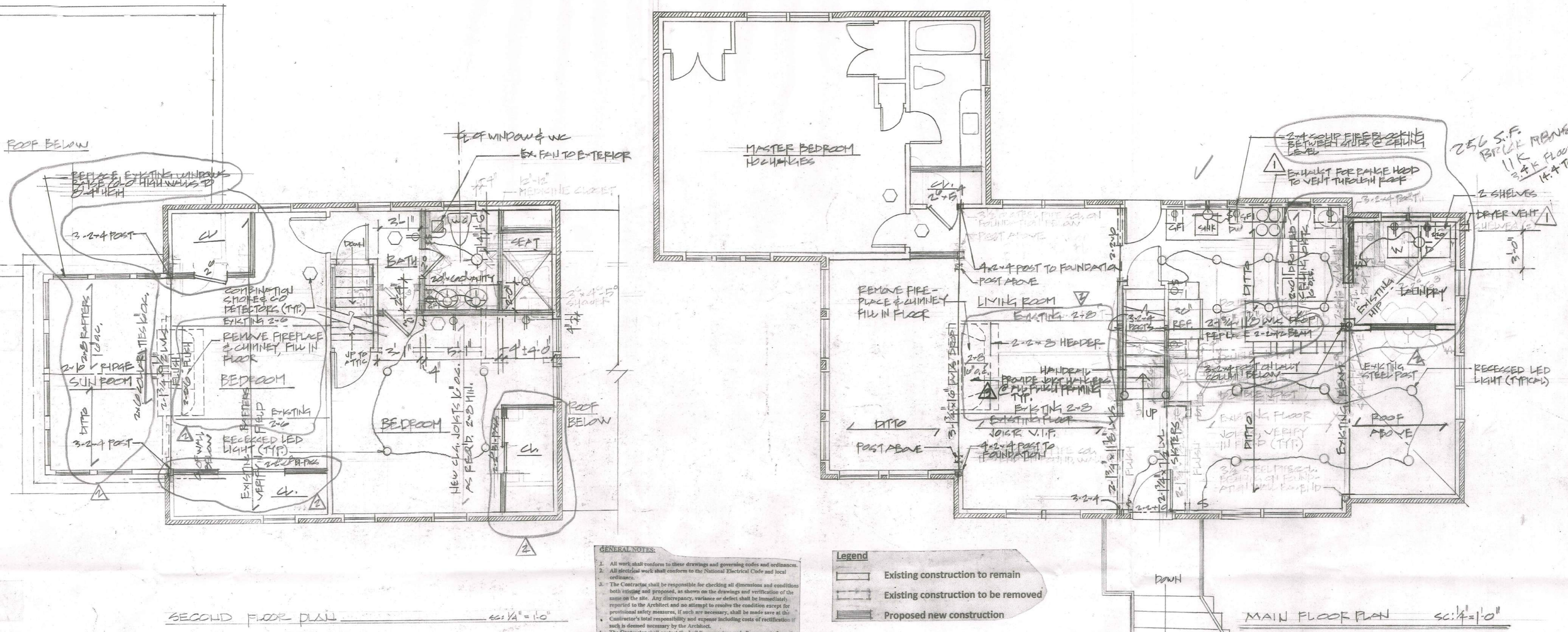


- Additional notes:**
- 1) This is a 2020 Residential Code of New York-alteration level 2 and shall comply with (NY) APPENDIX J for EXISTING BUILDINGS AND STRUCTURES (NY) SECTION AJ601 ALTERATIONS-LEVEL 2
 - 2) Electrical wiring install shall comply with NFPA 70 and applicable sections of the NEC. Electrical: lighting equipment mandatory. Not less than 90% of the permanently installed lighting fixtures shall contain only high efficacy lamps.
 - 3) Domestic cooking exhaust equipment shall exhaust to outdoors through metal duct work with a blower less than 400 cfm with a termination point less than three feet from any opening in any direction.
 - 4) Any opened exterior wall shall have R-15 insulation for 2x4 walls, and R-19 for 2x6 walls.
 - 5) Plumbing shall comply with the 2020 NYS Residential Code, Chapter 25 PLUMBING ADMINISTRATION P2502 Additions, alterations, and repairs.
 - 6) Bathroom exhaust fans shall exhaust to the exterior and terminate no less than three feet in any direction from any openings.
 - 7) The electric dryer vent (metal) shall exhaust to the exterior, installed according to manufacturers specifications and have a backdraft damper and no screens. The exhaust shall terminate no less than three feet from any openings in any direction.



SECOND FLOOR PLAN sc: 1/4" = 1'-0"

MAIN FLOOR PLAN sc: 1/4" = 1'-0"

Legend

- Existing construction to remain
- Existing construction to be removed
- Proposed new construction

GENERAL NOTES:

1. All work shall conform to these drawings and governing codes and ordinances.
2. All electrical work shall conform to the National Electrical Code and local ordinance.
3. The Contractor shall be responsible for checking all dimensions and conditions both existing and proposed, as shown on the drawings and verification of the same on the site. Any discrepancy, weakness or defect shall be immediately reported to the Architect and an attempt to resolve the condition except for provisional safety measures, if such are necessary, shall be made save at the Contractor's total responsibility and expense including costs of rectification if such is deemed necessary by the Architect.
4. The Contractor shall protect the building premises and all occupants from the

All framing shall be done in accordance with the latest edition of "National Design Specifications for Stress Graded Lumber and Its Fastenings" as published by the National Lumber Manufacturers Association.

All workmanship including nailing, blocking, bridging, etc. shall conform to the New York State Building Code.

Framing lumber shall equal or exceed the following grades:

- Rafters & Joists: Headers, Beams & Girders - No. 2 Douglas-Fir (FD 1500 psi - 40 95 psi) Studs - 2" X 6" @ 16" o.c. Douglas-Fir (FD 1500 psi - 40 95 psi) Plate for Stud Walls - Douglas-Fir (FD single-1400 psi)

All lumber materials used in the construction shall be good, sound, dry material free from rot, large and loose knots, shakes, and other imperfections whereby the strength may be impaired and of size indicated on the drawings.

Provide ledgers, blocking, nailers, and rough opening hardware as required.

Provide 2" X 4" (4 X 6) post or 2" X 4" (2 X 4) spliced at bearing points of all double framing members unless otherwise noted.

Provide 3" X 4" (3 X 6) spliced at bearing points of all triple framing members unless otherwise noted.

All beams to be set with natural crown up.

Provide double joints under all partitions parallel to joists.

Frame with double headers and trimmers around openings larger than spacing of joists.

Unless otherwise noted, all door, window and passage opening headers shall be 2-2 X 10.

Note: provide interconnected, hardwired, combination Smoke and carbon monoxide detectors with battery Back up per sections R314 and R315 of the state Residential code.

Note: Architect not responsible for site safety or means and methods of construction.

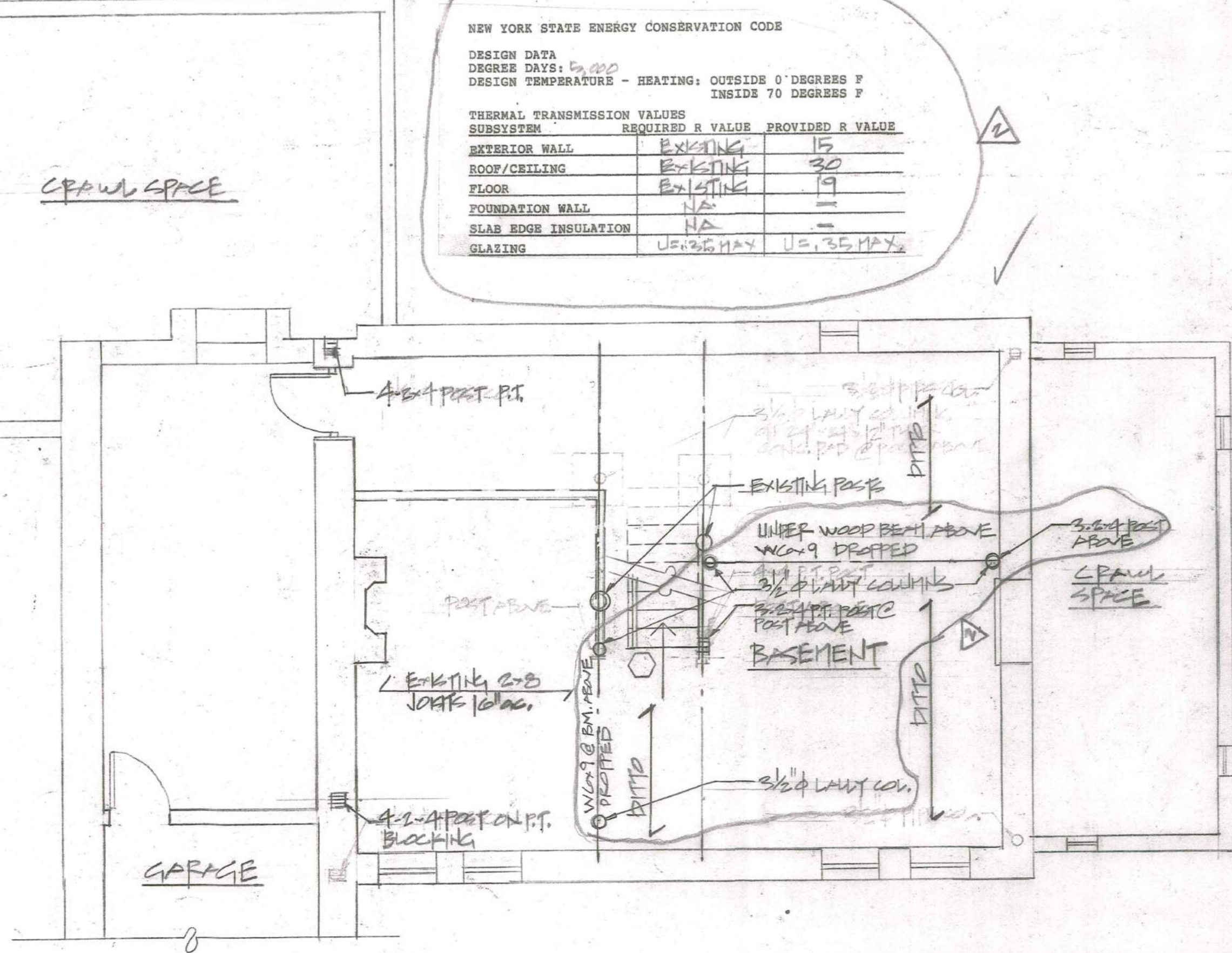
NOTE: ALL WALLS & PARTITIONS TO REMAIN IN PLACE (EXCEPT ROOFING), NO NEW INSULATION, ALL ELECTRICAL OUTLETS TO REMAIN, NO AIR CONDITIONING IS PLANNED FOR BUILDING

Note: the scope of work is in accordance with the 2020 N.Y.S. Residential Code

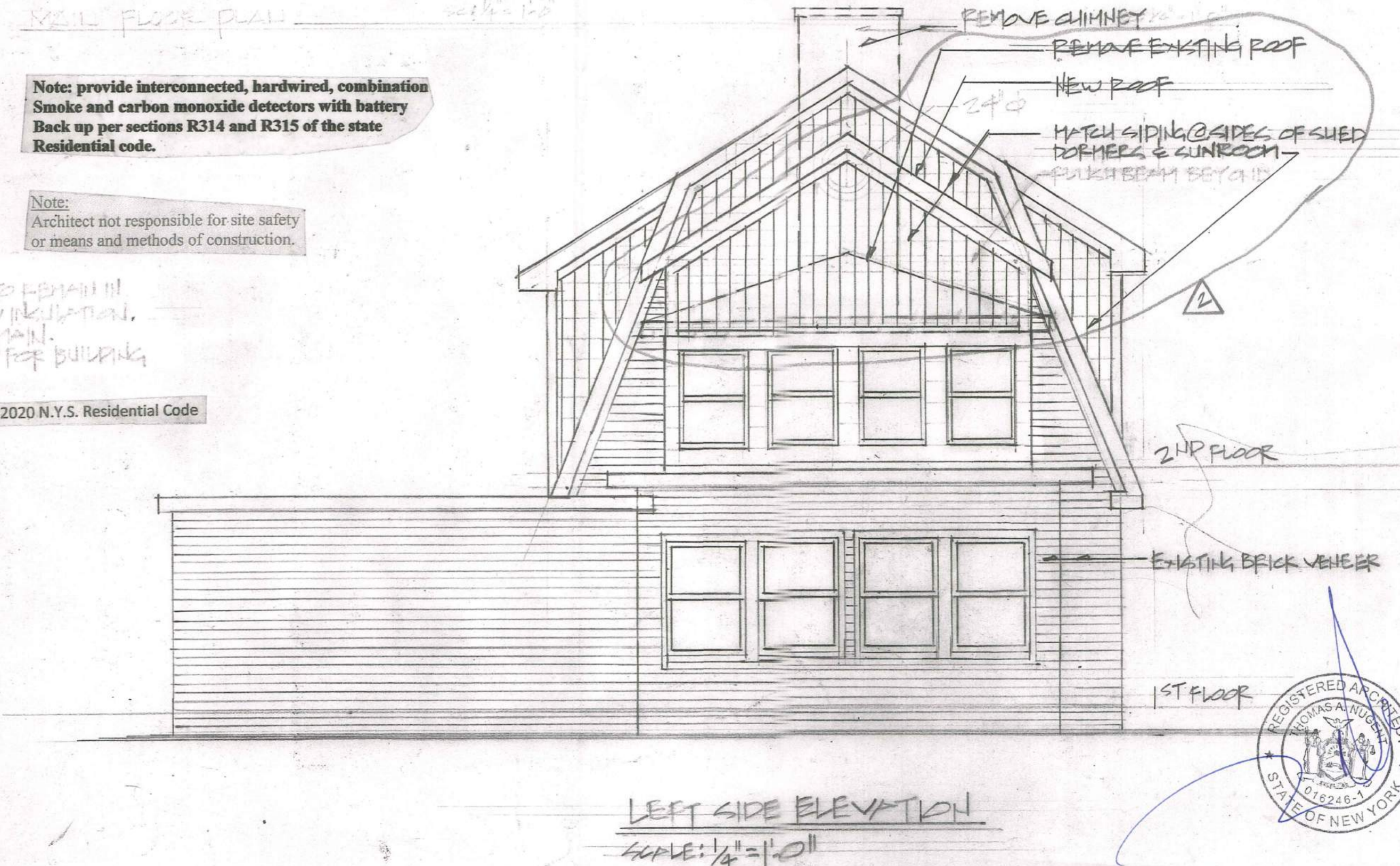
NEW YORK STATE ENERGY CONSERVATION CODE

DESIGN DATA
 DEGREE DAYS: 5,000
 DESIGN TEMPERATURE - HEATING: OUTSIDE 0 DEGREES F
 INSIDE 70 DEGREES F

THERMAL TRANSMISSION VALUES SUBSYSTEM	REQUIRED R VALUE	PROVIDED R VALUE
EXTERIOR WALL	EXISTING 15	15
ROOF/CEILING	EXISTING 30	30
FLOOR	EXISTING 19	19
FOUNDATION WALL	NA	-
SLAB EDGE INSULATION	NA	-
GLAZING	U<=0.26 MAY	U<=0.26 MAY



BASEMENT PLAN sc: 1/4" = 1'-0"



LEFT SIDE ELEVATION SCALE: 1/4" = 1'-0"

IN PROGRESS FOR PERMIT OPEN STAIR

DATE: 4-9-21, 4-21-21, 4-28-21, 5-19-21, 8-18-21

PROPOSED RENOVATION & ALTERATION TO THE DENYSENKO RESIDENCE
 13 WAGO AVE. ARMONK, NY

GR. REV. (W. P. W. W.) 8-20-21 BLDG. DEPT. LIT. 12-20-21

THOMAS A. NUGENT
 Architect
 79 Austin Road
 Mahopac, NY 10541
 (845)-628-7435

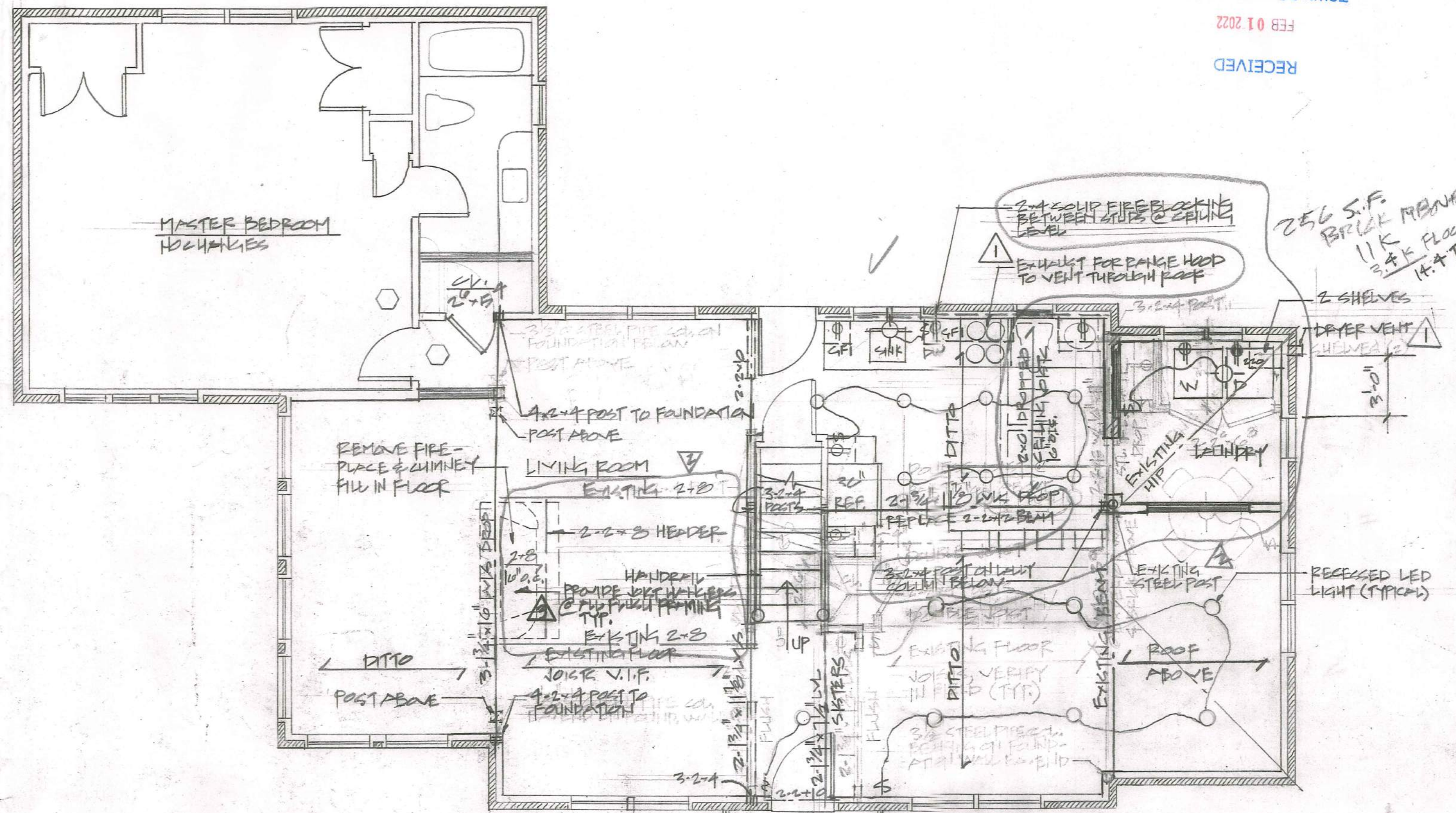
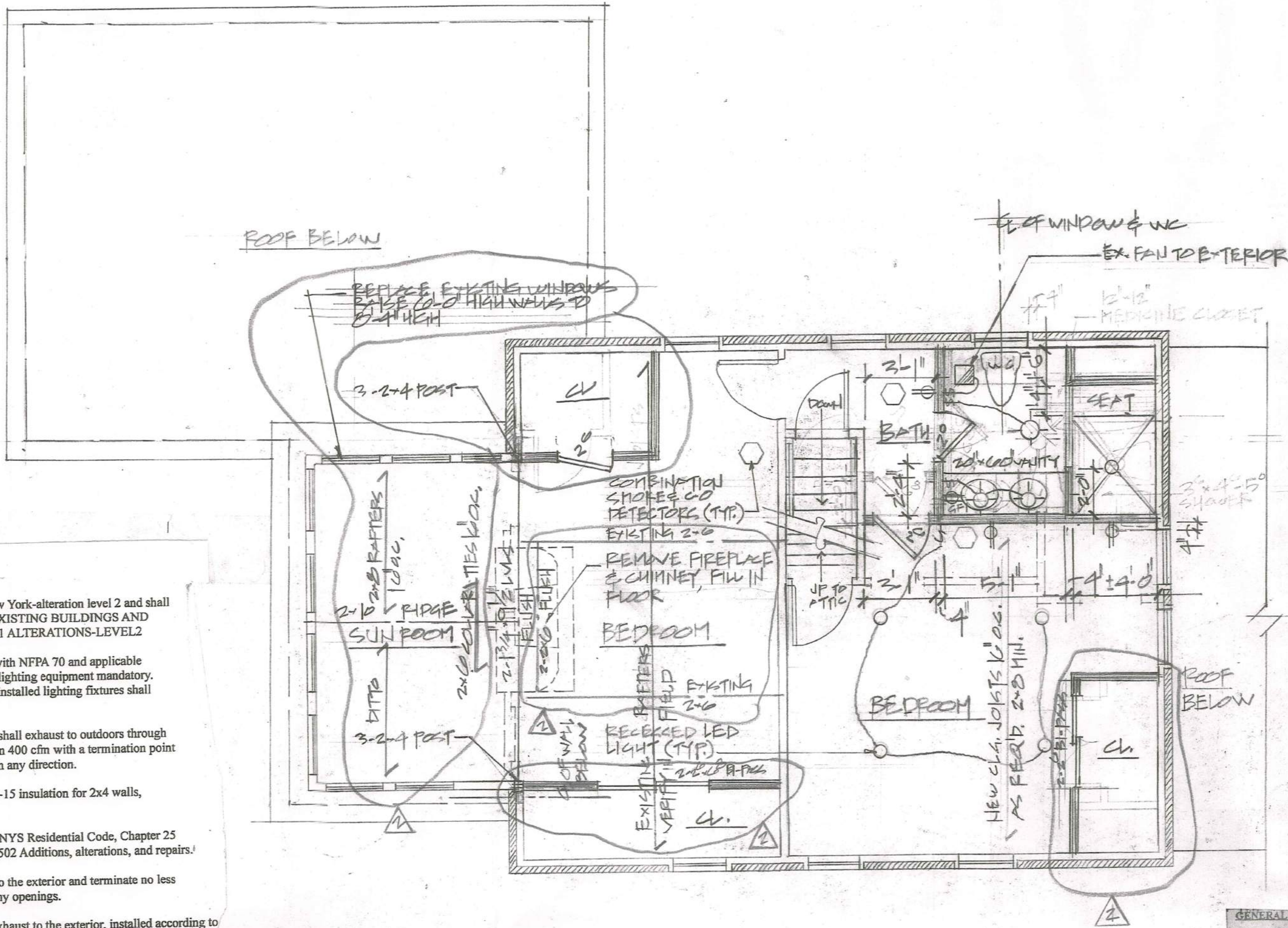
SHEET: 2 of 2



1

Additional notes:

- 1) This is a 2020 Residential Code of New York-alteration level 2 and shall comply with (NY) APPENDIX J for EXISTING BUILDINGS AND STRUCTURES (NY) SECTION A1601 ALTERATIONS-LEVEL 2
- 2) Electrical wiring install shall comply with NFPA 70 and applicable sections of the NEC. Electrical: lighting equipment mandatory. Not less than 90% of the permanently installed lighting fixtures shall contain only high efficacy lamps.
- 3) Domestic cooking exhaust equipment shall exhaust to outdoors through metal duct work with a blower less than 400 cfm with a termination point less than three feet from any opening in any direction.
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GENERAL NOTES:

1. All work shall conform to these drawings and governing codes and ordinances.
2. All electrical work shall conform to the National Electrical Code and local ordinance.
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4. The Contractor shall protect the building premises and all occupants from the

Legend

- Existing construction to remain
- Existing construction to be removed
- Proposed new construction

All framing shall be done in accordance with the latest edition of "National Design Specifications for Stress Graded Lumber and its Fastenings" as published by the National Lumber Manufacturers Association.

All workmanship including nailing, blocking, bridging, etc. shall conform to the New York State Building Code.

Framing lumber shall equal or exceed the following grades:

- Railties & Joists: No. 2 Douglas Fir (FD 1500 psi - 95 psi)
- Headers, Beams & Girders: Douglas Fir (FD 1500 psi - 95 psi)
- Studs: 2" X 4" @ 16" o.c. Douglas Fir (FD 1500 psi - 95 psi)
- Plate for Stud Walls: Douglas Fir (FD single-1400 psi)

All lumber materials used in the construction shall be good, sound, dry material free from rot, large and loose knots, shakes, and other imperfections whereby the strength may be impaired and of size indicated on the drawings.

Provide ledgers, blocking, nailers, and rough opening hardware as required.

Provide 4" X 4" (4 X 6) post or 2" X 4" X 4" (2 X 4) spliced at bearing points of all double framing members unless otherwise noted.

Provide 3" X 4" X (2 X 6) spliced at bearing points of all triple framing members unless otherwise noted.

All beams to be set with natural crown up.

Provide double joists under all partitions parallel to joists.

Frame with double headers and trimmers around openings larger than spacing of joists.

Unless otherwise noted, all door, window and passage opening headers shall be 2 X 10.

Note: provide interconnected, hardwired, combination smoke and carbon monoxide detectors with battery back up per sections R314 and R315 of the state Residential code.

Note: Architect not responsible for site safety or means and methods of construction.

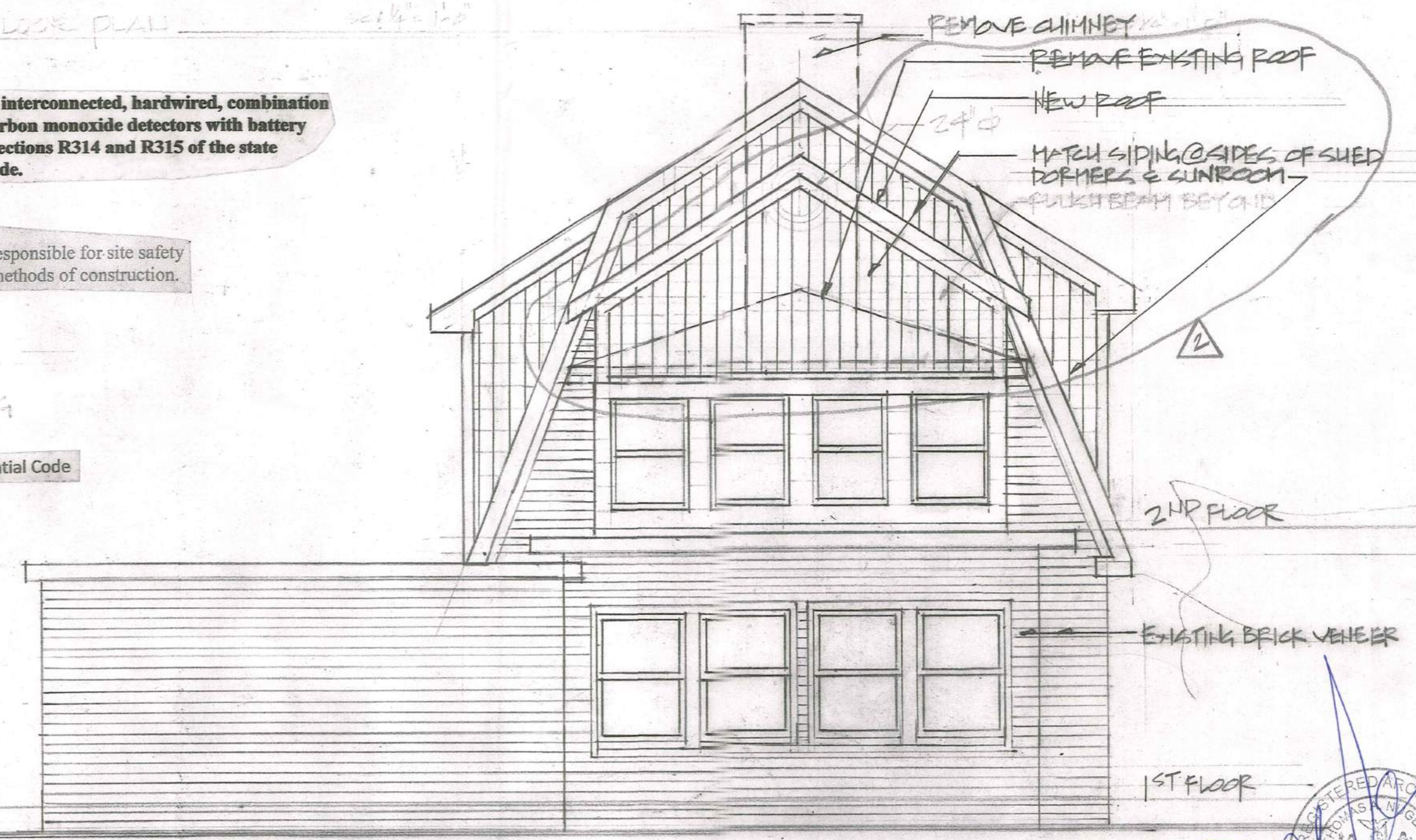
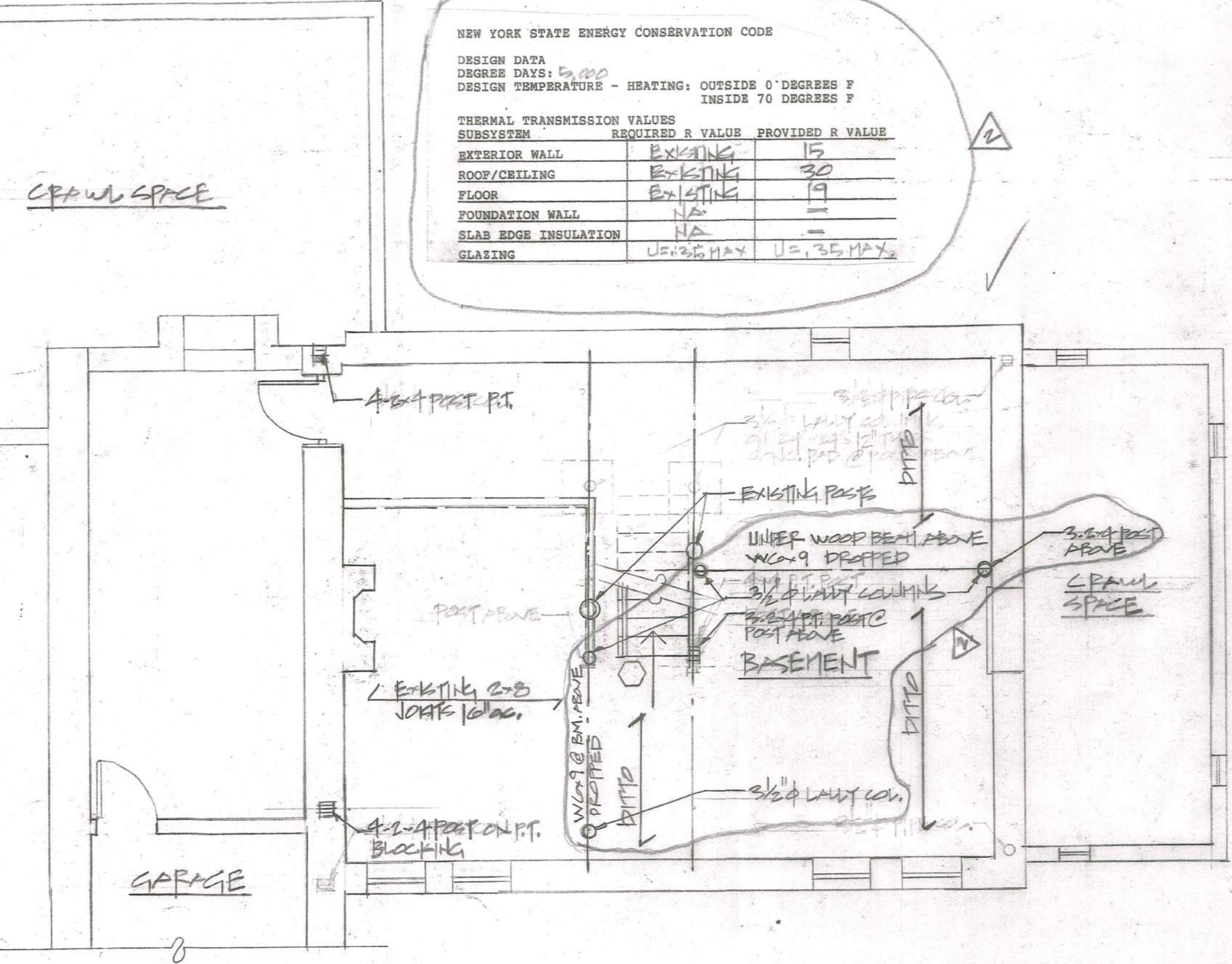
NOTE: ALL WALLS & FINISHES TO REMAIN IN PLACE (EXCEPT PAINTING), NO NEW INSTALLATION. ALL ELECTRICAL OUTLETS TO REMAIN. NO AIR CONDITIONING IS PLANNED FOR BUILDING.

Note: the scope of work is in accordance with the 2020 N.Y.S. Residential Code

NEW YORK STATE ENERGY CONSERVATION CODE

DESIGN DATA
DEGREE DAYS: 5,000
DESIGN TEMPERATURE - HEATING: OUTSIDE 0 DEGREES F
INSIDE 70 DEGREES F

THERMAL TRANSMISSION VALUES	REQUIRED R VALUE	PROVIDED R VALUE
EXTERIOR WALL	EXISTING	15
ROOF/CEILING	EXISTING	30
FLOOR	EXISTING	19
FOUNDATION WALL	NA	-
SLAB EDGE INSULATION	NA	-
GLAZING	U<=0.25 MAX	U<=0.35 MAX





TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 13 WAGO AVE

Section III- DESCRIPTION OF WORK: A SMALL PORTION OF THE ROOF WAS RAISED

Section III- CONTACT INFORMATION:

APPLICANT: PETER DENYSSSENKO

ADDRESS: 13 WAGO AVE

PHONE: 914 5524576 MOBILE: _____ EMAIL: DPETE273@GMAIL.COM

PROPERTY OWNER: PETER DENYSSSENKO

ADDRESS: 13 WAGO AVE

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____

EMAIL: _____

Section IV- PROPERTY INFORMATION:

Zone: _____ Tax ID (lot designation) _____



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: _____ Date: _____

Tax Map Designation or Proposed Lot No.: _____

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): _____

2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): _____

3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):

Distance principal home is beyond minimum front yard setback

_____ x 10 = _____

4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 _____

5. Amount of lot area covered by **principal building**:
_____ existing + _____ proposed = _____

6. Amount of lot area covered by **accessory buildings**:
_____ existing + _____ proposed = _____

7. Amount of lot area covered by **decks**:
_____ existing + _____ proposed = _____

8. Amount of lot area covered by **porches**:
_____ existing + _____ proposed = _____

9. Amount of lot area covered by **driveway, parking areas and walkways**:
_____ existing + _____ proposed = _____

10. Amount of lot area covered by **terraces**:
_____ existing + _____ proposed = _____

11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
_____ existing + _____ proposed = _____

12. Amount of lot area covered by **all other structures**:
_____ existing + _____ proposed = _____

13. Proposed **gross land coverage**: Total of Lines 5 - 12 = _____

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: _____ Date: _____

Tax Map Designation or Proposed Lot No.: _____

Floor Area

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): _____
2. **Maximum** permitted floor area (per Section 355-26.B(4)): _____
3. Amount of floor area contained within first floor:
_____ existing + _____ proposed = _____
4. Amount of floor area contained within second floor:
_____ existing + _____ proposed = _____
5. Amount of floor area contained within garage:
_____ existing + _____ proposed = _____
6. Amount of floor area contained within porches capable of being enclosed:
_____ existing + _____ proposed = _____
7. Amount of floor area contained within basement (if applicable – see definition):
_____ existing + _____ proposed = _____
8. Amount of floor area contained within attic (if applicable – see definition):
_____ existing + _____ proposed = _____
9. Amount of floor area contained within all accessory buildings:
_____ existing + _____ proposed = _____
10. **Proposed floor area:** Total of Lines 3 – 9 = _____

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

Date