

Section I- PROJECT

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair Telephone: (914) 273-3000 x 43 Fax: (914) 273-3554 www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

ADDRESS: 37 Whippoorw	vill Road, Armonk, New York 10	504
Section III- DESCRIPTIO	N OF WORK:	
	stall new wood burning stove. Re-	tisting sun room. Reinforce existing structure in basementbuild existing front steps. Replace portion of existing windows.
Section III- CONTACT IN	NFORMATION:	
APPLICANT: Stephanie Fox - A	Architect P.C.	
ADDRESS: 11 Rose Lane, Br	ewster, New York 10509	
PHONE: 845-259-3092	MOBILE:914-391-1514	EMAIL: Stephanie.E.Fox@me.com
PROPERTY OWNER: Rachel	and Keino Carty	
ADDRESS: 37 Whippoorwill R	oad, Armonk, NY 10504	
PHONE:	MOBILE: 917-562-5939	EMAIL: rachelandkeino@gmail.com
PROFESSIONAL::		
ADDRESS:		
PHONE:	MOBILE:	
EMAIL:		
Section IV- PROPERTY II	NFORMATION:	
Zone: R-2A	Tay ID (lot decignation)	107.02-1-9



Town of North Castle Residential Project Review Committee

17 Bedford Road Armonk, New York 10504 (914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

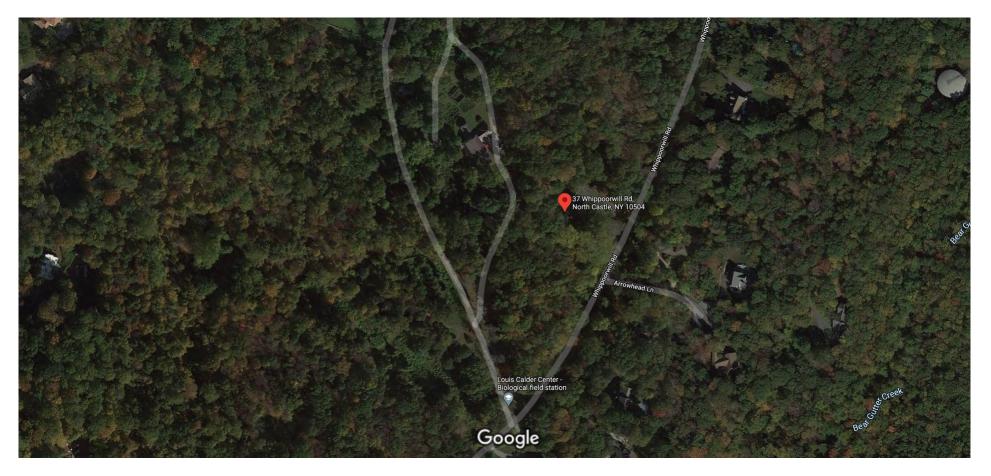
This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Alterations and Renovations to the Carty Residence						
☐Initial Submittal ☐Revised Preliminary						
Street Location: 37 Whippoorwill Road, Armonk, NY 10504						
Zoning District: R-2A Property Acreage: 1.81 acres Tax Map Parcel ID: 107.02-1-9						
Date: 4-12-2021						
DEPARTMENTAL USE ONLY						
Date Filed: Staff Name:						
Preliminary Plan Completeness Review Checklist Items marked with a "⊠" are complete, items left blank "□" are incomplete and must be completed, "NA" means not applicable.						
☐1. Plan prepared by a registered architect or professional engineer						
☐2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets						
☐3. Map showing the applicant's entire property and adjacent properties and streets						
☐4. A locator map at a convenient scale						
☐5. The proposed location, use and design of all buildings and structures						
☐6. Existing topography and proposed grade elevations						
☐7. Location of drives						
☐8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences						

RPRC COMPLETENESS REVIEW FORM

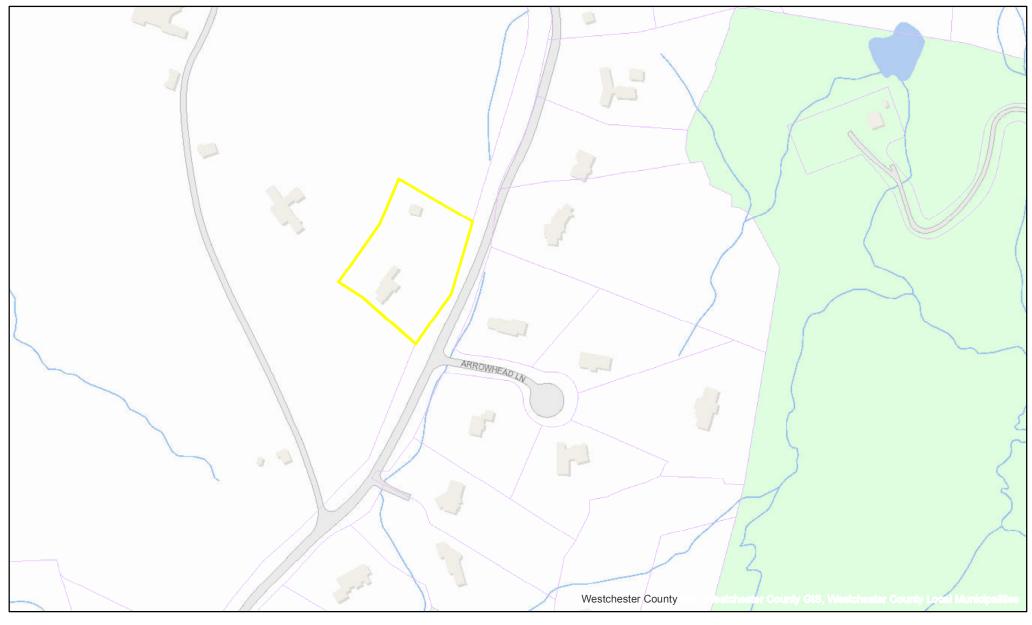
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☐9. Description of method of water supply and sewage disposal and location of such facilities
☐10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
☐11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
☐12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
☐13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.
More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: http://www.northcastleny.com/townhall.html
On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



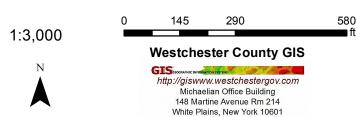
Imagery ©2021 Maxar Technologies, New York GIS, USDA Farm Service Agency, Map data ©2021 100 ft

37 WHIPPOORWILL RD. ID: 107.02-1-9 (North Castle)



April 7, 2021

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.



ALTERATIONS AND RENOVATIONS CARTY RESIDENCE

37 WHIPPOORWILL ROAD ARMONK, NEW YORK

GENERAL NOTES AND SPECIFICATIONS

CODES: ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND CODES OF AGENCIES HAVING JURISDICTION. ABSENT OTHER STANDARDS THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE, GOVERNS. TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN CONFORMANCE WITH THE 2020 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.

VERIFICATION: VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. REPORT DIFFERENCES FROM CONSTRUCTION DOCUMENTS TO OWNER AND ARCHITECT. CLAIMS FOR EXTRA PAYMENTS RESULTING FROM CONTRACTOR'S FAILURE TO DO SO WILL NOT BE APPROVED. ARCHITECT SHALL DECIDE ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS.

DRAWINGS: BY SUBMITTING A BID OR STARTING WORK, CONTRACTOR AGREES THAT HE HAS EXAMINED THE DRAWINGS AND SPECIFICATIONS AND FOUND THEM ADEQUATE FOR PROPER COMPLETION OF PROJECT. CLAIMS FOR EXTRA CHARGES BECAUSE OF ALLEGED INADEQUATE DRAWINGS OR SPECIFICATIONS WILL NOT BE ALLOWED UNLESS NOTIFICATION WAS MADE IN WRITING TO ARCHITECT PRIOR TO SUBMISSION OR

USE OF PREMISES: CONTRACTOR SHALL STORE MATERIALS, DISPOSE OF DEBRIS, COORDINATE AND SCHEDULE ALL WORK IN COOPERATION WITH OWNER FOR MINIMUM DISRUPTION. MAINTAIN SAFE ACCESS TO ALL AREAS AT ALL TIMES.

PERMITS: OWNER SHALL SECURE AND PAY FOR BUILDING PERMIT, TESTS AND CERTIFICATES REQUIRED. ELECTRICAL AND PLUMBING CONTRACTORS SHALL APPLY FOR AND PAY FOR INDIVIDUAL PERMITS, INSPECTIONS AND APPROVALS AS REQUIRED. KEEP APPROVED PERMIT DRAWINGS ON JOB SITE.

LICENSE: ALL WORK MUST BE DONE BY A CONTRACTOR LICENSED IN WESTCHESTER COUNTY. PROVIDE OWNER AND BUILDING DEPARTMENT A COPY OF CERTIFICATE NUMBER PRIOR TO STARTING WORK.

INSURANCE: PRIOR TO STARTING WORK, CONTRACTOR SHALL SUPPLY OWNER AND BUILDING DEPARTMENT WITH CERTIFICATES OF WORKMEN'S COMPENSATION INSURANCE, LIABILITY INSURANCE FOR BODILY INJURY, PROPERTY DAMAGE, AUTOMOTIVE AND OTHER INSURANCES REQUIRED BY LAW OR BY OWNER IN THE AMOUNTS AND TERMS SATISFACTORY TO THE OWNER TO RENDER THE OWNER HARMLESS IN CASE OF ACCIDENT TO PERSONS OR PROPERTY INVOLVED IN THIS PROJECT. MAINTAIN SUCH INSURANCE IN FULL FORCE DURING ENTIRE TIME OF CONTRACT. OWNER SHALL SUPPLY FIRE INSURANCE.

LATENT DEFECTS: NO RESPONSIBILITY IS ASSUMED BY ARCHITECT FOR INFORMATION SUPPLIED BY OTHERS AND RELIED UPON BY ARCHITECT TO BE ACCURATE FOR LATENT DEFECTS IN STRUCTURE IMPOSSIBLE TO DETECT WITHOUT SUBSTANTIAL PROBING OR TESTING.

PROTECTION: PROTECT ALL STRUCTURES, FINISHES, UTILITIES, EQUIPMENT, APPLIANCES, ETC. AT THE SITE. MAINTAIN STRUCTURAL INTEGRITY OF ALL PARTS OF THE STRUCTURE DURING WORK. DO NOT CUT, WEAKEN OR LOAD ANY STRUCTURAL MEMBER WITHOUT PROPER SHORING AND BRACING, PROVIDE EXHAUST FANS TO MAINTAIN CONTROL OF DUST DURING DEMOLITION, DESIGNATE WALK OFF MATS AT ENTRANCE TO

SUPERVISION: ARCHITECT HAS NOT BEEN RETAINED BY THE OWNER TO PROVIDE OBSERVATION AND SUPERVISION OF CONSTRUCTION OPERATIONS AND CERTIFICATION OF PAYMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE ARCHITECT TO INSPECT THE VARIOUS STAGES OF THE PROJECT THAT REQUIRE CERTIFICATION BY THE LOCAL MUNICIPALITY. THE CONTRACTOR'S FAILURE TO DO SO MAY RESULT IN EXTRA CHARGES TO THE OWNER OR THE ARCHITECT'S INABILITY TO CERTIFY THE NECESSARY PAPERWORK REQUIRED BY THE LOCAL MUNICIPALITY.

CUTTING & PATCHING: ALL CUTTING AND PATCHING SHALL BE BY CONTRACTOR REQUIRING SAME UNDER SUPERVISION OF CONSTRUCTION

COOPERATION: CONTRACTORS AND SUB-CONTRACTORS SHALL COORDINATE THEIR WORK WITH ADJACENT WORK AND COOPERATE WITH OTHER TRADES TO FACILITATE PROGRESS OF WORK. EACH TRADE SHALL AFFORD OTHER TRADES REASONABLE OPPORTUNITY FOR INSTALLATION OF THEIR WORK AND FOR TEMPORARY STORAGE OF THEIR TOOLS AND MATERIALS.

<u>UTILITY STAKE-OUT:</u> PRIOR TO DEMOLITION OR EXCAVATION, CONTRACTOR SHALL REQUEST FOR A CODE 53 UNDERGROUND UTILITY STAKE-OUT. 1-800-962-7962.

PRIOR TO DEMOLITION DISCONNECT AND CAP ALL EXISTING UTILITIES AS REQUIRED. COORDINATE SHUT OFF AND REMOVALS WITH UTILITY

- COMPANIES. A. ELECTRICAL: DISCONNECT AND RELOCATE.
- B. PHONE: DISCONNECT AND RELOCATE C. CABLE: DISCONNECT AND RELOCATE
- D. REMOVE/REPLACE AS PER ATTACHED PLANS.

ALL ELECTRICAL DISCONNECTS AND REMOVALS MUST BE DONE BY A ELECTRICAL CONTRACTOR LICENSED IN WESTCHESTER COUNTY.

ALL PLUMBING DISCONNECTS AND REMOVALS MUST BE DONE BY A PLUMBING CONTRACTOR LICENSED IN WESTCHESTER COUNTY.

REMOVE ALL DEBRIS FROM SITE TO A LEGAL DISPOSAL FACILITY. CONTRACTOR SHALL PAY FOR ALL NECESSARY DUMPSTER AND CARTING FEE'S.

FOUNDATIONS: ALL FOUNDATIONS SHALL BEAR ON FIRM UNDISTURBED SOIL HAVING A MINIMUM DESIGN BEARING PRESSURE OF 3000#/sq.ft. EXCAVATE A MINIMUM OF 2'-O" INTO EXISTING SOIL. CONTINUOUS FOOTINGS MAY BE STEPPED WHERE NECESSARY, BUT NO MORE THAN ONE (1) FOOT VERTICALLY TO TWO (2) FEET HORIZONTALLY. MAINTAIN A MINIMUM COVER OVER FOUNDATION BOTTOMS OF 3'-6".

WATERPROOFING: "SONNEBORN" OR EQUAL. LIQUID COLD-APPLIED WATERPROOFING MEMBRANE.

CONCRETE AND MASONRY: CALCIUM CHLORIDE OR ANY ADMIXTURE CONTAINING CHLORINE SALTS, SHALL NOT BE USED IN ANY CONCRETE. ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED.

CONCRETE: STONE AGGREGATE. FOR BASEMENT WALLS, FOUNDATIONS, AND OTHER CONCRETE NOT EXPOSED TO WEATHER = 2,500 PSI. FOR BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS = 2.500 PSI, FOR BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS, AND OTHER VERTICAL CONCRETE WORK EXPOSED TO WEATHER =3000psi, FOR PORCHES, CARPORT SLABS, AND STEPS EXPOSED TO WEATHER AND GARAGE FLOOR SLABS = 3,500 PSI. ALL STRENGTHS AT 28 DAYS.

ROD REINFORCEMENT: ASTM A 615 GRADE 60.

BRACING: PROVIDE ADEQUATE TEMPORARY SUPPORT AT ALL TIMES.

VAPOR BARRIER: 6ml. PVC WITH 6" SEALED LAP JOINTS. SILL SEALER: 1" COMPRESSIBLE FIBERGLASS.

SILL ANCHOR: 5/8" DIAMETER, 18" LONG, 3" HOOK, 6' ON CENTER MAXIMUM; 1' MAXIMUM FROM CORNERS.

CONCRETE MASONRY: 8" HIGH BLOCKS MEETING ASTM C-90. MORTAR: TYPE "S", 1800 PSI STRENGTH.

MASONRY REINFORCING: TRUSSED, GALVANIZED, PLACED EVERY OTHER COURSE.

CARPENTRY: DOUBLE JOISTS UNDER ALL INTERIOR PARTITIONS RUNNING PARALLEL WITH SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE STUDS AROUND ALL WALL OPENINGS. ALL WALL OPENINGS SHALL HAVE JACK STUDS IN ACCORDANCE WITH TABLE R602.7 OF THE NEW YORK STATE RESIDENTIAL CODE. INSTALL ONE ROW OF SOLID BRIDGING AT MID-SPAN.

FRAMING LUMBER: DOUGLAS FIR #2 OR BETTER, FB=875 PSI. LOUISIANA-PACIFIC GANG-LAMS LVL INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

FB=2600 PSI, E=1.9X106 PSI. STUDS: DOUGLAS FIR STUD GRADE, 2x6 EXTERIOR WALL (NO FINGER-JOINTED STUDS)

2x4 INTERIOR WALLS, 16" O.C. UNLESS NOTED OTHERWISE.

LINTELS: 2-2x10'S MINIMUM UNLESS OTHERWISE INDICATED. ALL WALL OPENINGS SHALL HAVE JACK STUDS IN ACCORDANCE WITH TABLE

R6O2.7 OF THE NEW YORK STATE RESIDENTIAL CODE. BRIDGING: DOUGLAS FIR, 5/4 x 3 DIAGONAL, MAXIMUM 7' ON CENTER.

WALL SHEATHING: 1/2" CDX-PLYWOOD. SUBFLOOR: 3/4" T&G CDX-PLYWOOD, GLUED AND SCREWED.

GENERAL UNDERLAYMENT: 3/8" UNDERLAYMENT PLYWOOD. CERAMIC TILE UNDERLAYMENT: 1/2" CEMENTITIOUS BOARD.

JOIST HANGERS: "SIMPSON" OR EQUAL, GALVANIZED STEEL TO FIT FRAMING MEMBER. INSTALL FRAMING ANCHORS AT ALL FLUSH FRAMED

CONNECTIONS.

WALL INSULATION: R-20 MINIMUM R-VALUE FLOOR INSULATION: R-19 MINIMUM R-VALUE. ROOF INSULATION: R-49 MINIMUM R- VALUE

RIGID INSULATION: EXTRUDED POLYSTYRENE RIGID FOAM.

PROVIDE CLOSED CELL SPRAY FOAM INSULATION, INSTALLED IN 2 INCH LAYERS, IN ORDER TO OBTAIN NECESSARY R-VALUES. REFER TO MINIMUM ENERGY REQUIREMENTS FOR EXCEPTIONS AND COMPONENT VALUES FOR MORE INFORMATION.

INTERIOR FINISHES

WALLS: 1/2" GYPSUM DRYWALL, JOINTS TAPED AND FINISHED.

CEILINGS: 1/2" GYPSUM DRYWALL, PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL DAMP AREAS. WOOD FLOORING: 3/4" x 2-1/4" SELECT OAK STRIP FLOORING, 3 COATS POLYURETHANE FINISH. REFINISH EXISTING FLOORS ALTERED OR DAMAGED BY NEW WORK.

TILE FLOORING: COORDINATE WITH OWNER ON MATERIALS CHOICE. PAINTING: BENJAMIN MOORE & CO., COLORS SELECTED BY OWNER, PAINT ALL NEW SURFACES AND AREAS DAMAGED BY NEW WORK, PAINT ALL NEW EXTERIOR TRIM, SIDING, SHUTTERS, FASCIAS AND SOFFITS. PRIME AND PAINT ALL NEW INTERIOR TRIM, CASINGS, MOLDINGS, ETC. PRIME AND PAINT ALL NEW DRYWALL SURFACES AND ALL AREAS DAMAGED BY NEW WORK.

CABINETS: PROVIDED BY OWNER, INSTALLED BY CONTRACTOR. COUNTERTOPS: PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.

BACKSPLASH: PROVIDED BY OWNER, INSTALLED BY CONTRACTOR. TILE: PROVIDED BY OWNER. INCLUDE SETTING MATERIALS AND GROUT. INSTALLED BY CONTRACTOR.

INTERIOR TRIM: "INTERSTATE LAKELAND LUMBER", POPLAR MOLDING AND TRIM, PAINTED. STYLES AND PROFILES AS SELECTED BY OWNER.

ACCESSORIES: ALL KITCHEN ACCESSORIES SHALL BE SUPPLIED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.

WINDOWS: "MARVIN ELEVATE" SERIES WINDOWS WITH LOW-E INSULATING GLASS AND INSECT SCREENS. SEE PLANS FOR MOD. NO.'S. PRIME AND PAINT INTERIOR SASH AND GRILLES. PRIME AND PAINT EXTERIOR SASH, FRAME AND GRILLES. ALL GLAZING LESS THAN 18" AFF SHALL BE TEMPERED. GLAZING LESS THAN 60' AFF IN BATHS SHALL BE TEMPERED .ALL WINDOWS IN HABITABLE SPACES SHALL MEET CODE/EGRESS REQUIREMENTS.

CAULK: SILICON SEALANT WITH COLOR TO MATCH ADJACENT SURFACES. CAULK ALL EXTERIOR OPENINGS, AROUND WINDOWS AND BETWEEN ADJACENT SURFACES.

FLASHING: 16oz. COPPER, 20ga. ALUMINUM OR EQUAL.

STAIRWAYS, HANDRAILS, AND GUARDS: STAIRWAYS SHALL BE NOT LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THER PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 41/4" ON EITHER SIDE OF THE STAIRWAY.

THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6'-8" VERTICALLY.

THE MAXIMUM RISER HEIGHT SHALL BE 81/4". THE MINIMUM TREAD DEPTH SHALL BE 9".

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHTS WITH FOUR OR MORE RISERS. HANDRAILS SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38" ABOVE THE TREAD NOSING.

HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT OF STAIRS. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.

HANDRAILS ADJACENT TO WALLS SHALL HAVE A SPACE OF NOT LESS THAN 11/2" BETWEEN WALL AND HANDRAIL. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 11/4" AND NOT GREATER THAN 2". IF HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN

61/2" WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 21/2". GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES WHEN LOCATED 30" ABOVE FINISHED GRADE SHALL NOT BE LESS THAN 36". SPACE BALUSTERS SO A 4" DIAMETER BALL WILL NOT PASS THROUGH. SPACE BOTTOM RAIL SO A 4" DIAMETER BALL WILL NOT PASS THROUGH.

INTERIOR DOORS: "SIMPSON DOOR CO." PRE-HUNG DOOR OR EQUAL. SEE SCHEDULE FOR MORE INFORMATION. FINAL STYLE AS SELECTED BY OWNER

ENTRY DOOR: "SIMPSON DOOR CO." 1 3/4" THICK WOOD PRE-HUNG. AS SCHEDULED. APPLY ONE COAT OF STAIN AND THREE COATS POLYURETHANE.

EXTERIOR DOOR: "MARVIN ELEVATE" FRENCH DOORS WITH LOW-E INSULATED TEMPERED GLASS AND INSECT SCREENS. AS SCHEDULED. APPLY ONE COAT STAIN AND THREE COATS POLYURETHANE TO INTERIOR SURFACE AND GRILLES. PRIME AND PAINT EXTERIOR FRAME AND

DOOR HARDWARE: AS MANUFACTURED BY "SCHLAGE" OR EQUAL; FINISH AS SELECTED BY OWNER.

SIDING: CEDAR SHAKE SIDING. +/- 5" EXPOSURE. STAIN COLOR FOR CEDAR SIDING AS SELECTED BY OWNER. PRIME AND PAINT CEDAR SHAKES WITH COLOR AS SELECTED BY OWNER. COORDINATE WITH OWNER OF STYLE SELECTION AND PROFILES.

EXTERIOR TRIM: WESTERN RED CEDAR. STAIN COLOR AS SELECTED BY OWNER.

FIRE BLOCKING: FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS EITHER VERTICALLY AT THE CEILING AND FLOOR LEVELS AND/OR HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET. ADDITIONALLY FIRE BLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH THAT OCCUR IN SOFFITS, DROP CEILING, AND COVE CEILINGS. FIRE BLOCKING SHALL BE PROVIDED AT CONCEALED SPACES OF STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND IN ENCLOSED SPACES UNDER THE STAIRS. FIRE BLOCKING SHALL BE PROVIDED AT OPENING AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR

SMOKE ALARMS: PROVIDE ONE SMOKE ALARM IN EVERY SLEEPING ROOM, ONE COMBINATIONS SMOKE ALARM AND CARBON MONOXIDE DETECTOR OUTSIDE OF SLEEPING ROOMS, AND ONE COMBINATION SMOKE ALARM AND CARBON MONOXIDE DETECTOR ON EVERY FLOOR. ALL ALARMS SHALL BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP.

AS PER SECTION J604.1 OF THE NEW YORK STATE RESIDENTIAL CODE, SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED TO BE INTERCONNECTED AND HARD WIRED WHERE INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE.

HEATING: EXISTING SYSTEM EXTENDED INTO OR REVISED FOR NEW AND ALTERED SPACES. MAINTAIN 70° F INTERIOR WHEN 10° F EXTERIOR.

ELECTRICAL: THE DESIGN AND INSTALLATION OF ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LOCAL CODES AND THE NATIONAL ELECTRIC CODE. PROVIDE OWNER/BUILDER COPY OF UNDERWRITER'S CERTIFICATE UPON COMPLETION OF WORK. ELECTRICAL CONTRACTOR MUST BE INSURED AND LICENSED IN WESTCHESTER COUNTY.

ALL OUTLETS, SWITCHES, DIMMERS, PHONE AND CABLE JACKS, PLATE COVERS ETC. SHALL BE "LEVITON" DECORA, WHITE.

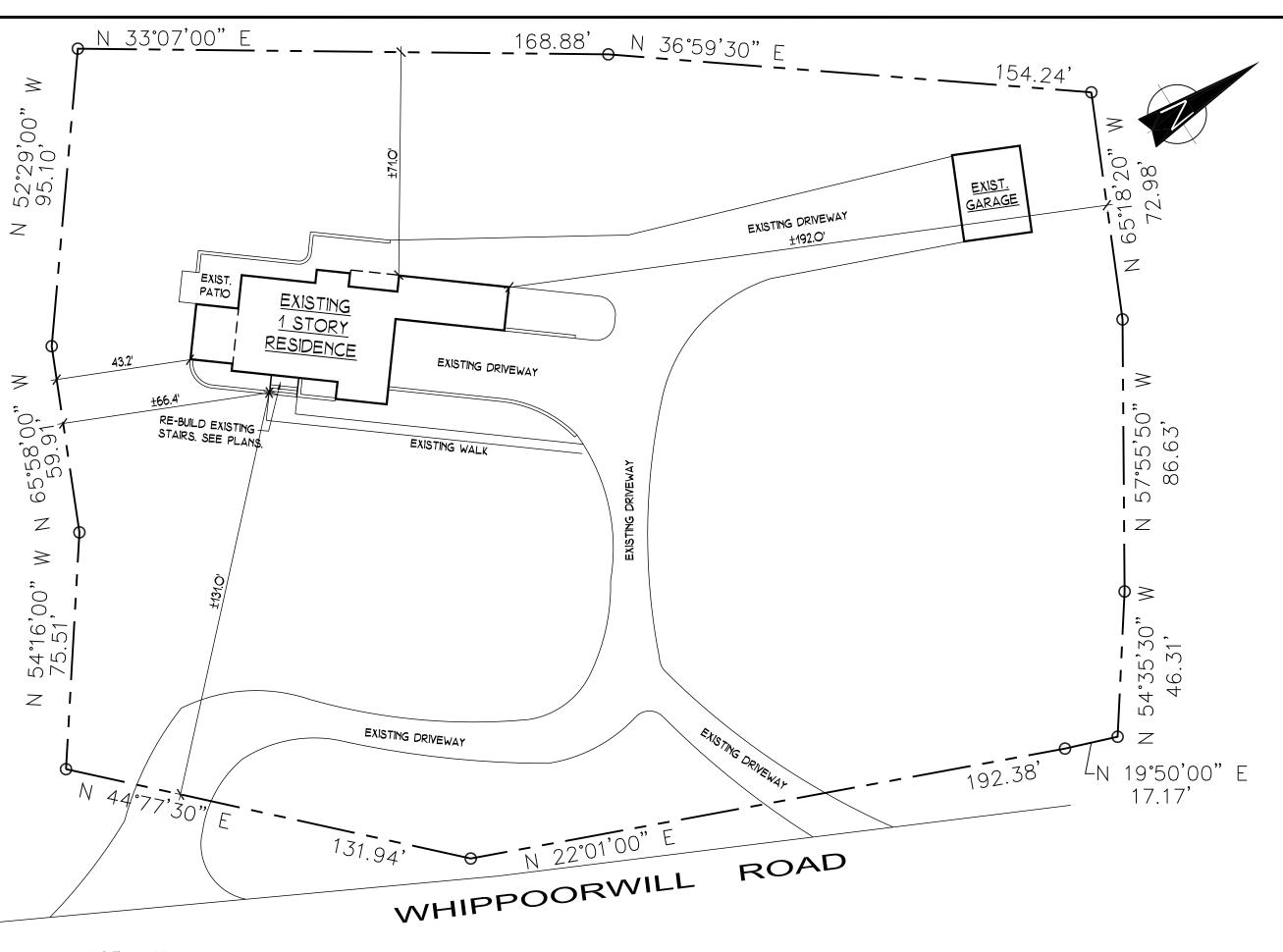
INSULATE ALL SUPPLY PIPING LOCATED IN BASEMENT/ CRAWL SPACE FROM BOILER TO FIRST FLOOR PENETRATIONS.

DECORATIVE LIGHT FIXTURES: PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.

APPLIANCES: PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.

PLUMBING: THE DESIGN AND INSTALLATION OF ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE LOCAL CODES AND THE NEW YORK STATE BUILDING CODE. PLUMBING CONTRACTOR MUST BE INSURED AND LICENSED IN WESTCHESTER COUNTY, NY. INSULATE ALL HOT WATER SUPPLY PIPES LOCATED IN BASEMENT FROM BOILER TO FIRST FLOOR PENETRATIONS.

UTILITIES: COORDINATE THE LOCATION AND SIZE OF ALL NEW UTILITIES (ELECTRICAL, GAS, WATER, SEWER, TELEPHONE, CABLE) WITH EACH UTILITY COMPANY REPRESENTATIVE AND UTILITY SPECIFICATIONS.



SITE PLAN

1" = 30'-0"

INFORMATION FOR THIS SITE PLAN WAS TAKEN FROM A SURVEY PREPARED BY RALPH MACDONALD, DATED JUNE 7, 1955.

ZONING DATA	Δ			
ZONING DISTRICT: R-2	!A			
		MINIMUM REQ'MENTS	EXISTING	PROPOSED
LOT AREA	SQ. FT.	2 ACRES	1.81 ACRES	NO CHANGE
ROAD FRONTAGE	FT.	150'	±333.8′	NO CHANGE
LOT DEPTH	FT.	150'	±206.0'	NO CHANGE
FRONT YARD	FT.	50'	±131.0'	NO CHANGE
SIDE YARD #1	FT.	30'	43.2'	66.4'
SIDE YARD #2	FT.	30'	±192.0'	NO CHANGE
REAR YARD	FT.	50'	±71.O'	NO CHANGE
		MAXIMUM PERMITTED		
HEIGHT	STY./FT.	2½ / 30'	1 / ±16.5'	NO CHANGE
BUILDING COVERAGE	%	8%	3.8%	NO CHANGE

ENERGY EFFICIENCY DATA						
R - VALUE						
DESCRIPTION	REQUIRED	PROPOSED				
CEILING-ROOF	R-49	R-49+				
WOOD FRAME WALL	R-2O*	R-15*				
BASEMENT FLOOR/CEILING	R-19	R-22				
SLAB / DEPTH	10 / 2 FT	N/A				
U - FACTOR						
CASEMENT WINDOW 0.40 0.29						
GLIDING WINDOW 0.40 0.30						
PATIO DOOR	0.40	0.30				

* AS PER SECTION N1109.1.1 OF THE NYS ENERGY CONSERVATION CONSTRUCTION CODE, EXISTING WALL CAVITIES EXPOSED DURING CONSTRUCTION PROVIDED THESE CAVITIES ARE FILLED WITH INSULATION

CLIMATE AND GEOGRAPHICAL DESIGN CRITERIA											
GROUND	WIND	SEISMIC	SUE	BJECT TO DA	MAGE FROM	T	WINTER	ICE SHIELD	FLOOD	AIR	MEAN
SNOW LOAD	SPEED	DESIGN CATEGORY	WEATHERING	FROST DEPTH LINE	TERMITE	DECAY	DESIGN TEMPERATURE	UNDERLAYMENT REQUIREMENT	HAZARDS	FREEZING INDEX	ANNUAL TEMP
20 PSF	125 MPH	В	SEVERE	42 INCHES	MODERATE TO HEAVY	SLIGHT TO MODERATE	12 DAY	YES	F.I.R.M. SEPT.	1500	52.2°



SHEET TITLE	
TITLE SHEET, SPECS., & SCHEDULES	
ALTERATIONS AND RENOVATIONS	
CARTY RESIDENCE	

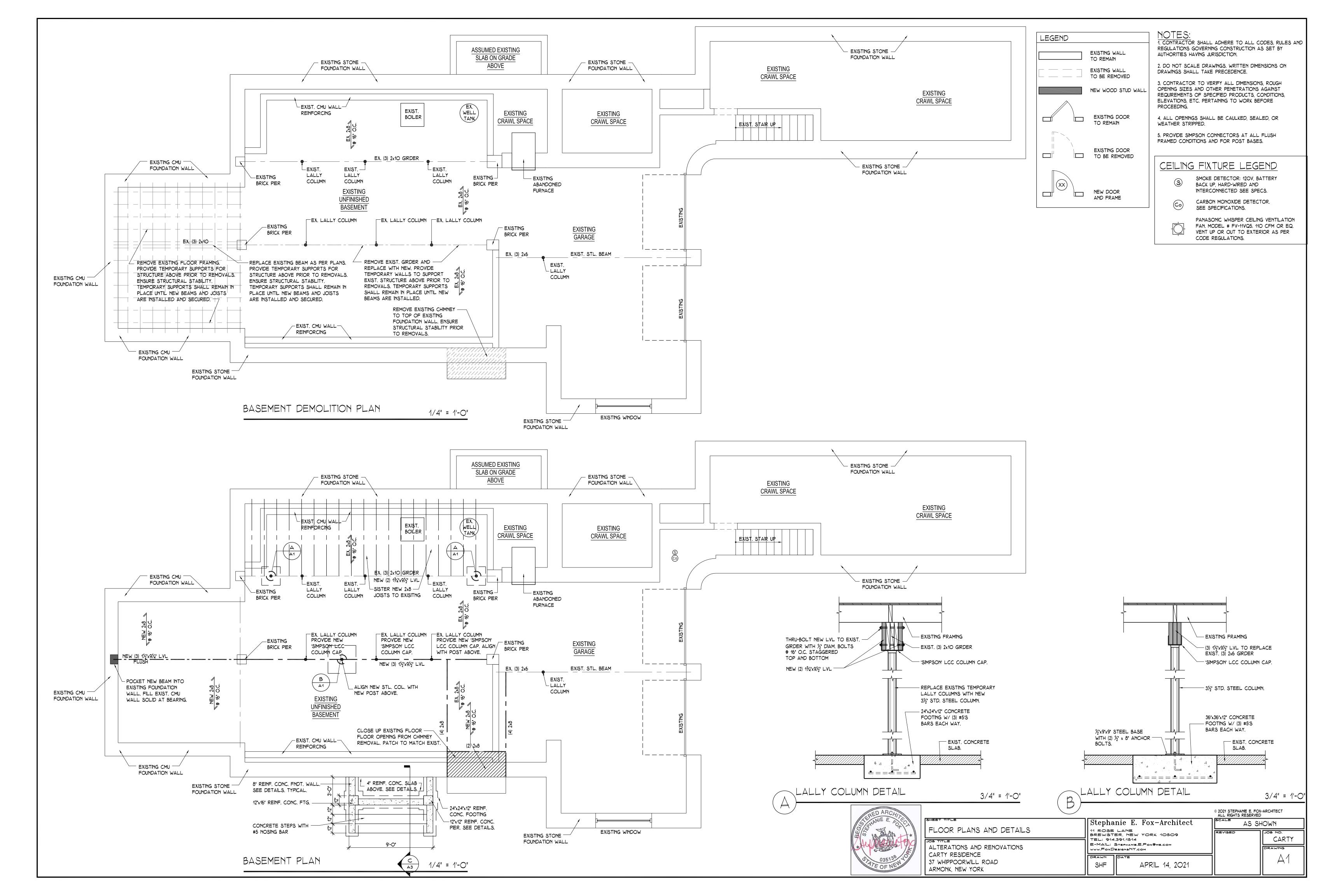
37 WHIPPOORWILL ROAD

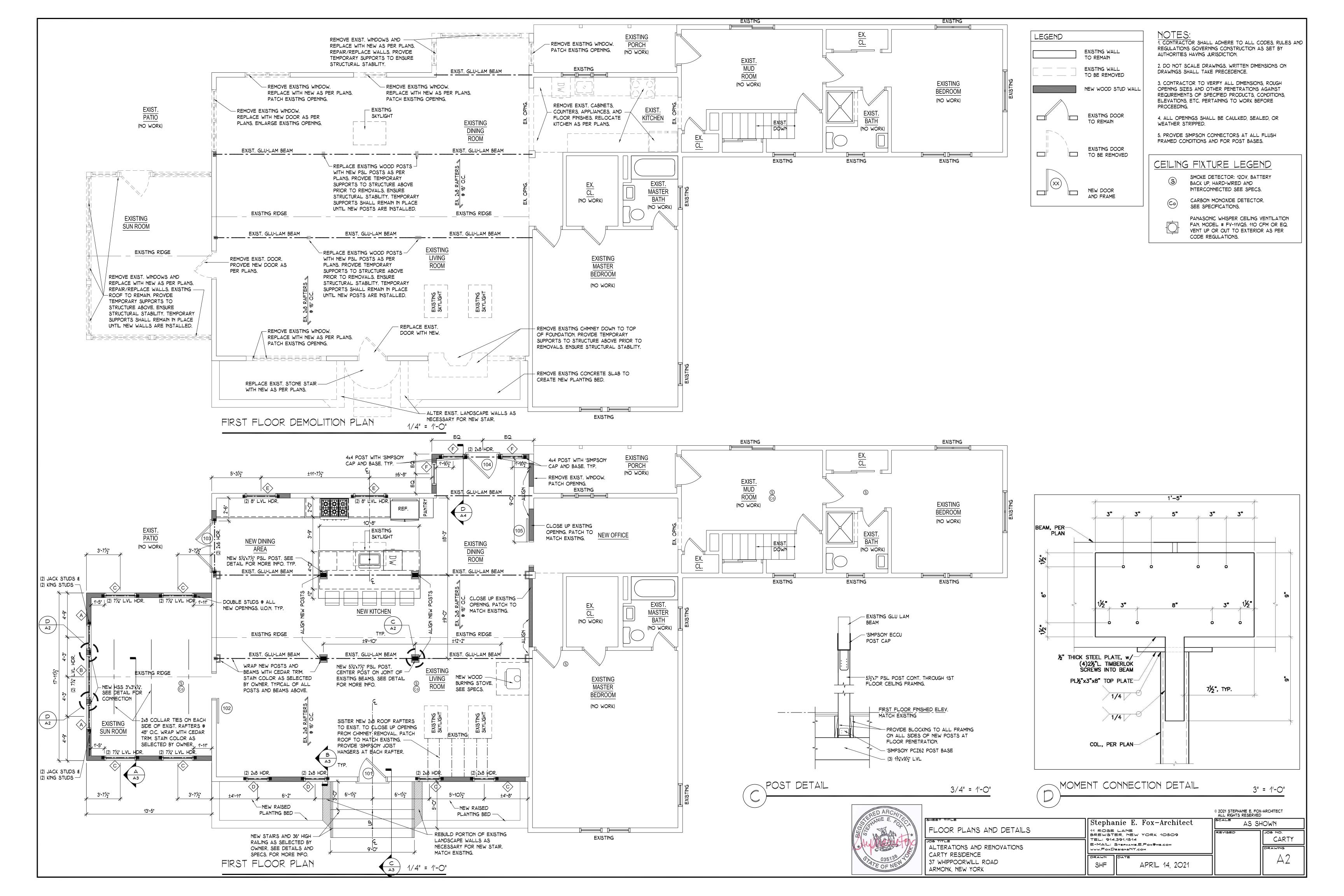
ARMONK, NEW YORK

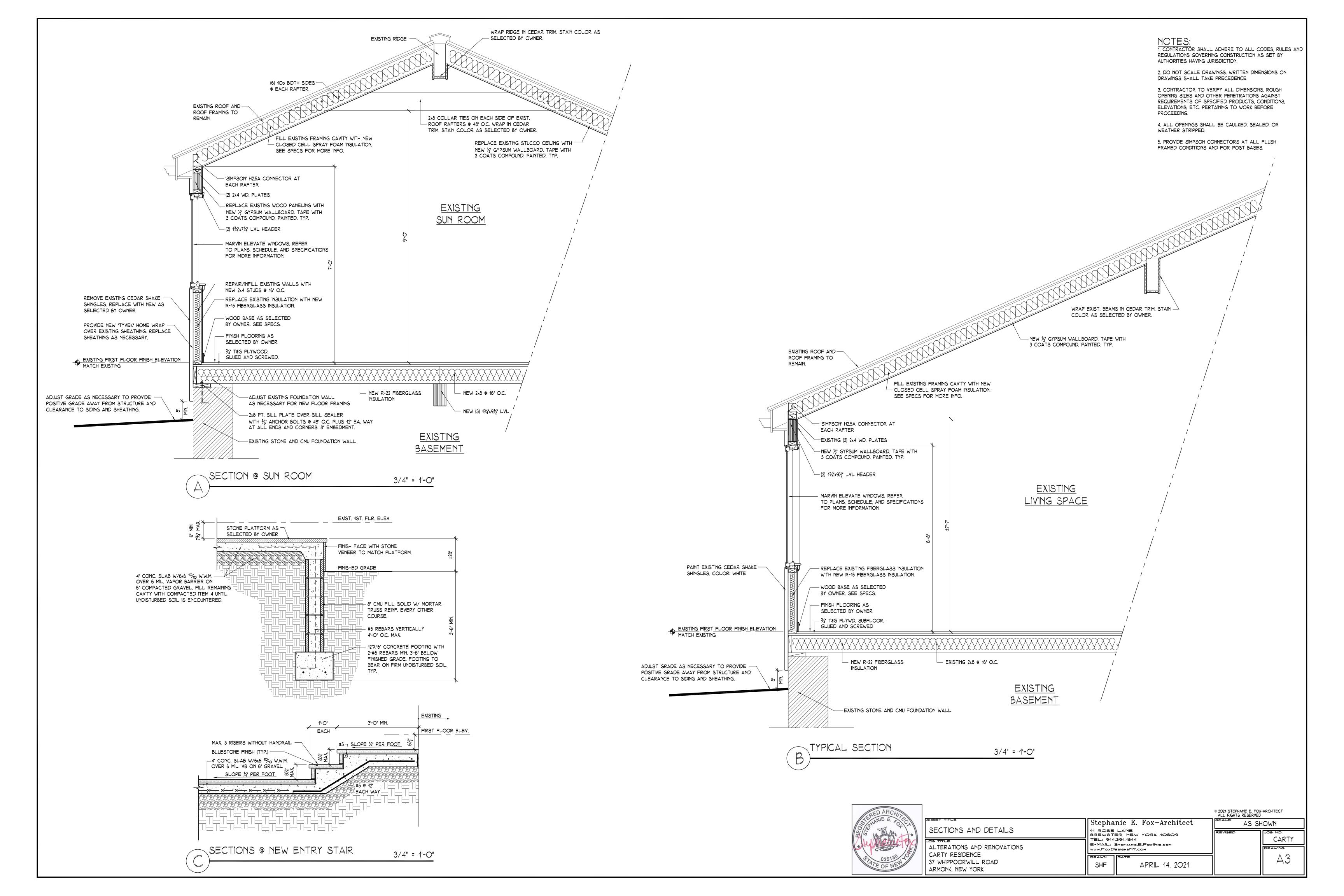
Stephanie E. Fox-Architect 11 ROSE LANE BREWSTER, NEW YORK 10509 TEL: 914.391.1514 E-MAIL: STEPHANIE.E.FOX@ME.COM www.FoxDesignsNY.com

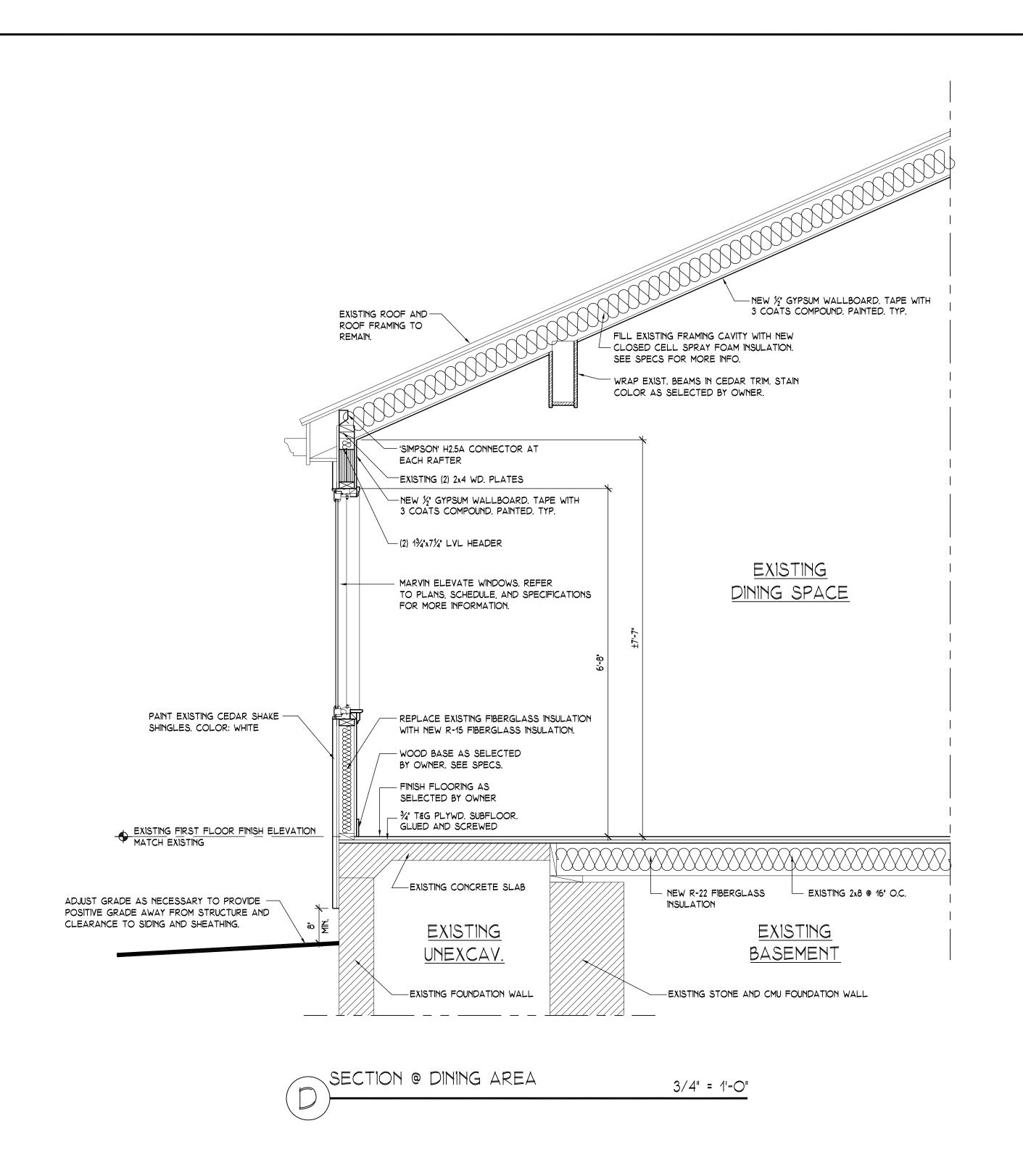
APRIL 14, 2021

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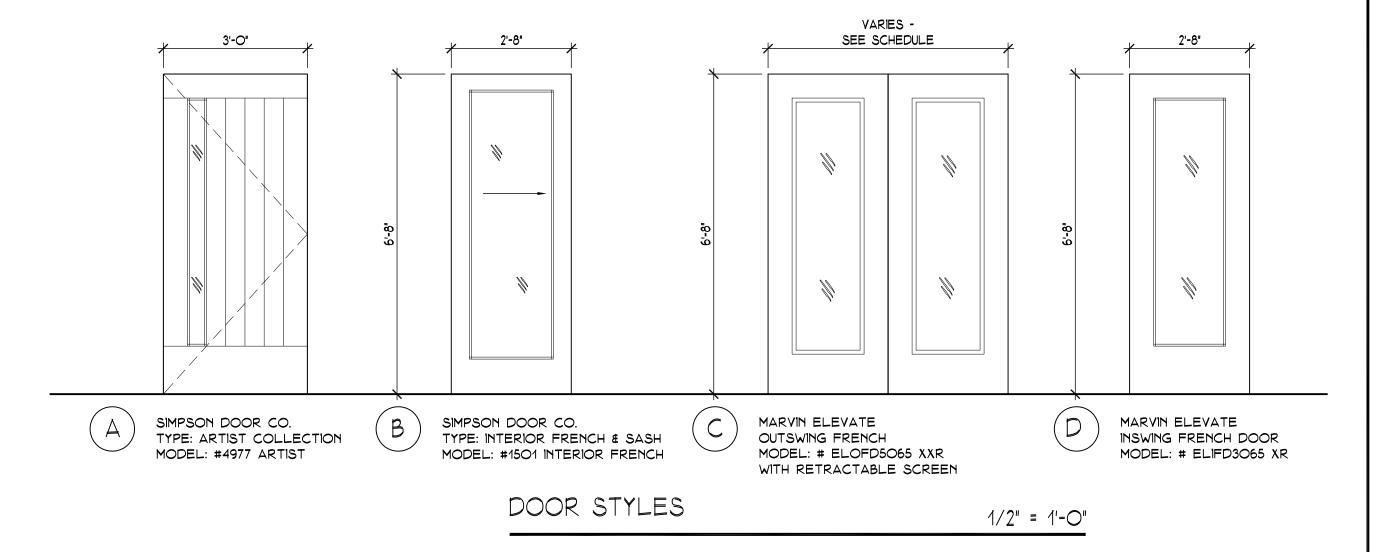
1. CONTRACTOR SHALL ADHERE TO ALL CODES, RULES AND REGULATIONS GOVERNING CONSTRUCTION AS SET BY AUTHORITIES HAVING JURISDICTION.

2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ON DRAWINGS SHALL TAKE PRECEDENCE.

3. CONTRACTOR TO VERIFY ALL DIMENSIONS, ROUGH OPENING SIZES AND OTHER PENETRATIONS AGAINST REQUIREMENTS OF SPECIFIED PRODUCTS, CONDITIONS, ELEVATIONS, ETC. PERTAINING TO WORK BEFORE PROCEEDING.

4. ALL OPENINGS SHALL BE CAULKED, SEALED, OR WEATHER STRIPPED.

5. PROVIDE SIMPSON CONNECTORS AT ALL FLUSH FRAMED CONDITIONS AND FOR POST BASES.



DOOR SCHEDULE							
DOOR			DOOR		DOOR SIZ	Έ	
NO.	ROOM FROM	ROOM TO	TYPE	W	Н	Т	NOTES
101	EXTERIOR	LIVING ROOM	А	3'-0"	6'-8"	13/4"	
102	LIVING ROOM	SUN ROOM	В	2'-8"	6'-8"	13/4"	WITH BARN DOOR TRACK. FROSTED GLASS
103	NEW DINING AREA	EXTERIOR	С	5'-0"	6'-8"	13/4"	
104	EXTERIOR	EXIST. DINING ROOM	D	3'-0"	6'-8"	13/4"	
105	EXIST. DINING AREA	NEW OFFICE	В	2'-8"	6'-8"	13/4"	WITH BARN DOOR TRACK. FROSTED GLASS

1. FINAL STYLE SELECTION BY OWNER. COORDINATE WITH OWNER. VERIFY ALL EXISTING AND NEW OPENINGS IN FIELD PRIOR TO ORDERING.

3. PROVIDE WEATHERSTRIPPING AROUND ALL EXTERIOR OPENINGS.

WINDOW SCHEDULE								
TAG								
NO.	R.O. SIZE	MODEL NO.	QUANTITY	NOTES				
A	2'-9"x3'-115%"	ELCA3447 E	2	(1) LEFT, (1) RIGHT				
B	4'-9"x3'-115%"	ELCAP5747	1	PICTURE WINDOW				
©	3'-5"x1'-7%"	ELAWN4119	4					
(D)	2'-5"x3'-115%"	ELAWN2947	4					
E	3'-5"x1'-75/8"	ELAWN4119	2	STACK AWNING WINDOWS. SEE EXTERIOR ELEVATIONS.				
	3'-5"x1-75/8"	ELCAP4119	2					
(F)	2'-5"x3'115%"	ELCA2947 E	3	(1) RIGHT, (2) STATIONARY				

- 1. FINAL STYLE SELECTION BY OWNER, COORDINATE WITH OWNER,
- VERIFY ALL EXISTING AND NEW OPENINGS IN FIELD PRIOR TO ORDERING. PROVIDE WEATHER STRIPPING AROUND ALL EXTERIOR OPENINGS.
- ALL WINDOWS WITH SILLS BELOW 18" AFF SHALL BE TEMPERED GLASS. 5. ALL WINDOWS WITH SILLS BELOW 24' AFF SHALL BE EQUIPPED WITH FALL
- CONTROL DEVICES IN ACCORDANCE WITH THE 2020 NEW YORK STATE RESIDENTIAL CODE.

6. ALL GLAZING IN BATHS LESS THAN 60' AFF SHALL BE TEMPERED.

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EET TITLE			
ECTIONS,	SCHEDULES,	AND	DETAILS

ALTERATIONS AND RENOVATIONS CARTY RESIDENCE 37 WHIPPOORWILL ROAD ARMONK, NEW YORK

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Stephanie E. Fox-Architect	AS SHOWN
11 ROSE LANE BREWSTER, NEW YORK 10509	REVISED JOB NO.

CARTY

DRAWING

TEL: 914.391.1514 E-MAIL: STEPHANIE.E.FOX@ME.COM www.FoxDesignsNY.com APRIL 14, 2021

