



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 5 HALLOCK PLACE, Armonk, NY

Section III- DESCRIPTION OF WORK:

Proposed pergola, small increase to pool/patio area,
converting planters to patio.

Section III- CONTACT INFORMATION:

APPLICANT: SAM WALSH, c/o MARK MARIANI INC.
ADDRESS: 45 BEDFORD ROAD Armonk NY 10504
PHONE: _____ MOBILE: 914-806-7992 EMAIL: _____

PROPERTY OWNER: DAVID COMORA & LAURA MALENKY
ADDRESS: 5 HALLOCK PLACE
PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: SOUND VIEW ENGINEERS & LAND SURVEYORS LLC
ADDRESS: 239 GLENVILLE ROAD - GREENWICH, CT 06831
PHONE: 203-532-1300 MOBILE: _____
EMAIL: robert@soundviewengineers.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) LOT 6 - 100,04-3-6



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: 5 Hallock Place

Initial Submittal Revised Preliminary

Street Location: 5 Hallock Place

Zoning District: R-2A Property Acreage: 2.9876 Tax Map Parcel ID: 100.04-3-6

Date: MAY 4, 2021

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

<input type="checkbox"/>	9. Description of method of water supply and sewage disposal and location of such facilities
<input type="checkbox"/>	10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<input type="checkbox"/>	1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<input type="checkbox"/>	2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<input type="checkbox"/>	3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.
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TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: David Comora - Laura Malenky Date: May 4, 2021

Tax Map Designation or Proposed Lot No.: 100.04-3-6

Gross Lot Coverage

- | | | |
|-----|---|---------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>130,139.9 SF</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>56,290 SF</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
<u> </u> x 10 = <u> </u> | <u>0</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>56,290 SF</u> |
| 5. | Amount of lot area covered by principal building :
<u>4286</u> existing + <u>0</u> proposed = | <u> </u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of lot area covered by decks :
<u>0</u> existing + <u>0</u> proposed = | <u>0 SF</u> |
| 8. | Amount of lot area covered by porches :
<u>71</u> existing + <u>0</u> proposed = | <u>71</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u>8674</u> existing + <u>0</u> proposed = | <u>8674</u> |
| 10. | Amount of lot area covered by terraces :
<u>4367</u> existing + <u>496</u> proposed = | <u>4863</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u>107</u> existing + <u>0</u> proposed = | <u>107</u> |
| 12. | Amount of lot area covered by all other structures :
<u>967</u> existing + <u>0</u> proposed = | <u>967</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>18968</u> |

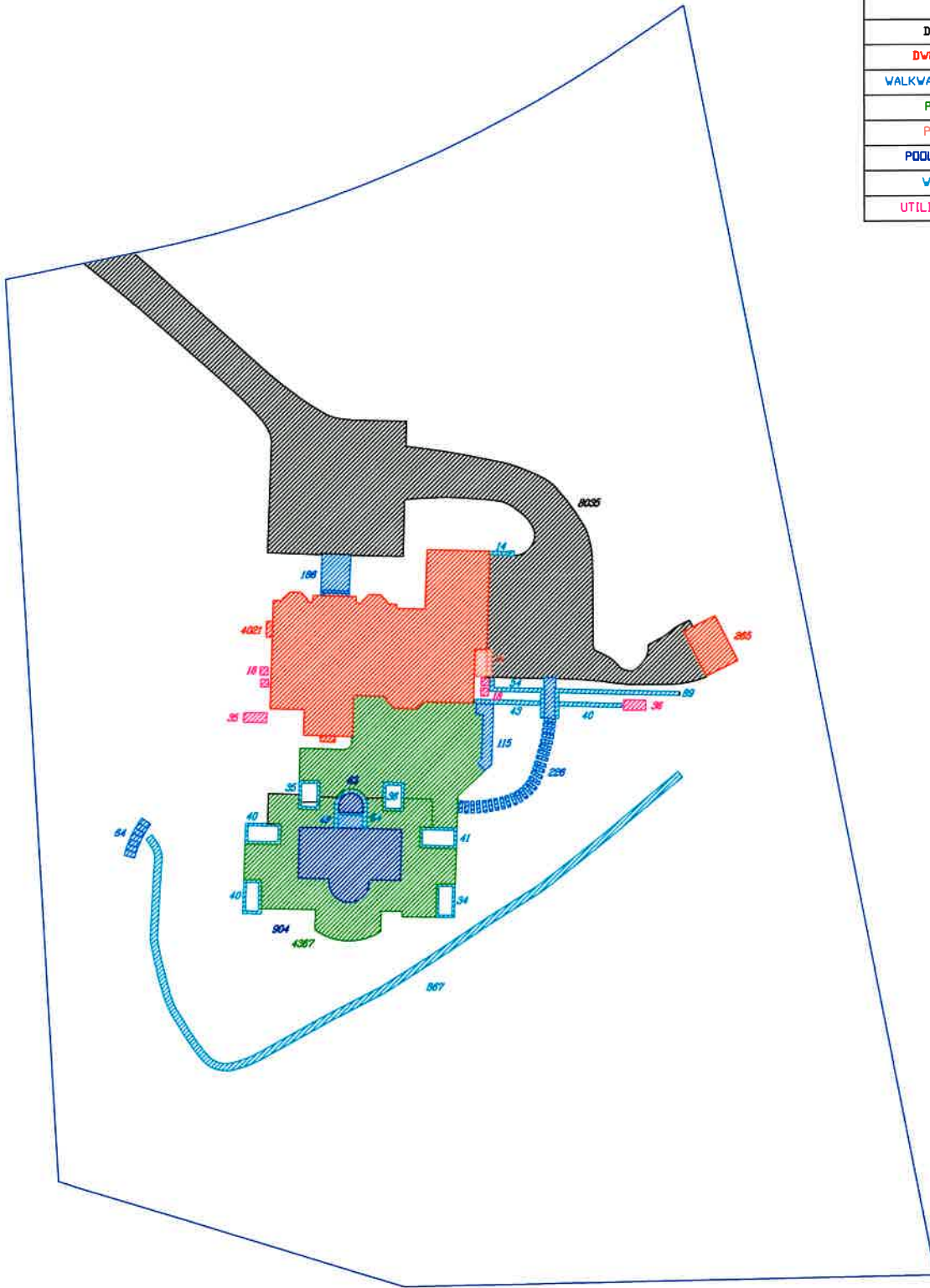
If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


Signature and Seal of Professional Preparing Worksheet

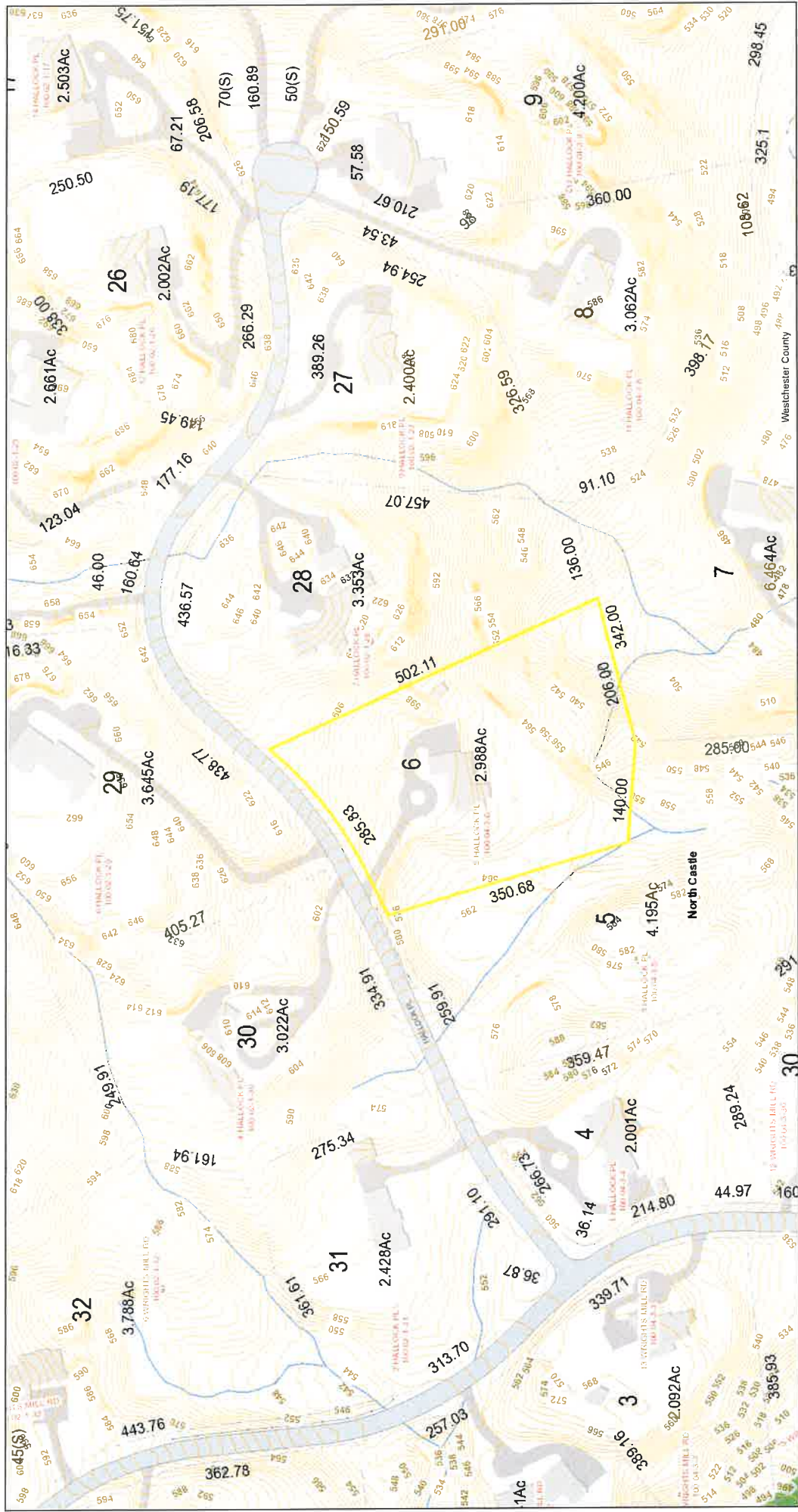
May 4, 2021
Date

EX. AREA CALCULATIONS

EX. AREA CALCULATIONS	
DRIVE	8035 sq. ft
DWELLING	4286 sq. ft
WALKWAY & STEPS	639 sq. ft
PATIO	4367 sq. ft
PORCH	71 sq. ft
POOL & SPA	967 sq. ft
WALLS	1396 sq. ft
UTILITY PADS	107 sq. ft
TOTAL= 19,868 sq. ft.	



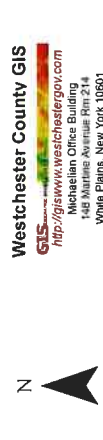
5 HALLOCK PL. ID: 100.04-3-6 (North Castle)



April 14, 2021

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

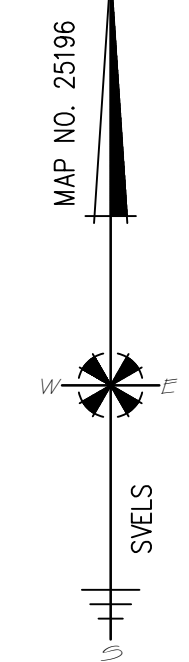
1:1,500 N



Westchester County GIS
GIS: <http://giswww.westchester.gov.com>
Madison Office Building
14th Floor
White Plains, New York 10601

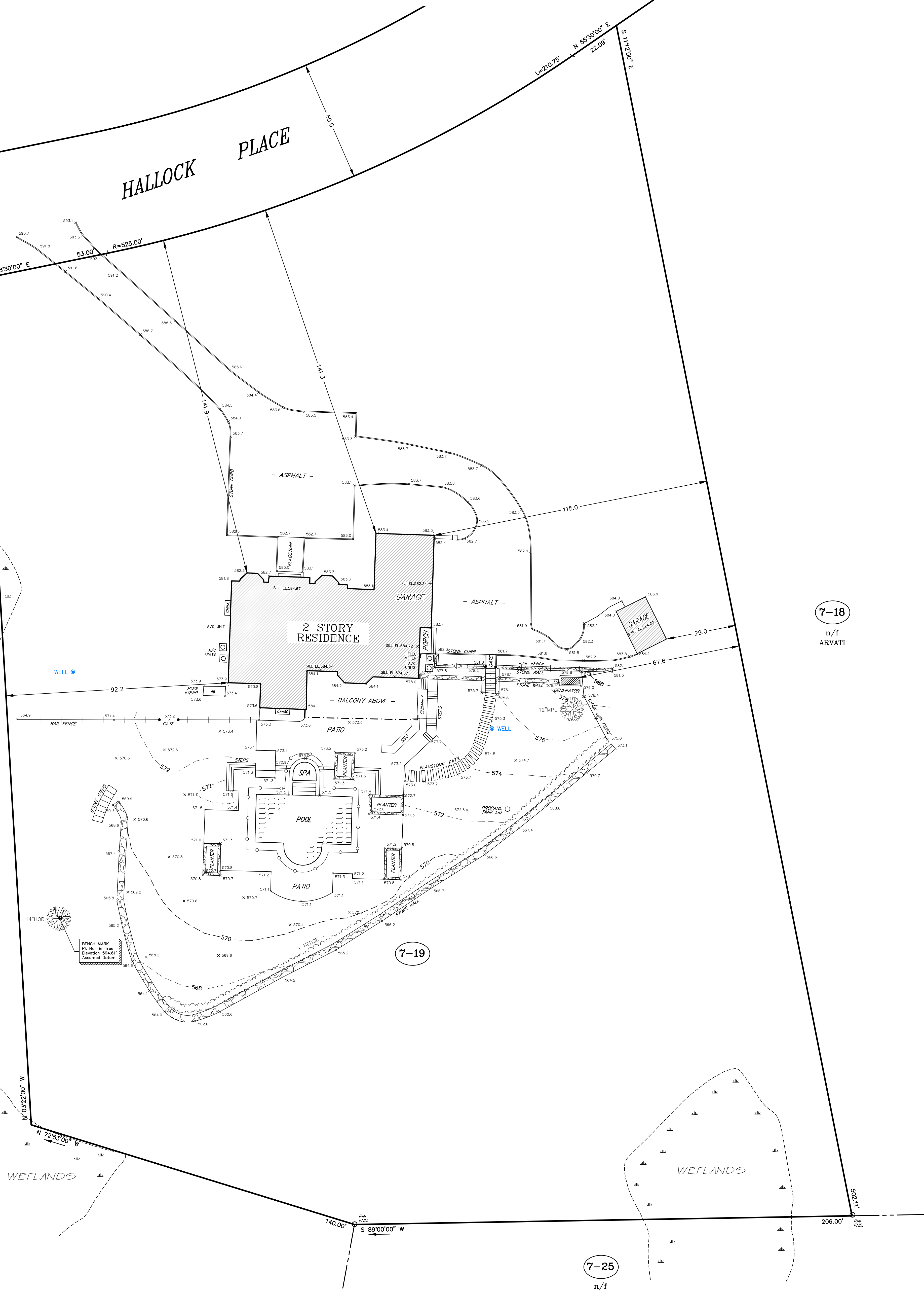
WRIGHTS MILL ROAD

HALLOCK PLACE



WETLANDS

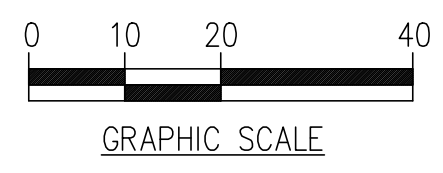
7-20
n/f
SCHWARTZBERG



7-18
n/f
ARVATI

7-19

7-25
n/f
DIMAURO



Sound View
ENGINEERS & LAND SURVEYORS, LLC
239 Glenville Road, Suite 300
Greenwich, CT 06831
(203) 532-1300 PHONE info@soundviewengineers.com
www.soundviewengineers.com

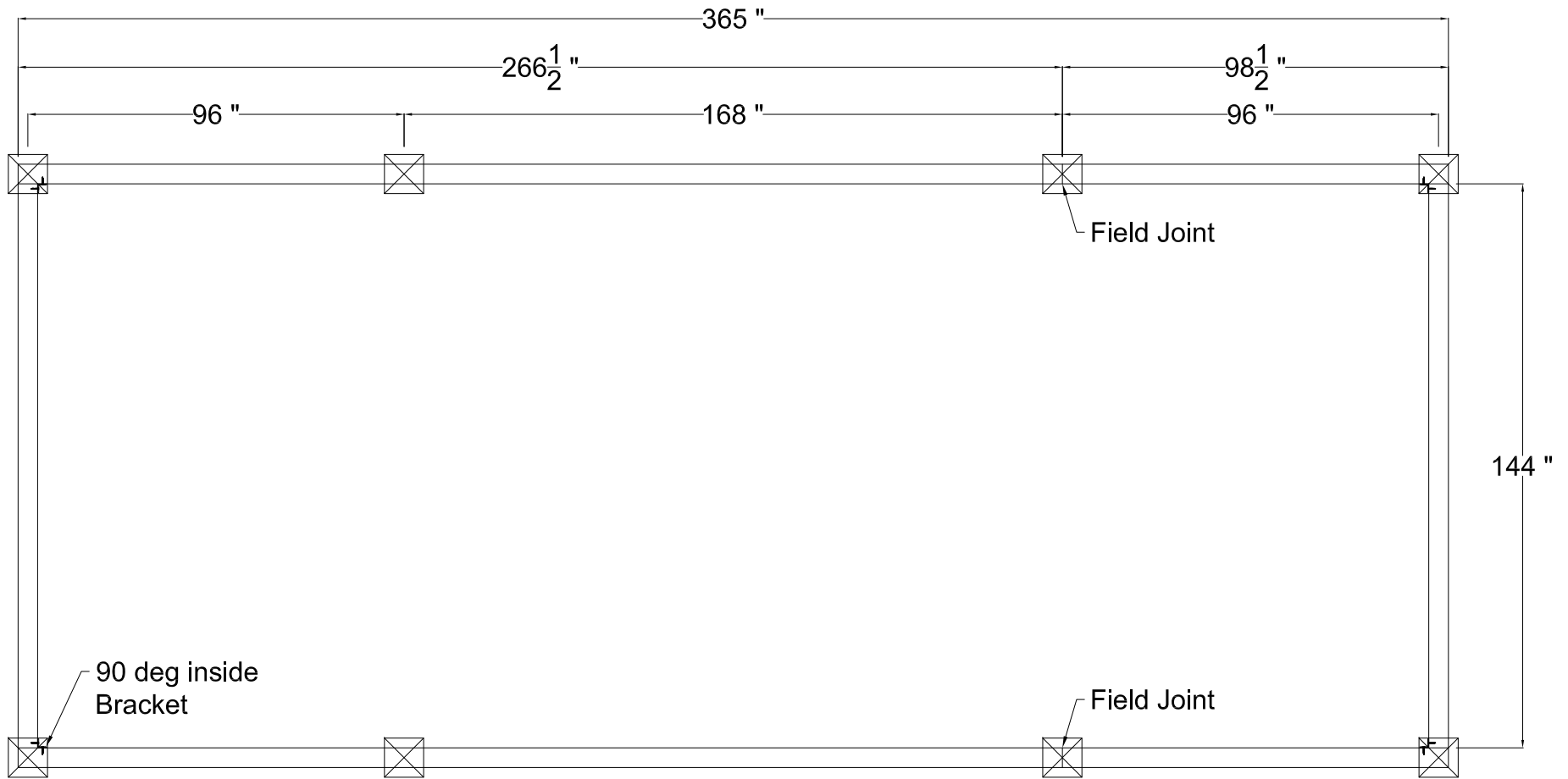
CONSULTING | CIVIL | STRUCTURAL | SITE DEVELOPMENT | LAND SURVEYING

PREPARED FOR:
DAVID COMORA
LAURA MALENKY
ADDRESS:
5 HALLOCK PLACE
VILLAGE OF ARMONK
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

**EXISTING
CONDITIONS'
SURVEY**

DATE OF NEW YORK
SEAL
DAVID C. McCANN
LICENSED LAND SURVEYOR
DWG. NO: 2716-1-EX
SCALE: 1" = 20'
DATE: APRIL 20, 2021
EX-1

NOTES:
WETLANDS HEREON TAKEN FROM RECORDED MAP NO. 25196
LOT NOS. HEREON AS SHOWN AS DELINEATED ON FILED MAP NO. 25196.
TAX LOT DESIGNATION: SECTION 100.04 BLOCK 3 LOT 6
AREA OF PROPERTY IS 2.9876 ACRES
PREMISES HEREON IS LOT 7-19 ON A CERTAIN MAP ENTITLED "SUBDIVISION OF PROPERTY PREPARED FOR THOMAS WRIGHT DEVELOPMENT COPY..." ON FILE IN THE OFFICE OF WESTCHESTER COUNTY CLERK, DIVISION OF LAND RECORDS AS MAP NO. 25196.
UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
THIS MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL SURVEYORS. THIS CERTIFICATION IS LIMITED TO THE PERSONS FOR WHOM THE MAP IS PREPARED AND ON THEIR BEHALF TO ANY TITLE COMPANY, GOVERNMENT AGENCY OR LENDING INSTITUTION NAMED HEREON. THE CERTIFICATIONS HEREON ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS HEREON, IF ANY EXIST OR ARE SHOWN, ARE NOT CERTIFIED.
FIELD SURVEY COMPLETED: APRIL 5, 2021
BY: Aidan C. McCann
N.Y.S. License No. 50290
Date: 04/20/21



5" x 11 15/16" Premium Carry-beam, Square ends plugged

Sitting on Customer supplied by others 6x6 CCA Post

** Note: Pergola must be built from the inside beam out, due to rafters being install at same plain **

Approved by _____ Date _____

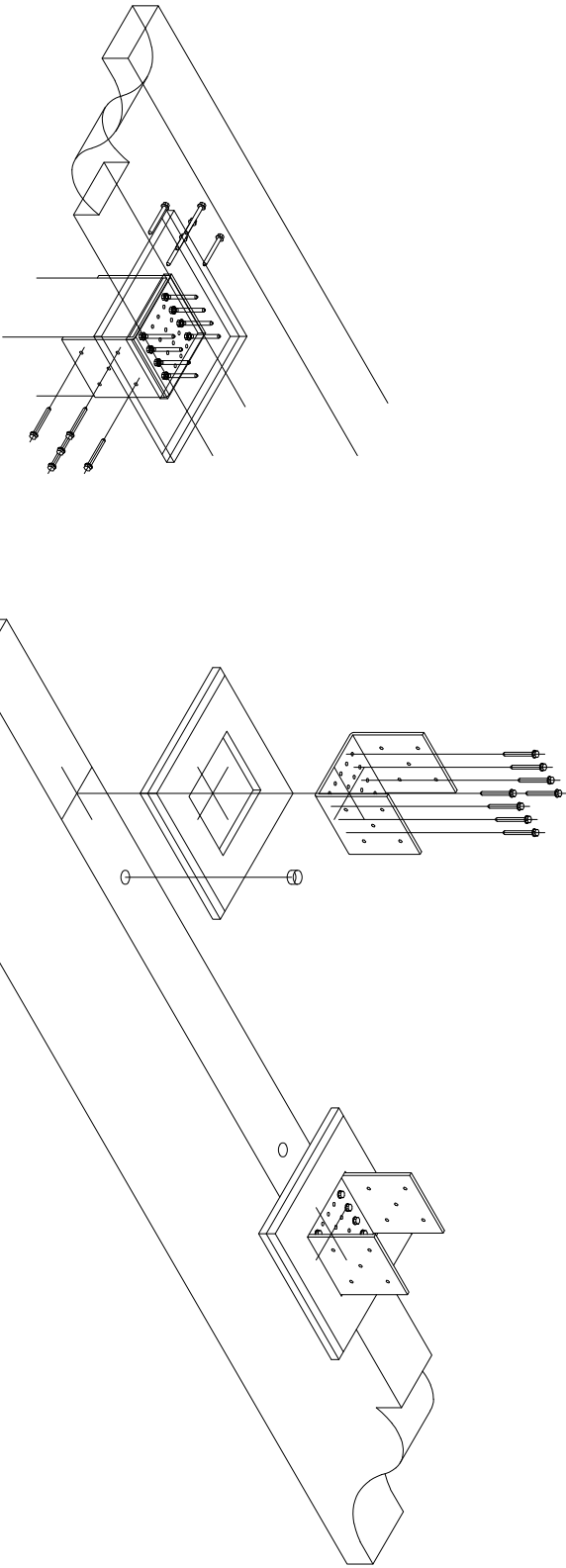
Drawn By: L. Andrews	Date: 04/13/21	Reference Quote # LA012521B-rev2	Revision: Q43974-2	Customer: Coastal Specialty, Interstate Lumber, Custom Pergola
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Description: Beam Layout

Legal Disclaimer: This drawing and any attachments are the sole property of Intex Millwork Solutions, LLC and are provided for the purpose of description and approval for quoted products. Any unauthorized use may result in legal action to the extent of the applicable laws.

45 Mill Street
 Mays Landing, NJ, 08330
 Phone 856-293-4100
 Fax 856-293-4102



Approved by _____ Date _____

Drawn By: L. Andrews Date: 04/13/21 Reference Quote #: LA012521B-rev2 Revision: Q43974-2 Customer: Coastal Specialty, Interstate Lumber, Custom Pergola

Description: 6x6 Post Mount



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Pergola Beam Splice Instructions for Wood Posts

- Cut beams to length.

Note: Slots and Splines are not applicable to the Classic Pergola Beam

- Use a 1/4" kerf router bit with a 1/2" depth of cut to slot the vertical sides of the pergola beams 1/4" from each corner.

- Cut supplied splines to fit the slots.

- Place a bead of adhesive (comparable to Trimbondor/Trimwelder) in slots on one half of the joint and insert splines.

- Fasten one half of the split cap plate and one half saddle bracket to each beam.

- Set one beam on posts centering the joint over the post, screw saddle bracket to post.

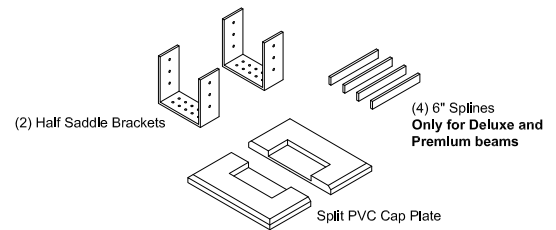
- Place a bead of adhesive in the empty slots and along the face of the joint and the PVC Plate. **PVC wraps must be glued together to prevent water entry into the beam.**

- Set the remaining beam and slide joint together then screw to post.

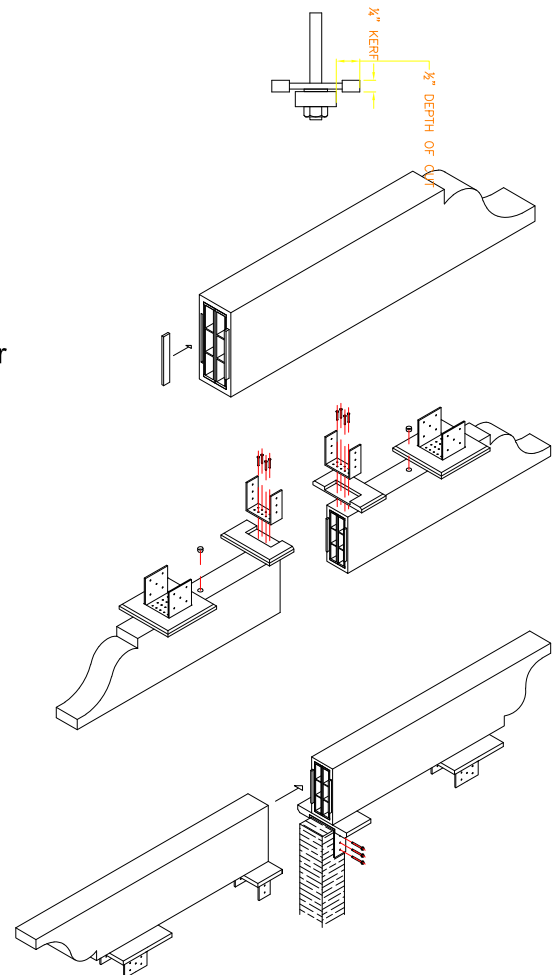
- Allow adhesive to set, then sand off any excess that squeezed from the joint.

Refer to other instructions for more details on mounting Pergola Carry Beams.

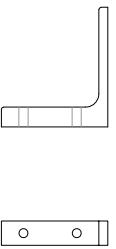
Parts Included



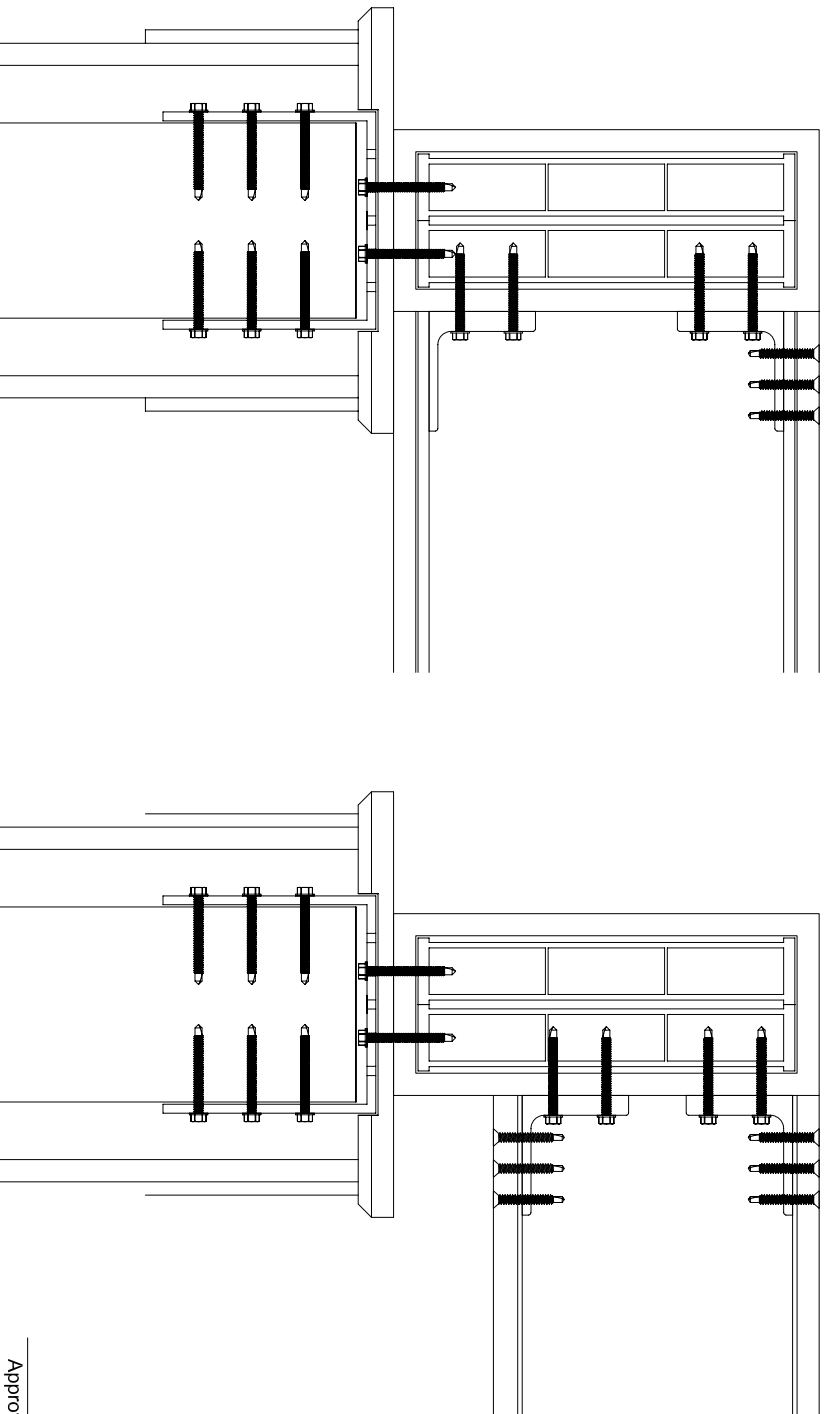
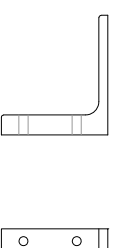
Router Bit Details



Ledger Bracket at Bisecting Beam



Ledger Bracket at Bisecting Rafter to Beam



Approved by _____ Date _____

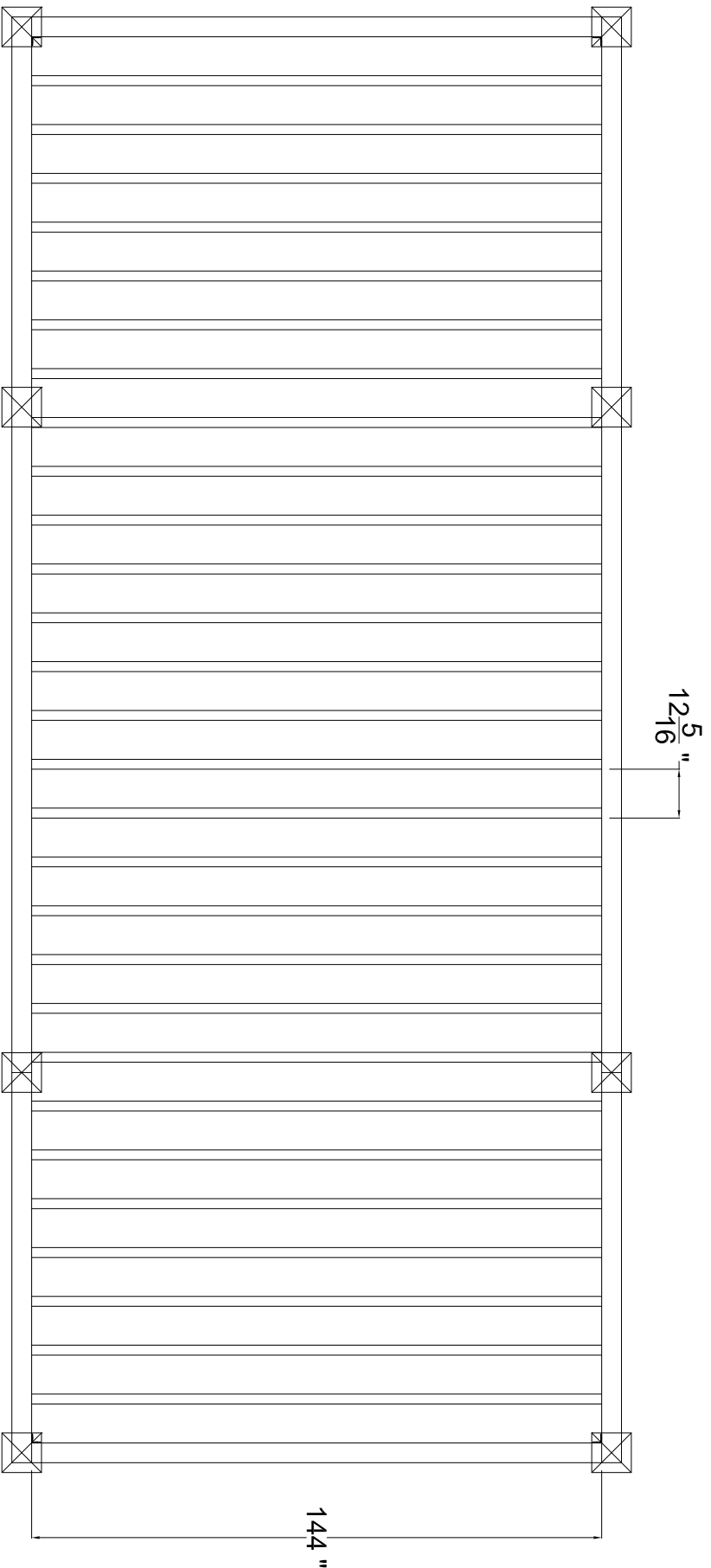
Drawn By: L. Andrews Date: 04/13/21 Reference Quote # LA012521B-rev2 Revision: Q43974-2 Customer: Coastal Specialty, Interstate Lumber, Custom Pergola

Description: Ledger Mount assembly view



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45 Mill Street
Mays Landing, NJ, 08330
Phone 856-293-4100
Fax 856-293-4102



2 1/2" x 9 3/16" Premium Rafter, Square ends open

Approved by _____ Date _____

Drawn By: L. Andrews	Date: 04/13/21	Reference Quote # LA012521B-rev2	Revision: Q43974-2	Customer: Coastal Specialty, Interstate Lumber, Custom Pergola
Description: Rafter Layout				
<p>INTEX MILLWORK SOLUTIONS</p> <p>45 Mill Street Mays Landing, NJ, 08330 Phone 856-293-4100 Fax 856-293-4102</p>				
<p><i>Legal Disclaimer: This drawing and any attachments are the sole property of Intex Millwork Solutions, LLC and are provided for the purpose of description and approval for quoted products. Any unauthorized use may result in legal action to the extent of the applicable laws.</i></p>				

CONSTRUCTION NOTES

- Land Survey and topographic information taken from "Map entitled Existing Conditions Survey prepared for David Comora & Laura Malenky", prepared by Sound View Engineers & Land Surveyors, dated: April 5, 2021.
- The purpose and intent of this plan is to depict the proposed development associated with the construction of a pergola and addition pool/patio.
- Contours and elevations depicted hereon are referenced to an assumed datum.
- In accordance with New York State Industrial Code Rule 753, all excavators shall verify the depth and location of all utilities prior to commencing construction, and must call DigSafely New York at 1.800.962.7962 at least two working days prior to the start of excavation, but not more than ten.
- The locations of subsurface structures and utilities as depicted hereon indicate only that the structures exist, and no responsibility is assumed by the engineer or surveyor for the accuracy of the locations shown.
- All construction shall comply with applicable sections of the State of New York, Town of North Castle, and New York Basic Building codes, and those criteria shall take precedent over these plans.
- Any change in the location or design of the proposed drainage system without prior approval of the design engineer is not permitted.
- There shall be no dumping of construction debris and/or excess excavated material into or in proximity to any wetland areas. Excess material excavated during construction shall be disposed of legally off site.
- This property is served by well water and sewer utilities.
- All PVC pipe shall conform to ASTM D3034-04a "Standard Specification for Type PPM Poly(Vinyl Chloride) (PVC) Sewer Pipe and Fittings," or engineer approved equivalent (SDR-35).
- Bedding and backfill material shall conform to ASTM D2321-05 "Standard Practice for Underground Installation of Thermoplastic Pipe for Sewers and Other Gravity-Flow Applications."
- Where a soft sub-soil is encountered during construction of storm or sanitary sewers, the contractor shall remove the unsuitable material and replace it with other material approved by the engineer.
- Re-grading, filling, and other alterations to the site shall be restricted to the minimum level necessary to complete the project as shown on the approved plans.

TEST HOLE DATA - RECORDED APRIL 2, 2021

DT#1	DT#2	DT#3
0-84" MISC FILL	0-12" TOPSOIL	0-3" TOPSOIL
	12-72" FILL	3-30" FILL
	72-92" LIGHT BROWN SANDY LOAM	30-42" LIGHT BROWN SANDY LOAM
NO MOTTLING	NO MOTTLING	NO MOTTLING
NO AGW	NO AGW	NO AGW
LEDGE @ 84"	NO LEDGE	LEDGE @ 42"
NO ROOTS	NO ROOTS	NO ROOTS

PERC TEST HOLE DATA - RECORDED APRIL 2, 2021

PERC-1		PERC-2		RATE
TIME	READINGS	TIME	READINGS	
10:06	6"	10:07	5"	DESIGN RATE - 1" IN 60 MIN. DESIGN RATE - NO PERC
10:16	6"	10:17	5"	
10:26	6 1/4"	10:27	5"	
10:36	6 1/4"	10:37	5"	
10:46	6 1/2"	10:47	5"	
10:56	6 1/2"	10:57	5"	
11:06	6 3/4"	10:07	5"	

LEGEND

- Tree To Be Removed
- Tree Protection
- Existing Elevations
- Proposed Elevations
- 96 Existing Contours
- 96 Proposed Contours
- Erosion Control Fence
- Deep Test Hole
- Perc Test

DRAINAGE CALCULATIONS (10 YEAR STORM):

REQUIRED STORAGE VOLUME=CIA
=(6.1 IN/DAY)/12[641 SQ.FT.] = 325 CUBIC FEET

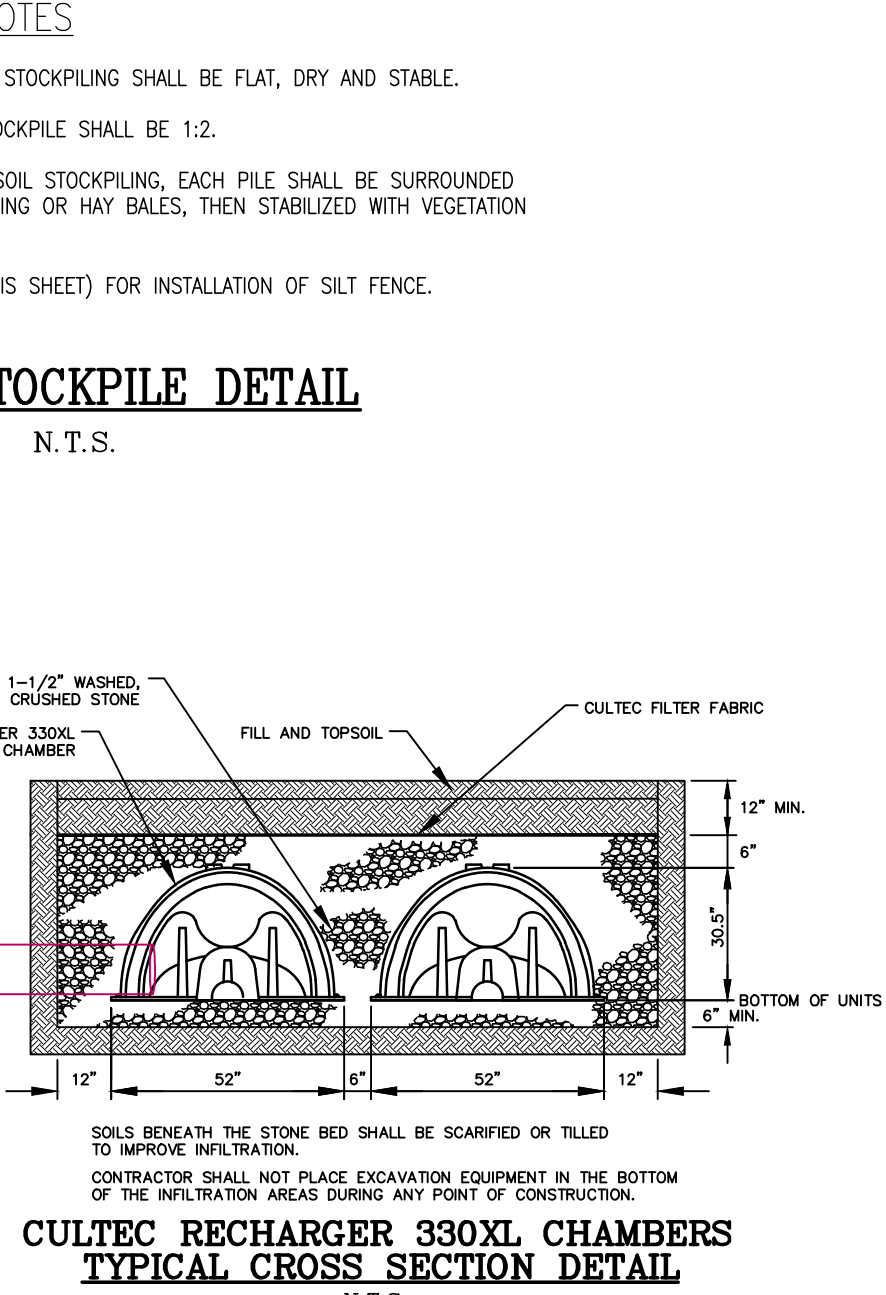
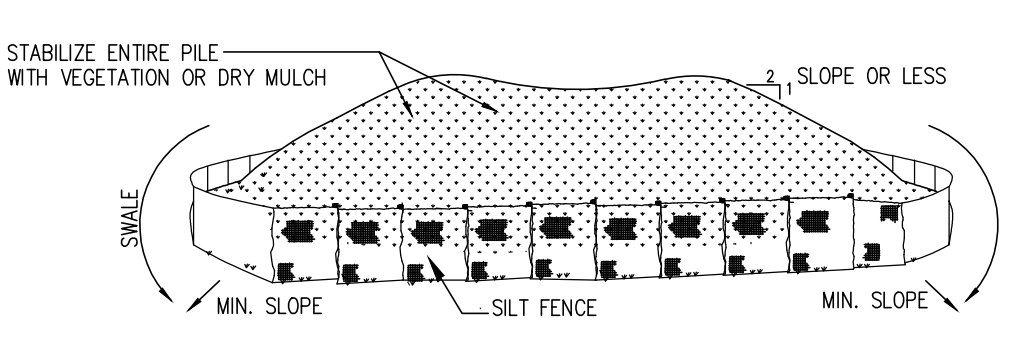
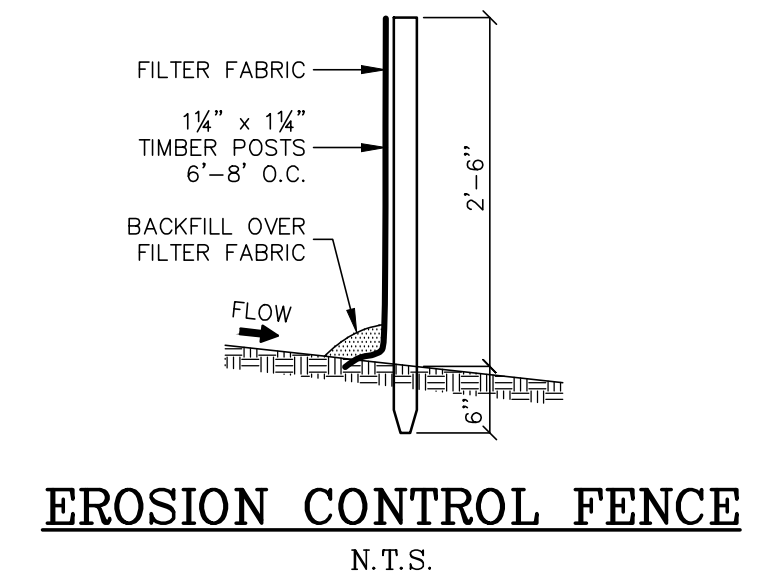
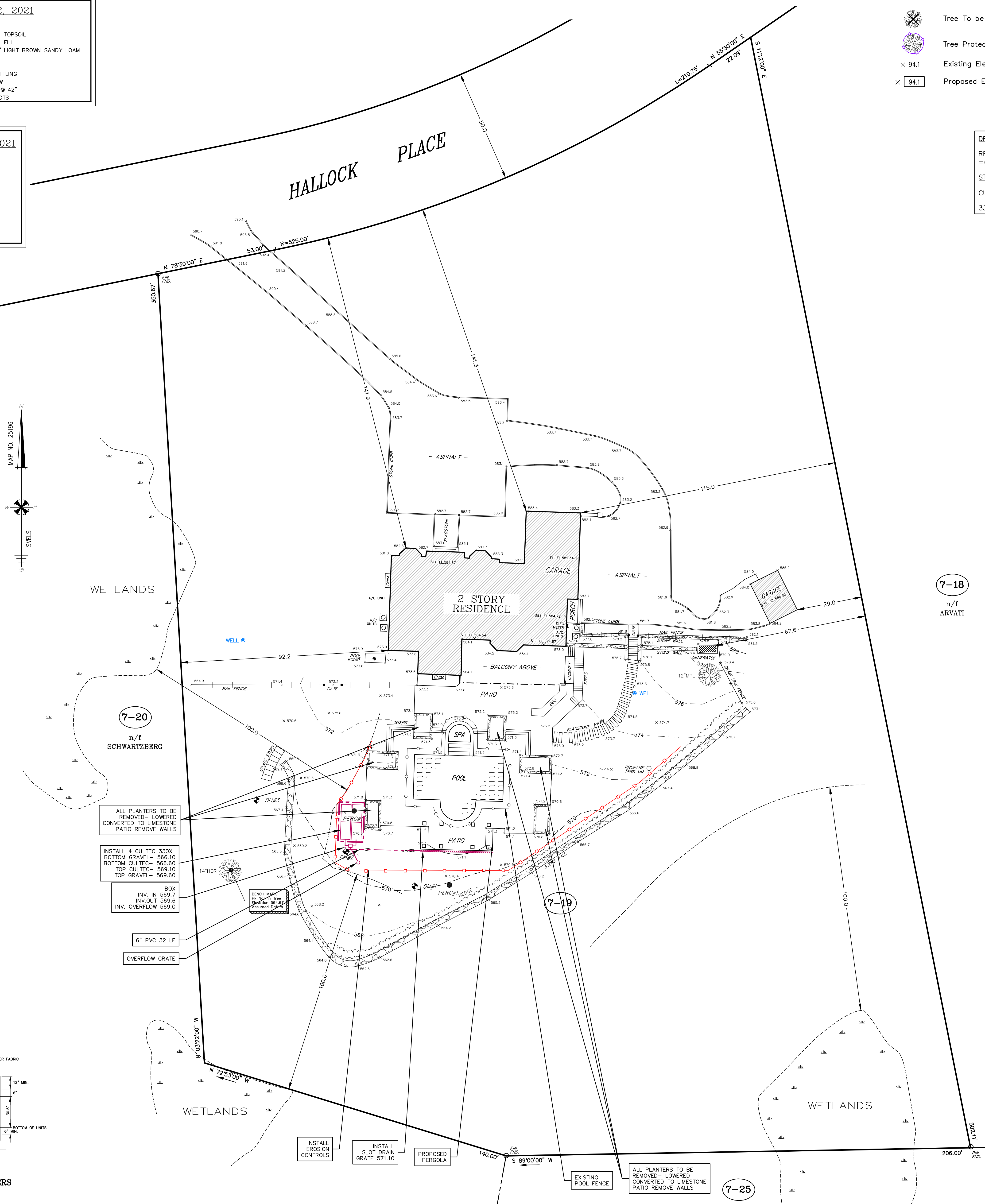
STORAGE PROVIDED:
CULTEC 330XLHD (4 UNITS), VOLUME=330 CUBIC FEET

330 PROVIDED > 325 REQUIRED

WRIGHTS MILL ROAD

HALLOCK PLACE

2 STORY RESIDENCE



SEDIMENTATION AND EROSION CONTROL NOTES

- Erosion and sediment control devices shall be installed in their proper sequence. No clearing or grading may be done in any area until the erosion control devices for that area, as shown on the plan, are in place and functional.
- All sediment and erosion control devices and provisions shall be maintained in operational condition by the contractor until final acceptance of the project.
- No changes of this soil erosion and sediment control plan may be made without prior approval of the supervising engineer.
- The contractor may provide alternate means of sediment control, but he may not eliminate placement of protection in the areas indicated hereon.
- Natural vegetation shall be maintained and protected where practical.
- Land disturbance is to be kept to a minimum. Reestablishment and/or stabilization of disturbed areas shall be scheduled as soon as practical.
- Erosion controls shall be monitored periodically to verify that they are maintained in effective working order. If, during construction, additional control measures are necessary, they shall be installed by that contractor.
- The contractor shall re-grade, topsoil, and seed all disturbed areas immediately after construction has been completed.
- Sediment fencing shall be installed where required prior to commencing construction, and shall remain in place for the duration of the project. Fencing shall be Proper Silt Slope (TM) as manufactured by Amoco, or engineer approved equivalent.
- Refer to the New York State Standards and Specifications for Erosion and Sediment Control for additional details and specifications.
- All designated trees shall be protected during the construction period, except those designated to be removed. Tree protection shall be in accordance with generally accepted standards. (Refer to the New York State Standards and Specifications for Erosion and Sediment Control for details and specifications).

CONSTRUCTION PHASING

- Install sediment and erosion controls.
- Install tree protection as required.
- Strip topsoil and stockpile with appropriate sediment controls.
- Rough in proposed construction access.
- Excavate for proposed foundation for pergola.
- Construct proposed foundation.
- Backfill and rough grade around foundation.
- Install additional silt fence as needed per phases.
- Install utilities, and stormwater pipes.
- Construct stormwater systems.
- Construct additional patio.
- Fine grade and stabilize all yard areas.
- Landscape as required.
- Remove sediment and erosion controls.

7-18
n/f
ARVATI

7-19
n/f
DIMAURO

7-25
n/f
DIMAURO

Sound View
ENGINEERS & LAND SURVEYORS LLC

239 Glenville Road, Suite 300
Greenwich, CT 06831
(203) 532-1300 PHONE info@soundviewengineers.com
www.soundviewengineers.com

PREPARED FOR:

DAVID COMORA
LAURA MALENKY

ADDRESS: 5 HALLOCK PLACE
VILLAGE OF ARMONK
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

SITE DEVELOPMENT PLAN

DWG. NO: 2716-2-SDP
SCALE: 1" = 20'
DATE: APRIL 30, 2021

SDP