



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 37 Whippoorwill Road, Armonk, New York 10504

### Section III- DESCRIPTION OF WORK:

Renovate existing kitchen and living space. Renovate/repair existing sun room. Reinforce existing structure in basement.  
Remove existing chimney. Install new wood burning stove. Re-build existing front steps. Replace portion of existing windows.  
Repair/paint existing cedar shake siding.

### Section III- CONTACT INFORMATION:

APPLICANT: Stephanie Fox - Architect P.C.

ADDRESS: 11 Rose Lane, Brewster, New York 10509

PHONE: 845-259-3092 MOBILE: 914-391-1514 EMAIL: Stephanie.E.Fox@me.com

PROPERTY OWNER: Rachel and Keino Carty

ADDRESS: 37 Whippoorwill Road, Armonk, NY 10504

PHONE: \_\_\_\_\_ MOBILE: 917-562-5939 EMAIL: rachelandkeino@gmail.com

PROFESSIONAL: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

### Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 107.02-1-9



**Town of North Castle  
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan: Alterations and Renovations to the Carty Residence

Initial Submittal  Revised Preliminary

Street Location: 37 Whippoorwill Road, Armonk, NY 10504

Zoning District: R-2A Property Acreage: 1.81 acres Tax Map Parcel ID: 107.02-1-9

Date: 4-12-2021

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

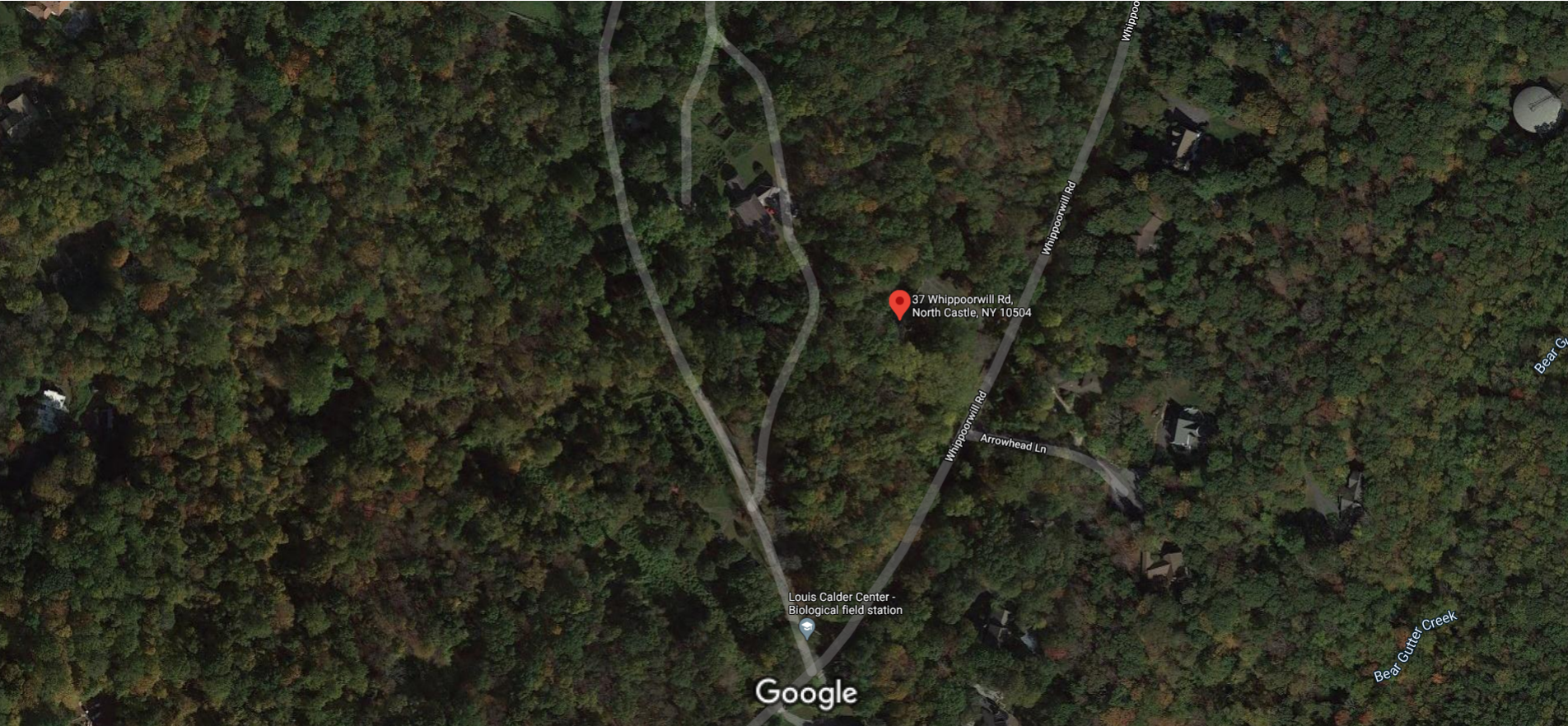
**RPRC COMPLETENESS REVIEW FORM**

Page 2

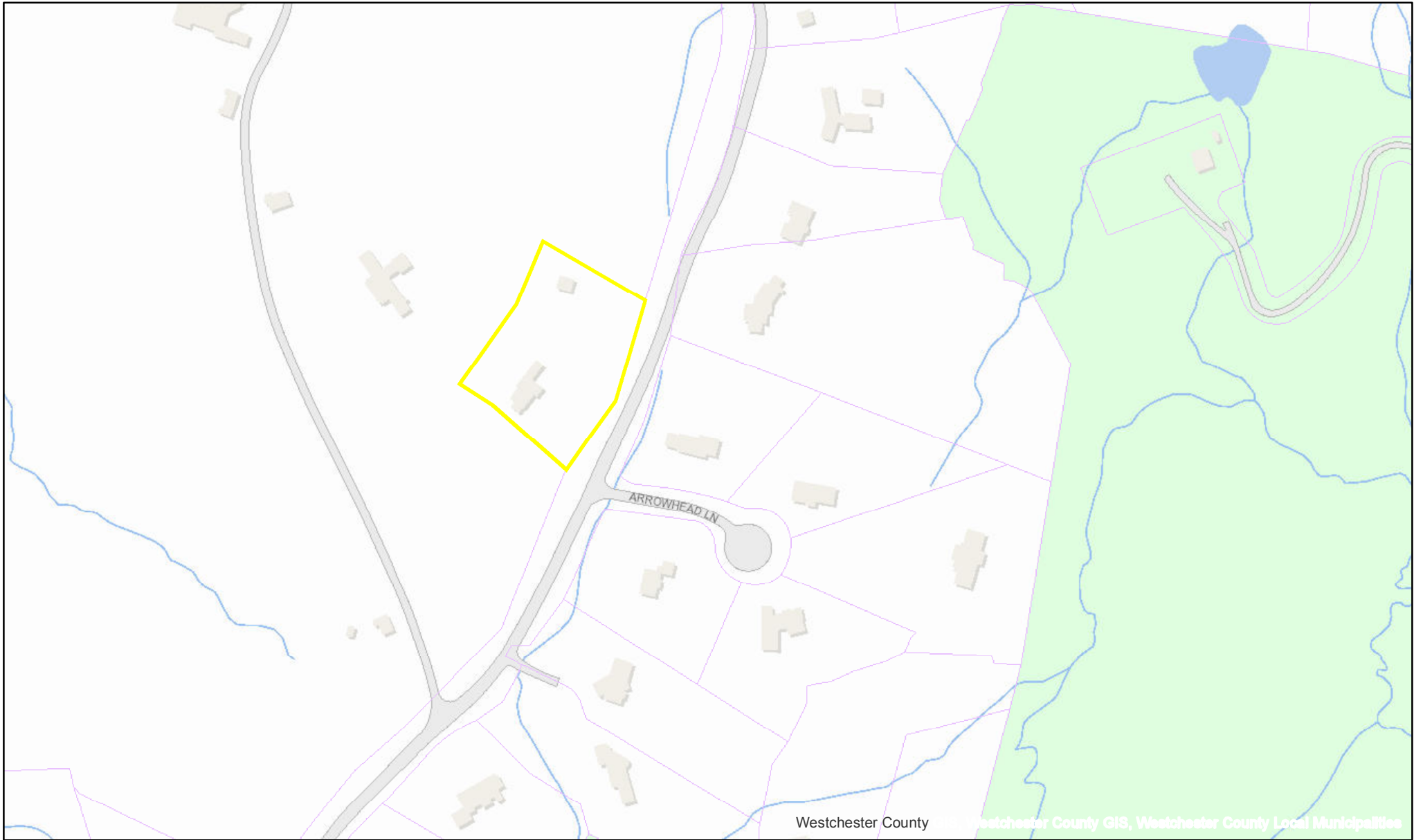
- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



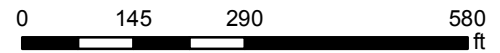
# 37 WHIPPOORWILL RD. ID: 107.02-1-9 (North Castle )



April 7, 2021

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

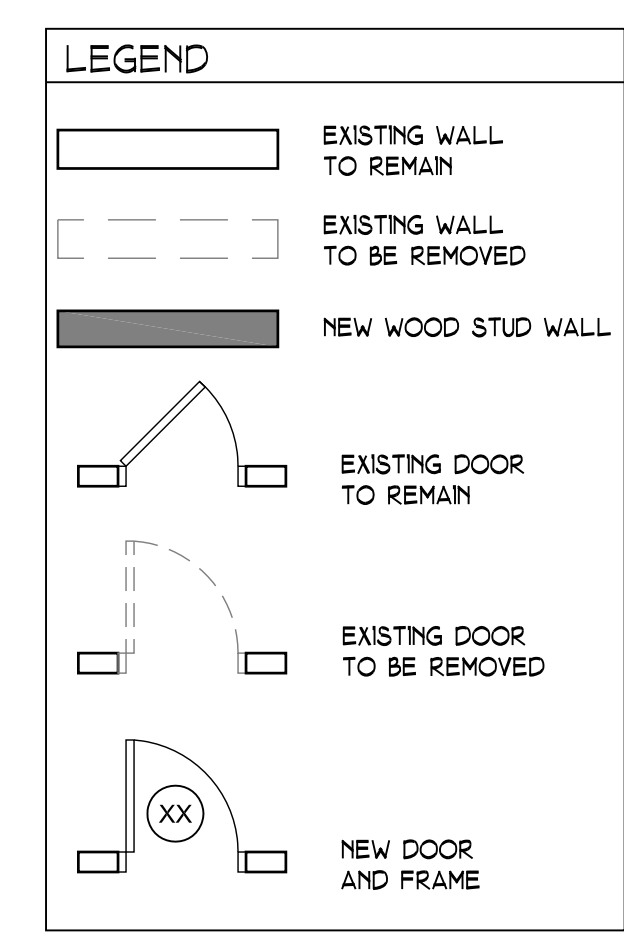
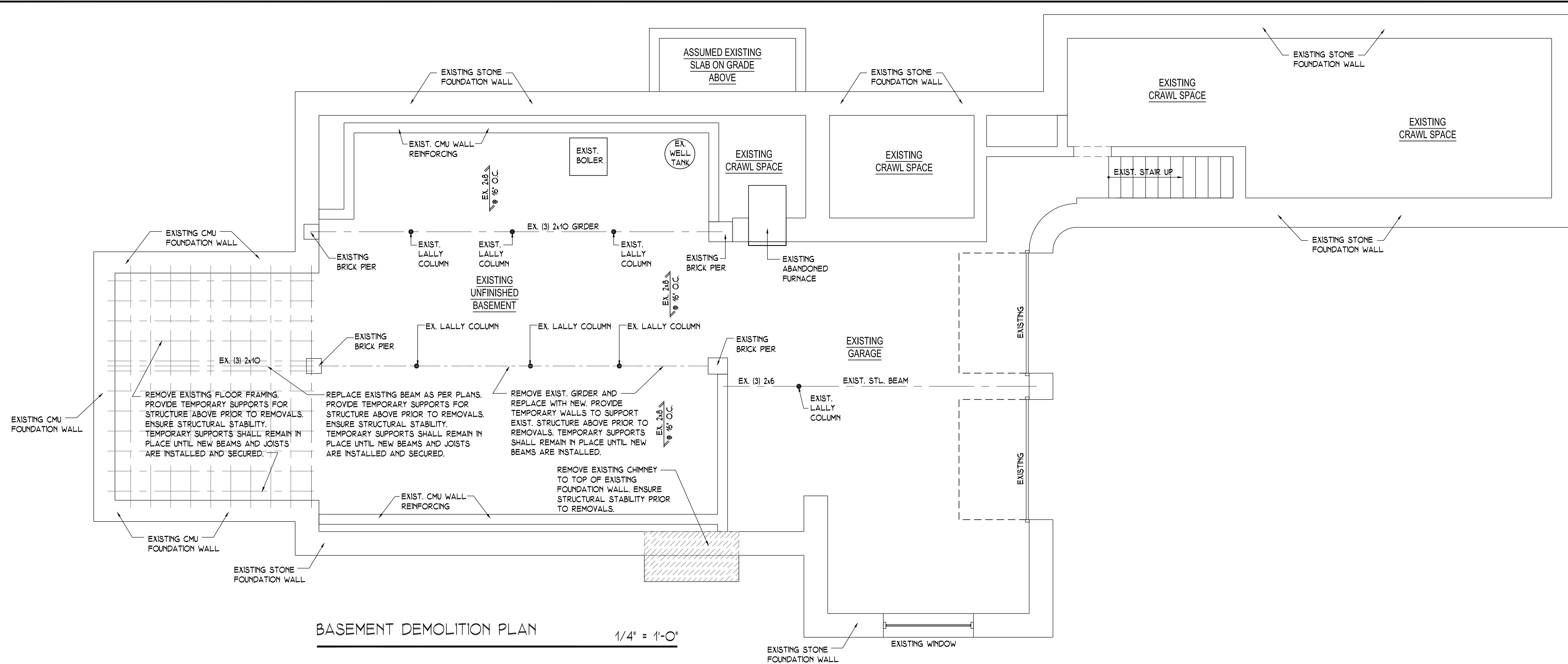
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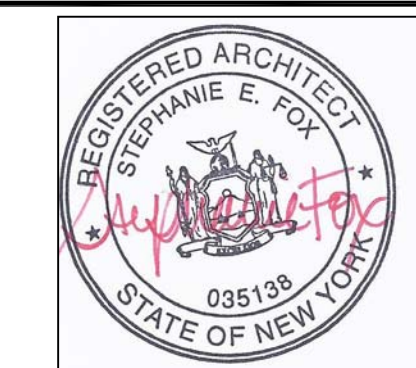
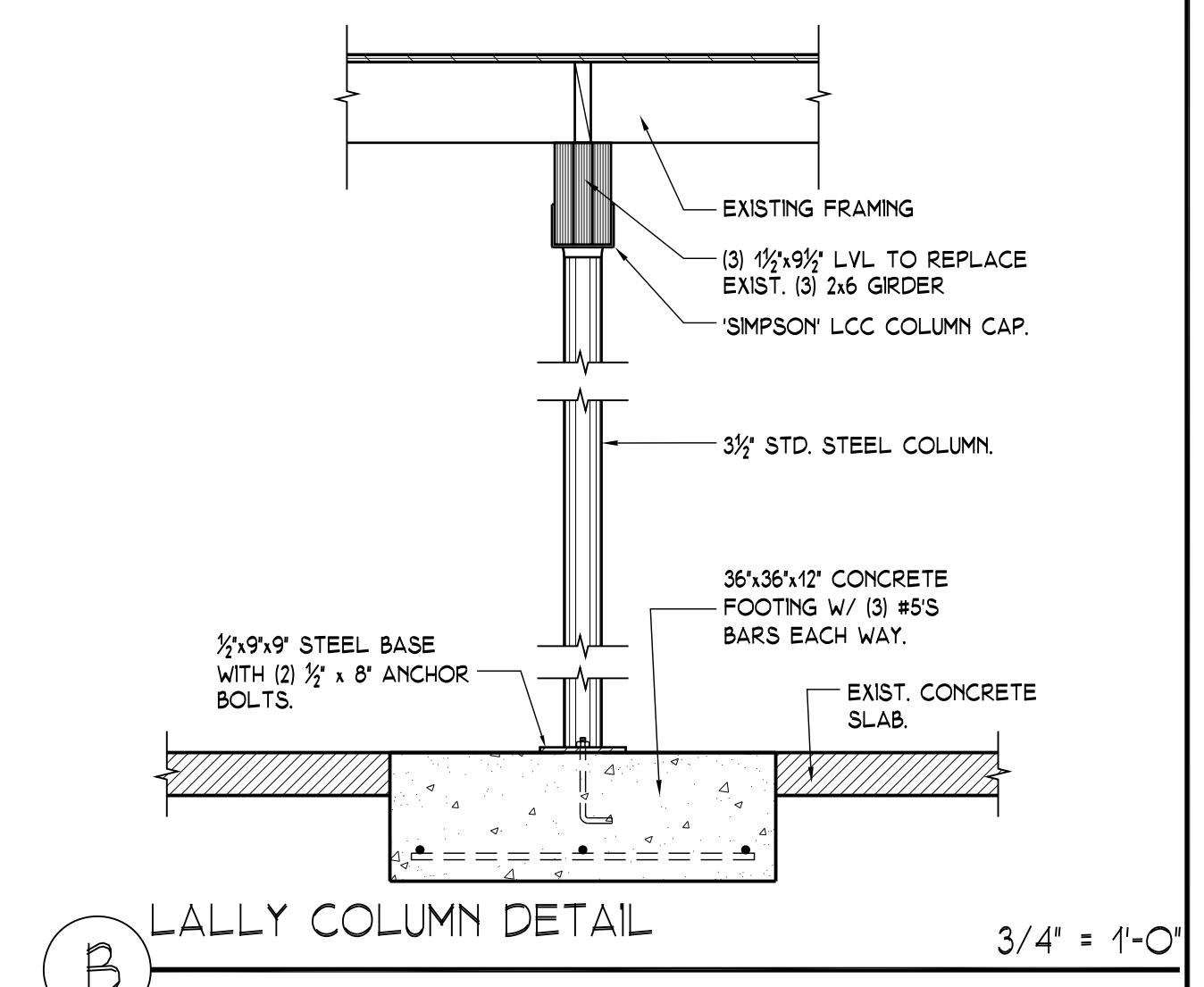
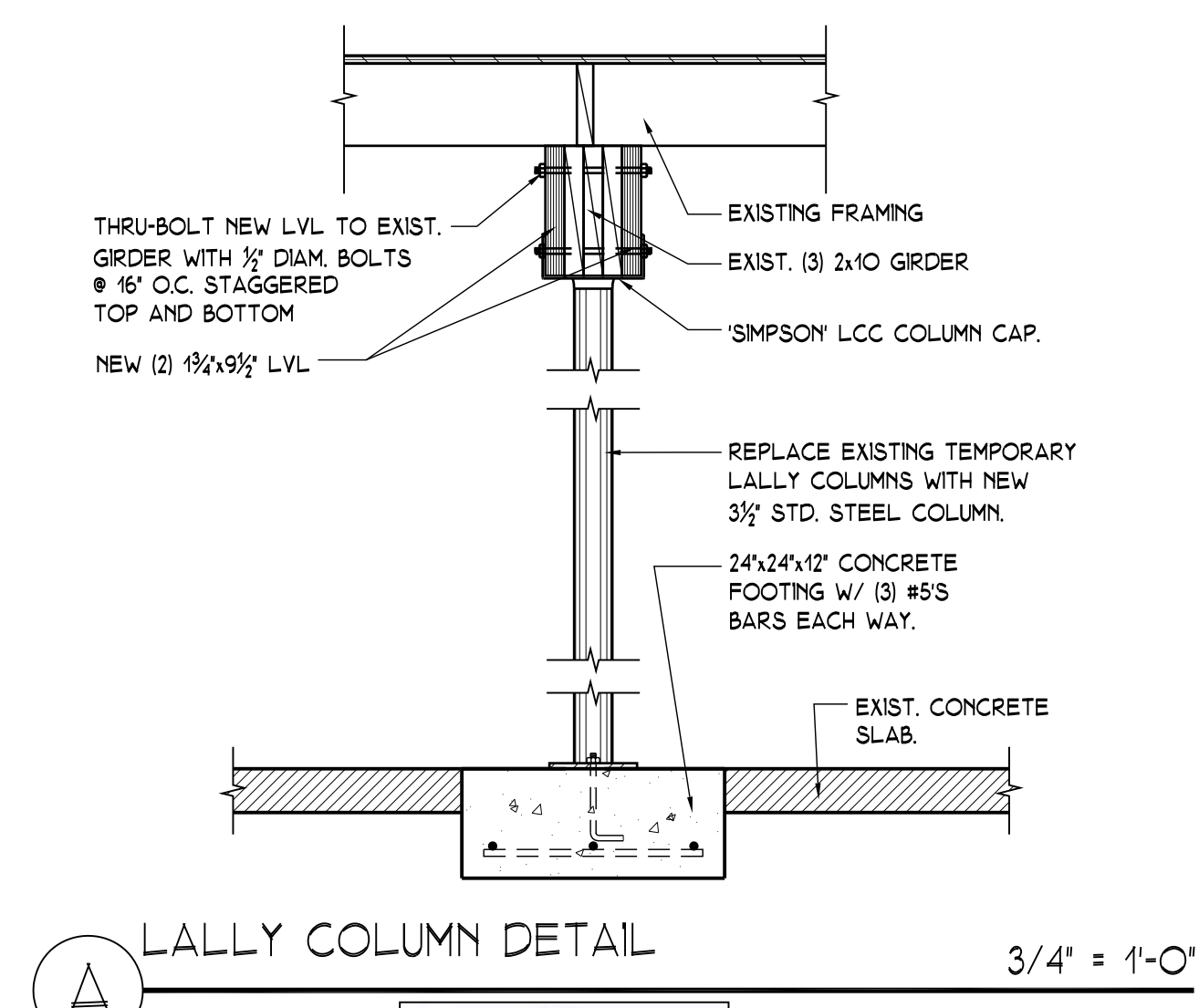
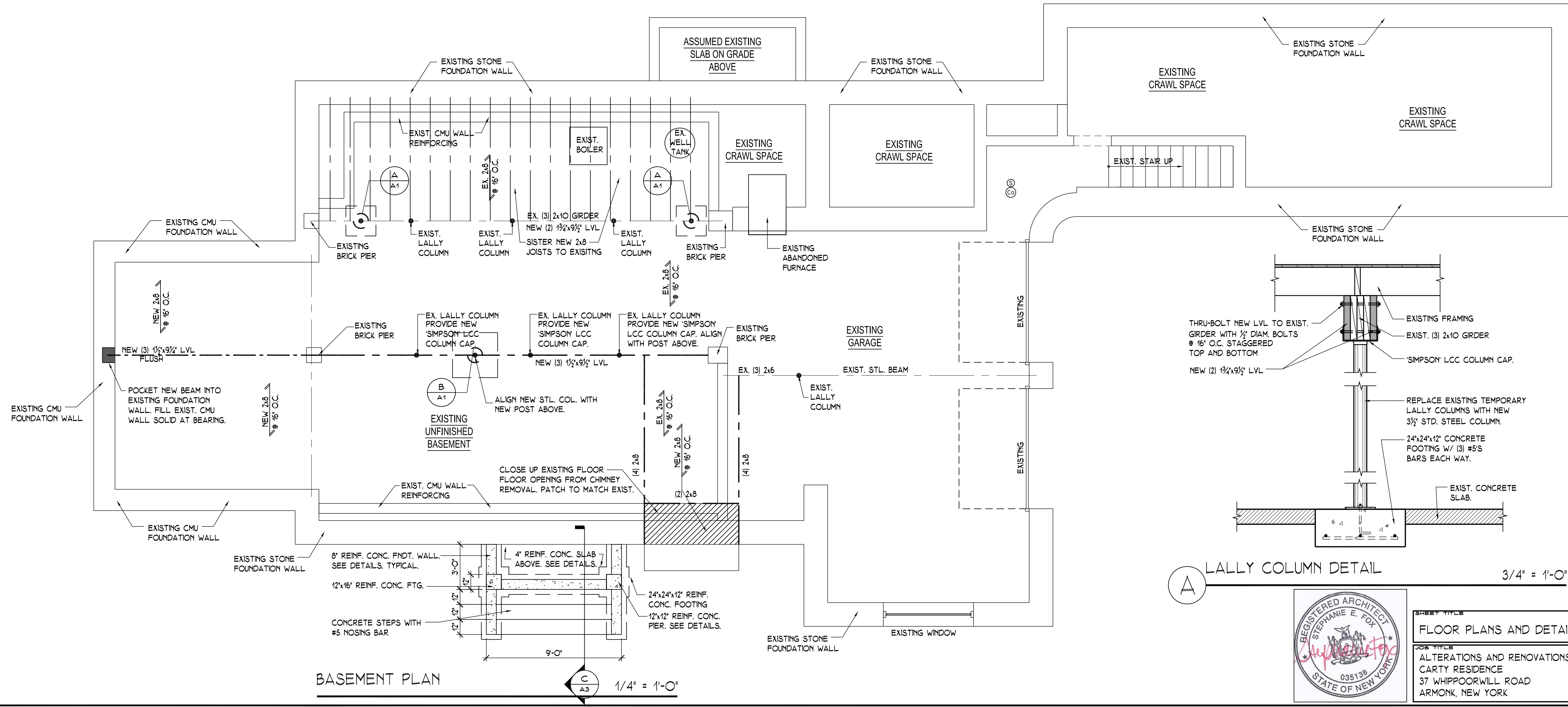
**Westchester County GIS**

**GIS** Geographic Information System  
<http://giswww.westchestergov.com>  
Michaelian Office Building  
148 Martine Avenue Rm 214  
White Plains, New York 10601





- NOTES:**
- CONTRACTOR SHALL ADHERE TO ALL CODES, RULES AND REGULATIONS GOVERNING CONSTRUCTION AS SET BY AUTHORITIES HAVING JURISDICTION.
  - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ON DRAWINGS SHALL TAKE PRECEDENCE.
  - CONTRACTOR TO VERIFY ALL DIMENSIONS, ROUGH OPENING SIZES AND OTHER PENETRATIONS AGAINST REQUIREMENTS OF SPECIFIED PRODUCTS, CONDITIONS, ELEVATIONS, ETC. PERTAINING TO WORK BEFORE PROCEEDING.
  - ALL OPENINGS SHALL BE CAULKED, SEALED, OR WEATHER STRIPPED.
  - PROVIDE SIMPSON CONNECTORS AT ALL FLUSH FRAMED CONDITIONS AND FOR POST BASES.
- CEILING FIXTURE LEGEND**
- SMOKE DETECTOR: 120V, BATTERY BACK UP, HARD-WIRED AND INTERCONNECTED SEE SPECS.
  - CARBON MONOXIDE DETECTOR. SEE SPECIFICATIONS.
  - PANASONIC WHISPER CEILING VENTILATION FAN, MODEL # FV-11VGS, 110 CFM OR EQ. VENT UP OR OUT TO EXTERIOR AS PER CODE REGULATIONS.



**PROJECT TITLE**  
FLOOR PLANS AND DETAILS

**JOB TITLE**  
ALTERATIONS AND RENOVATIONS  
CARTY RESIDENCE  
37 WHIPPOORWILL ROAD  
ARMONK, NEW YORK

**Stephanie E. Fox-Architect**  
11 ROSE LANE  
BREWSTER, NEW YORK 10809  
TEL: 914.391.1514  
E-MAIL: STEPHANIE.E.FOX@FOX.COM  
WWW.FOXDESIGNSNY.COM

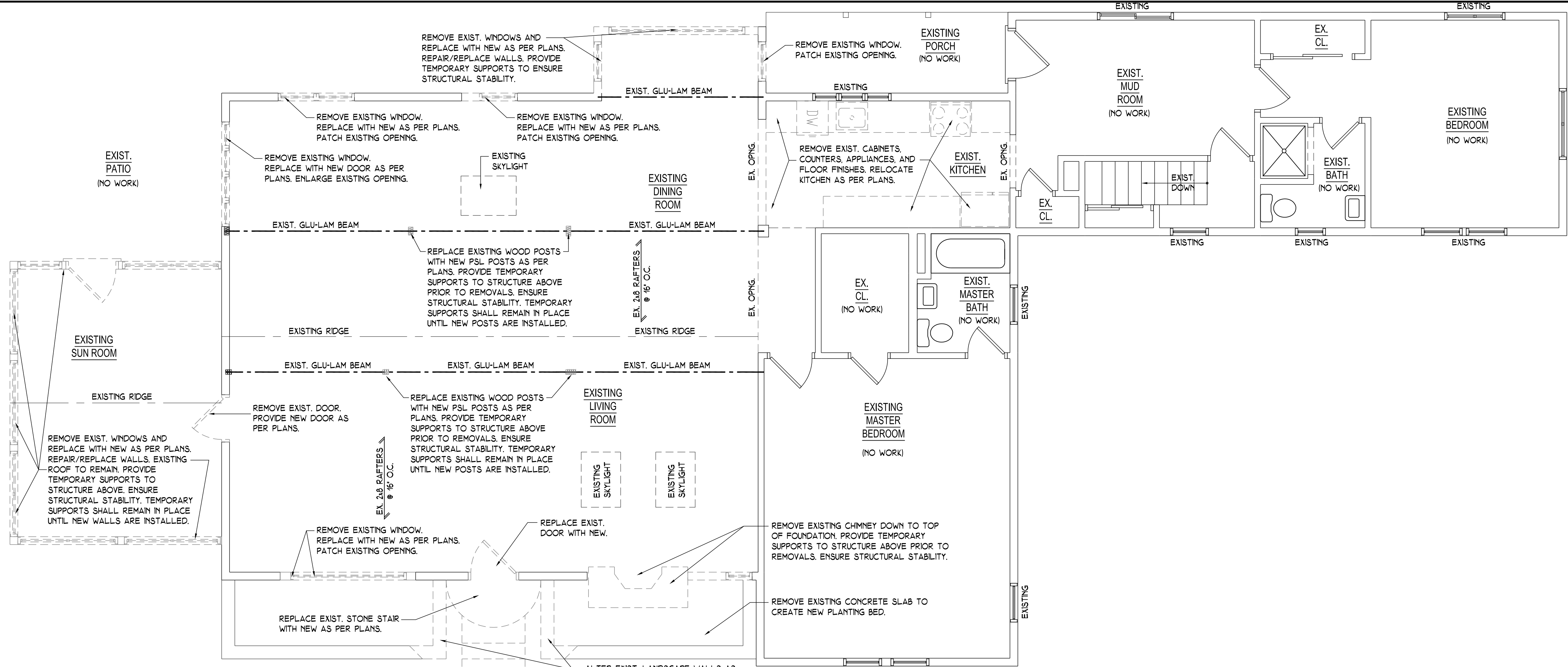
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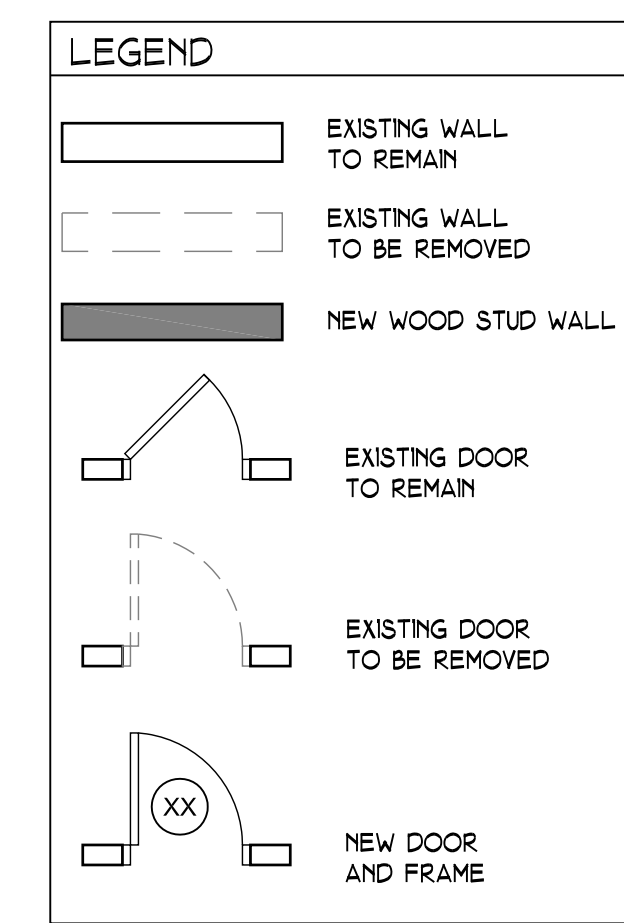
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**REVISIONS**

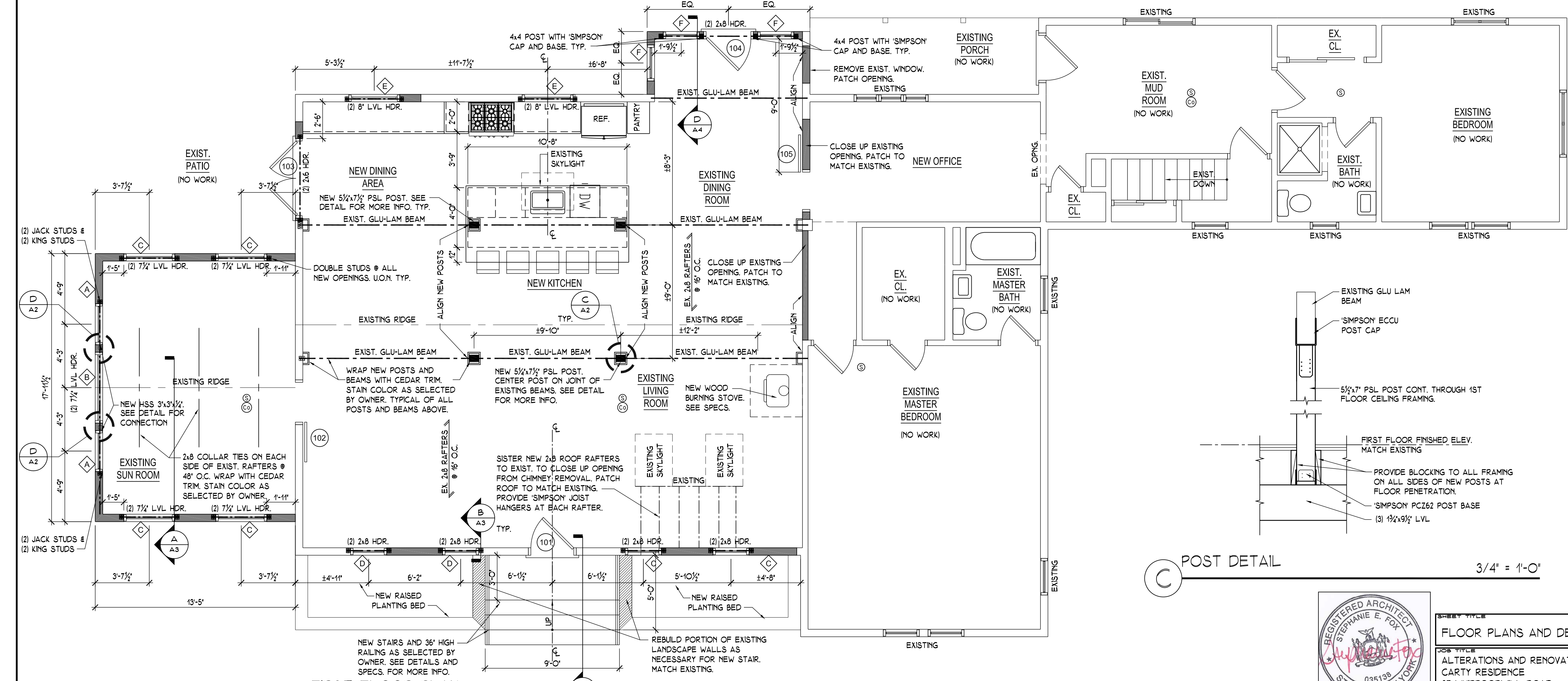
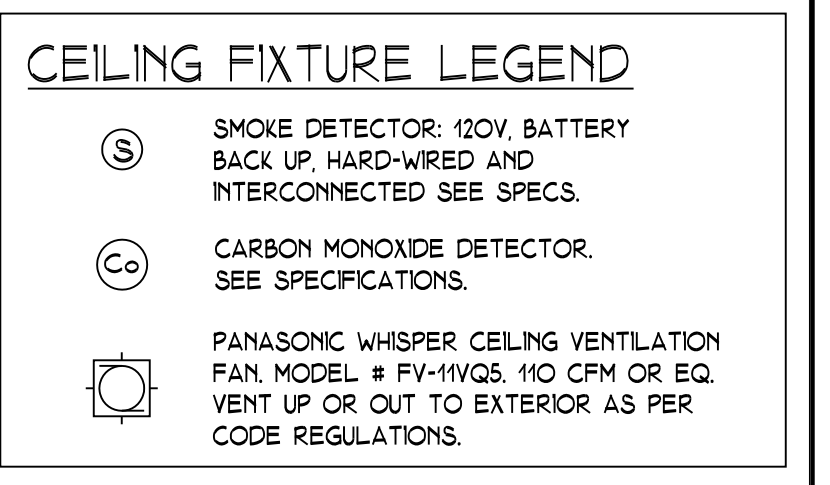
**JOB NO.** CARTY  
**DRAWING** A1



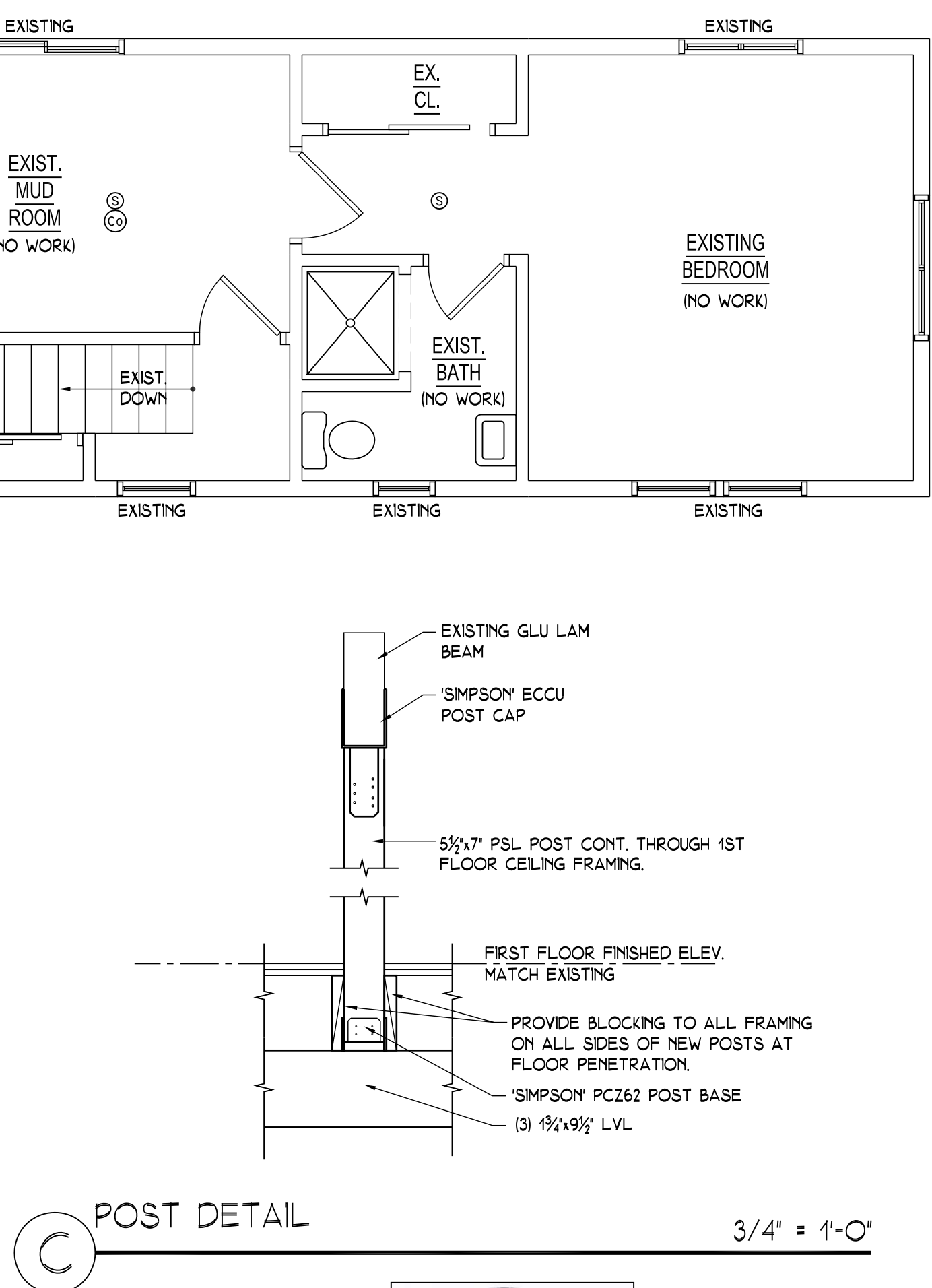
FIRST FLOOR DEMOLITION PLAN  
1/4" = 1'-0"



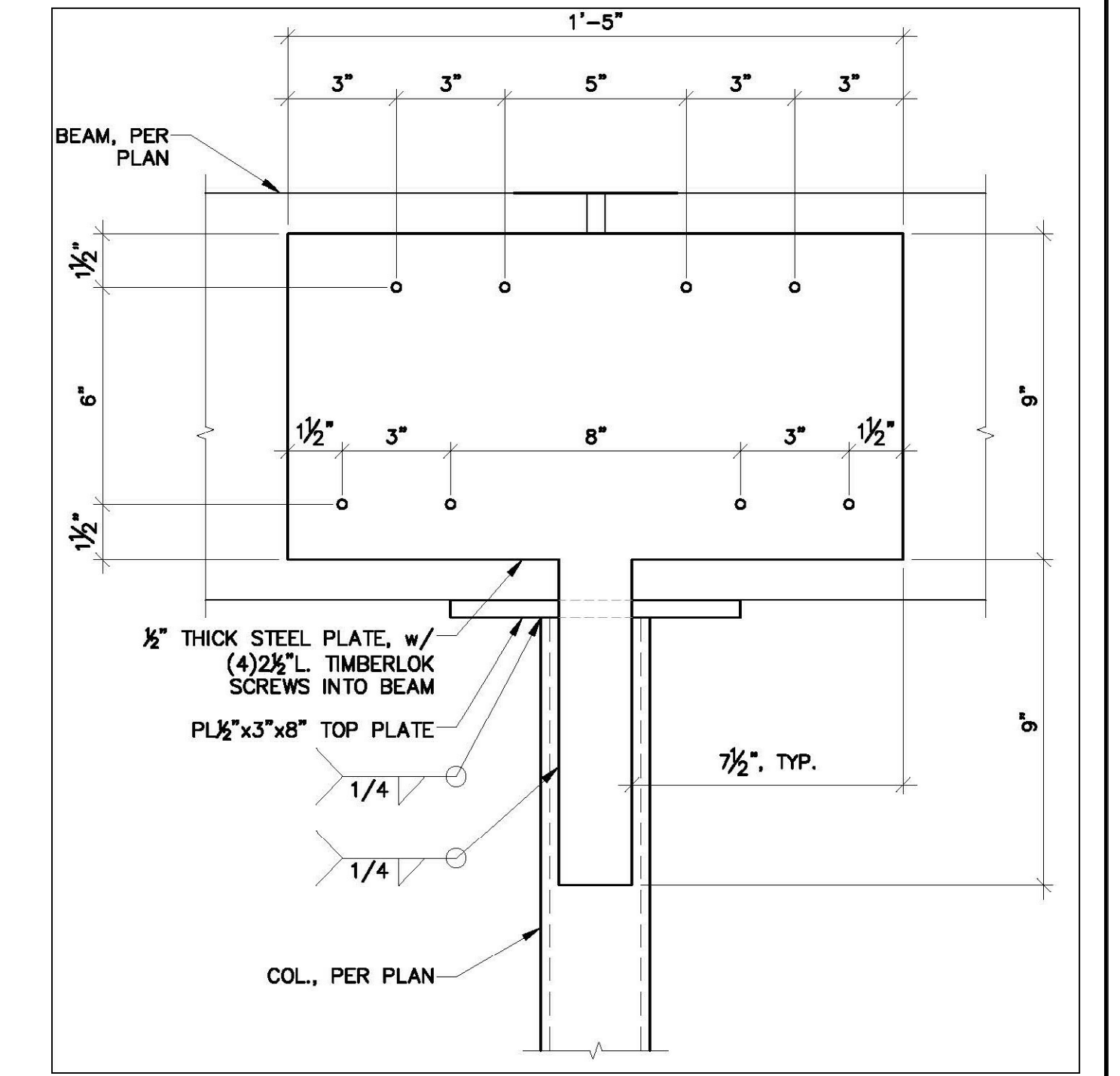
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FIRST FLOOR PLAN  
1/4" = 1'-0"



C POST DETAIL  
3/4" = 1'-0"



D MOMENT CONNECTION DETAIL  
3" = 1'-0"



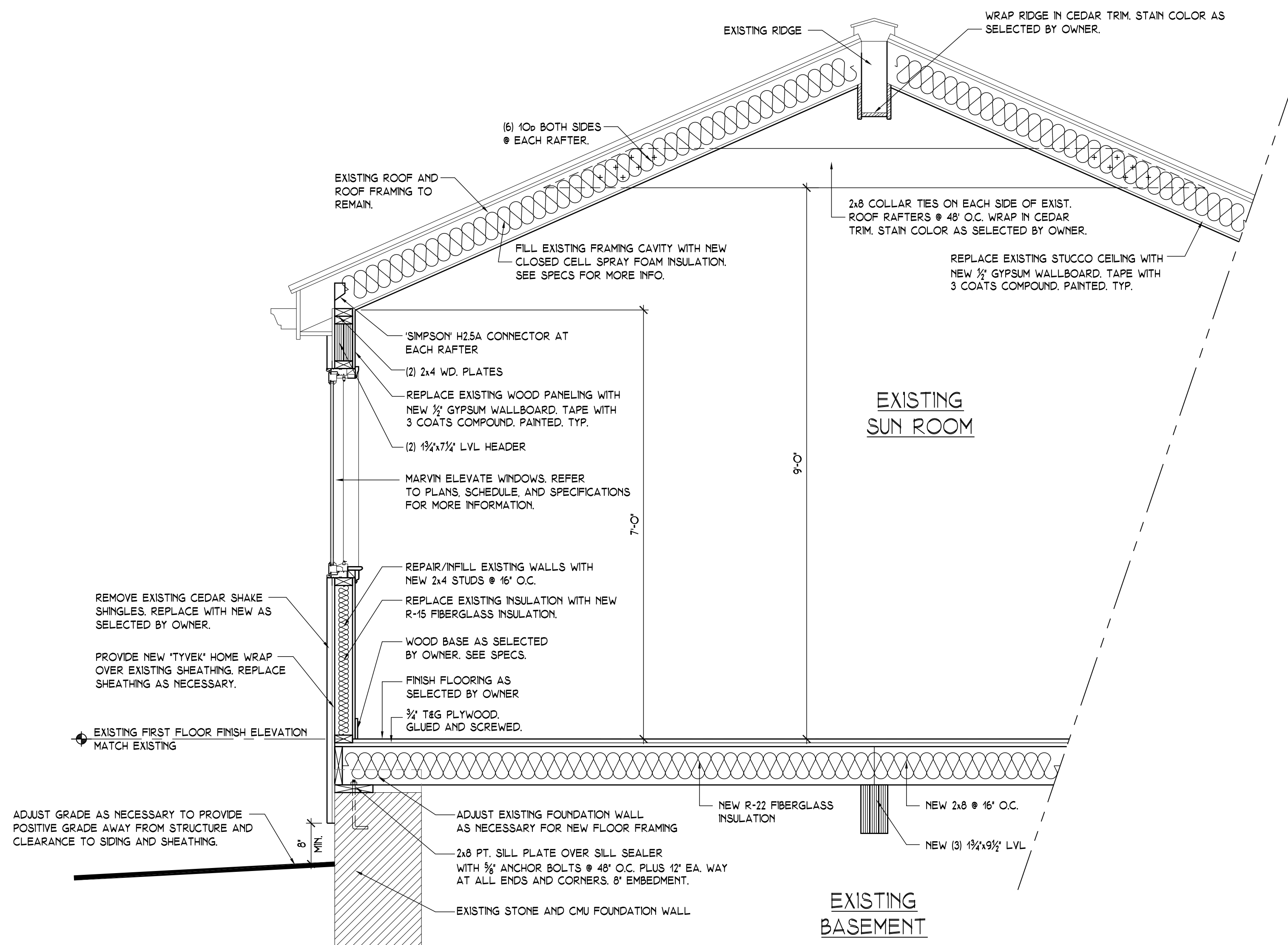
**STEPHIE**  
FLOOR PLANS AND DETAILS  
ALTERATIONS AND RENOVATIONS  
CARTY RESIDENCE  
37 WHIPPOORWILL ROAD  
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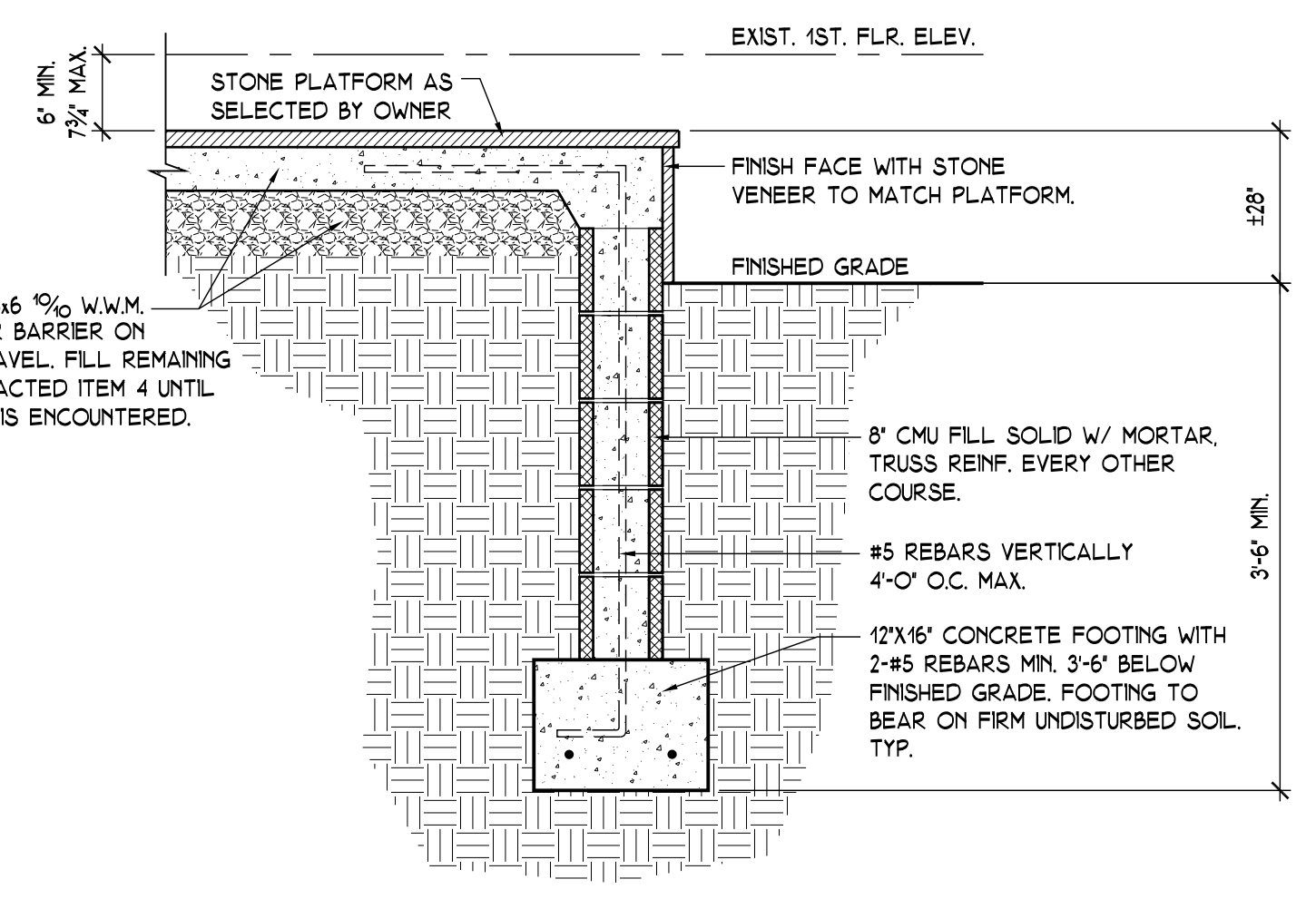
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SCALE: AS SHOWN  
JOB NO. CARTY  
DRAWING: A2  
DRAWN: SHF  
DATE: APRIL 14, 2021



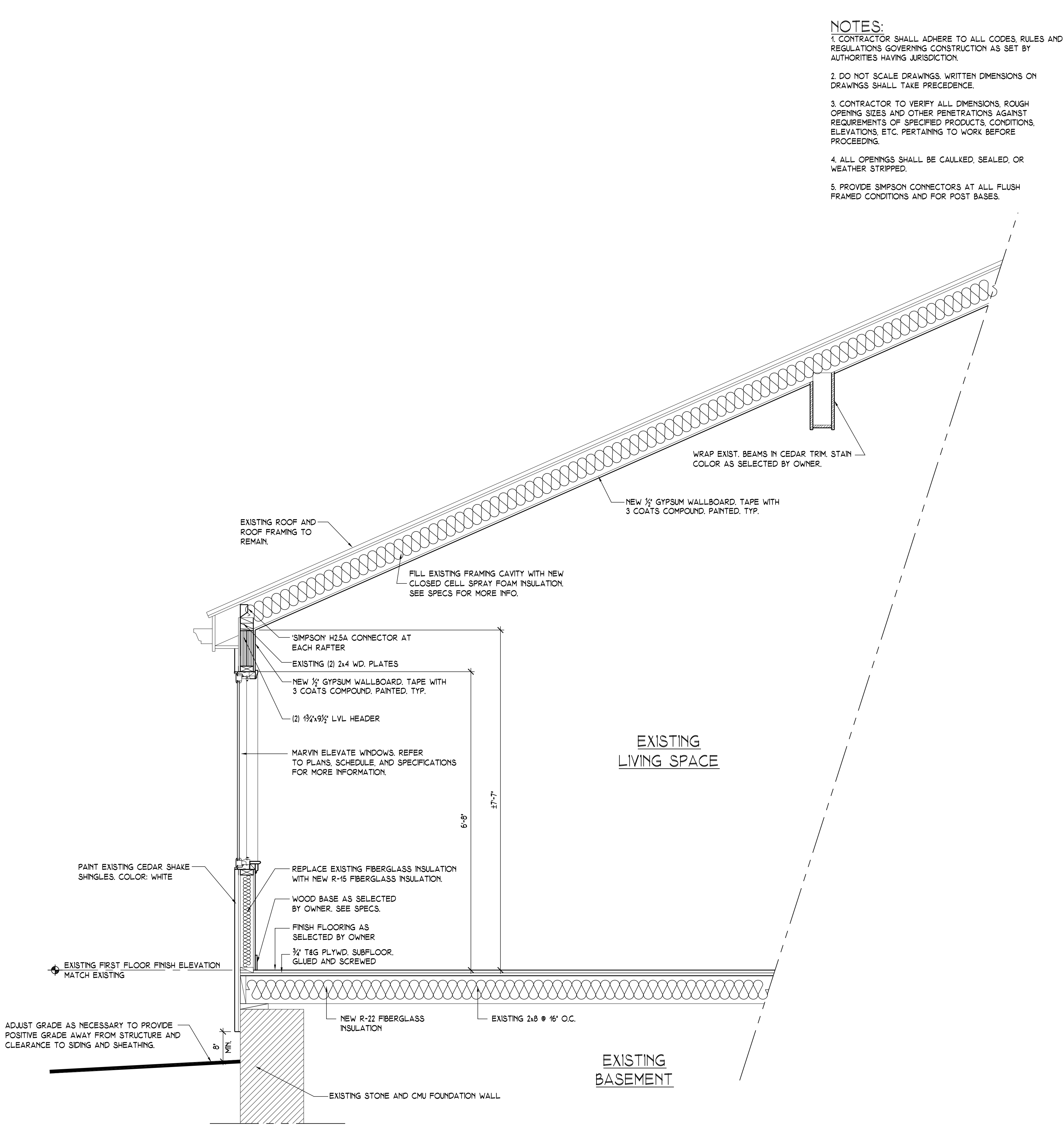
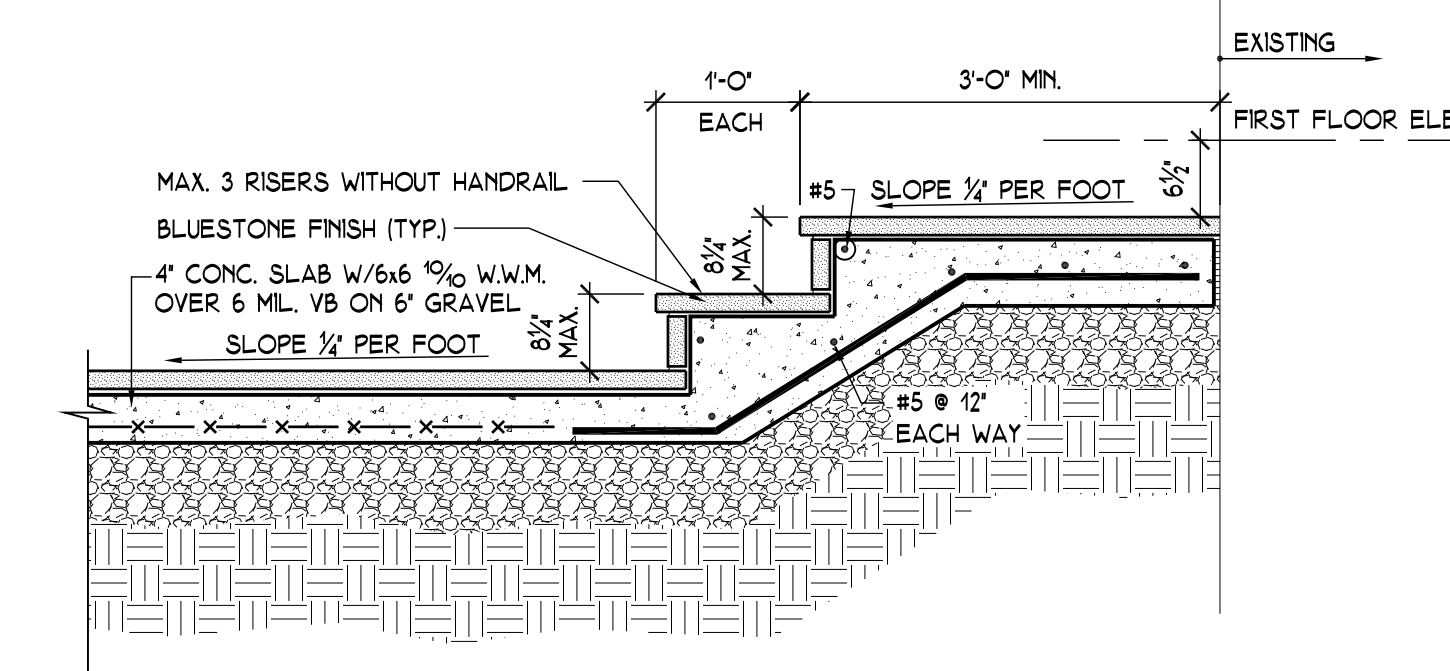
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**A** SECTION @ SUN ROOM 3/4" = 1'-0"



**C** SECTIONS @ NEW ENTRY STAIR 3/4" = 1'-0"



**B** TYPICAL SECTION 3/4" = 1'-0"



**SECTION TITLE**  
SECTIONS AND DETAILS

**JOB TITLE**  
ALTERATIONS AND RENOVATIONS  
CARTY RESIDENCE  
37 WHIPPOORWILL ROAD  
ARMONK, NEW YORK

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**DATE**  
APRIL 14, 2021

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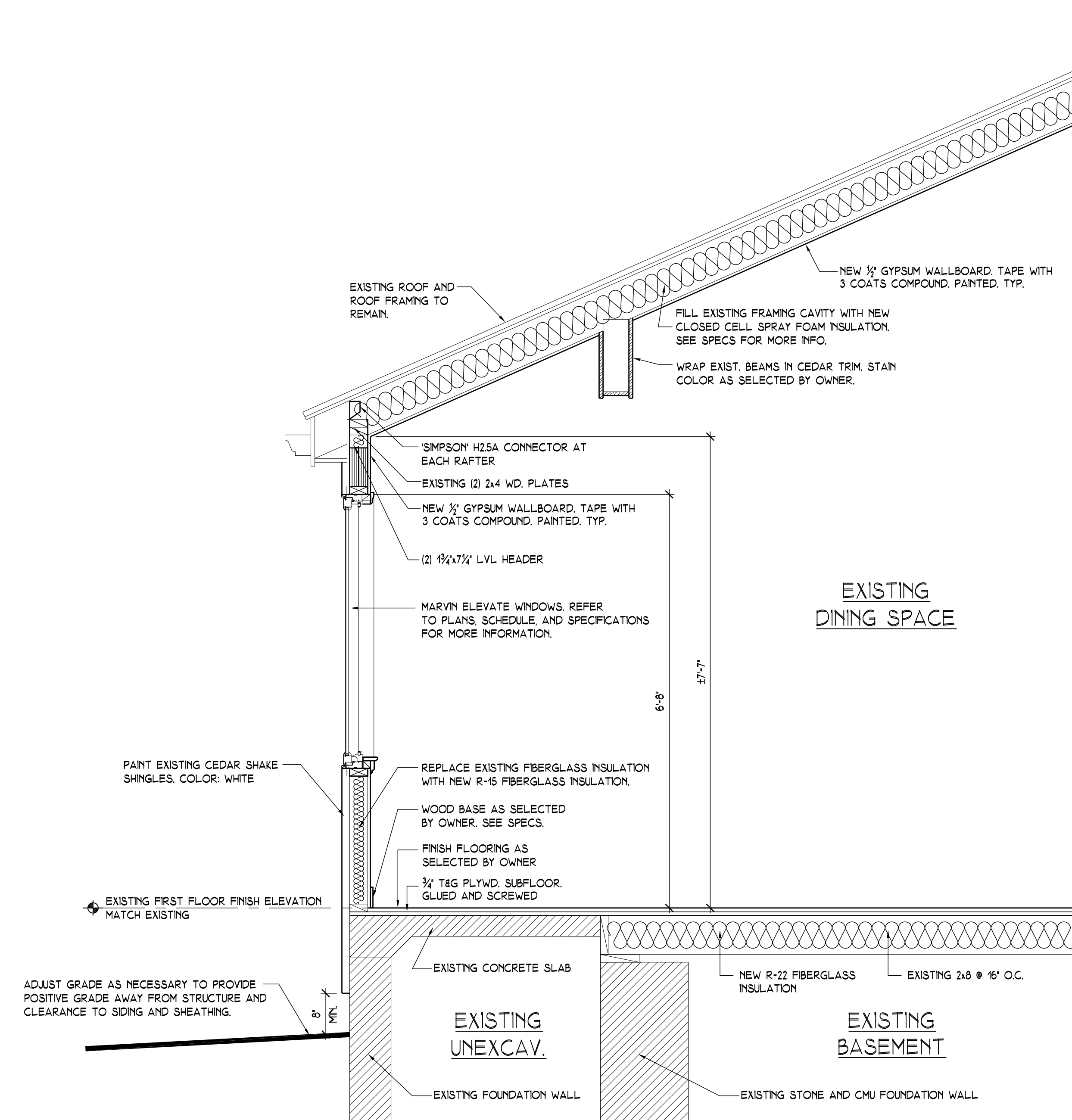
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**REVISIONS**

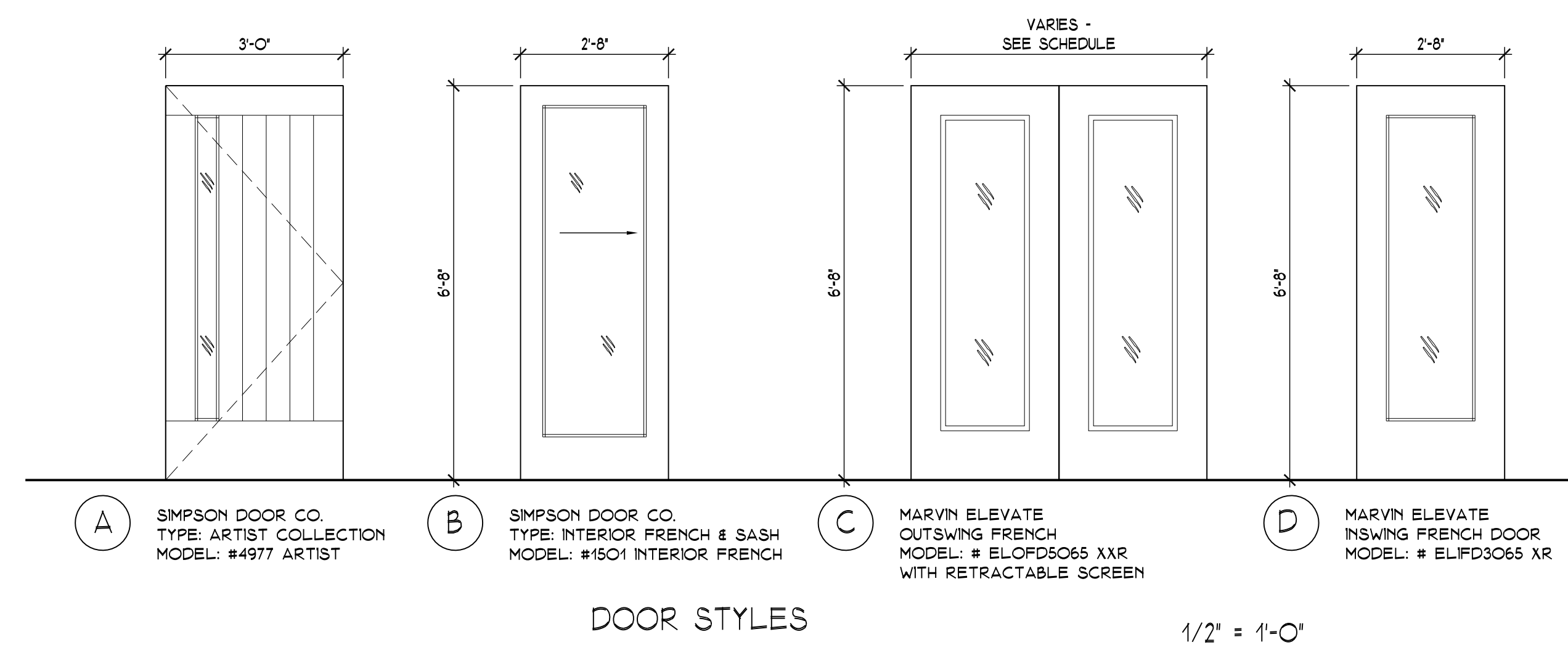
**JOB NO.**  
CARTY

**DRAWING**  
A3

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**D** SECTION @ DINING AREA 3/4" = 1'-0"



**DOOR STYLES** 1/2" = 1'-0"

| DOOR SCHEDULE |                    |                    |           |           |       |        |                                     |
|---------------|--------------------|--------------------|-----------|-----------|-------|--------|-------------------------------------|
| DOOR NO.      | ROOM FROM          | ROOM TO            | DOOR TYPE | DOOR SIZE |       |        | NOTES                               |
|               |                    |                    |           | W         | H     | T      |                                     |
| 101           | EXTERIOR           | LIVING ROOM        | A         | 3'-0"     | 6'-8" | 1 1/2" |                                     |
| 102           | LIVING ROOM        | SUN ROOM           | B         | 2'-8"     | 6'-8" | 1 1/2" | WITH BARN DOOR TRACK, FROSTED GLASS |
| 103           | NEW DINING AREA    | EXTERIOR           | C         | 5'-0"     | 6'-8" | 1 1/2" |                                     |
| 104           | EXTERIOR           | EXIST. DINING ROOM | D         | 3'-0"     | 6'-8" | 1 1/2" |                                     |
| 105           | EXIST. DINING AREA | NEW OFFICE         | B         | 2'-8"     | 6'-8" | 1 1/2" | WITH BARN DOOR TRACK, FROSTED GLASS |

- NOTES:**
1. FINAL STYLE SELECTION BY OWNER. COORDINATE WITH OWNER.
  2. VERIFY ALL EXISTING AND NEW OPENINGS IN FIELD PRIOR TO ORDERING.
  3. PROVIDE WEATHERSTRIPPING AROUND ALL EXTERIOR OPENINGS.

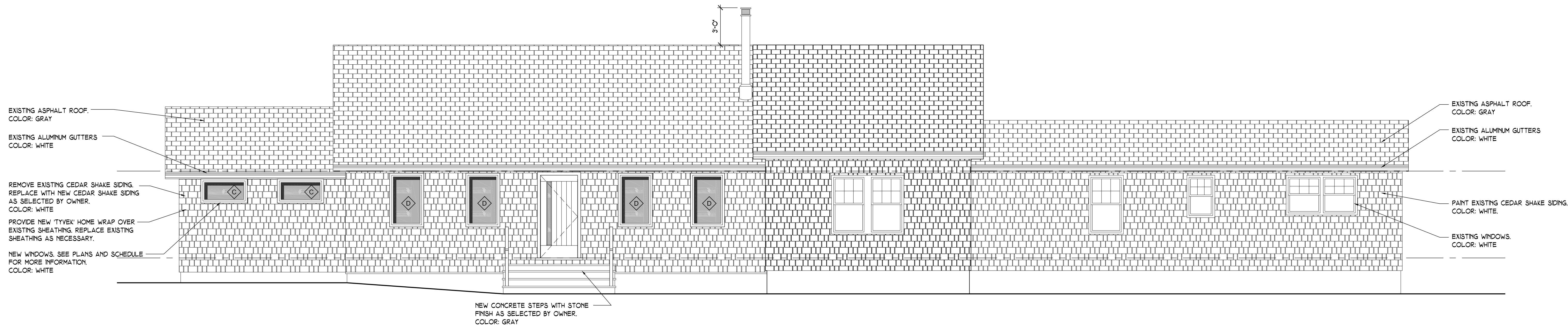
| WINDOW SCHEDULE |                 |            |          |  |
|-----------------|-----------------|------------|----------|--|
| TAG NO.         | R.O. SIZE       | MODEL NO.  | QUANTITY | NOTES  |
| A               | 2'-9x3'-11 1/2" | ELCA3447 E | 2        | (1) LEFT, (1) RIGHT                            |
| B               | 4'-9x3'-11 1/2" | ELCAP5747  | 1        | PICTURE WINDOW                                 |
| C               | 3'-5x1'-7 3/4"  | ELAWN4119  | 4        |  |
| D               | 2'-5x3'-11 1/2" | ELAWN2947  | 4        |  |
| E               | 3'-5x1'-7 3/4"  | ELAWN4119  | 2        | STACK AWNING WINDOWS. SEE EXTERIOR ELEVATIONS. |
|                 | 3'-5x1'-7 3/4"  | ELCAP4119  | 2        |  |
| F               | 2'-5x3'-11 1/2" | ELCA2947 E | 3        | (1) RIGHT, (2) STATIONARY                      |

- NOTES:**
1. FINAL STYLE SELECTION BY OWNER. COORDINATE WITH OWNER.
  2. VERIFY ALL EXISTING AND NEW OPENINGS IN FIELD PRIOR TO ORDERING.
  3. PROVIDE WEATHER STRIPPING AROUND ALL EXTERIOR OPENINGS.
  4. ALL WINDOWS WITH SILLS BELOW 18" AFF SHALL BE TEMPERED GLASS.
  5. ALL WINDOWS WITH SILLS BELOW 24" AFF SHALL BE EQUIPPED WITH FALL CONTROL DEVICES IN ACCORDANCE WITH THE 2020 NEW YORK STATE RESIDENTIAL CODE.
  6. ALL GLAZING IN BATHS LESS THAN 60" AFF SHALL BE TEMPERED.

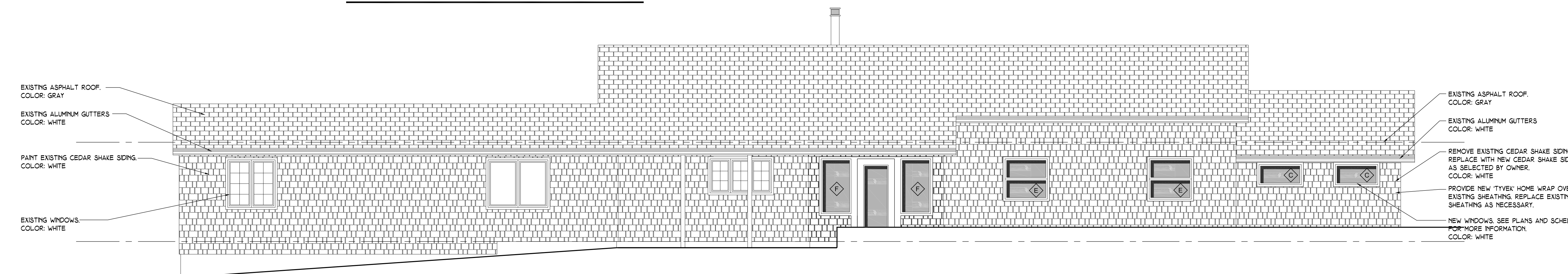


|  |  |                     |  |
|--|--|---------------------|--|
| <b>PROJECT TITLE</b><br>SECTIONS, SCHEDULES, AND DETAILS | <b>Stephanie E. Fox-Architect</b><br>11 ROSE LANE<br>BREWSTER, NEW YORK 10809<br>TEL: 914.391.1514<br>E-MAIL: STEPHANIE.E.FOX@FOXARCH.COM<br>WWW.FOXDESIGNNY.COM |                     | © 2021 STEPHANIE E. FOX-ARCHITECT<br>ALL RIGHTS RESERVED |
|  | <b>JOB TITLE</b><br>ALTERATIONS AND RENOVATIONS<br>CARTY RESIDENCE<br>37 WHIPPOORWILL ROAD<br>ARMONK, NEW YORK   | <b>DRAWN</b><br>SHF | <b>DATE</b><br>APRIL 14, 2021                            |

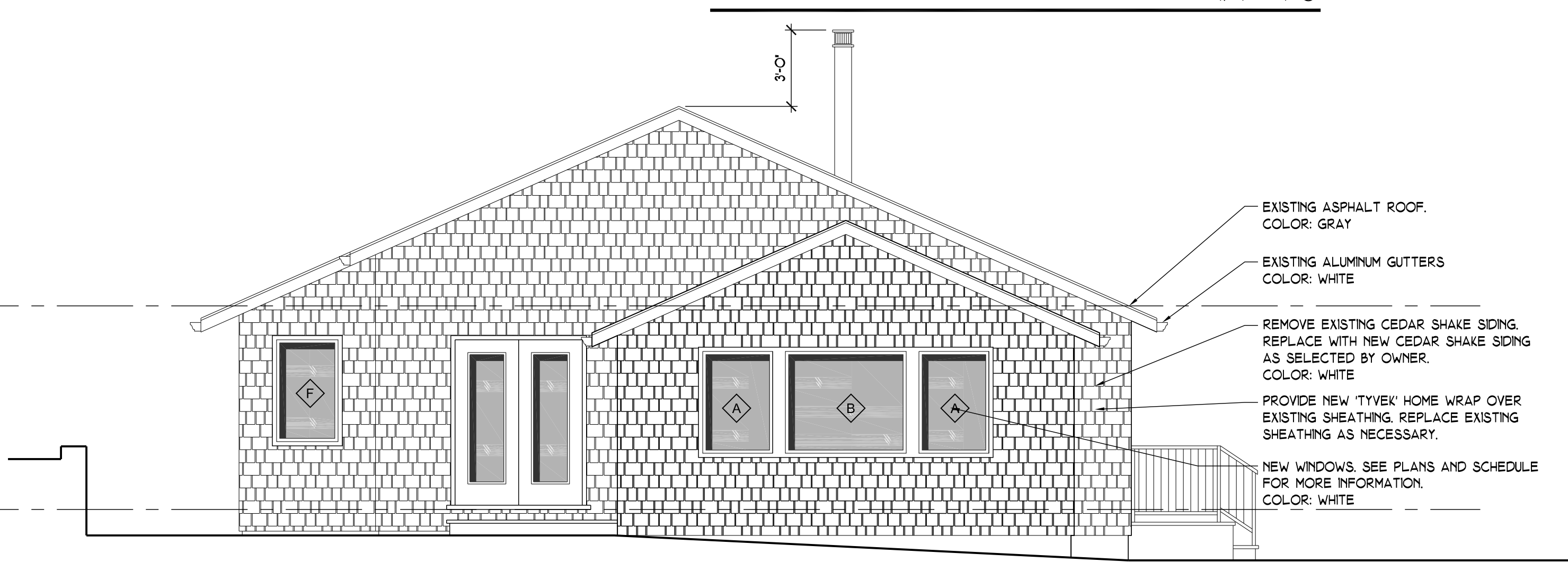
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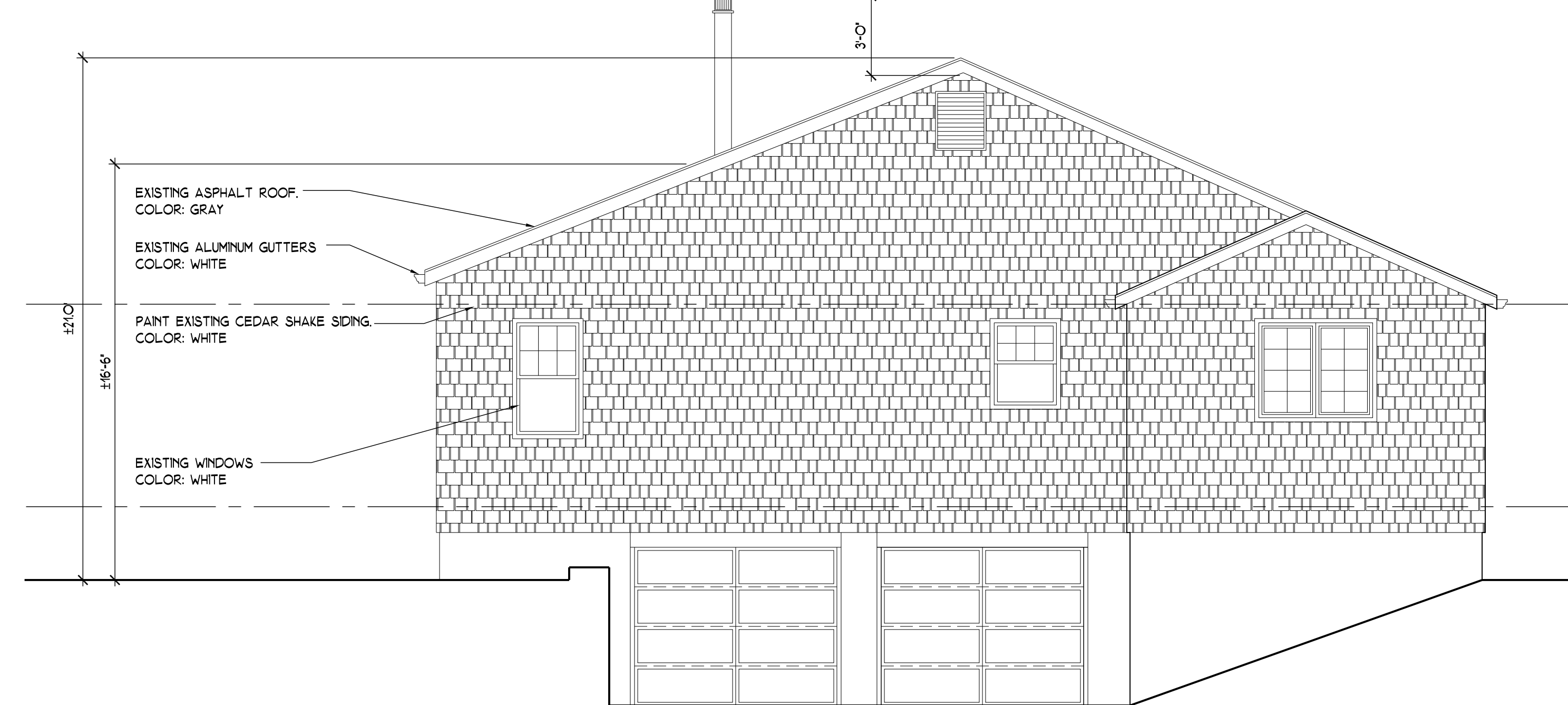
PROPOSED FRONT ELEVATION 1/4" = 1'-0"



PROPOSED REAR ELEVATION 1/4" = 1'-0"



PROPOSED SOUTH SIDE ELEVATION 1/4" = 1'-0"



PROPOSED NORTH SIDE ELEVATION 1/4" = 1'-0"



|                             |  |
|-----------------------------|--|
| SHEET TITLE                 |  |
| EXTERIOR ELEVATIONS         |  |
| JOB TITLE                   |  |
| ALTERATIONS AND RENOVATIONS |  |
| CARTY RESIDENCE             |  |
| 37 WHIPPOORWILL ROAD        |  |
| ARMONK, NEW YORK            |  |

|                                 |                |
|---------------------------------|----------------|
| Stephanie E. Fox-Architect      |                |
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| WWW.FOXDESIGNNY.COM             |                |
| DRAWN                           | DATE           |
| SHF                             | APRIL 14, 2021 |

|  |         |
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| SCALE AS SHOWN   |         |
| REVISED  | JOB NO. |
|  | CARTY   |
| DRAWING  |         |
|  | A5      |