTION SYSTEM.
- STONE VENEER:** 4" STONE VENEER ON STONE SHELVE. SEE ELEVATIONS AND DETAILS.
- GRILLING STATION:** PROVIDE NEW GAS LINE CONNECTION.
- GARAGE HEATER:** CEILING MOUNTED MOBILE HOT DRAVE LIQUID PROPANE GAS FUELED HEATER BY Q-MARK, FAHRENHEIT, OR EQUAL. MODEL TYPE/SIZE PER SPACE HEATING REQUIREMENTS.
- EXTERIOR WALL CONSTRUCTION:** VERTICAL 1X8 YELLOW CEDAR OR PAINTED BORAL SMOOTH SIDING ON 2" ZIP WALL SYSTEM ON 2X6 WOOD STUDS AT 16" O.C. WITH 1/2" GYP BD. INTERIOR SHEATHING. PROVIDE MIN. R-21 OC-SPP INSULATION WITH FRAMING. SEE BATHROOM WALL NOTE FOR BATHROOM WALLS. SEE ELEVATIONS.

- 1.0 DRAINAGE MAT WITHIN 1" AIR SPACE ON 1/2" ZIP WALL SYSTEM ON 2X6 WOOD STUDS AT 16" O.C. WITH 1/2" GYP BD. INTERIOR SHEATHING. PROVIDE MIN. R-21 OC-SPP INSULATION. SEE BATHROOM WALL NOTE FOR INTERIOR SIDE OF BATHROOM WALLS.**
- INTERIOR WALL CONSTRUCTION:** 1/2" GYPSUM BOARD ON 2X4 LSL STUDS AT 16" O.C. UNLESS DIMENSIONED AS 2X6 WITH 1/2" PAINTED MOISTURE RESISTANT GYP. BD. ON WET SIDE OF WALL AND 1/2" PAINTED GYP. BD. ON OPPOSITE SIDE. PROVIDE 3" ROXUL SAFESOUND INSULATION FOR ACUSTIC SEPARATION. PROVIDE CEMENT BOARD WHERE BACKING TILE.
- PERIMETER BASEMENT WALL CONSTRUCTION:** 3/4" FIBERGLASS FACED GYPSUM BOARD ON 2X4 LSL STUDS AT 16" O.C. PROVIDE PRESSURE TREATED SILL PLATE ON FLOOR AND PROVIDE 1" GAP BETWEEN FOUNDATION WALL AND FRAMING. PROVIDE MIN. R-19 OC-SPP WITHIN FRAMING. PROVIDE ROXUL SAFESOUND INSULATION AT TOP OF WALL AND AT 10'0" INTERVALS ALONG WALL BACK TO FOUNDATION WALL FOR FIREBLOCKING.
- INTERIOR HANDRAIL QUADRANT:** 1" SQUARE STEEL SPINDLES W/ 1/2" X 1/2" STEEL HANDRAIL HANDRAILS AND GUARDRAILS SHALL MEET THE CODE REQUIREMENTS. HANDRAIL TO BE 1 1/2" MIN. TREAD DEPTH + 9". PROVIDE 2" SOLID SQUARE EDGE NOSING. LANDINGS FOR STAIRS SHALL MATCH WIDTH OF STAIRS (36" MIN.) INSULATE ALL LANDINGS.
- TYPE X GYP. BD. PROVIDE 6" ROXUL SAFESOUND WITHIN WALL FRAMING CAVITIES.**
- SOUNDPROOFED WALL:** PROVIDE 6" ROXUL SAFESOUND WITHIN WALL FRAMING CAVITIES.
- CASED OPENING:** MATCH ADJACENT DOOR HEIGHTS.
- PORCH CEILING:** RECLAIMED CEDAR IN A BASKET WEAVE PATTERN.
- SHOWER WALLS:** FULL HEIGHT TILE OVER SCHLUTER KERDI WATERPROOFING MEMBRANE ON 1/2" GYPSUM BOARD.
- SHOWER BASE:** SITE BUILT USING SCHLUTER KERDI SYSTEM. TILE FLOOR ON UNMODIFIED PORTLAND CEMENT THIN SET MORTAR OVER KERDI BONDING WATERPROOF MEMBRANE ON SLOPED PORTLAND CEMENT MORTAR BED ON 5/8" HARDBACKER (OR EQUAL) BOARD BASE ON FLOOR. PROVIDE CURB WITH FULL MEMBRANE OVER CURB. PROVIDE KERDI-DRAIN FLOOR DRAIN AND PLUMBING REQUIRED FOR SHOWER.
- GLASS ENCLOSURE:** 1/2" TEMPERED FRAMELESS STAIRPIRE GLASS DOOR & ENCLOSURE PROVIDE HEATING PANEL AT STEAM SHOWERS.
- NICHE:** TILED INTERIOR OR STONE SIDE WALLS WITH STONE SHELVE. SEE INTERIOR ELEVATIONS.
- STEAM SHOWER:** STEAMIST TSG-7 TOTAL SENSE STEAM GENERATOR WITH DITRA UNCOUPLING AND WATERPROOF MEMBRANE.
- STONE SAHLE:** PROVIDED BY OWNER. INSTALLED BY G.C.
- APPLANCE WATER LINE:** PROVIDE TO REFRIGERATOR & FREEZER FOR ICE AND WATER MAKERS.
- WASHER / DRYER HOOK-UP:** PROVIDE RECESSED HOOK-UP WITH BALL-TYPE MASTER VALVE FOR WASHER & DRYER. PROVIDE ELECTRICAL, GAS (IF REQUIRED), AND PLUMBING HOOK-UP AND INSTALL WATERPROOF SHOWER TYPE BASE WITH TIE FINISH AND PROVIDE WASTE OUTLET. PROVIDE SMOOTH METAL DUCT DRYER VENT TO EXTERIOR. HOOK TO BE TRAPPED. STAINLESS STEEL SUPPLY LINES WITH AUTOMATIC SHUT-OFF VALVES.

- SHUT-OFF VALVES.**
- RADON REDUCTION SYSTEM:** PROVIDE PASSIVELY OPERATED RADON REDUCTION SYSTEM PER ASTM E1527 FOR FINAL LOCATION T.B.D. AT A MINIMUM, THE SYSTEM SHALL INCLUDE A 3" SCHEDULE 40 PVC PIPE EXTENDING FROM BELOW THE SLAB UP THROUGH THE ROOF. WHERE THE PIPE TERMINATES BELOW THE SLAB, PROVIDE AN ELBOW FITTING AND SHORT EXTENSION OF PVC PIPE THAT IS COUPLED TO A 3" CORRUGATED & PERFORATED ABS PIPE AT LEAST 10 FEET LONG RUNNING UNDER THE SLAB. DO NOT ALLOW CONCRETE INTO PIPE. SEAL ALL SLAB PENETRATIONS WITH POLYURETHANE SEALANT. TERMINATE PIPE 12" ABOVE THE ROOF. A MINIMUM OF 10 FEET AWAY FROM ANY BUILDING OPENING THAT IS ON A PLANE LESS THAN 2 FEET BELOW THE DISCHARGE. PROVIDE 3/4" RODENT SCREEN ON DISCHARGE. DO NOT ELBOW DISCHARGE. LEAVE ROOM IN ATTIC FOR FUTURE ACTIVE SOIL DEPRESSURIZATION FAN IF TESTS SHOW THAT THE RADON CONCENTRATION IS GREATER THAN 4 PICOCURIES PER LITER.
- SEWAGE EJECTOR:** FOR NEW BATH. PROVIDE ACCESS PANEL IN ADJACENT WALL FOR SERVICE.
- SUMP PUMP:** PROVIDE PUMP AND PIT WITH SEALED TOP.
- WATER CLOSET WALL CONSTRUCTION:** SAME AS NOTE #10 EXCEPT USE FIBERGLASS FACED GYPSUM BOARD. PROVIDE PRESSURE TREATED SILL PLATE ON CONCRETE FLOOR AND WHERE ATTACHING TO CONCRETE WALL.
- WOOD STAIRS:** 1" WHITE OAK TREADS AND 1/2" PAINTED RISERS. STAIR TO MEET CODE REQUIREMENTS. MAINTAIN MIN. 6" 3" HEAD CLEARANCE. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO BUILDING STAIRS. MIN. WIDTH OF STAIR = 36". MAX RISER HEIGHT = 8 1/2". MIN. TREAD DEPTH = 9". PROVIDE 2" SOLID SQUARE EDGE NOSING. LANDINGS FOR STAIRS SHALL MATCH WIDTH OF STAIRS (36" MIN.) INSULATE ALL LANDINGS.
- NECESSED CEILING HEATER:** INFRAHEAT W-61 INFRARED ELECTRIC HEATER OR APPROVED EQUAL. PROVIDE FULLY RECESSED INSTALLATION WITH 5/8" TYPE X GYP. BOARD ON ALL 4 SIDES OF CAVITY OR AS REQUIRED BY MANUFACTURER AND CODE. SEE ELECTRICAL PLAN FOR LOCATION.
- GAS LINE:** PROVIDE GAS LINE TO CENTER TABLE FIREPLACE. FIREPLACE TO BE PROVIDED BY OWNER. CONTRACTOR TO PROVIDE GAS LINE AND SHUT-OFF VALVE PER CODE.
- GAS STARTER:** PROVIDE GAS STARTER TO FIREPLACE SHUT-OFF TO BE LOCATED BY OWNER & ARCHITECT IN FIELD.
- LIGHTWEIGHT MASONRY FIREPLACE SYSTEM:** FIREBLOCK 42" CONVENTIONAL SEE THROUGH FIREPLACE BOX WITH LITEROCK RISER KIT.
- HEARTH & MANTEL:** INSTALL STONE HEARTH, WOOD MANTEL, AND STONE SLAB BURROUND.
- CUSTOM CLOSET SYSTEM:** PROVIDE DRAWINGS FOR OWNER REVIEW.
- CLOSET ROD & SHELF:** SHELF OVER ROD TO BE PAINT GRADE PLYWOOD WITH HARDWOOD EDGE-BAND.
- CLOSET SHELVING:** MULTIPLE SHELVES WITH HARDWOOD EDGE-BAND.
- BUILT-IN CABINETS:** SEE INTERIOR ELEVATIONS.
- NECESSED MEDICINE CABINET:** SEE INTERIOR ELEVATIONS.
- STONE COUNTERTOP:** PROVIDE ALLOWANCES. PROVIDE 3/4" X 3/4" CONFIRM ADEQUATE SIZE WITH MECHANICAL CONTRACTOR. INSTALL FLAT STOCK TRIM AT PERIMETER.
- ATTIC STAIR:** PROVIDE ACCESS HATCH, 30" X 30", CONFIRM ADEQUATE SIZE WITH MECHANICAL CONTRACTOR. INSTALL FLAT STOCK TRIM AT PERIMETER.
- EXTERIOR SHOWER:** PROVIDE PLUMBING LINE WITH SHUT-OFF VALVE AND INSTALL FIXTURES FOR SHOWER HEAD AND FOOT WASH. INSTALL ON PIPE DECKING ATOP CRUSHED STONE. DRAIN AS REQUIRED.

- SPECS AND DETAILS:** ALL LVL BEAMS SHALL BE ANCHORED AND ATTACHED AS PER MANUFACTURER RECOMMENDED METHOD.
- DOUBLE ALL FRAMING MEMBERS UNDER PARALLEL PARTITIONS.** TYP.
- PROVIDE SLOD BIDDING IN FLOOR FRAMING UNDER ALL APPLIANCES, BUILT INS, KITCHEN ISLAND, BATH FIXTURES AND ALL COUNTERTOP LOCATIONS.**
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE DONE ON A F.A.L. DESIGN BULD BASIS AND PROVIDED PER CODE AND AS INDICATED ON DRAWINGS.**
- SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REQUIREMENTS INCLUDING WIND RESISTANCE REQUIREMENTS, HURRICANE CLIPS, TIES, STRAPS, HOLD DOWNS, ETC.**
- INSTALL APPLIANCES AND PLUMBING FIXTURES AS INDICATED ON PLANS INCLUDING ASSOCIATED PLUMBING AND ELECTRICAL REQUIREMENTS. SEE ALLOWANCES FOR FURNISHING ITEMS. PROVIDE CUSTOM CABINETS AND MILLWORK AS INDICATED IN PLAN. SEE ALLOWANCES FOR FURNISHING ITEMS.**
- PROVIDE STONE COUNTERTOP WHERE COUNTERTOPS ARE INDICATED. SEE ALLOWANCES.**

- 1. SEE BUILDING SECTIONS, WALL SECTIONS, AND DETAILS FOR BUILDING THERMAL INSULATION AND VAPOR BARRIER REQUIREMENTS.**
- INSULATE ALL WATER SUPPLY AND DRAINAGE PIPING IN WALLS AND CEILINGS WITH NEOPRENE TO PREVENT CONDENSATION FOR SOUNDPROOFING.**
- ALL DOORS, WINDOWS, AND CASED OPENINGS SHALL HAVE CASINGS. CONFIRM FINAL CASING FINISH WITH ELEVATIONS.**
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE PROVIDED PER CODE.**
- COORDINATE ALL FLOOR FRAMING MEMBERS AND LAYOUT WITH MANUFACTURERS STANDARD**

GENERAL FLOOR PLAN NOTES

- 1. SEE BUILDING SECTIONS, WALL SECTIONS, AND DETAILS FOR BUILDING THERMAL INSULATION AND VAPOR BARRIER REQUIREMENTS.**
- INSULATE ALL WATER SUPPLY AND DRAINAGE PIPING IN WALLS AND CEILINGS WITH NEOPRENE TO PREVENT CONDENSATION FOR SOUNDPROOFING.**
- ALL DOORS, WINDOWS, AND CASED OPENINGS SHALL HAVE CASINGS. CONFIRM FINAL CASING FINISH WITH ELEVATIONS.**
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE PROVIDED PER CODE.**
- COORDINATE ALL FLOOR FRAMING MEMBERS AND LAYOUT WITH MANUFACTURERS STANDARD**

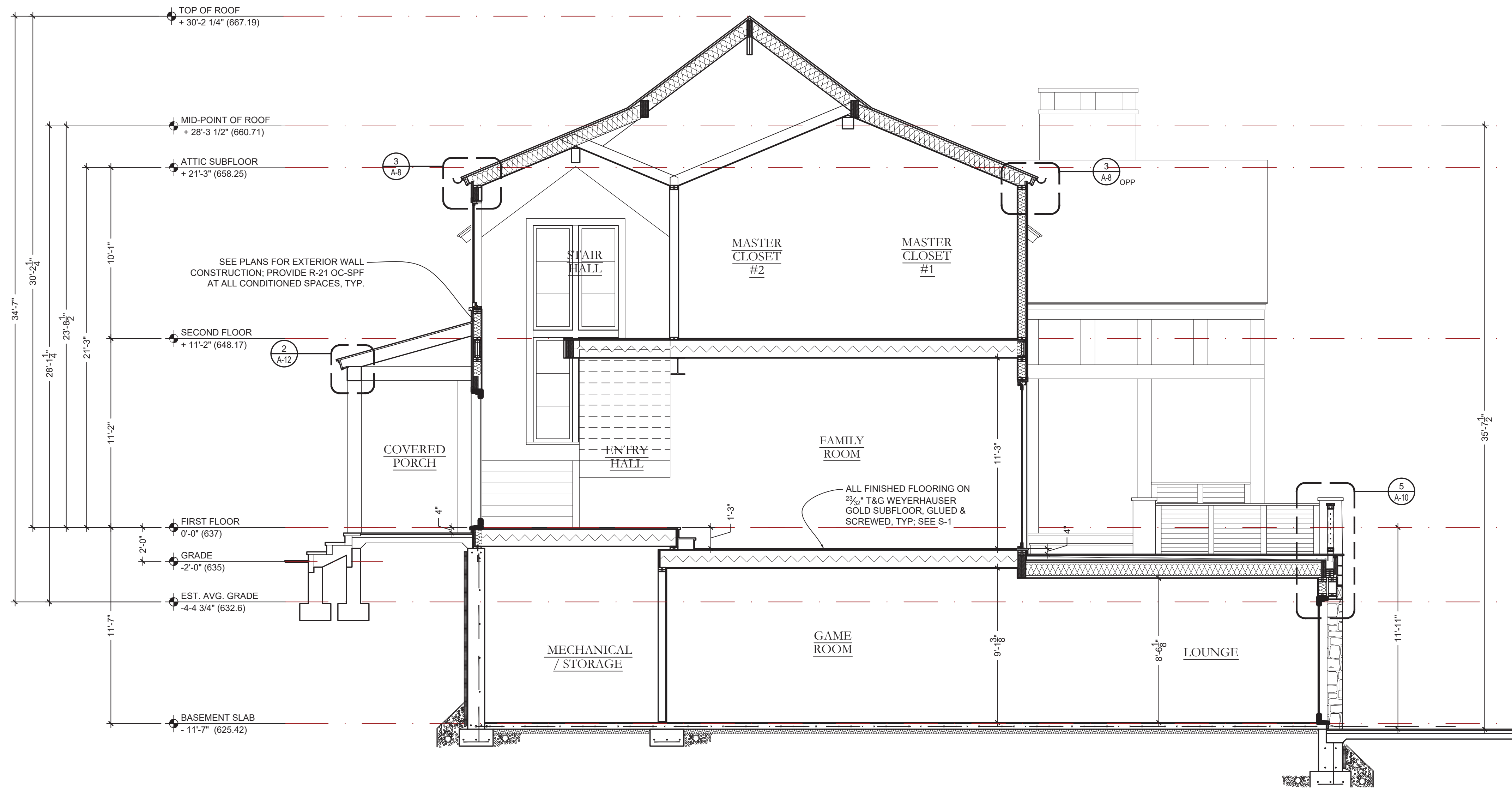


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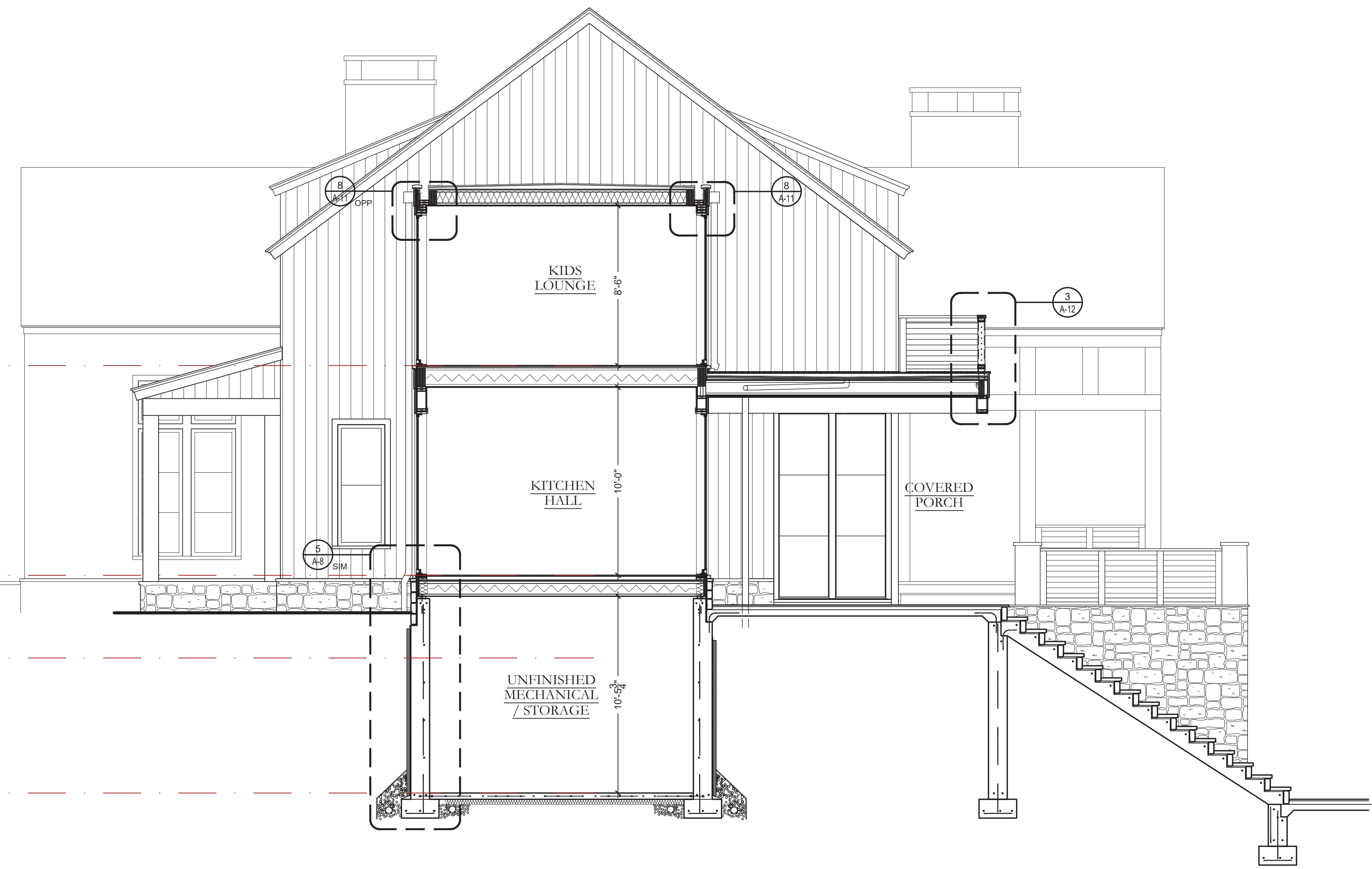
PROJECT NAME
Frank Residence

OWNER
 Andrew and Robyn Frank
 8 Deer Ridge Lane
 Armonk, New York 10504

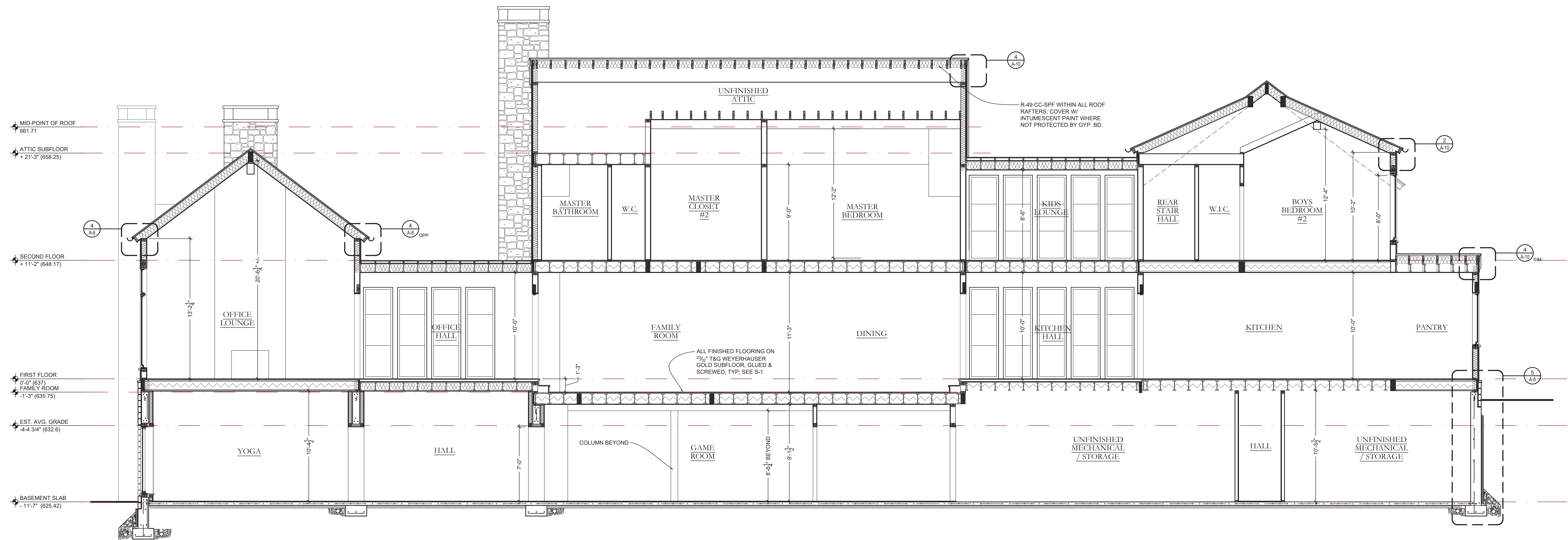
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FIRST FLOOR CONSTRUCTION PLAN



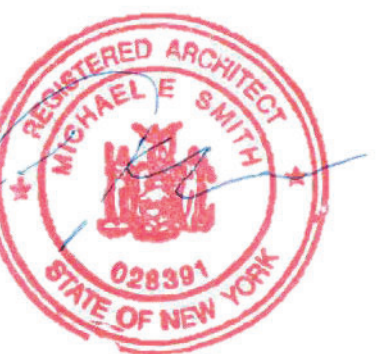
1 BUILDING SECTION
 10'-11 1/2"



3 BUILDING SECTION
 10'-11 1/2"



2 BUILDING SECTION
 10'-11 1/2"



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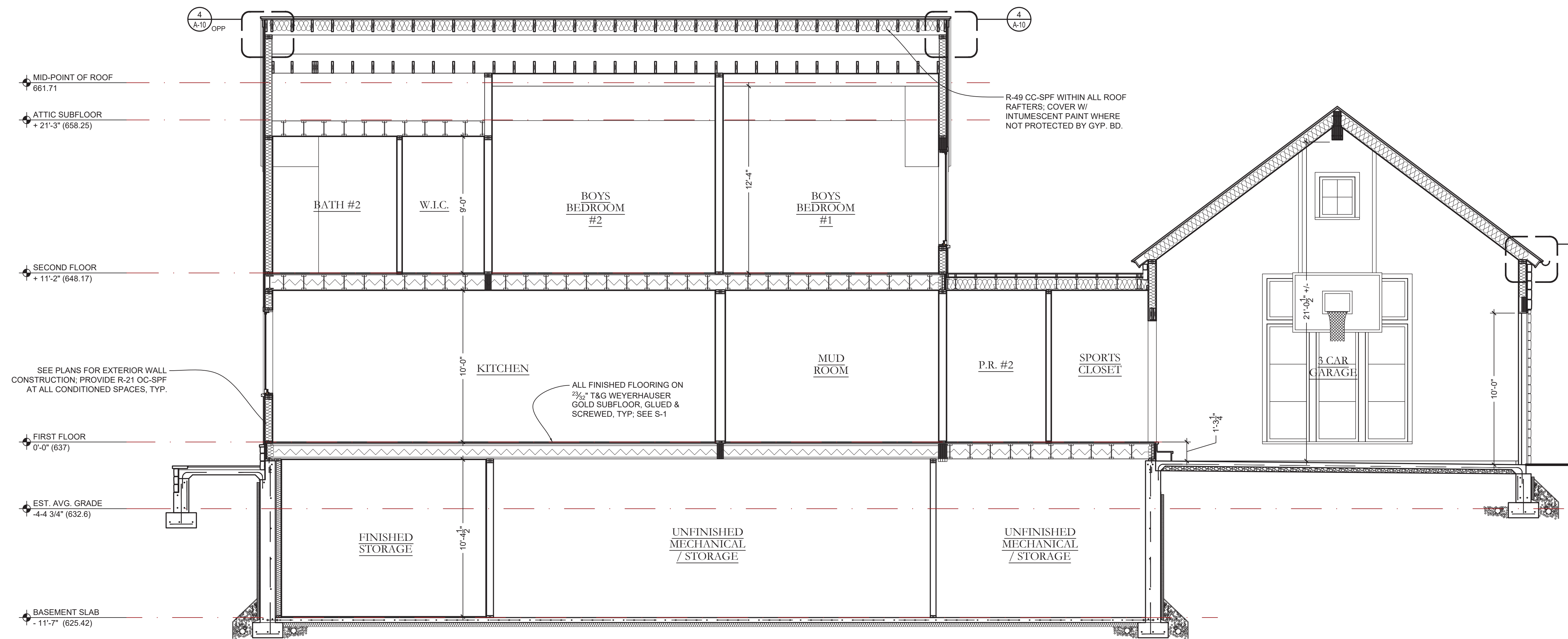
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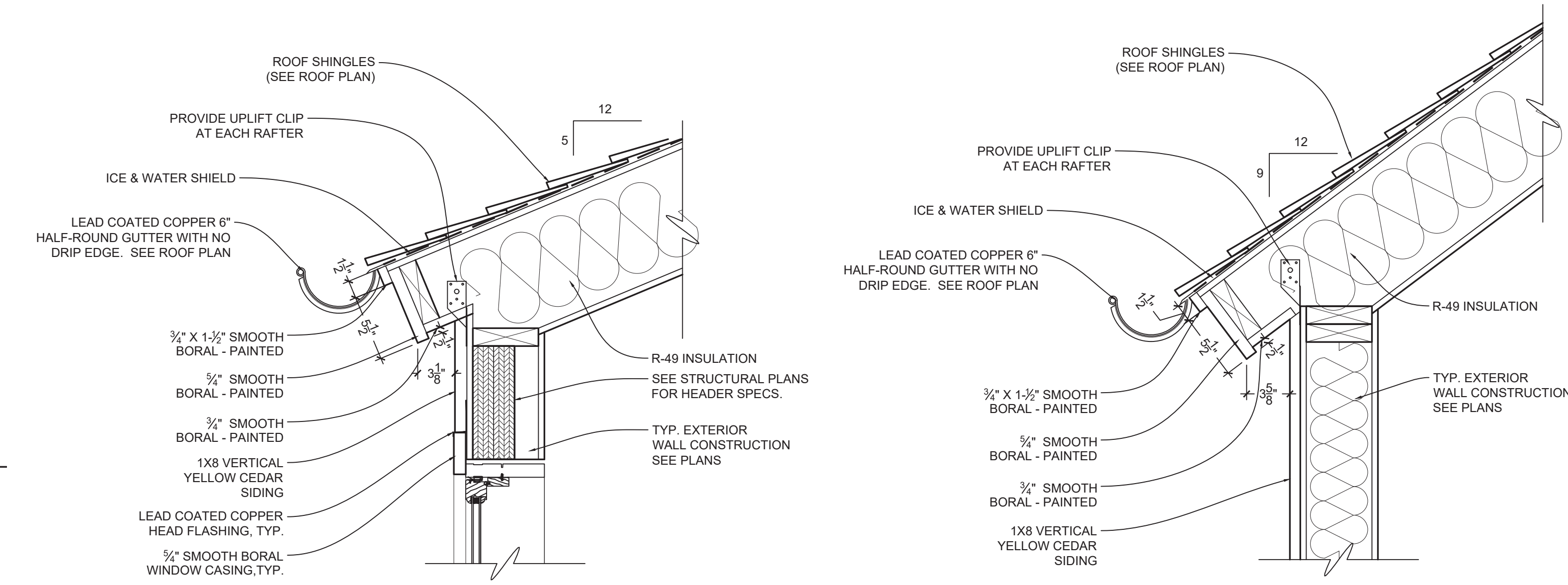
OWNER
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 Armonk, New York 10504

BUILDING SECTIONS

A-7

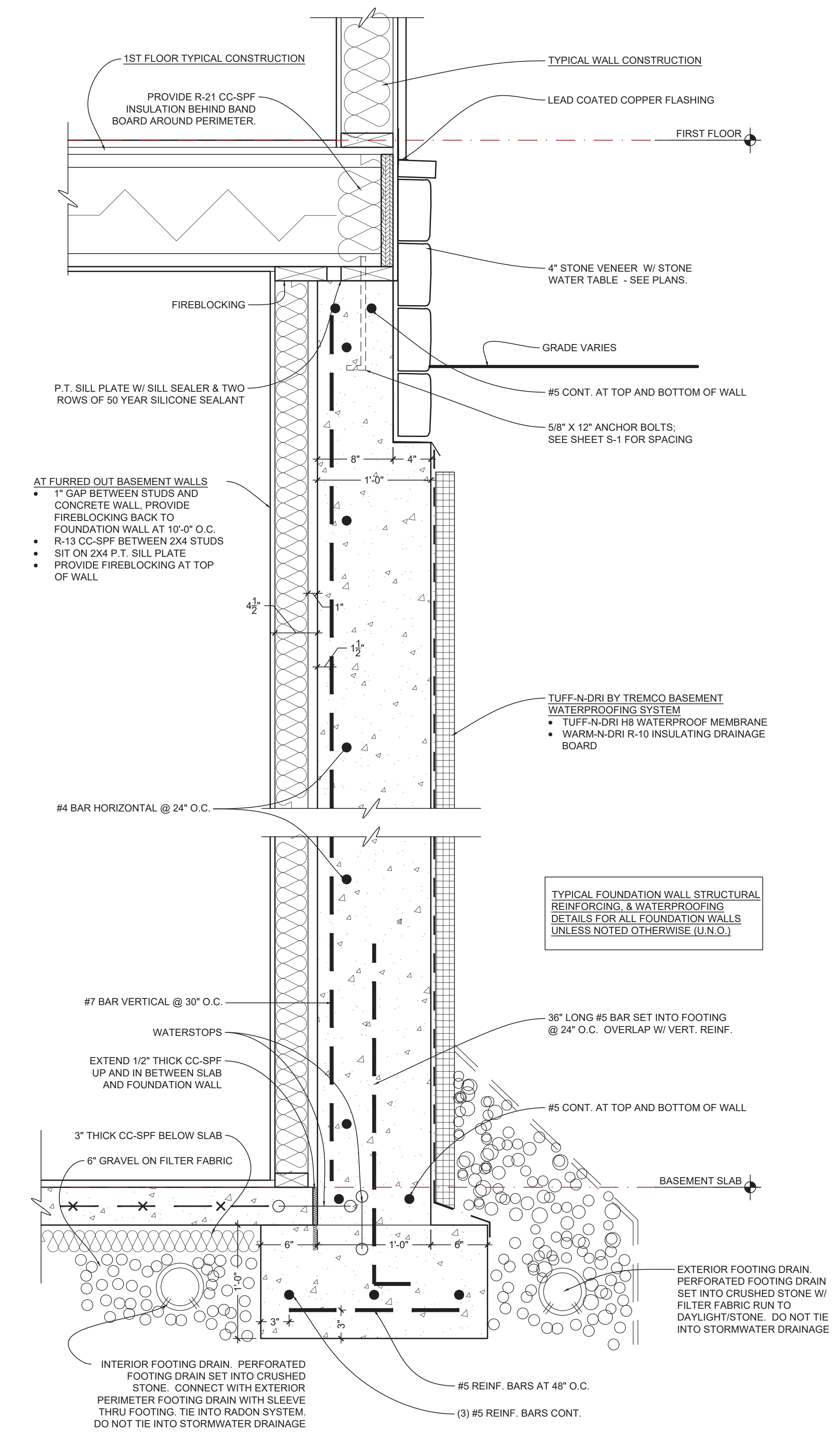


1 BUILDING SECTION
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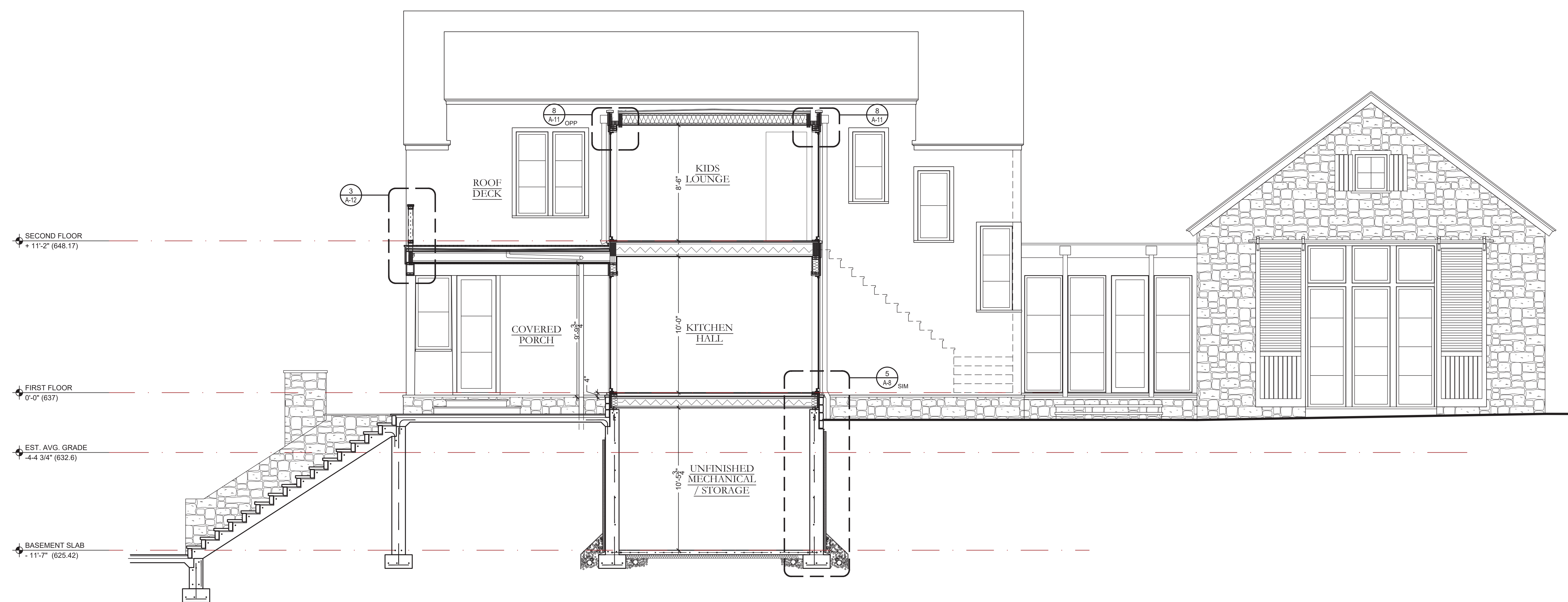


3 MAIN SHED ROOF EAVE DETAIL
 102-112

4 TYP. ROOF EAVE DETAIL
 102-112



5 TYP. FOUNDATION DETAIL W/ STONE SHELF
 102-112



2 BUILDING SECTION
 102-112



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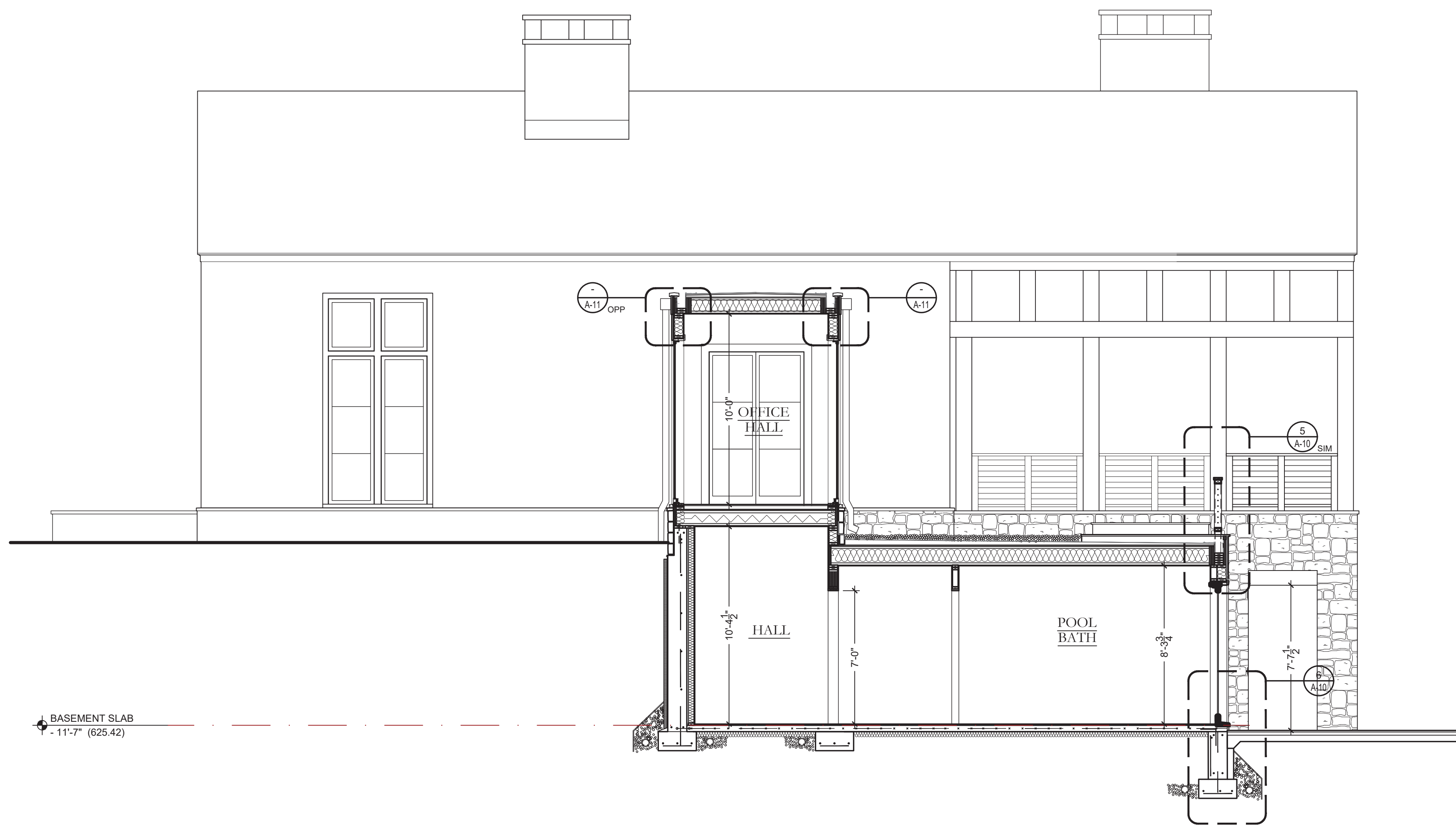
ISSUED FOR PERMIT

04.20.2021

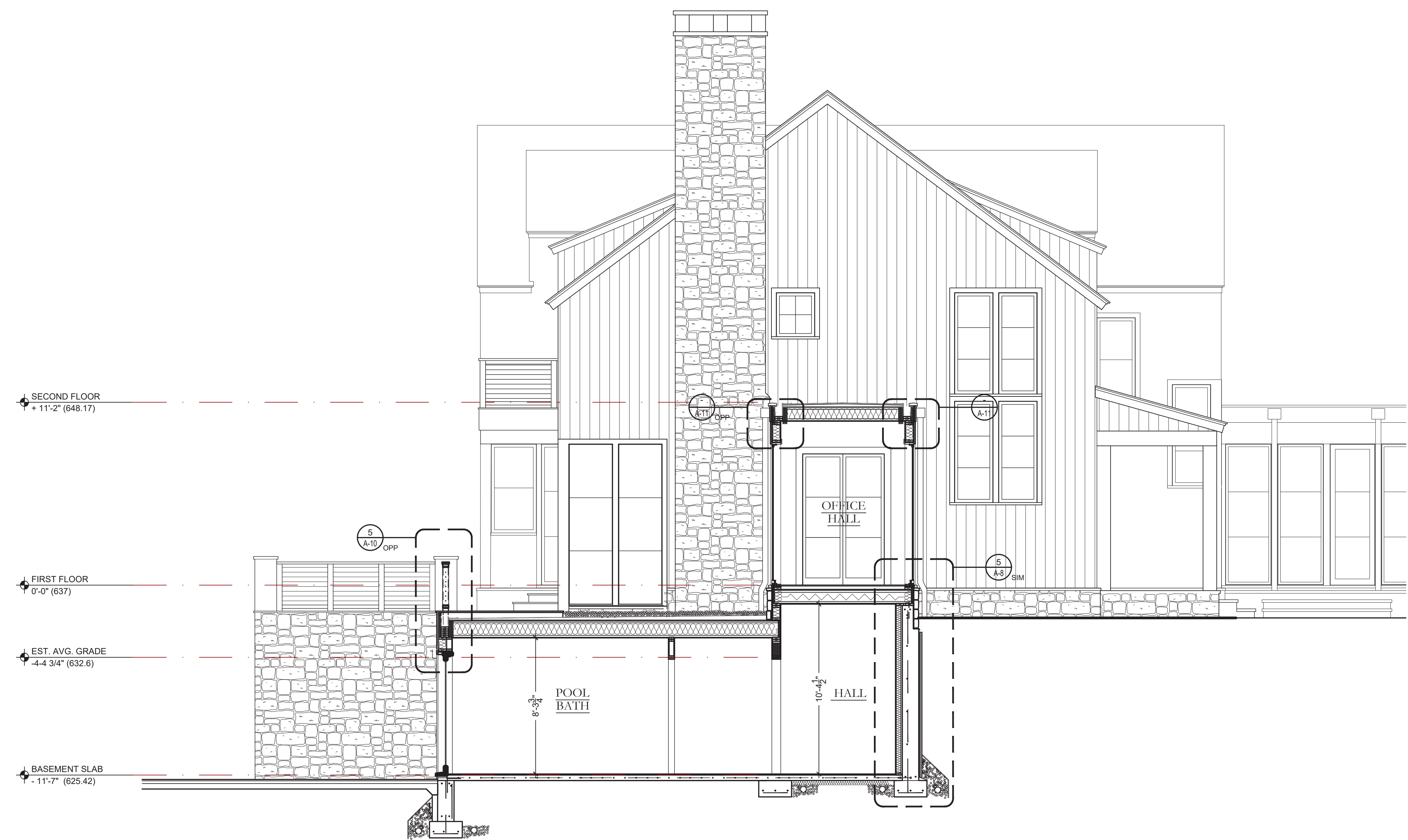
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 Ammonk, New York 10504

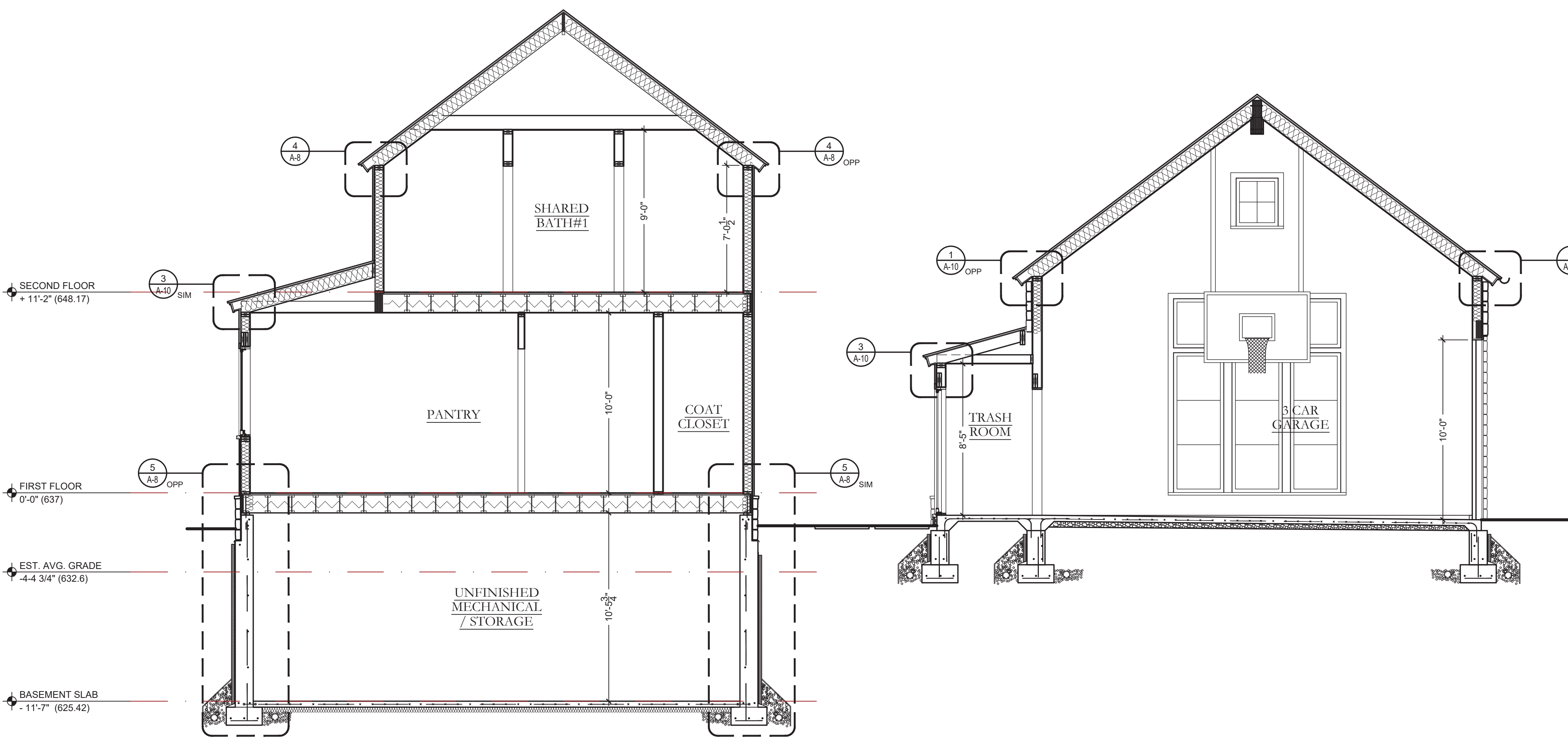
BUILDING SECTIONS & DETAILS



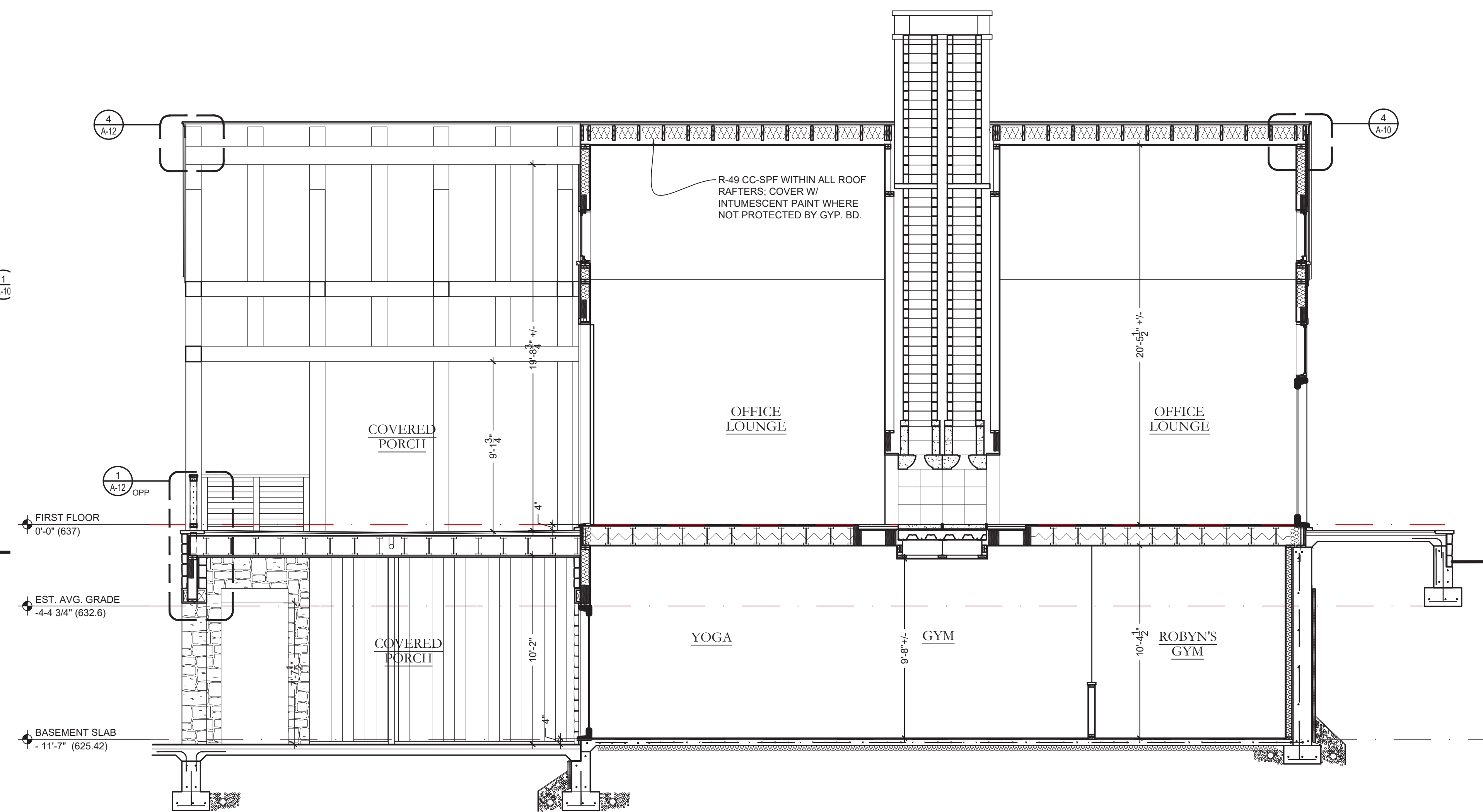
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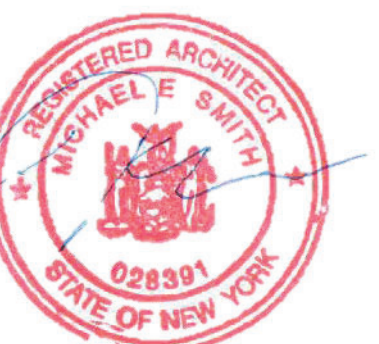
2 BUILDING SECTION
 1/8" = 1'-0"



3 BUILDING SECTION
 1/8" = 1'-0"



4 BUILDING SECTION
 1/8" = 1'-0"



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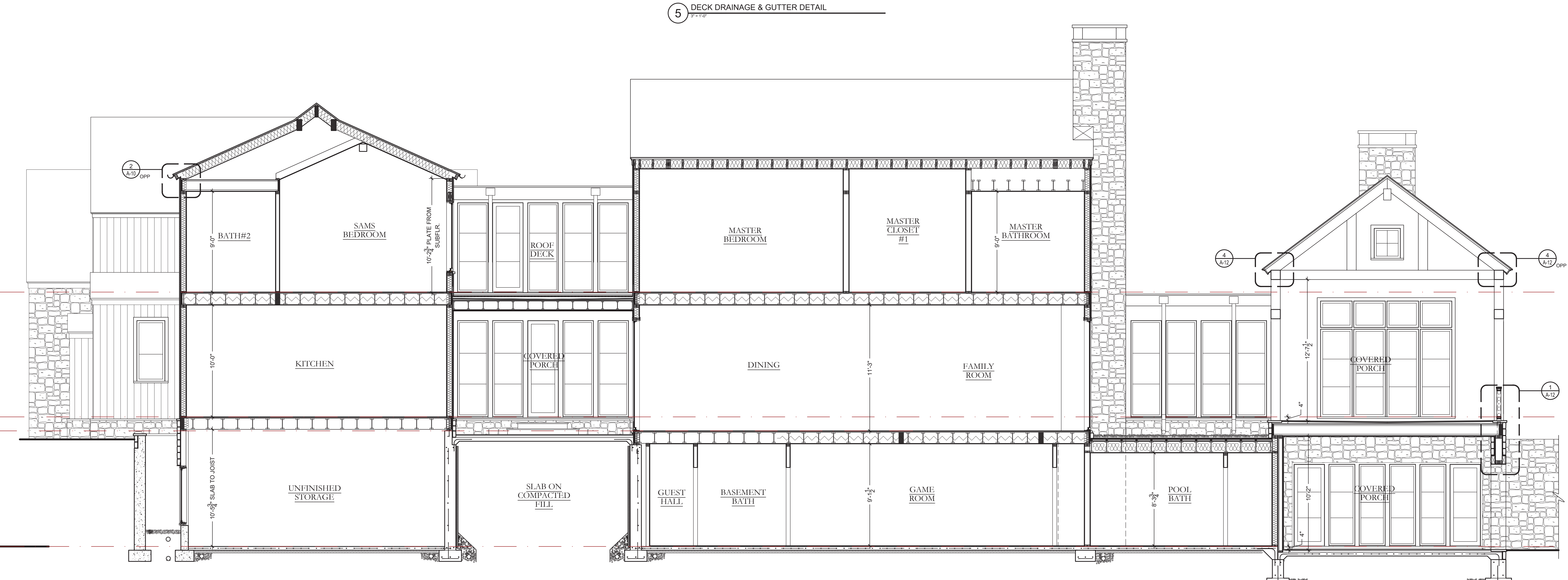
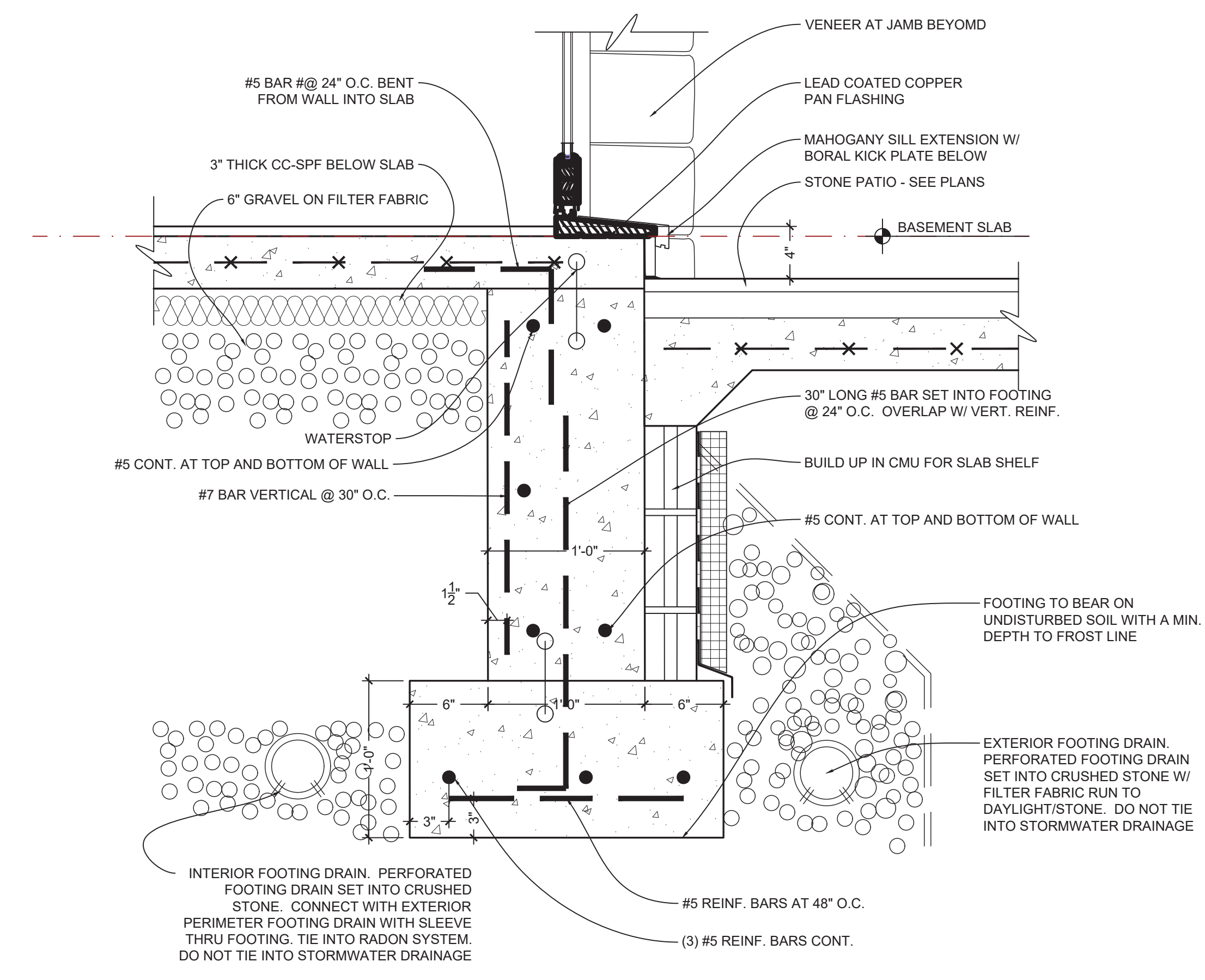
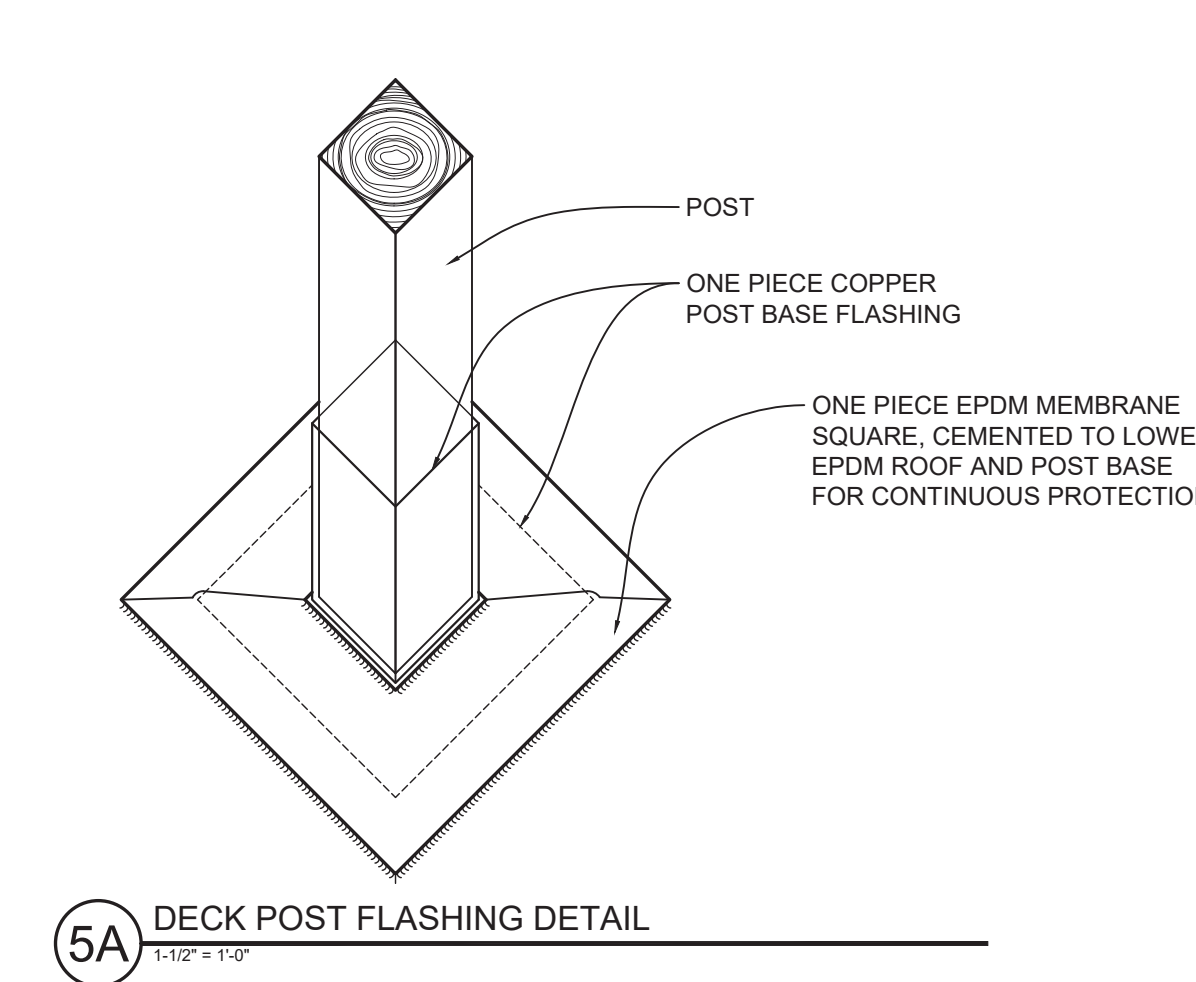
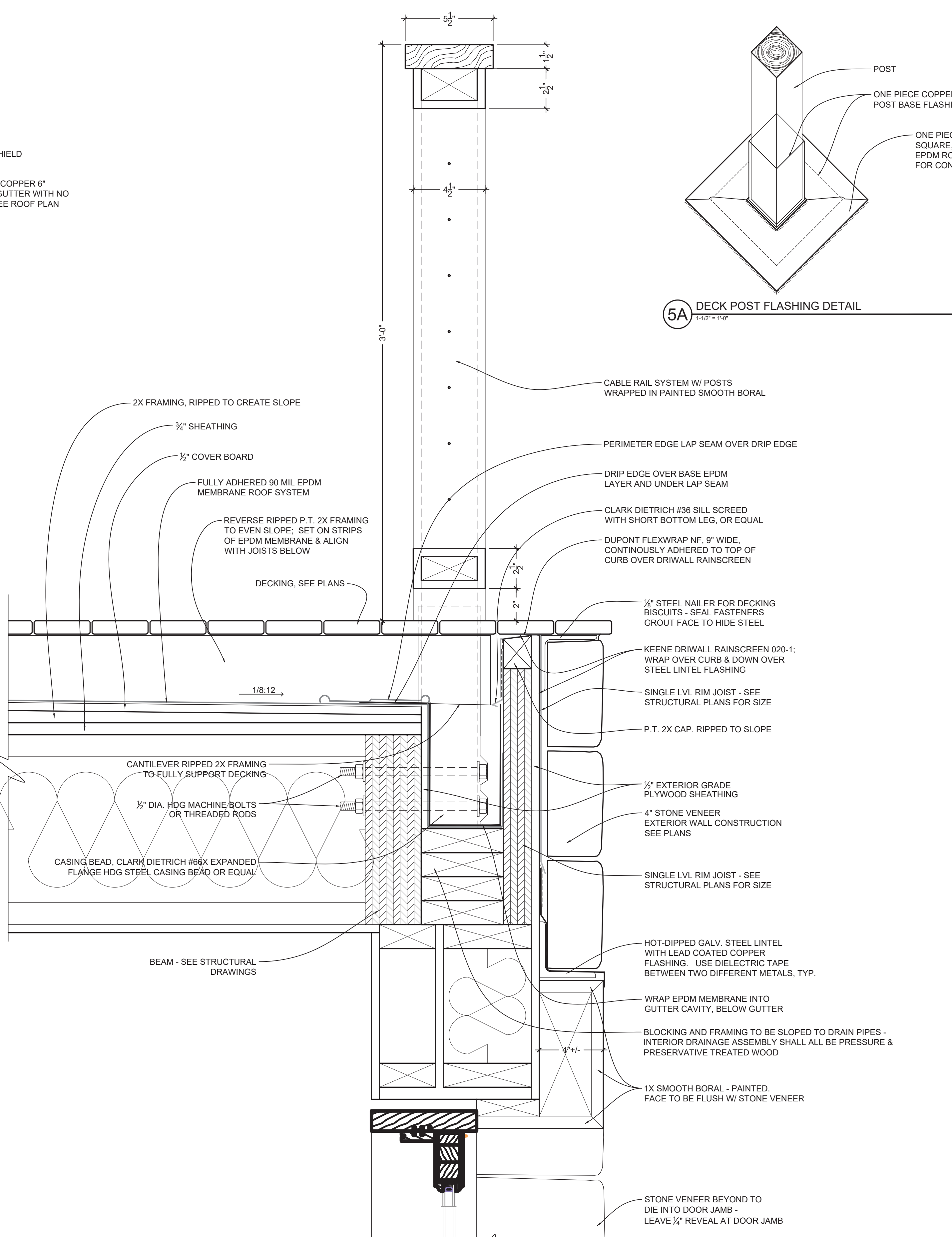
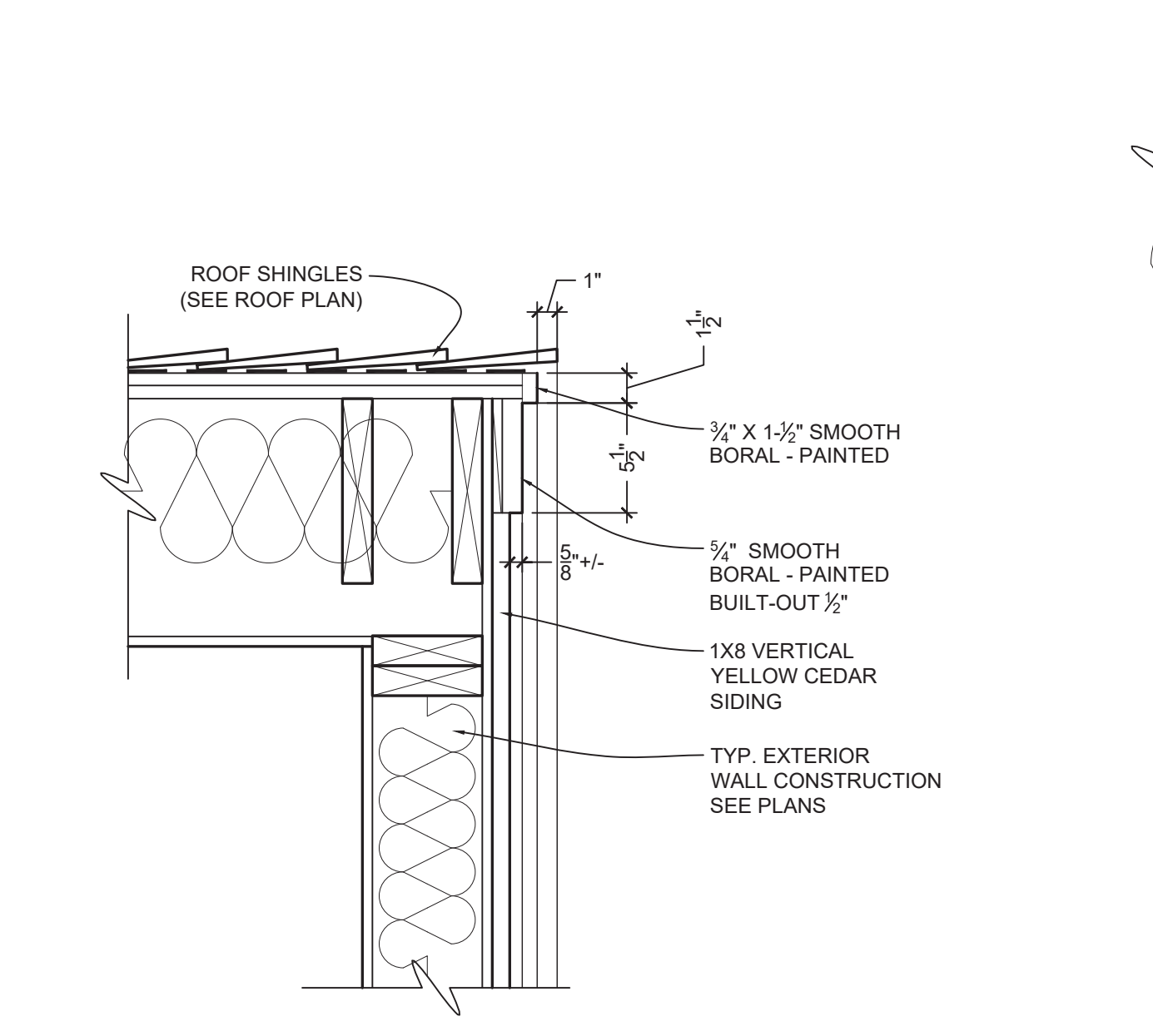
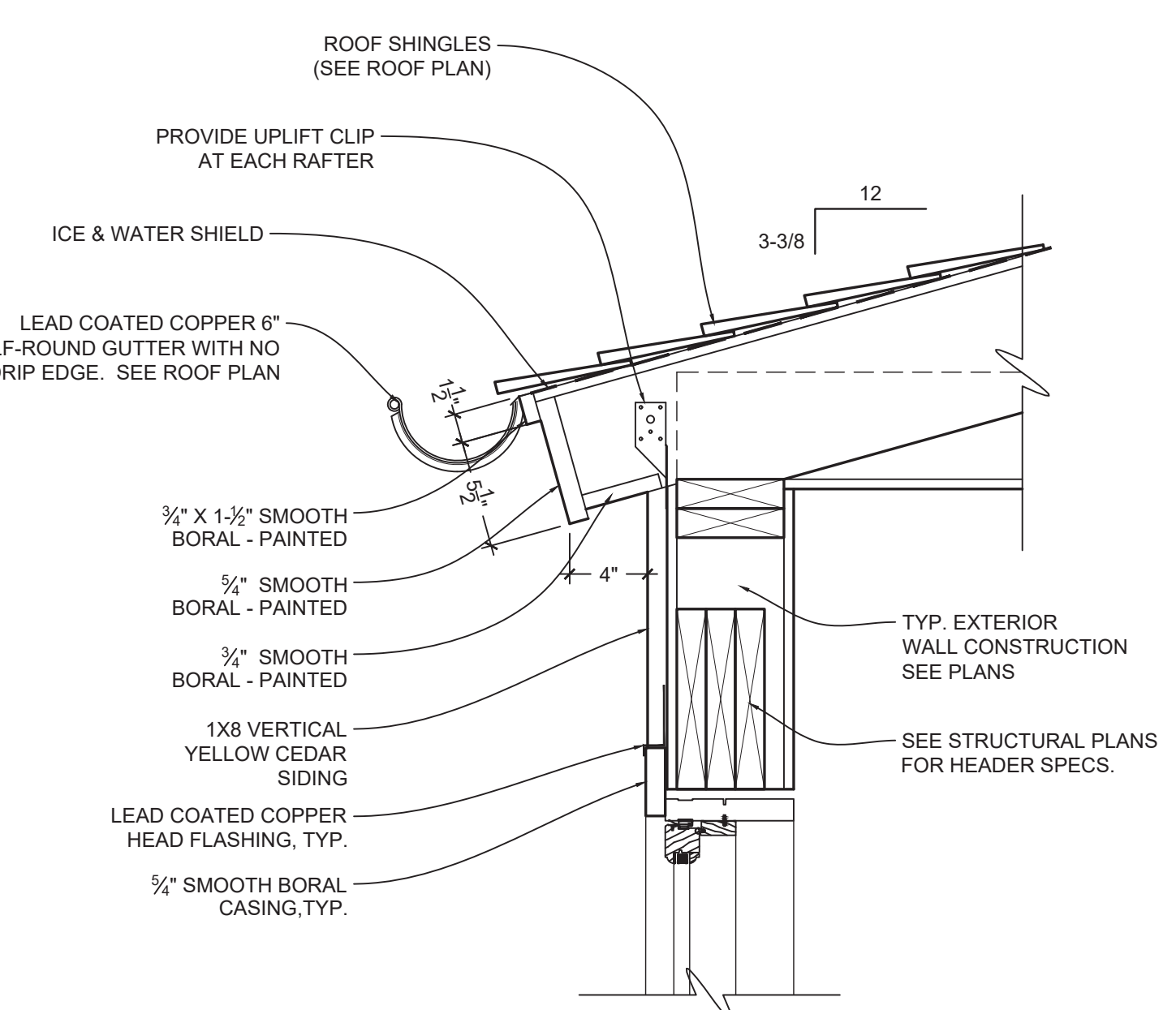
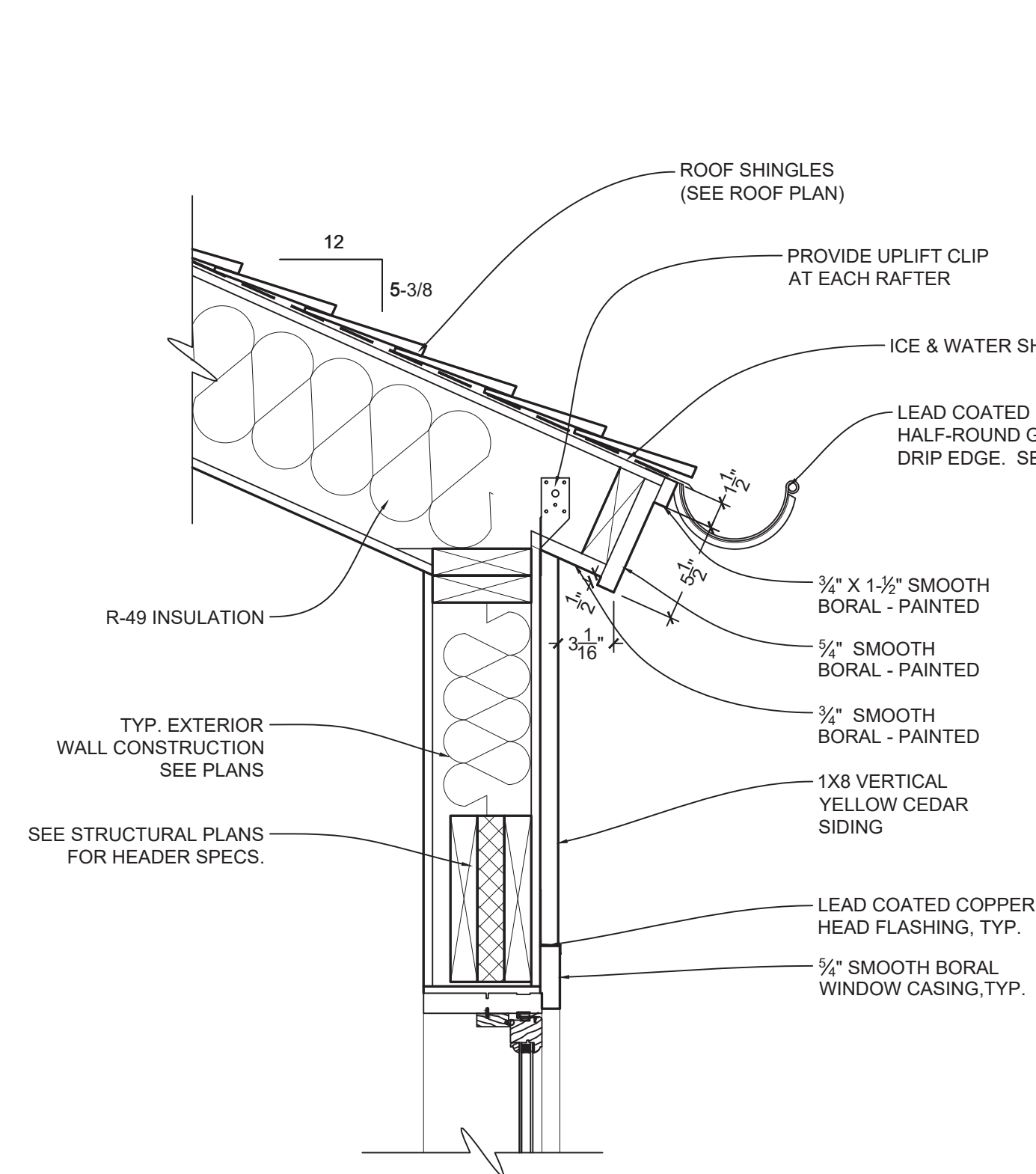
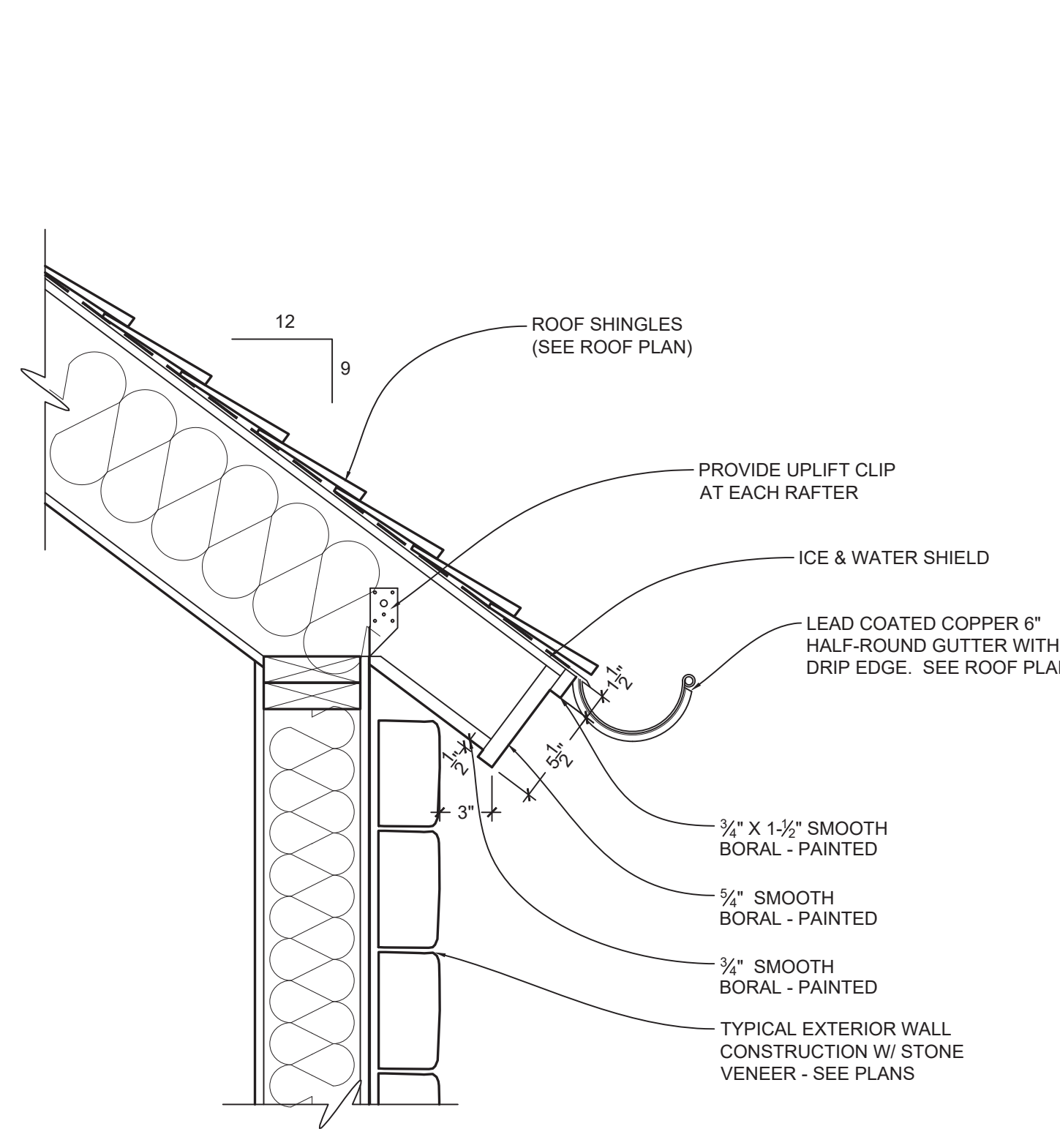
OWNER

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 3 Deer Ridge Lane
 Armonk, New York 10504

DATE: 04.20.2021

BUILDING SECTIONS & DETAILS

A-9



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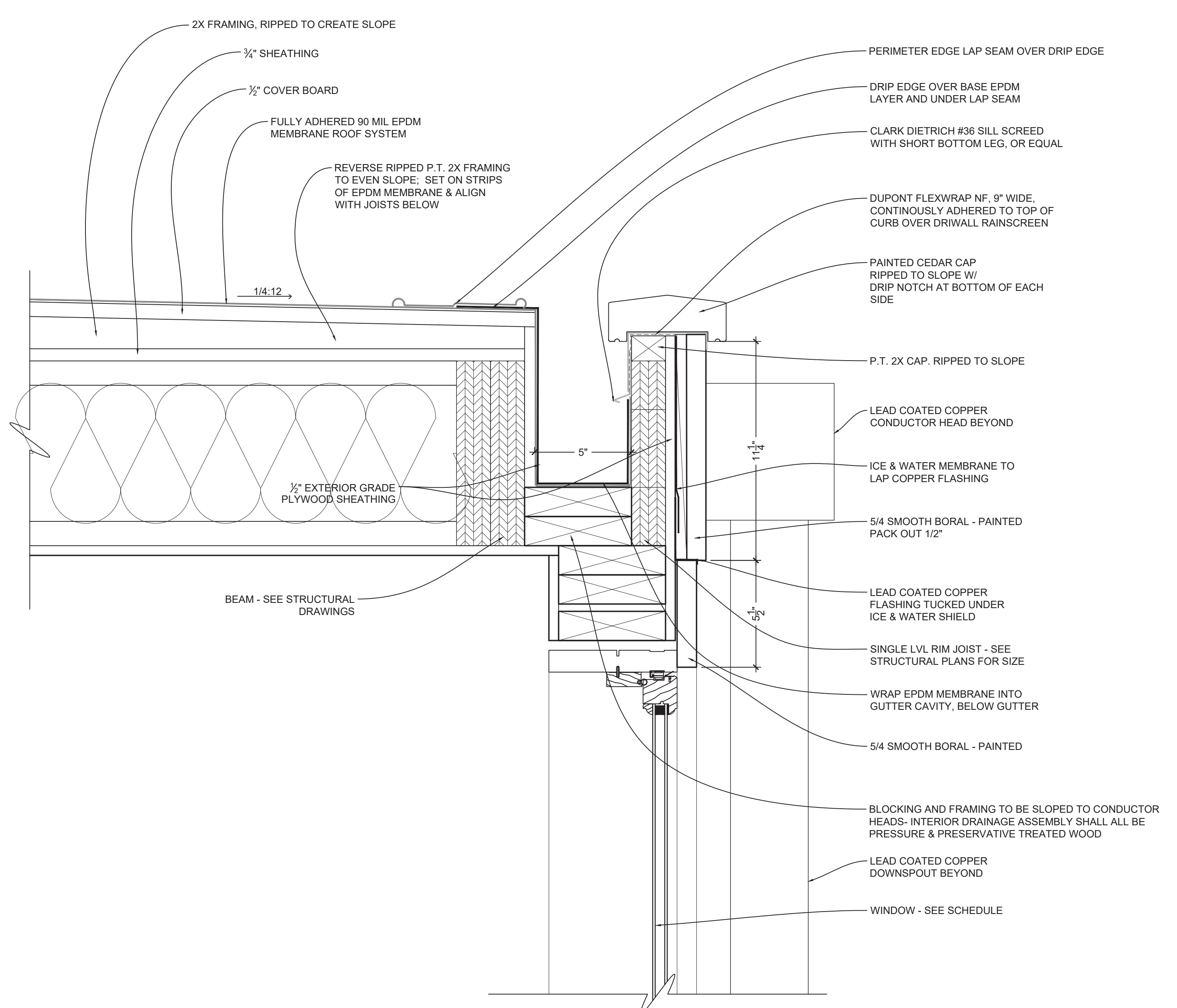
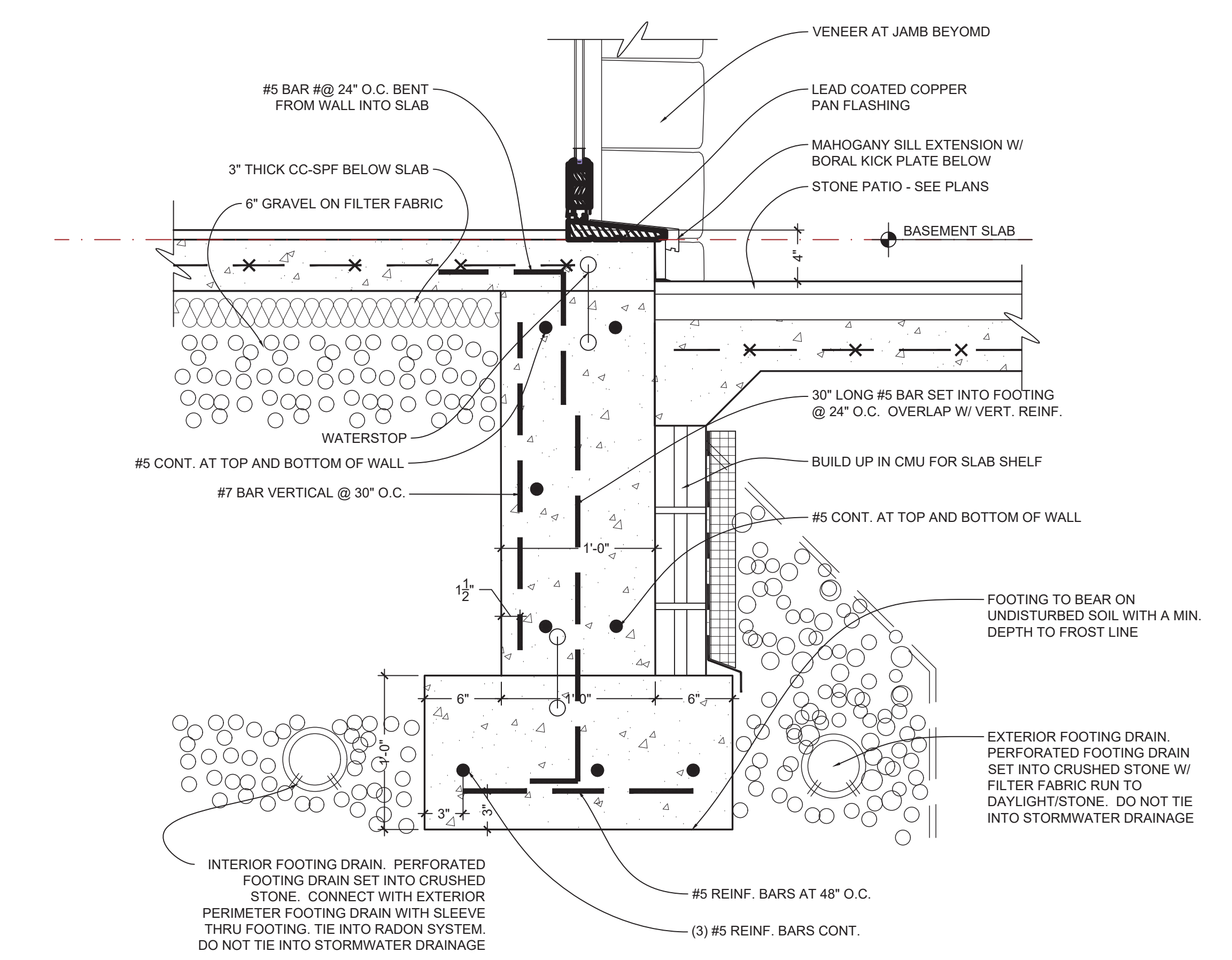
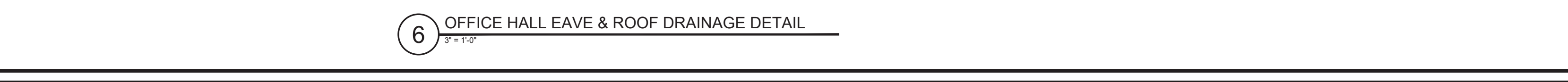
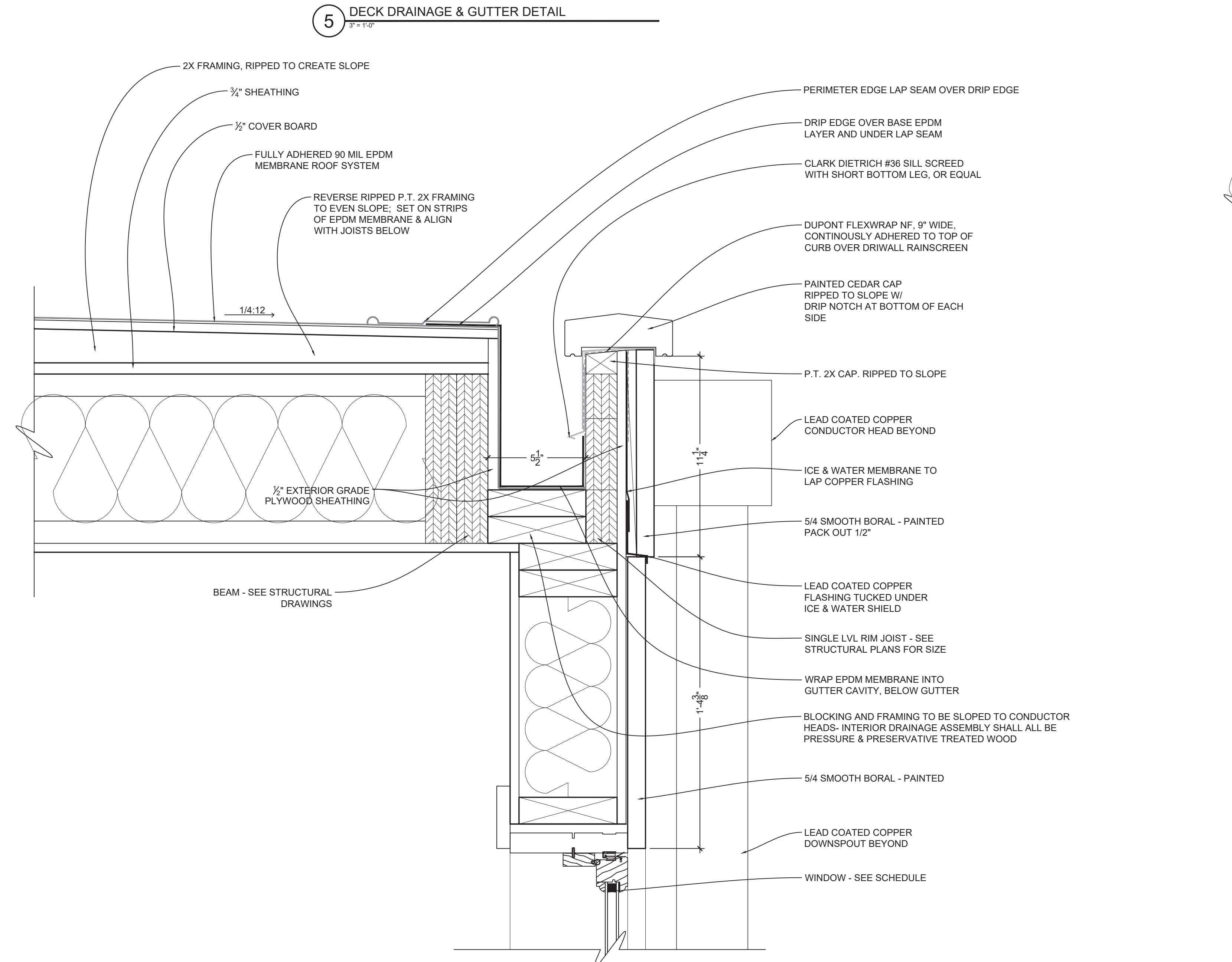
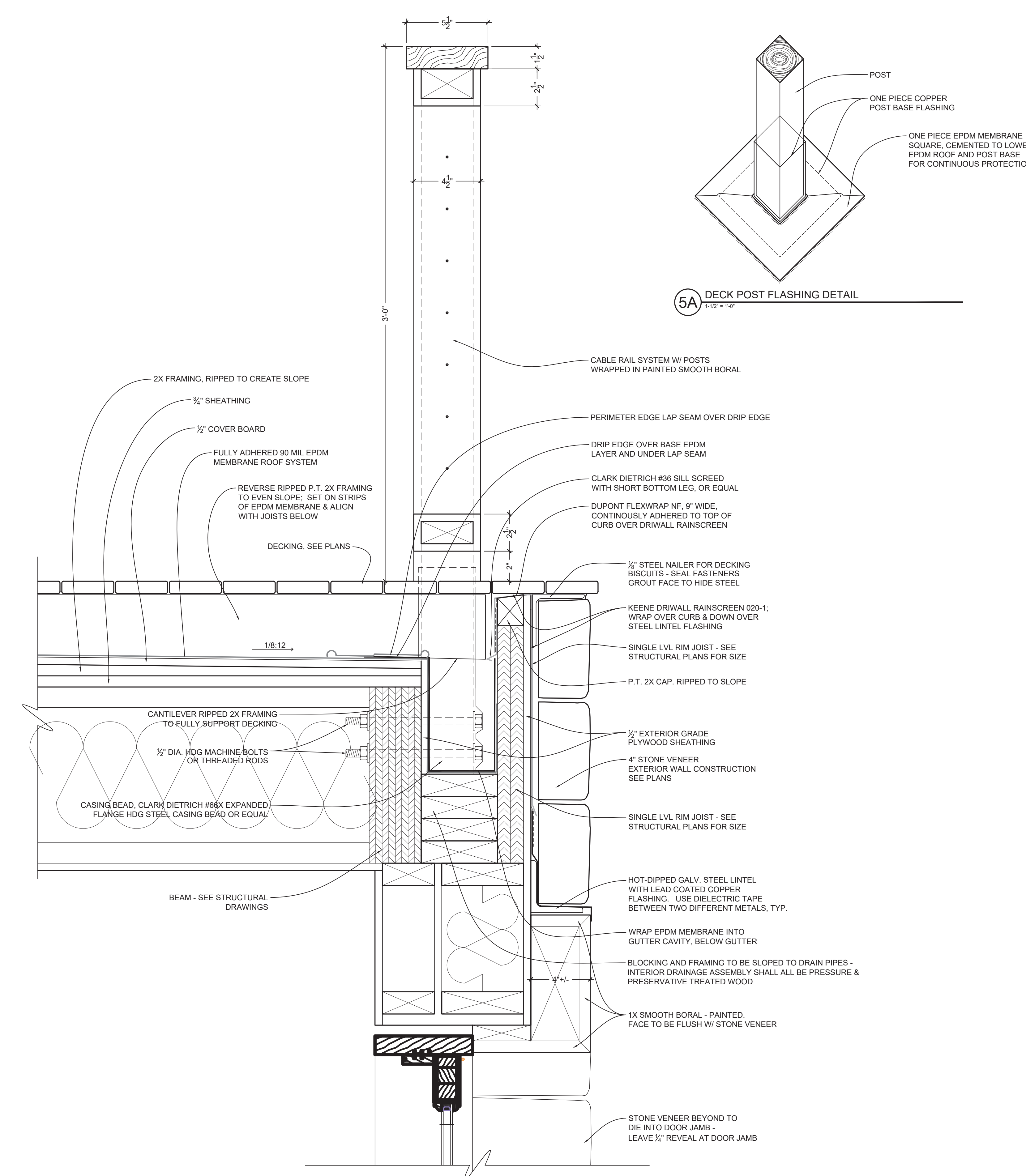
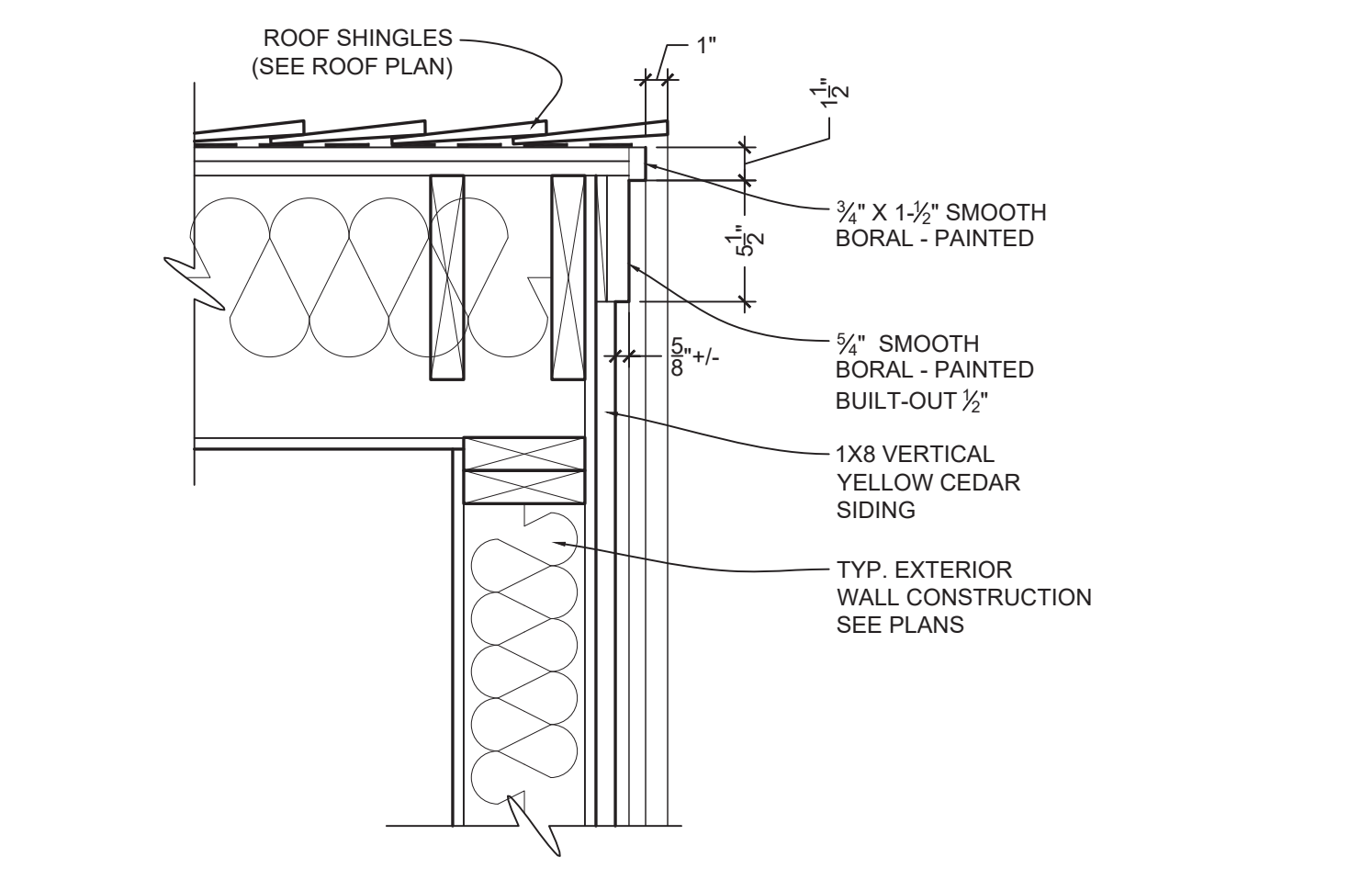
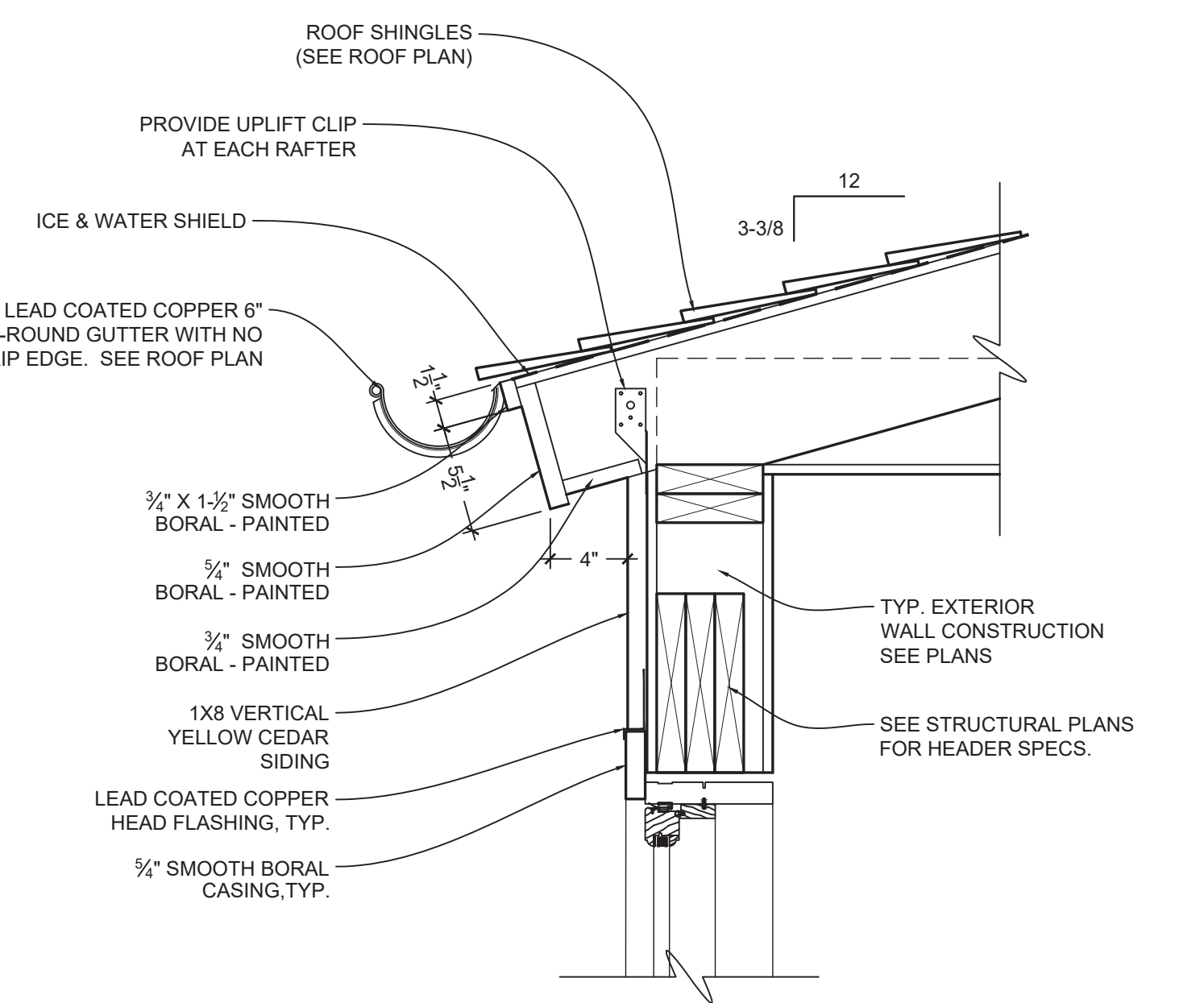
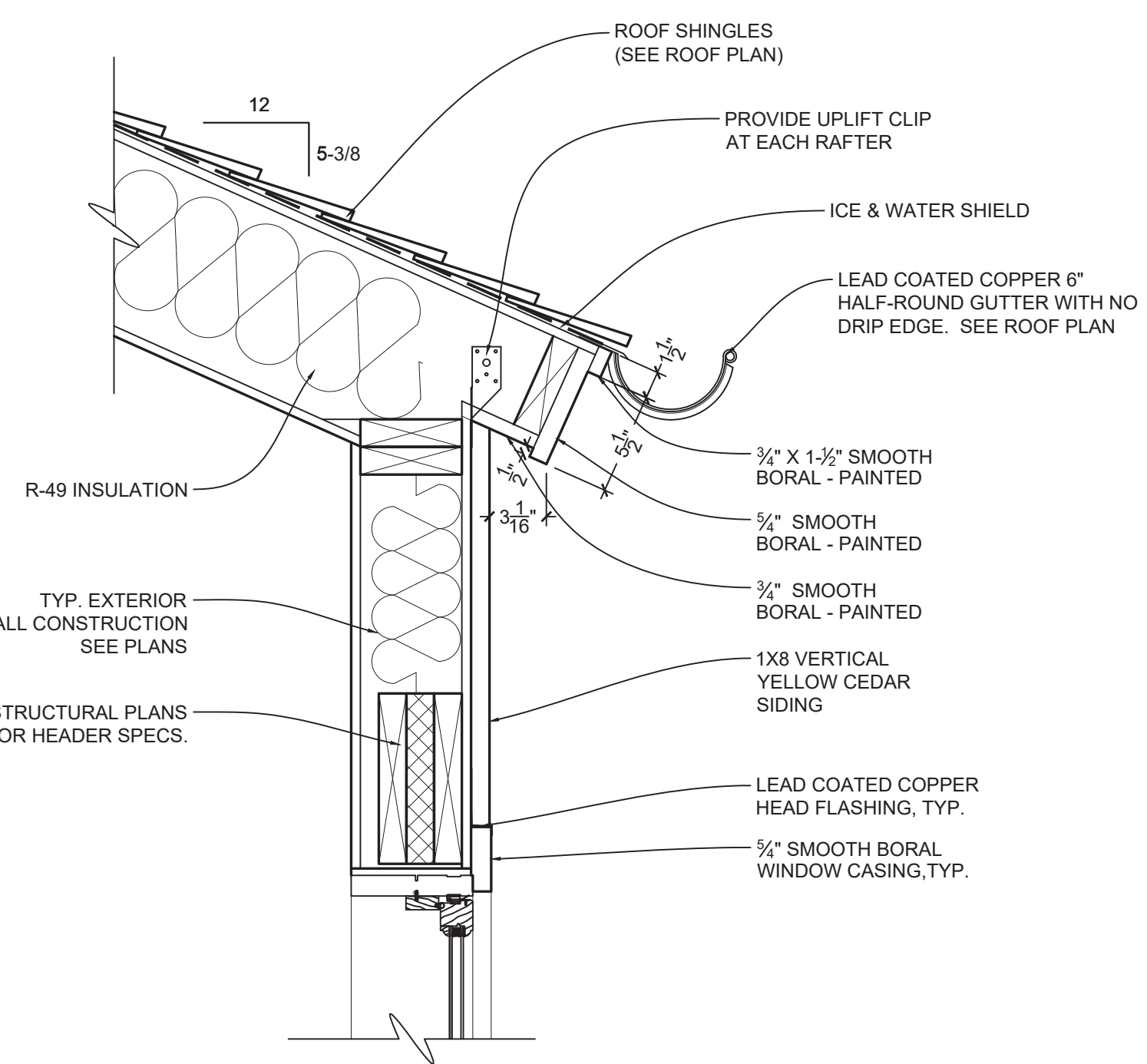
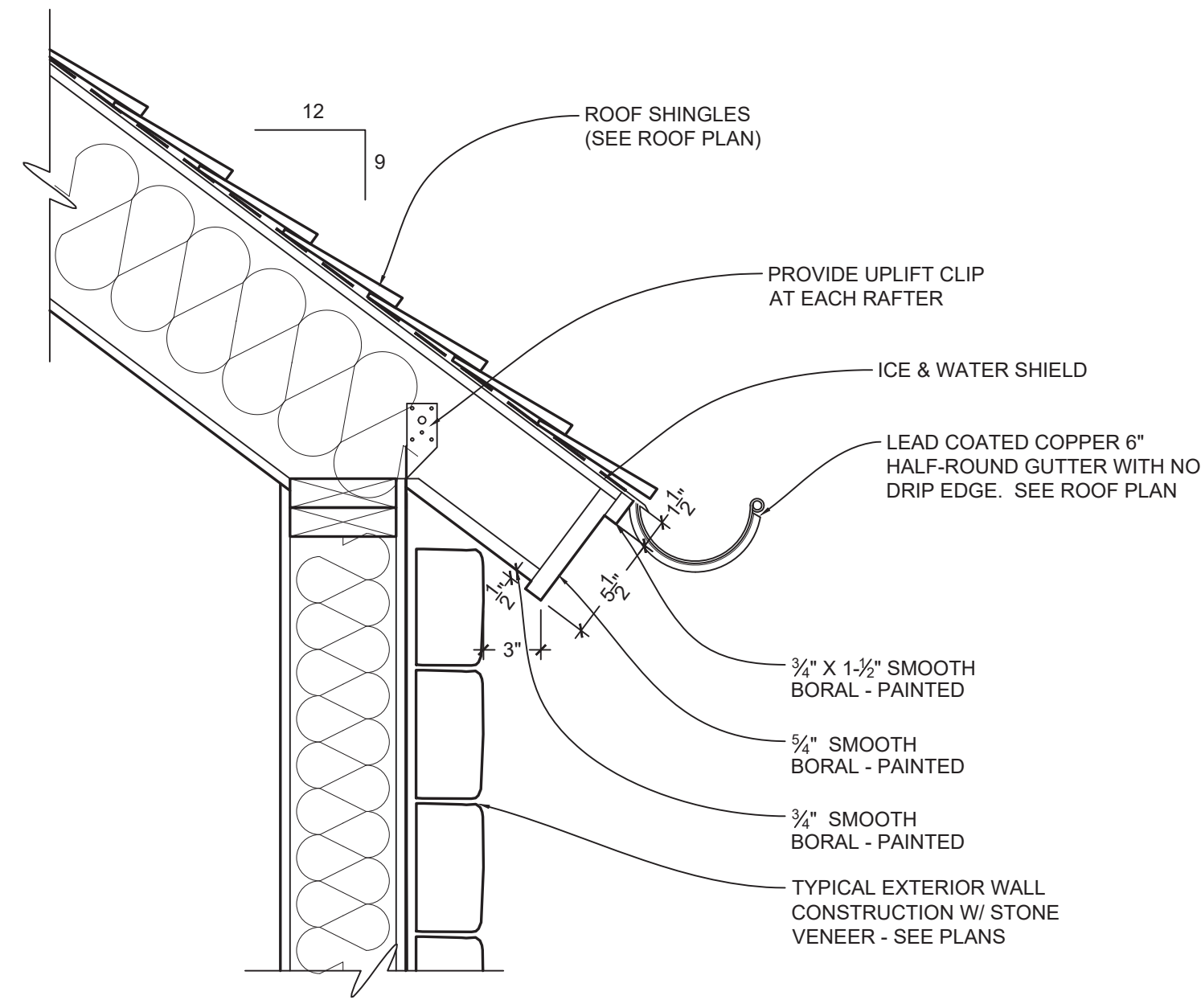
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BUILDING SECTION & CONSTRUCTION DETAILS



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 Armonk, New York 10504

CONSTRUCTION DETAILS

STRUCTURAL NOTES

- SEE SHEET S-1 FOR GENERAL STRUCTURAL NOTES.
- SEE SHEET S-1 FOR CONNECTION DETAILS. CONTRACTOR TO PROVIDE CONNECTIONS AS SHOWN U.N.O.
- SEE SHEET S-1 FOR POSTS AND FRAMING INFORMATION.
- ALL OPENINGS IN EXTERIOR WALLS AND INTERIOR BEARING WALLS TO HAVE (2) 2x10 HEADERS U.N.O. 2x6 EXTERIOR WALLS SHALL HAVE 1 1/2" RIGID INSULATION BETWEEN THE (2) 2x10 HEADERS.
- ALL BEAMS NOT LOCATED IN EXTERIOR WALLS SHALL BE UPSET INTO CEILING AND/OR RAFTER CAVITY UNLESS LABELED AS "DROPPED." ALL BEAMS LOCATED IN EXTERIOR WALLS SHALL BE DROPPED UNLESS NOTED "UPSET."

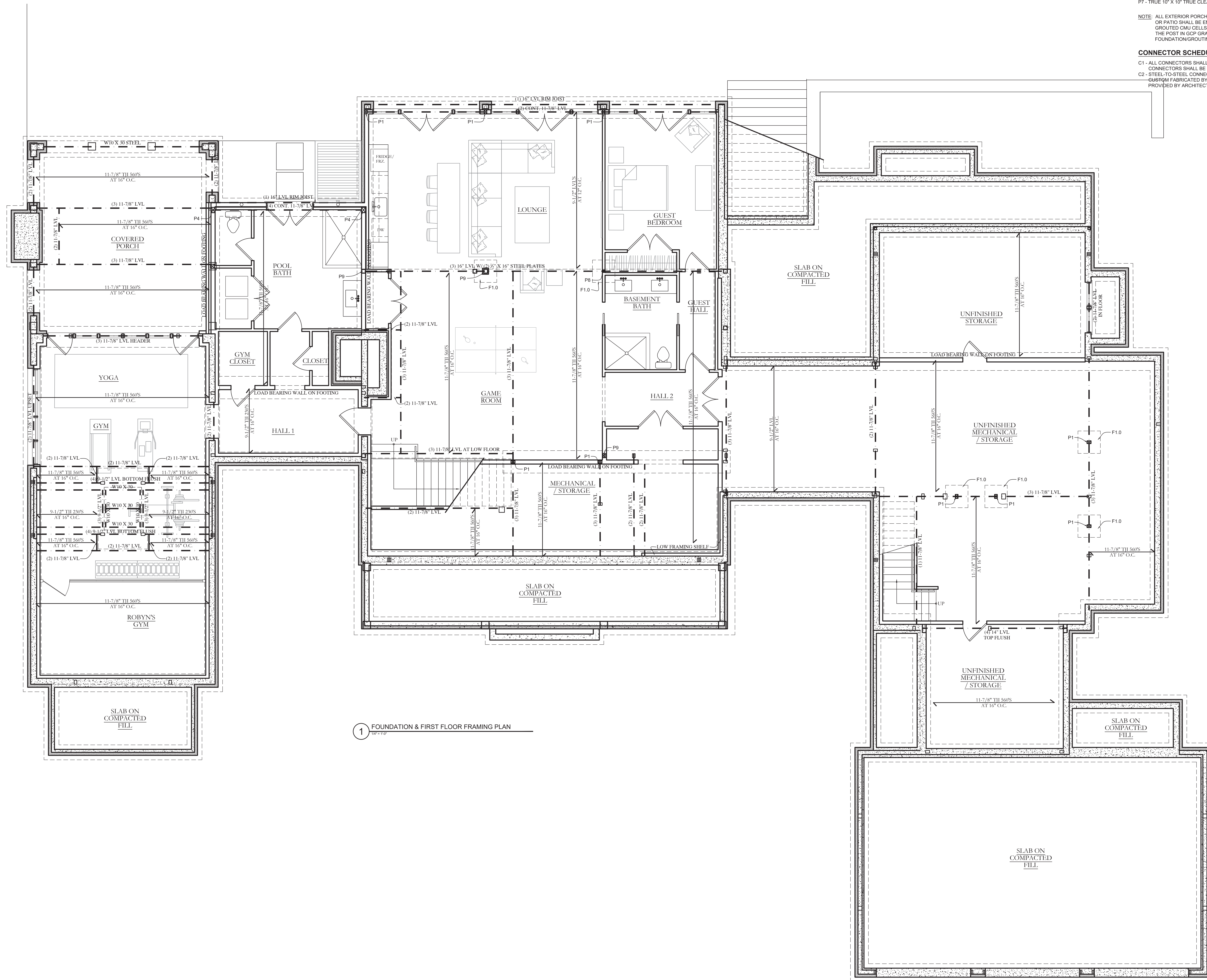
POST SCHEDULE

- P1 - ALL POSTS U.N.O. 3 1/2" X 5 1/2" PARALLEL STRAND LUMBER (PSL) POST; SEE PLANS.
- P2 - 3 1/2" X 3 1/2" PSL POST; SEE PLANS.
- P3 - 4 1/4" X 5 1/4" PSL POST; SEE PLANS.
- P4 - 5 1/4" X 7" PSL POST; SEE PLANS.
- P5 - (3) CHANGED 2x6 OR 2x4 POST; SEE PLANS.
- P6 - P.T. 6x6 POST; SEE PLANS.
- P7 - TRUE 10" X 10" TRUE CLEAR CEDAR TIMBER POSTS.

NOTE: ALL EXTERIOR PORCH/PATIO POSTS LOCATED AT AN OUTSIDE CORNER OF THE PORCH OR PATIO SHALL BE EMBEDDED INTO THE CONCRETE FOUNDATION OR INTO FULLY GROUTED CMU CELLS TO A MINIMUM DEPTH OF 36". WRAP THE EMBEDDED PORTION OF THE POST IN GCP GRADE ICE & WATER SHIELD PRIOR TO POURING THE FOUNDATION/ROUTING THE CELLS.

CONNECTOR SCHEDULE

- C1 - ALL CONNECTORS SHALL BE SUBMITTED FOR REVIEW UNLESS SCHEDULED BELOW. ALL CONNECTORS SHALL BE CONNECTED PER SCHEDULE ON SHEET S-1.
- C2 - STEEL-TO-STEEL CONNECTIONS AND FLITCH BEAM HANGERS SHALL BE ENGINEERED AND FABRICATED BY CONTRACTOR'S STEEL FABRICATOR PER END BEARING LOADS PROVIDED BY ARCHITECT.



1 FOUNDATION & FIRST FLOOR FRAMING PLAN
10/21/21



REVISIONS / ADDENDA

ISSUED FOR PERMIT

04.20.2021

PROJECT NAME
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OWNER
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FOUNDATION & FIRST FLOOR FRAMING PLAN

STRUCTURAL NOTES

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- SEE SHEET S-1 FOR CONNECTION DETAILS. CONTRACTOR TO PROVIDE CONNECTIONS AS SHOWN U.N.O.
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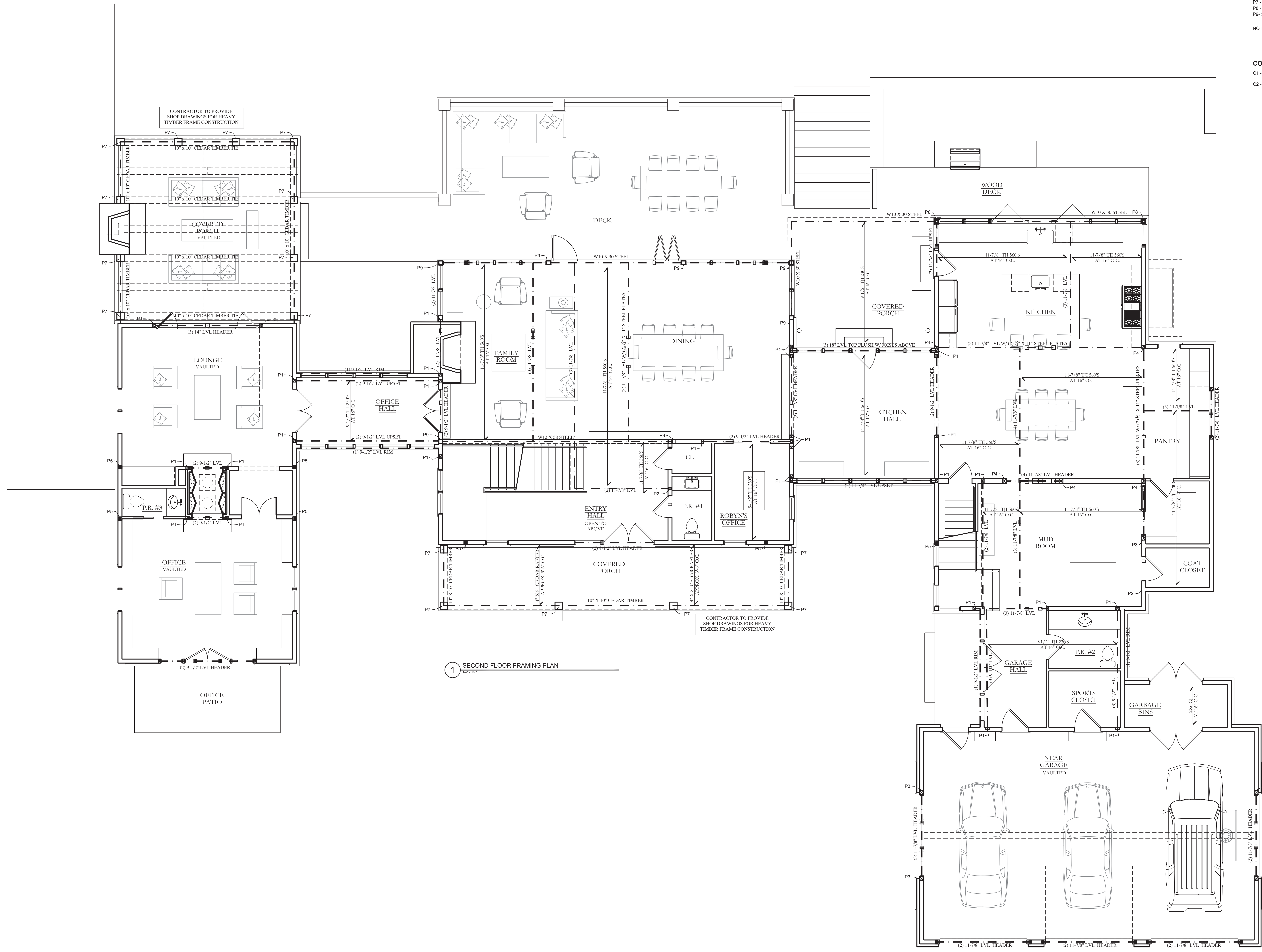
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- P2 - 3 1/2" X 3-1/2" PSL POST. SEE PLANS.
- P3 - 5-1/4" X 5-1/4" PSL POST. SEE PLANS.
- P4 - 5-1/4" X 7" PSL POST. SEE PLANS.
- P5 - (3) GANGED 2x6 OR 2x4 POST. SEE PLANS.
- P6 - P1 6X6 POST. SEE PLANS.
- P7 - TRUE 10" X 10" TRUE CLEAR CEDAR TIMBER POSTS.
- P8 - 3-1/2" X 3-1/2" X 1/2" STEEL TUBE.
- P9 - 5-1/2" X 5-1/2" X 1/2" STEEL TUBE.

NOTE: ALL EXTERIOR PORCH/PATIO POSTS LOCATED AT AN OUTSIDE CORNER OF THE PORCH OR PATIO SHALL BE EMBEDDED INTO THE CONCRETE FOUNDATION OR INTO FULLY GROUTED CMU CELLS TO A MINIMUM DEPTH OF 36". WRAP THE EMBEDDED PORTION OF THE POST IN GCP GRACE ICE & WATER SHIELD PRIOR TO POURING THE FOUNDATION/GROUTING THE CELLS.

CONNECTOR SCHEDULE

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- C2 - STEEL TO STEEL CONNECTIONS AND FLITCH BEAM HANGERS SHALL BE ENGINEERED AND CUSTOM FABRICATED BY CONTRACTOR'S STEEL FABRICATOR PER END BEARING LOADS PROVIDED BY ARCHITECT.



1 SECOND FLOOR FRAMING PLAN
10-11-22



REVISIONS / ADDENDA

ISSUED FOR PERMIT

04.20.2021

PROJECT NAME

Frank Residence

OWNER
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 3 Deer Ridge Lane
 Armonk, New York 10504

SECOND FLOOR FRAMING PLAN

S-3

STRUCTURAL NOTES

- SEE SHEET S-1 FOR GENERAL STRUCTURAL NOTES.
- SEE SHEET S-1 FOR CONNECTION DETAILS. CONTRACTOR TO PROVIDE CONNECTIONS AS SHOWN U.N.D.
- SEE SHEET S-1 FOR POSTS AND FRAMING INFORMATION.
- ALL OPENINGS IN EXTERIOR WALLS AND INTERIOR BEARING WALLS TO HAVE (2) 2x10 HEADERS U.N.D. 2x6 EXTERIOR WALLS SHALL HAVE 1/2" RIGID INSULATION BETWEEN THE (2) 2x10 HEADERS.
- ALL BEAMS NOT LOCATED IN EXTERIOR WALLS SHALL BE UPSET INTO CEILING AND/OR RAFTER CAVITY UNLESS LABELED AS "DROPPED". ALL BEAMS LOCATED IN EXTERIOR WALLS SHALL BE DROPPED UNLESS NOTED "UPSET".

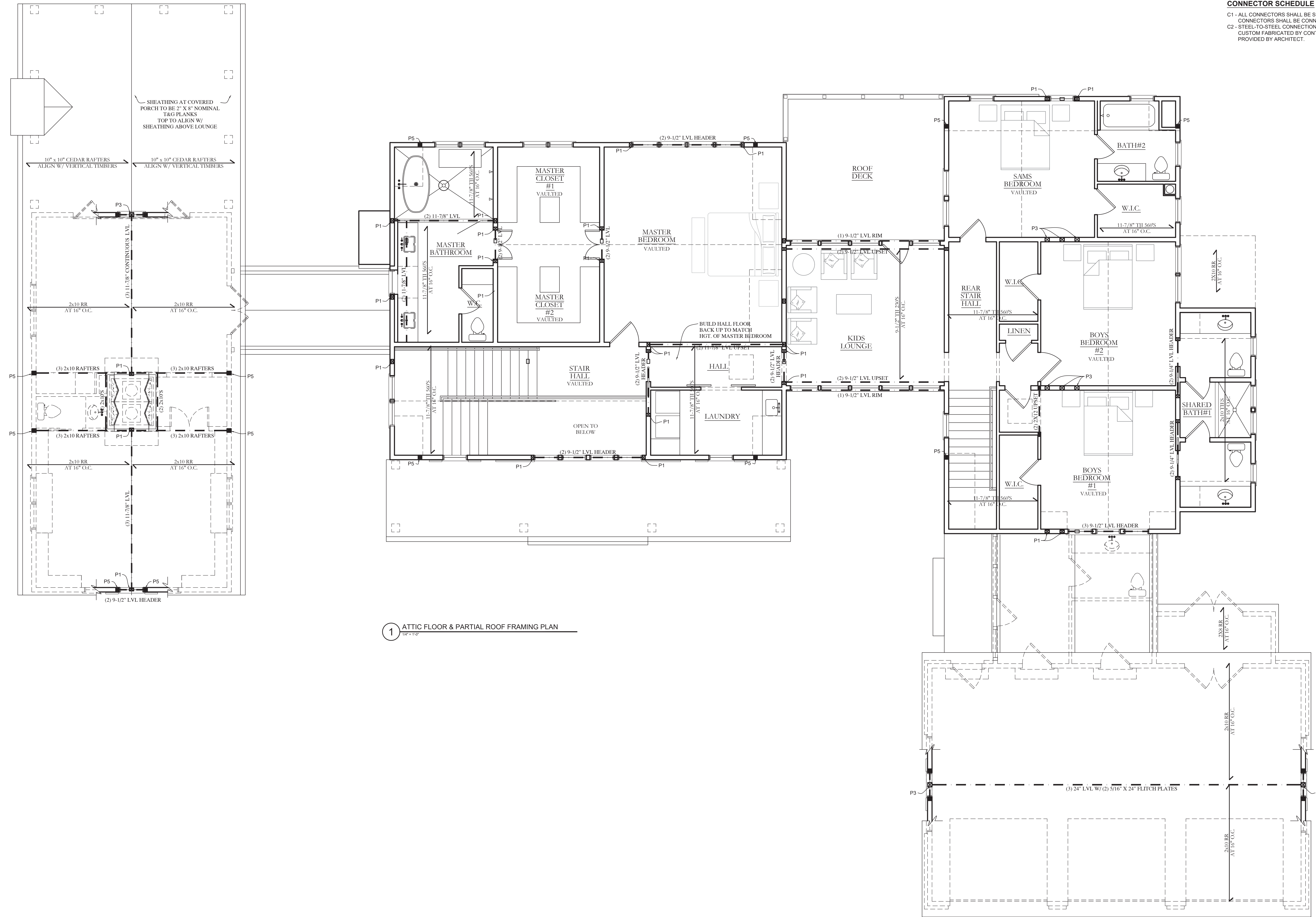
POST SCHEDULE

- P1 - ALL POSTS U.N.D. 3/4" X 6 1/2" PARALLEL STRAND LUMBER (PSL) POST; SEE PLANS.
- P2 - 3/4" X 3 1/2" PSL POST; SEE PLANS.
- P3 - 5/4" X 5 1/4" PSL POST; SEE PLANS.
- P4 - 5/4" X 7 1/8" PSL POST; SEE PLANS.
- P5 - (3) GANGED 2X6 OR 2X4 POST; SEE PLANS.
- P6 - 1.0X6 POST; SEE PLANS.
- P7 - TRUE 10" X 10" TRUE CLEAR CEDAR TIMBER POSTS

NOTE: ALL EXTERIOR PORCH/PATIO POSTS LOCATED AT AN OUTSIDE CORNER OF THE PORCH OR PATIO SHALL BE EMBEDDED INTO THE CONCRETE FOUNDATION OR INTO FULLY GROUTED CMU CELLS TO A MINIMUM DEPTH OF 36". WRAP THE EMBEDDED PORTION OF THE POST IN GSP GRACE & WATER SHIELD PRIOR TO POURING THE FOUNDATION/GROUTING THE CELLS.

CONNECTOR SCHEDULE

- C1 - ALL CONNECTORS SHALL BE SUBMITTED FOR REVIEW UNLESS SCHEDULED BELOW. ALL CONNECTORS SHALL BE CONNECTED PER SCHEDULE ON SHEET S-1.
- C2 - STEEL-TO-STEEL CONNECTIONS AND FLITCH BEAM HANGERS SHALL BE ENGINEERED AND CUSTOM FABRICATED BY CONTRACTOR'S STEEL FABRICATOR PER END BEARING LOADS PROVIDED BY ARCHITECT.



1 ATTIC FLOOR & PARTIAL ROOF FRAMING PLAN
10/21/22



REVISIONS / ADDENDA

ISSUED FOR PERMIT

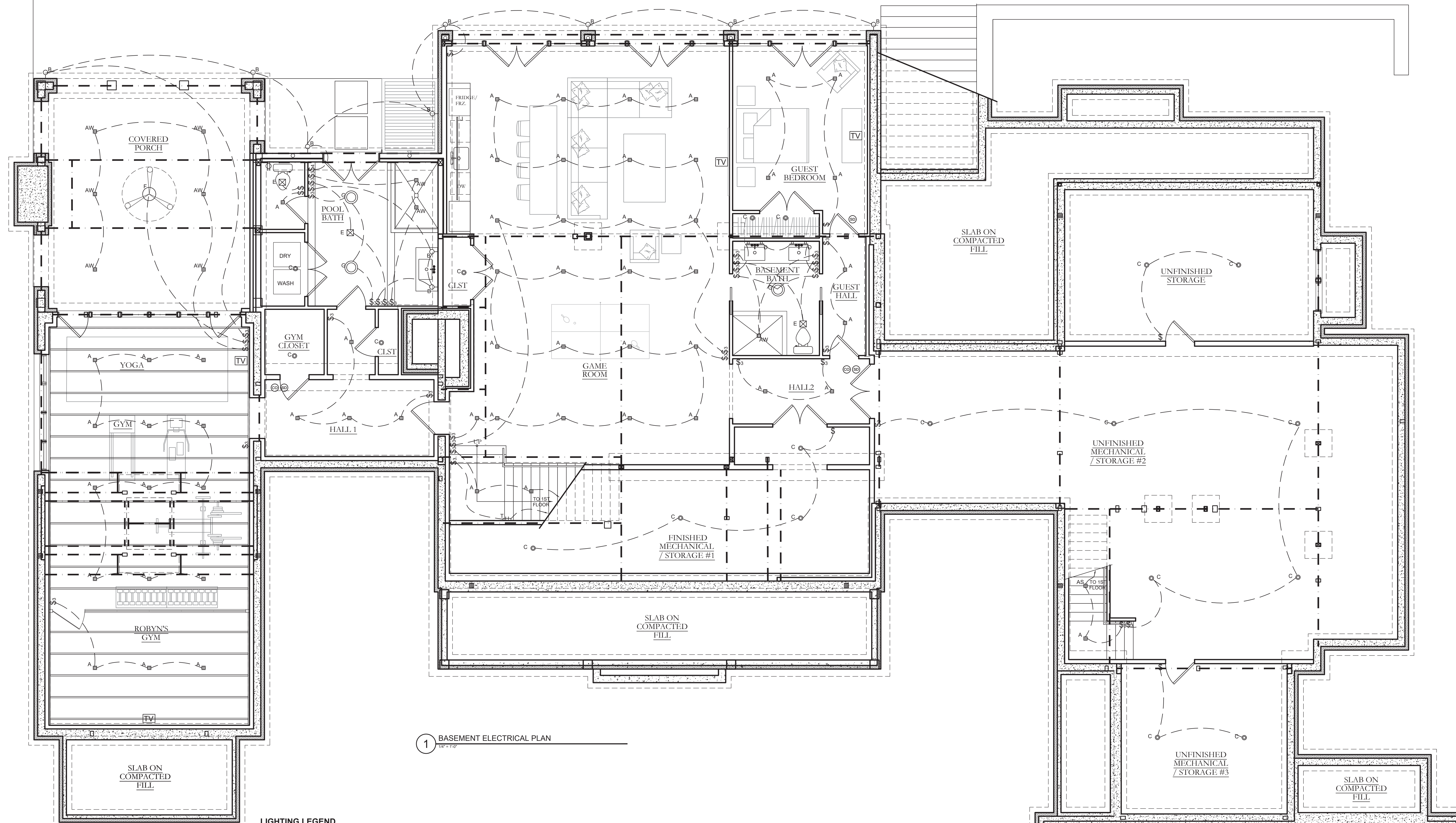
04.20.2021

PROJECT NAME
Frank Residence

OWNER
 Andrew and Robyn Frank
 3 Deer Ridge Lane
 Armonk, New York 10504

ATTIC FLOOR & PARTIAL ROOF FRAMING PLAN

S-4



1 BASEMENT ELECTRICAL PLAN

LIGHTING LEGEND

TYPE	SYMBOL	DESCRIPTION
A	□	TECH LIGHTING "ELEMENT E33" 3" SQUARE WITH FLANGED OR FLANGELESS BEVEL, TRIM, 12 WATT, 900 LUMEN 90-CRI OUTPUT WITH 5000K-1800K WARM DIMMABLE CCT RANGE. PROVIDE COMPATIBLE DIMMING DRIVERS FOR 0.1% DIMMING
B	○	WALL SCONCE
C	⊙	LED CLOSET/UTILITY LIGHT W/ MOTION SENSOR
D	—	WALL MOUNTED VANITY STRIP
E	⊠	EXHAUST FAN - 110CFM PANASONIC WHISPER CEILING FAN - WHITE FINISH - PROVIDE RIGID METAL DUCT EXHAUST
F	⊗	CEILING FAN / LIGHT BY OWNER
G	⊙	FLUSH MOUNT CEILING FIXTURE
H	⊙	PENDANT MOUNT CEILING FIXTURE
J	—	LED STRIP UNDERCABINET LIGHT- RECESSED
K	⊙	LOW VOLTAGE RECESSED LIGHT FIXTURE/WALL WASHER
L	⊙	EXTERIOR STEP LIGHTING
M	⊙	GARAGE DOOR MOTOR WITH KEYPAD
P	⊙	LED SPOT LIGHT

Q	⊕	LOW VOLTAGE IN-CABINET LIGHTING
R	•	VERTICAL RECESSED LED STRIP - BEHIND CABINET DOORS
T	⊕	RECESSED LED WALL LIGHT
U	—	UNDERCABINET PLUG MOLDING
V	⊕	POST LIGHT
	⊕	INTERCONNECTED AND HARDWIRED SMOKE DETECTOR. SMOKE ALARMS SHALL MEET AND BE TESTED PER NFPA 72 AND UL 217 REQUIREMENTS.
	⊕	HARDWIRED AND INTERCONNECTED CARBON MONOXIDE DETECTOR
	TV	SMART CABLE - BUNDLED CABLE CONSISTING OF (2) CAT 5E, (2) RG-6 COAX AND (2) FIBER OPTIC CABLES
	⊕	OUTLET IN ADDITION TO THOSE REQUIRED BY CODE
	⊕	CEILING SPEAKER

LIGHTING ABBREVIATIONS:

G	GENERATOR SUPPLIED FIXTURE
S	SLOPED CEILING HOUSING/TRIM
W	UL RATED WET LOCATION

SMOKE ALARM NOTES

- ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED PER BUILDING CODE AND NFPA 72.
- ALL SMOKE ALARMS AND HEAT DETECTORS TO BE HARD-WIRED WITH BATTERY BACKUP AND INTERCONNECTED. SMOKE DETECTORS REQUIRED INSIDE ALL SLEEPING ROOMS AND OUTSIDE ROOMS IN IMMEDIATE VICINITY OF SLEEPING ROOMS AND ON EVERY LEVEL. PROVIDE NEW INTERCONNECTED ALARMS IN EXISTING AREAS IF NONE EXIST.

CARBON MONOXIDE DETECTORS

- CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE AND NFPA 720.

GENERAL ELECTRICAL NOTES

- IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO PROVIDE A LIGHTING SYSTEM WHICH IS COMPLETE AND OPERATIONAL INCLUDING ALL MATERIALS AND EQUIPMENT NECESSARY TO ACCOMPLISH THIS INTENT. SUBSTITUTIONS TO SPECIFIED LIGHTING AND CONTROL EQUIPMENT SHALL NOT BE PERMITTED WITHOUT PRIOR REVIEW AND APPROVAL BY THE ARCHITECT.
- APPLICABLE REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE (NEC) AND STATE AND LOCAL CODES SHALL GOVERN AND DETERMINE THE MINIMUM STANDARD OF WORK. IN THE EVENT OF CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN CONFORMANCE WITH THE CODE.
- EXCEPT WHERE SPECIFICALLY NOTED, CONTRACTOR SHALL INSTALL ALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- ELECTRICAL CONTRACTOR SHALL PROVIDE NEW SERVICE UPGRADE TO ACCOMMODATE DESIGN IF EXISTING SERVICE IS NOT SUFFICIENT TO ACHIEVE DESIGN.
- ELECTRICAL CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL LIGHTING EQUIPMENT WITH THE GENERAL CONTRACTOR AND ANY APPLICABLE SUB-CONTRACTOR (I.E. FRAMING, MECHANICAL, CABINETRY, ETC.) PRIOR TO ROUGH-IN.
- ALL FIXTURE LOCATIONS TO BE VERIFIED AFTER ROUGH-IN INSTALLATION. PRIOR TO DRYWALL BY ARCHITECT AND OWNER. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR THRU THE GENERAL CONTRACTOR TO COORDINATE THIS EFFORT. THE GENERAL CONTRACTOR AND/OR ELECTRICAL CONTRACTORS SHALL BE HELD RESPONSIBLE FOR MOVING FIXTURES DURING FINAL LIGHTING INSPECTIONS IF THIS PROCESS DOES NOT TAKE PLACE.
- CONTRACTOR SHALL PROVIDE ELECTRICAL OUTLETS AS REQUIRED BY CODE AND AS SHOWN ON THIS PLAN. OUTLETS SHOWN ON PLAN ARE IN ADDITION TO THOSE REQUIRED BY CODE.
- ALL LIGHTS TO BE SWITCHED WITH DIMMERS. ALL DIMMERS SHALL BE LUTRON - STYLE AS SELECTED BY OWNER, 600 OR 1000 WATT, COLOR TO BE DETERMINED. ELECTRICAL CONTRACTOR MUST USE LUTRON - DVLV (LOW VOLTAGE) SERIES DIMMERS FOR ALL LOW-VOLTAGE FIXTURES. SIZE AND RATE ALL DIMMERS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- ALL DEVICES (I.E. SWITCHES, RECEPTACLES, PHONE JACKS, TELEVISION JACKS, ETC.) TO MATCH EXISTING STYLE. VERIFY COLOR WITH OWNER AND/OR ARCHITECT
- ALL WALL AND FLOOR MOUNTED SWITCHED RECEPTACLES SHOWN ON LIGHTING PLANS ARE FOR CONTROL OF LIGHTING EQUIPMENT EITHER MANUALLY, BY CONTROL SYSTEM, OR PHOTOCELL/TIMECLOCK. SEE ELECTRICAL PLANS FOR CIRCUITING AND FOR LOCATIONS OF ALL OTHER RECEPTACLES AS REQUIRED BY CODE.
- ALL RECESSED FLOOR PLUGS SHALL BE CARLON #976-RFB-DEEP RECTANGULAR FLOOR PLUGS WITH BRASS COVER PLATES. VERIFY LOCATIONS OF ALL FLOOR PLUGS WITH OWNER AND/OR ARCHITECT IN THE FIELD.
- THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR ARE RESPONSIBLE FOR REVIEWING THE INFORMATION OF ALL OF THESE PLANS. IF THERE ARE ERRORS OR OMISSIONS OR QUESTIONS CONCERNING THESE PLANS PLEASE CALL THE ARCHITECT FOR CLARIFICATION.
- ALL COMPUTER AND TV LOCATIONS TO BE WIRED WITH SMART CABLE INCLUDING COAXIAL, CAT-V, TELEPHONE AND NETWORKED.



REVISIONS / ADDENDA

ISSUED FOR PERMIT

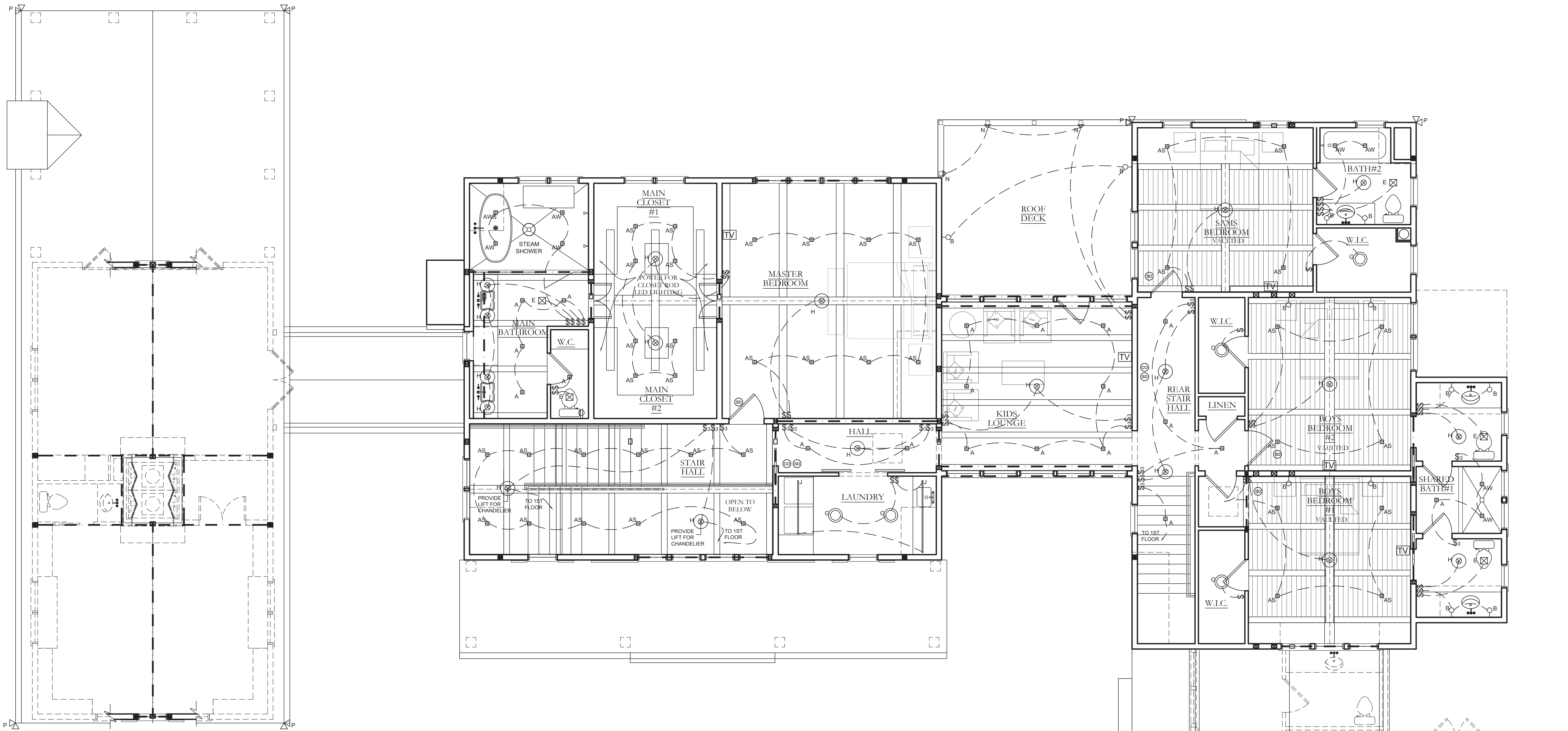
04.20.2021

PROJECT NAME
Frank Residence

OWNER
 Andrew and Robyn Frank
 8 Deer Ridge Lane
 Armonk, New York 10504

BASEMENT ELECTRICAL PLAN

E-1



1 SECOND FLOOR ELECTRICAL PLAN

LIGHTING LEGEND

TYPE	SYMBOL	DESCRIPTION
A	■	TECH LIGHTING - ELEMENT ESS 3" SQUARE WITH FLANGED OR FLANGELESS BEVEL TRIM - 12 WATT, 800 LUMEN 90+ CRI OUTPUT WITH 3000K/1800K WARM DIMMABLE CCT RANGE. PROVIDE COMPATIBLE DIMMING DRIVERS FOR 0.1% DIMMING
B	○	WALL SCONCE
C	○	LED CLOSET/UTILITY LIGHT W/ MOTION SENSOR
D	—	WALL MOUNTED VANITY STRIP
E	⊠	EXHAUST FAN - 110CFM PANASONIC WHISPER CEILING FAN - WHITE FINISH - PROVIDE RIGID METAL DUCT EXHAUST
F	⊗	CEILING FAN / LIGHT BY OWNER
G	⊙	FLUSH MOUNT CEILING FIXTURE
H	⊕	PENDANT MOUNT CEILING FIXTURE
J	—	LED STRIP UNDERCABINET LIGHT - RECESSED
K	⊕	LOW VOLTAGE RECESSED LIGHT FIXTURE/WALL WASHER
L	⊕	EXTERIOR STEP LIGHTING
M	⊕	GARAGE DOOR MOTOR WITH KEYPAD
P	⊕	LED SPOT LIGHT

Q	⊕	LOW VOLTAGE IN-CABINET LIGHTING
R	•	VERTICAL RECESSED LED STRIP - BEHIND CABINET DOORS
T	dbb	RECESSED LED WALL LIGHT
U	-----	UNDERCABINET PLUG MOLDING
V	⊕	POST LIGHT
	⊕	INTERCONNECTED AND HARDWIRED SMOKE DETECTOR. SMOKE ALARMS SHALL MEET AND BE TESTED PER NFPA 72 AND 4.21 REQUIREMENTS
	⊕	HARDWIRED AND INTERCONNECTED CARBON MONOXIDE DETECTOR
	TV	SMART CABLE - BUNDLED CABLE CONSISTING OF (2) CAT 5E, (2) RS-485 COAX AND (2) FIBER OPTIC CABLES
	⊕	OUTLET IN ADDITION TO THOSE REQUIRED BY CODE
	⊕	CEILING SPEAKER

LIGHTING ABBREVIATIONS:

- G GENERATOR SUPPLIED FIXTURE
- S SLOPED CEILING HOUSING/TRIM
- W UL RATED WET LOCATION

SMOKE ALARM NOTES

1. ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED PER BUILDING CODE AND NFPA 72.
2. ALL SMOKE ALARMS AND HEAT DETECTORS TO BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED. SMOKE DETECTORS REQUIRED INSIDE ALL SLEEPING ROOMS AND OUTSIDE ROOMS IN IMMEDIATE VICINITY OF SLEEPING ROOMS AND ON EVERY LEVEL. PROVIDE NEW INTERCONNECTED ALARMS IN EXISTING AREAS IF NONE EXIST.

CARBON MONOXIDE DETECTORS

1. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE AND NFPA 720.

GENERAL ELECTRICAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO PROVIDE A LIGHTING SYSTEM WHICH IS COMPLETE AND OPERATIONAL INCLUDING ALL MATERIALS AND EQUIPMENT NECESSARY TO ACCOMPLISH THIS INTENT. SUBSTITUTIONS TO SPECIFIED LIGHTING AND CONTROL EQUIPMENT SHALL NOT BE PERMITTED WITHOUT PRIOR REVIEW AND APPROVAL BY THE ARCHITECT.
2. APPLICABLE REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE (NEC) AND STATE AND LOCAL CODES SHALL GOVERN AND DETERMINE THE MINIMUM STANDARD OF WORK. IN THE EVENT OF CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN CONFORMANCE WITH THE CODE.
3. EXCEPT WHERE SPECIFICALLY NOTED, CONTRACTOR SHALL INSTALL ALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
4. ELECTRICAL CONTRACTOR SHALL PROVIDE NEW SERVICE UPGRADE TO ACCOMMODATE DESIGN IF EXISTING SERVICE IS NOT SUFFICIENT TO ACHIEVE DESIGN.
5. ELECTRICAL CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL LIGHTING EQUIPMENT WITH THE GENERAL CONTRACTOR AND ANY APPLICABLE SUB-CONTRACTOR (I.E. FRAMING, MECHANICAL, CABINETRY, ETC.) PRIOR TO ROUGH-IN.
6. ALL FIXTURE LOCATIONS TO BE VERIFIED AFTER ROUGH-IN INSTALLATION, PRIOR TO DRYWALL, BY ARCHITECT AND OWNER. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR THRU THE GENERAL CONTRACTOR TO COORDINATE THIS EFFORT. THE GENERAL CONTRACTOR AND/OR ELECTRICAL CONTRACTORS SHALL BE HELD RESPONSIBLE FOR MOVING FIXTURES DURING FINAL LIGHTING INSPECTIONS IF THIS PROCESS DOES NOT TAKE PLACE.
7. CONTRACTOR SHALL PROVIDE ELECTRICAL OUTLETS AS REQUIRED BY CODE, AND AS SHOWN ON THIS PLAN. OUTLETS SHOWN ON PLAN ARE IN ADDITION TO THOSE REQUIRED BY CODE.
8. ALL LIGHTS TO BE SWITCHED WITH DIMMERS. ALL DIMMERS SHALL BE LUTRON - STYLE AS SELECTED BY OWNER, 800 OR 1000 WATT, COLOR TO BE DETERMINED. ELECTRICAL CONTRACTOR MUST USE LUTRON - DVVL (LOW VOLTAGE) SERIES DIMMERS FOR ALL LOW-VOLTAGE FIXTURES. SIZE AND RATE ALL DIMMERS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
9. ALL DEVICES (I.E. SWITCHES, RECEPTACLES, PHONE JACKS, TELEVISION JACKS, ETC.) TO MATCH EXISTING STYLE. VERIFY COLOR WITH OWNER AND/OR ARCHITECT.
10. ALL WALL AND FLOOR MOUNTED SWITCHED RECEPTACLES SHOWN ON LIGHTING PLANS ARE FOR CONTROL OF LIGHTING EQUIPMENT EITHER MANUALLY, BY CONTROL SYSTEM OR PHOTOCELL/TIMEDLOCK. SEE ELECTRICAL PLANS FOR CIRCUITING AND FOR LOCATIONS OF ALL OTHER RECEPTACLES AS REQUIRED BY CODE.
11. ALL RECESSED FLOOR PLUGS SHALL BE CARLON #978-RFB-DEEP RECTANGULAR FLOOR PLUGS WITH BRASS COVER PLATES. VERIFY LOCATIONS OF ALL FLOOR PLUGS WITH OWNER AND/OR ARCHITECT IN THE FIELD.
12. THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR ARE RESPONSIBLE FOR REVIEWING THE INFORMATION OF ALL OF THESE PLANS. IF THERE ARE ERRORS OR OMISSIONS OR QUESTIONS CONCERNING THESE PLANS PLEASE CALL THE ARCHITECT FOR CLARIFICATION.
13. ALL COMPUTER AND TV LOCATIONS TO BE WIRED WITH SMART CABLE INCLUDING COAXIAL, CAT-V, TELEPHONE AND NETWORKED.



REVISIONS / ADDENDA

ISSUED FOR PERMIT

04.20.2021

PROJECT NAME
Frank Residence

OWNER
 Andrew and Robyn Frank
 3 Deer Ridge Lane
 Armonk, New York 10504

SECOND FLOOR ELECTRICAL PLAN

E-3

LANDSCAPE SPECIFICATIONS

I. GENERAL

A. Summary

- i. The work under this section shall include providing all work pertaining to landscape improvements, including
 - a. Plant material
 - b. Topsoil
 - c. Seed
 - d. Sod
- ii. Related sections include
 - a. General Notes
 - b. Job Conditions
 - c. Layout
 - d. Masonry
 - e. Lighting
 - f. Pool

B. Standards and Nomenclature

- i. All operations shall meet industry standards for plant material standards of name, size and care, conforming to the following:
 - American Standard for Nursery Stock, ANSI Z60.1 American Nursery and Landscape Association, Washington, D.C., latest edition.

2. MATERIALS

A. Plant Material

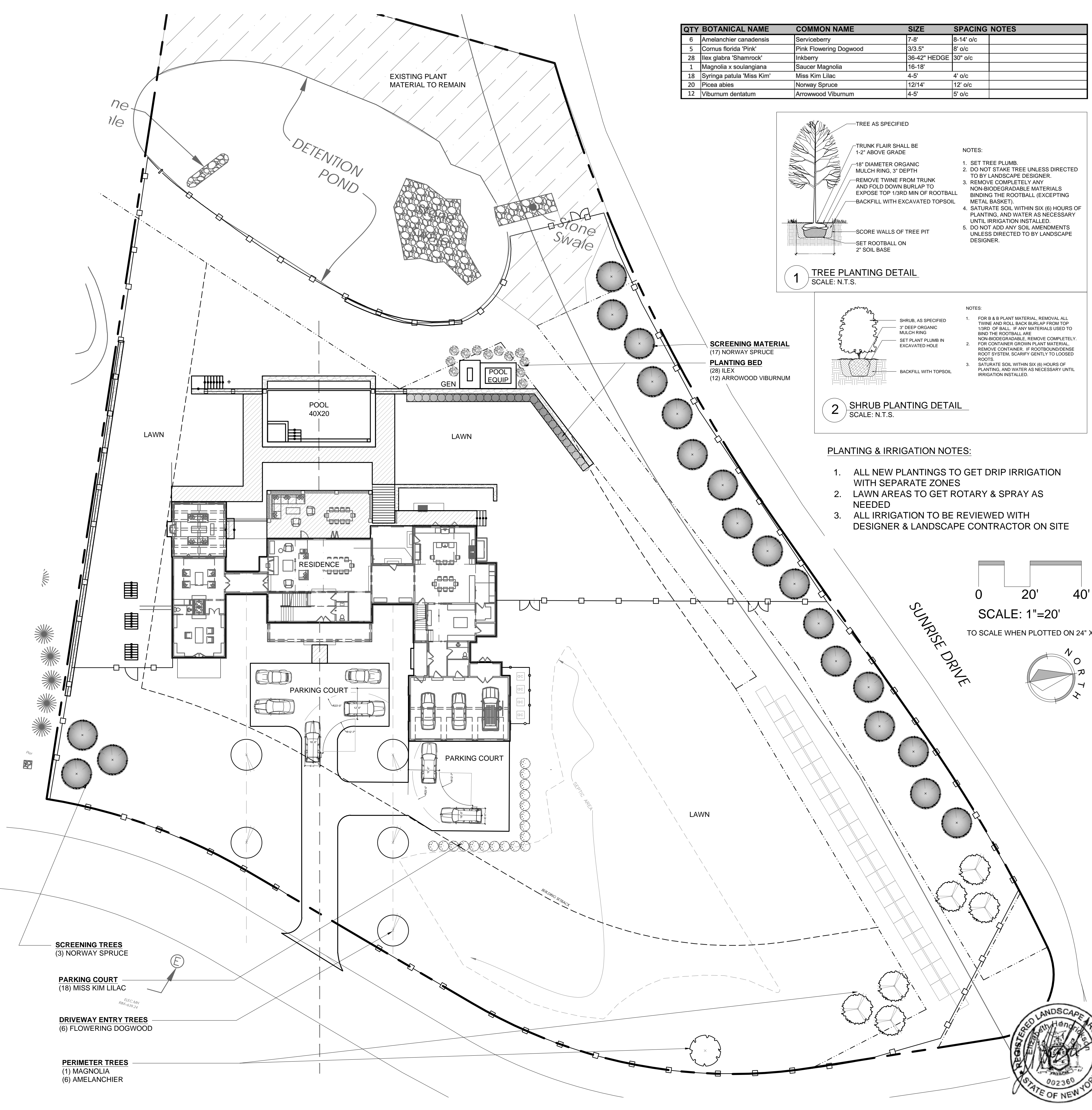
- i. Plant schedule
 - a. A complete plant schedule is included in the drawings, with names, quantities, sizes and other requirements. In the event of a discrepancy in the quantity shown in the drawings, the drawing quantity shall prevail. The Landscape Contractor is responsible for verifying the quantity count accuracy between the schedule and drawings and in the event of a discrepancy found during the bidding process, it is the Landscape Contractor's responsibility to bring the discrepancy to the attention of the Landscape Designer. If the discrepancy is discovered after a bid is accepted, the Landscape Contractor assumes the obligation to provide plant material and labor as shown on the drawings, and will not be entitled to additional compensation.
 - b. No substitutions will be accepted without the written permission of the Landscape Designer.
- ii. Plant Quality and Sizing
 - a. All plants shall be true to species and cultivar specified. Plants shall meet the standards for size and quality set forth in the American Standard for Nursery Stock.
 - b. All plant material shall be healthy, vigorous, well branched and densely foliated when in leaf. Plants shall be free of disease and pests. Plants shall have healthy root systems and be free of physical damage. If any of these qualifications are not met, the Landscape Designer reserves the right to refuse the plant material and require replacement with new material meeting these quality standards. The Landscape Contractor shall not be entitled to any additional compensation in the event that plant material is found not to meet the above standards.
 - c. Plant material rejected shall be removed from the site within 48 hours.
- iii. Plant Delivery, Storage and Handling
 - a. Plants shall be protected from physical damage to plant structure, root ball and desiccation during transportation, delivery, and while held on site.
 - b. During transportation, plant material shall be protected from wind.
 - c. During delivery and handling, plant material shall not be dragged, thrown, or bounced off of truck, moving machinery, or when handled by hand. Trees and shrubs shall not be lifted, dragged or pulled by the trunk or branches in any manner that will damage root ball or structure.
 - d. Plant material stockpiled on site shall be irrigated if not planted within one day of delivery. Plants shall be maintained in healthy condition if Landscape Contractor stockpiles plants on site, and cared for in a manner that prevents damage by lack of water, wind and pests. Plants shall be located out of direct sunlight.
 - e. Existing plant stockpile and relocations
 - 1. Dig and move plant material as noted in the drawings and/or tagged on site by the Landscape Designer and stockpile in location noted on drawings. If there is a construction conflict with location designated for plant storage, Landscape Contractor shall contact Landscape Designer to determine alternate location.
 - 2. Landscape Contractor shall heel in plant material that can not be immediately relocated, and provide irrigation to maintain adequate moisture for plant health.
- iv. Inspection
 - a. The Landscape Designer shall make periodic inspections of the site and plant material. The Landscape Contractor shall contact the Landscape Designer a minimum of three (3) days prior to the delivery of any plant material. If any of the conditions described for quantity, quality or handling of the plant material are not met, the Landscape Designer will instruct the Landscape Contractor to repair the deficiencies or replace the material, at no additional cost. All rejected plant material shall be removed from the site within two (2) days of rejection.
- v. Installation
 - a. General notes
 - 1. Planting shall occur when soil is frost free and workable. Planting shall not occur when soil is saturated, or damage to soil structure and significant compaction may occur.
 - 2. Landscape Contractor is responsible for locating all sub-surface utilities and irrigation systems prior to any digging. Landscape Contractor shall contact Call Before You Dig, and schedule for sub-surface utilities to be flagged a minimum of three (3) days prior to any excavation. Landscape Contractor is responsible for any damage to utilities resulting from negligence or failure to comply with this requirement.
 - 3. The Landscape Designer shall be notified a minimum of three (3) days in advance of when the Landscape Contractor is scheduling to have plant material laid out according to the design.
 - 4. All plants shall be placed according to quantity and locations noted on drawings.
 - 5. Landscape Designer must approve all plant placement and layouts on site prior to the Landscape Contractor planting. If plant material is planted without Landscape Designer approval, Landscape Contractor may be required to remove plant material and replant, at no additional cost to the Owner.
 - 6. All plant material shall be installed straight and plumb to ground when planted. Trees and shrubs shall be installed so that root flare is 1"-2" above final grade. Ensure that no plant material is planted lower than final grade.
 - 7. Staking is not recommended as a routine practice. Exceptions include planting in windy sites, when root system is shallow, or soil is light. Staking must be approved by Landscape Designer prior to installation.
 - 8. Backfill with specified soil (see soil specifications) and water thoroughly immediately after planting. In no case shall plant be installed and not thoroughly watered the same day. Landscape Contractor is responsible for watering plant material until irrigation system is installed. If plant material fails due to insufficient watering during this time, Landscape Contractor is responsible for all replacement costs, at no cost to the Owner.
 - 9. Labels shall be removed from all plant material immediately after installation.
 - 10. Landscape Designer shall inspect all plants after installation, and once approved, Landscape Contractor shall install mulch (see mulch specification).
 - 11. Irrigation shall be provided for all newly install plant material. If an Irrigation Contractor has been contracted for the project, Landscape Contractor is responsible for coordinating to have irrigation installed. In the event that either the irrigation system cannot be installed immediately following plant installation, Landscape Contractor shall provide temporary irrigation for plant material and assume responsibility for maintaining appropriate irrigation for plants.
- b. Balled and Burlapped Plant Material
 - 1. When installing in planting pit, leave burlap in place when placing in planting pit. If ball is supported by a steel frame, remove frame. If not feasible to remove whole frame, remove a minimum of 50% from the top of root ball down. Peel back and remove burlap from minimum top 50% of rootball. If burlap is non-biodegradable material, entire wrapping must be removed. Remove all twine and string.
- c. Containerized Plants
 - 1. Remove pot from plant and gently massage root and soil to loose roots at edges prior to planting.
 - 2. Dispose of container offsite.
- vi. Initial Acceptance
 - a. Upon completion of planting phase, the Landscape Contractor shall request a final inspection by the Landscape Designer. The inspection can be requested once the following has been completed:
 - 1. All plants are installed, mulched and watered.
 - 2. Site clean-up is complete, including removal of all trash, waste, landscape debris resulting from installation and excess excavated material is removed.
- b. Upon acceptance of all work, the one year plant establishment period shall begin, and all associated warranties:
 - vii. Warranty of Plant Material
 - a. When a plant material and labor warranty is included in the contract, Landscape Contractor shall replace plant material when 25% or more of the visible portion of the plant has died. This shall be assessed by the Landscape Designer through a visual inspection of the leaf coverage, color of leaves, branch health, trunk and bark.
 - b. The warranty provided by the Landscape Contractor shall cover all labor associated with the removal and replacement of the plant material, the cost of disposal off-site and the cost of the replacement plant material.
 - viii. Maintenance
 - a. Landscape Contractor shall maintain plants installed in a healthy condition for the period of time the Landscape Contractor is continuing work on site, or through the length of the warranty period, whichever ever the contract requires.
 - b. Maintenance shall include watering, fertilization and control of disease and insect pests. All chemicals used on site must be reviewed and approved by Landscape Designer prior to application. If these requirements are not met, any plant death resulting shall be replaced under warranty.
- ix. Final Acceptance
 - a. At the end of the maintenance period, Landscape Contractor shall contact Landscape Designer to schedule a final acceptance walk through.
 - b. The Landscape Designer will review all plant material installed and conditions of site as specified here and determine if final acceptance criteria have been met.
 - c. The Landscape Designer will instruct the Landscape Contractor of any deficiencies, and which plants are not meeting the level of acceptance. If plant material is to be replaced, the Landscape Contractor has thirty (30) days in which to comply.

B. Mulch

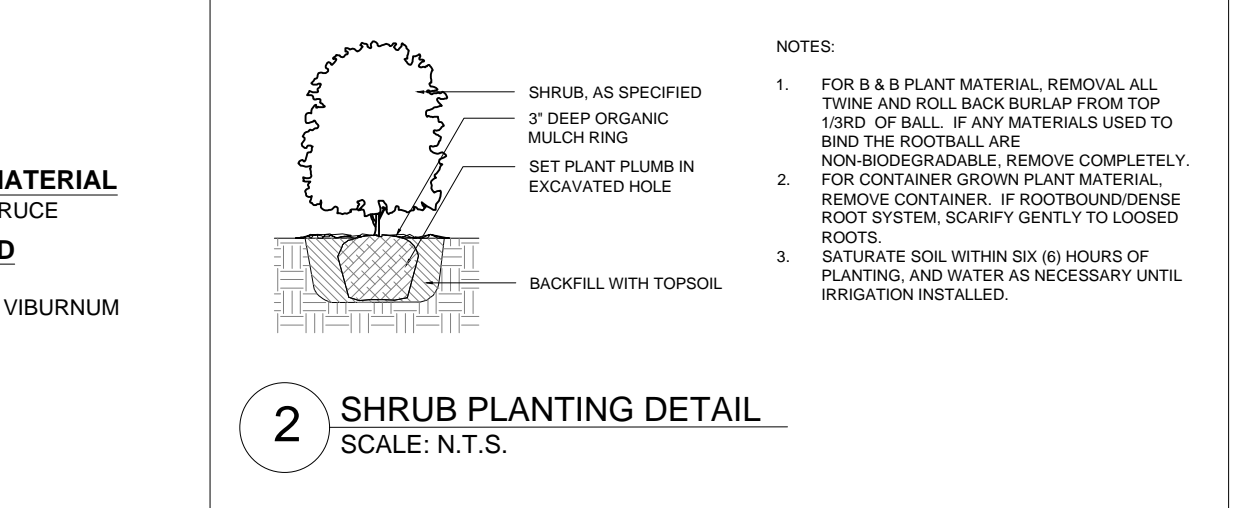
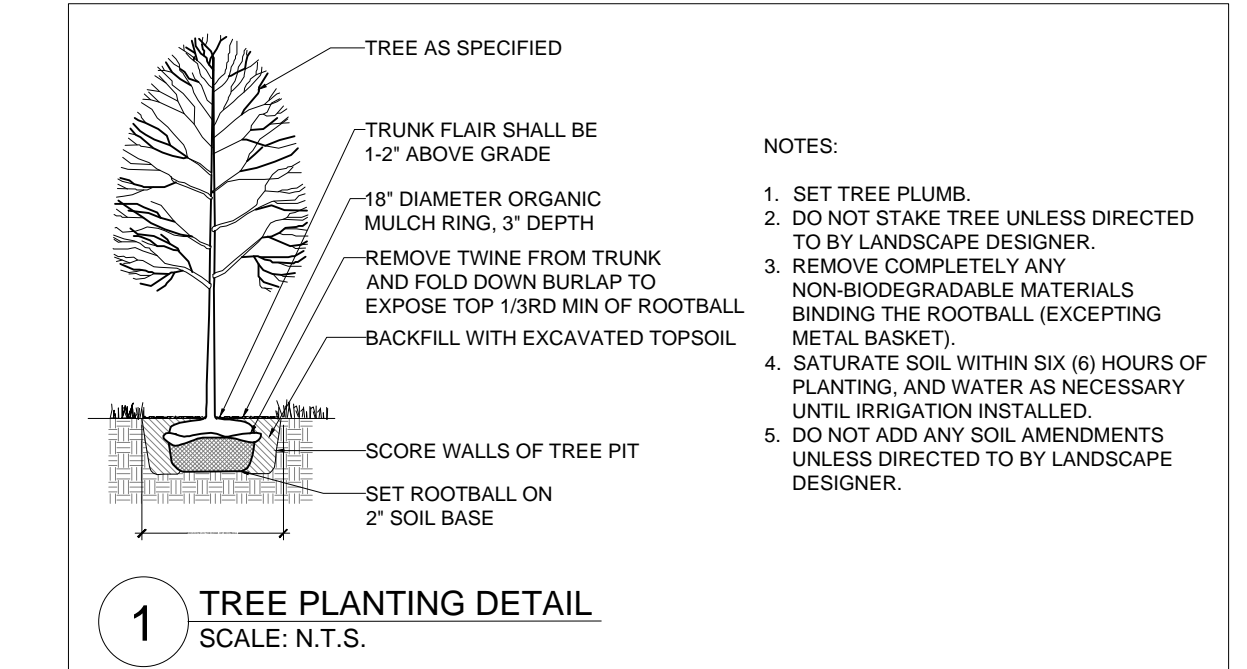
- i. All wood/organic mulch shall be Sweet Peet™ unless otherwise noted on drawings.
- ii. All stone/rock mulch shall be type and size noted in drawings. It shall be free of organic and inorganic debris and trash.

C. Top Soil

- i. Top soil shall be furnished by the Landscape Contractor in sufficient quantity to provide 6" of topsoil over all areas to be seeded or sodded, 6" of top soil over areas to be planted with trees, shrubs, groundcover, and 12" in all perennial planting beds. Top soil shall not be spread on frozen ground or saturated ground. If the top soil is to be spread and there is an expected delay before it can be stabilized by plantings, mulch, sod, seed or other method, the Landscape Contractor is responsible for confirming significant rain is not in the forecast. If this is not verified, Landscape Contractor is responsible for replacing any top soil lost via run-off at no cost to the Owner.
- ii. Top soil shall consist of natural friable surface soil without admixtures of undesirable subsoil, refuse, or foreign materials. It shall be shredded and free from roots, hard clay or stones larger than 1" in diameter. The top soil shall be suitable for the growth of trees, shrubs, perennials, grass or any other plant material specified in the drawings and shall not be sourced from agricultural fields that use any type of herbicide to control weed growth, such as corn fields.
- iii. Soil shall consist of the following content (dry weight):
 - a. Organic Material 15-25%
 - b. Silt 25-45%
 - c. Sand 35-55%
- iv. Landscape Contractor shall obtain soil specification sheet when purchasing, and be able to provide it upon request to Landscape Designer.

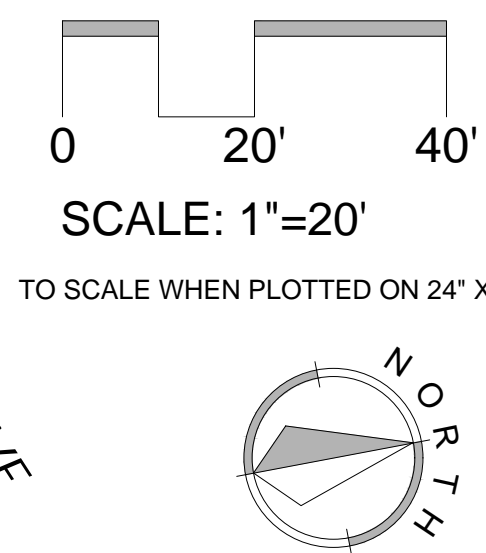


QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING NOTES
6	Amelanchier canadensis	Serviceberry	7-8"	8-14' o/c
5	Cornus florida 'Pink'	Pink Flowering Dogwood	3/3.5"	8' o/c
28	Ilex glabra 'Shamrock'	Inkberry	36-42" HEDGE	30" o/c
1	Magnolia x soulangiana	Saucer Magnolia	16-18"	
18	Syringa patula 'Miss Kim'	Miss Kim Lilac	4-5"	4' o/c
20	Picea abies	Norway Spruce	12/14"	12' o/c
12	Viburnum dentatum	Arrowwood Viburnum	4-5"	5' o/c



PLANTING & IRRIGATION NOTES:

1. ALL NEW PLANTINGS TO GET DRIP IRRIGATION WITH SEPARATE ZONES
2. LAWN AREAS TO GET ROTARY & SPRAY AS NEEDED
3. ALL IRRIGATION TO BE REVIEWED WITH DESIGNER & LANDSCAPE CONTRACTOR ON SITE



- NOTES:**
1. Survey provided by TC MERRITTS LAND SURVEYORS, 394 BEDFORD ROAD, PLEASANTVILLE NY 10570.
 2. Rosalia Sanni Design LLC takes no responsibility for the accuracy of the information provided by the survey. If the Contractor determines inaccuracies on site, the Contractor shall alert the Landscape Designer prior to construction of any part of the design affected by the perceived inaccuracy.
 3. The Contractor shall verify the location of all utilities prior to commencement of any construction activities by contacting "Call Before You Dig". The Contractor takes full responsibility for any utilities damaged due to not verifying utility locations, and will repair any damage at the Contractors own expense.
 4. The Contractor shall obtain all permits for construction activities as required by the local municipality, state and federal regulations. All permits shall be obtained prior to commencement of the work associated with the permit. The Contractor shall abide by all rules and regulations set forth by the permits required for construction activities.
 5. The Contractor shall at all times keep the construction site in an orderly condition, store materials in a pre-determined location, minimize site disturbance, and remove all debris and excess material from the site.
 6. The Contractor shall maintain any erosion control measures utilized on site.

No.	Date & Revision
1	4/20/2021, ISSUED FOR TOWN L AND USE APPROVAL
2	
3	
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5	
6	
7	
8	

Rosalia Sanni Design LLC
Landscape & Garden Design
45 E. Putnam Av. - Suite 105
Greenwich, CT 06830

www.rosaliasanni.com
Phone: 203-918-4619
Email: rs@rosaliasanni.com

PROJECT:

FRANK RESIDENCE
3 DEER RIDGE LANE
ARMONK, NY 10504
TOWN OF NEW CASTLE

DWG. TITLE:

PLANTING PLAN

DRAWING FILE: 2021_04_14 concept RSD sr.dwg

DRAWN BY: RS & SR

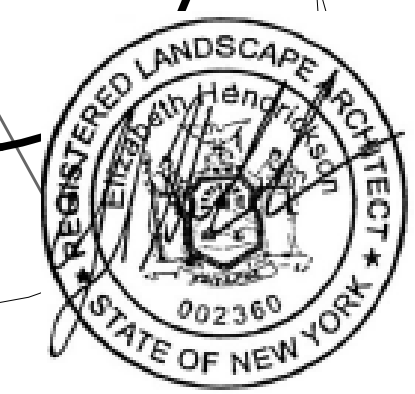
SAVE DATE: April 19, 2021

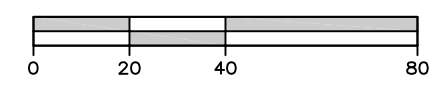
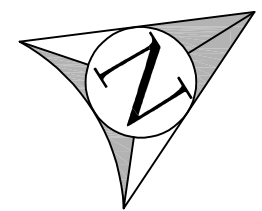
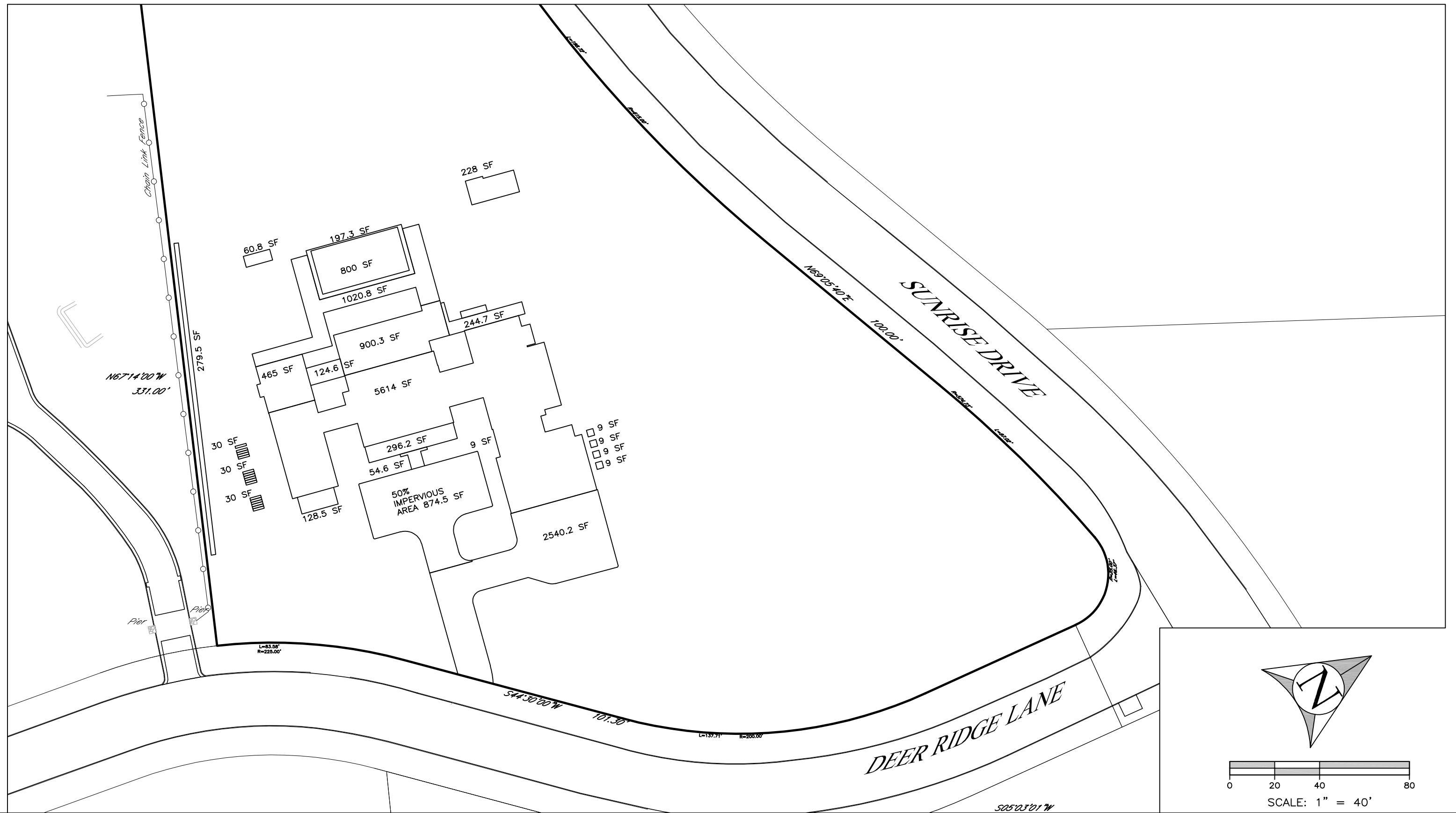
ORIGINAL ISSUE DATE: 04/20/2021

REVISION DATE: ----

SHEET NO.

L-6.0





SCALE: 1" = 40'

ALFONZETTI ENGINEERING, P.C.
 1100 ROUTE 52, CARMEL, N.Y. 10512
 845 - 228 - 9800

PROJECT:
 3 DEER RIDGE LANE
 TOWN OF NORTH CASTLE,
 WESTCHESTER COUNTY, NEW YORK

DRAWING:
 GLC BACKUP
 APRIL 16, 2021

