



PROPOSED NEW RESIDENCE

studio rai
 Architectural Design P.C.
 290 Salem Rd
 Pound Ridge, NY 10576
 T: 914-273-6843
 www.studiorai.com

ARCHITECTS

STRUCTURAL ENGINEERS

landscape architect

FOODSERVICE EQUIPMENT

PROJECT INFORMATION

PROPOSED RESIDENCE AT

17 STERLING ROAD
 ARMONK, NY

No.	Revision	Date	Description
		4-20-21	RPRC-FILING
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DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF STUDIO RAI, ARCHITECTS. WITHOUT THE WRITTEN AUTHORIZATION OF STUDIO RAI, ARCHITECTURAL DESIGN P.C. IS THIS DOCUMENT IS INTENDED SOLELY FOR THE CONSTRUCTION OF THE PROJECT NAMED HEREIN AND SHALL NOT BE USED BY ANY OTHER PARTY FOR ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF STUDIO RAI, ARCHITECTS. ©

KEY PLAN

COVER SHEET

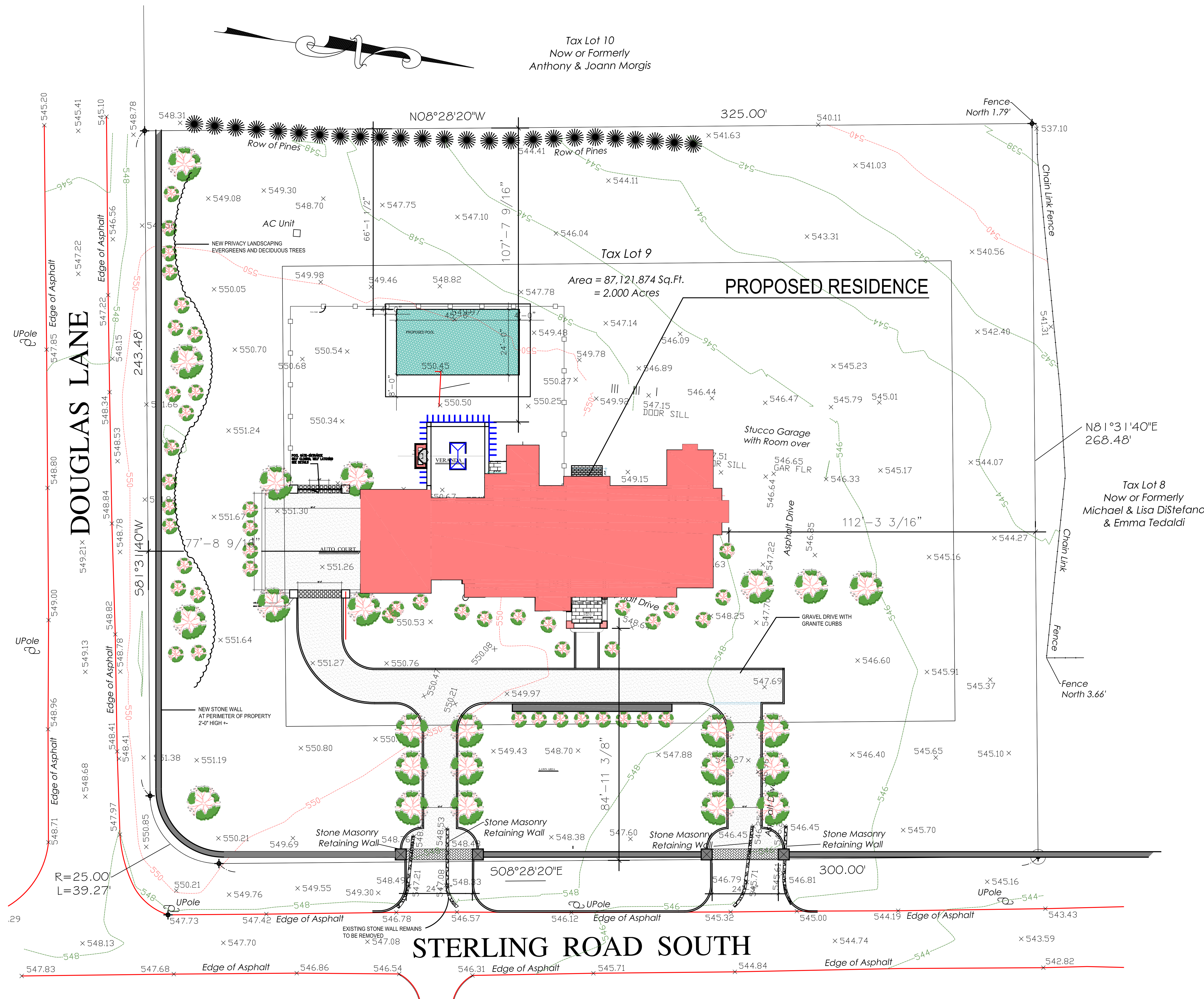
DRAWING TITLE

CS

DRAWING NUMBER

	ISSUE DATE	08-07-19
	BY - LRA	
	PROJECT NO.	080717
	SCALE	AS NOTED

SEAL/SIGNATURE



SITE PLAN

SCALE: 1/16" = 1'-0"

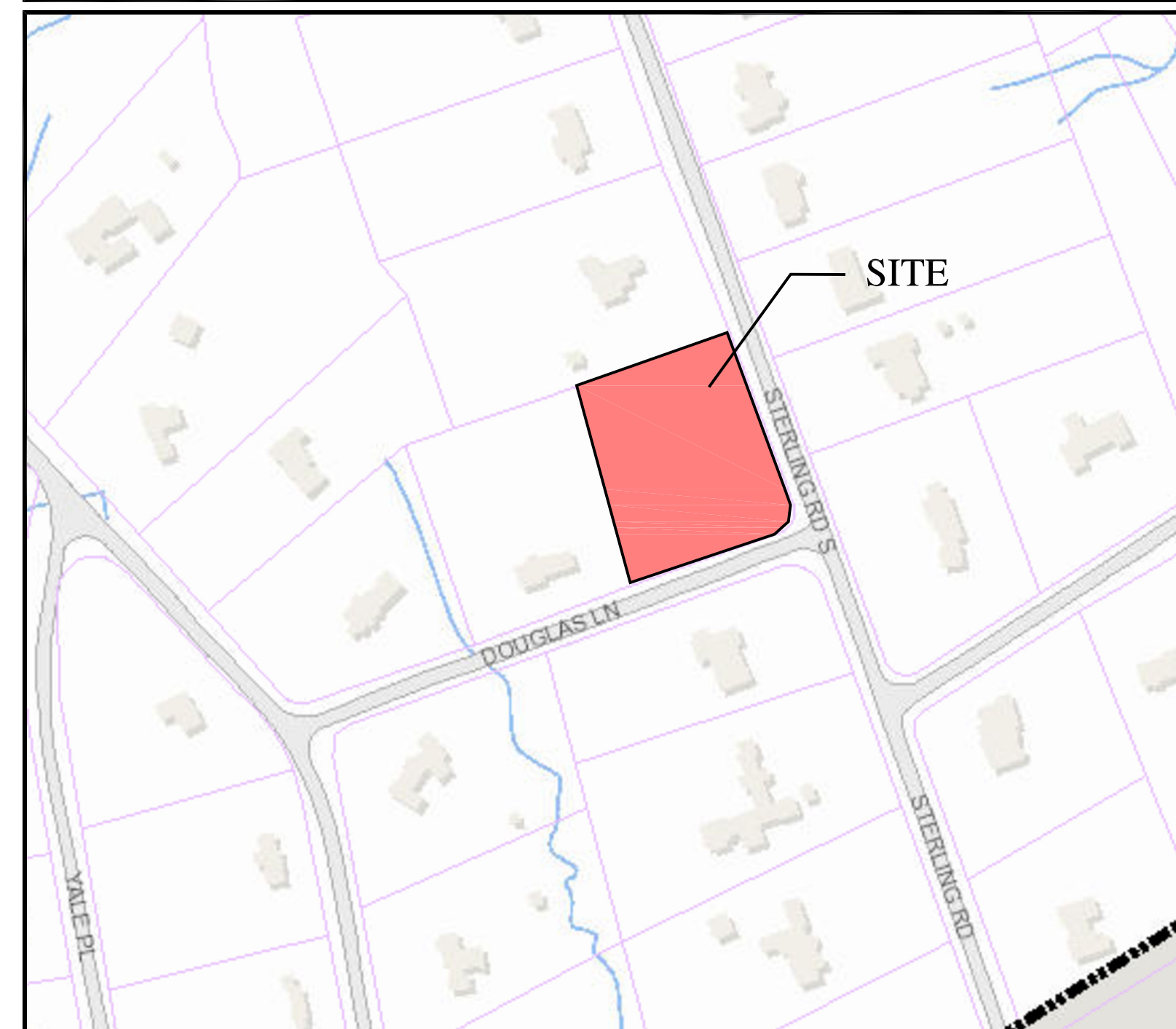
CERTIFICATION
 ALL EXISTING INFORMATION ON THIS SITE PLAN HAS BEEN TAKEN FROM A SURVEY PREPARED BY THOMAS G. MERRITT LAND SURVEYORS, P.C. 204 BIRDSONG DR. PLASANTVILLE, NY 10770 614-780-8000
 ARCHITECT IS NOT RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS OR EXISTING ARCHITECTS' DRAWINGS FOR LANDSCAPING. SEE SITE ENGINEERING DRAWINGS FOR DRAINAGE AND GRADING.

Tax Lot 10
 Now or Formerly
 Anthony & Joann Morgis

Tax Lot 8
 Now or Formerly
 Michael & Lisa DiStefano
 & Emma Tedaldi

LIST OF DRAWINGS	
No.	DRAWING NAME
CS	COVER SHEET
SP	SITE PLAN/ SCHEDULES
A1	BASEMENT PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN
A5	FRONT ELEVATION
A6	REAR ELEVATION
A7	SIDE ELEVATIONS
A8	SECTION

LOCATION MAP NOT TO SCALE



ZONING SCHEDULE TOWN OF NORTH CASTLE

ZONE: R-2A TAX-BLOCK-108.04-1-9		
ITEM	REQUIRED	PROPOSED
MINIMUM LOT SIZE (SQ. FT.)		2 ACRES 87,121.874 SQ. FT.
MINIMUM LOT WIDTH (FEET)	150'	300'
MINIMUM FRONT YARD (FEET)	50'	84'-11"
MINIMUM EACH SIDE YARD (FEET)	30'	112'-3" 77'-8 1/2"
MINIMUM REAR YARD (FEET)	50'	107'-7 1/2"
PRINCIPAL BLDG. COVERAGE (PERCENT)	8%	7.2%
MAXIMUM HEIGHT (STORIES)	2 1/2 STORIES	2 STORIES
MAXIMUM HEIGHT (FEET)	30'	29'-6 1/2"

studio rai
 Architectural Design P.C.
 299 Solon Rd
 Round ridge, NY 10576
 T: 914-273-6243
 www.studio-rai.com

ARCHITECTS

STRUCTURAL ENGINEERS

landscape architect

FOODSERVICE EQUIPMENT

PROJECT INFORMATION

PROPOSED RESIDENCE AT

17 STERLING ROAD
 ARMONK, NY

No.	Revision	Date	Description
1		4-20-21	RPRC-FILING
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KEY PLAN

SITE PLAN

DRAWING TITLE

SP1

DRAWING NUMBER

ISSUE DATE: 4-20-21
 DRAWN BY: L.L.B.
 CHECKED BY: L.L.B.
 PROJECT NO: 17 STERLING RD
 SCALE: 1/16" = 1'-0"
 AS NOTED

SEAL/SIGNATURE

PROPOSED RESIDENCE AT

17 STERLING ROAD
 ARMONK, NY

No.	Revision	Date	Description
1	4-20-21		RPRC-FILING
2			
3			
4			
5			
6			
7			
8			
9			
10			

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF STUDIO RAI, ARCHITECTS. WITHOUT THE WRITTEN AUTHORIZATION OF STUDIO RAI, ARCHITECTURAL DESIGN P.C. IS THIS DOCUMENT IS INTENDED SOLELY FOR THE CONSTRUCTION OF THE PROJECT NAMED HEREIN AND SHALL NOT BE USED BY ANY OTHER PARTIES FOR ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF STUDIO RAI, ARCHITECTS.

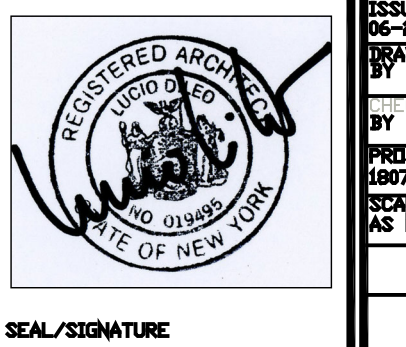
KEY PLAN

FOUNDATION PLAN

DRAWING TITLE

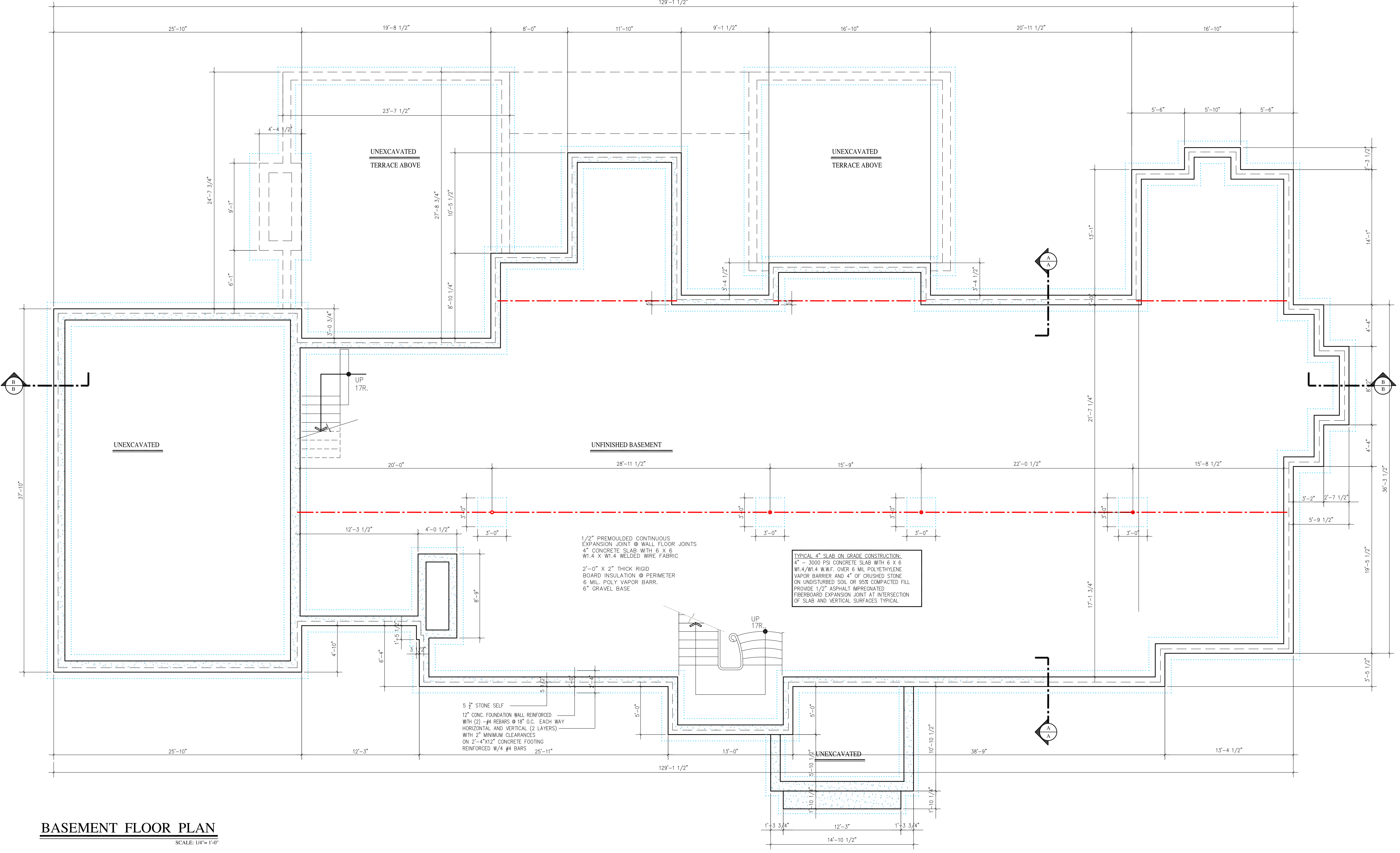
A1

DRAWING NUMBER



ISSUE DATE: 06-27-20
 DRAWN BY: [Name]
 BY: L.S.L.
 PROJECT NO.: [Number]
 SCALE: AS NOTED

REAL/SIGNATURE



BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

ARCHITECTS

STRUCTURAL ENGINEERS

landscape architect

FOODSERVICE EQUIPMENT

PROJECT INFORMATION

PROPOSED RESIDENCE FOR:
MR. BENNY MEHMETAJ

17 STERLING ROAD
 ARMONK, NY

No.	Revision	Date	Description
6-27-19	PROGRESS PRINT		

DRAWING AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF STUDIO RAI ARCHITECTS. WITHOUT THE WRITTEN AUTHORIZATION OF STUDIO RAI ARCHITECTS, THESE PAGES IS THIS DOCUMENT IS INTENDED SOLELY FOR THE CONSTRUCTION OF THE PROJECT NAMED HEREIN AND SHALL NOT BE USED BY ANY OTHER PARTIES FOR ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF STUDIO RAI ARCHITECTS. ©

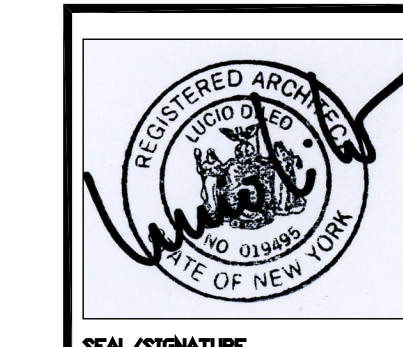
KEY PLAN

FIRST FLOOR PLAN

DRAWING TITLE

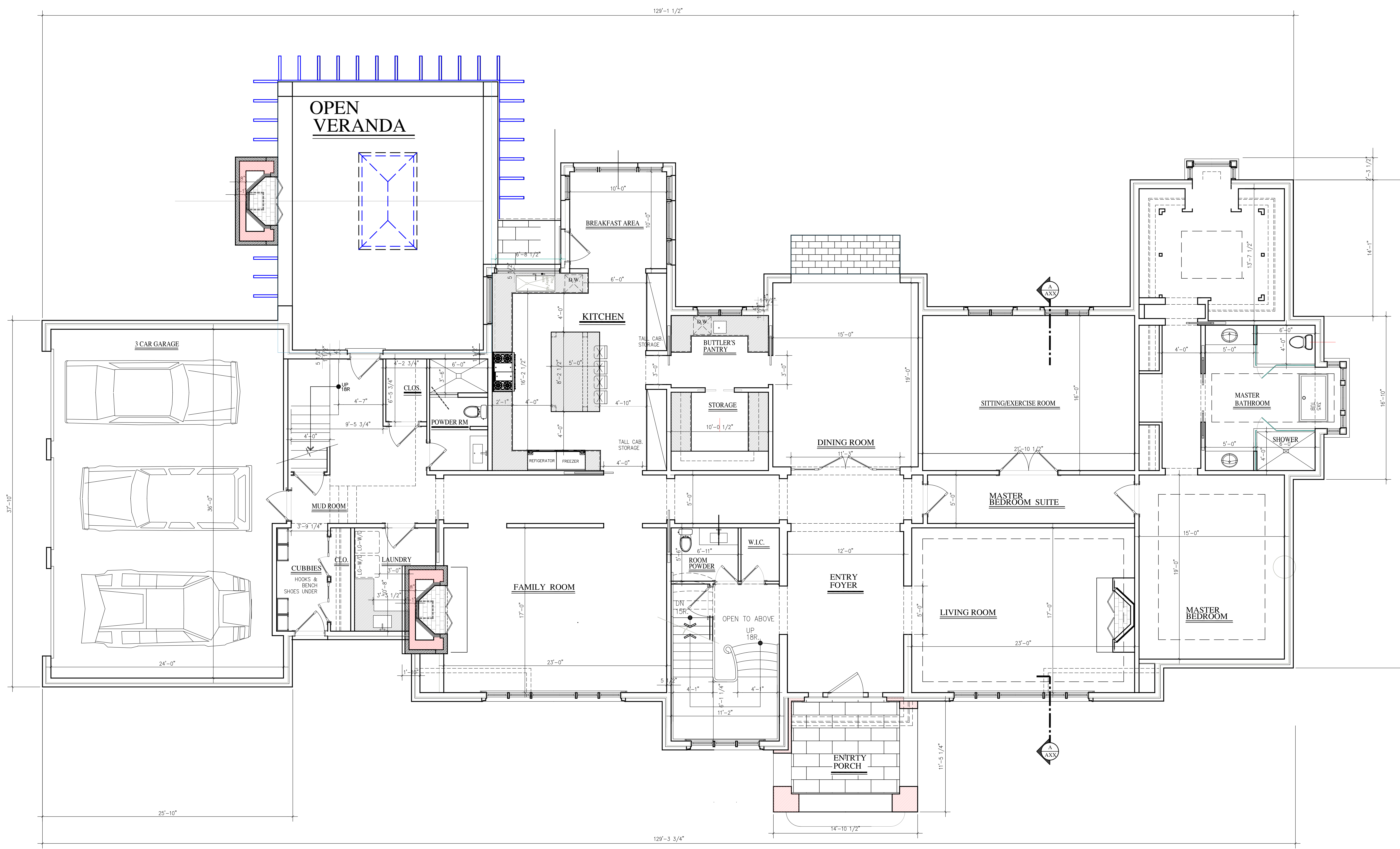
A2

DRAWING NUMBER



DATE: 06-27-19
 DRAWN BY: JLR
 CHECKED BY: LJM
 PROJECT NO: 17077
 SCALE: 1/4" = 1'-0"
 AS NOTED

SEAL/SIGNATURE



FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

ARCHITECTS

STRUCTURAL ENGINEERS

landscape architect

FOODSERVICE EQUIPMENT

PROJECT INFORMATION

**PROPOSED
 RESIDENCE
 AT**

17 STERLING ROAD
 ARMONK, NY

No.	Revision	Date	Description
1		4-20-21	RPRC-FILING
2			
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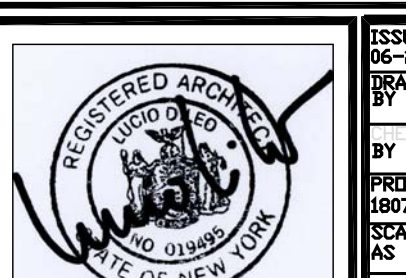
KEY PLAN

**SECOND FLOOR
 PLAN**

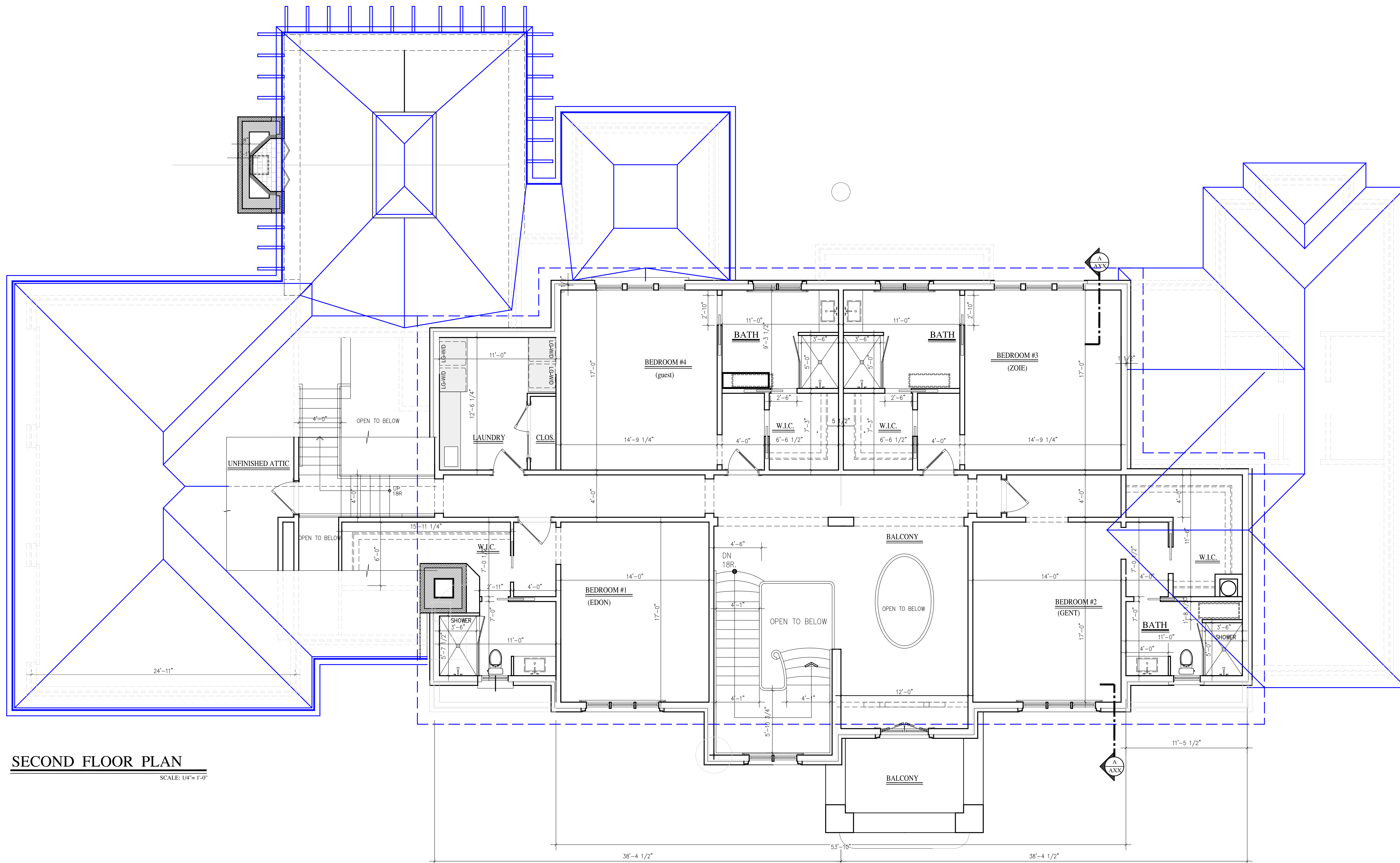
DRAWING TITLE

A3

DRAWING NUMBER

	ISSUE DATE: 06-27-19
	DESIGNED BY: LRL
BY: LRL	PROJECT NO.:
DATE:	SCALE:
AS NOTED	AS NOTED

SEAL/SIGNATURE



SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

ARCHITECTS

STRUCTURAL ENGINEERS

landscape architect

PODSERVICE EQUIPMENT

PROJECT INFORMATION

PROPOSED RESIDENCE AT

17 STERLING ROAD
 ARMONK, NY

No.	Revision	Date	Description
4-	20-21		RPRC-FILING
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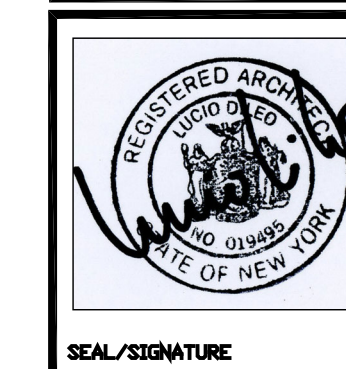
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KEY PLAN

DRAWING TITLE

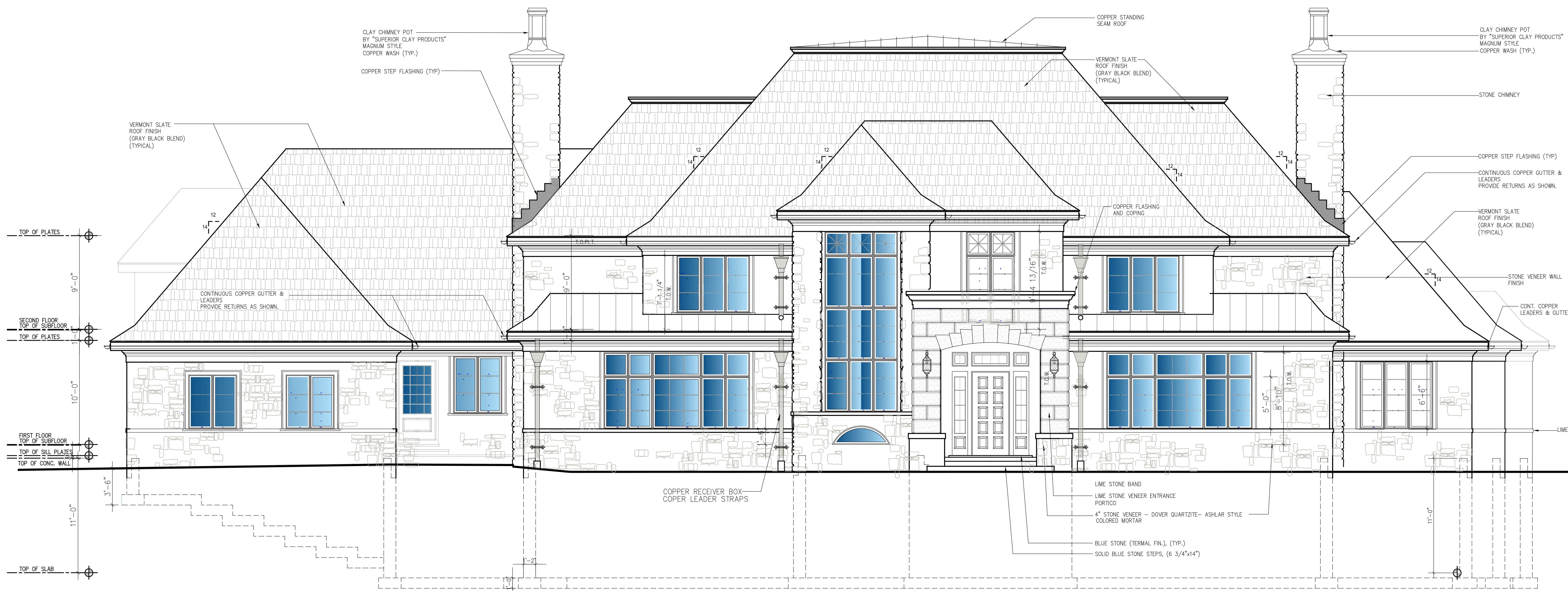
A5

DRAWING NUMBER



ISSUE DATE: 06-27-20
 DRAWN BY: [Signature]
 BY: L.S.L.
 PROJECT NO.: 170707
 SCALE: AS NOTED
 SEAL/SIGNATURE

SCHEDULE PROPOSED BUILDING MATERIALS AND COLOR SCHEME			
MATERIAL	SUPPLIER	TYPE	COLOR
WALLS STONE VENEER	BEDFORD STONE	4" STONE VENEER DOVER QUARTZITE- ASHLAR STYLE COLORED MORTAR	BEIGE-BLEND
WINDOWS	LEPAGE	CASEMENTS	BLACK
TRIM	STONE	INDIANA LIMESTONE	BEIGE-TAUPE
EXT. DOOR	PINECREST	MAHAGONY	NATURAL
ROOFING	SLATE	VERMONT SLATE	(GRAY- BLACK BLEND)
GUTTERS & LEADERS		HALF ROUND ZINC COVERED & COPPER	ROUND LEADERS & LEADER HEADS



FRONT ELEVATION

SCALE: 1/4"=1'-0"

SCHEDULE PROPOSED BUILDING MATERIALS AND COLOR SCHEME			
MATERIAL	SUPPLIER	TYPE	COLOR
WALLS STONE VENEER	BEDFORD STONE	4" STONE VENEER DOVER QUARTZITE- KISHAR STYLE COLORED MORTAR	BEIGE-BLEND
WINDOWS	LEPAGE	CASEMENTS	BLACK
TRIM	STONE	INDIANA LIMESTONE	BEIGE-TAUPE
EXT. DOOR	PINECREST	MAHAGONY	NATURAL
ROOFING	SLATE	VERMONT SLATE	(GRAY- BLACK BLEND)
GUTTERS & LEADERS		HALF ROUND ZINC COVERED COPPER	ROUND LEADERS & LEADER HEADS COPPER

ARCHITECTS

STRUCTURAL ENGINEERS

landscape architect

FOLDSERVICE EQUIPMENT

PROJECT INFORMATION

**PROPOSED
RESIDENCE
AT**

17 STERLING ROAD
ARMONK, NY

No.	Revision	Date	Description
		4-20-21	RPRC-FILING
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KEY PLAN

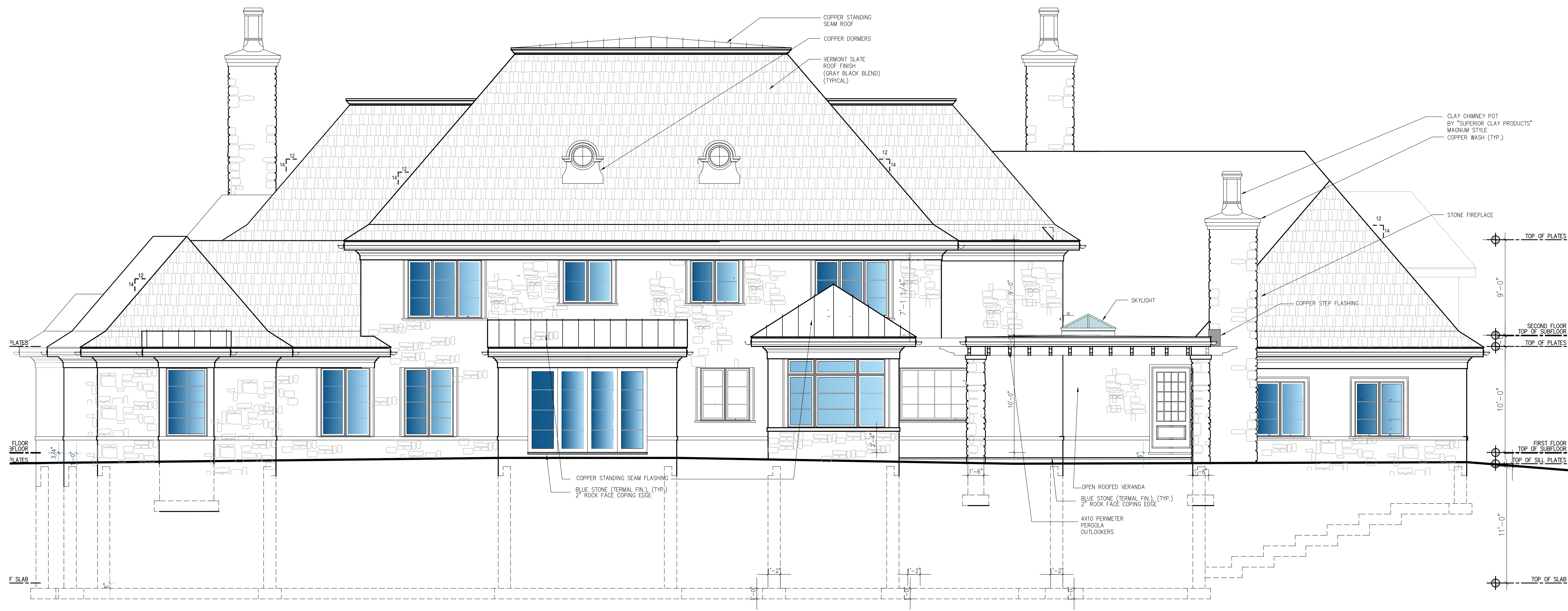
REAR ELEVATION

DRAWING TITLE

A6

DRAWING NUMBER

	ISSUE DATE: 06-27-20
	BY: [Signature]
BY: [Signature]	PROJECT NO: [Number]
DATE: [Date]	SCALE: [Scale]
AS NOTED	



REAR ELEVATION
 SCALE: 1/4" = 1'-0"

ARCHITECTS

STRUCTURAL ENGINEERS

landscape architect

POODSERVICE EQUIPMENT

PROJECT INFORMATION

PROPOSED RESIDENCE AT

17 STERLING ROAD
 ARMONK, NY

No. Revision	Date	Description
	4-20-21	RPRC-FILING
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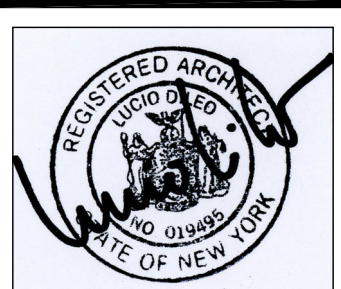
KEY PLAN

SIDE ELEVATIONS

DRAWING TITLE

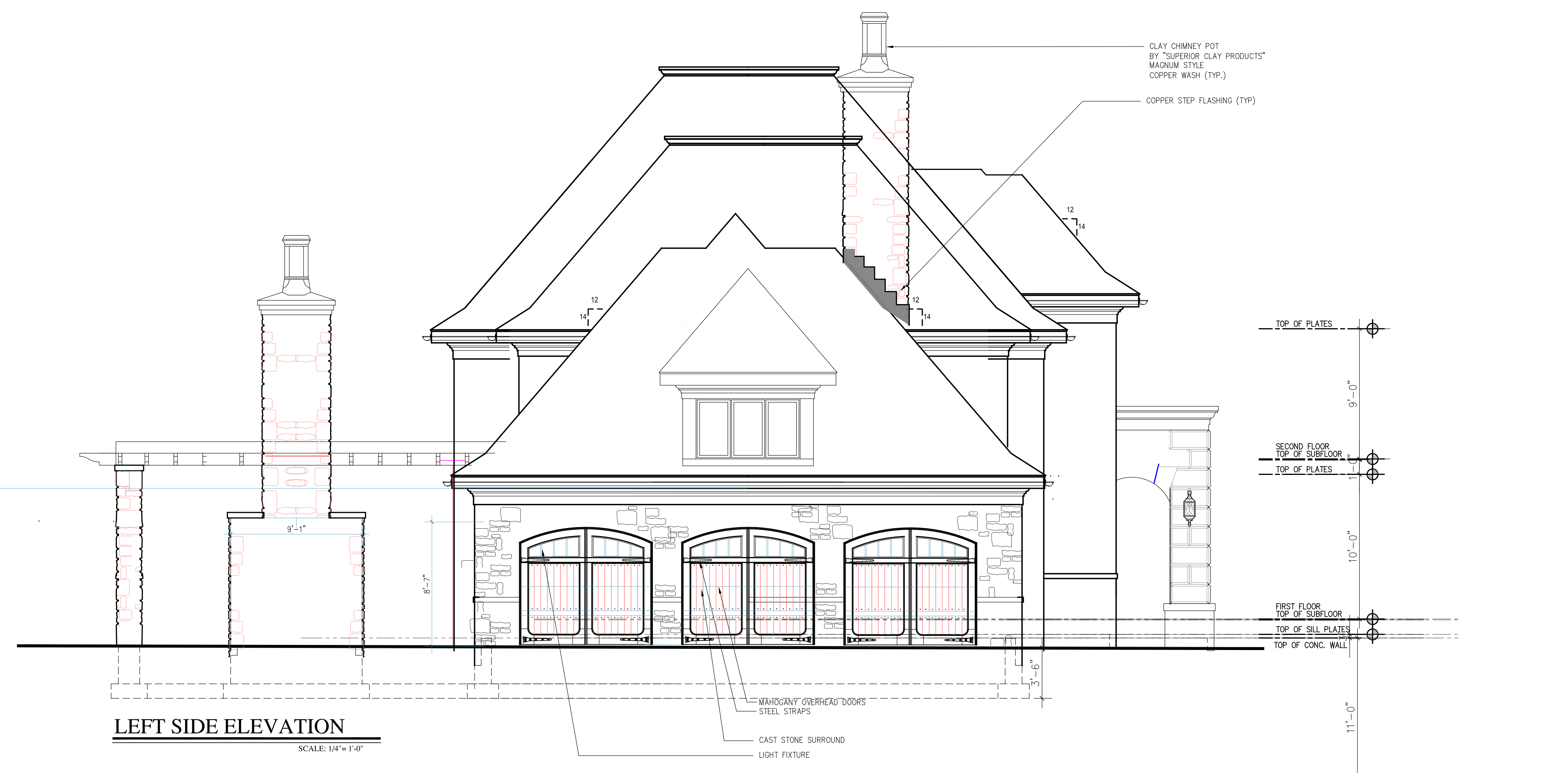
A7

DRAWING NUMBER



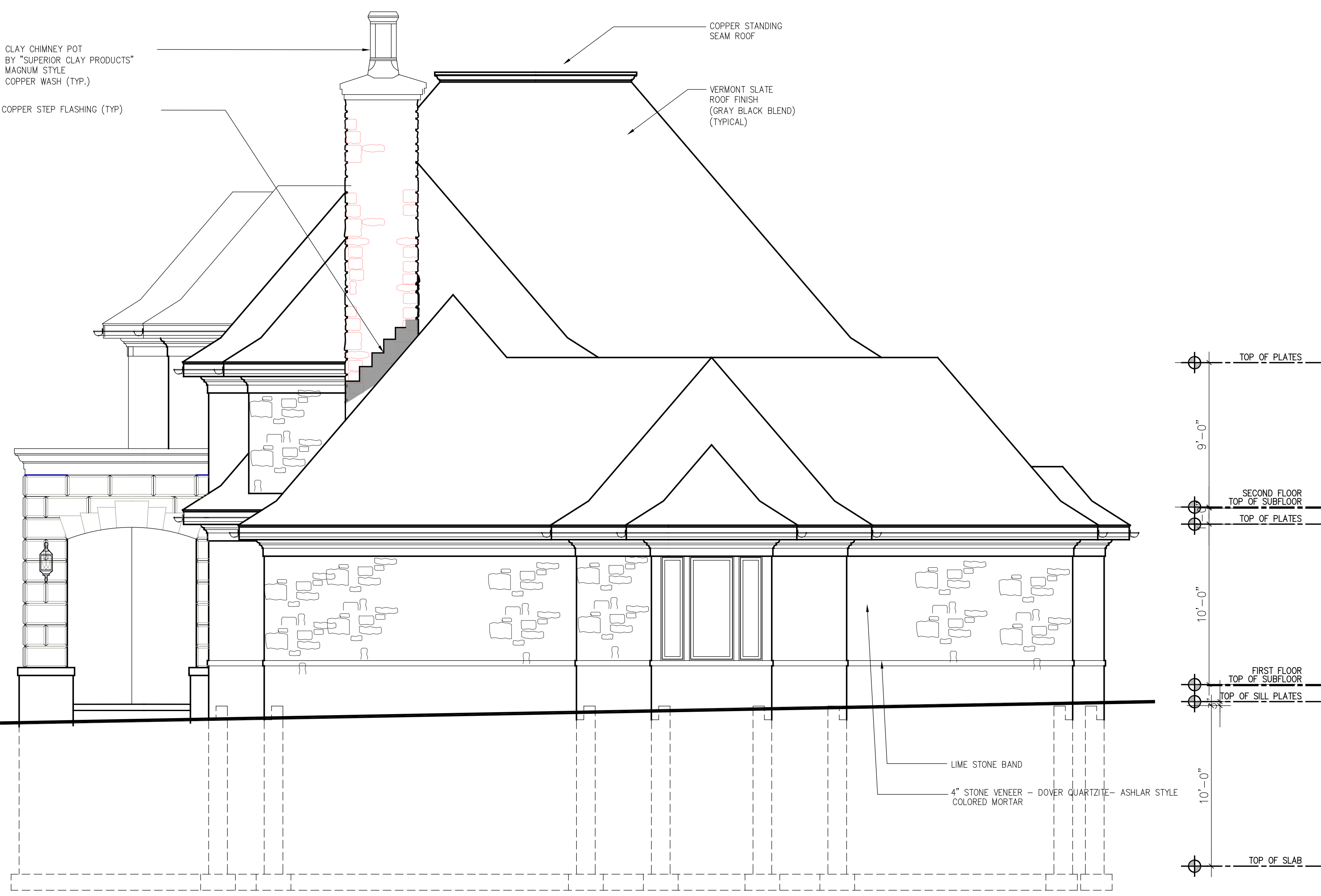
ISSUE DATE: 06-27-19
 DRAWN BY: LRL
 BY: LRL
 PROJECT NO: 190777
 SCALE: AS NOTED

SEAL/SIGNATURE



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED RESIDENCE AT

17 STERLING ROAD
 ARMONK, NY

No.	Revision	Date	Description
		4-20-21	RPRC-FILING
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KEY PLAN


DETAIL

DRAWING TITLE

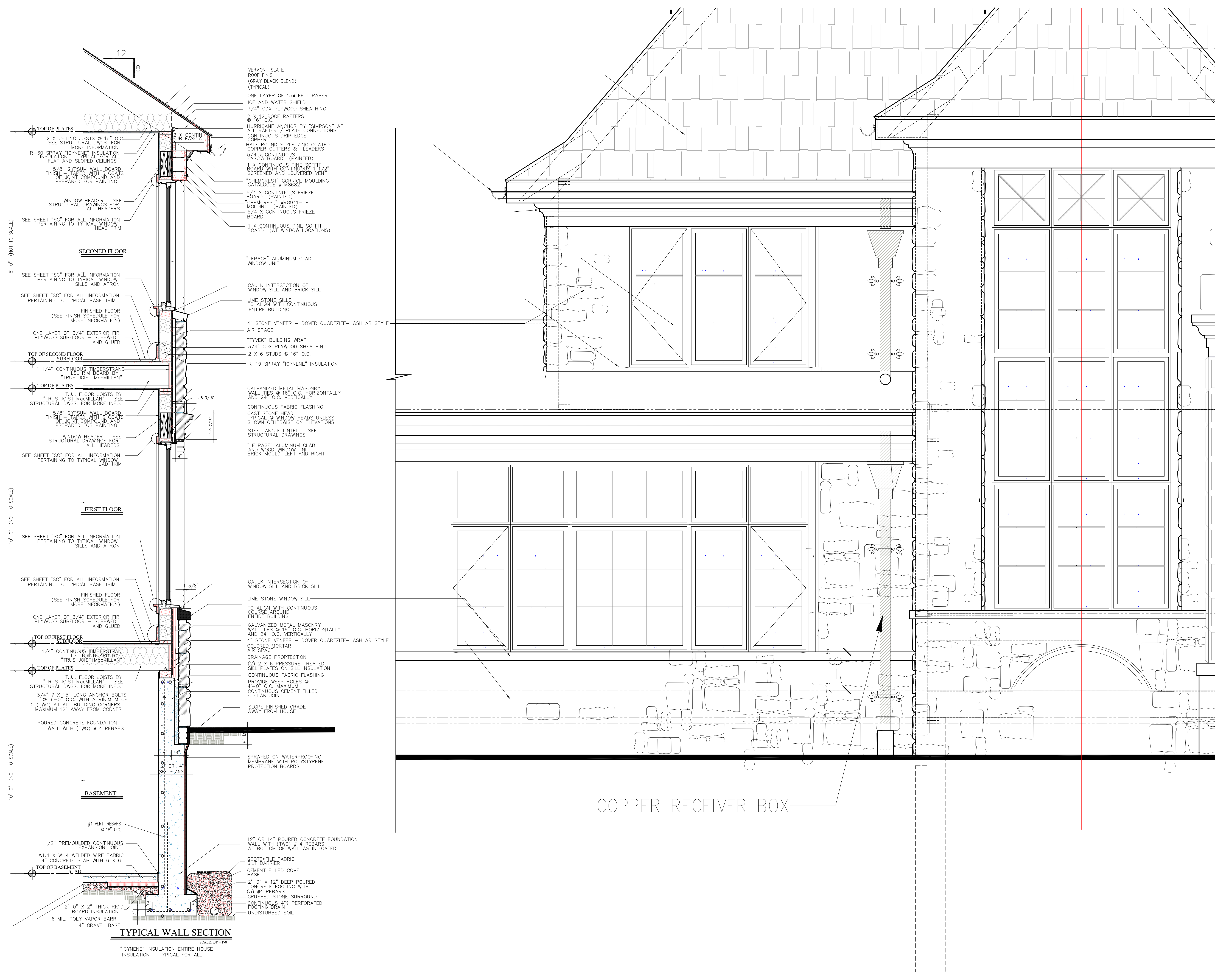
A8

DRAWING NUMBER

ISSUE DATE: 06-05-21
 DESIGNED BY: LSL
 DRAWN BY: LSL
 CHECKED BY: LSL
 SCALE: AS NOTED



REAL SIGNATURE



- VERMONT SLATE ROOF FINISH (GRAY BLACK BLEND) (TYPICAL)
- ONE LAYER OF 15# FELT PAPER
- ICE AND WATER SHIELD
- 3/4" CDX PLYWOOD SHEATHING
- 2 X 12 ROOF RAFTERS @ 16" O.C.
- HURRICANE ANCHOR BY "SIMPSON" AT ALL RAFTER / PLATE CONNECTIONS
- CONTINUOUS DRIP EDGE
- HALF ROUND STYLE ZINC COATED COPPER GUTTERS & LEADERS
- 5/4" X CONTINUOUS FASCIA BOARD (PAINTED)
- 1 X CONTINUOUS PINE SOFFIT BOARD WITH CONTINUOUS 1 1/2" SCREENED AND LOUVERED VENT
- "CHEMCREST" CORNICE MOULDING CATALOGUE # M8882
- 5/4" X CONTINUOUS FRIEZE BOARD (PAINTED)
- "CHEMCREST" #M8941-08 MOULDING (PAINTED)
- 5/4" X CONTINUOUS FRIEZE BOARD
- 1 X CONTINUOUS PINE SOFFIT BOARD (AT WINDOW LOCATIONS)
- "LEPAGE" ALUMINUM CLAD WINDOW UNIT
- CAULK INTERSECTION OF WINDOW SILL AND BRICK SILL
- LIME STONE SILLS TO ALIGN WITH CONTINUOUS ENTIRE BUILDING
- 4" STONE VENEER - DOVER QUARTZITE - ASHLAR STYLE
- AIR SPACE
- "TYVEK" BUILDING WRAP
- 3/4" CDX PLYWOOD SHEATHING
- 2 X 6 STUDS @ 16" O.C.
- R-19 SPRAY "ICYNENE" INSULATION
- GALVANIZED METAL MASONRY WALL TIES @ 16" O.C. HORIZONTALLY AND 24" O.C. VERTICALLY
- CONTINUOUS FABRIC FLASHING
- CAST STONE HEAD TYPICAL @ WINDOW HEADS UNLESS SHOWN OTHERWISE ON ELEVATIONS
- STEEL ANGLE LINTELS SEE STRUCTURAL DRAWINGS
- "LE PAGE" ALUMINUM CLAD AND WOOD WINDOW UNIT BRICK MOULD-LEFT AND RIGHT
- CAULK INTERSECTION OF WINDOW SILL AND BRICK SILL
- LIME STONE WINDOW SILL TO ALIGN WITH CONTINUOUS ENTIRE BUILDING
- GALVANIZED METAL MASONRY WALL TIES @ 16" O.C. HORIZONTALLY AND 24" O.C. VERTICALLY
- 4" STONE VENEER - DOVER QUARTZITE - ASHLAR STYLE
- COLOR MORTAR
- AIR SPACE
- DRAINAGE PROTECTION (2) 2 X 6 PRESSURE TREATED SILL PLATES ON SILL INSULATION
- CONTINUOUS FABRIC FLASHING
- PROVIDE WEEP HOLES @ 4"-0" O.C. MAXIMUM
- CONTINUOUS CEMENT FILLED COLLAR JOINT
- SLOPE FINISHED GRADE AWAY FROM HOUSE
- SPRAYED ON WATERPROOFING MEMBRANE WITH POLYSTYRENE PROTECTION BOARDS
- 12" OR 14" POURED CONCRETE FOUNDATION WALL WITH (TWO) # 4 REBARS AT BOTTOM OF WALL AS INDICATED
- GEOTEXTILE FABRIC SILT BARRIER
- CEMENT FILLED COVE BASE
- 2'-0" X 12" DEEP POURED CONCRETE FOOTING WITH (3) #4 REBARS
- CRUSHED STONE SURROUND
- CONTINUOUS 4" PERFORATED FOOTING DRAIN
- UNDISTURBED SOIL

- 2 X CEILING JOISTS @ 16" O.C. SEE STRUCTURAL DWGS. FOR MORE INFORMATION
- R-30 SPRAY "ICYNENE" INSULATION TYPICAL FOR FLAT AND SLOPED CEILINGS
- 5/8" GYPSUM WALL BOARD FINISH - TAPE WITH 3 COATS OF JOINT COMPOUND AND PREPARED FOR PAINTING
- WINDOW HEADER - SEE STRUCTURAL DRAWINGS FOR ALL HEADERS
- SEE SHEET "SC" FOR ALL INFORMATION PERTAINING TO TYPICAL WINDOW HEAD TRIM
- SECOND FLOOR
- SEE SHEET "SC" FOR ALL INFORMATION PERTAINING TO TYPICAL WINDOW SILLS AND APRON
- SEE SHEET "SC" FOR ALL INFORMATION PERTAINING TO TYPICAL BASE TRIM
- FINISHED FLOOR (SEE FINISH SCHEDULE FOR MORE INFORMATION)
- ONE LAYER OF 3/4" EXTERIOR FIR PLYWOOD SUBFLOOR - SCREWED AND GLUED
- TOP OF SECOND FLOOR SUBFLOOR
- 1 1/4" CONTINUOUS TIMBERSTRAND L.S. RIM BOARD BY "TRUS JOIST MacMILLAN"
- TOP OF PLATES
- T.J.L. FLOOR JOISTS BY "TRUS JOIST MacMILLAN" - SEE STRUCTURAL DWGS. FOR MORE INFO.
- 5/8" GYPSUM WALL BOARD FINISH - TAPE WITH 3 COATS OF JOINT COMPOUND AND PREPARED FOR PAINTING
- WINDOW HEADER - SEE STRUCTURAL DRAWINGS FOR ALL HEADERS
- SEE SHEET "SC" FOR ALL INFORMATION PERTAINING TO TYPICAL WINDOW HEAD TRIM
- FIRST FLOOR
- SEE SHEET "SC" FOR ALL INFORMATION PERTAINING TO TYPICAL WINDOW SILLS AND APRON
- SEE SHEET "SC" FOR ALL INFORMATION PERTAINING TO TYPICAL BASE TRIM
- FINISHED FLOOR (SEE FINISH SCHEDULE FOR MORE INFORMATION)
- ONE LAYER OF 3/4" EXTERIOR FIR PLYWOOD SUBFLOOR - SCREWED AND GLUED
- TOP OF FIRST FLOOR SUBFLOOR
- 1 1/4" CONTINUOUS TIMBERSTRAND L.S. RIM BOARD BY "TRUS JOIST MacMILLAN"
- TOP OF PLATES
- T.J.L. FLOOR JOISTS BY "TRUS JOIST MacMILLAN" - SEE STRUCTURAL DWGS. FOR MORE INFO.
- 3/4" X 15" LONG ANCHOR BOLTS @ 6'-0" O.C. WITH A MINIMUM OF 2 (TWO) AT ALL BUILDING CORNERS MAXIMUM 12" AWAY FROM CORNER
- POURED CONCRETE FOUNDATION WALL WITH (TWO) # 4 REBARS
- BASEMENT
- #4 VERT. REBARS @ 18" O.C.
- 1/2" PREMOULDED CONTINUOUS EXPANSION JOINT
- W1.4 X W1.4 WELDED WIRE FABRIC 4" CONCRETE SLAB WITH 6 X 6
- TOP OF BASEMENT SLAB
- 2'-0" X 2" THICK RIGID BOARD INSULATION
- 6 MIL. POLY VAPOR BARR.
- 4" GRAVEL BASE

TYPICAL WALL SECTION
 SCALE: 3/4" = 1'-0"
 "ICYNENE" INSULATION ENTIRE HOUSE INSULATION - TYPICAL FOR ALL



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 17 STERLING ROAD

Section III- DESCRIPTION OF WORK:

PROPOSED NEW SINGLE FAMILY
RESIDENCE

Section III- CONTACT INFORMATION:

APPLICANT: LUCIO DI LEO, STUDIO RAI, ARCHITECTS
ADDRESS: 290 SALEM RD, POUND RIDGE NY 10576
PHONE: 914-273-6843 MOBILE: 914-760-9740 EMAIL: LUCIO@STUDIORAI.COM

PROPERTY OWNER: MR. HYSEN MEHMETAJ
ADDRESS: 4662 GEOSVENOR AVE, BRONX NY
PHONE: _____ MOBILE: 917-755-8256 EMAIL: _____

PROFESSIONAL: LUCIO DI LEO, R.A., AIA
ADDRESS: 290 SALEM RD. POUND RIDGE, NY 10576
PHONE: 914-273-6843 MOBILE: 914-760-9740
EMAIL: LUCIO@STUDIORA.COM

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 108.04-1-9



**TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning**

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Hysen Mehmetaj Date: 4-20-21

Tax Map Designation or Proposed Lot No.: 108.04-1-9

Floor Area

- | | | |
|-----|---|-------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>87,121.874</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>10,122</u> |
| 3. | Amount of floor area contained within first floor:
° _____ existing + <u>4,494.5</u> proposed = | <u>4,494.5</u> |
| 4. | Amount of floor area contained within second floor:
° _____ existing + <u>2,901.0</u> proposed = | <u>2,901</u> |
| 5. | Amount of floor area contained within garage:
° _____ existing + <u>920</u> proposed = | <u>920</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
° _____ existing + <u>618</u> proposed = | <u>618</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
° _____ existing + ° _____ proposed = | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
° _____ existing + ° _____ proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
° _____ existing + ° _____ proposed = | <u>0</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>8,933.5</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town’s maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town’s regulations.

Signature and Seal of Professional Planning Worksheet



4-20-21
Date

RPRC COMPLETENESS REVIEW FORM

000020

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<input type="checkbox"/>	0	r	ddr	r
<input type="checkbox"/>		r		
<input type="checkbox"/>	2	r	r	r
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TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: M□□M□□□□R□□□D□□□□ Date: 04/20/2021

Tax Map Designation or Proposed Lot No.: C0□04□□□□

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 87,121.874 S.F.
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 13,270.0 S.F.
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):

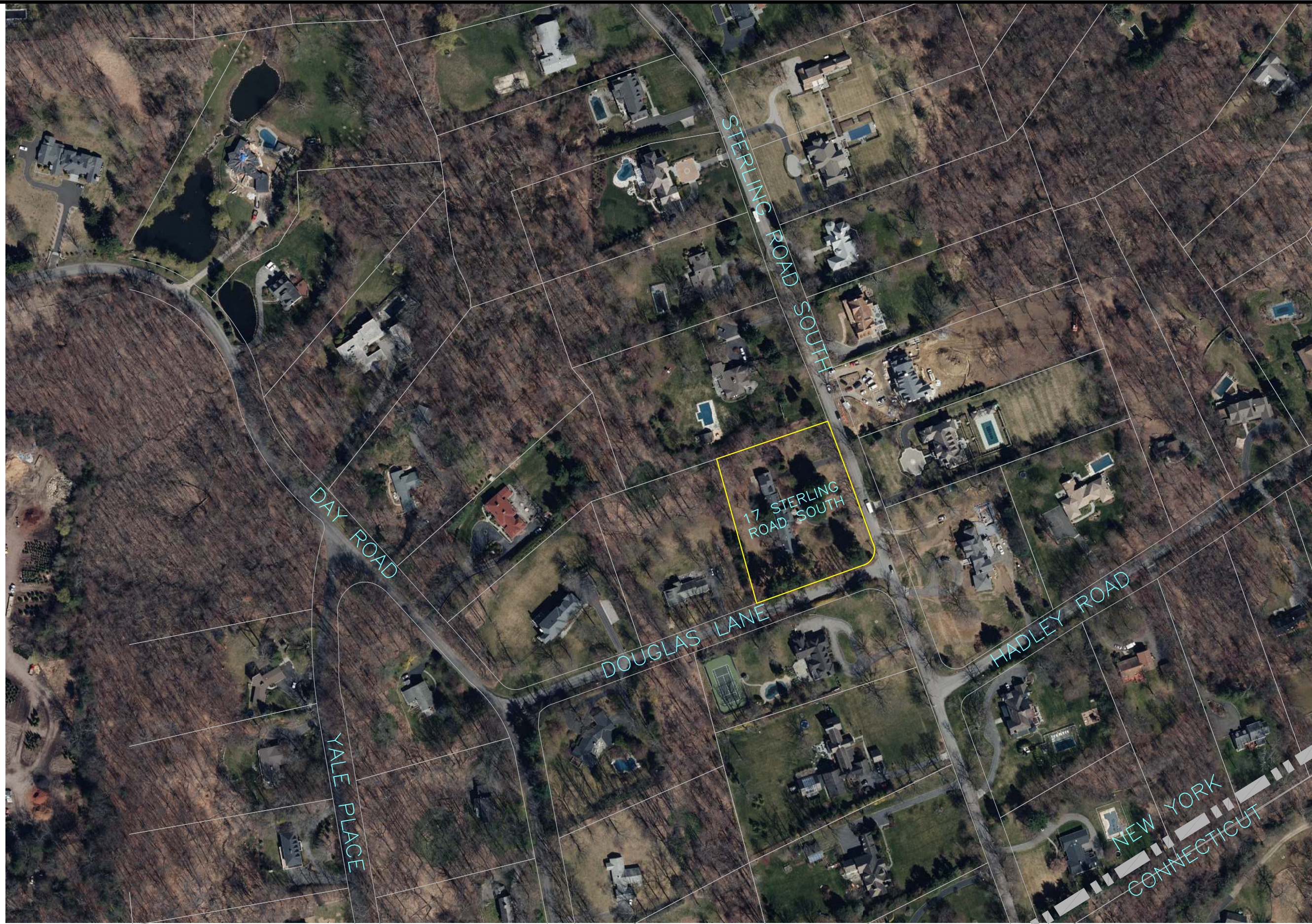
Distance principal home is beyond minimum front yard setback
27.7 x 10 = 277 277
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 13,547.0 S.F.
5. Amount of lot area covered by **principal building**:
0 existing + 5,494 proposed = 5,494
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**:
0 existing + 0 proposed = 0
8. Amount of lot area covered by **porches**:
0 existing + 787 proposed = 787
9. Amount of lot area covered by **driveway, parking areas and walkways**:
0 existing + 5,484 proposed = 5,484
10. Amount of lot area covered by **terraces**:
0 existing + 453 proposed = 453
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 1,296 proposed = 1,296
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 13,514 S.F.

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Engineer Worksheet



4/20/2021
 Date



17 STERLING ROAD SOUTH

DAY ROAD

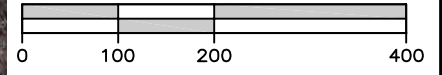
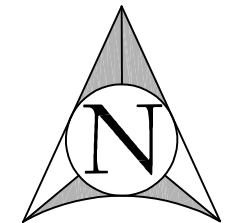
YALE PLACE

DOUGLAS LANE

STERLING ROAD SOUTH

HADLEY ROAD

NEW YORK CONNECTICUT



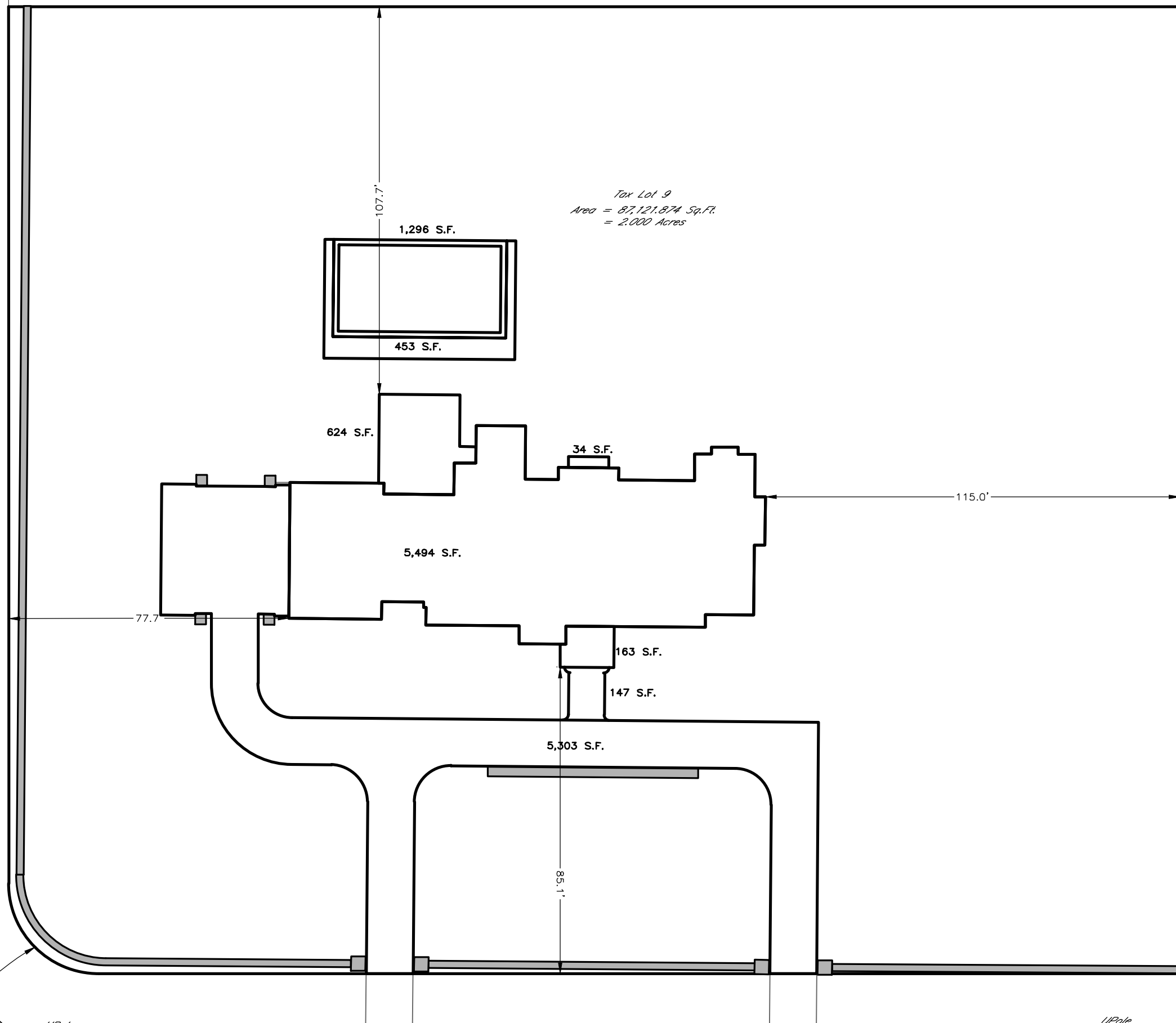
SCALE: 1" = 200'

ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

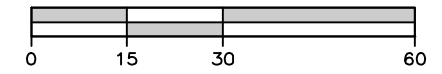
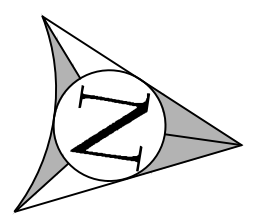
HYSEN MEHMETAJ
PROPOSED RESIDENCE - 17 STERLING ROAD S
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK

AERIAL VIEW
APRIL 15, 2021

UPole
Edge of Asphalt
DOUGLAS LANE
Edge of Asphalt
UPole
Edge of Asphalt
Edge of Asphalt
UPole
R=25.00'
L=39.27'

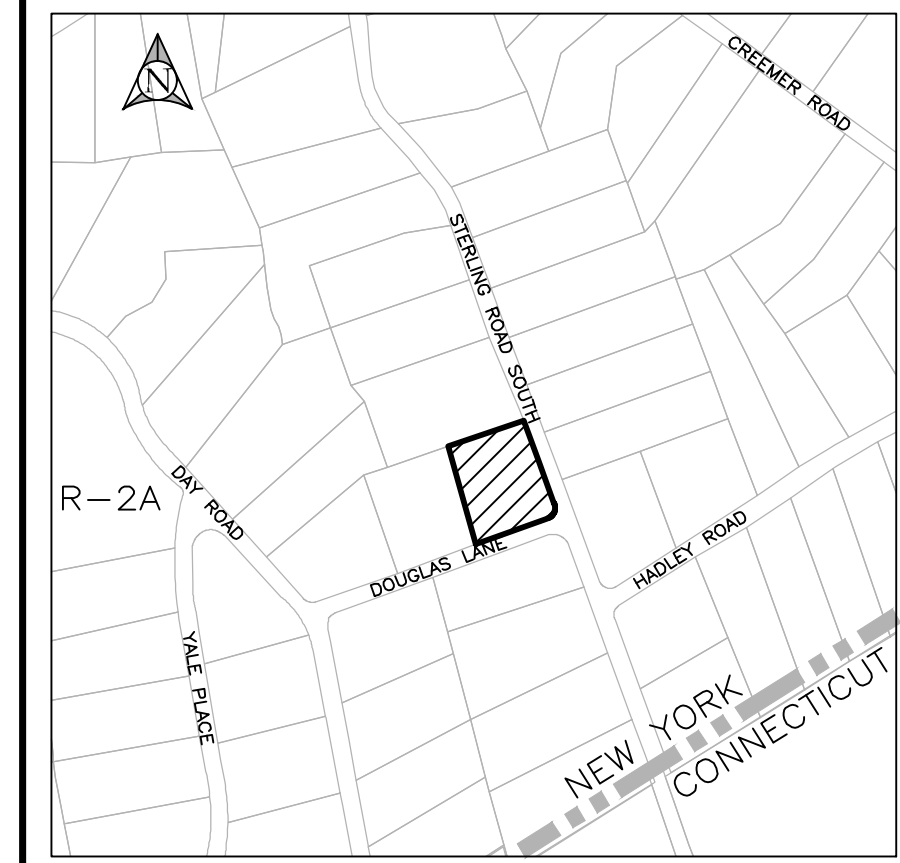
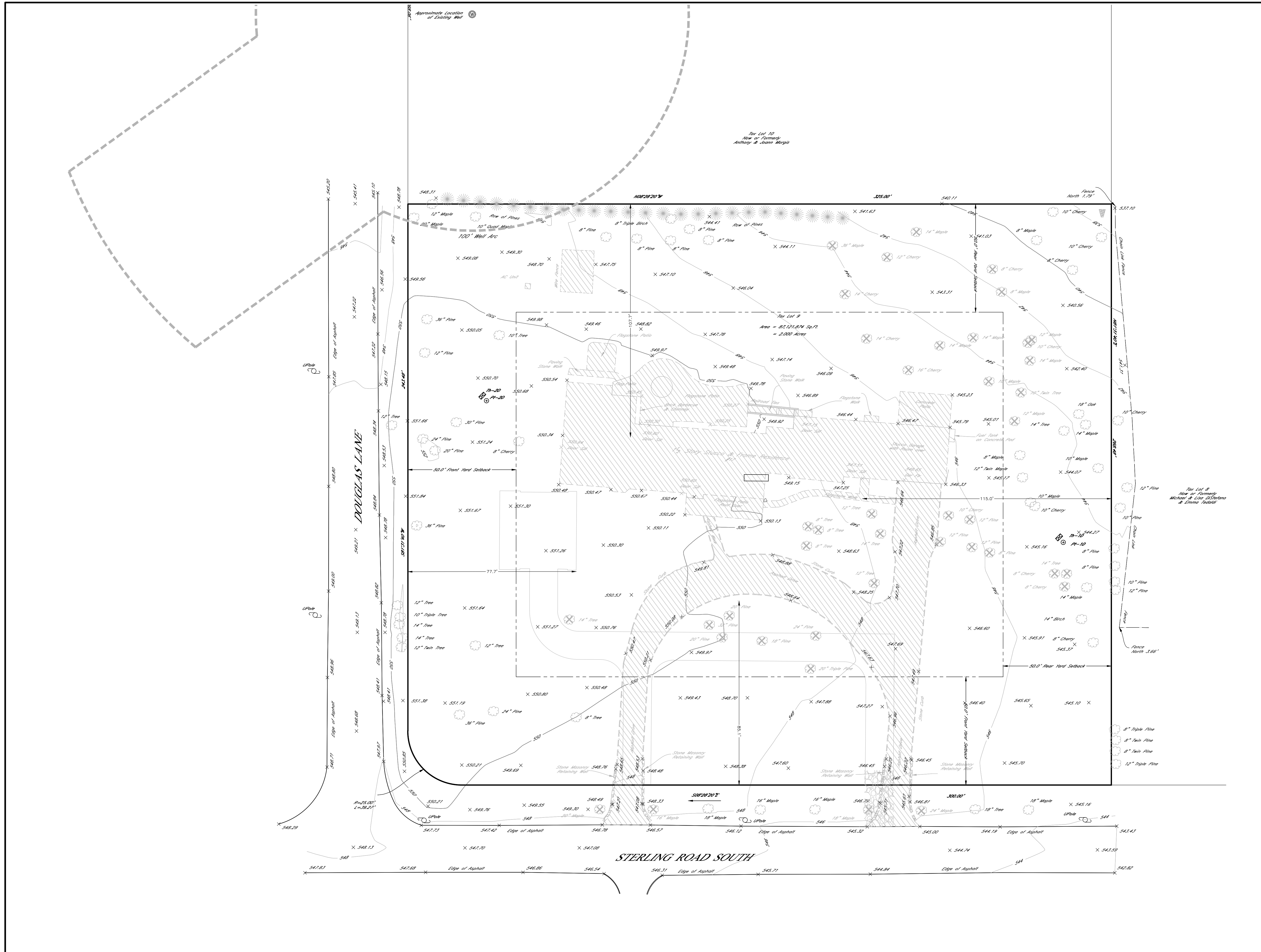


Tax Lot 9
Area = 87,121.874 Sq.Ft.
= 2.000 Acres



SCALE: 1" = 30'

NOTE:
AREAS WERE CALCULATED UTILIZING
COMPUTER GENERATED CLOSED
POLYLINES.



LOCATION MAP N.T.S.

TREE LEGEND

41 TREES TO BE REMOVED

- 14" TREE
- 8" CHERRY
- 8" MAPLE
- 14" MAPLE
- 12" MAPLE
- 10" TWIN TREE
- 10" CHERRY
- 12" MAPLE
- 8" PINE
- 12" PINE
- 12" PINE
- 10" MAPLE
- 8" MAPLE
- 24" MAPLE
- 8" CHERRY
- 10" CHERRY
- 14" MAPLE
- 12" PINE
- 14" MAPLE
- 16" CHERRY
- 14" MAPLE
- 18" MAPLE
- 14" TREE
- 12" TREE
- 12" CHERRY
- 14" CHERRY
- 20" TRIPLE PINE
- 12" TREE
- 8" TREE
- 14" CHERRY
- 8" TREE
- 8" TREE
- 24" PINE
- 18" PINE
- 20" PINE
- 32" PINE
- 20" PINE
- 15" MAPLE
- 20" MAPLE
- 14" TREE

DEMO LEGEND

TO BE REMOVED

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7202(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SCALE: 1" = 20'

ALFONZETTI ENGINEERING, P.C.
 1100 ROUTE 52, CARMEL, N.Y. 10512
 845 - 228 - 9800

SITE DATA	
OWNER/APPLICANT: HYSEN MEHMETAJ	
SITE ADDRESS: 17 STERLING ROAD SOUTH, ARMONK, NEW YORK 10504	
TAX MAP #: 108.04-1-9	
LOT AREA: 2.00 ACRES	
ZONING: R-2A	
DRAWING: EXISTING CONDITIONS & DEMOLITION PLAN APRIL 20, 2021	SHEET: 01 OF 03
PROJECT: MEHMETAJ RESIDENCE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK	

CULTEC SYSTEM:

EXISTING IMPERVIOUS = 14,191.6 S.F.
 PROPOSED IMPERVIOUS = 13,514.0 S.F.
 NET REDUCTION = 677.27 S.F.

PROPOSED EIGHT (8) CULTEC 330HD XL TO MITIGATE RUNOFF FROM HOUSE AND DRIVEWAY.

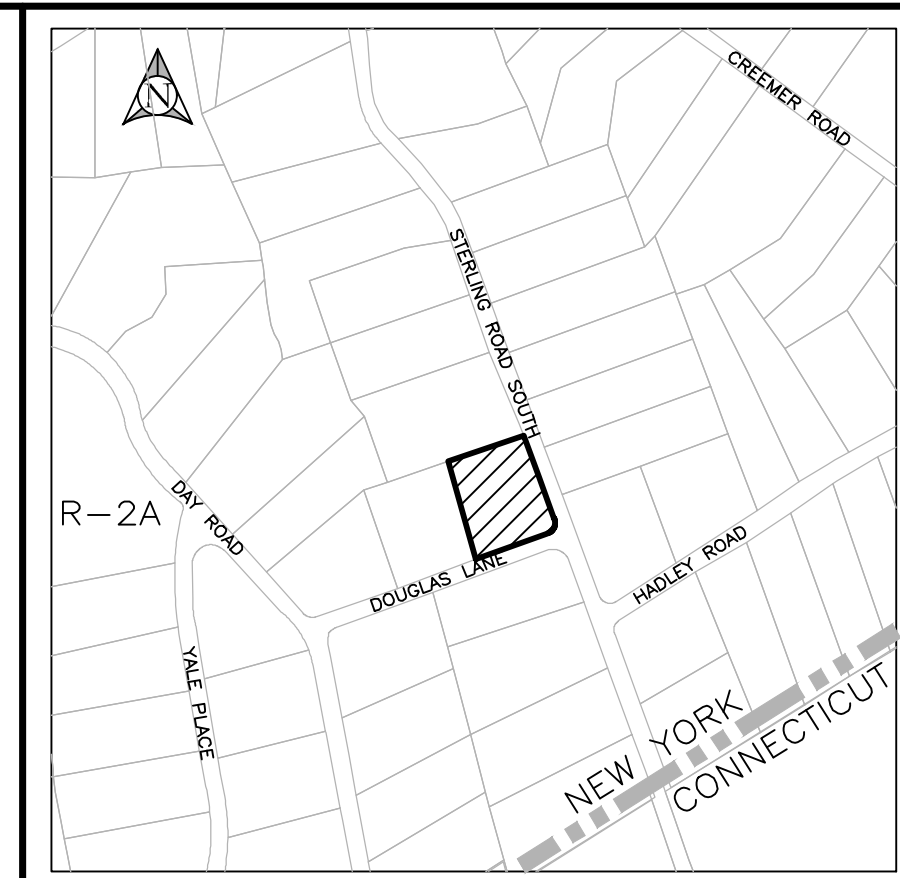
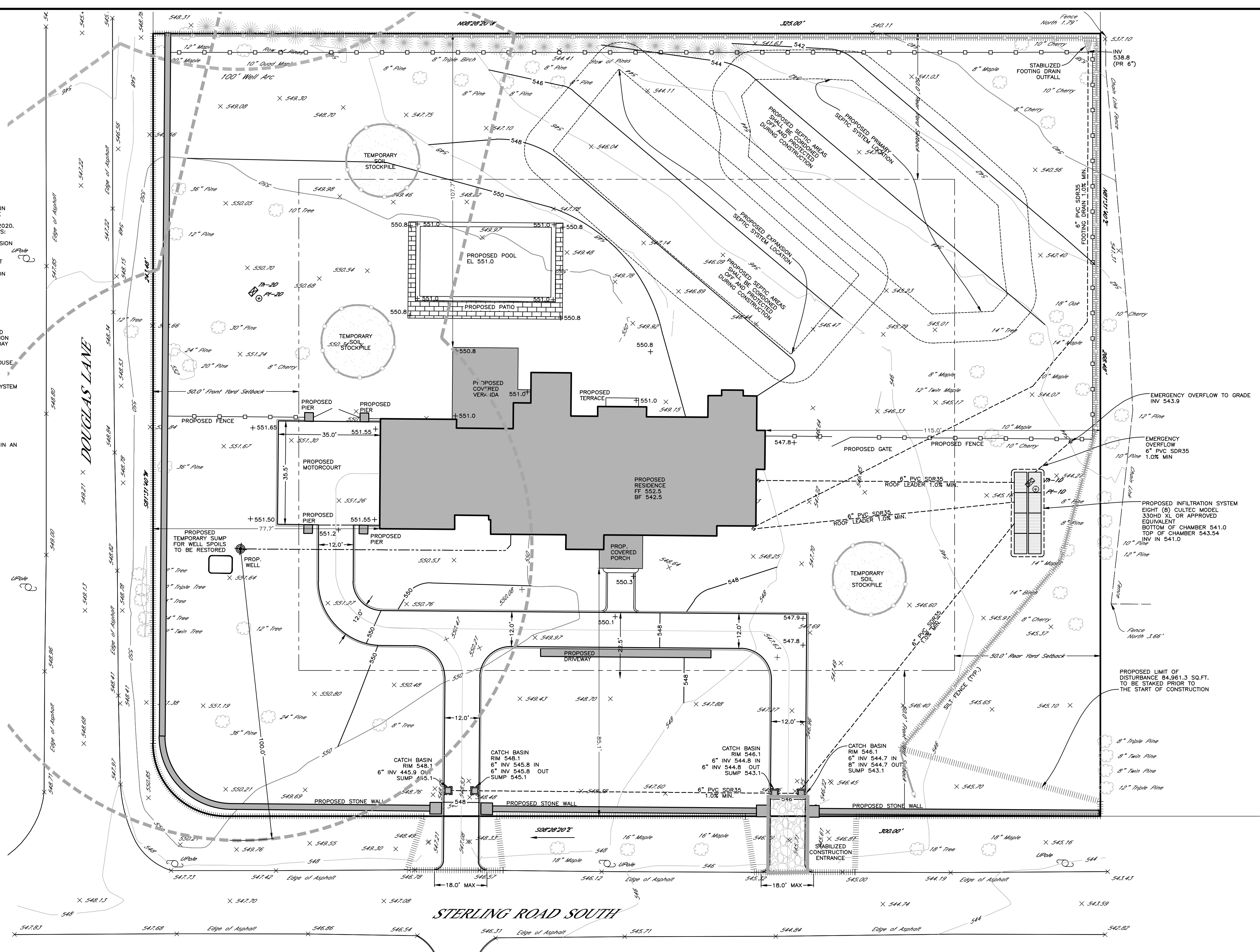
PERCOLATION TEST DATA	
P1	30 MIN./IN.
P2	30 MIN./IN.

DEEP TEST HOLE DESCRIPTION	
TH-1D	0"-6" TOPSOIL 6"-68" LIGHT BROWN SANDY LOAM 68"-84" LIGHT BROWN SANDY LOAM WITH SAND
TH-2D	0"-6" TOPSOIL 6"-24" LIGHT BROWN SANDY LOAM 24"-86" MEDIUM SANDS

CONSTRUCTION SEQUENCE:

THE PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ONE PHASE. THE CONSTRUCTION WILL BE IN A SEQUENCE THAT WILL MINIMIZE THE POTENTIAL FOR EROSION. CONSTRUCTION IS SCHEDULED TO BEGIN IN OCTOBER OF 2020. THE GENERAL SEQUENCE OF CONSTRUCTION IS AS FOLLOWS:

1. SURVEY AND STAKE LIMITS OF CONSTRUCTION AND EROSION CONTROL INSTALLATION.
2. INSTALL EROSION CONTROLS (ANTI-TRACKING PAD, SILT FENCE, TEMPORARY SOIL STOCKPILE) AS SHOWN ON THE EROSION CONTROL PLAN AND PER THE RESPECTIVE EROSION CONTROL DETAILS.
3. REMOVE EXISTING RESIDENCE AND ANY IMPERVIOUS SURFACES PROPOSED TO BE REMOVED.
4. STAGING AREA SHALL BE IN THE LOCATION OF THE EXISTING HOUSE.
5. STRIP TOPSOIL AND ROUGH GRADING. NOTE THAT DISTURBED SOIL THAT WILL NOT BE WORKED FOR A PERIOD GREATER THAN 14 DAYS MUST BE STABILIZED. STABILIZATION MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS.
6. EXCAVATE FOR PROPOSED FOOTINGS/FOUNDATION. HOUSE FRAMING AND SUPERSTRUCTURE IS CONSTRUCTED.
7. EXCAVATE AND INSTALL SUBSURFACE UTILITIES: WATER SERVICE, ELECTRIC TELEPHONE/CABLE/DRAINAGE, SEPTIC SYSTEM SHALL BE STAKED. SEPTIC SYSTEM AND WELL SHALL BE INSTALLED.
8. PROTECT SEPTIC SYSTEM DURING CONSTRUCTION.
9. FINAL GRADING, SEEDING, SODDING, AND OTHER SOIL STABILIZING LANDSCAPING FOR FINAL SITE STABILIZATION.
10. REMOVE EROSION CONTROLS: SILT FENCE AND ANTI-TRACKING PAD. DISCARD EROSION CONTROL DEVICES IN AN APPROPRIATE MANNER.



LOCATION MAP N.T.S.

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
2. THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
3. EROSION AND SEDIMENT CONTROL MEASURES, SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
4. AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
5. ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
8. UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
9. ALL PROPOSED OR DISTURBED SLOPES, 11%:2V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
10. IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
11. NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.
12. OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.

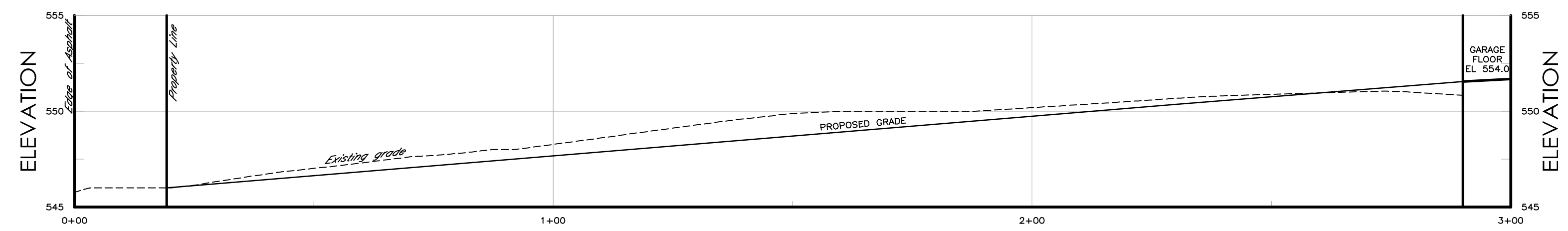
ZONING TABLE

ZONE: ONE FAMILY RESIDENCE DISTRICT ZONE R-2A		
TOTAL LOT AREA:	2.00 AC (CORNER LOT)	
	REQUIRED/ PERMITTED	PROPOSED
MINIMUM LOT AREA:	2 ACRES	2 ACRES
FRONT YARD SETBACK:	50 FT.	77.7 FT.
REAR YARD SETBACK:	50 FT.	107.7 FT.
MAXIMUM HEIGHT:	30 FT.	30 FT.
MAXIMUM BUILDING COVERAGE:	8%	7.2%

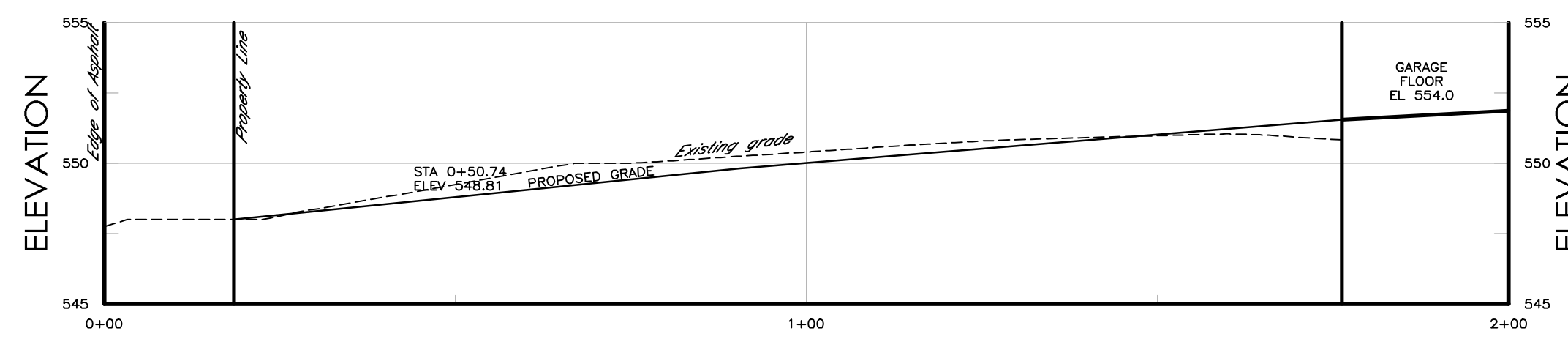
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

ALFONZETTI ENGINEERING, P.C.
 1100 ROUTE 52, CARMEL, N.Y. 10512
 845 - 228 - 9800

SITE DATA	
OWNER/APPLICANT: HYSEN MEHMETAJ	
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LOT AREA: 2.00 ACRES	
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DRAWING:	SHEET: 02 03
SITE PLAN APRIL 20, 2021	
PROJECT: MEHMETAJ RESIDENCE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK	



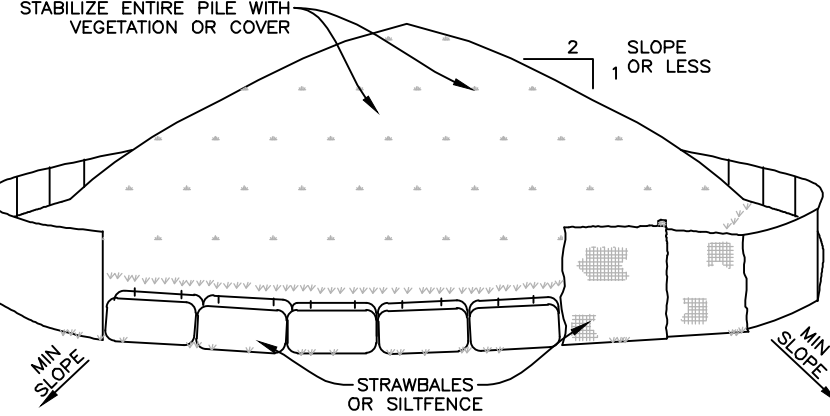
DRIVEWAY PROFILE 2 PROFILE
 HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 5'



DRIVEWAY PROFILE 1 PROFILE
 HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 5'

EROSION CONTROL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2'-3" DIAMETER CRUSHED STONE 6" DEEP.
- TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE COVERED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
- ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
- THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED.
- SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
- ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).



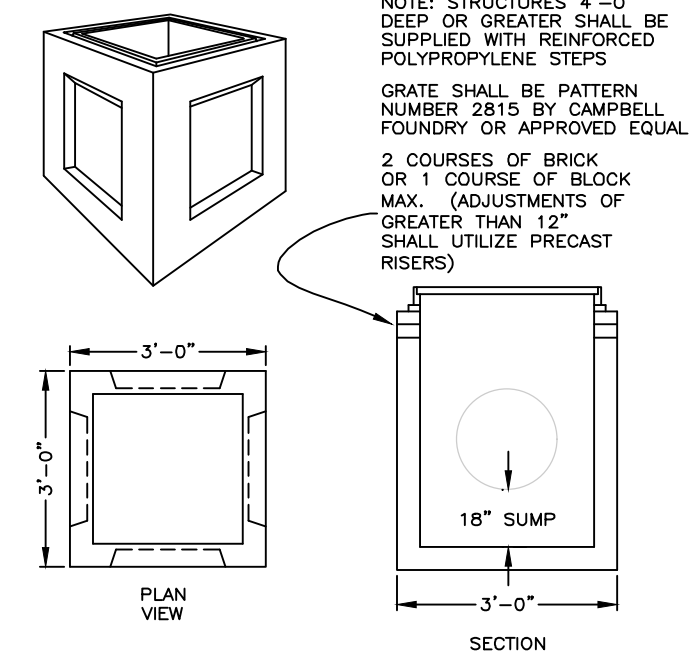
TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOLS THAT ARE DROUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACIDIC. IT IS ALSO USED TO BACKFILL AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

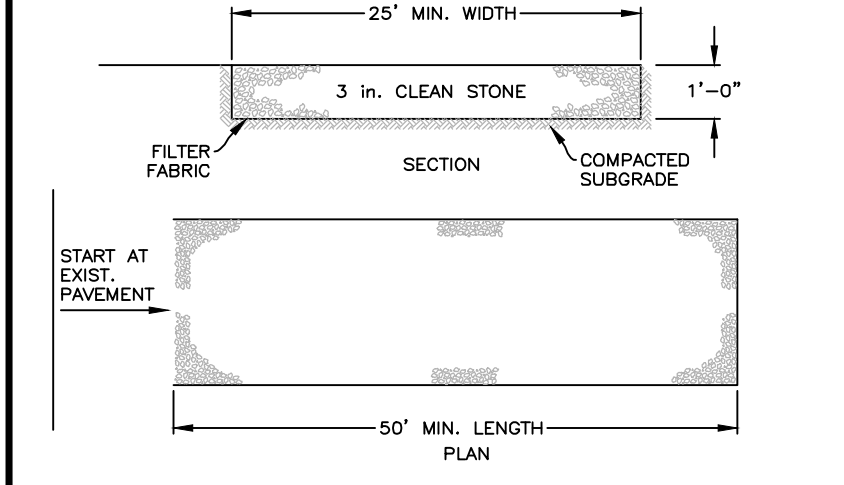
INSTALLATION NOTES

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

TEMPORARY MATERIAL STOCKPILE N.T.S.



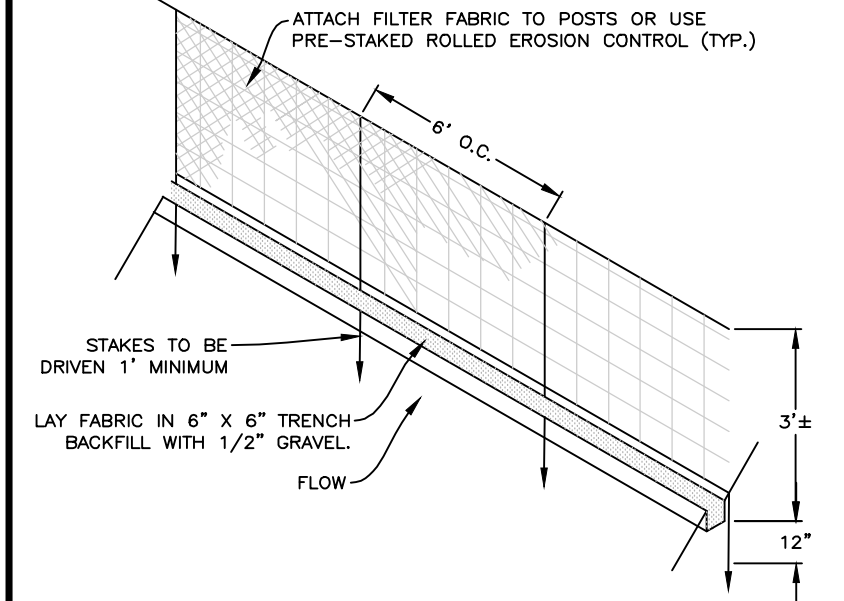
CATCH BASIN DETAIL N.T.S.



INSTALLATION NOTES

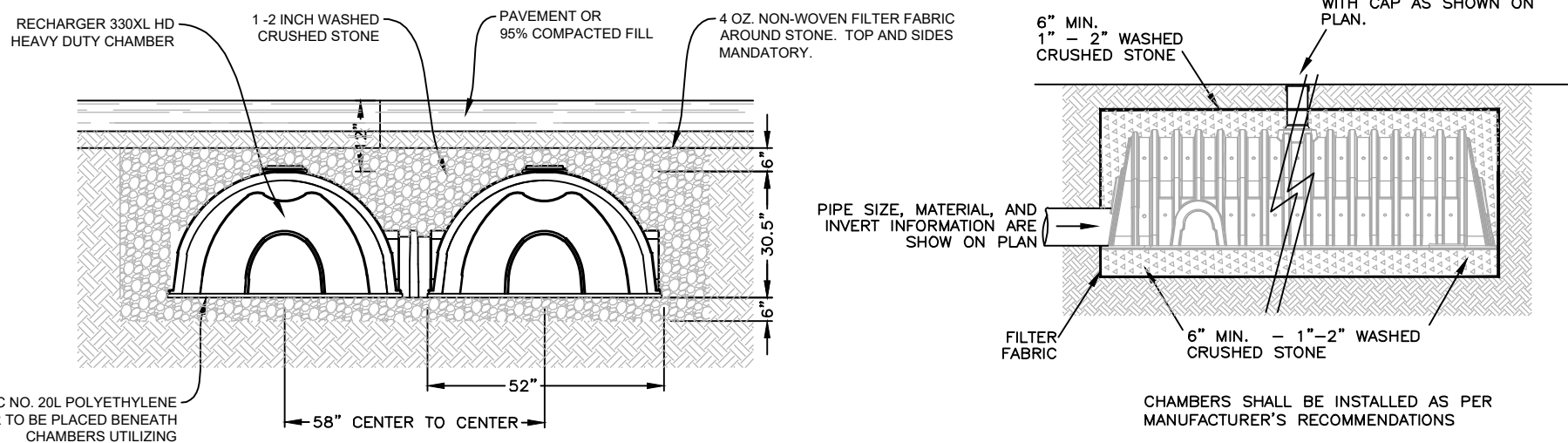
- STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD) N.T.S.



DRIVEWAY SECTION N.T.S.

SILT FENCE N.T.S.



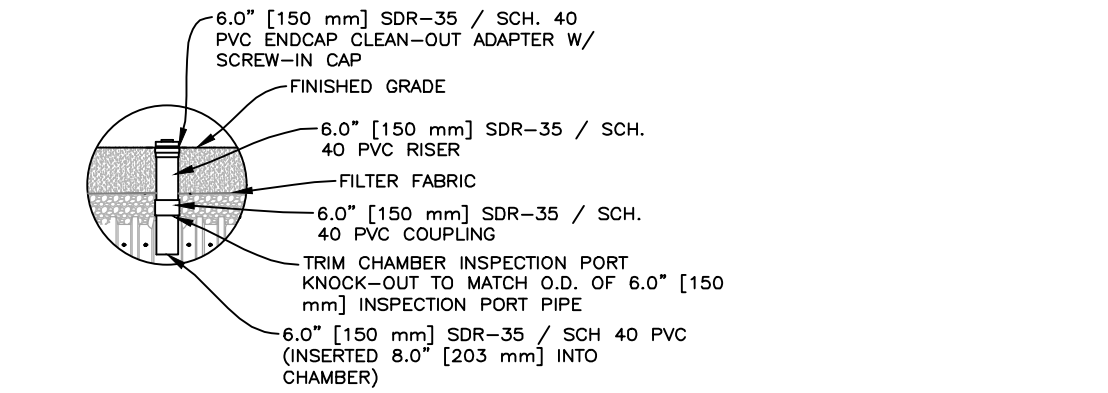
GENERAL NOTES
RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT.
STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT.
REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.

ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

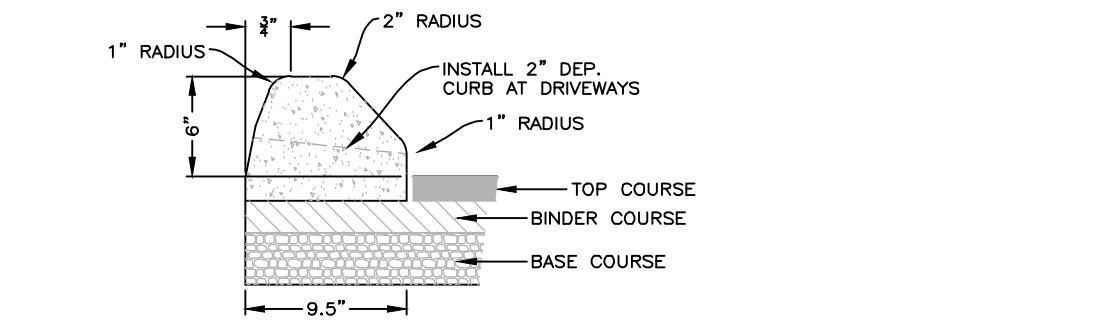
GENERAL NOTES
RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT.
STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT.
REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.

STORMWATER CHAMBER CROSS SECTION N.T.S.

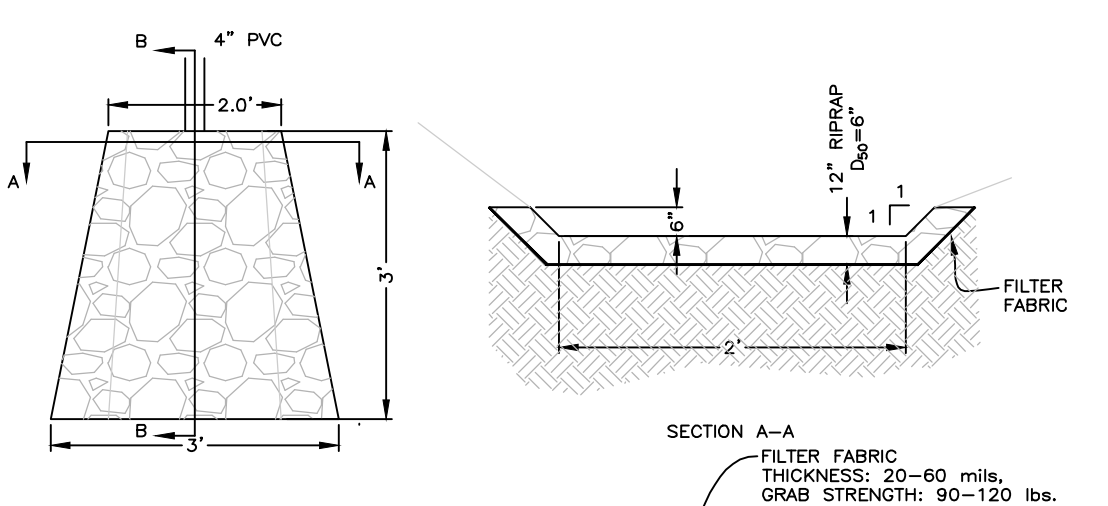
STORMWATER CHAMBER INSTALLATION N.T.S.



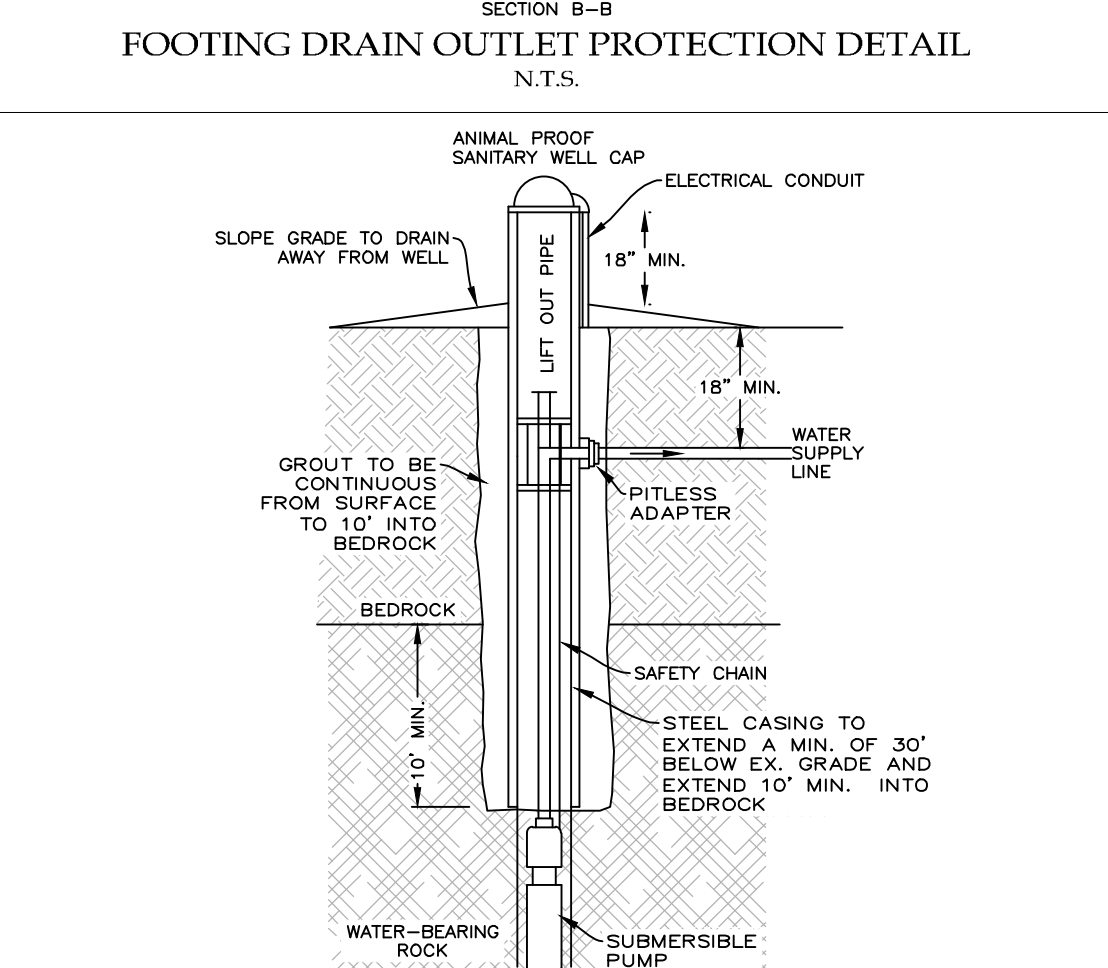
'CULTEC' CHAMBERS INSPECTION PORT NON-TRAFFIC APPLICATION N.T.S.



ASPHALT CONCRETE CURB N.T.S.

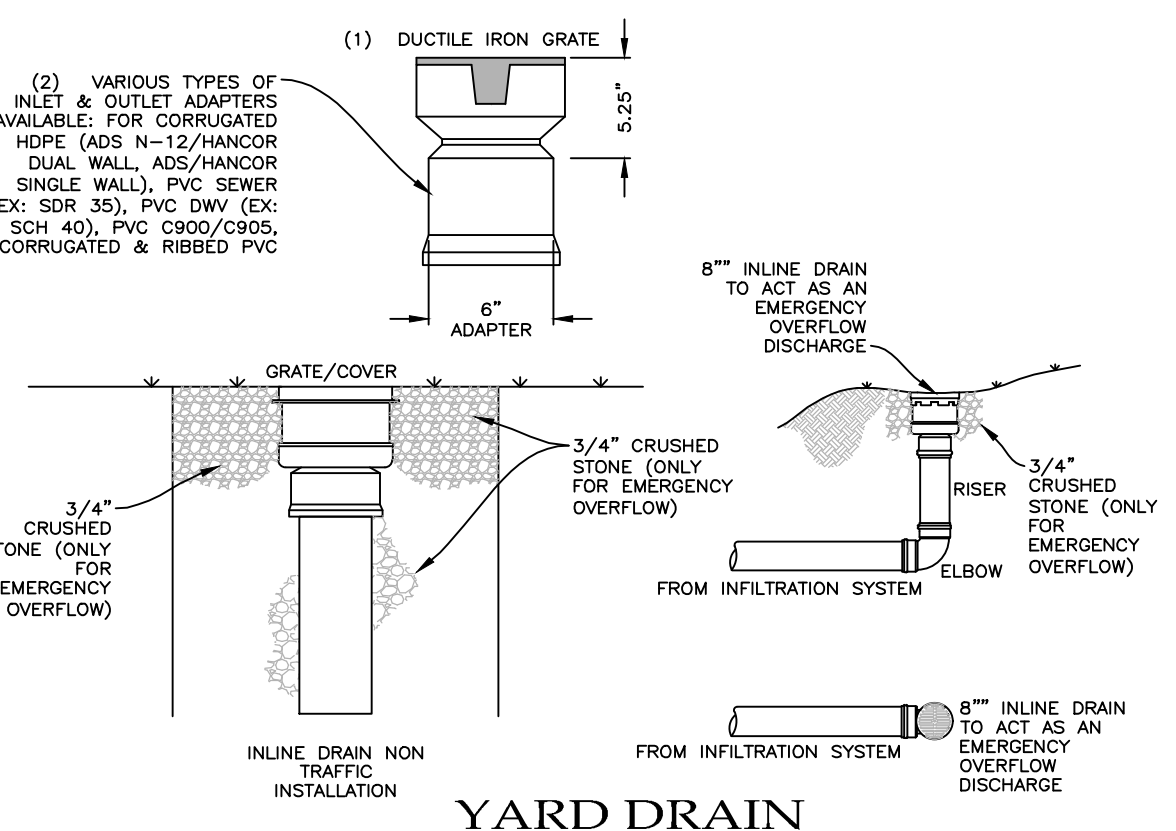


FOOTING DRAIN OUTLET PROTECTION DETAIL N.T.S.



NOTES
1. THE WELL IS TO BE A DRILLED WELL, CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF WESTCHESTER COUNTY HEALTH DEPARTMENT RULES AND REGULATIONS, FOR THE DESIGN AND CONSTRUCTION OF RESIDENTIAL SUBSURFACE SEWAGE TREATMENT SYSTEMS AND DRILLED WELLS IN WESTCHESTER COUNTY, N.Y. AND WITH APPENDIX 5-B OF THE NEW YORK STATE DEPARTMENT OF HEALTH.
2. THERE ARE NO SOURCES OF CONTAMINATION WITHIN 200 FEET OF THE PROPOSED WELL.
3. THE MINIMUM WELL YIELD IS 5 GPM; YIELDS LESS THAN 5 GPM MUST BE IMMEDIATELY REPORTED TO THE DEPARTMENT.

WELL DETAIL N.T.S.



YARD DRAIN EMERGENCY OVERFLOW DISCHARGE N.T.S.

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7208(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

SITE DATA	
OWNER/APPLICANT: HYSSEN MEHMETAJ	SITE DETAILS APRIL 20, 2021 PROJECT: MEHMETAJ RESIDENCE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK
SITE ADDRESS: 17 STERLING ROAD SOUTH, ARMONK, NEW YORK 10504	
TAX MAP #: 108.04-1-9	
LOT AREA: 2.00 ACRES ZONING: R-2A	
DRAWING: 03	SHEET: 03