

Section I- PROJECT

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43 Fax: (914) 273-3554 www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

ADDRESS: 3 DEER RIDGE LANE, ARMONK, NY 10504

Section III- DESCRIPTION OF WORK:	
NEW SINGLE FAMILY HO	WE.
Section III- CONTACT INFORMATION:	
APPLICANT: MICHAEL SMITH APCHITECTS	5
ADDRESS: 41 NORTH MAIN ST, NORW	ALK, CT 06854
PHONE: 203 563 0553 MOBILE:	EMAIL: Levin a michaelsmith architect.com
PROPERTY OWNER: ANDREW & ROBYN FRANK	
ADDRESS: 3 DEER RIDGE LANE, ARMON	1K NY 10504
PHONE:MOBILE: 914 522 7667	EMAIL: andrew. Frank Damail. com
PROFESSIONAL: MICHAEL SMINT ARCHITEC	
ADDRESS: 41 NORTH MANST, NORWAL	
PHONE: 203.563.6553 MOBILE:	•
EMAIL: Kevin a Michael 5 m Hh archit	ects. Car
Section IV- PROPERTY INFORMATION:	
Zone: \mathbb{R} - \mathbb{A} Tax ID (lot designation) \mathbb{L}	00.04-2-20.5



Town of North Castle Residential Project Review Committee

17 Bedford Road Armonk, New York 10504 (914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Nan	ne on Plan: Frank Residence	
■Initial Su	bmittal Revised Preliminary	
Street Loca	tion: 3 Deer Ridge Lane	
	rict: R-2A Property Acreage:	2.3 Tax Map Parcel ID:
_{Date:} Frar	nk Residence	
DEPARTM	ENTAL USE ONLY	
Date Filed:	Staff Name:	
Items marke	Plan Completeness Review Checed with a are complete, item 'NA" means not applicable.	
1. Plan	prepared by a registered architect o	r professional engineer
2. Aerial prope	I photo (Google Earth) showing erties and streets	the applicant's entire property and adjacent
3. Мар я	showing the applicant's entire prope	rty and adjacent properties and streets
1. A loca	ator map at a convenient scale	
. The p	roposed location, use and design o	f all buildings and structures
3. Existi	ng topography and proposed grade	elevations
7. Locat	ion of drives	
B. Locat retain	ion of all existing and proposed ing walls and fences	site improvements, including drains, culverts,

RPRC COMPLETENESS REVIEW FORM

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<u></u> ₽.	Description of method of water supply and sewage disposal and location of such facilities
10.	The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
1.	Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
	If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<u> </u>	If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.
Plannir	information about the items required herein can be obtained from the North Castle ng Department. A copy of the Town Code can be obtained from Town Clerk or on the Castle homepage: http://www.northcastleny.com/townhall.html
April 9,	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

January 29, 2019 Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application	Name or Identifying Title:	Frank Residence		Date: April 9, 2021
Tax Map De	signation or Proposed Lot No.:	100.04-2-20.5		
Floor Area				
1. Tot	al Lot Area (Net Lot Area for I	Lots Created Afte	er 12/13/06):	95,483
2. Ma	ximum permitted floor area (pe	er Section 355-26	5.B(4)):	10456.5
	ount of floor area contained wi		_	4,175.6
4. Am	ount of floor area contained wi		: -	2,869.6
5. Am	ount of floor area contained wi	thin garage:proposed =		1,011.6
6. Am	ount of floor area contained wi	thin porches capa _ proposed =	able of being enclosed:	0
7. Am	ount of floor area contained wi	thin basement (if _ proposed =	applicable – see definition):	0
8. Am	ount of floor area contained wire existing + 0	thin attic (if appl _ proposed =	icable – see definition):	0
9. Am	ount of floor area contained wi		buildings:	0
10. Pro 1	oosed floor area: Total of Line	es 3 - 9 =		8,056.8
and the project	less than or equal to Line 2, yet may proceed to the Residential does not comply with the Toy	l Project Review	nplies with the Town's maximu Committee for review. If Line	um floor area regulations 10 is greater than Line 2
0				1-15-51
Signature and	I Seal of Professional Preparing	g Worksheet	Da	ate



TOWN OF NORTH CASTLE

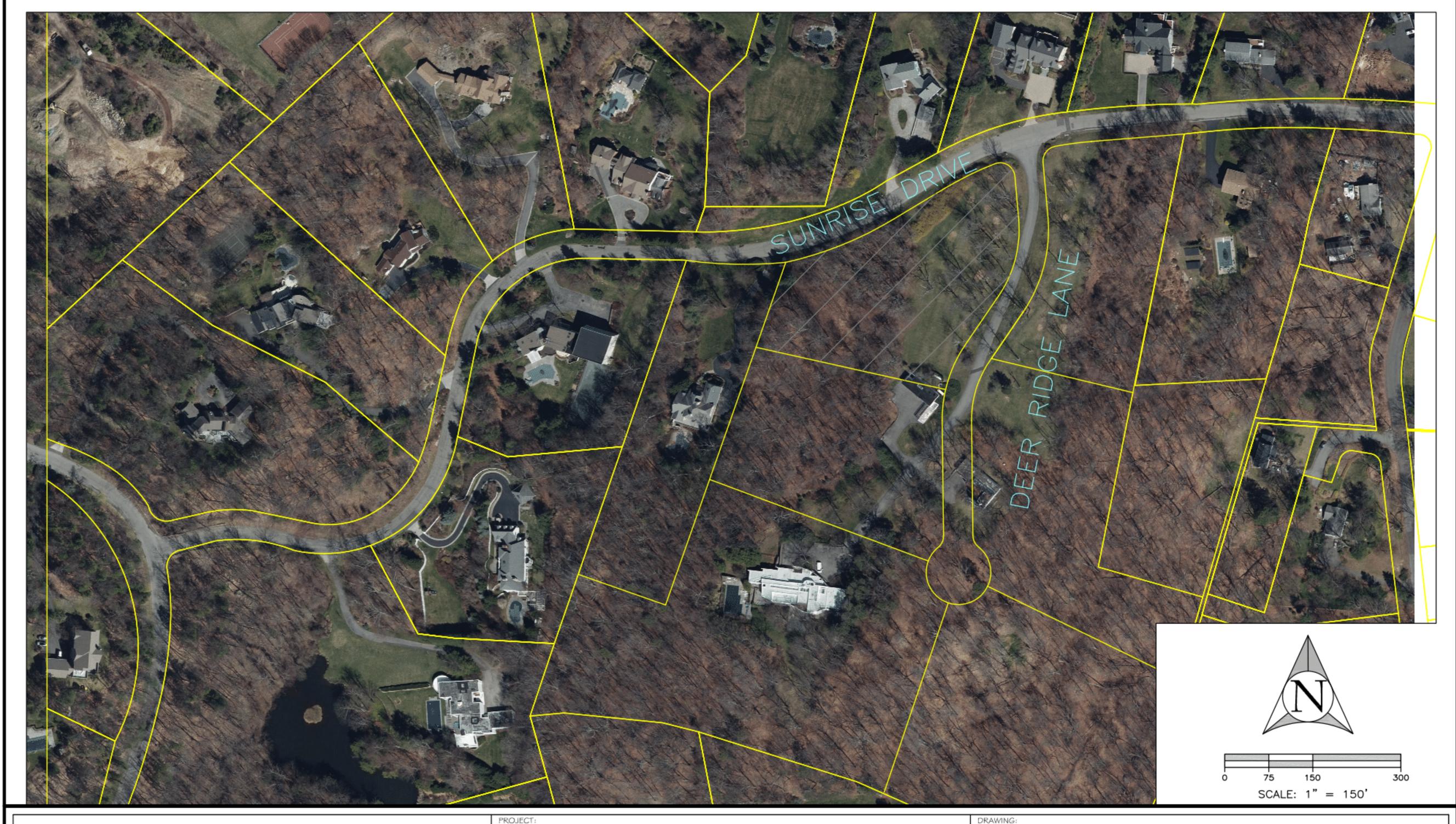
WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Applicat	ion Name or Identifying Title:	RANK RESIDENCE	Date: <u>0</u> 4	1/20/2021
Тах Мај	Designation or Proposed Lot No.: 100	.04-2-20.5		
Gross Lo	ot Coverage			
1.	Total lot Area (Net Lot Area for Lots Cr	eated After 12/13/06):		96,373.6 S.F.
2.	Maximum permitted gross land coverage	e (per Section 355-26.C(1)(b)):		13,897.3 S.F.
3.	BONUS maximum gross land cover (pe	r Section 355-26.C(1)(b)):		
14.2	Distance principal home is beyond minimum $x = 10 = 142$	num front yard setback		<u>142</u> S.F.
4.	TOTAL Maximum Permitted gross la	nd coverage = Sum of lines 2 and	3	14,039.3 S.F.
5.	Amount of lot area covered by principa 0 existing + 5614 pro			5,614.0 S.F.
6.	Amount of lot area covered by accessor 0 existing + 0 pro			0.0 S.F.
7.	Amount of lot area covered by decks: 0 existing + 0 pro	posed =		0.0 S.F.
8.	Amount of lot area covered by porches: 0 existing + 889.5 pro	posed =		889.5 S.F.
9.	Amount of lot area covered by driveway 0 existing + 4972.0 pro	y, parking areas and walkways: posed =		4972.0 S.F.
10.	Amount of lot area covered by terraces : existing + pro	posed =		1,145.0 S.F.
11.	Amount of lot area covered by tennis co or existing + 1064 pro	urt, pool and mechanical equip: posed =		1,064.0 S.F.
12.		structures: posed =		279.5 S.F.
13. Prop	osed gross land coverage: Total o	f Lines $5 - 12 =$		13,964.0 S.F.
the proje	3 is less than or equal to Line 4. YOUND ect may proceed to the Resinential Project comply with the Town Specialisms.			d coverage regulations and than Line 4 your proposal
Signatur	e and Seal of Professional Press	sheet W	4/20/2021 Date	



ALFONZETTI ENGINEERING, P.C. 1100 ROUTE 52, CARMEL, N.Y. 10512 845 - 228 - 9800

3 DEER RIDGE LANE

TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK AERIAL VIEW APRIL 16, 2021 ALL WORK SHALL CONFORM TO THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE INCLUDING THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC). THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC). THE 2015 INTERNATIONAL PLUMBING CODE (IPC). THE 2014 NATIONAL ELECTRIC CODE (NFPA 70), ALL STATE AMENDMENTS TO THE AFOREMENTIONED CODES FOUND IN THE 2017 NEW YORK STATE UNIFORM CODE SUPPLEMENT, LOCAL HEALTH DEPARTMENT REGULATIONS AND ALL OTHER APPLICABLE REGULATIONS BY AUTHORITIES HAVING JURISDICTION. A. SHOULD THERE BE ANY INFORMATION SUPPLIED ON OR OMITTED FROM THE DRAWINGS OR IN THE SPECIFICATIONS THAT INADVERTENTLY DOES NOT COMPLY WITH CODE, THE CONTRACTOR SHALL BRING THE MATTER TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND RESOLVE IT

SHOULD THE CONTRACTOR KNOWINGLY CONSTRUCT ANYTHING IN NON-COMPLIANCE WITH ANY CODE WITHOUT CONSULTING BEFORE HAND. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR CORRECTING THE CONSTRUCTION TO COMPLY WITH ALL LOCAL AND STATE CODES AND AT NO ADDITIONAL COST TO THE OWNER. EVEN IF THE DRAWINGS OR SPECIFICATIONS CAN BE SHOWN TO CALL OUT NON-COMPLYING SITUATIONS. SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSES NECESSITATE CONSTRUCTION DETAILS NOT IN ACCORDANCE WITH THESE PLANS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND SUBMIT HIS DETAILS SHOWING THE PROPOSED METHODS TO ACCOMPLISH THE REQUIRED RESULTS

ALL ELECTRICAL, PLUMBING AND H.V.A.C. WORK SHALL BE DONE OR DIRECTLY SUPERVISED BY SUBCONTRACTORS LICENSED TO WORK IN THE STATE WORK PERFORMED SHALL MEET OR EXCEED GUIDELINES PER RESIDENTIAL CONSTRUCTION PERFORMANCE GUIDELINES AS PUBLISHED BY NAHB (NATIONAL ASSOCIATION OF HOME BUILDERS)

THE ARCHITECT IN WRITING FOR CLARIFICATION. WORK SHALL NOT PROCEED UNTIL SUCH CLARIFICATION HAS BEEN RECEIVED.

DIMENSIONS SHOWN ARE FROM STUD TO STUD, EXCEPT WHEN MEASURING FROM EXISTING WALLS IN WHICH CASE DIMENSIONS START FROM FINISHED ALL CONNECTORS IN PRESSURE TREATED WOOD SHALL BE G185 HOT-DIPPED GALVANIZED OR STAINLESS STEEL

VERIFY ALL DIMENSIONS IN THE FIELD. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND DRAWINGSAND/OR SPECIFICATIONS SHALL BE REPORTED TO

INSPECT THE PREMISES AND VIEW THE EXISTING CONDITIONS TO VERIFY ALL CONDITIONS, SIZES AND QUANTITIES. PLANS ARE FURNISHED TO INDICATE THE SCOPE OF THE INTENDED CONTRACT WORK. EXISTING CONDITIONS WHICH MIGHT PRECLUDE OR INTERFERE WITH THE PROPOSED WORK AS DRAWN OR SPECIFIED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR RESOLVING. RELOCATIONS MUST BE CHECKED TO VERIFY THEIR FEASIBILITY IN ACCORDANCE WITH THE NEW REQUIREMENTS. WRITTEN DIMENSIONS ON THE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ADEQUATELY BRACE AND PROTECT ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND MIS-ALIGNMENT

ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE. MANDATORY INSPECTIONS: MANDATORY INSPECTIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. VISIT THE PROJECT SITE TO INSPECT THE SCOPE OF THE WORK IN RELATION TO THE EXISTING CONDITIONS. GLAZING IN DOORS, SHOWER STALLS, FIXED PANELS, AND BATHTUB ENCLOSURES SHALL CONFORM TO THE REQUIREMENTS OF THE STATE BUILDING

VENTILATION: PROVIDE VENTILATION IN CONFORMANCE WITH THE STATE BUILDING CODE. SMOKE DETECTORS SHALL BE MOUNTED AND PLACED IN ACCORDANCE WITH NFPA 72, STANDARD FOR INSTALLATION AND MAINTENANCE AND USE OF HOUSEHOLD FIRE WARNING EQUIPMENT AND IN ACCORDANCE WITH STATE BUILDING AND FIRE CODES. ALL PLUMBING WORK SHALL CONFORM TO THE STATE PLUMBING CODE, ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODE, AND ALL HEATING AND VENTILATING WORK SHALL COMPLY WITH AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR-CONDITIONING ENGINEERS

PROVIDE CARBON MONOXIDE DETECTORS WITHIN 10' OF SLEEPING AREAS AND ADJACENT TO THE GARAGE THE TERM "PROVIDE" MEANS TO "FURNISH" AND "INSTALL". THE TERM "FURNISH" MEANS TO SUPPY REQUIRED COMPONENTS AND DELIVER TO PROJECT SITE.

INSULATION & ENERGY NOTES:

THE TERM "INSTALL" MEANS TO INSTALL ALL REQUIRED ITEMS.

(ASHRAF) STANDARDS

PROVIDE BUILDING INSULATION AS REQUIRED BY CODE AND NOTED IN CONSTRUCTION DOCUMENTS. INSULATION SHALL BE BY MEANS OF SPRAY FOAM INSULATION U.N.O. AND SHALL BE INSTALLED AS FOLLOWS:

A. EXTERIOR STUD WALLS: R-21 OPEN-CELL SPRAY FOAM INSULATION (OC-SPF). NEW AND EXISTING ROOF RAFTERS: R-49 CC-SPF. FURRED PERIMETER BASEMENT WALLS: R-19 CC-SPF WITHIN NEW FRAMING

BEFORE ANY CONSTRUCTION AFFECTING THIS MATTER BEGINS.

BACKSIDES OF RIM BOARDS & HEADERS: R-21 CC-SPF. FLOORS OVER UNCONDITIONED SPACE: R-30 CC-SPF.

BELOW BASEMENT SLAB: 3" CC-SPF. . SUPPLY DUCTS IN NON-CONDITIONED ATTIC SPACE: R-8. DUCTS SHALL BE SEALED AND TESTED PER CODE. H. PIPING FOR HYDRONIC HEATING SYSTEMS AND HOT WATER SUPPLY: R-3.

ADDITIONAL ACOUSTIC ROXUL INSULATION AS SHOWN ON PLANS AND SECTIONS.

THE FOLLOWING SHALL APPLY TO THE VARIOUS INSULATION TYPES BEING USED.

OPEN CELL SPRAY FOAM (OC-SPF) INSULATION: ICYNENE CLASSIC LD-C-5 OR APPROVED EQUAL. CLOSED CELL SPRAY FOAM (CC-SPF) INSULATION: DOW STYROFOAM RS SERIES OR APPROVED EQUAL. SPF MUST MEET ICC-ES ACC377 APPENDIX X MODIFIED NFPA 286 TESTS FOR FLAMMABILITY. ALL SPRAY FOAM WITHIN ATTICS AND CRAWLSPACES SHALL HAVE THERMAL/IGNITION BARRIER AS REQUIRED BY CODE. IN UNFINISHED ATTICS AND OTHER SPACES WHERE INSULATION IS LEFT EXPOSED, PROVIDE INTUMESCENT PAINT THERMAL BARRIER. IN FINISHED ATTICS, PROVIDE 1/2" PAINTED

BELOW GRADE RIGID INSULATION BOARD; TREMCO WARM AND DRI COMPOSITE DRAINAGE BOARD INSTALL MATERIALS AND SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPROVED SUBMITTALS. INSTALL MATERIALS AND SYSTEMS IN PROPER RELATION WITH ADJACENT CONSTRUCTION. COORDINATE WITH WORK OF OTHER SECTIONS.

CONTRACTOR SHALL MEET THE REQUIREMENTS OF 2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ STATE AMENDMENTS: CONTRACTOR TO PROVIDE LISTING OF ENERGY CODE CRITERIA NEAR ELECTRICAL PANEL PER CODE.

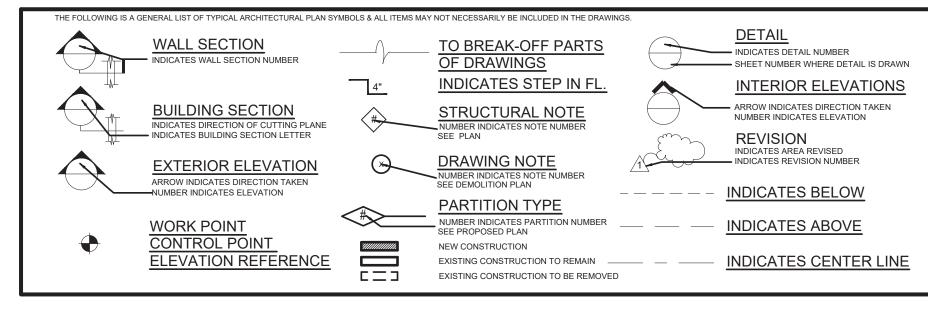
THE BUILDING THERMAL ENVELOPE SHALL BE AIR SEALED WITH CAULK, GASKETS, WEATHERSTRIPPING OR OTHER AIR BARRIER MATERIAL TO LIMIT AIR SEALING VERIFICATION. AIR SEALING MUST BE VERIFIED BY EITHER (A) LESS THAN 7 ACH50 MEASURED INFILTRATION AS DETERMINED BY A BLOWER DOOR TEST OR (B) A COMPLETE AIR BARRIER AND INSPECTION REPORT.

DUCT LEAKAGE. ALL DUCT SYSTEMS MUST BE SEALED AND MUST BE TESTED AT EITHER POST CONSTRUCTION OR ROUGH-IN UNLESS THE ENTIRE SYSTEM IS WITHIN CONDITIONED SPACE. CONTRACTOR SHALL MEET OTHER REQUIREMENTS OF THE 2015 IECC NOT LISTED ABOVE.

AUTOMATIC OR GRAVITY DAMPERS SHALL BE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS. ALL PORTIONS EXTERIOR OF WALL CAVITIES THAT ARE EXPOSED DURING CONSTRUCTION SHALL BE FILLED WITH FULL DEPTH BATT INSULATION IF NOT

SYMBOLS LEGEND

BEING FILLED WITH BLOWN-IN OR SPF INSULATION.



FRANK RESIDENCE

3 DEER RIDGE LANE, ARMONK, NEW YORK



M.E.P. DESIGN / BUILD NOTES

THE FOLLOWING ITEMS SHALL BE COMPLETED BY THE CONTRACTOR AS DESIGN/BUILD ITEMS. THE CONTRACTOR SHALL SPECIFY, SIZE. AND LAYOUT NECESSARY EQUIPMENT AND FIXTURES AS REQUIRED FOR A COMPLETE SYSTEM SUBJECT TO APPROVAL OF THE OWNER/ARCHITECT.

A. HVAC SYSTEMS. REFER TO FLOOR PLAN FOR GENERAL LOCATIONS FOR HVAC EQUIPMENT. A.A. PROVIDE NEW FORCED AIR / HYDRO HVAC SUITABLE TO MAINTAIN A 72 DEGREE INTERIOR TEMPERATURE WHEN THE EXTERIOR TEMPERATURE IS BETWEEN 0 AND 90 DEGREES FAHRENHEIT.

A.B. SPECIFY ZONES RECOMMENDED: PROVIDE NEST TYPE PROGRAMMABLE THERMOSTATS. ALL FORCED AIR / HYDRO AIR SYSTEMS SHALL HAVE VARIABLE SPEED FANS A.D. AIR-CONDITIONING SYSTEMS SHALL BE HIGH EFFICIENCY OZONE FRIENDLY MINIMUM 16 SEER TWO-STAGE CONDENSING

A.E. CONTRACTOR SHALL PROVIDE A RANGE OF HVAC OPTIONS APPROPRIATE FOR THE PROJECT FOR OWNER'S

CONSIDERATION. A.F. PROVIDE DEHUMIDIFIER IN BASEMENT. PROVIDE HUMIDIFICATION FOR 1ST AND SECOND FLOORS.

A.G. PROVIDE FULL HOUSE HEAT RECOVERY VENTILATOR (HRV) SYSTEM. TIE INTO CONTROLS FOR KITCHEN EXHAUST AND A.H. EQUIPMENT SHALL BE SIZED ACCORDING TO AIR-CONDITIONING CONTRACTORS OF AMERICA'S (ACCA) MANUAL J. S. & D. AND SECTION M1401.3 OF THE STATE BUILDING CODE. RULE-OF-THUMB METHODS SHALL NOT BE USED.

A.I. ALL DUCT REGISTERS IN FLOORS SHALL BE STAINED OAK. ALL REGISTERS IN CEILINGS SHALL BE TAPED-IN TYPE WITH A.J. PROVIDE RADIANT HEAT IN NEW BASEMENT SLAB. B. ELECTRICAL SYSTEMS. REFER TO ELECTRICAL PLANS FOR GENERAL LAYOUT OF FIXTURES AND SWITCHING. PROVIDE

B.A. CONTRACTOR SHALL STATE WHAT ELECTRICAL SERVICE IS PROVIDED, WHAT THEIR PROPOSAL INCLUDES AND LOCATION / NUMBER OF PROPOSED SUBPANELS B.B. PROVIDE NEW GAS FUELED, MIN. 24KW LIQUID COOLED BACK-UP GENERATOR WITH SMART SWITCHES, AND LOAD

D.A. PROVIDE TWO (2) NEW BURIED 1,000 GALLON CAPACITY LIQUID PROPANE TANKS. SEE ENGINEERING PLANS.

MANAGEMENT CONTROLLERS. PROVIDE BACK-UP WIRING TO AN APPROPRIATE NUMBER OF FIXTURES AND APPLIANCES

WITH HOUSE. PROVIDE CONNECTIONS FROM HOUSE TO GENERATOR LOCATION. PLUMBING SYSTEMS. REFER TO FLOOR PLANS FOR GENERAL LOCATION OF PLUMBING FIXTURES. FUEL GAS SYSTEMS

ALTERNATES & ALLOWANCES

SEE BID SHEET FOR ALTERNATES

THE CONTRACTOR SHALL PROVIDE AS SEPARATE LINE ITEMS FROM THE BASE BID. THE FOLLOWING ALTERNATES WHETHER THEY ADD OR SUBTRACT FROM THE BASE BID PRICE. ALTERNATE PRICES SHALL INCLUDE ALL FEES, INCLUDING OVERHEAD OR PROFIT. IN THE CASE THAT THE ALTERNATE ELIMINATES COSTS, THOSE COSTS SHALL BE REFLECTED IN THE ALTERNATE PRICE.

CONSTRUCTION CODE NOTES:

THIS PROJECT IS BEING FILED UNDER THE 2015 NEW YORK STATE CONSTRUCTION CODES. THE DESIGN OF THIS PROJECT, TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, IS IN COMPLIANCE WITH THE REQUIREMENTS OF THE ENERGY CONSERVATION CODE OF THE STATE OF NEW YORK. 3. THE PROJECT SHALL COMPLY WITH THE 2015 ENERGY CONSERVATION CONSTRUCTION CODE PER SECTION 402.1; THE PRESCRIPTIVE METHOD OF COMPLIANCE AS NOTED BEL

MANDATORY PROVISIONS

401.3 A CERTIFICATE WILL BE PROVIDED ON THE ELECTRICAL PANEL AS REQUIRED.

INSULATION AND FENESTRATION SHALL BE PER THE TABLE BELOW. ATTIC ACCESS SHALL BE WEATEHRSTRIPPED AND INSULATED.

THE PROJECT SHALL COMPLY WITH THE MANDATORY PROVISIONS OF THE FOLLOWING SECTIONS

402.2.10 SLAB INSULATION PROVIDED PER DETAIL. AIR-LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE TIGHTNESS SHALL BE DEMONSTRATED THROUGH THE TESTI

VAPOR RETARDER PROVIDED THROUGH THE USE OF CLOSED CELL SPF INSULATION ON RAFTERS AND LOW-PERM PRIMER ON WALLS

SECTION 402.4.1 MEETING THE REQUIREMENT OF LESS THAN THREE AIR CHANGES PER HOUR. FENESTRATION SHALL BEET THE AIR LEAKAGE REQUIREMENTS OF SECTION 402.4.3. RECESSED LIGHTING SHALL MEET THE REQUIREMENTS OF SECTION 402.4.5 CONTROLS. AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM.

	CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WOOD FRAME R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE	CRAWLSPACE WALL R-VALUE
REQUIRED	4A	0.32	0.55	49	20 OR 13+5	13/17	30	15/19	10/2 FT	15/19
PROVIDED	4A	0.32 N/A 49 21 N/A		N/A	30	15/19	N/A	N/A		

					D GEOGRAPHIC TO TABLE R301.2(1		RIA				
ND	Wind	SEISMIC		SUBJECT TO	DAMAGE FROM		WINTER	ICE BARRIER	EL 0.0D	AIR	MEAN
W D	SPEED (mph)	DESIGN CATEGORY	Weathering	Frost line depth	Termite	Decay	DESIGN TEMP	UNDERLAYMENT REQUIRED	FLOOD HAZARDS	FREEZING INDEX	ANNUAL TEMP

115 C | SEVERE | 42" | MOD TO HVY | SLT TO MOD | 7 DEG F | YES | NONE | <1500 | 50 DEG F

PRESUMPTIVE SOIL BEARING CAPACITY

PRESUMED SOIL BEARING CAPACITUY IS 2,000PSF. SOILS ASSUMED TO BE SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND/OR CLAYEY GRAVEL . CONTRACTOR SHALL VERIFY IN FIELD.

DRAWING INDEX

		21 ISSUED FOR REVIEW	ISSUED FOR	ISSUED FOR	ISSUED FOR	
NUMBER	SHEET NAME	02.17.2021 DESIGN RE\	03.31.2021 ISSUED DESIGN REVIEW	04.08.2021 BIDDING	04.20.2021 PERMIT	
G-1	TITLE SHEET & NOTES	X	Х	Х	Х	
G-2	SCHEDULES	X	X	X	Х	
Z-1	F.A.R. PLANS & CALCULATIONS			Х	X	
A-1	BASEMENT & FOUNDATION CONSTRUCTION PLAN	X	Х	Х	X	
A-2	FIRST FLOOR CONSTRUCTION PLAN	X	Х	Х	X	
A-3	SECOND FLOOR CONSTRUCTION PLAN	X	Х	Х	X	
A-4	ROOF CONSTRUCTION PLAN	X	Х	Х	X	
A-5	EXTERIOR ELEVATIONS	X	Х	Х	Х	
A-6	EXTERIOR ELEVATIONS	X	Х	Х	Х	
A-7	BUILDING SECTIONS & DETAILS	X	Х	Х	Х	
A-8	BUILDING SECTIONS & DETAILS	X	Х	Х	Х	
A-9	BUILDING SECTIONS & DETAILS	X	Х	Х	Х	
A-10	BUILDING SECTIONS & DETAILS		Х	Х	X	
A-11	CONSTRUCTION DETAILS		Х	Х	Х	
A-12	CONSTRUCTION DETAILS		Х	Х	Х	
S-1	STRUCTURAL NOTES & DETAILS		Х	Х	Х	
S-2	FOUNDATION & FIRST FLOOR FRAMING PLAN		Х	Х	Х	
S-3	SECOND FLOOR FRAMING PLAN		Х	Х	X	
S-4	ATTIC FLOOR & PARTIAL ROOF FRAMING PLAN		Х	Х	Х	
S-5	ROOF FRAMING PLAN		X	Х	Х	
E-1	BASEMENT ELECTRICAL PLAN		Х	Х	Х	
E-2	FIRST FLOOR ELECTRICAL PLAN		X	Х	Х	
E-3	SECOND FLOOR ELECTRICAL PLAN		Х	Х	Х	
I-1	INTERIOR ELEVATIONS		X	Х	Х	
I-2	INTERIOR ELEVATIONS		Х	Х		
I-3	INTERIOR ELEVATIONS		Х	Х		
I-4	INTERIOR ELEVATIONS		Х	Х		
I-5	INTERIOR ELEVATIONS		Х	Х		
I-6	INTERIOR ELEVATIONS		Х	Х		
I-7	INTERIOR ELEVATIONS		X	X		
I-8	INTERIOR ELEVATIONS		X	X		
I-9	INTERIOR ELEVATIONS		X	X		

ZONING COMPLIANCE TABLE 3 DEER RIDGE LANE, ARMONK, NY

REGULATION	REQUIRED / PERMITTED	EXISTING	PROPOSED
MINIMUM LOT AREA	2 ACRES	2.192 AC NET/95,483	2.192 AC NET/95,483
MINIMUM LOT WIDTH	150'	396'	SAME
MAXIMUM BUILDING COVERAGE	8%	N/A	TBD
MAXIMUM GROSS LAND COVERAGE	13,897 SF	N/A	13,841.4 SF
MAXIMUM GROSS FLOOR AREA (F.A.R.)	10,456.5 SF	N/A	8,056.8 SF
MINIMUM FRONT YARD SETBACK	50'		
MINIMUM REAR YARD SETBACK	50'		
MINIMUM ONE SIDE YARD SETBACK	30'		
MINIMUM TOTAL SIDE YARD SETBACKS			
MAXIMUM BUILDING HEIGHT	30'/38'	N/A	34'-7"

(1) PER TOWN CODE 355-26: 10,122 SF PLUS 4% OF LOT AREA IN EXCESS OF 2 ACRES (4) FIRST FLOOR, SECOND FLOOR, AND GARAGE (2) PER TOWN CODE 355-26: 13,270 PLUS 7.5% OF LOT AREA IN EXCESS OF 2 ACRES (3) PER TOWN CODE 355-26 PART D

BASEMENT EXCLUDED: NOT COUNTED AS THE FINISH FLOOR ABOVE IS LESS THAN 12'-0" FROM THE LOWEST POINT AT THE PERIMETER OF THE BUILDING. ATTIC EXCLUDED: HEIGHT IS LESS THAN 7.5' ENTIRELY.

SPECIFICATIONS

ne following specifications are made in general form and not I sections or materials pertain to this project. In the case of conflict between the specification on this page and pecifications found elsewhere in this drawing set, the ecifications shown on the drawings shall take precedence

Division 00 000. Procurement and Contracting Requirements. 00 250 - Supplementary Instructions to Bidders ite visitation: prior to submitting a bid price for the work, the contractor

form the architect of any discrepancy prior to execution of the work. Il bonding and insurance requirements shall be coordinated with the Owner prior to beginning construction. Contractor shall additionally insure Noted dimensions take precedence.

the Architect and its consultants. Provide Architect with ACORD insurance certificate prior to start of construction

Division 01 000. General Requirements 01 100 - Additional General Requirements addition to the General Conditions the following conditions shall apply:

ne contractor shall furnish all labor, materials, tools, equipment. ppliances, transportation, hauling, etc. To complete, in a workmanlike spaces prior to the start of finish painting and the application of other manner, everything shown, called for or reasonably implied in the plans or finishes. At the conclusion of construction, the project shall be properly ontractor shall review construction documents and provide labor and

assume full responsibility for all damages caused by his workers or bcontractors' workers. The contractor shall repair and/or replace all

proken parts, including glass, at no additional cost to the owner. All penings due to construction in exterior walls and roofs of the existing tructure shall be carefully protected with temporary closures to prevent Clean-up: in addition to the normal clean-up each day, it is expected that ne contractor will keep the entire premises free of debris, discarded

who are skilled and experienced in their respective trades. All installations Demolition - Provide all labor, materials and equipment to perform the shall operate properly in a first-class manner. Workmanship shall conform required demolition of existing pavement no longer needed for access or or required demolition of existing pavement no longer needed for access or or needed for access or or needed for access or needed for ac to the best trade practices. Finished surfaces shall be plumb and level, parking, abandoned utilities and structures which interfere with the straight and free of imperfections and set firmly to accurate easurements. Finished product shall be totally clean and free of vering materials, loose or foreign materials, etc.

General cleaning: upon completion of construction, the contractor is to lean the exterior of the structure and the site, removing all stains, debris, etc. Resulting from construction. The contractor shall also clean all interior

1. All class inside and out

02 300 - Earthwork areas of the structure in the areas of new work. All glass, inside and out, Recycling: contractor shall designate a location on site and a nauler/recylcler for collection of recyclable/salvage materials from

demolition and construction activities.

Extra charges: will be allowed only when authorized in writing by the

01 500 - Temporary Facilities and Controls r construction site if required. Connect to existing power service without for safety preservation of existing improvements. Design criteria of to prevent spreading of the forms. Place ties at least 1 inch away from the hall be compatible with the service from which it is taken. Size, type and oading shall be per requirements as established by the National Electric Code (NEC). The contractor shall provide main service disconnect and ver-current protection at a convenient location in accordance with the C. The Contractor shall provide power outlets for construction perations, with branch wiring and distribution boxes located as necessary

nd shall provide flexible power cords as required. Provide and install

istribution equipment, wiring and outlets to provide single phase branch Sanitary Facilities - Existing facilities shall not be used. Contractor shall and affecting operations at the site will be continually and effectively

Concrete Accessories - Provide 1/2" thick by 4" wide bituminous provide and maintain in a neat and sanitary condition such commodations for the use of his employees as will comply with laws and The excavation shall be drained by pumping or other satisfactory methods crawlspace or basement stem-wall CMU or poured foundations. gulations. Temporary toilet facilities may consist of portable toilets. to prevent softening of the foundation bottom, undercutting of footing, or pilet facilities shall be kept supplied and clean and in sanitary condition other actions detrimental to proper construction procedures. ntil the completion of the work and then shall be removed from the site oon removal the site shall be properly cleaned and graded.

Temporary Barriers and Enclosures - The contractor shall provide parriers to prevent unauthorized entry into construction areas and to rotect existing facilities and adjacent properties from damage from onstruction operations and demolition. All materials shall be installed in strict accordance with the manufacturer's

Backfill as required for all excavation. Backfill in layers not more than 6

specifically mentioned that are required to make the work complete and Installation and Storage - All materials, supplies and equipment shall be To local authority's requirements and below the frost line. nstalled per manufacturer's recommendations and per applicable codes

02 500 - Utilities

Substitutions - All substitutions shall be approved by Architect prior to located underground from street to building, unless otherwise stated. frost line constructed of 3000 psi concrete. Provide 3 - #5 rebar purchasing. Architect may reject substitutions for any reason and without

Utility Connection Fees paid to a utility shall be paid directly by the owner (reinforcing steel) continuous unough locates unless outcomes noted.

Provide #5 rebar (reinforcing steel) corner bars at all corners and 01 700 - Execution and Closeout Requirements

The execution of all work shall be in strict accordance with these

shall visit the site and verify all conditions in the contract documents and Codes - Construction shall comply with all applicable national, state and Measurements - The Contractor shall check and verify all dimensions and incorporate by rototilling into subsoil. conditions before proceeding with construction. Do not scale drawings

> Workmanship - Workmanship shall conform to the best and highest construction and installation. All work shall be completed by skilled raked lightly into the soil to a depth of 1/4 inch and rolled with a roller tradesmen and mechanics. Installation of all equipment and materials shall weighing not more than 100 pounds per linear foot of tread. Keep the be in strict accordance with manufacturer's recommendations.

and orderly condition throughout the construction process. Clean interior proper germination. cleaned. This should include but not be limited to: cleaning the interior and exterior glass, surfaces exposed to view, remove temporary labels, 03 100 - Basic Concrete Materials and Methods naterials pertaining to carpentry work as required in said documents and vacuum carpeted and soft surface areas, sweep and mop all tiled

Damages: for the duration of the construction period, the contractor shall Protecting Installed Construction - Contractor to protect all installed construction. If products or materials come with a protective coating, contractor shall maintain protective coating until construction is complete. Contractor shall replace any items that become defective or damaged.

the entrance of any water, snow or ice into interior spaces. Any damage Operation and Maintenance Data - Contractor to provide Owner with all recorded. Cylinders shall be taken from every batch truck and tested for om water, snow or ice shall be fully repaired by the contractor at no cost 02 200 - Site Preparation Contractor shall follow soil and erosion control plan and Best Management

proposed construction. When required install chain link fencing around the area of demolition work. Protect all adjacent areas not to be demolished. Remove all debris from job site before construction begins.

onstruction. Contractor shall contract with a properly licensed and

Shoring and Underpinning - Existing footings, foundations, pile caps, grade beams, retaining walls or pavement which may be affected by excavation operations shall be shored or underpinned adequately or otherwise protected against settlement and shall be protected against lateral movement. Provide necessary materials to hold back earth at **Embedded Items** - make provisions for sleeves, anchors, inserts.

excavations and as required to prevent cave-ins and earth sloughs. safe and expeditious construction of permanent structures without loops. Leave inner rods in concrete when forms are stripped. Space all movement or settlement of the ground. Shoring, including sheet piling, form ties equidistant and symmetrical and line up both vertically and shall be furnished and installed as necessary to protect workers, banks, horizontally adjacent paying, structures and utilities. Shoring, bracing and sheeting

, shall be removed as excavations are backfilled, in a manner to prevent Cleanouts and Access Panels - Provide removable cleanout sections or should be at least 1 1/4" thick (5/8" minimum) in order to provide for a Excavation - Excavate as required for all construction, utilities, paving and surfaces to receive concrete of all chips, sawdust, and other debris and maximum allowable concentrated deflection of your sub-floor may not When installing a continuous steel angle it should conform to ASTM A36 equipment as indicated or as necessary. Excavation shall be performed thoroughly blow out with compressed air just before concrete is placed.

Stagger joints. Do not align with plywood and be treated to resist corrosion. Steel angles for lintels should be a and be treated to resist corrosion. Steel angles for lintels should be a and be treated to resist corrosion. so that the area of the site and the area immediately surrounding the site drained. Water shall not be permitted to accumulate in the excavation. expansion joint material at all surfaces where slabs adjoin raised slab,

Trenching for underground utilities systems and drain lines shall be excavated to the required alignments and depths. The bottoms of trenches shall be graded to secure the required slope and shall be tamped bottom and side of footing and 2" clear from top. Locate vertical rebar The contractor shall be required to verify the existence and location of all shall be accurately placed, rigidly supported, and firmly tied in place with the fasteners between 3/8" and 3/4" from sheet edges and 2" in from sheet edges and underground utilities. All existing utilities shall be marked, identified and bar supports and spacers in accordance with ACI 301 and ACI 318.

inches in depth and tamper to proper dry density compaction. backfilling

Welded wire fabric shall be 6x6x10x10 and conform to ASTM A105 and be

wood or minimum 20 gauge metal studs must be straight properly aligned located in the center of the depth. Install at slab on grade conditions. Contractor shall excavate to firm, solid bearing for all footings, walls, etc. 03 300 - Cast-In-Place Concrete Install necessary utility services, such as electricity, water, gas and oil, minimum soil bearing allowable of 2000 psf, tested for 95 percent sanitary sewerage and support structures for power and communications.

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with no mark-up on the fee. 02 950 - Site Restoration and Rehabilitation

Topsoil Placement and Grading specifications and manufacturer's written specifications or Material's Institute Standards. All work not specifically mentioned that is required to A three (3") inch cover of topsoil or appropriate soil amendment shall be areas. Rototill all areas indicated on plans and on areas damaged by construction, to depth of 4", removing stumps, all foreign objects and stones larger than one inch diameter. Place topsoil on all areas and

seeded turf areas shall be free of broadleaf weeds. Sow seed with mechanical spreaders at the specified rate on a calm day. Sow one half surface moist by a fine spray until the grass shows uniform germination over the entire area. Wherever poor germination occurs in areas larger Cleaning and Waste Management - Construction site to be in a clean than three (3) square feet, reseed, roll and water as necessary to obtain

stains and foreign substances, polish transparent and glossy surfaces,

All concrete work shall be designed on the basis of "Strength Design" in naterials pertaining to carpentry work as required in said documents and as specified herein, while complying with all applicable building codes.

Accordance with ACI 332-10 "Residential Code Requirements for Structural Concrete." Concrete work shall be proportioned in accordance and fixtures to a sanitary condition. Clean exterior such as debris from with ACI 301 " Specifications for Structural Concrete" and ACI 211.1 " Recommended Practice for Selecting Proportions for Normal Weight

> Concrete slabs, patios, driveways, walls and foundations shall be constructed of a minimum 3000 to 3600 psi concrete (see individual specification sections for exact psi requirements for each section), 28 day test, with a 4" minimum to 6" maximum slump maximum, air-entrained to 5 8%. No additional water shall be added to concrete after slump test is grade Portland cement, clean sand or granular fill and washed gravel or crushed stone as coarse aggregate per ACI 530. Maximum aggregate size shall be ¾". All aggregates shall conform to ASTM C33. Gravel Cold Weather - During anticipated ambient temperature conditions of 35 should be well graded and not exceed 1 1/2" in size. Water shall not degrees F or less, concrete temperature shall be maintained above a

be mixed using an approved batch machine or mobile mixer until uniform reached. Where reinforced concrete is dry or protected from moisture in Provide all labor, materials and equipment necessary for the completion of cementitious materials. the plain and reinforced concrete called for on the plans. Concrete when deposited shall have a temperature ranging between a minimum of 50 degrees Fahrenheit and a maximum of 90 degrees Fahrenheit.

Contractor to abate any hazardous material or substance before beginning the correct shape and dimensions, constructed tightly and of sufficient strength. Brace and tie the forms together. Make joints and seams mortar tight. Install leakage control materials in accordance with nanufacturer's installation instructions. Provide all labor, materials and equipment to provide concrete structures Chamfered Corners - Unless otherwise noted, provide chamfered

angles and edges parallel with related building lines. 03 500 - Cast Decks and Underlayment Install cementitious backer-board under ceramic tile, marble and stone support systems shall consider all loads in a manner which will allow the finished surface of the concrete. Do not use ties consisting of twisted wire use a circular saw with carbide tipped blade.

Floor Installation - Install over interior wood or concrete sub-floors Ensure sub-floor is structurally sound. Ensure the sub-floor is not sub-floor is clean and flat. Exterior grade plywood or hardwood sub-floor access panels at the bottom of all forms to permit inspection and effective structurally solid, movement free foundation. In addition, the space cleaning of loose dirt, debris and water material. Clean all forms and between the joists should not exceed 16" on center. In any case, the dry set mortar or modified thinset to sub-floor per manufacturer!

Reinforcing steel (rebar) shall be minimum ASTM A615, grade 60. All reinforcement splices shall be as follows: #5 bars 25" minimum, #7 bars minimum 1/2" exterior grade plywood positioned across the wood cabinet. wherever the air space is interrupted. Flashing should extend through the 35" minimum. All rebar (reinforcing steel) shall be located 3" clear from (reinforcing steel) per drawings. All reinforcement splices shall be in accordance with ACI 318 for "Strength Design." All reinforcement steel

Space between plywood supports is not to exceed 16" on center. Do not face of the brick veneer to form a drip edge. Where the flashing is not align backer-board with plywood joints. Sheet ends and edges must be continuous, such as at heads and sills, the ends should be turned up to plywood per manufacturer's recommendations. Fasten backer-board sheets with proper nails or screws every 8" over the entire surface. Keep and spaced a maximum of 16" on center. In tub and shower enclosures, 04 210 - Brick Veneer Masonry ensure that the framing is adequately reinforced at the corners. Sheets

Brick shall be placed in a running bond with joints finished to produce a may be installed vertically or horizontally. Score and snap sheets to concave form unless noted otherwise. All joints shall be uniform and 3/8 Footings - Center all footings on walls, piers, or columns above unless must be supported by a structural framing member or added blocking. In inch thick unless otherwise noted. Detailing, such as soldier courses, otherwise noted. All footings shall rest on undisturbed virgin soil with wet areas, install a moisture barrier (such as 15 lb. Felt) between studs rowlocks, quoins, etc., and location of brick veneer shall be shown in the and backer-board. Install sheets 1/4" above floor, tub or shower pan. construction documents. Wall ties shall be hot-dipped galvanized #9

recommendations. Fasten backer-board sheets with proper nails or

surface, without overdriving. Provide expansion joints where required. (reinforcing steel) continuous through footers unless otherwise noted. intersections of footings, beams and walls. Each side should overlap 2'-0", 03 600 - Grouts with a 90 degree bend. Footings shall bear on undisturbed soil and kept Concrete surfaces to receive grout shall be prepared by removing free from ground water. Underneath load-bearing walls and interior or defective concrete, dirt, oil, grease and other foreign matter to achieve 04 200 - Concrete Masonry exterior column footings, thicken slabs within a 1' radius to 12"thick. sound, clean concrete surfaces.

spread uniformly over the soil (9 yards per 1000 sq. ft.) and tilled into the Slab Foundations. Use a CMU and shall have a minimum net compression strength of 1900 psi. but at a minimum top six (6") inches of soil. Topsoil shall be a natural, fertile, friable soil, slabs) shall be a natural, fertile, friable soil, slabs) shall be constructed of 3000 psi concrete, garage slabs and exterior padded grout float to spread the grout over a workable section of tile. Push Use Grade N, type 1, specialty shapes load bearing concrete masonry All steel plates shall be in conformance with ASTM A36 typical of productive soil in the vicinity, obtained from naturally well drained slabs shall be constructed of 3500 psi concrete, 4" thick reinforced with 10 the grout diagonally across the joints to force it down into the gaps. Grout units as specified. Standard width of mortar joints for both horizontal and Tubular Steel shall be in conformance with ASTM A500 Grade B gauge 6" x 6" welded-wire mesh continuous and rebar (reinforcing steel) all the joints except those needed to allow for expansion joints specifically vertical joints shall be 3/8 inch Joints shall have a full mortar coverage. Steel pipe shall be in conformance with ASTM A-53, Grade B. as per plans. Place slabs over well-compacted granular fill compacted in along fixtures, between the floor and walls, or joints in corners in between Lay CMU plumb with all courses level using appropriate corner blocks at Steel angles and channels shall be in conformance with ASTM A36. 12 inch lifts to 95 percent density per AASHTO T-180 Proctor, and a 15 mil walls. Expansion joints will be sealed with caulk after the grouting process. corners, window and door jambs. Reinforcing mesh shall be installed in vapor barrier U.N.O.. Construction or control joints shall be provided in Once the appropriate joints are packed with grout, scrap the excess grout the three courses above all openings and shall extend 3 feet 9 inches slabs on grade so that the maximum area between joints shall be 400 sq. off the surface of the tile with the grout float. Hold the float at a sharp angle beyond each side of opening. Mesh shall be installed in every third course ft. and the length of that area is not more than twice the width. Provide

and again use diagonal strokes to keep from digging grout out of the

of all masonry unit walls. Cut block with a carborundum saw. Use solid

Welding Electrodes shall be as permitted by AWS Code D1.0. smooth steel trowel finish for all interior slab areas and garage surfaces. joints. Clean up the excess grout with a damp sponge and a couple load-bearing block when required for structural purpose. Provide broom finish texture for all exterior slabs unless receiving finished buckets of clean water. Wipe excess grout off the surface of the tiles standards of quality in each trade and shall include all items of fabrication, the seed in one direction and the other half at right angles. Seed shall be stone or other surface. Slope exterior patio or porch slabs away from using a clean sponge in circular strokes. Once the tile surface is clean, building at 1/8" of drop in elevation for every 1'-0" in distance. At garage make another pass parallel to the grout lines to shape the grout lines in bed CMU with type "M" mortar. Fill all cells containing vertical rebar slab, provide positive drainage and taper lip at garage/overhead door.

the joints. Smooth the joints down a little below the surface of the tile.

(reinforcing steel) with 3000 psi Concrete. Reinforce masonry walls with Exterior slabs and garage slabs shall be air-entrained between 5% and 7% Clean the remaining haze off the surface of the tile with a sponge or a soft hot-dipped galvanized 9 gauge steel "H" wire truss-design masonry

> exceeding 3/8 inch in any direction. Provide appropriate waterproofing completely then smooth them out with a damp rag or appropriate tool.
>
> Waterproofing and Damp proofing in Division 7 for waterproofing system around the exterior perimeter and install drainage as specified by Caulk around plumbing valves, sinks and faucets to seal them from water information. penetration. Glazed ceramic tile surfaces only require grout joints to be Sealed which will provide an enhanced water and mildew resistant surface.
>
> Apply a silicone or water-based grout sealer to all joints per manufacturer's
>
> Apply a silicone or water-based grout sealer to all joints per manufacturer's trowel finish for all interior slab areas and garage surfaces. Provide broom finish texture for all exterior slabs. Slope exterior patio or porch slabs
>
> Non-shrink Grout - Lightly roughen concrete surface for maximum away from building at 1/4" of drop in elevation for every 1'-0" in distance. bonding per manufacturer's recommendations. Cover concrete areas with

exceed 5 1/2 gallons for each bag, unless sand is very dry. Concrete shall frozen state until a concrete compressive strength of 500psi has been 04 050 - Basic Masonry Materials and Methods service, or for plain concrete in all service conditions, calcium chloride added to the mixture shall not exceed 2.0% by weight of cementitious

calcium chloride added to the mixture shall not exceed 0.50% by weight of compositions and perimeters. Set stone in full bed of mortar with full compositions and perimeters. Set stone in full bed of mortar with full compositions and perimeters. Warm Weather - During hot weather, attention shall be given to Construction of Forms - Construct wood forms of sound material, and of water evaporation that could impair required strength or serviceability of Fahrenheit maximum. When air temperature is below 32 degrees

as called for on the plans. Erect pre-cast concrete units and accurately

Masonry Anchorage and Reinforcing

penetrate at least 1 1/4" into the wood studs. **Metal** - Corrosion resistant, self tapping metal screws should be used to masonry nails. The fasteners and anchors should be corrosion resistant. hand tight 0 to 1/4" max. ioints. Never allow all four corners of sheets to meet at one point. Apply a minimum 1/4" thick with at least 3 inch legs.

screws every 8" over the entire surface. Keep the fasteners between 3/8" Masonry Accessories Countertop Installation - Ensure cabinets are level and secure. Use Flashing should be installed at the heads and sills of all openings and complete fireplace details. construction. Weep holes should be located in the head joints immediately

edges and 2" in from sheet corners. Set fastener heads flush with the located to support no more than 2 square feet of wall area and spaced a maximum 24" on center horizontally. Provide rope wick weep-holes, spaced approximately 32 inches on center in vertical joins of first course over all counter flashing and through wall flashing on all exterior walls.

At garage slab, provide positive drainage and taper lip at garage/overhead protective waterproof covering until ready to place grout. Align and level rooting felt. For roofs that are steeper than a 6:12 pitch use a single layer 24 hours. After drying (minimum 48 hours), sand all joints and other areas Steel and Iron door. Patch all voids and depressions exceeding 3/8 inch in any direction. components to be grouted and maintain in final position until grout do not build on frozen substrates. Comply with cold and hot weather plumbing and/or wiring shall be reinforced by adding metal or wood placement is complete and accepted. Install forms for grout around bases construction requirements contained in ACI 530.1 Do not us admixtures structural reinforcing to strengthen member back to original capacity and overlap a minimum of 4" vertically and 12" Curing - After placement, concrete shall be protected to maintain proper and other spaces to be grouted. The tops of such forms shall be one inches such as calcium chloride. moisture and temperature. Protection shall ensure that excessive water above the surfaces to be grouted. Place grout in accordance with the grout rises at least one inch above the plate on opposite side or said plate.

North trough added of the least one inch above the plate on opposite side or said plate. Neatly trowel edges of grout base, tapered at an angle of 60 degrees.

Neatly trowel edges of grout base, tapered at an angle of 60 degrees.

Wood Species: Douglas Fir-Larch No. 2, no substitutions.

> Type M, 2500 psi concrete using pea gravel for coarse aggregate with a center horizontally and 16" vertically. Install additional anchors within 12" blocking. after mixing shall not be used in masonry work. In hot weather add water and through wall flashing on all exterior walls. as needed to supplement evaporation losses. In cold weather, when air

tipped scoring knife and snap upward along the score line. Large cutouts the corrugated metal ties to wood frame construction. The nails should when pointing mortar is thumbprint hard. Provide cleaning.

Foundation Walls shall be constructed with per the drawings. Completely

tub/shower caulk or one in a color that matches the grout in the areas that (reinforcing steel). Install reinforcing members as recommended by then at a minimum, provide #5 rebar (reinforcing steel) at 12" x 12" on toe-kick; between floor or wall tile and bathtub or shower; between floor metal lath grout barrier with maximum grout lifts of 4.0 feet without center (OC) placed in a vertical grid. Patch all voids and depressions and wall tile; and at the inside corner where two walls meet. Fill the joints clean-outs. Rod all filled cells in bond beams for proper density. See

samples of color for approval. Provide latex additive per manufacturer's

paper by fastening through sheating into framing. Install lath over Fahrenheit heat both the missing water and aggregate to between 70 sheathing paper and breathing layer (see details) to comply with ASTM C degrees and 160 degrees Fahrenheit maximum. Mortar colors to be 1063. Install lath over concrete masonry units to comply with ASTM C C 926. Coat backs of stone units and face of scratch coat/CMU with cement paste bond coat, then butter both surfaces with setting mortar. corners on all exposed corners. Provide 3/4 inch moldings in forms for all install in place with hoisting equipment more than adequate for the loads.

Brick Ties - Install galvanized steel wire type brick ties. The brick veneer

Use sufficient mortar so a slight excess will be foreced out the edges of At completion, units shall be plumb, level and square, true to line, with must be securely attached to the existing construction. Provide one tie for the stone units as they are set. Tap units into place. Rake out joints for each 2 2/3 sq ft of wall area. The maximum spacing of ties, either pointing with mortar to depth of not less 1/2". Rake joints to uniform horizontally or vertically, should not exceed 24 inches. This tie spacing depths with square bottoms and clean sides. Prepare stone-joints surfaces for pointing with mortar be removing dust and mortar particles. areas, apply a pointing mortar. Point stone joints by placing and finishes. Use straight edge as guide to score sheet's face with carbide finishes. Use straight edge as guide to score sheet's face with carbide frame - Install corrosion resistant nails to attach compacting pointing mortar in layers no more than 3/8" deep. Tool joints install (3) study nailed together unless using advanced framing per compacting pointing mortar in layers no more than 3/8" deep. Tool joints

and 3/4" from sheet edges and 2" in from sheet corners. Provide Flashing - Flashing materials may be bituminous membranes, sheet damper. Install ash dump if fireplace is on outside wall or as otherwise

mm (0.1 sq.in.), are required above flashing in masonry cavity wall specified herein, while complying with all applicable building codes. Fabrication and erection of structural steel shall conform to the American (Fb) 2900 psi and a modulus of elasticity of 2,000,000 psi Institute of Steel Construction, "Manual of Steel Construction, Load and gauge horizontal joint reinforcement wire. Joint reinforcement shall be flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing, flitch plates, and all support members, complete with required bracing and the flitch plates, and all support members, complete with required bracing and the flitch plates, and all support members, complete with required bracing and the flitch plates, and all support members, complete with required bracing and the flitch plates, and all support members, and all support members are support members, and all support members are support members.

requirements of the latest AISC specifications and latest revisions standard practice and as noted below. All structural metal for beams shall be in accordance with ASTM A992-50.

1500 psi compressive strength, grade N, Type 1, hollow core load bearing A-53 Grade B or A-500. Structural steel columns shall be per drawings All bolts shall be in conformance with ASTM A325 and A490.

rag. In 24 to 48 hours after the grout has hardened, caulk using a clear horizontal wall reinforcement a minimum of every other course, and rebar gates, grilles, iron work, etc. to meet all applicable building codes, with Poured Concrete Basement Walls - Poured walls shall be constructed of you allowed for your expansion joints and over joints that may crack you allowed for your expansion joints and over joints that may crack manufacturer. Provide a 24" x 48" minimum access door to crawlspace.

Metal shall be shop built, welded together, cleaned thoroughly and painted and seal in accordance with manufacturers guidelines. 3000 psi concrete with rebar as shown on drawings. If no rebar is shown, because of movement. Specifically areas between floor tile and cabinet with two coats of an anti-rust primer. After installation, apply an additional coat and anti-rust primer in preparation for finish coats. Division 06 000 - Wood, Plastics, and Composites

06 100 - Rough Carpentry Provide mock-up sample on site for review showing variation of stone lumber shall be used where any lumber shall come into contract with prevent silt buildup. Install other drains necessary for positive site sizes, colors, and mortar pattern and color. See construction documents concrete, masonry block or soil and when using as support members for drainage. for location and detailing of stone veneer. provide flashing where indicated. decks, porches or balconies. Lumber for use at exterior shall have a

Wall ties shall be hot-dipped galvanized W1.7 diameter ASTM A 82, with if pre-engineered trusses are used follow manufactures guidelines for attenuation. Masonry Mortaring - Mortar shall be Type "M" or "S" in accordance with ASTM A 153/A 153M, Class B-2 Wall ties shall be located to support no installation. Pressure treated lumber shall be used where any lumber shall ASTM C270, 2500 psi. Grout shall be in accordance with ASTM C270, more than 2 square feet of wall area and spaced a maximum 24" on come into contract with concrete, masonry block, roof curbing or roof come into contract with concrete, masonry block, roof curbing or roof come into contract with concrete, masonry block, roof curbing or roof come into contract with concrete, masonry block, roof curbing or roof come into contract with concrete, masonry block, roof curbing or roof come into contract with concrete, masonry block, roof curbing or roof come into contract with concrete, masonry block, roof curbing or roof come into contract with concrete, masonry block, roof curbing or roof come into contract with concrete, masonry block, roof curbing or roof come into contract with concrete, masonry block, roof curbing or roof come into contract with concrete, masonry block, roof curbing or roof come into contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete, masonry block, roof curbing or roof contract with concrete slump. Mortar joints shall be 3/8" thick, finished to produce a concave, head joints U.N.O. Provide rope wick weep-holes, spaced approximately drawings.

Girders: Install girders in pockets formed in the foundation or on top of drawings. flush, beaded, raked form. Mortar or grout not used within 2 1/2 hours 32 inches on center in vertical joins of first course over all counter flashing the sill plate. The pocket should allow a minimum of 1/2" on both sides for

ingredients, production methods, handling, delivering, placing, protection, ingredients, production methods, handling, delivering, placing, protection, temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees and 40 degrees Fahrenheit, heat temperatures range between 32 degrees range betwe and curing of concrete to prevent excessive concrete temperatures or foundation. If not floor joists are present, such as on garage stem walls, whirlpools, Pre-fabricated fireplaces shall be U.L. approved and installed per 1063. Install scratch coat over metal lath 3/8" thick to comply with ASTM

Floor Joists: Space floor joists on center (OC) per drawings. Joists shall wood Shingles. Install all shingles per the Cedar Shake and Shingle

O9 300 - Tilling Where setting mortar was removed to depths greater than surrounding **Exterior Walls -** All exterior walls shall be constructed with per drawings.

> walkways and terraces where shown on drawings. Contractor to supply attach metal wire ties to metal construction. Screws should penetrate at samples of bluestone to be used and provide 3'x3' sample of stone
>
> Roof Decking - Provide and install exterior sheathing of APA rated and installation on site for approval. Bluestone set on concrete shall be set in code certified Exposure 1 plywood panels . Sheathing shall be installed sides, and imbed with mortar. Allow for water trap in flue and cast iron apart on the edges and 12" apart on the studs.

Bluestone Patios, Terraces and Walkways - Provide bluestone patios,

Contractor shall review construction documents and provide labor and

All anchor rods shall be in conformance with ASTM F1554 Grade 36.

Lumber shall be of live, sound stock and properly dried. Pressure treated pipe should be wrapped with an appropriate geo-technical fabric to maximum 12 percent moisture content. Provide adequate bracing and Felt. On all roof surfaces install a minimum No. 15 asphalt impregnated surface is needed. Apply second coat of wallboard mud after a minimum

Floor Framing - Information below pertains to conventional stick framing, shall be insulated with Roxul Safe'N'Sound insulation for sound

then provide two sill plates. Bore holes in sills for anchor bolts. rest on a minimum 1 1/2" of bearing wood or 3" of masonry. If joists are Bureau recommendations. lapped over girder, the minimum amount of lap is 12" and maximum overhang is 12". Do not lap at wood I-beams. Joists shall be installed so

astened together with blocks approximately one foot long. One block is and metal.

1" thick portland cement bed over concrete slab. Bluestone set in sand with the face grain running across the rafters, vertical joints staggered. Concrete or Masonry - Install ties with lag bolts and expansion shield or bed shall be set in 2" sand bed over 4" crushed stone base. Joints to be

Nails shall be 8d common or 10d box nails spaced 6" apart on the ends and 12" apart inside. Install with plywood "H" clips between each piece of **07 600 - Flashing and Sheet Metal** Install masonry fireplace on poured slab or concrete block base, with all

Sheathing - Provide and install exterior sheathing of ½" rated plywood cells filled with 3000 psi concrete. At firebox area install fire brick on all panels. For plywood panels, nails shall be 8d common or 10d box; 6" shall be wrapped with 20" wide copper flashing and extend 10" in each metals or a combination of these. Continuous flashing shall be installed at specified. Detailing, such as soldier courses, rowlocks, quoins etc. shall Subflooring - 3/4" tongue and groove plywood sub-floor or Advantech if the bottom of the air space. Flashing mush be at or above grade. be shown in the construction documents. See construction documents for called for in the plans shall be installed with screws and approved sub-floor adhesive. Stagger joints a minimum 2 stud spaces. For attic access, install plywood across all floor joists. .

placed at the bottom, one at the top and one about center of the studs.

Parallam Beams and Posts shall have a minimum bending design values areas, such as around chimneys, tile, ceramic, and around enamel and for a flat smooth surface unless noted otherwise. Use 2" barbed fasteners Steel deck units and accessories shall be fabricated from steel sheet

All architectural trim and woodwork shall be No. 1 grade material suitable conforming to astm a653 sq grade 40, with minimum yield point of 40ksi. for appropriate finishes. Wood that will be stained shall be clear of knots

Engineered Lumber - All engineered lumber shall be installed per

Coordinate requirements with local utility providers. All utilities shall be is required. Footings at building perimeter shall be a minimum of 42" below entire surface. Keep the fasteners between ties permitted. Wall ties shall be weds, washers, nuts, shims, anchor bolts, base plates. reduce excess shrinking. Provide and install interior wood trim as shown weather-stripping around all doors. Interior Doors Interior doors jambs shall be solid 3/4" Poplar pre-hung Provide all required anchor bolts, bearing plates and metal ties required by

Architectural Woodwork - Provide and install custom woodwork as

units u.n.o, and have casing on both sides of the door. Casing shall be described on construction documents. Pre-fabricated woodwork should be per schedule. Finger-jointed jambs shall not be used.

> Concrete Unit Masonry Shall be in accordance with ASTM C90 or C145, All structural steel for steel columns shall comply with ASTM specification
>
> Wood Stairs and Railings - Heights of treads, lengths of risers and overall width of stairs shall comply with applicable building codes. Headroom shall be a minimum of 6'-8" measured from the front edge of the tread to a line parallel to the stair run. Stair treads shall be constructed 08 500 - Windows of 5/4" thick lumber, risers shall be constructed of 3/4" finish grade lumber,
>
> Provide and install necessary windows and appropriate hardware to structural stair stringers shall be constructed of 2"x12"s. Glue and nail stair assembly together. Provide and install detailing as shown in construction documents. Provide shop drawings for all stairs. Division 07 000 - Thermal and Moisture Protection

> > Nails or Screws: Nails and screws shall be a minimum 3/8" and a 07 10 00 - Damp proofing and Waterproofing maximum of 1/2" from edges and ends of wallboard and the heads shall smooth. Joints should be taped and covered with a suitable drywall joint All joints and penetrations in walls, floors, and roofs shall be made watertight using approved methods and materials. Waterproofing and damp proofing shall be per drawings. diameter shall be a nominal 1/4" with the length 1 1/2" to penetrate a Install metal detailing as specified on construction documents. Install metal
> >
> > Slab Foundations - Install a 15mil polyethylene vapor barrier in all slabs, requirements of ASTM C514 and may include coated, etched treated or requirements of ASTM C514 and may include coated, etched treated or requirements. minimum of 7/8" into nailing member. Nails shall meet the minimum finish layer is applied. appropriate detailing and patterns as shown in construction documents.
> >
> > directly underneath concrete. Lap joints not less than 12 inches and tape
> >
> > annular ring shanks to improve withdrawal resistance. Drywall screws shall meet the minimum requirements of ASTM C1002. Bugle-shaped heads shall be 0.315" in nominal diameter and contain a No. 2 Phillips Crawlspace and Basement Walls - Install necessary waterproofing driving recess. Type "W" screws are designed for easier fastening in material system to exterior basement walls and foundation surfaces, from wood. a point 12" below the lowest slab to not less than 6" above finish grade.

> > > footings, imbedded in a loose fill gravel, minimum 12" deep. Slotted drain quality tape firmly onto sheathing joints and around openings, imbedded in joints, corner beads, nails and screw penetrations and where a smooth Wash with solvent. If rusted, wire brush or sand clean. of felt. For roofs with less than a 6:12 pitch install a double layer of felt and to a smooth consistent surface. centers. Lay courses parallel with eaves. Do not stretch courses. Provide insulation per the drawings. All plumbing chases in interior a walls

sealed at all ends. When installing siding horizontally, joints should be door openings.

blocked and butt joints caulked or concealed with batten strips.

Install gutters and downspouts per plans. Attach every 2'-6" on center

(OC) with straps and/or fasteners. Aluminum should be 25 gauge

Division 08 000 - Openings

Ceilings: Apply a single layer of gypsum wallboard across the supports 12" on center (OC). Ceiling finish shall be smooth. Asphalt Shingles. Provide Composite/Asphalt shingles per Fire-Rated Gypsum Wallboard: In garages, around gas water heaters rinse thoroughly with clean water and allow to thoroughly dry at least one and as required by applicable building codes, install 5/8" Type "X" week before painting or sealing. fire-rated gypsum wallboard. Nails shall be 1 3/4" long, spaced a maximum of 4" on center (OC) around perimeter and 8" on center (OC) in the field of **Division 10 000 - Specialities Slate Shingles.** All slate shall be hard, dense, sound rock, machine punched for two nails each. All exposed corners shall be practically full. the board.

that the end of the sub-floor sheets fall directly on the center of the floor required cover, pan, ridge, hip tile, closure tile and accessories. Install as underlayment per manufacturers recommendations. Installation should be entering another. joists. Nail joists at each bearing point using one 10d nail on each side. specified by tile manufacturer. No broken or cracked tile shall be used. carried out with a slow setting cement adhesive, well mixed per Provide solid blocking at mid-height of all walls. For exterior corner joints, roof system with concealed fasteners as shown on construction Walls: Contractor shall properly clean all surfaces to be covered and install appropriate underlayment per manufacturers recommendations. construction documents. Siding shall be kiln-dried, straight grain and **Thresholds:** Install marble, slate, etc thresholds between room/room at

Pocket Doors - Use Johnson hardware. Install into wall as per

manufacturer instructions. Provide necessary hardware as per

manufacturer recommendations

Division 09 000 - Finishes

3M recommendations

09 200 - Gypsum Board

Contractor shall properly clean all surfaces to be covered and install Install appropriate flashing at all joints of chimneys, dormers, walls, vent appropriate underlayment or preparation per manufacturers pipes and other connection points to prevent the infiltration of water. recommendations. See above for tile and stone floor specifications. Flashing shall be assembled of 16 ounce hard copper sheet metal. Valleys Wood Flooring - Install a single layer of 15 lb felt vapor barrier between direction from center-line of valley. Use 4"wide x 4"high x 10'long copper sub-floor decking and hardwood floors. When installing hardwoods over a flashing between wall siding and roof surfaces and step flashing between concrete slab install a layer of 3/4" plywood as underlayment over 6 mil masonry and roof surfaces. Keep flashing concealed except where polyethylene. Along walls and permanent objects, install molding to exposed on vertical surfaces or counter flashing. 07 7100 - Manufactured Gutters and Downspouts true square edged for a flat smooth surface. Wood flooring can be

manufacturer's recommendations.

pre-fabricated tubs and showers. For exterior windows, door frames,

of approved staples for installing plank or strip flooring. After a minimum

Division 13 00 00. Special Construction interior trim, woodwork and other paintable surfaces use a clear or colored of 48 hours, sand and finish, using a stain coat and a minimum three coats

13 000 - Special Construction Latex based caulk. Color shall match wood stain or paint. 09 7000 - Wall Finishes Walls shall be clean and free of defects such as cracks or unfinished joints prior to installation of wall finishes. If mildew is evident, mildew must be Exterior Doors - All exterior doors shall be per plans with copper pan removed and surface properly treated to inhibit further mildew growth.

fastened with appropriate nails, staples or glue. Check specific

09 900 - Painting and Coating Prepare each surface to receive scheduled work as set forth below. Exterior Painting - All nail heads shall be set below the surface and finished smooth. If mildew is evident, the mildew must be removed and on undisturbed soil or properly compacted base. Soil to have minimum surface treated to inhibit further mildew growth. Exterior walls shall

coat. Sand and putty wood surface smooth before finish is applied. Surfaces shall be sanded before each finish layer is applied. operate and lock windows. Windows shall be flashed per housewrap and installation. After installation, apply at least one coat of wood primer and 15 400 - Plumbing two coats of finish paint. Interior Painting - Interior paint shall be Benjamin Moore Natura No-VOC paint U.N.O. All nail heads shall be set below the surface and finished

be seated slightly below the surface without breaking the paper. Nails compound. Sand the spackled nail heads and joint compound smooth and shall be spaced not to exceed 7" on ceilings or 8" on sidewalls. Head dust well before priming. Interior walls shall receive a primer coat and two Interior Wood - Wood surfaces shall be sanded smooth before finish is applied. Putty areas with a wood based filler where nails or other defects appear in the surface. a point 12 below the lowest stab to find less than 0 above minuting state.

Install as recommended by manufacturers guidelines. Install a minimum 5"

Joints: At gypsum wallboard joints install a 2" strong, cross threaded tape two coats of finish paint. Surfaces shall be sanded before each finish layer sound attenuation. Clay pipes may be used for decorative drainage in two coats of finish paint. slotted drain pipe with a positive outflow around exterior basement wall with a cross tensile strength of 45 lbs per lineal inch. Press a strong, good

Remove all weld splatter. Grind all edges, projection, sharp corners and maintain structural integrity. Holes bored shall not be larger than 1/3 the horizontally. Continue felt 6" up all vertical surfaces and 4" over gutter and horizontally. Sheath walls and ceilings with gypsum wallboard, either surfaces. In areas where blasting is not feasible use power cleaning tool. valley metal. Fasten all edges with large headed galvanized nails on 6" vertically with long edges parallel to framing, or horizontally with long

Remove dust and sand from the surfaces after sand blasting by brushing edges at right angles to framing members. Apply one layer of 4, 8', 9', 10' and vacuum cleaning. Apply the prime coat as soon as possible after the or 12' foot lengths to all wall surfaces. Offset joints between layers at least preparation is complete and before the dew point is reached. All surfaces Provide shut-off valves at sinks, toilets, water heater and other fixtures as blasted and power-tooled in one day shall be coated on the same day. required. Test all pipes under 100 lbs pressure per building code Apply at least one coat of alkyd-type enamel primer and two finish coats. requirements. and fasten with nails or screws. Offset joints between layers at least 10". Concrete and Masonry Coatings Nails are spaced 6"on center (OC) with 1 1/4" heads. Screws are spaced Allow masonry, concrete and stucco to age at least one month before cleaning or applying a finish. Remove dirt, grease, loose particles, etc.

> 10 300 - Fireplaces and Stoves or as required by applicable building codes, install water resistant drywall. manufacturer's specifications. **Chimney and Flue -** Top of Chimney shall be located 2'-0" taller in Tile, Marble, Slate shall be appropriate grade and finish in accordance installed as per manufacturers instructions. If multiple flues are used in the rooms in which controls are located. with applicable building codes and owner requirements. Contractor shall the same chimney chase, an unequal projection or height of flue above the properly clean all surfaces to be covered and install appropriate stack shall be used to safeguard against smoke exiting one flue and

Where efflorescence has occurred, wash with a 10% muriatic solution,

Tub and Shower Doors Shower doors shall be constructed of tempered safety glass with all exposed edges polished and rounded. Division 11 000 - Equipment 11 00 00 - Equipment 11 450 - Residential Appliances Install electrical or gas appliances as shown on construction documents, From electrical meter box, install wiring to building. Raceways to be including all venting and supply requirements per manufacturers

interior trim. Confirm size of opening meets local building codes for attic Pre-finished: Wood flooring shall be tongue and groove construction and access. Provide appropriate pull string or chain for access. Division 12 00 00. Furnishings days prior to installation. Wood flooring shall be tongue and groove and finish schedules. Counter surfaces shall be glued onto 3/4" plywood exterior outlets. Use a 50 year warranty silicon based caulk at high expansion/compression construction, 3/8"thick x 2 1/4"wide, random lengths with true square edge or appropriate substrate as recommended by manufacturer.

> If applicable, Install a fully operational in-ground pool system consisting of concrete cover around conduits of 2 inches. Install conduit free from dents plumbing, gunite concrete shell, valves, filter and heating systems, electric and bruises. Plug ends to prevent entry of dirt and moisture. Minimize controls, timers and decking. Installation shall comply with all local, regional, state and national code requirements, including but not limited to

permits, inspections, engineering design, pumps, filters, water supply, where conduits pass through roof or waterproofing membranes. Route all waste water, pressure tests, water heating equipment, electrical systems, exposed conduits parallel or perpendicular to building lines. All fittings pool fittings, structural foundations and pool safety equipment and shall be UL approved. signage. See landcapsing, civil drawings for pool specifics.

the backside, edges and ends of lumber and siding prior to construction.

proper elevation and drainage of pool decking and surrounding area away construction documents and finish schedules. For exterior receptacles When staining, pre-prime with the same product as specified for the final from pool. Division 15 000 - Mechanical Paint/Stain - Prime wood surfaces including faces, edges and ends before Contractor shall provide mechanical design on an design-build basis. Plumbing shall be a fully operational system of hot and cold water Provide and install all piping, soil, vents, drains, sewage removal and 16 500 - Lighting

water supply systems to connect with appropriate water and sewage systems. Provide and install appropriate insulation around piping. All permits and inspections are to be obtained by contractor. coats of flat or semi-gloss paint. Surfaces shall be sanded before each

Sewer and Waste Piping - Drainage system shall be Schedule 40 PVC pipe, or cast iron. All connections shall have PVC cement or appropriate

16 700 - Smoke Detection Sensors ioint compound and assembled tight for no leakage. Condensate drains shall be constructed of Schedule 40 PVC. Valves shall be Milwaukee Brand or equal. Building sewer shall be vitrified clay pipe or approved Schedule 40 PVC pipe. Connection to public sewer system shall comply with all local requirements. Caulk joints or provide neoprene gaskets for all sewer lines. Pitch shall be a minimum 1/8" per foot for soil lines larger Paint/Stain - Prime wood surfaces including faces, edges and ends before than 3" diameter and a minimum of 1/4" per foot for soil lines 3" diameter

Water Pipes - From public water line install Type "I " or "K" 1.5" reinforcement as required. Spread gypsum wallboard mud at all tape Before applying a finish, remove dirt, oil, grease and other loose particles. (minimum) copper pipes, located below frost line. From the meter to the building, install 1.5" supply water lines. Use 1/2",3/4" minimum lines from supply lines to each plumbing fixture as required. At water heaters and hose bibs install a minimum 3/4" pipe. From water heater install 3/4"-1"

> Waste Drainage - Install sewage clean-out at the end of each horizontal drainage run and every 100 feet per building code requirements. Vents shall be installed throughout plumbing connections and connected with the vertical stacks and vented through the roof. Check with local building code **Nater Heater -** Provide on a design-build basis. Water heater(s) sha have appropriate safety valves, back flow preventers, pressure relief

valves and drain assemblies. Follow manufacturer re

as required by applicable building codes.

15 900 - Heating, Ventilating, and Air Conditioning (HVAC) elevation than any point within 10'-0". Flues shall be U.L. approved and controls shall be coordinated to avoid conflicts with furnishings or uses for Central HVAC Equipment - HVAC shall be a fully operational engineered system designed to meet local weather conditions and building requirements. All permits and inspections shall be obtained by contractor

> Air-conditioning Unit HVAC unit(s) shall total be minimum 13 SEER The system will contain a concrete pad for the condenser, power disconnects, condensate drains, air distribution ducts, diffusers and thermostats. Central units for air conditioning or ventilation shall be arranged so that airflow is as direct as possible. Coordinate location of return air unit. Division 16 000 - Electrical Contractor shall provide mechanical design on an design-build basis. 16 200 - Electrical Power

buried shall be PVC #2 Plastic Electrical conduit. Where permitted by

code, non-metallic sheathed cable may be used. Type THW or THWN

600 volt insulation conductors shall be used, minimum wire size shall be

#12. Aluminum wire shall not be permitted. Wiring shall connect into meta

Raceway and Boxes for Electrical Systems - Flexible or rigid conduits

areas, excluding mechanical and electrical rooms/areas, connections to

motors and connections to surface cabinets. Coordinate installation of

crossovers. Provide flashing and pitch pockets, making watertight joints

couplings, supports and nonmetallic ducts. Install conduit concealed in all

ecessed electrical panel, as shown on construction documents. Electrical Install a wood 30"wide pull-down stair system as shown on construction service shall be rated at the appropriate level of amps. Wiring from the documents. Trim opening with appropriate window casing to match outside meter box shall be SE cable. Provide Arc-fault circuit interrupters Provide and install necessary circuits and breakers for appliances as stated in manufacturer's recommendations per applicable building code requirements. Branch circuits shall be wired with No. 12 gauge wire. Install GFI circuits with No. 12 gauge wire in all wet areas, baths and

Fasten raceways securely in place. Firmly fasten within 3 feet of each **Excavation** - Excavate pool area and provide appropriate bearing surface outlet, junction box, cabinet or fitting. Support every 10 feet. receive a primer coat and two coats of flat or semi-gloss paint. Pre-prime bearing capacity of 2000 psf. Remove excess dirt and fill to provide for Wiring Devices - Install receptacles, switches and cover plates as per install gray cover plates. When two or more switches or receptacles are located together, gang with one common faceplate. If they cannot be ganged, install with a minimum distance between units. Install all

receptacles at within baseboard, unless otherwise noted. At counters, locate receptacles at 44"on center (OC), above finished floor (AFF). Install switches at 48"on center (OC) above finished floor (AFF). Locate light switch cover plates 6" from frame of door or corner of wall. Provide necessary circuits and wiring for light fixtures as listed below. All lighting shall be switched as noted on construction documents. For exact

Fixture allowances are listed in Contract Documents.

locations of fixtures, see construction documents and finish schedules

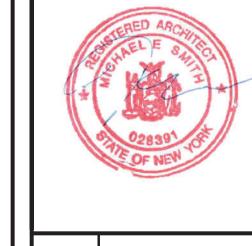
Install at least one smoke alarm on every floor of a structure (including the basement) and outside each sleeping area. Smoke alarms are required in Il sleeping rooms, according to the NFPA 72, National Fire Alarm Code®. Mount the smoke alarms on ceilings or high on walls. Ceiling-mounted alarms should be installed at least four inches away from the nearest wall: wall-mounted alarms should be installed at least four inches, but not more than 12 inches away from the ceiling. On vaulted ceilings, be sure to mount the alarm at the highest point of the ceiling. Don't install smoke alarms near windows, outside doors, or ducts where drafts might interfere with their operation. Do not paint, apply finish or obstruct smoke alarms.

ISSUED FOR PERMIT

04.20.2021

Andrew and Robyn Frank 3 Deer Ridge Lane

TITLE SHEET & PROJECT NOTES



MICHAEL

SMITH

ARCHITECTS

41 North Main Street

Norwalk, Connecticut 06854

203.563.0553

REVISIONS / ADDENDA

PROJECT NAME

rmonk, New York 10504

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020 021		TRUSTILE TRUSTILE	A B	1 ³ / ₄ " 1 ³ / ₄ "	H4 H3	MDF MDF	MDF MDF	PAINT PAINT	PAINT PAINT		Q## R##	_	136-1/4" X 67" 34" X 120"	PARRETT LEPAGE	Q R	BI-FOLD DIRECT SET	PINE PINE	PINE		PAINT PAINT	1.0
022	2'-8" x 7'-0"	TRUSTILE	А	1 3/4"	H3	MDF	MDF	PAINT	PAINT		S## T##	-	30" X 34" 30" X 64"	LEPAGE LEPAGE	S T	CASEMENT CASEMENT	PINE PINE	PINE PINE		PAINT PAINT	
101 102		LEPAGE TRUSTILE	H A	1 ³ / ₄ "	H2 H4	PINE MDF	PINE MDF	PAINT PAINT	PAINT PAINT		U## V##	-	34-3/4" X 97-7/8" (3) 30" X 76"	LEPAGE LEPAGE	V	FIXED CASEMENT CASEMENT	PINE PINE	PINE PINE		PAINT PAINT	
103 104	+	TRUSTILE TBD	A D	1 ³ / ₄ "	H3 H3	MDF STEEL	MDF STEEL	PAINT PAINT	PAINT PAINT	1.0	W## X##	-	28" X 32" (2) 30" X 63-3/8"	LEPAGE LEPAGE	W X	CASEMENT CASEMENT	PINE PINE	PINE PINE		PAINT PAINT	
105	2'-10 13/16" x 8'-9 1/8"	LEPAGE LEPAGE	G	1 3/4"	H2	PINE	PINE	PAINT	PAINT		Y## Z##	_	30" X 76" 34-5/8" X 89-1/16"	LEPAGE LEPAGE	Y 7	CASEMENT FIXED CASEMENT	PINE PINE	PINE PINE		PAINT PAINT	
106	2'-8" x 8'-0"	TRUSTILE	G A	1 3/4"	H2 H3	MDF	MDF	PAINT	PAINT		AA## BB##	##	29-13/16" X 89-1/16" (4) 32" X 76"	LEPAGE LEPAGE	AA BB	FIXED CASEMENT CASEMENT	PINE PINE	PINE	PAINT	PAINT PAINT	3.0
108	2'-10" x 8'-0"	TRUSTILE TRUSTILE	C	1 ³ / ₄ "	H3 H3	MDF MDF	MDF MDF	PAINT	PAINT PAINT		CC##	-	(2) 32" X 67"	LEPAGE	CC	CASEMENT	PINE	PINE		PAINT	
110	+	TBD TBD	AA AA	1 ³ / ₄ "	H3 H4	MDF MDF	MDF MDF	PAINT PAINT	PAINT PAINT			#									
112 113	+	LEPAGE LEPAGE	H G	1 ³ / ₄ " 1 ³ / ₄ "	H2 H2	PINE PINE	PINE PINE	PAINT PAINT	PAINT PAINT		NO	<u> </u>									
114 115	+	TRUSTILE TRUSTILE	A A	1 ³ / ₄ "	H1 H3	MDF MDF	MDF MDF	PAINT PAINT	PAINT PAINT	2.0	1.0	LEP	PAGE DIRECT SET UNITS								
116 117	+	TRUSTILE TBD	ВВ	1 ³ / ₄ "	H3 H3	MDF CEDAR	MDF CEDAR	PAINT PAINT	PAINT PAINT		2.0	UNI	ITS SHALL BE POCKET MULLED	O TO ACCOMMODA	TE 3 1/2" (CASING					
118	179-5/8" x 119-7/8"	LEPAGE TBD	J	1 ³ / ₄ "	H2 H3	PINE	PINE STEEL	PAINT PAINT	PAINT		3.0	UNI	ITS SHALL BE TIGHT MULLED								
120	(2) 2'-6" x 8'-0"	TBD	D	1 3/4"	НЗ	STEEL	STEEL	PAINT	PAINT		- <u> </u>	IND	OOW SCHEDULE NOTES	S - APPLY TO A	LL WIN	DOWS U.N.O.:					
121 122	(2) 2'-0" x 8'-0"	TBD TRUSTILE	В	2-½" 1 ¾"	НЗ	MDF	METAL MDF	PAINT	PAINT		1.	WIN OT	NDOWS SHALL BE LEPAGE WC INCLUDE: ¾" PUTTY GLAZE S D EXTERIOR W/ BLACK SPACE	OOD WINDOWS. AL	L WINDOV T INTERIC	VS 7. SEE E	GNATIONS	S. WINDO	WS ARE D	ENOTED	DOW N PLAN UNLESS ARE KEYED ON TH
123	(2) 2'-6" x 7'-11 13/16" W/	TRUSTILE LEPAGE	С	1 ³ / ₄ "	H4 H2	MDF PINE	MDF PINE	PAINT PAINT	PAINT	1.0	1	INS T.B	BULATED GLASS, ANTIQUE BRA B.D.). BI-FOLD AT KITCHEN TO I TCH LEPAGE.	ASS HARDWARE (F	INAL FINIS	SH ELEV O 8. WIND	ATION.	LL MEET			DELINES FOR
125	(2) 2-0" X 2-0" TRANSUMS	TBD	M	2-1/4"	H5		CEDAR			RECLAIMED CEDAR	2.	ALL CAS	L CASEMENT TYPE WINDOWS : SEMENTS UNLESS NOTED AS SEMENTS SHALL BE FRENCH F	FIXED. ALL DUAL S	SASH	9. ALL V HISTO	VINDOWS ORIC SUBS	SHALL H. SILLS.			AL CASINGS AND
126 127		TBD TBD	M M	2-1/4" 2-1/4"	H5 H5	CEDAR CEDAR	_			RECLAIMED CEDAR RECLAIMED CEDAR	3.	DIV OPI	IDING MULLION. ALL TO HAVE ERATING WINDOWS TO INCLU	1-3/4" SASHES. DE INVISIBLE STYL	E INSECT	FLAT S04, S	CASING A 805, AND E	AT STONE BB1	WALLS: A	ALL "K" UN	X 2" SMOOTH BOR ITS, ALL "L" UNITS,
128 129		TBD LEPAGE	CC G	1 ³ / ₄ "	H4 N/A	MDF PINE	MDF PINE	PAINT PAINT	PAINT PAINT		4.	ROI QU	REENS. CASEMENT WINDOWS LL DOWN SCREENS. IANTITIES AND SIZES LISTED A	ARE FOR PRICING (ONLY.		IDE FALL				FLASHING. AS REQUIRED BY
130 131		LEPAGE LEPAGE	G G	1 ³ / ₄ "	N/A N/A	PINE PINE	PINE PINE	PAINT PAINT	PAINT PAINT		5.	ELE PR(RIFY FINAL QUANTITIES AND S EVATIONS PRIOR TO ORDERIN OVIDE TEMPERED UNITS WHE	G. RE REQUIRED BY (CODE AND)					
						MDF	MDF	PAINT	PAINT	0.0	6.	SYN PRO	HERE DESIGNATED ON EXTER! MBOL OR IN PLAN. OVIDE DETAILED SHOP DRAWI	NGS AND CUT SHE	ETS FOR						
201	(2) 1'-6" x 8'-0"	TRUSTILE TBD	E	1 3/4"	H4 H3	STEEL	STEEL	PAINT	PAINT		-	API	PROVAL BY ARCHITECT PRIOF	R TO ORDERING WI	NDOWS.						
203 204	2'-8" x 8'-0"	TBD TRUSTILE	E A	1 ¾" 1 ¾"	H4 H4	STEEL	STEEL MDF	PAINT PAINT	PAINT PAINT												
205 206		TRUSTILE LEPAGE	N G	1 ³ / ₄ "	H3 H2	OAK PINE	OAK PINE	STAIN PAINT	STAIN PAINT	4.0	1						5/4 X 3 1/2 _ WINDOW		}		
207 208		TRUSTILE TRUSTILE	A A	1 ³ / ₄ "	H3 H4	MDF MDF	MDF MDF	PAINT PAINT	PAINT PAINT		-										
209 210		TRUSTILE TRUSTILE	A	1 ³ / ₄ "	H3 H3	MDF MDF	MDF MDF	PAINT PAINT	PAINT PAINT								-				
211		TRUSTILE TRUSTILE	A	1 ³ / ₄ "	H3 H3	MDF MDF	MDF MDF	PAINT PAINT	PAINT PAINT]						-			-	
213	2'-8" x 8'-0"	TRUSTILE TRUSTILE	A	1 ³ / ₄ "	H3	MDF	MDF MDF	PAINT]										_
215	2'-8" x 8'-0"	TRUSTILE	C	1 3/4"	H4	MDF	MDF	PAINT	PAINT			/	A B	C			BORAL H				
216 217	2'-6" x 8'-0"	TRUSTILE TRUSTILE	A	1 ³ / ₄ " 1 ³ / ₄ "	H3 H3	MDF MDF	MDF MDF	PAINT	PAINT PAINT												
218 219		TRUSTILE TRUSTILE	C	1 ³ / ₄ " 1 ³ / ₄ "	H4 H3	MDF MDF	MDF MDF	PAINT PAINT	PAINT PAINT		1			I							
	PROVIDE SOFT CLOSE POCKET I	DOOR HARDWARE						ARDWA ENTRY I		CKSET W/ DEADBOLT											
2.0	20-MINUTE FIRE RATED DOOR W METAL & GLASS OVERHEAD DOO	TH SELF CLOSING		FRENCH	DOORS V	VHEN CLO	H2	PATIO L	OCKSET												
4.0	BARN DOOR W/ ROLLING DOOR I		0 0111022					PRIVAC	Y LOCKSI		1										
5.0	FIXED DOOR UNIT						H6	KEYED		RACK AND OPERATOR	'	NO1	T USED		<u> </u>						
1.	OOR SCHEDULE NOTES - A LEPAGE DOORS TO MATCH WIND LISTED ARE FOR PRICING ONLY	DOWS. QUANTITIES	S AND SIZ	ES	6. E			IALL MEE	T ENERG	STAR GUIDELINES FOR			F G	ŀ	1	ı	J	,		K	
	LISTED ARE FOR PRICING ONLY. SIZES WITH PLANS, ELEVATIONS PRIOR TO ORDERING. ALL DOOP	S AND EXISTING CORS TO HAVE 3-5/8"	ONDITION STILES &	S RAILS	7. A W	ITH ONE A	OR FRENC	D ONE IN	ACTIVE L	BE FULLY OPERABLE EAF, U.N.O.											
3.	SEE ALLOWANCES FOR DOOR H. FINISH T.B.D. PROVIDE TEMPERED UNITS WHE	ERE REQUIRED BY	CODE.		9. E	XTERIOR (XTERIOR I	CASINGS. DOORS SH			SMOOTH PAINTED DATED COPPER PAN											
5.	PROVIDE DETAILED SHOP DRAW APPROVAL BY ARCHITECT PRIO SEE ELEVATIONS AND PLANS FO	OR TO ORDERING DESI	OORS. GNATIONS	S.	10. E	AHOGANY	DOORS SH ' SILLS.			ERSTRIPPING AND CH WINDOWS.											
	DOORS ARE DENOTED IN PLAN UNICH CASE THEY ARE KEYED (IN IIN	11. A	LL DOORS	TO HAVE	SUL DAK	S TO WAT	CH WINDOWS.											
DC	OOR TYPES:			POCKE	Г DOOR - — -	POCKE	T DOOR	STEE	L & GLAS	S STEEL & GLASS STEEL & GLASS			M	Ν	0	P)			O	
																·					
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	A AA	В			<u> </u>	C	C		D	E F											
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										ROLLING BARN DOOR HARDWARE			V	V	7	^ ^				BB	
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NIISI	H SCHEDULE	WXE	ORIENTED AS F		NORTH
1 4101	TOOTILDOLL		NOT COMPASS	NORTH	
LOOR	NAME OF ROOM	CEILING	HEIGHT	N	S
				IN	
SEMENT	LOUNGE	C11?	102"	W6	-
	GAME ROOM	C1	109.5"	-	W
	HALL #1	C1	124.5"	W1	W

FLOOR	NAME OF ROOM	CEILING	HEIGHT		WALL			FLOOR	TRIM	NOTES			
PLOOK	NAME OF ROOM	CEILING	пеівні	N	S	E	W	FLOOR	I IXIIVI	NOTES			
BASEMENT	LOUNGE	C11?	102"	W6	-	W1	W1	F5	T1				
	GAME ROOM	C1	109.5"	-	W1	W1	W1	F5	T1				
	HALL #1	C1	124.5"	W1	W1	W1	W1	F5	T1				
	GYM / YOGA	C12	124.5"	W1	W1	W1	W1	F6	T1				
	POOL BATH	C13	99.75"	W1	W1	W1	W1	F2 OR F3	T4	1.0; 2.0; 3.0; SEE INTERIOR ELEVATIONS			
	HALL #2	C1	109.5"	W1	W1	W1	W1	F5	T1				
	BASEMENT BATH	C1	109.5"	W4 OR W5	W4 OR W5	W4 OR W5	W4 OR \	<i>N</i> 5 F2 OR F3	T4	1.0; 2.0; 3.0; SEE INTERIOR ELEVATIONS			
	GUEST HALL	C1	109.5"	W1	W1	W1	W1	F5	T1				
	GUEST BEDROOM	C1	102"	W5	W5	W5	W5	F5	T1				
	FINISHED STORAGE	C1	125.5"	W1	W1	W1	W1	F5	T1				
	UNFINISHED STORAGE / MECI	1 -	125.5"	-	-	-	-	F5	-				
1ST FLOOR	ENTRY HALL	C1	120" - 258"	-	W4	W1	W4	F1	T1	SEE INTERIOR ELEVATIONS			
	POWDER ROOM #1	C1	120"	W1	W1	W1	W1	F2 OR F3	T1	SEE INTERIOR ELEVATIONS			
	ROBYN'S OFFICE	C1	135"	W1	W1	W1	W1	F1	T1				
	FAMILY ROOM / DINING	C14	135"	W1	W1	W1	W1	F1	T1	SEE INTERIOR ELEVATIONS			
	KITCHEN HALL	C3	120"	-	-	W1	W1	F3	T1				
	KITHCEN	C4	120"	W1	W1	W1	W1	F1	T1	SEE INTERIOR ELEVATIONS			
	MUDROOM	C1	120"	W2	W2	W2	W2	F2	T1	SEE INTERIOR ELEVATIONS			
	MUDROOM COAT CLOSET	C1	120"	W1	W1	W1	W1	F2 OR F3	T4				
	PANTRY	C1	120"	W1	W1	W1	W1	F1	T1	SEE INTERIOR ELEVATIONS			
	POWDER ROOM #2	C1	120	W3	W3	W3	W3	F2 OF F3		SEE INTERIOR ELEVATIONS			
	GARAGE HALL	C1	"	W1	W1	W1	W1	F2 OR F3	T1	OLE INTERIOR ELEVATIONS			
	GARAGE HALL GARAGE	C1	VAULTED	W1	W1	W1	W1	F4 F4	T4				
								_					
	GARAGE HALL	C1	120"	- W1	W2 W1	W2 W1	- W1	F2 OR F3	T1				
	SPORTS CLOSET	C1	120					F2 OR F4	T3				
	OFFICE HALL	C3	120"	-	-	W	W	F3	T1				
	OFFICE VESTIBULE	C1	120"	W1	W1	W1	W1	F1	T1				
	OFFICE	C2	VAULTED	W1	W1	W1	W1	F1	T1	SEE INTERIOR ELEVATIONS			
	OFFICE LOUNGE	C2	VAULTED	W1	W1	W1	W1	F1	T1	SEE INTERIOR ELEVATIONS			
	POWDER ROOM #3	C1	120"	W1	W1	W1	W1	F2 OR F3	T1	SEE INTERIOR ELEVATIONS			
2ND FLOOR	STAIR HALL	C8	108"	W4	W4	W1	W4	F1	T1	SEE INTERIOR ELEVATIONS			
	HALL	C1	108"	W1	W1	W1	W1	F1	T1				
	LAUNDRY	C1	108"	W5	W5	W5	W5	F2 OR F3	T1	SEE INTERIOR ELEVATIONS			
	KID'S LOUNGE	C7	102"	W1	W1	W1	W1	F1	T1				
	REAR STAIR HALL	C1	108"	W1	W1	W1	W1	F1	T1				
	BOY'S BEDROOM #1	C2	VAULTED	W1	W1	W1	W1	F1	T1	SEE INTERIOR ELEVATIONS			
	WALK-IN CLOSET #1	C1	108"	W1	W1	W1	W1	F1	T4				
	BOY'S BEDROOM #2	C2	VAULTED	W1	W1	W1	W1	F1	T1	SEE INTERIOR ELEVATIONS			
	WALK-IN CLOSET #2	C1	108"	W1	W1	W1	W1	F1	T4				
	SHARED BATH #1	C1	108"	W4 OR W5	W4 OR W5	W4 OR W5	W4 OR \	<i>N</i> 5 F2 OR F3	T1	1.0; 2.0; 3.0; SEE INTERIOR ELEVATIONS			
	SAM'S BEDROOM	C5 OR C6	VAULTED	W1	W1	W1	W1	F1	T1	SEE INTERIOR ELEVATIONS			
	SAM'S WALK-IN CLOSET	C1	108"	W1	W1	W1	W1	F1	T1				
	BATH #2	C1	108"	W3	W3	W3	W3	F2 OF F3	T1	1.0; 2.0; 3.0; SEE INTERIOR ELEVATIONS			
	MAIN BEDROOM	C8	VAULTED	W1	W1	W1	W1	F1	T1	SEE INTERIOR ELEVATIONS			
	MAIN CLOSETS #1/#2	C9	VAULTED	W1	W1	W1	W1	F7	T1	SEE INTERIOR ELEVATIONS			
	MAIN BATHROOM	C10	108"	W1	W1	W1	W1	F2 OF F3	T4	1.0; 2.0; 3.0; SEE INTERIOR ELEVATIONS			
	WC	C1	108"	W1	W1	W1	W1	F2 OF F3	T4				
FINIOLIEO													
FINISHES:													
CEILING						WALI	_S						
C1	PAINTED GYPSUM BOARD					W1	Р	AINTED GYP	SUM BOA	RD			
C2	HEWN OAK BEAMS, 5"- 6"W: H	EWN RIDO	GE 10" - 12"	H;		W2	F	ULL HT. VER	TICAL PAI	NT GRADE SHIPLAP 4"			
	T&G PAINT GRADE SHIPLAP (5	5.25" - 6" W	')			W3	٧	/ERTICAL PAI	NT GRAD	E SHIPLAP 1X6 - HT. TBD			
C3	RIFT SAWN OAK T&G SHIPLAP		<u>, </u>	WN OAK BE	AMS 5"-6"	W4	Н	IORIZONTAL	PAINT GR	ADE 1X8 SHIPLAP			
C4	HEWN OAK BEAMS 8"-12" AND					_				NT GRADE SHIPLAP 1X8			
C5	PAINT GRADE BEAMS 5"-6 W";					W6							
50	PAINT GRADE T&G SHIPLAP 5.			10			HEWN OAK COLUMNS BETWEEN DOORS						
	FAINT GRADE TAG SCIENCE	v v											
C6			LVIN CDVD	- CEDVD D	SIDGE	TOU							
C6	STAIN GRADE CEDAR BEAMS BEAM- 10"-12" H; STAIN GRADE	5"-6 W"; S				TRII		24 SINIC 4" V 4	3/4" 🗀 ^3	Γ; BASE 1" X 10" FLAT			

CEILING		WALLS	
C1	PAINTED GYPSUM BOARD	W1	PAINTED GYPSUM BOARD
C2	HEWN OAK BEAMS, 5"- 6"W: HEWN RIDGE 10" - 12" H;	W2	FULL HT. VERTICAL PAINT GRADE SHIPLAP 4"
	T&G PAINT GRADE SHIPLAP (5.25" - 6" W)	W3	VERTICAL PAINT GRADE SHIPLAP 1X6 - HT. TBD
C3	RIFT SAWN OAK T&G SHIPLAP 5.25"- 6" W; RIFT SAWN OAK BEAMS 5"-6"	W4	HORIZONTAL PAINT GRADE 1X8 SHIPLAP
C4	HEWN OAK BEAMS 8"-12" AND PAINT GRADE SHIPLAP 6"-8"W ON CEILING	W5	FULL HT. VERTICAL PAINT GRADE SHIPLAP 1X8
C5	PAINT GRADE BEAMS 5"-6 W"; PAINT GRADE RIDGE BEAM- 10"-12" H	W6	HEWN OAK COLUMNS BETWEEN DOORS
	PAINT GRADE T&G SHIPLAP 5.25"-6" W		
C6	STAIN GRADE CEDAR BEAMS 5"-6 W"; STAIN GRADE CEDAR RIDGE	TRIM	
	BEAM- 10"-12" H; STAIN GRADE CEDAR T&G SHIPLAP 5.25"-6" W	T1	CASING-1" X 4 3/4" FLAT ; BASE 1" X 10" FLAT
C7	HEWN OAK BEAMS- 6"-8"; GWB CEILING	T2	CASING-1" X 4 3/4" FLAT
C8	HEWN OAK BEAMS, 6" X 6": HEWN OAK RIDGE 8" X 10" H; GWB SLOPE	Т3	CASING- 1X4 FLAT STOCK; BASE 1X6 FLAT STOCK
C9	STAIN GRADE OAK RIDGE BEAM 10" X 10" ;	T4	CASING - 1" X 4 3/4" FLAT; BASE - 4" STONE SLAB
	STAIN GRADE OAK COLLAR TIES 8" X 8" : GWB SLOPED CEILING		
C10	STAIN GRADE OAK BEAMS 6" X 6" H; STAIN GRADE OAK SHIPLAP 1 X 6		
C11	HEWN OAK COFFER BEAMS 6'-8" H; PAINT GRADE SHIPLAP 1 X 6		
C12	RECLAIMED OAK RAFTER BEAMS. SIZE TBD		
C13	RECLAIMED OAK BEAMS W/ STEEL STRAPS		
C14	HEWN OAK BEAMS 8"-12" AND OAK SHIPLAP 6"-8"W ON CEILING		
FLOOR			
F1	8" WHITE OAK WOOD LIVE SAWN - 4'-12' LENGTHS		
F2	TILE		
F3	STONE ON MUD		
F4	EPOXY OVER SLAB		
F5	CORK		
F6	ENDURANCE / EXTREME RUBBER MATS		
F7	CARPET ON SUB FLOOR		
NOTES:			
_	E FULL HEIGHT TILE AT SHOWER / TUB WALLS		

FINISH SCHEDULE IS SHOWN FOR PRICING PURPOSES ONLY CONFIRM FINAL

3. WEAVE NEW WOOD FLOORS INTO EXISTING. REFINISH ENTIRE FLOOR WHERE

PATCH AND PAINT ANY PORTIONS OF EXISTING HOUSE THAT INTERFACE WITH 4. CLOSETS TO MATCH ADJACENT ROOM EXCEPT NO CROWN U.N.O.

INFACING WITH NEW.

2.0 PROVIDE ALKYD (OIL) BASED PAINT ON CEILING

FINISH SCHEDULE NOTES - APPLY TO ALL WINDOWS U.N.O.:

FINISHES WITH OWNER. REFER TO INTERIOR DRAWINGS

NEW, OR ANY DAMAGED AREAS OF EXISTING HOUSE.

3.0 PROVIDE TILE AT SHOWER CEILING

MICHAEL

SMITH

ARCHITECTS

41 North Main Street Suite 101 Norwalk, Connecticut 06854 203.563.0553

REVISIONS / ADDENDA

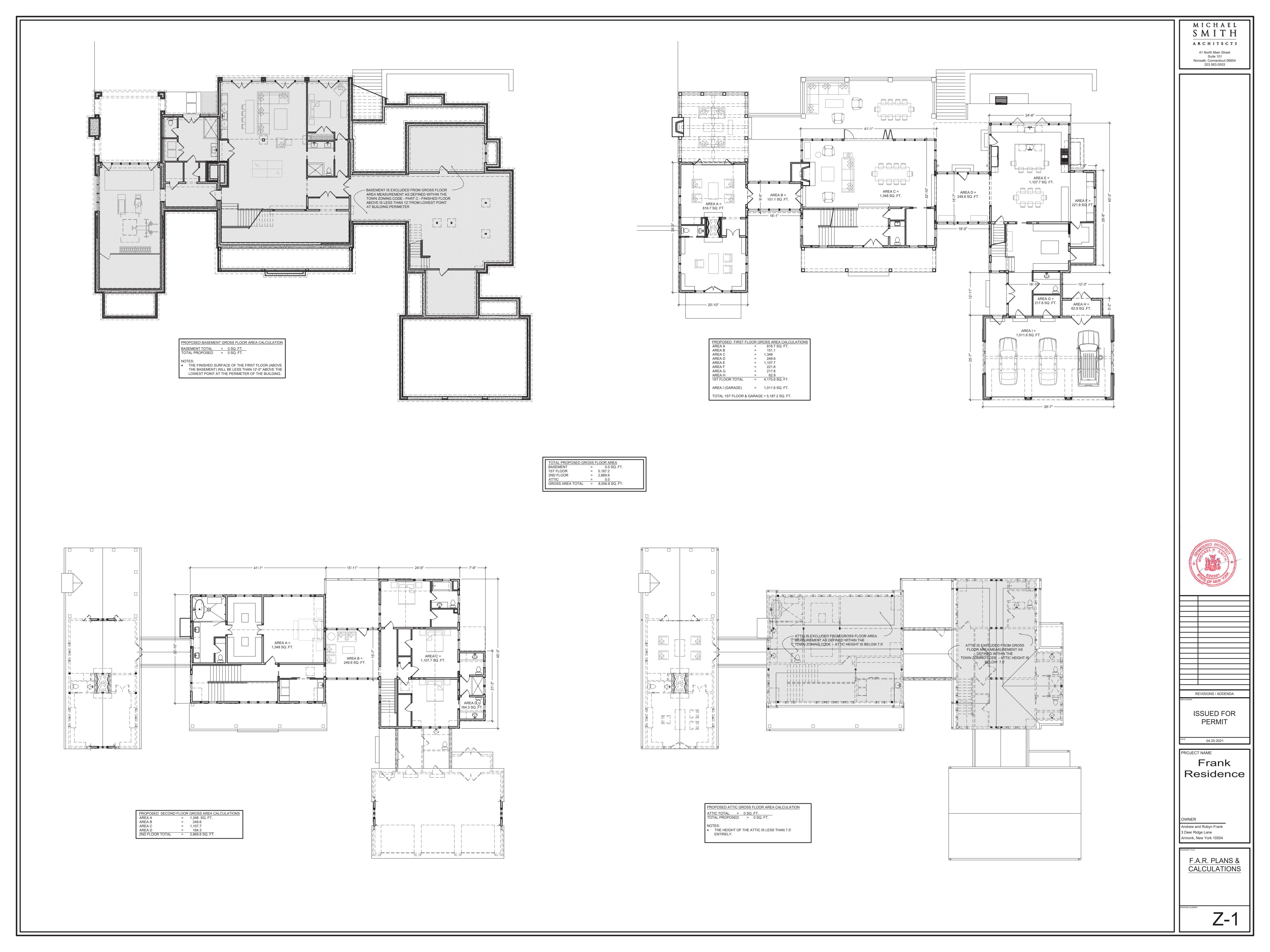
ISSUED FOR **PERMIT**

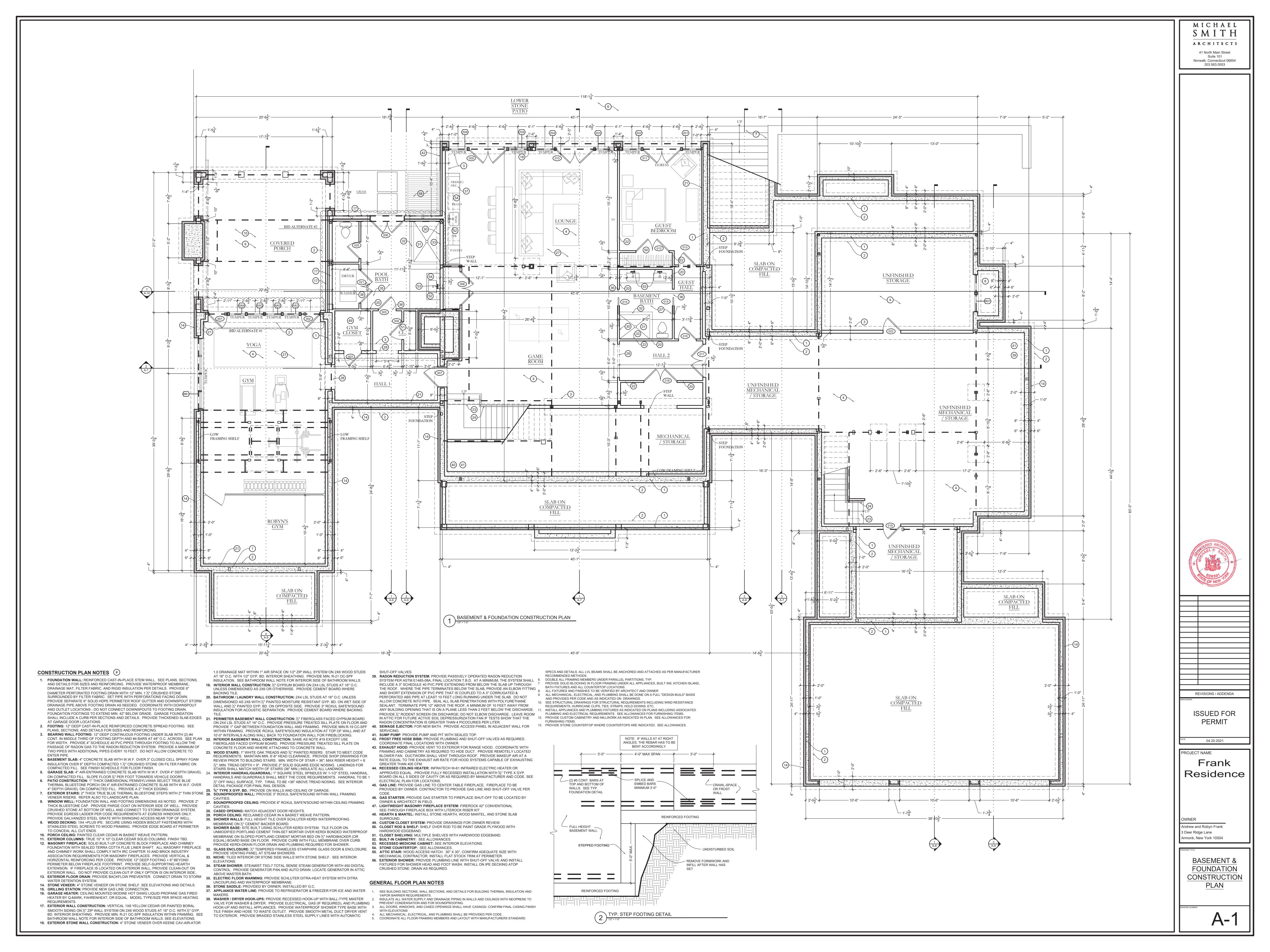
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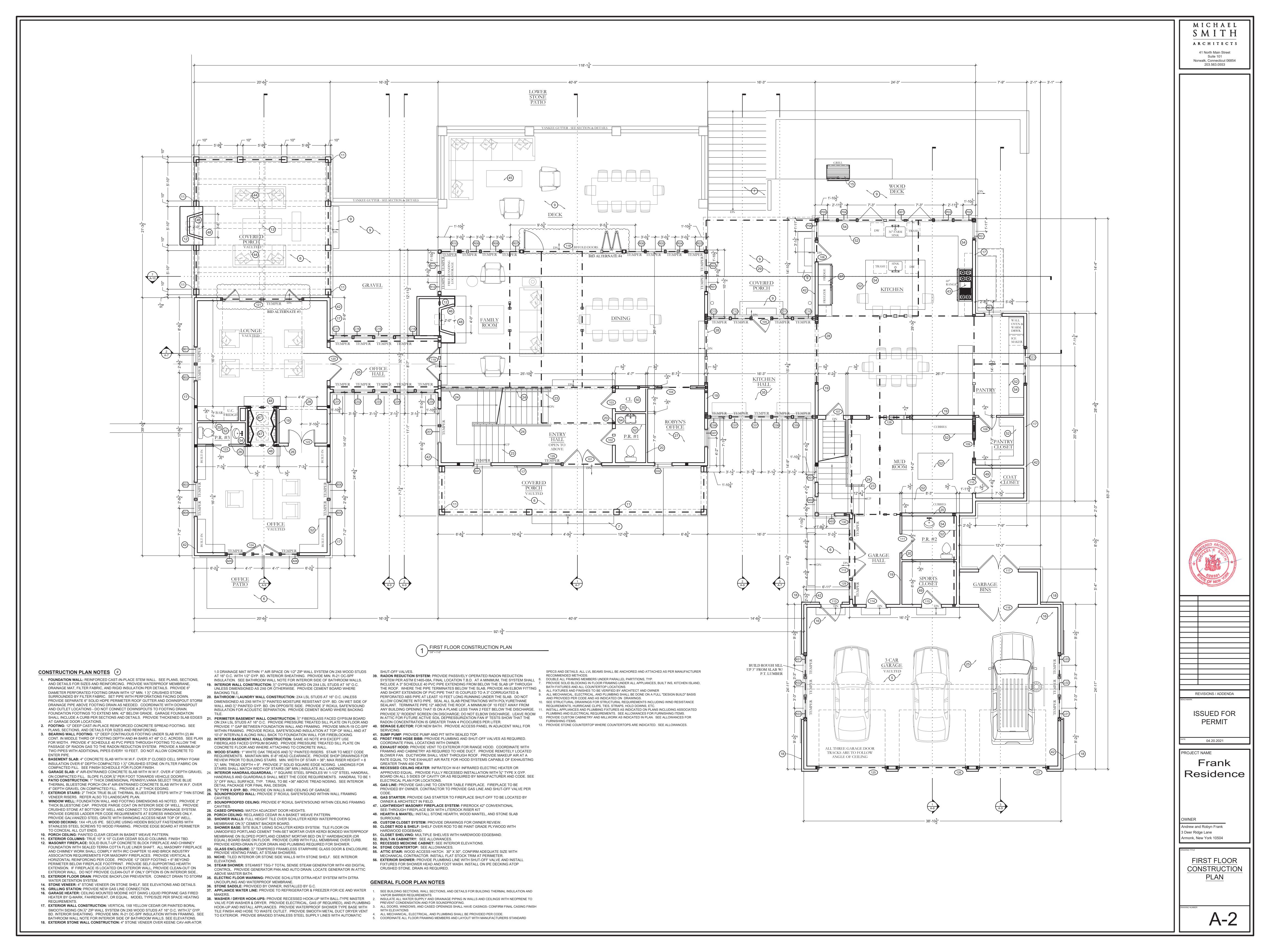
Frank Residence

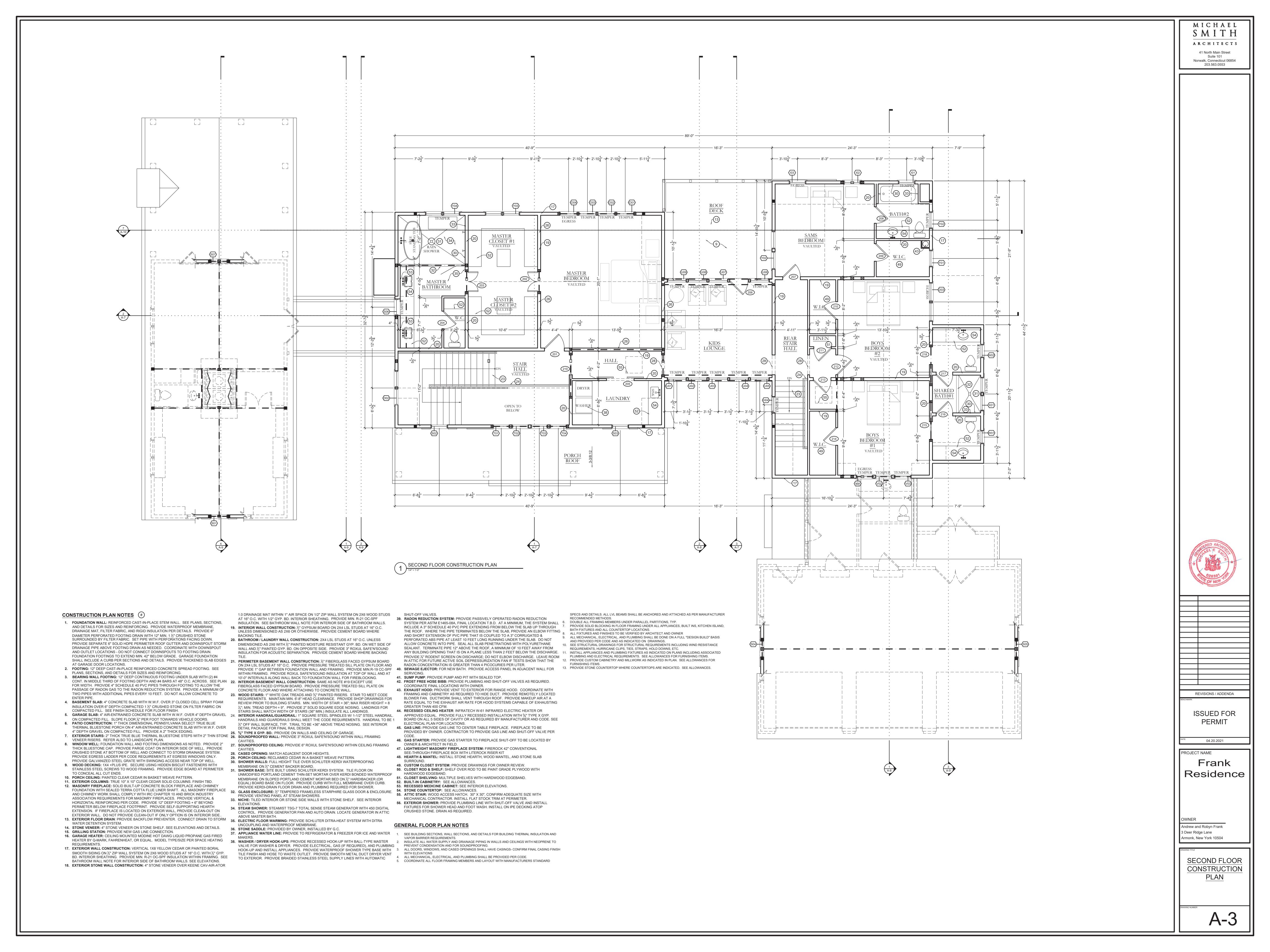
Andrew and Robyn Frank 3 Deer Ridge Lane

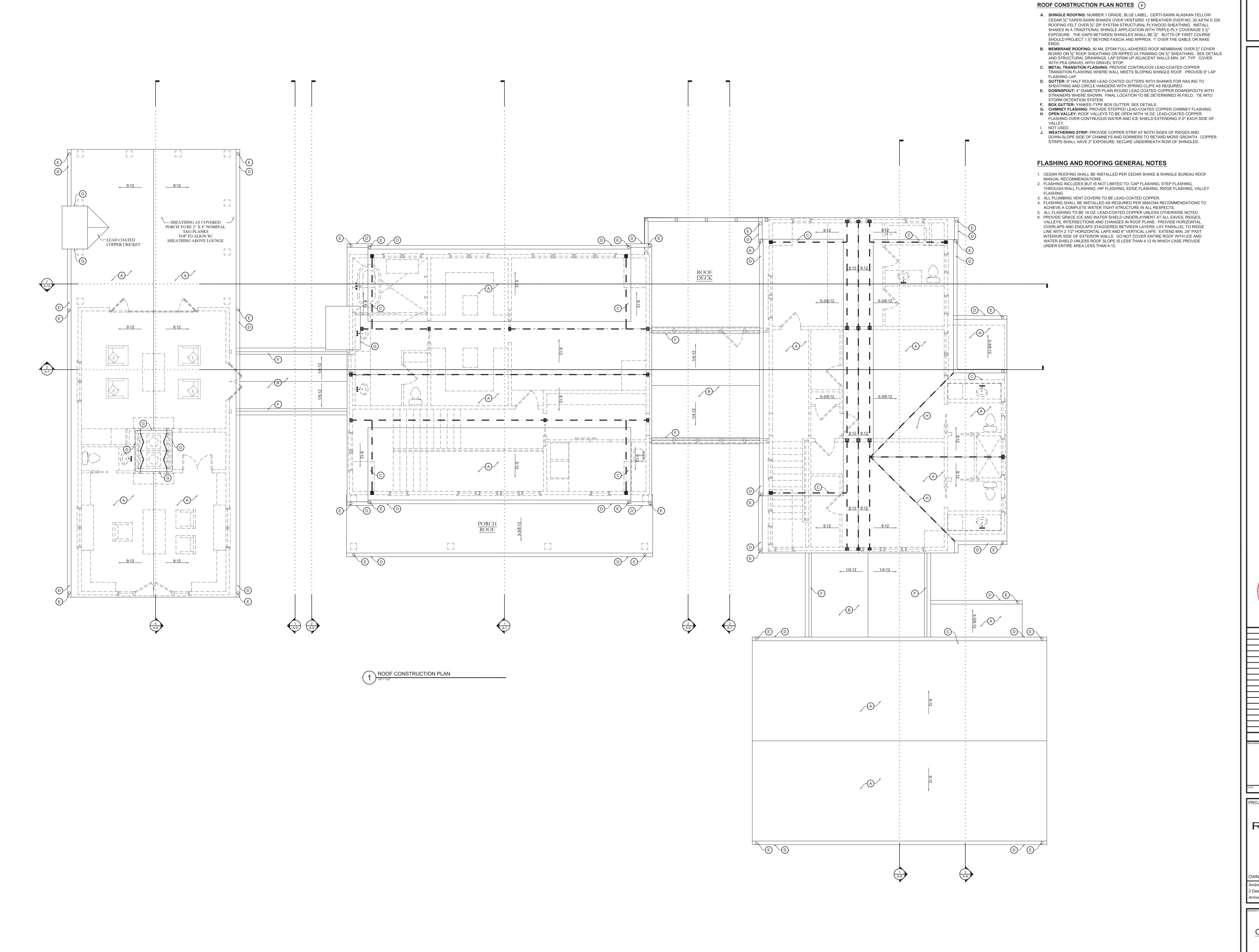
SCHEDULES











MICHAEL SMITH ARCHITECTS

41 North Main Street
Suite 101
Norwalk, Connecticut 06854
203.563.0553



REVISIONS / ADDENDA

ISSUED FOR PERMIT

PROJECT NAME

Frank Residence

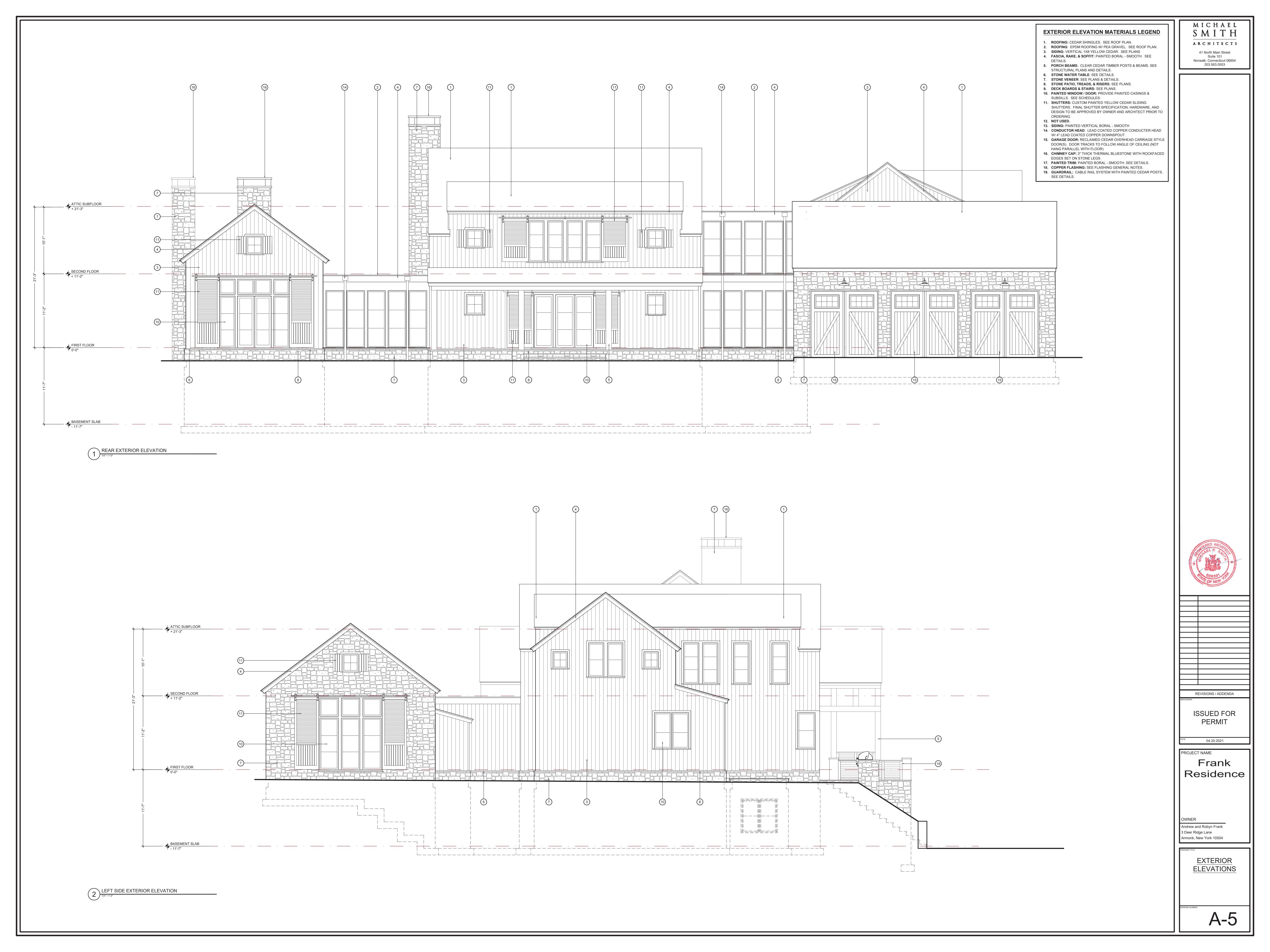
OWNER

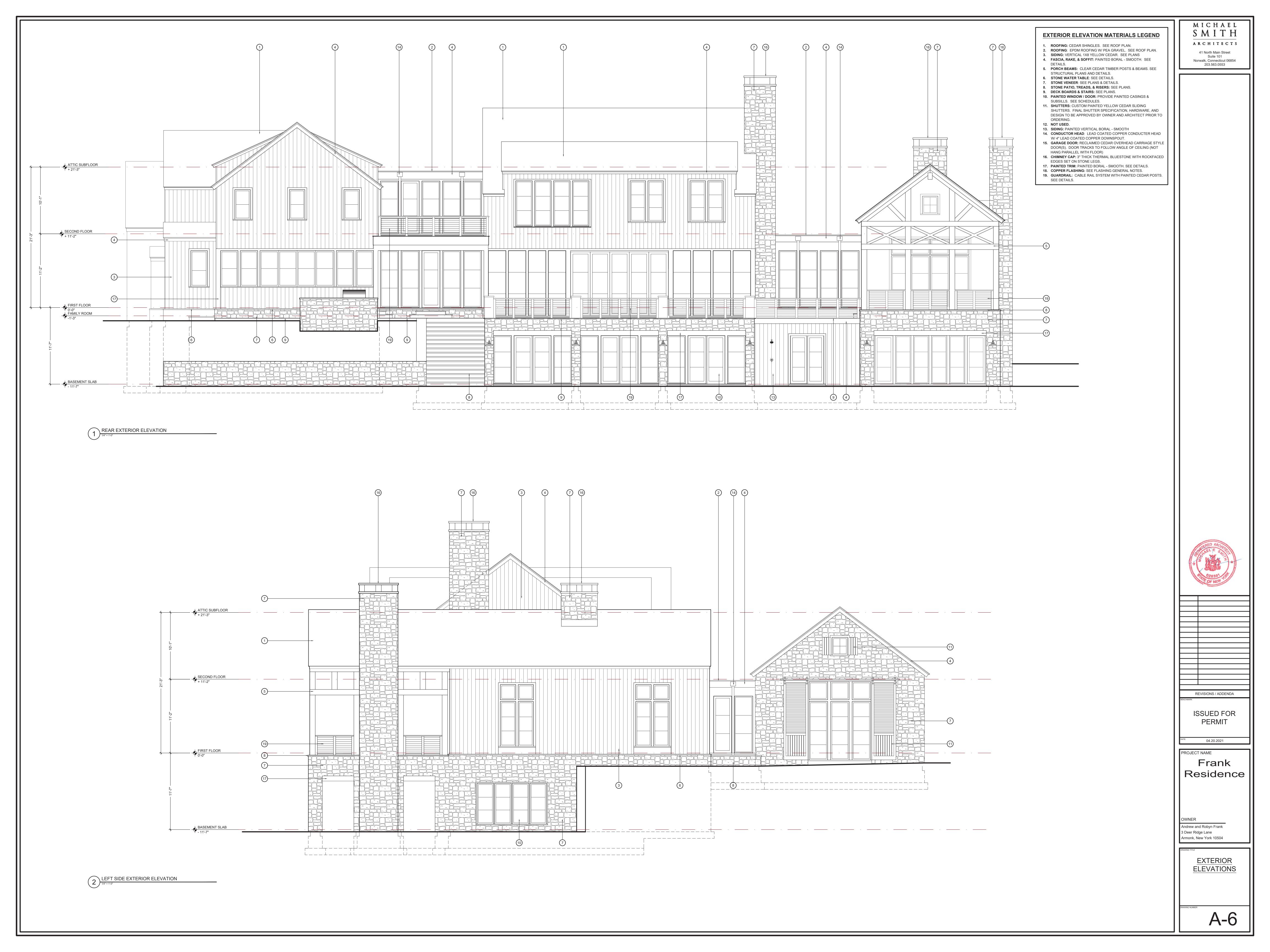
Andrew and Robyn Frank
3 Deer Ridge Lane
Armonk New York 10504

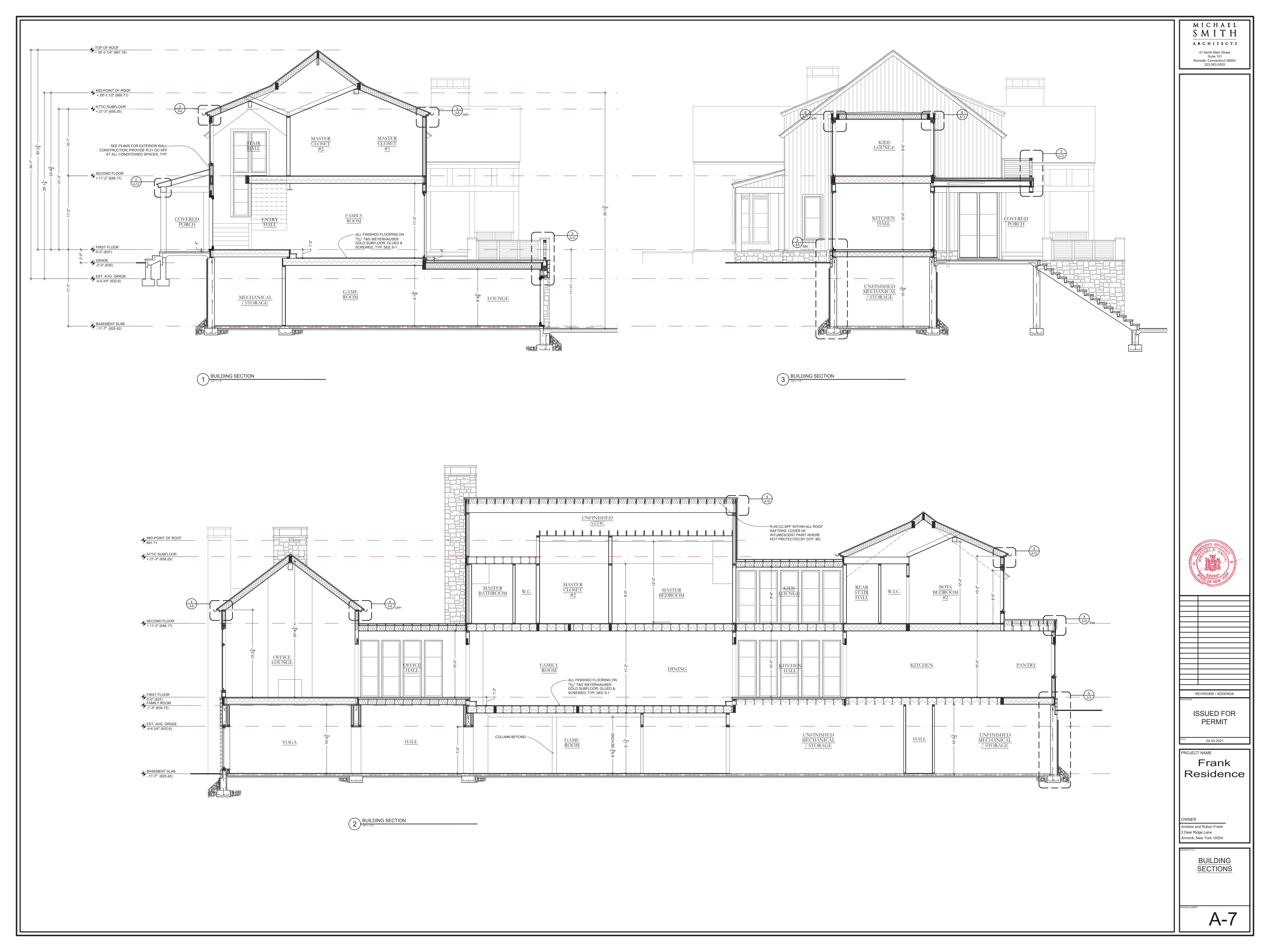
Armonk, New York 10504

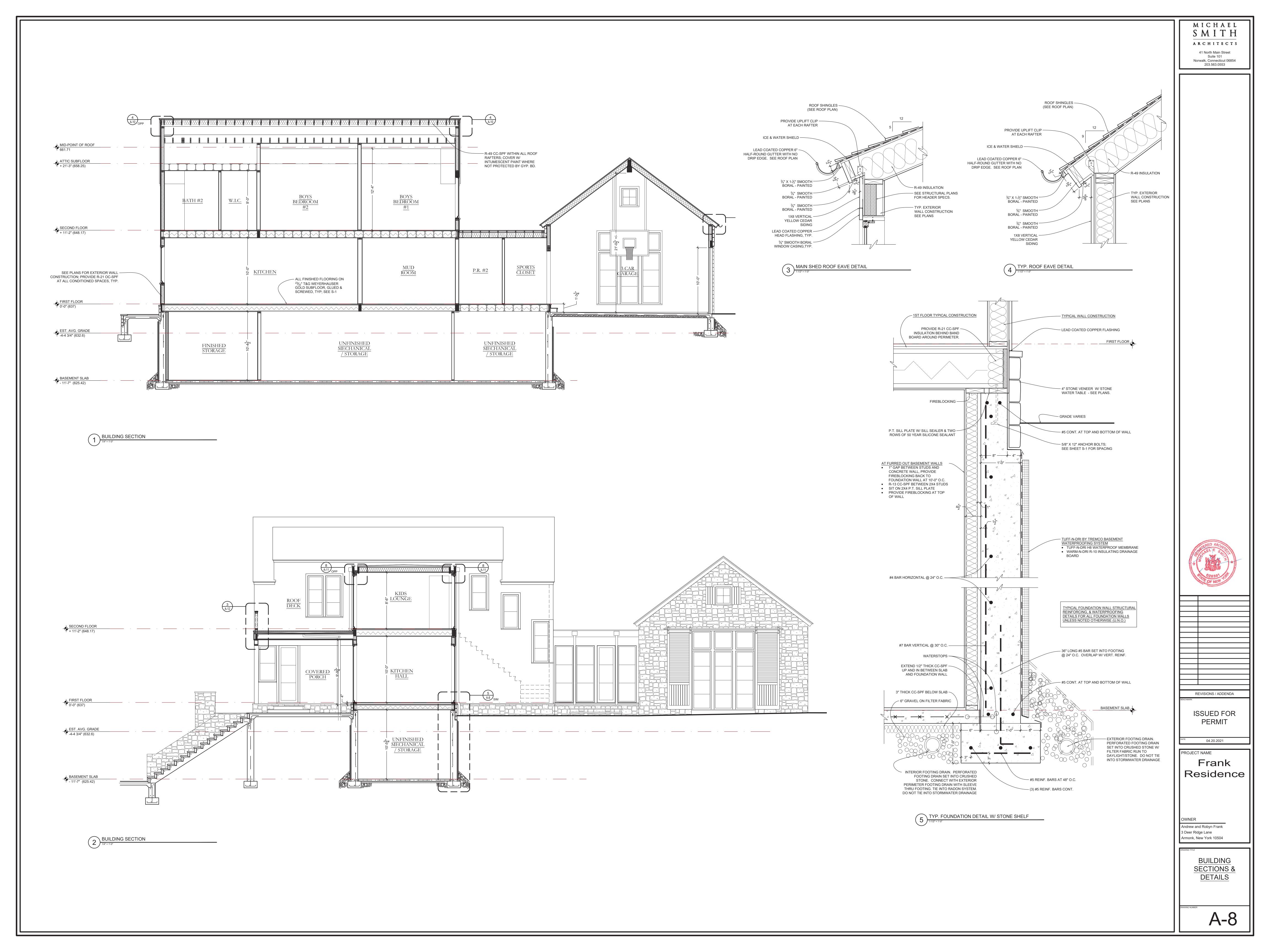
ROOF CONSTRUCTION PLAN

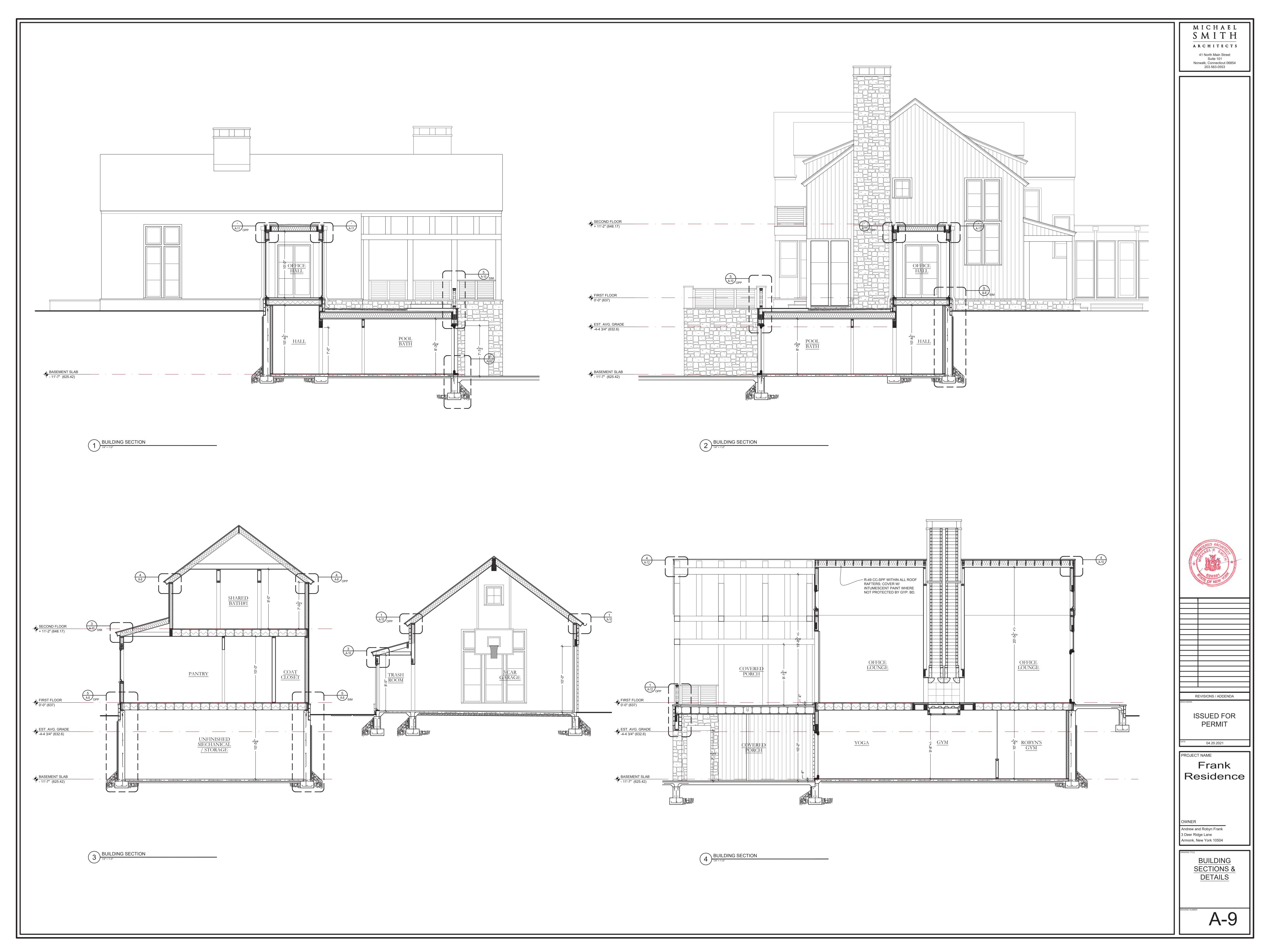
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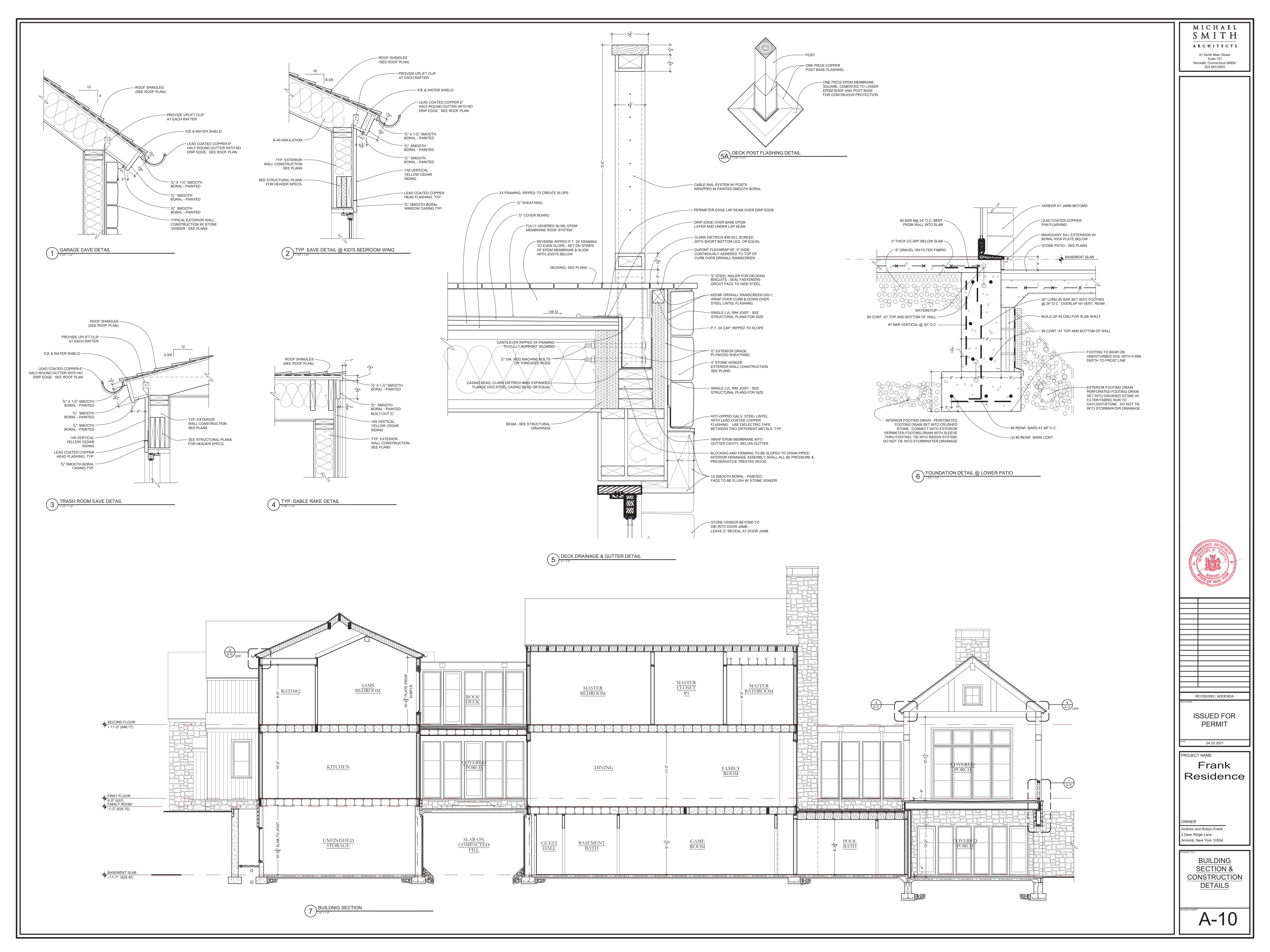


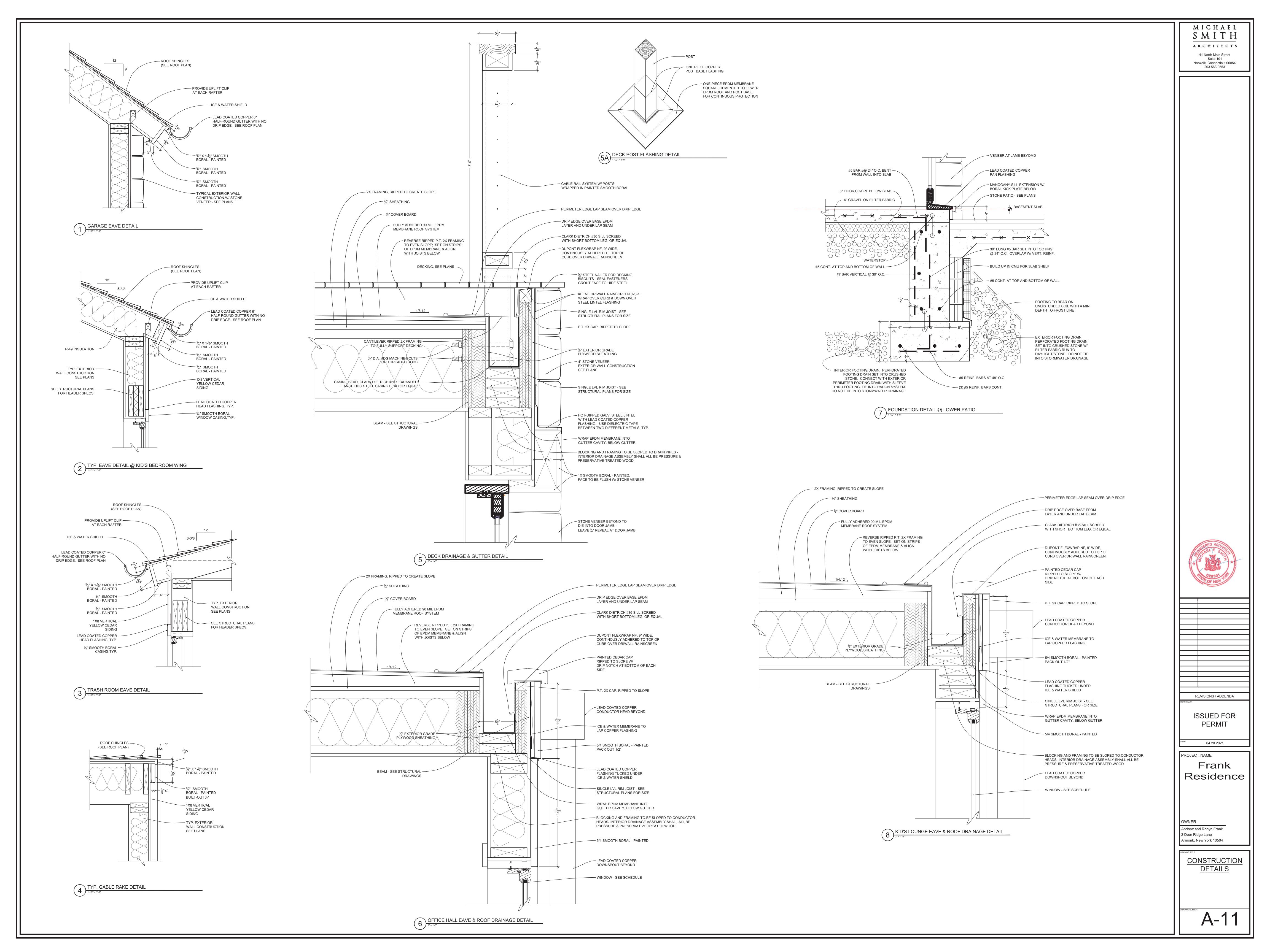


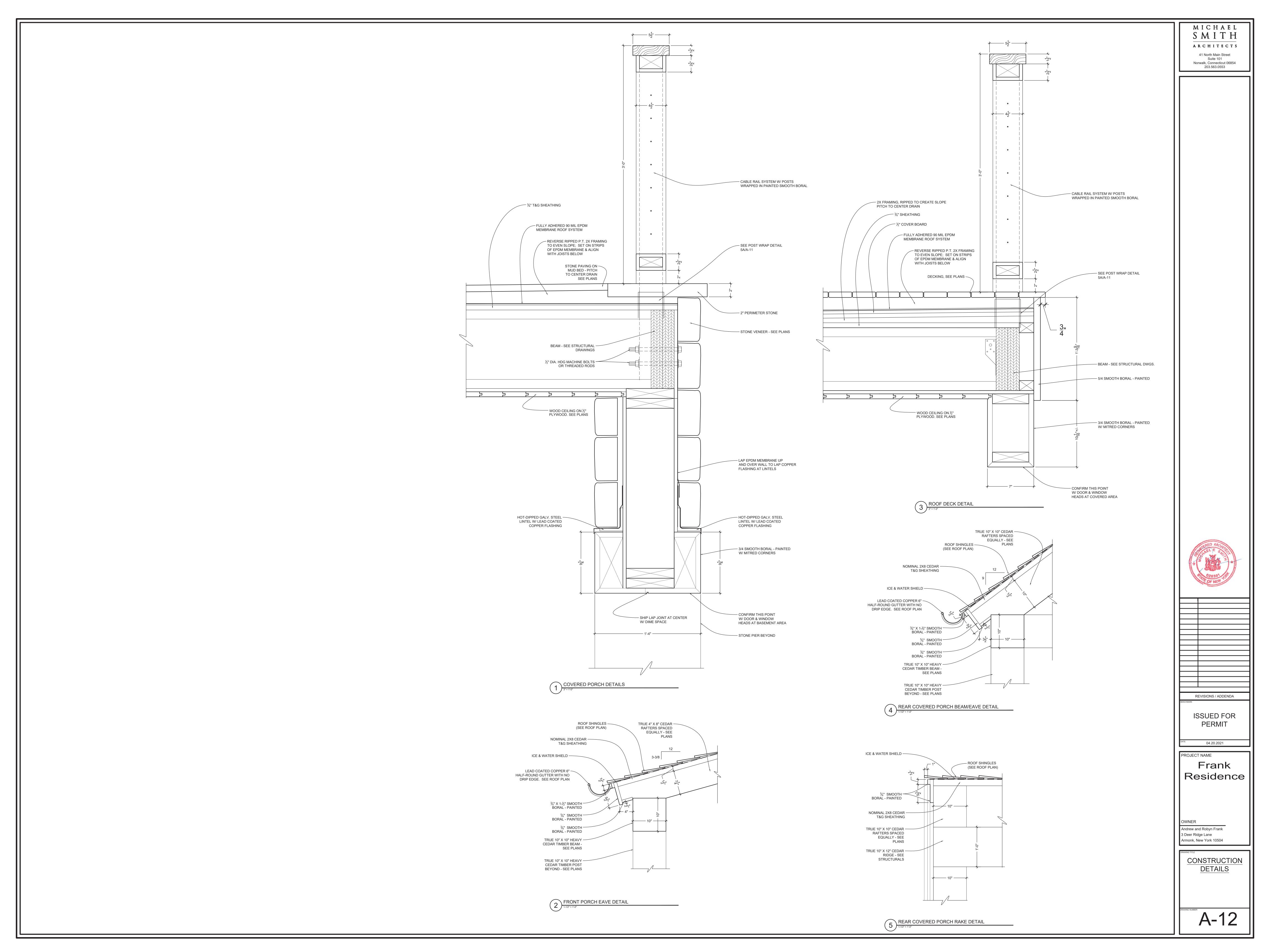












GENERAL STRUCTURAL NOTES TYPICAL. ALL NEW WINDOWS/DOORS ALL LVLS TO BE UPSET/FLUSH WITH FINISHED CEILING U.N.O. OR IN WALL CAVITY.

POST(S) ABOVE BEARING ON HEADERS OR BEAMS BELOW SHALL HAVE A "BC" POST BASE,

ALL HARDWARE SPECIFIED AS SIMPSON STRONG TIE. FOR SLOPED AND SCREWED CONNECTIONS USE LSU/LSSU/LSSUI FACE MOUNT HANGERS. ALL POSTS SHALL BE SUPPORTED DOWN TO BEARING STRUCTURE TYPICAL POST OF EQUAL

PROVIDE MIN. (2) 2X10 HEADER WITH SPACER IN BETWEEN OF RIGID INSULATION U.N.O. AT PROVIDE POSTS UNDER ALL VALLEY RAFTER ENDS, HEADERS, AND RIDGES.

USE SIMPSON HEAVY DUTY HANGERS AT ALL FLUSH LVL BEAM CONNECTIONS. ALL CONNECTORS IN PRESSURE TREATED WOOD SHALL BE G185 HOT-DIPPED GALVANIZED OR STAINLESS STEEL. POSTS SUPPORTING BEAMS FROM MORE THAN ONE DIRECTION: PROVIDE SIMSPON CC CAP.

ALL FRAMING LUMBER SHALL BE GRADE-STAMPED DOUGLAS FIR-LARCH STRUCTURAL GRADE NO. 2 OR BETTER. ALL LVL'S SHALL BE 1 3/4" WIDE, MINIMUM 1.8 E, U.N.O.

ALL SHEATHING TO BE APA RATED, EXPOSURE 1 OR ZIP PANELS AS NOTED. ALL SUBFLOORING TO BE APA RATED PLYTANIUM STURD-I-FLOOR EXPOSURE 1 3/4" MINIMUM

THICKNESS. ALL EDGES OF PLYWOOD TO BE SET ON SOLID BLOCKING. GLUE AND SCREW PLYWOOD SUBFLOOR TO FLOOR JOISTS. SEE DETAILS ON SHEET S-1 FOR STRUCTURAL CONNECTION DETAILS. CONTRACTOR TO PROVIDE CONNECTIONS AS SHOWN ON SHEET S-1 U.N.O

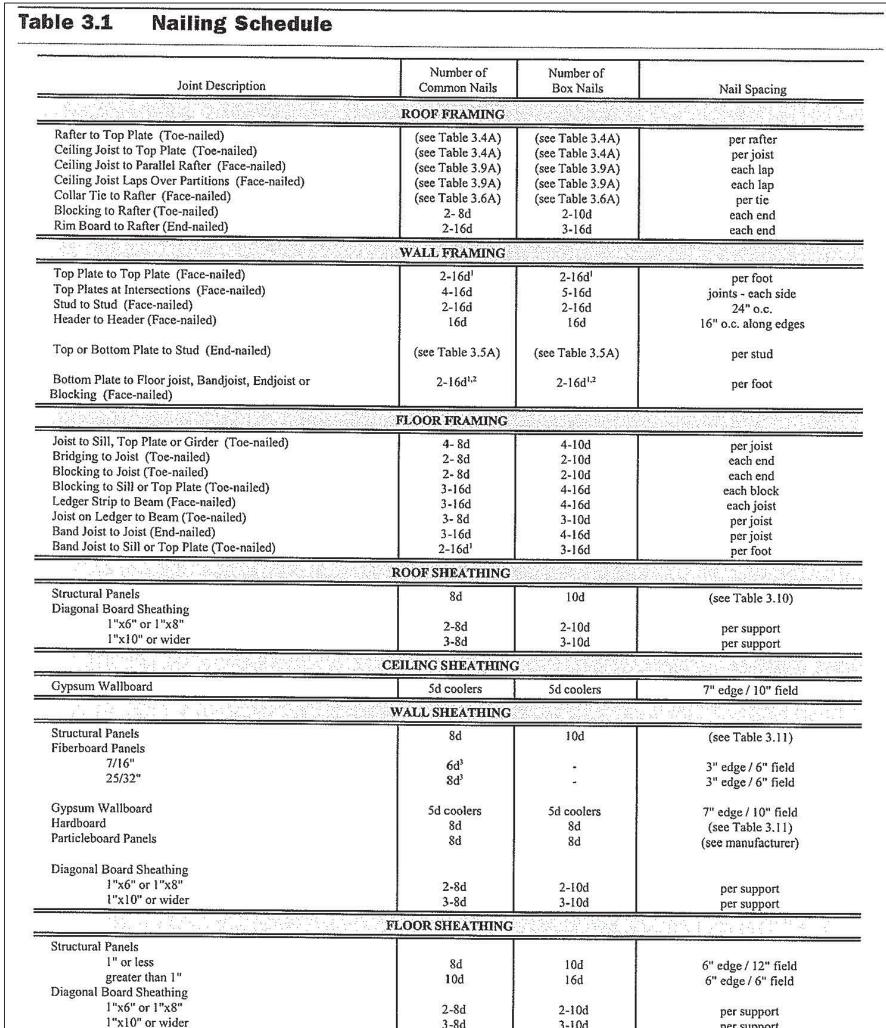
PROVIDE RIDGE TENSION STRAPS AND UPLIFT ANCHORS AT EACH RAFTER. PROVIDE UPLIFT CONNECTOR AT EVERY RIDGE BEAM TO POST CONNECTION. PROVIDE CUSTOM HANGAR AT ALL MULTIPLE LVL TO FLITCH PLATE CONNECTIONS. PROVIDE ARCHITECT WITH SHOP DRAWING PRIOR TO FABRICATION OF FLITCH PLATE.

PROVIDE BLOCKING AT PERIMETER OF ROOF SHEATHING PANEL EDGES PER CODE.

ROOF SHEATHING ATTACHMENT SHALL BE 8d COMMON NAILS OR 10d BOX NAILS AT 6" O.C. AT EDGE SUPPORT OF PANELS AND 12" O.C. AT INTERMEDIATE SUPPORTS EXCEPT AT PERIMETER ZONES (4 FEET OF PERIMTER EDGE OF THE ROOF, INCLUDING 4 FEET ON EACH SIDE OF THE ROOF PEAK OR HIP). IN WHICH CASE NAILS SHALL BE AT 6" O.C. AT INTERMEDIATE SUPPORTS. WALL SHEATHING ATTACHMENT SHALL BE 8d COMMON NAILS OR 10d BOX NAILS AT 6" O.C.

AT EDGE SUPPORT OF PANELS AND 12" O.C. AT INTERMEDIATE SUPPORTS. ALL WALL SHEATHING SEAMS TO BE FULLY BLOCKED PROVIDE 1/2" DIA. HOT-DIPPED GALVANIZED ANCHOR BOLTS CONNECTING SILL PLATES TO

MASONRY OR CONCRETE FOUNDATION WALLS. EMBED ANCHOR BOLTS MIN. 7" INTO CONCRETE OR FULLY GROUTED CMU. PROVIDE SIMPSON BP 1/2-3 BEARING PLATES. ANCHOR BOLTS SHALL BE LOCATED AT 6'-0" O.C. MAX AND WITHIN 12" OF CORNERS. EACH SILL PLATE SHALL HAVE MIN. TWO ANCHORS.

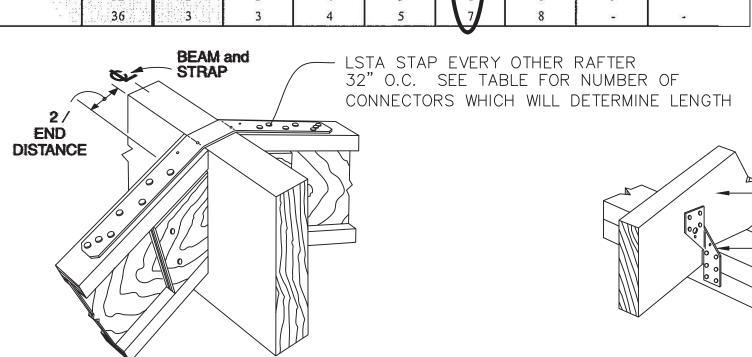


per support Nailing requirements are based on wall sheathing nailed 6 inches on-center at the panel edge. If wall sheathing is nailed 3 inches on-center at the panel edge to obtain higher shear capacities, nailing requirements for structural members shall be doubled, or alternate connectors, such as shear When wall sheathing is continuous over connected members, the tabulated number of nails shall be permitted to be reduced to 1-16d nail per foot. Corrosion resistant 11 gage roofing nails and 16 gage staples are permitted, check IBC for additional requirements.

(Roof-to-Wall, Wall-to-Wall, and Wall-to-Foundation)

Table A-3.4B Uplift Strap Connection Requirements - Exposure C

		Dead Load	Assumptions	: Roof/Ceilir	g Assembly	DL = 15 psf			
Three Second Gus Speed (mph		85	90	100	110	120	130	140	150
Framing Spacing (in.)	Roof Span (ft.)	s v tří		the state of the s		n Nails or 10d " x 20 gage S			
	12	,,;;i 1 ,;;;i2	1000	2	2	3	3	4	4
	16	1	2	2	3	3	4	4	5
	20	2	2	2	3	3	4	5	6
12	24	2	2	3	3	4	5	6	6
	28	2	2	3	4	4	5	6	7
	32	2	2	3	4	5	6	7	8
(C)	36	2	3	3	4	A	6	7	9
	12	2	2	2	3	3	. 4	. 5	5
10 25	16	2	2	3	3	4	5	5	6
***	20	2	2	3	4	4	5	6	7
16	24	2	. 2	3	4	5	6	7	8
See 1	28	2	3	4	5	6	7	8	1. 7 5
	32	2	3	4	5	6	8	9	-



DETAIL: TYPICAL RAFTER TO RAFTER TENSION STRAP (SSP)

ROOF RAFTER (SEE --- H2.5 CLIP EACH RAFTER (ONE MIN.) -DOUBLE TOP PLATE

DETAIL: TYPICAL RAFTER TO TOP PLATE (H2.5)

STRUCTURAL DETAIL NOTES

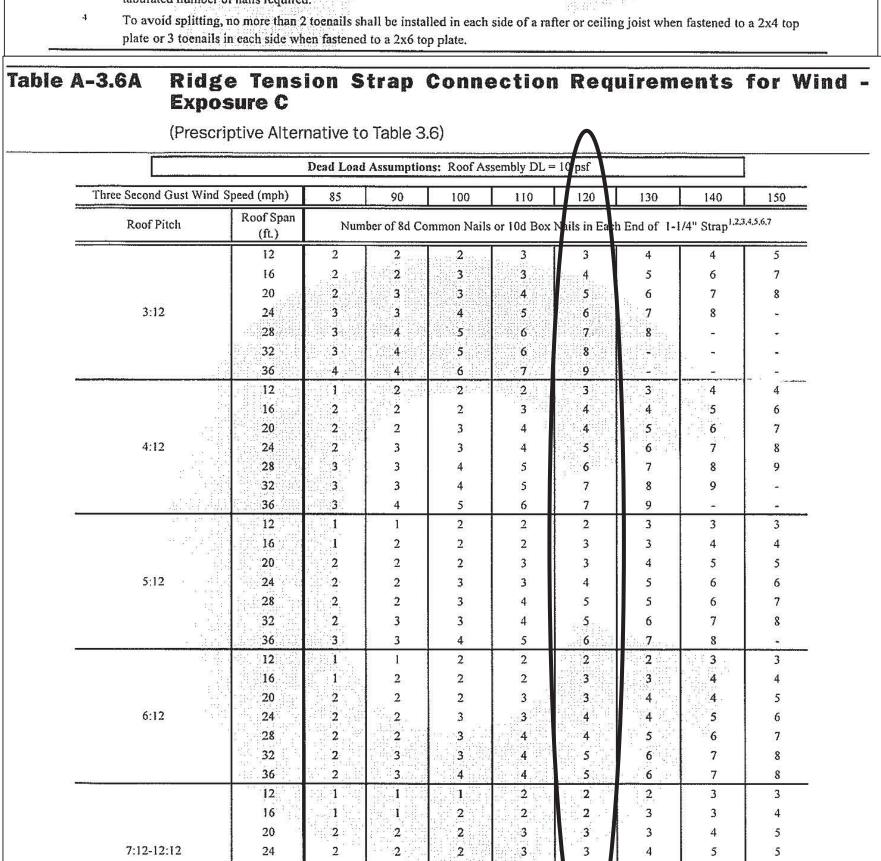
CONTRACTOR TO INSTALL

DETAILS ON STRUCTURAL

SHEETS THROUGHOUT HOUSE

Table A-3.4A Rafter and / or Ceiling Joist Top Plate Lateral and Shear Connection Denuiremente - Evneure C

Three Second Gust \ (mph)	Wind Speed	85	90	100	110	120	130	140	150
Rafter/Ceiling Joist Spacing (in.)	Wall Height (ft.)						Nails (Toenail p Plate Conne		
12	8 10	2	2	3	3	3	3	3 4	3 4
16	8	3	3	3	4		4	4	4
24	8 10	4	4	5 5	5	5	5 6	6	6

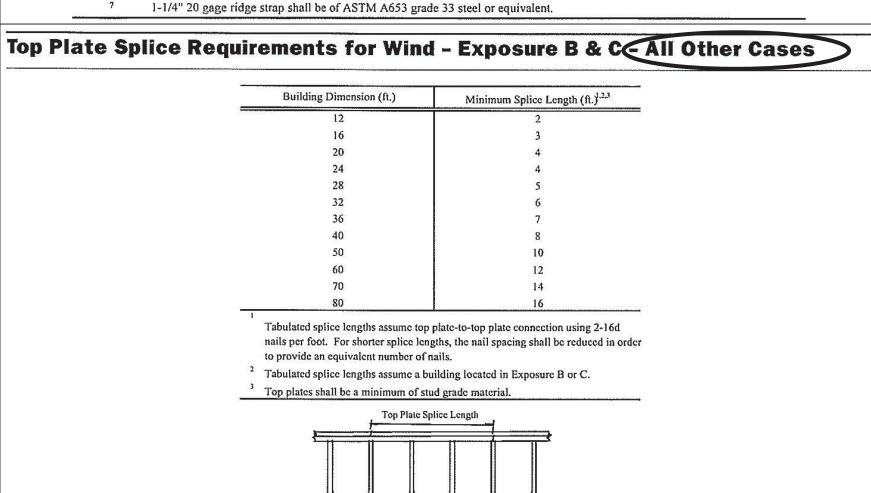


Tabulated connection requirements shall be permitted to be multiplied by 0.75 for framily not located within 8 feet of building Tabulated ridge connection loads assume a building located in Exposure C. Tabulated connection requirements are based on total uplift minus 0.6 of the roof assembly dead load (0.6 x 10 psf). Tabulated connection requirements are based on a 12 inch ridge strap spacing, for different ridge strap spacings, multiply the tabulated values by the appropriate multiplier below:
 Ridge Strap Spacing (in.)
 12
 16
 19.2
 24
 48
 1.00 (1.33) 1.60 2.00 4.00

When the tabulated number of nails required in each end of the strap is equal to 1 and the framing is attached in accordance with

When a collar tie is used in lieu of a ridge strap, the number of 10d common nails required in each end of the collar tie need not exceed the tabulated number of 8d common nails in a steel strap, or the number of 12d box nails in each end of the collar tie need not exceed the tabulated number of 10d box nails in a steel strap. 7 1-1/4" 20 gage ridge strap shall be of ASTM A653 grade 33 steel or equivalent

Table 3.1, the ridge strap and additional nailing is not required.



SSP @ EACH STUD -

DETAIL: TOP PLATE STUD TIE (SSP)

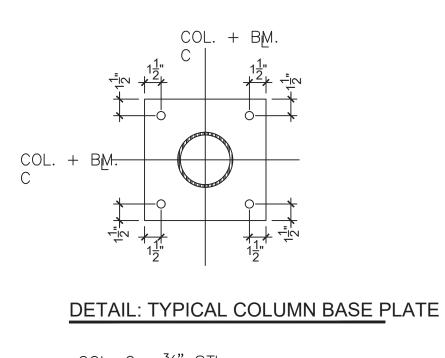
STAGGER FASTENERS IN 2 ROWS ___LEDGER 0 0 0 +0 LAG SCREW OR BOLT

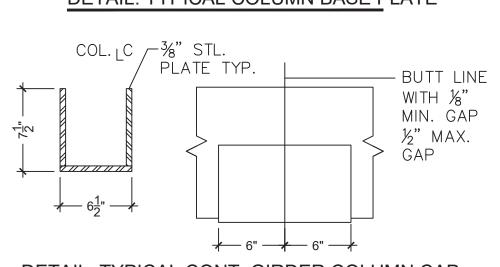
DETAIL: PLACEMENT OF LAG SCREWS AND BOLTS IN LEDGERS

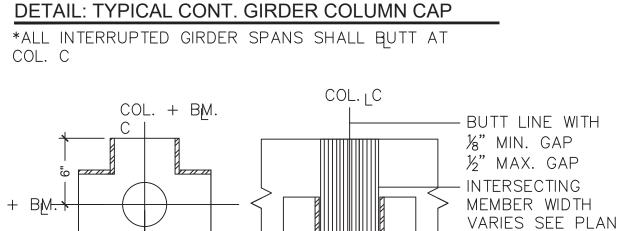
. VERTICAL PLACEMENT OF BOTTOM ROW OF FASTENERS FROM TOP OF LEDGER TO BE 5.5" MIN. FOR 2x8, 6.5" MIN. FOR 2x10, AND 7.5" MIN. FOR 2x12. 2. FOR 2x8 LEDGERS, MIN. PLACEMENT OF BOTTOM FASTENERS MAY BE REDUCED TO 4.5" IF LAG SCREWS ARE USED OR BOLT SPACING IS REDUCED TO THAT OF LAG SCREWS TO ATTACH 2x8 LEDGERS TO 2x8 BAND JOISTS.

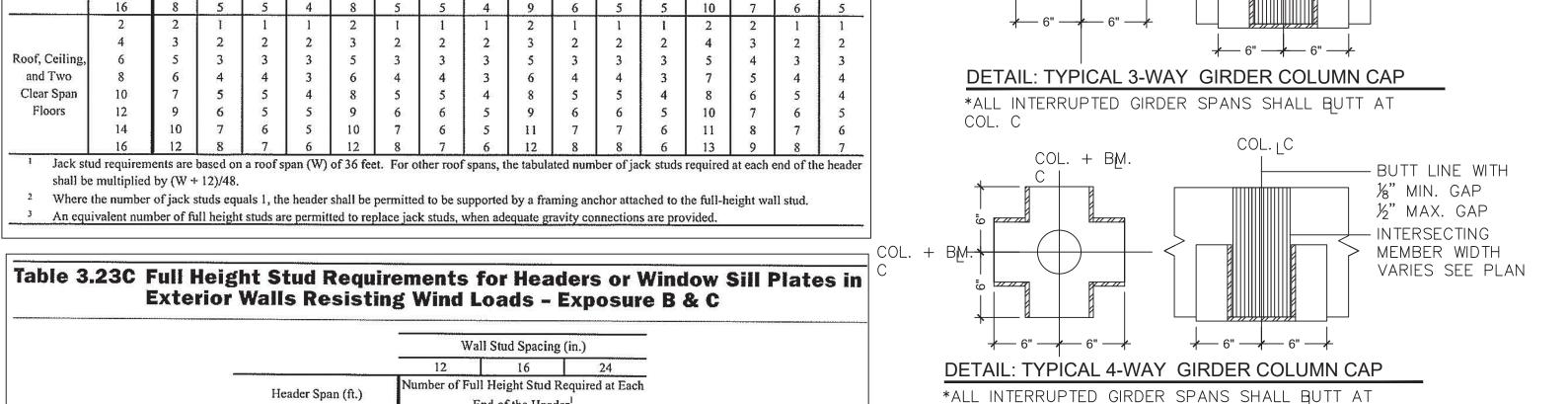
— SDWF CONNECTOR AT 40" O.C. AT ALL EXTERIOR WALLS

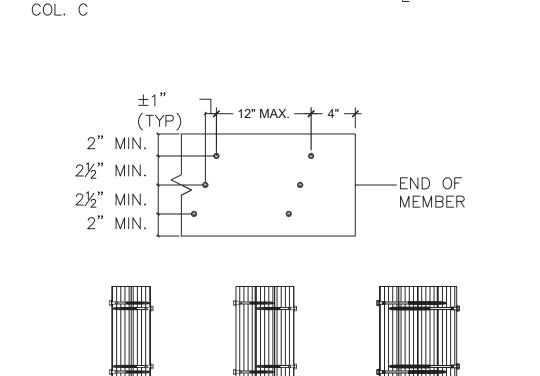
DETAIL: FLOOR TO FLOOR CONNECTION (SDWF)











SDS25412 SDS25600 DETAIL: TYPICAL JOINING MULTIPLE LVL MEMBERS *FASTENERS SPECIFIED ARE SIMPSON STRONG-TIE STRONG-DRIVE SCREW *STAGGER SCREWS ON OPPOSITE FACES

ASSEMBLY B

ASSEMBLY

----- WF BEAM SEE PLAN

%" TOP PLATE

—— 2 ROWS ¾" A325

STEEL SIZE VARIES

HILTI KWIK BOLT III

ANCHORS W/ 6" MIN.

_½"ø EXPANSION

EMBED. (TYP)

PLATE TYP.

DETAIL: TYPICAL LVL / WIDE FLANGE GIRDER TO COLUMN

/-11"x11"x½" BASE

SEE PLAN

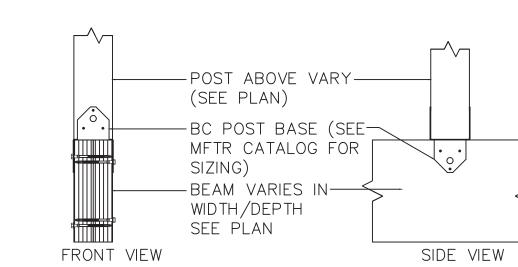
ASSEMBLY A

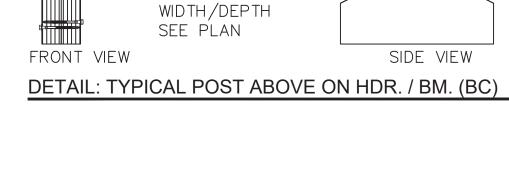
%" STL. PLATE COL.

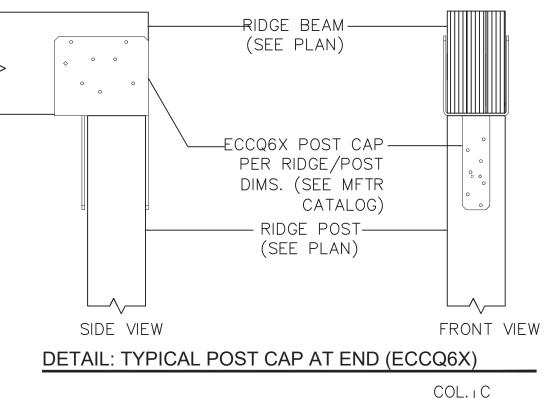
3/16"

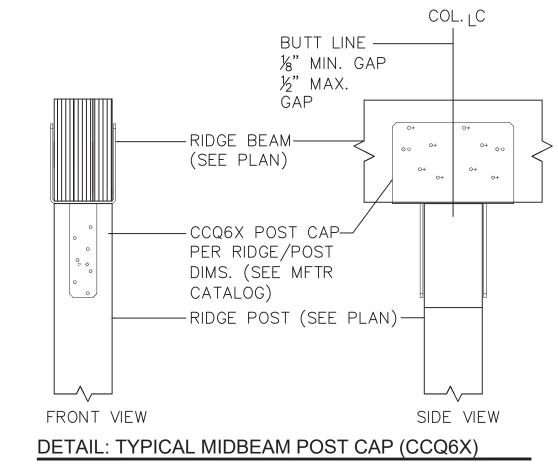
3/16"

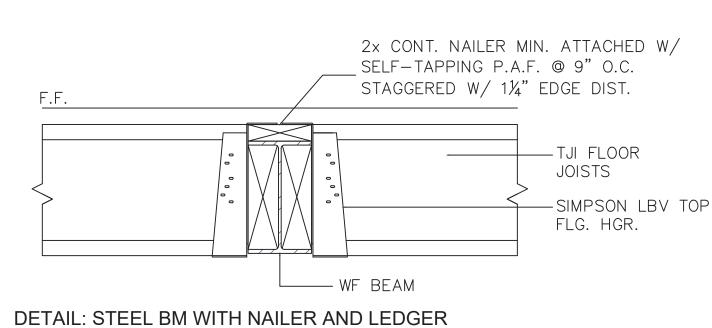
SEE PLAN

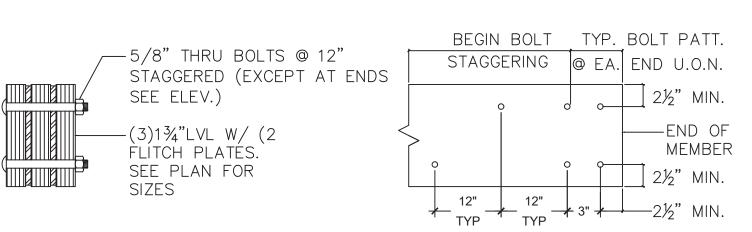


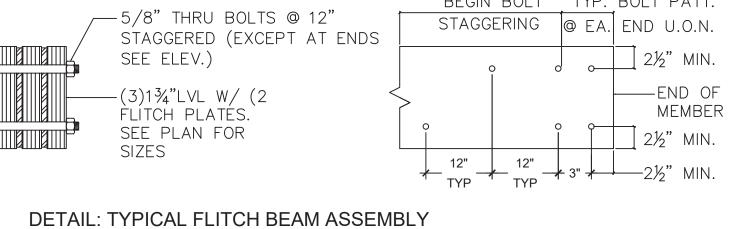


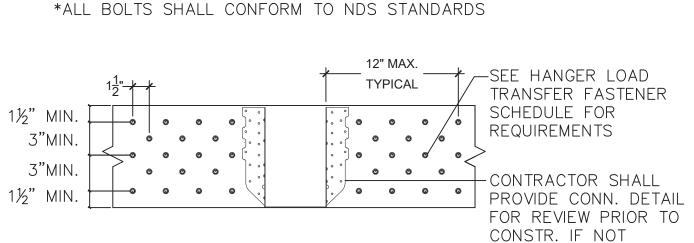


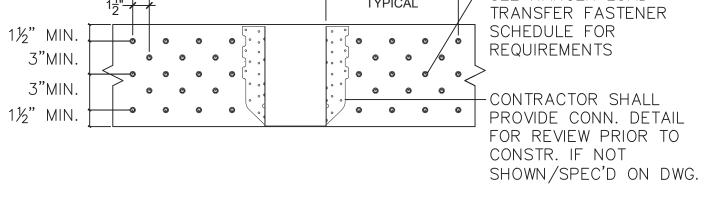




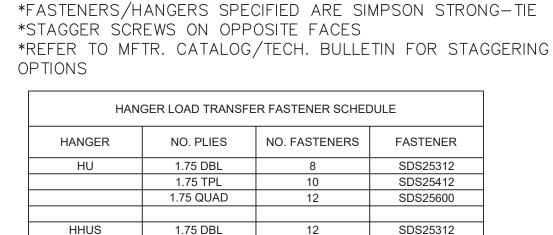






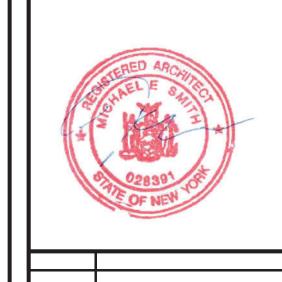


DETAIL: TYPICAL HGR. CONN. TO MULTIPLE LVL MEMBER



HAN	IGER LOAD TRANSF	ER FASTENER SCHEE	DULE
HANGER	NO. PLIES	NO. FASTENERS	FASTENER
HU	1.75 DBL	8	SDS25312
	1.75 TPL	10	SDS25412
	1.75 QUAD	12	SDS25600
HHUS	1.75 DBL	12	SDS25312
	1.75 TPL	16	SDS25412
	1.75 QUAD	18	SDS25600
HGUS	1.75 DBL	22	SDS25312
	1.75 TPL	30	SDS25412
HGU	1.75 DBL	30	SDS25312

SCHEDULE: HANGER LOAD TRANSFER *SCHEDULE IS FOR 9.25"-14" LVL'S (EXCEPTION 9.25"-9.5" LVL N/A FOR HGU) *STAGGER SCREWS ON OPPOSITE FACES *REFER TO MFTR. CATALOG/TECH. BULLETIN FOR STAGGERING



MICHAEL

SMITH

ARCHITECTS

41 North Main Street Suite 101

Norwalk, Connecticut 06854 203.563.0553

R	EVISIONS / ADDENDA
BENCHMARK	SSUED FOR PERMIT

DATE: 04.20.2021
PROJECT NAME
Frank Residence

Andrew and Robyn Frank 3 Deer Ridge Lane Armonk New York 10504	OWNER
=	Andrew and Robyn Frank
Armonk New York 10504	3 Deer Ridge Lane
7 IIIIOIIII, TYOW TOTK TOOOT	Armonk, New York 10504

STRUCTURAL **NOTES & DETAILS**

S-1

bottom plate

Header Supporting

One Floor Only

(Center Bearing)

Two Floors

(Center Bearing)

Table 3.22F Jack Stud Requirements

Roof and

and One

Bearing Floor

Span Floor

(For Headers in Exterior Loadbearing Walls)

Number of Jack Studs Required at Each End of the Header 1,2,3

Where the number of jack studs equals 1, the header shall be permitted to be supported by a framing anchor attached to the full-height wall stud.

Exterior Walls Resisting Wind Loads - Exposure B & C

Wall Stud Spacing (in.)

Number of Full Height Stud Required at Each

Number of Jack Studs Required at Each End of the Header^{1,2}

End of the Header

The number of full height studs required at each end of the

header shall be permitted to be reduced in accordance with

the requirements of Section 3.4.1.4.2 and Table 3.23D,

Where the number of jack stude equals 1, the header shall be permitted to be supported by a framing anchor attached to the full-

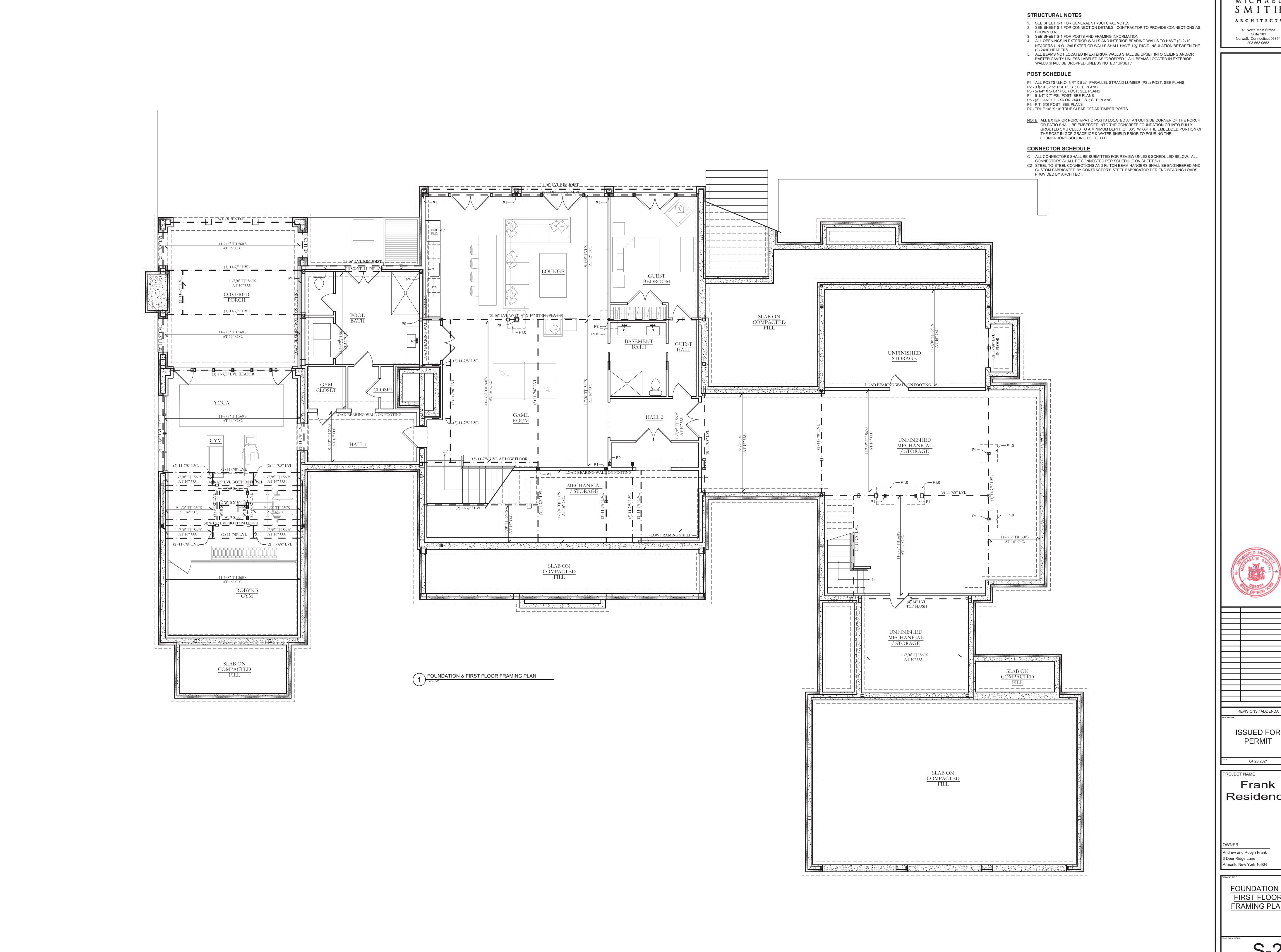
An equivalent number of full height studs are permitted to replace jack studs, when adequate gravity connections are provided.

Table 3.24C Jack Stud Requirements for Headers in Interior Loadbearing Walls

16 24

An equivalent number of full height studs are permitted to replace jack studs, when adequate gravity connections are provided.

PER IRC FIGURE R507.2.1(1)



MICHAEL SMITH ARCHITECTS 41 North Main Street

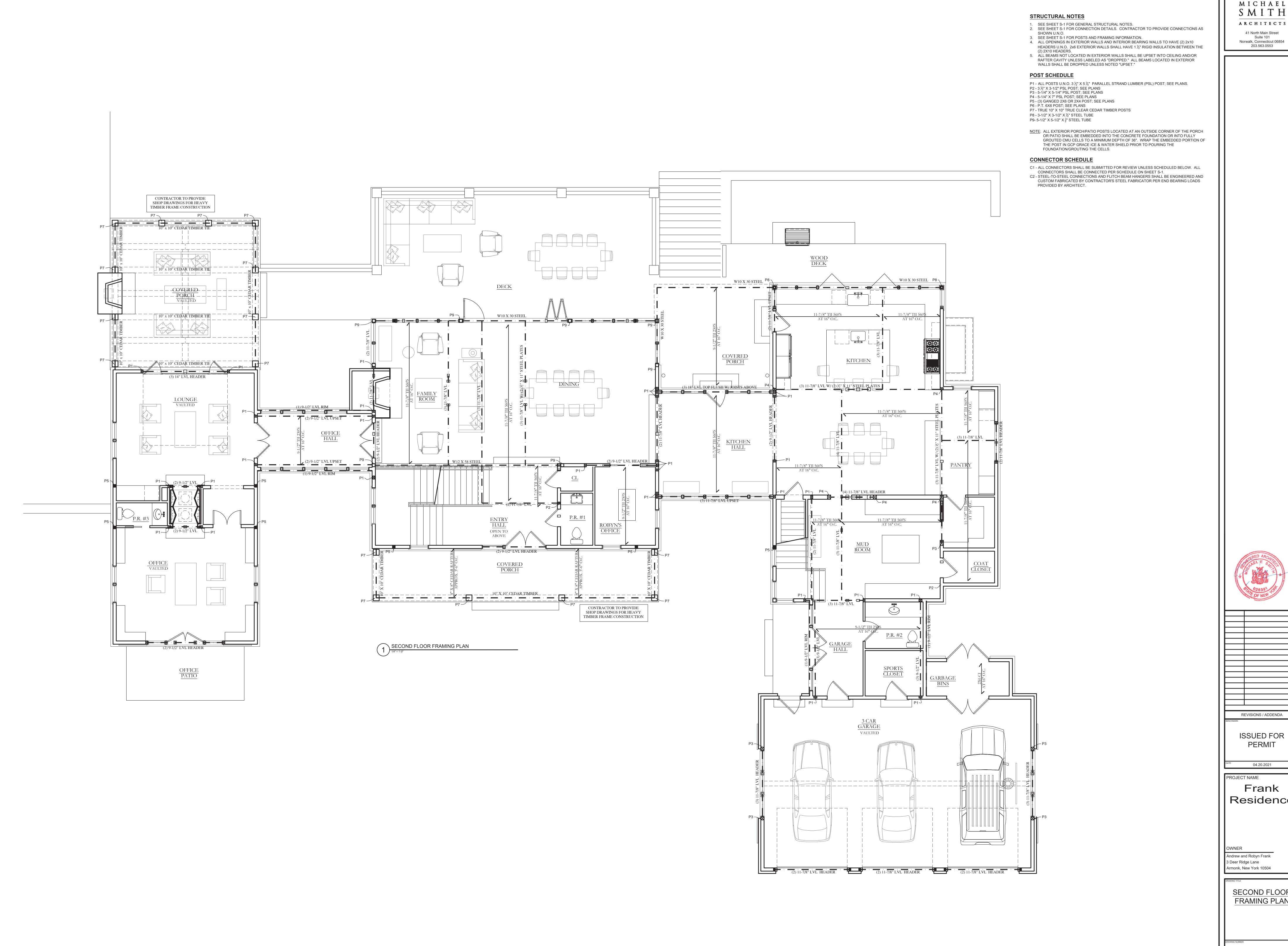
Suite 101 Norwalk, Connecticut 06854

REVISIONS / ADDENDA

ISSUED FOR PERMIT

Residence

FOUNDATION & FIRST FLOOR FRAMING PLAN



ARCHITECTS

Suite 101

41 North Main Street Norwalk, Connecticut 06854 203.563.0553

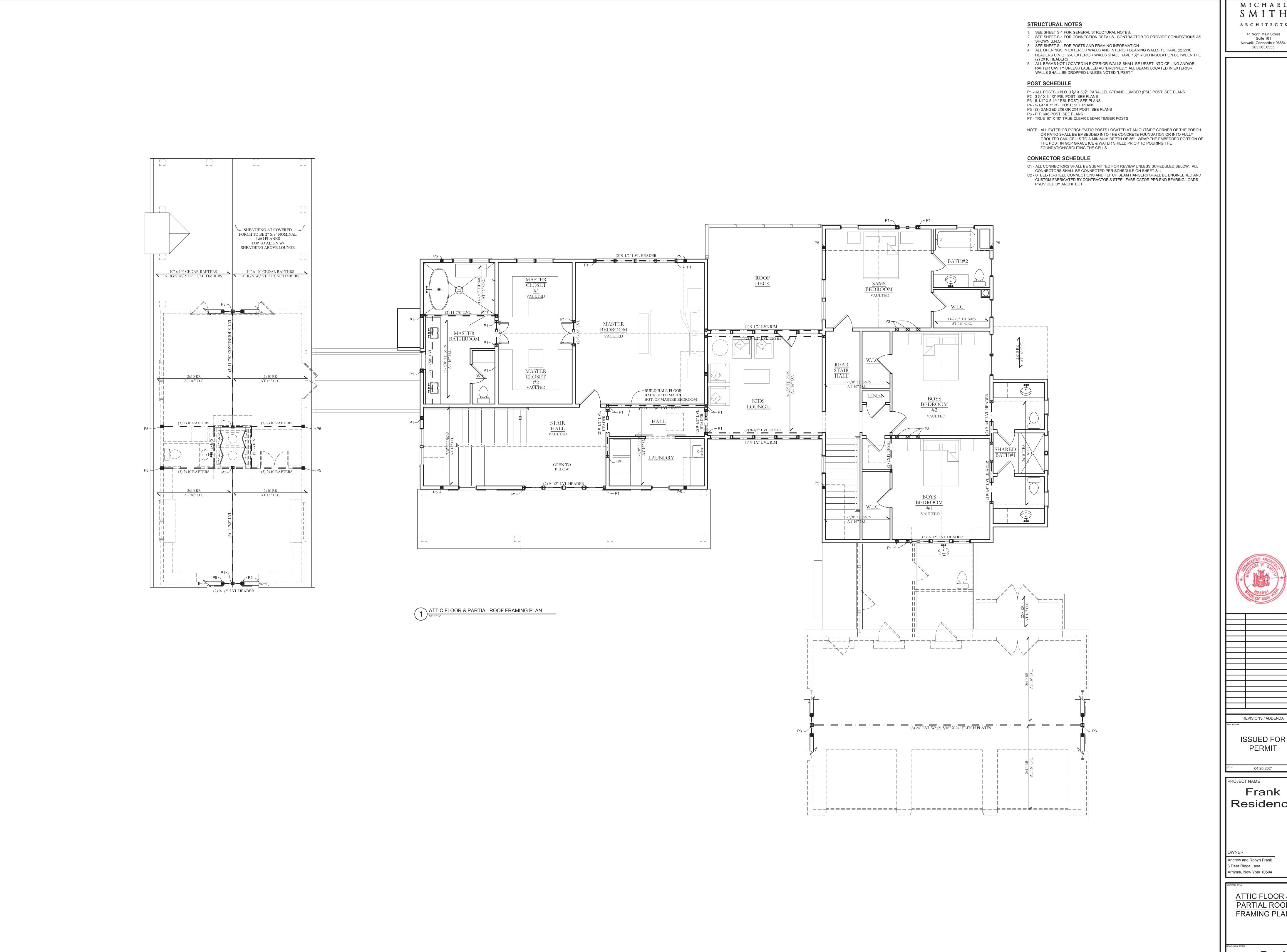
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ISSUED FOR PERMIT

Frank Residence

Andrew and Robyn Frank 3 Deer Ridge Lane

SECOND FLOOR FRAMING PLAN



MICHAEL SMITH ARCHITECTS

41 North Main Street Suite 101 Norwalk, Connecticut 06854 203.563.0553

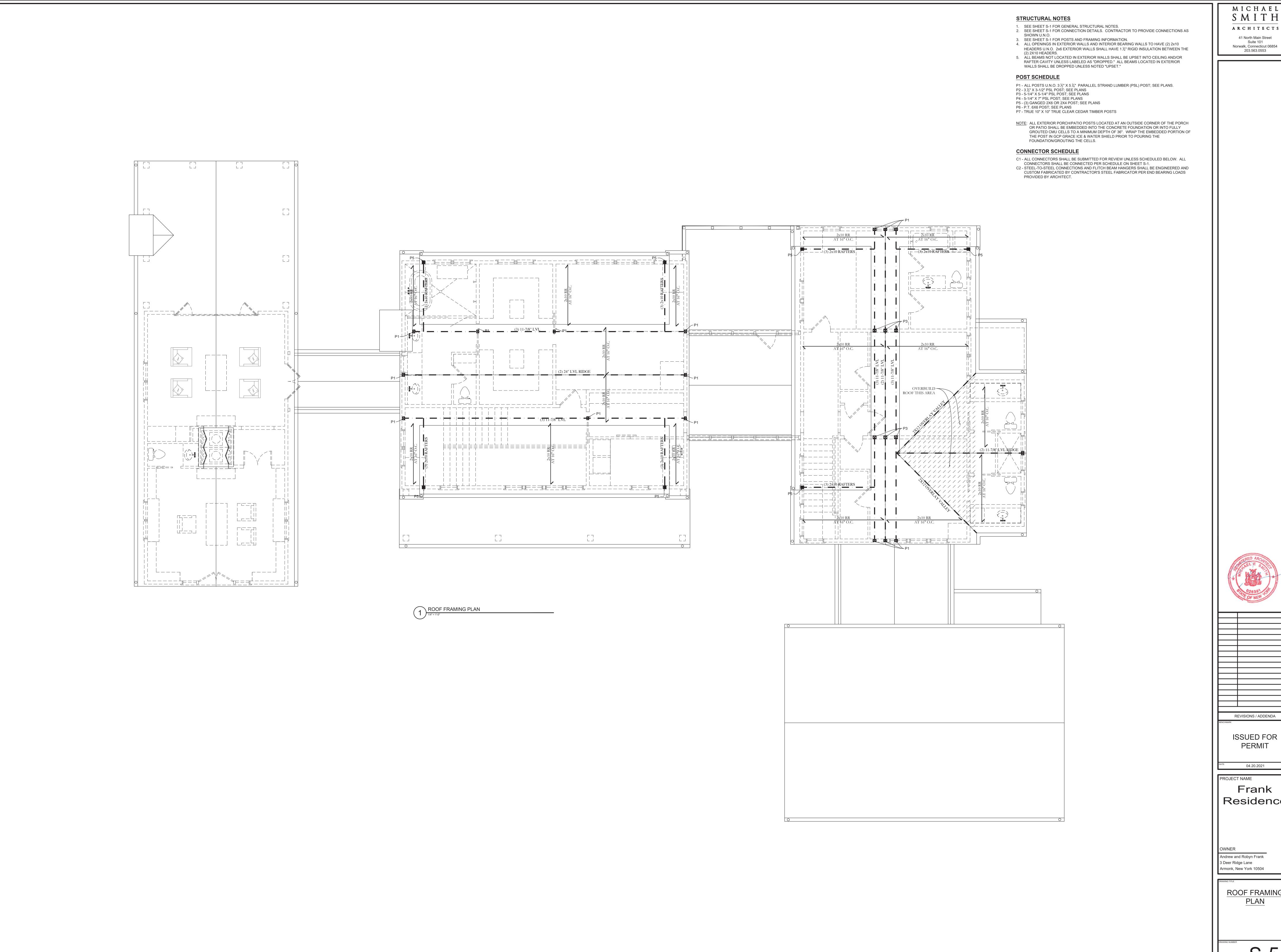
REVISIONS / ADDENDA

PERMIT

Frank Residence

Andrew and Robyn Frank

ATTIC FLOOR & PARTIAL ROOF FRAMING PLAN

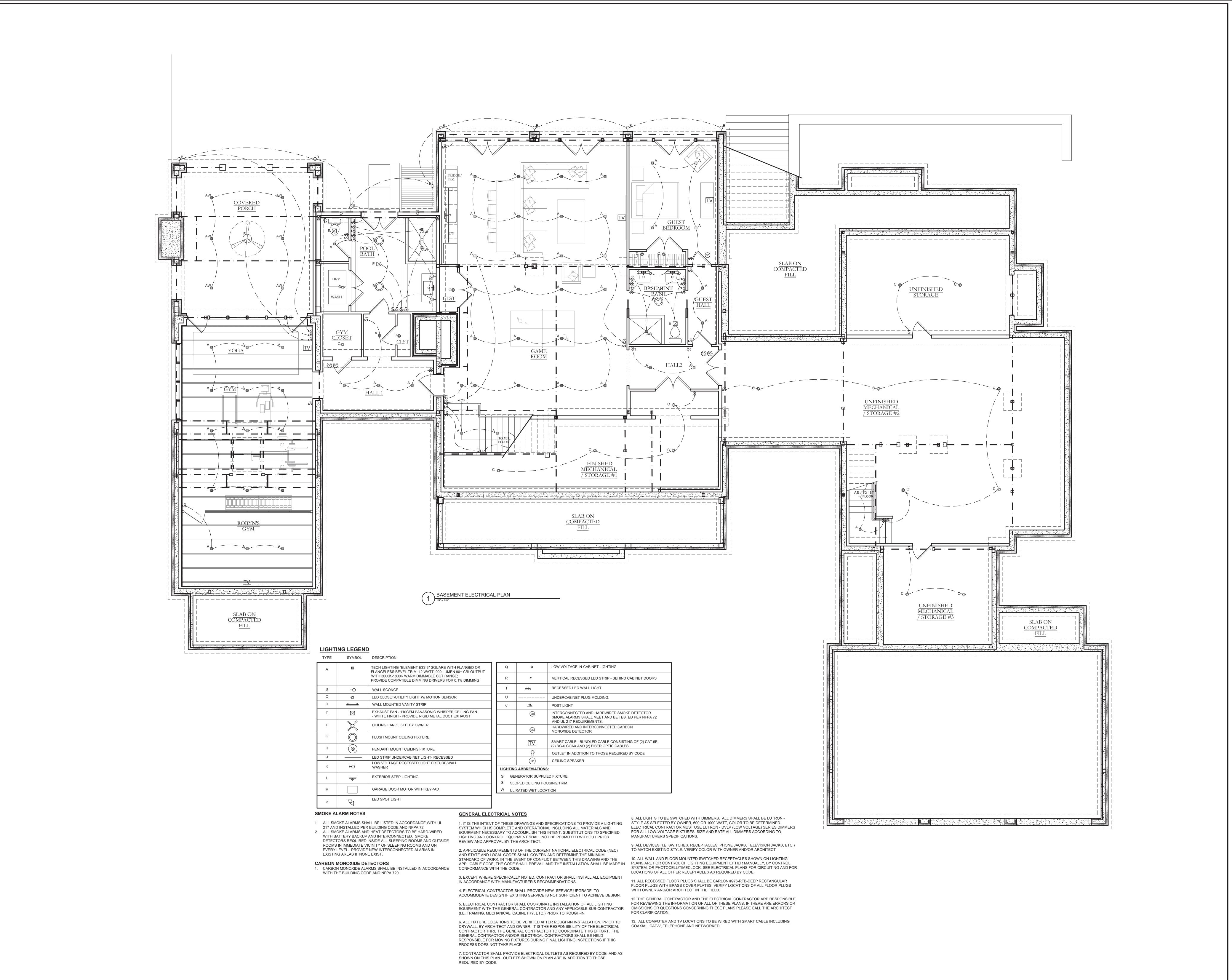


MICHAEL SMITH ARCHITECTS

REVISIONS / ADDENDA

Residence

ROOF FRAMING



MICHAEL
SMITH

ARCHITECTS

41 North Main Street
Suite 101
Norwalk, Connecticut 06854
203.563.0553



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ISSUED FOR PERMIT

04.20.2021

PROJECT NAME

Frank

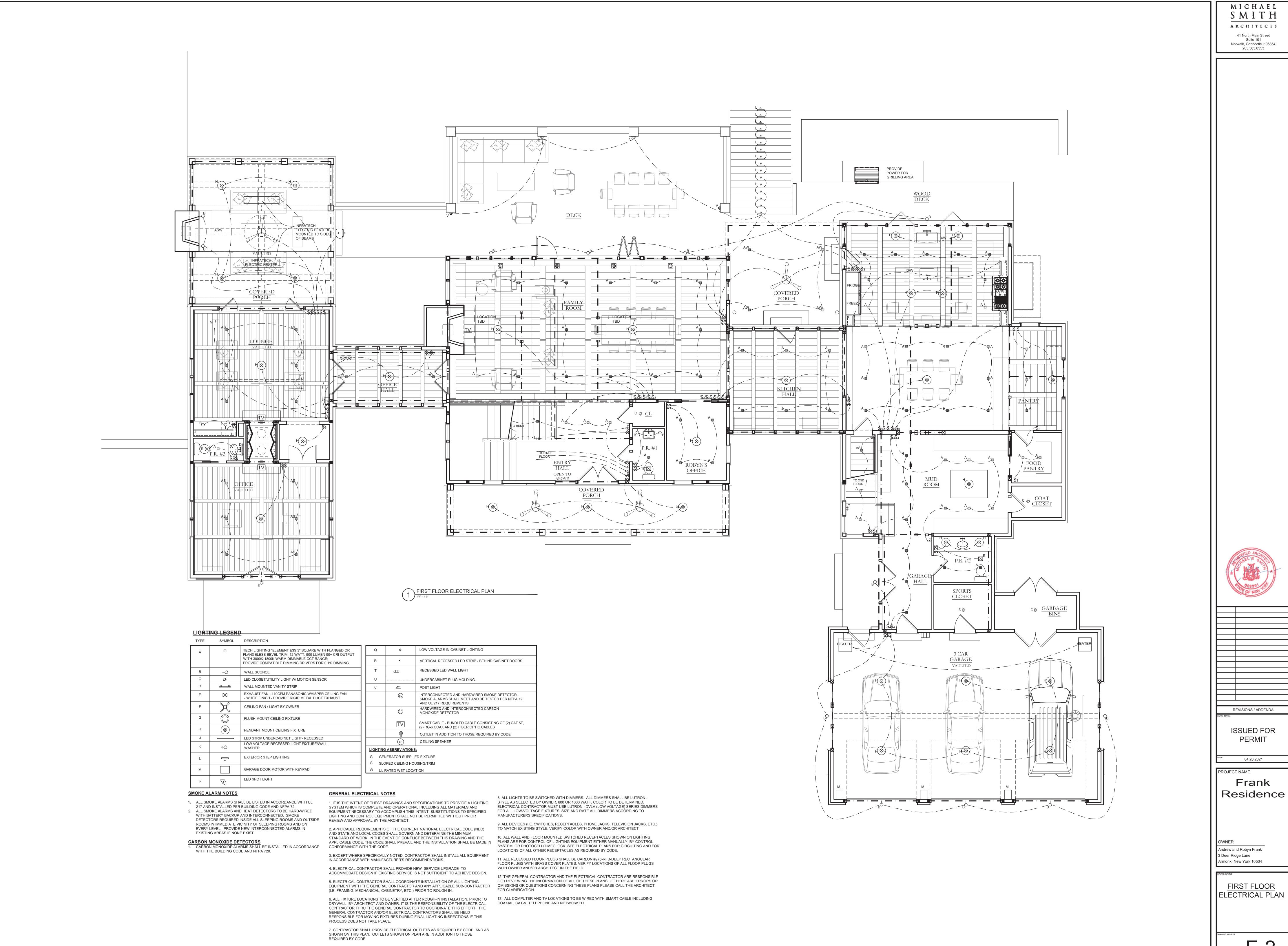
Residence

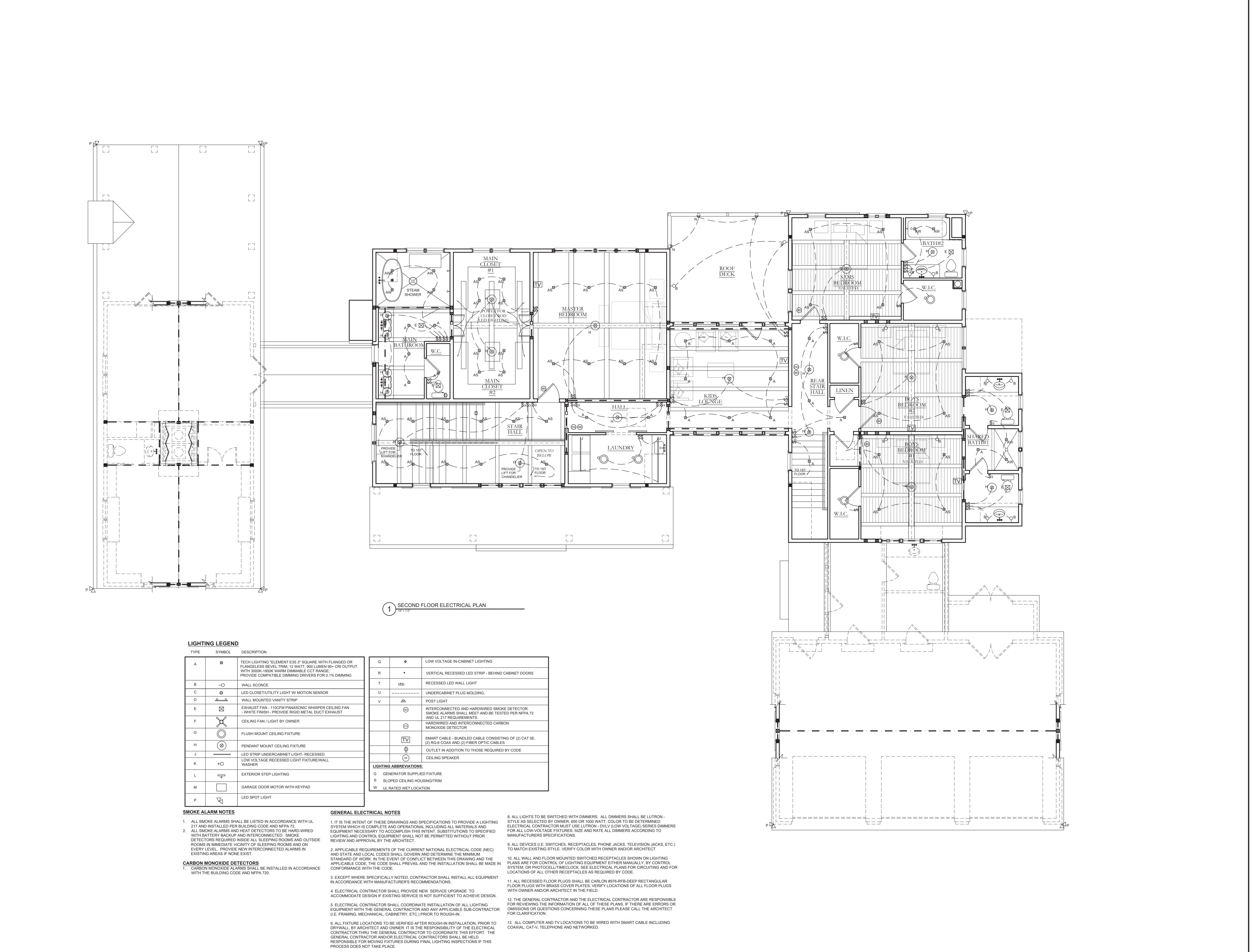
OWNER

Andrew and Robyn Frank
3 Deer Ridge Lane
Armonk, New York 10504

BASEMENT ELECTRICAL PLAN

F_





7. CONTRACTOR SHALL PROVIDE ELECTRICAL OUTLETS AS REQUIRED BY CODE AND AS

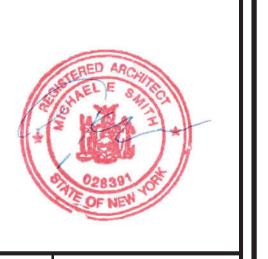
SHOWN ON THIS PLAN. OUTLETS SHOWN ON PLAN ARE IN ADDITION TO THOSE

REQUIRED BY CODE.

MICHAEL
SMITH

ARCHITECTS

41 North Main Street
Suite 101
Norwalk, Connecticut 06854
203.563.0553



REVISIONS / ADDENDA
BENCHMARK

04.20.2021

ISSUED FOR

PERMIT

Frank

Andrew and Robyn Frank
3 Deer Ridge Lane
Armonk, New York 10504

SECOND FLOOR ELECTRICAL PLAN

F_3

