



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43
Fax: (914) 273-3554
www.northcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)



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RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 43 Cox Ave, Armonk NY 10504

Section III- DESCRIPTION OF WORK:

Additions and renovations to an existing +/- 2,685 SF Single-Family Residence

Section III- CONTACT INFORMATION:

APPLICANT: Rocco DiLeo

ADDRESS: 363 Westchester Ave, Port Chester NY 10573

PHONE: 914.774.0534 MOBILE: 914.774.0534 EMAIL: rdileo@rdstudio-inc.com

PROPERTY OWNER:

Michael Montani

ADDRESS: 43 Cox Ave, Armonk NY 10504

PHONE: _____ MOBILE: 781.267.1440 EMAIL: montanim@gmail.com

PROFESSIONAL: Rocco DiLeo

ADDRESS: 363 Westchester Ave, Port Chester NY 10573

PHONE: _____ MOBILE: 914.774.0534

EMAIL: rdileo@rdstudio-inc.com

Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 108.01-3-21



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: 43 Cox Ave, Armonk NY 10504

Initial Submittal Revised Preliminary

Street Location: 43 Cox Ave, Armonk NY 10504

Zoning District: R-1A Property Acreage: 1 Tax Map Parcel ID: 108.01-3-21

Date: 6.1.21

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 43 Cox Ave Date: 06.01.21

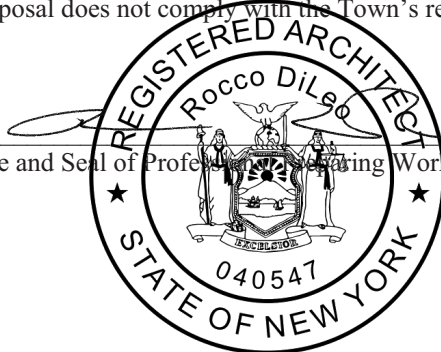
Tax Map Designation or Proposed Lot No.: 108.01-3-21

Floor Area

- | | | |
|-----|---|--------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>43,343</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>7,629.97 SF</u> |
| 3. | Amount of floor area contained within first floor:
<u>1,279.58</u> existing + <u>537</u> proposed = | <u>1,816.84</u> |
| 4. | Amount of floor area contained within second floor:
<u>383.65</u> existing + <u>537.26</u> proposed = | <u>1,563.37</u> |
| 5. | Amount of floor area contained within garage:
<u>0</u> existing + <u>859.44</u> proposed = | <u>859.44</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>492.36</u> existing + <u>546.44</u> proposed = | <u>1,038.80</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>5,278.45</u> |

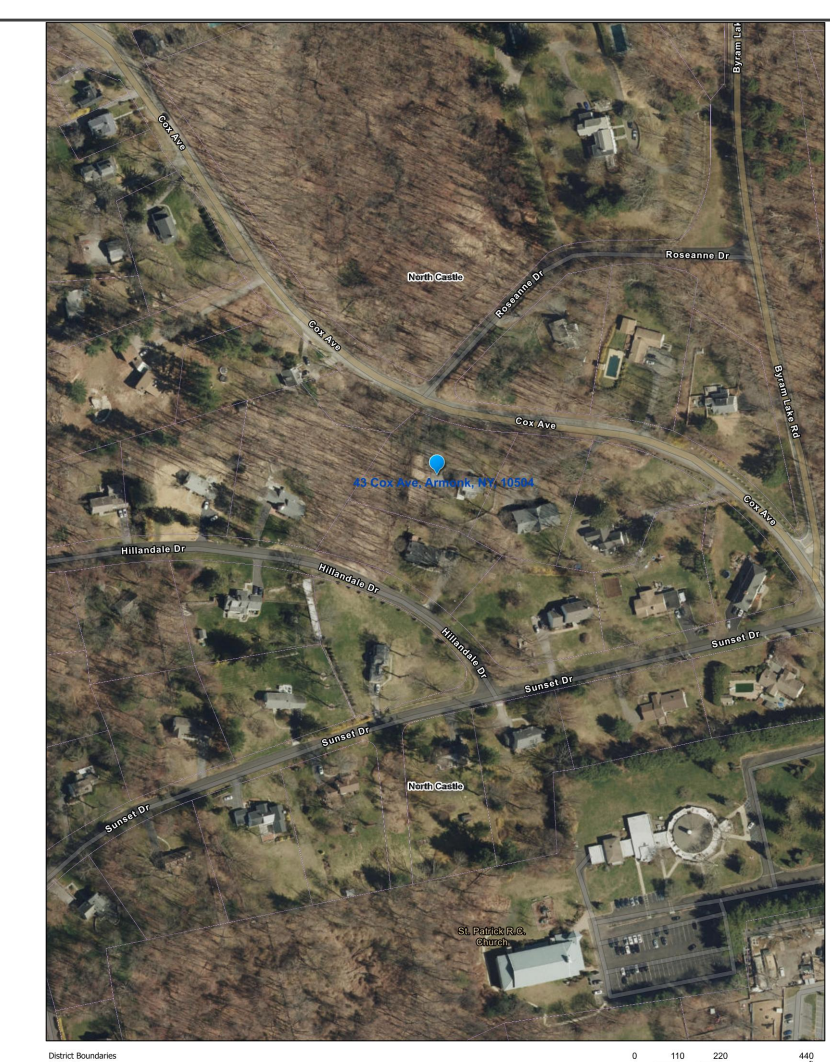
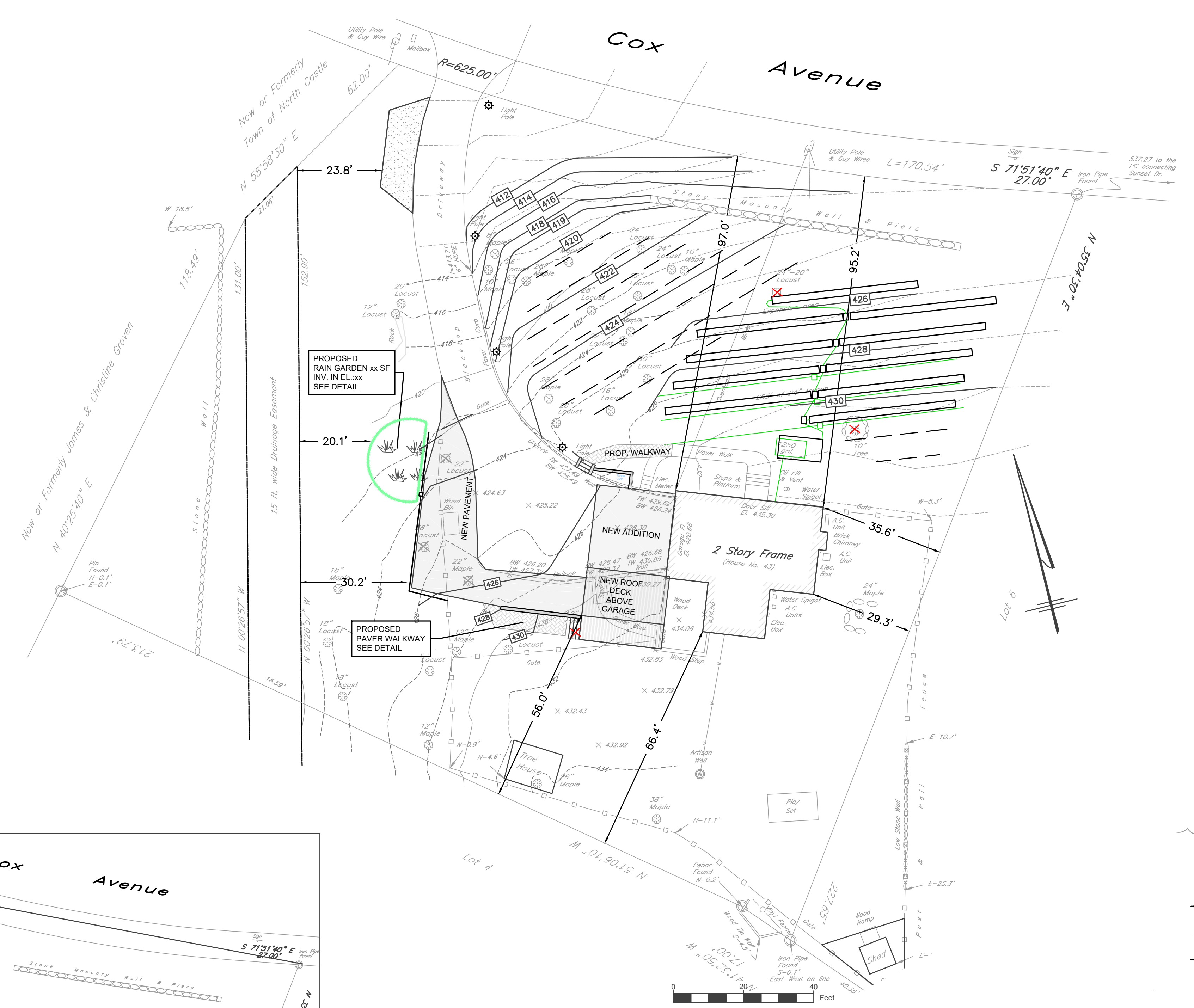
If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Architect



06.01.21

Date

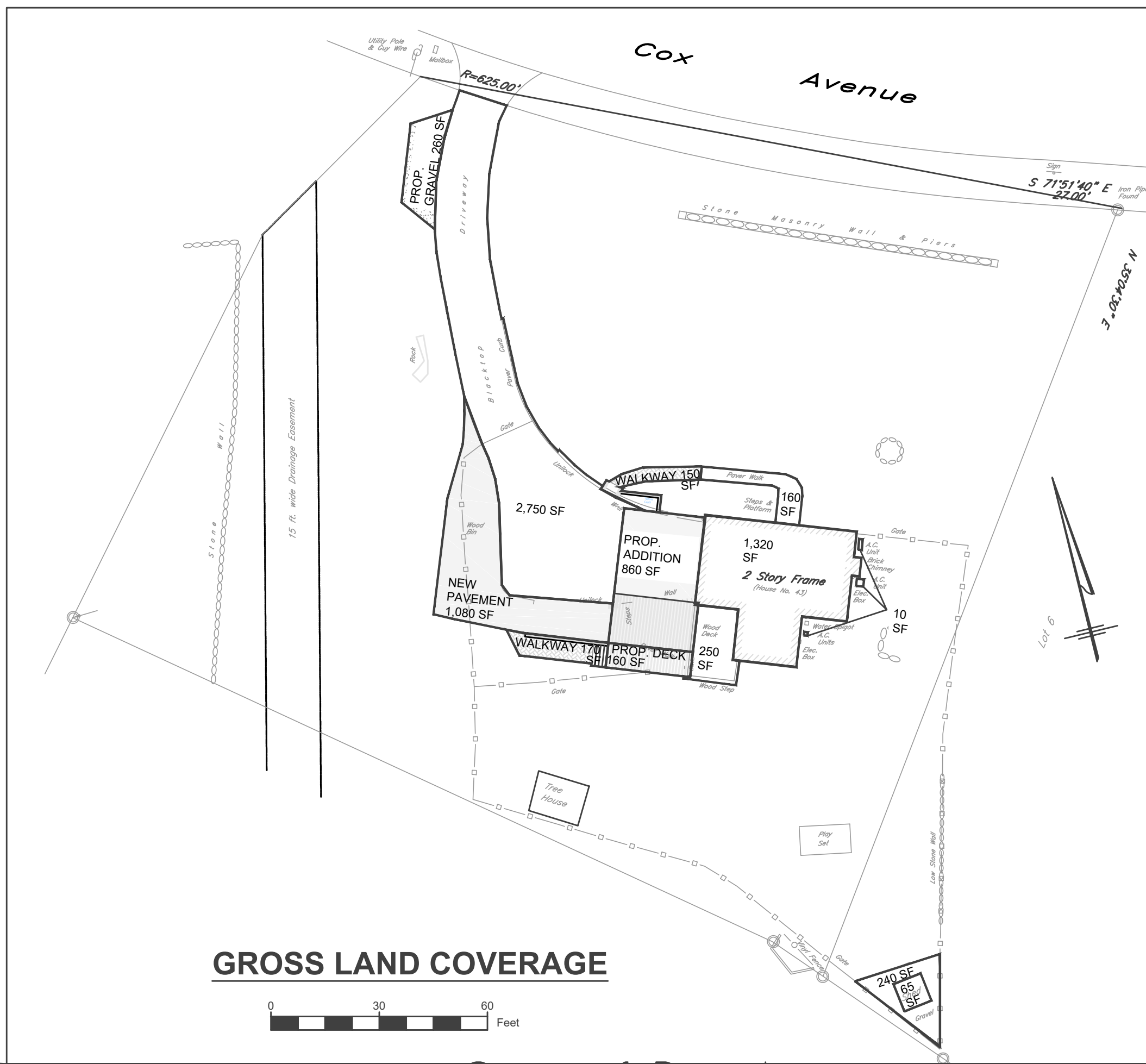


AREAL MAP

- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING BUILDING OR STRUCTURE
 - PROPOSED SEPTIC PIPING OR LATERAL
 - PROPOSED EXPANSION AREA PIPING OR LATERAL
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - PERCOLATION TEST LOCATION
 - DEEP TEST PIT LOCATION
 - UTILITY POLE
 - SILT FENCE
 - LAND DISTURBANCE
 - SOILS BY NATURAL RESOURCES CONSERVATION SERVICE
 - PROP. SEWER LINE
 - TREE LINE
 - DRAIN
 - PROP. STONE WALL
 - PROP. WOOD FENCE
 - EX. WATER LINE (APPROXIMATE LOCATION)
 - PROP. GAS LINE

General Notes

- SURVEY INFORMATION WAS TAKEN FROM THE MAP ENTITLED "SURVEY OF PROPERTY PREPARED FOR MICHAEL D. & DANIELLA A. MONTANI IN THE TOWN OF NORTH CASTLE, WESTCHESTER CO., N.Y." DATED 11-11-20, BY STEVEN J. WILLARD, LS # 050054, WARD CARPENTER ENGINEERS INC., 76 MAMARONECK AVE, WHITE PLAINS, NY 10601.
- ADDITIONAL TOPOGRAPHICAL INFORMATION, TAKEN FROM WESTCHESTER COUNTY, NY TOPOGRAPHICAL MAPPING AND GIS DATABASE.
- UTILITIES SHOWN HEREIN ARE A COMPILATION OF FIELD MEASUREMENTS AND UTILITY COMPANY RECORDS, AND ARE THEREFORE APPROXIMATE. THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND STRUCTURES WITHIN LIMITS OF CONSTRUCTION SHALL BE VERIFIED BY A CONTRACTOR PRIOR TO CONSTRUCTION.



GROSS LAND COVERAGE

ZONING CONFORMANCE WORKSHEET

R-1A ZONE	REQUIRED AS PER CURRENT CODE	EXISTING	PROPOSED
FRONTAGE AND LOT WIDTH (FT.)	125	±200	±200
LOT DEPTH (FT.)	150	±190	±190
MINIMUM YARDS: FRONT (FT.)	50	±95.2	±95.2
MINIMUM YARDS: SIDE (FT.)	25	±29.3	±29.3
MINIMUM YARDS: REAR (FT.)	40	±66.4	±56
MAXIMUM BUILDING COVERAGE (%)	12	3.1	5.2
MAXIMUM DEVELOPMENT COVERAGE (SQ.FT.)	9,663	5,580	7,475
LOT AREA	1 AC.	0.9721 AC.	0.9721 AC.

No.	Revision/Issue	Date

Firm Name and Address

TJ ENGINEERING LLC

117 MAMANASCO RD.
RIDGEFIELD, CT 06877
INFO@TJENGINEERING.US
TEL # 203-249-5755

TEISUTE JUCAITE P.E.

Project Name and Address

ZONING CONFORMANCE PLAN
43 COX AVE.
NORTH CASTLE
WESTCHESTER COUNTY, NY 10507

OWNER: MICHAEL D. & DANIELLA A. MONTANI
WESTCHESTER COUNTY
TAX MAP No 108.01-3-21

Project	Sheet
SITE PLAN	1
Date	05.30.21
Scale	1"=20'



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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Michael Montani Date: 05.27.21

Tax Map Designation or Proposed Lot No.: 108.01 - 3 - 21

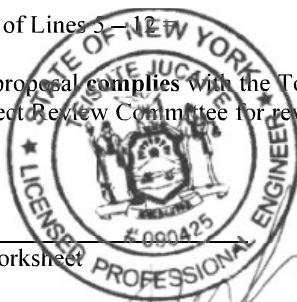
Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 0.9721ac
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(a)): 9,211 sf
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):

Distance principal home is beyond minimum front yard setback
45.2 x 10 = 452 sf
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 9,663 sf
5. Amount of lot area covered by **principal building**:
1,320 existing + 860 proposed = 2,180 sf
6. Amount of lot area covered by **accessory buildings**:
65 existing + _____ proposed = 65 sf
7. Amount of lot area covered by **decks**:
250 sf existing + 160 sf proposed = 410 sf
8. Amount of lot area covered by **porches**:
 _____ existing + _____ proposed = 0
9. Amount of lot area covered by **driveway, parking areas and walkways**:
3,150 sf existing + 1,660 proposed = 4,810sf
10. Amount of lot area covered by **terraces**:
0 existing + 0 proposed = 0
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
10 sf existing + _____ proposed = 10 sf
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = _____
13. Proposed **gross land coverage**: Total of Lines 5 - 12 7,475 sf

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



05.27.21

Date

ADDITIONS & RENOVATIONS

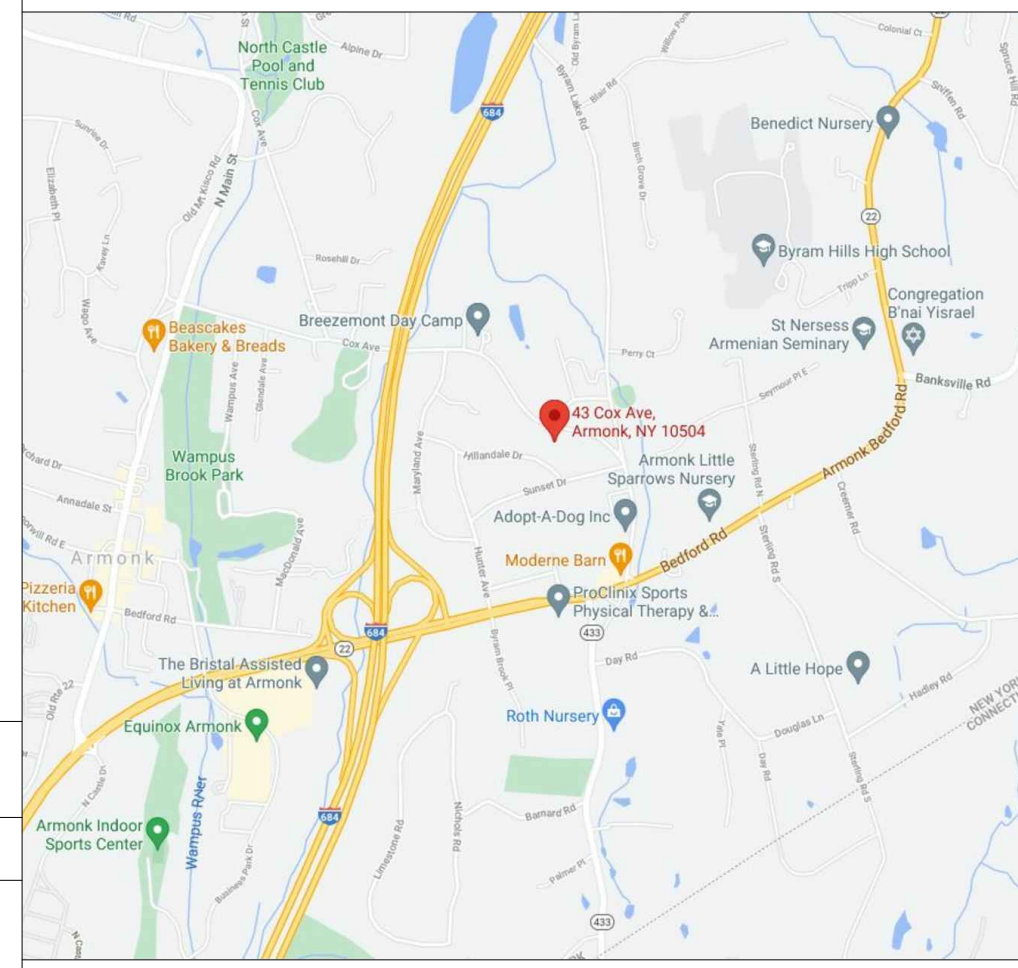
FOR:

MICHAEL & DANIELLE MONTANI

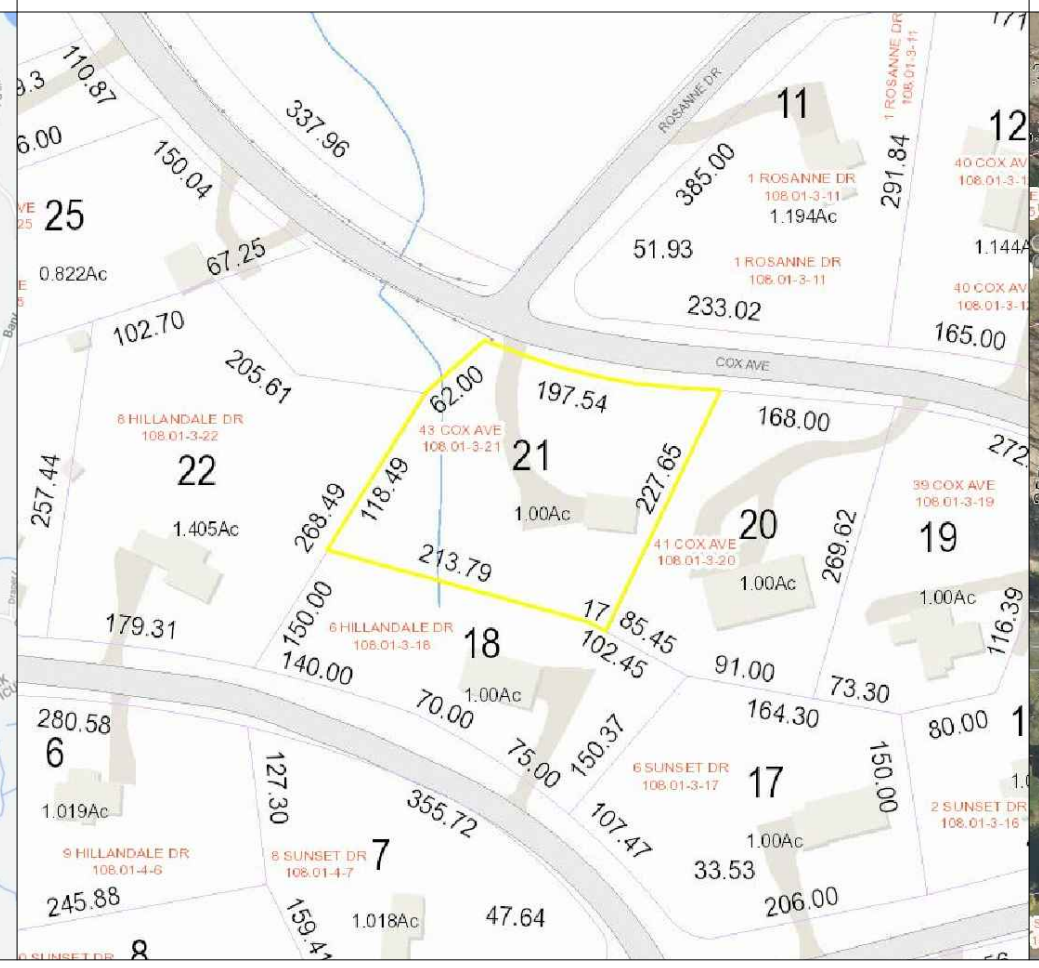
43 COX AVENUE, ARMONK, NY 10504

ZONE: R-1A SECTION: 108.01 BLOCK: 3 LOT: 21

LOCATION MAP: NTS



TAX MAP: 108.01-3-21



AERIAL MAP: NTS



Status	Date
SUBMITTED TO RPRC	05.28.21

Design Professional's seal, electronic or digital seal in signature is effective only if the seal number of the licensee is displayed. Design Professional. Design Professional is not responsible for any subsequent modification, acceptance or withdrawal of any of the drawings. Copyright © by the State of New York. All rights reserved.



GENERAL CONDITIONS:

- THESE DOCUMENTS REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT, AND MAY NOT BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN CONSENT OF THE ARCHITECT.
- CONTRACTORS SHALL VISIT THE SITE AND BE RESPONSIBLE FOR HAVING RECORDED ALL CONDITIONS WITHIN THE SCOPE OF THE PROJECT. NO CLAIMS FOR EXTRA COMPENSATION, BASED ON IGNORANCE OF VISIBLE OR IMPLIED EXISTING CONDITIONS WILL BE CONSIDERED.
- ALL WORK IS TO CONFORM TO ALL APPLICABLE REQUIREMENTS OF LOCAL GOVERNING CODES, STATE CONSTRUCTION AND ENERGY CONSERVATION CODES, HEALTH CODE, FIRE DEPARTMENT REGULATIONS, FHA FRAMING STANDARDS, OSHA CODES, FHMM AND UTILITY CODES, AND BEST TRADE PRACTICES.
- ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING MATERIAL. DOING ANY WORK, ANY DISCREPANCIES OR ERRORS IN THE PLANS, SPECIFICATIONS, AND/OR DETAILS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGE IN PLANS, DETAILS OR DIMENSIONS IS PERMISSIBLE WITHOUT THE CONSENT OF THE ARCHITECT. SHOULD THE CONTRACTOR FAIL TO NOTIFY THE ARCHITECT WITHIN A REASONABLE TIME, HE SHALL BE RESPONSIBLE FOR THE COST OF RECTIFYING SUCH ERRORS.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK, AS DETERMINED BY THE ARCHITECT, SHALL BE INCLUDED IN THE WORK THE SAME AS IF HEREIN SPECIFIED OR INDICATED.
- CONTRACTORS ARE TO FILE INSURANCE CERTIFICATE AND OBTAIN ALL PERMITS, SCHEDULE ALL REQUIRED INSPECTIONS WITH NOTIFICATION TO INSPECTORS AND ARCHITECT, OBTAIN ALL CODE APPROVALS AND PERMITS CERTIFICATES, AND FILE FOR AND OBTAIN CERTIFICATE OF OCCUPANCY. NO WORK SHALL START PRIOR TO OBTAINING PERMITS.
- GENERAL CONTRACTOR SHALL CARRY PROPERTY DAMAGE INSURANCE AND PUBLIC LIABILITY INSURANCE, WORKMAN'S COMPENSATION, AUTO INSURANCE, GENERAL LIABILITY AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES AND OWNER REQUIRES. THE ARCHITECT THEREFORE TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THESE DRAWINGS FOR BIDDING SCOPE ONLY, AND WILL FURNISH MORE DETAILED INFORMATION LATER WHEN AREAS ARE ACTUALLY ACCESSIBLE AND MEASURABLE BY THE CONTRACTORS. ANY WORK THAT MUST BE DONE ADDITIONALLY IN AREAS WHERE INFORMATION OR INDICATIONS WHERE WORK IN LAID OUT, SHALL BE BILLED TO THE OWNER AS AN EXTRA CHARGE, SUBJECT TO THE ARCHITECT'S APPROVAL OF AN ITEMIZED COST BREAKDOWN.
- CONTRACTORS SHALL COORDINATE ALL WORK PROCEDURES AND WORKING HOURS WITH LOCAL AUTHORITIES, NEIGHBORHOOD ASSOCIATIONS, AND ANY OTHER GOVERNING AUTHORITIES.
- ALL INDICATED SURVEY MATERIAL IS FOR GENERAL REFERENCE ONLY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR CORRECTNESS OF ANY OF THE INDICATED MATERIAL.
- CONTRACTORS SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING AND NEW CONDITIONS AND MATERIALS WITH AND ADJACENT TO THE CONSTRUCTION AREA. ANY DAMAGE CAUSED BY THE EXECUTION OF THE WORK INDICATED OR IMPLIED HEREIN SHALL BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S SOLE EXPENSE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF CONSTRUCTION DEBRIS, RUBBISH AND OFF SITE DISPOSAL IN A RESPONSIBLE MANNER.
- CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
- DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS ONLY.
- CONTRACTOR SHALL LAY OUT WORK AND BE RESPONSIBLE FOR ITS CORRECTNESS AND SAFETY, AND SHALL GIVE NECESSARY DIMENSIONS TO ALL PARTIES.
- BY STARTING ANY WORK, CONTRACTOR SIGNIFIES ACCEPTANCE OF THE PREVIOUSLY INSTALLED MATERIALS AND FRAMING, AND WAIVES ANY RIGHT TO BLAME PRIOR WORK FOR ANY DEFECTS IN HIS OWN WORK.
- CONTRACTOR TO ORDER SPECIFIC MATERIALS INDICATED HEREIN IMMEDIATELY AFTER BEING AUTHORIZED TO PROCEED. THE SUBSTITUTIONS PERMITTED WITHOUT APPROVAL OF THE ARCHITECT, AND CONTRACTOR WILL BE HELD LIABLE FOR DELAYS CAUSED BY CONTRACTOR'S FAILURE TO ORDER MATERIAL PROMPTLY.
- CONTRACTOR IS TO DESIGN AND INSTALL ADEQUATE AND CODE APPROVED SHORING AND BRACING WHERE NEEDED TO SAFELY COMPLETE STRUCTURAL WORK. CONTRACTOR TO ASSUME FULL AND SOLE RESPONSIBILITY FOR STRUCTURAL ADEQUACY OF THE SHORING, AND FOR ANY INJURIES, DAMAGE, CRACKS, OR DEFECTS CAUSED BY SHORING OR BRACING, AND SHALL REPAIR ALL SUCH DAMAGE AT HIS SOLE EXPENSE.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL PAYMENT. THE GENERAL CONTRACTOR IS TO FURNISH WRITTEN GUARANTEE ON HIS WORK AND ALL SUBCONTRACTOR'S WORK, AGAINST DEFECTS RESULTING FROM THE USE OF INTERIOR MATERIALS, EQUIPMENT, OR WORKMANSHIP, AS DETERMINED SOLELY BY THE ARCHITECT. ALL SUCH DEFECTS ARE TO BE REPLACED OR REPAIRED, COMPLETE WITH LABOR AND MATERIALS, AT NO COST TO OWNER.
- SUBSTITUTIONS OF EQUIPMENT OR MATERIALS OTHER THAN THOSE SHOWN ON THE DRAWINGS OR IN THE SPECIFICATIONS SHALL BE MADE ONLY UPON APPROVAL OF THE ARCHITECT OR OWNER AS NOTED ON THE DRAWINGS OR IN THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT HIS SUBSTITUTION FOR APPROVAL BEFORE RELEASING ANY ORDER FOR FABRICATION AND/OR SHIPMENTS. THE ARCHITECT RESERVES THE RIGHT TO DISAPPROVE SUCH SUBSTITUTION, PROVIDED IN HIS SOLE OPINION, THE ITEM OFFERED IS NOT EQUAL OF THE ITEM SPECIFIED. WHERE A CONTRACTOR PURPOSES TO USE AN ITEM OTHER THAN THAT SPECIFIED OR DETAILED ON THE DRAWINGS, WHICH REQUIRES ANY REDESIGN OF THE STRUCTURE, PARTITIONS, PIPING, WIRING OR OF ANY OTHER PART OF THE MECHANICAL, ELECTRICAL, OR ARCHITECTURAL LAYOUT, ALL SUCH REDESIGN, AND ALL NEW DRAWINGS AND DETAILING REQUIRED THEREFOR SHALL, WITH THE APPROVAL OF THE ARCHITECT, BE PREPARED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ALL WORK SHALL BE INSTALLED SO THAT ALL PARTS REQUIRED ARE READILY ACCESSIBLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR. MINOR DEVIATIONS FROM THE DRAWINGS MAY BE MADE TO ACCOMPLISH THIS, BUT CHANGES OF MATERIAL SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT.
- UPON COMPLETION OF THE WORK, THE ENTIRE PROJECT IS TO BE COMPLETELY CLEANED AND THE SITE RESTORED TO EXISTING CONDITION, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
 - COMPLETE SWEEPING OF ALL AREAS, AND REMOVAL OF ALL RUBBISH AND DEBRIS, EXCEPT THAT CAUSED BY OWNER OR OTHER DOING N.C. WORK.
 - REMOVAL OF ALL LABELS FROM GLASS, FIXTURES, AND EQUIPMENT, ETC. AND SPRAY CLEANING OF ALL GLASS /MIRRORS.
 - REMOVAL OF STAINS, AND PAINT FROM GLASS, HARDWARE, FINISHED FLOORING, CABINETS, ETC.
 - PROFESSIONAL INTERIOR AND EXTERIOR FINAL CLEANING OF THE ENTIRE STRUCTURE. RESTORATION OF PROPERTY BY RETURNING SHRUBS TO ORIGINAL LOCATIONS, FILLING OF ALL RUTS, RAKE TOPSOIL, PLANT GRASS SEED ON DAMAGED LAWN AREAS AND REPAIRS TO DAMAGED BLACKTOP.
- UNLESS OTHERWISE NOTED, MATERIALS SHALL BE PREPARED, INSTALLED, FITTED, AND ADJUSTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, DETAILS, AND RECOMMENDATIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS RESPONSIBILITY DURING THE PROGRESS OF THE PROJECT.
- GENERAL CONTRACTORS TO NOTIFY THE ARCHITECT OF ANY UNFORESEEN CONDITIONS ARISE DURING CONSTRUCTION.
- GENERAL CONTRACTORS SHALL COORDINATE WITH THE VARIOUS TRADES INVOLVED IN THE CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL PROTECT AND NOT DAMAGE TREES, PLANTINGS OR SHRUBS WHERE CONSTRUCTION WORK IS REQUIRED AT THE EXISTING EXTERIOR OF THE BUILDING.
- THE ENTIRE WORK AREA SHALL BE DELIVERED TO THE OWNER IN PROPER WORKING CONDITIONS.

MATERIAL LEGEND

	Earth
	Concrete
	Concrete Block
	Brick
	Marble
	Plywood
	Metal
	Wood Finish
	Wood Rough
	Insulation
	Rigid Insulation
	Glazing/Mirror
	Gravel

PROJECT DESCRIPTION

ADDITIONS & RENOVATIONS TO AN EXISTING ±2,685 SF SINGLE-FAMILY RESIDENCE

CODE SUMMARY

ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF NORTH CASTLE CODES & ORDINANCES.

BUILDING	2020 BUILDING CODE OF NEW YORK STATE 2020 RESIDENTIAL CODE OF NEW YORK STATE 2020 NYS UNIFORM CODE SUPPLEMENT
EXISTING BUILDING	2020 EXISTING BUILDING CODE OF NEW YORK STATE
FIRE	2020 FIRE CODE OF NEW YORK STATE
PLUMBING	2020 PLUMBING CODE OF NEW YORK STATE
MECHANICAL	2020 MECHANICAL CODE OF NEW YORK STATE
FUEL GAS	2020 FUEL GAS CODE OF NEW YORK STATE
ENERGY	2020 ENERGY CONSERVATION CODE OF NEW YORK STATE
PROPERTY MAINTENANCE	2020 PROPERTY MAINTENANCE CODE OF NEW YORK STATE
ACCESSIBILITY	ANSI/ICC A117.1

USE AND OCCUPANCY CLASSIFICATION:
SINGLE-FAMILY RESIDENCE: R-3 (NYSBC: 310.5)

CONSTRUCTION TYPE:
TYPE VB (NYSBC: TABLE 601)

PROJECT DIRECTORY

OWNER/CLIENT	ARCHITECT	BUILDING DEPARTMENT
MICHAEL & DANIELLE MONTANI 43 COX AVENUE ARMONK, NY 10504 T: 781.207.3480 E: MONTANI@GMAIL.COM	REDECO, INC 363 WESTCHESTER AVENUE PO BOX 2087 T: 914.274.0534 E: RHODE@REDECO-INC.COM	TOWN OF NORTH CASTLE BUILDING DEPT. 37 BEDFORD ROAD ARMONK, NY 10504 T: 914.273.3000 E: BUILDING@NORTHCASTLE.NY.GOV

ABBREVIATION LEGEND

ACDUST	ACOUSTICAL AMERICANS WITH DISABILITIES ACT	IAM	LAMINATE
ADA	ADJUSTABLE	L.F.	LINEAR FEET
ADJ	ADJUSTABLE	L.G.	LENGTH
AF	ABOVE FINISHED FLOOR	L.H.	LIGHT
AL	ALUMINUM	LAV	LAVATORY
ALUM	ALUMINUM	MATL	MATERIAL
ALUM	ALUMINUM	MFR	MANUFACTURER
ALUM	ALUMINUM	M.O.	MASONRY OPENING
ALUM	ALUMINUM	MTL	METAL
ALUM	ALUMINUM	MULL	MULLION
ALUM	ALUMINUM	NJ	NEW
ALUM	ALUMINUM	N/A	NOT APPLICABLE
ALUM	ALUMINUM	N.C.	NOT IN CONTRACT
ALUM	ALUMINUM	NSF	NET SQUARE FOOTAGE
ALUM	ALUMINUM	NTS	NOT TO SCALE
ALUM	ALUMINUM	O.A.	OVER ALL
ALUM	ALUMINUM	O.C.	ON CENTER
ALUM	ALUMINUM	O.D.	OUTSIDE DIAMETER
ALUM	ALUMINUM	O.F.	OVERFLOW
ALUM	ALUMINUM	O.H.	OPPOSITE HAND
ALUM	ALUMINUM	PART	PARTITION
ALUM	ALUMINUM	P.L.	PLASTIC LAMINATE
ALUM	ALUMINUM	P.LAM	PLASTIC LAMINATE
ALUM	ALUMINUM	PLMB	PLUMBING
ALUM	ALUMINUM	PLYWD	PLYWOOD
ALUM	ALUMINUM	P.M.U.	PRE-CAST MASONRY UNIT
ALUM	ALUMINUM	PNL	PANEL
ALUM	ALUMINUM	POL	POLISHED
ALUM	ALUMINUM	PROJ	PROJECT/PROJECTION
ALUM	ALUMINUM	PRD	PAINTED
ALUM	ALUMINUM	P.T.	PRESSURE TREATED
ALUM	ALUMINUM	QTY	QUANTITY
ALUM	ALUMINUM	R	RIB
ALUM	ALUMINUM	R/R	REFLECTED CEILING PLAN
ALUM	ALUMINUM	R/RAD	RADIUS
ALUM	ALUMINUM	RECP	RECEPTACLE
ALUM	ALUMINUM	R.O.	ROUGH OPENING
ALUM	ALUMINUM	R.S.F.	RENTABLE SQUARE FOOTAGE
ALUM	ALUMINUM	R.T.U.	ROOF TOP UNIT
ALUM	ALUMINUM	S.C.	SOLID CORE
ALUM	ALUMINUM	SCHD.	SCHEDULE
ALUM	ALUMINUM	SEC	SECTION
ALUM	ALUMINUM	S.F.	SQUARE FOOT/SQUARE FOOTAGE
ALUM	ALUMINUM	SM	SIMILAR
ALUM	ALUMINUM	SPEC	SPECIFY/SPECIFIED
ALUM	ALUMINUM	SS	STAINLESS STEEL
ALUM	ALUMINUM	S.S.	STAINLESS STEEL
ALUM	ALUMINUM	STD	STANDARD
ALUM	ALUMINUM	STL	STEEL
ALUM	ALUMINUM	SUSP	SUSPENDED
ALUM	ALUMINUM	TEL	TELEPHONE
ALUM	ALUMINUM	TEMP	TEMPERED
ALUM	ALUMINUM	THRS	THRESHOLD
ALUM	ALUMINUM	T.O.	TOP OF
ALUM	ALUMINUM	T.O.S.	TOP OF STEEL/FLOOR
ALUM	ALUMINUM	T.O.W.	TOP OF WALL
ALUM	ALUMINUM	TYP	TYPICAL
ALUM	ALUMINUM	TM	TO MATCH EXISTING
ALUM	ALUMINUM	UC	UNDERCUT
ALUM	ALUMINUM	U.L.A.	U.L. APPROVED
ALUM	ALUMINUM	U.O.N.	UNLESS OTHERWISE NOTED
ALUM	ALUMINUM	U.S.F.	USABLE SQUARE FOOTAGE
ALUM	ALUMINUM	US	UNDERSIDE
ALUM	ALUMINUM	V.I.F.	VERIFY IN FIELD
ALUM	ALUMINUM	VOL	VOLUME
ALUM	ALUMINUM	VCT	VINYL COMPOSITION TILE
ALUM	ALUMINUM	VCT	VINYL TILE
ALUM	ALUMINUM	V.V.C.	VINYL WALL COVERING
ALUM	ALUMINUM	W/	WITH
ALUM	ALUMINUM	W/O	WITHOUT
ALUM	ALUMINUM	WC	WATER CLOSET
ALUM	ALUMINUM	WD	WOOD
ALUM	ALUMINUM	WH	WATER HEATER
ALUM	ALUMINUM	W.P.	WORKING POINT
ALUM	ALUMINUM	WT	WEIGHT

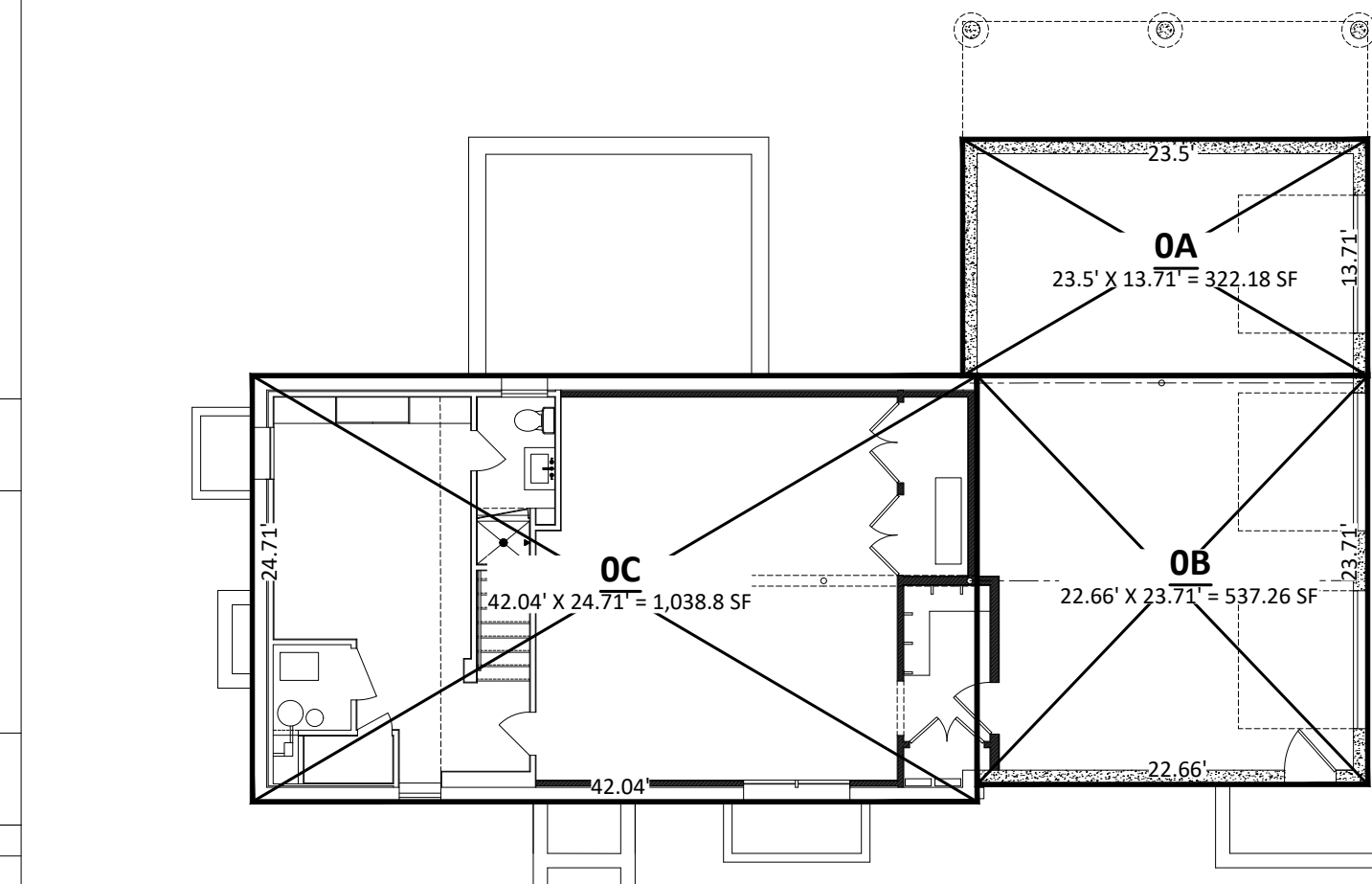
DRAWING LIST

A-001	GENERAL CONDITIONS: FLOOR AREA CALCULATIONS
A-101	BASEMENT PLAN
A-102	FIRST FLOOR PLAN
A-103	SECOND FLOOR PLAN
A-104	ROOF PLAN
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-301	BUILDING SECTIONS

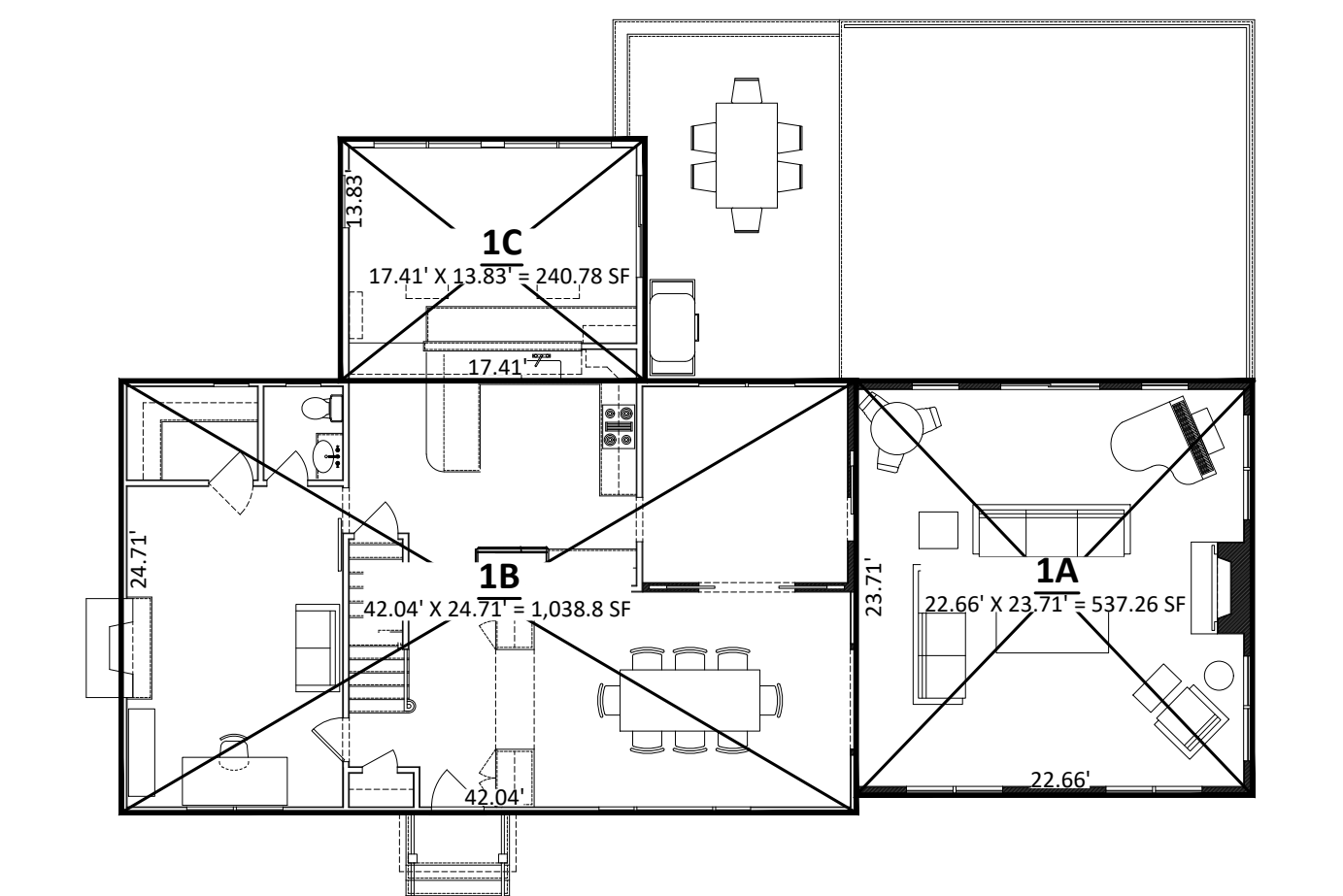
STRUCTURAL DESIGN CRITERIA

MIN. SOIL BEARING CAPACITY:	3,000 PSF
CONCRETE FOOTINGS:	3,000 PSI
CONCRETE SLABS ON GRADE/COMPACTED FILL:	3,000 PSI
DEFLECTION LIMITS (NYSBC: 1604.3):	L/360
LIVE LOADS (NYSBC: TABLE 1607.1):	
FIRST & SECOND FLOOR	40PSF
ATTIC W/O STORAGE	20PSF
ROOF	30PSF

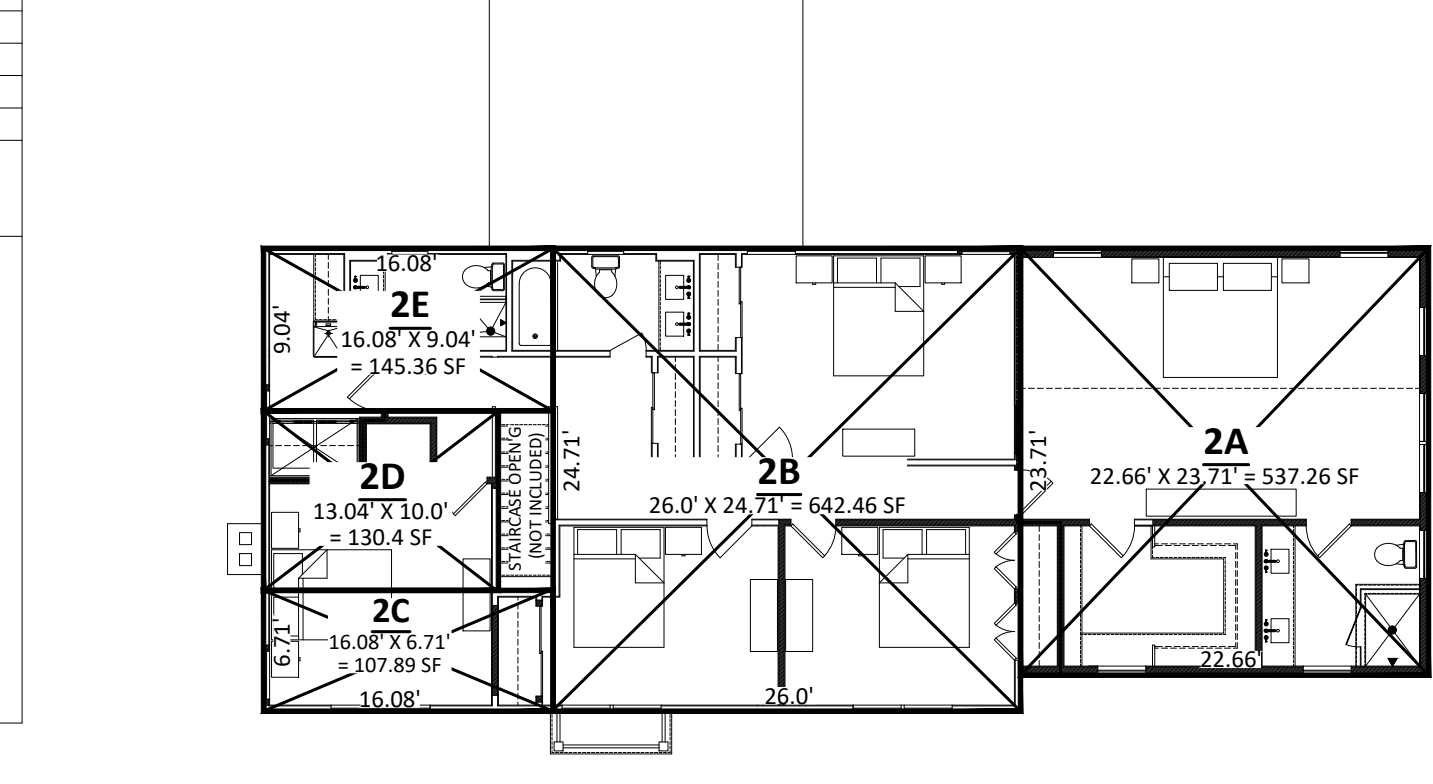
STRUCTURAL STEEL MATERIALS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING SPECIFICATIONS UNLESS NOTED OTHERWISE:
STRUCTURAL STEEL - ASTM A992 GRADE 50 U.N.
STEEL PLATES - ASTM A36 U.N. // HIGH STRENGTH BOLTS ASTM A325, GALVANIZED
NUTS - ASTM A563 GALVANIZED // WELDING ELECTRODES - AWS CLASS E70



1 BASEMENT GROSS FLOOR AREA DIAGRAM
SCALE: 3/32" = 1'-0"



2 FIRST FLOOR GROSS FLOOR AREA DIAGRAM
SCALE: 3/32" = 1'-0"



3 SECOND FLOOR GROSS FLOOR AREA DIAGRAM
SCALE: 3/32" = 1'-0"

GENERAL NOTE

- GROSS FLOOR AREA DIAGRAM NUMBERS CORRELATE WITH THE RPRC GROSS LAND COVERAGE CALCULATIONS WORKSHEET

MARK	SQUARE FOOTAGE
0A	23.5' X 13.71' = 322.18 SF
0B	22.66' X 23.71' = 537.26 SF
0C	42.04' X 24.71' = 1,038.8 SF
BASEMENT GFA TOTAL = 1,898.24 SF	

MARK	SQUARE FOOTAGE
1A	22.66' X 23.71' = 537.26 SF
1B	42.04' X 24.71' = 1,038.8 SF
1C	17.41' X 13.83' = 240.78 SF
FIRST FLOOR GFA TOTAL = 1,816.84 SF	

MARK	SQUARE FOOTAGE
2A	22.66' X 23.71' = 537.26 SF
2B	26.0' X 24.71' = 642.46 SF
2C	16.08' X 6.71' = 107.89 SF
2D	13.04' X 10.0' = 130.4 SF
2E	16.08' X 9.04' = 145.36 SF
SECOND FLOOR GFA TOTAL = 1,563.37 SF	

GFA TOTALS	
BASEMENT	1,898.24SF
FIRST FLOOR	1,816.84 SF
SECOND FLOOR	1,563.37 SF
ATTIC	N/A (CEILING HEIGHT BELOW 7.5')
LOT AREA = 43,343 SF OR 0.9721 ACRES	
(6,856 PLUS 8% OF THE LOT AREA IN EXCESS OF 0.75 ACRES) 6,856 SF + 773.97 SF (BONUS)	
MAX. R-1A PERMITTED GFA = 7,629.97 SF	

ADDITIONS & RENOVATIONS FOR:
MICHAEL & DANIEL MONTANI
 43 COX AVENUE, ARMONK, NY 10504
 GENERAL NOTES: FLOOR AREA CALCULATIONS

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Date	Date
08.26.20	Scale
AS NOTED	Job Number
2049	Sheet
A-001	

FLOOR PLAN LEGEND	
	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER

Status	Date
SUBMITTED TO RPRC	05.28.21

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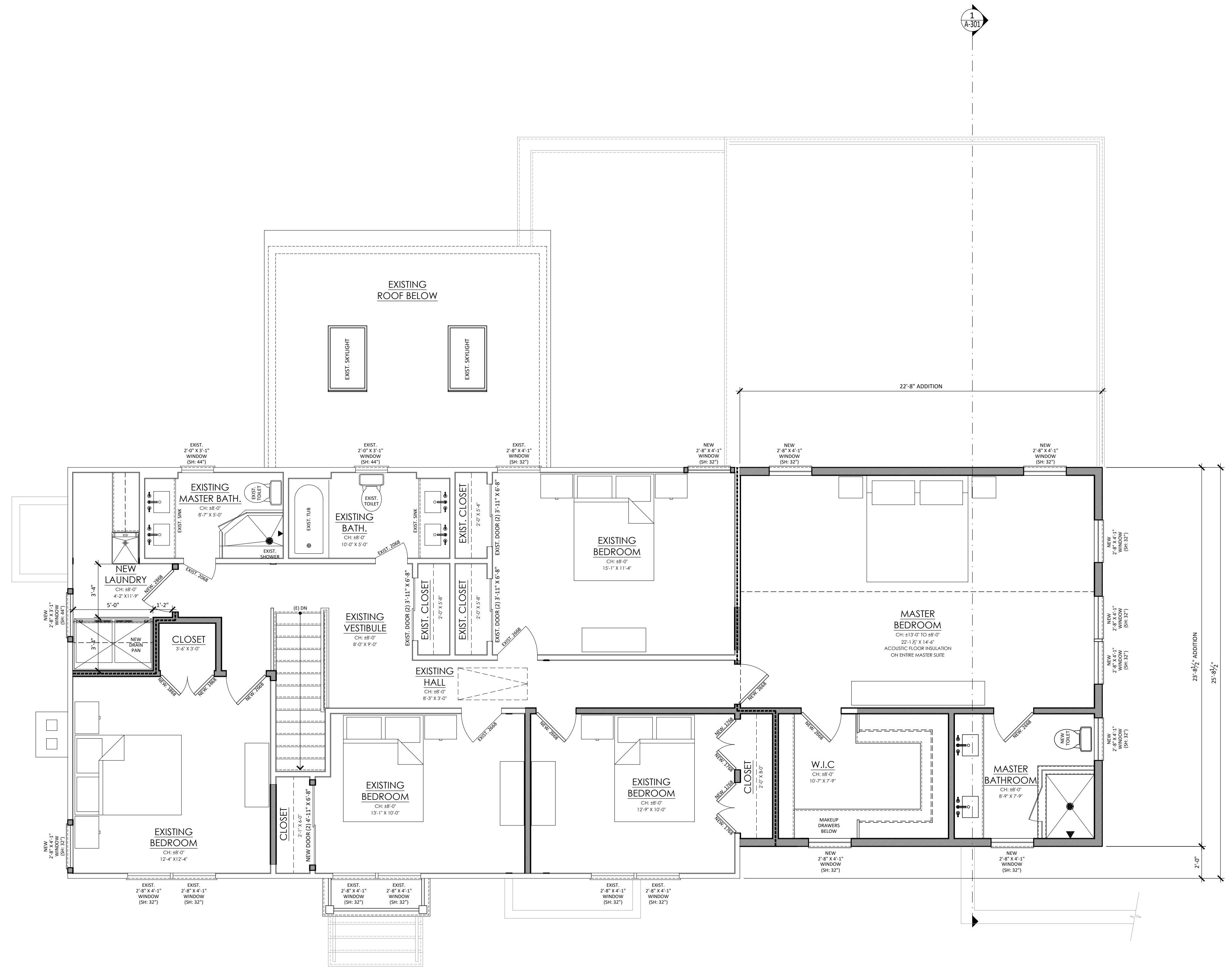
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SECOND FLOOR PLAN

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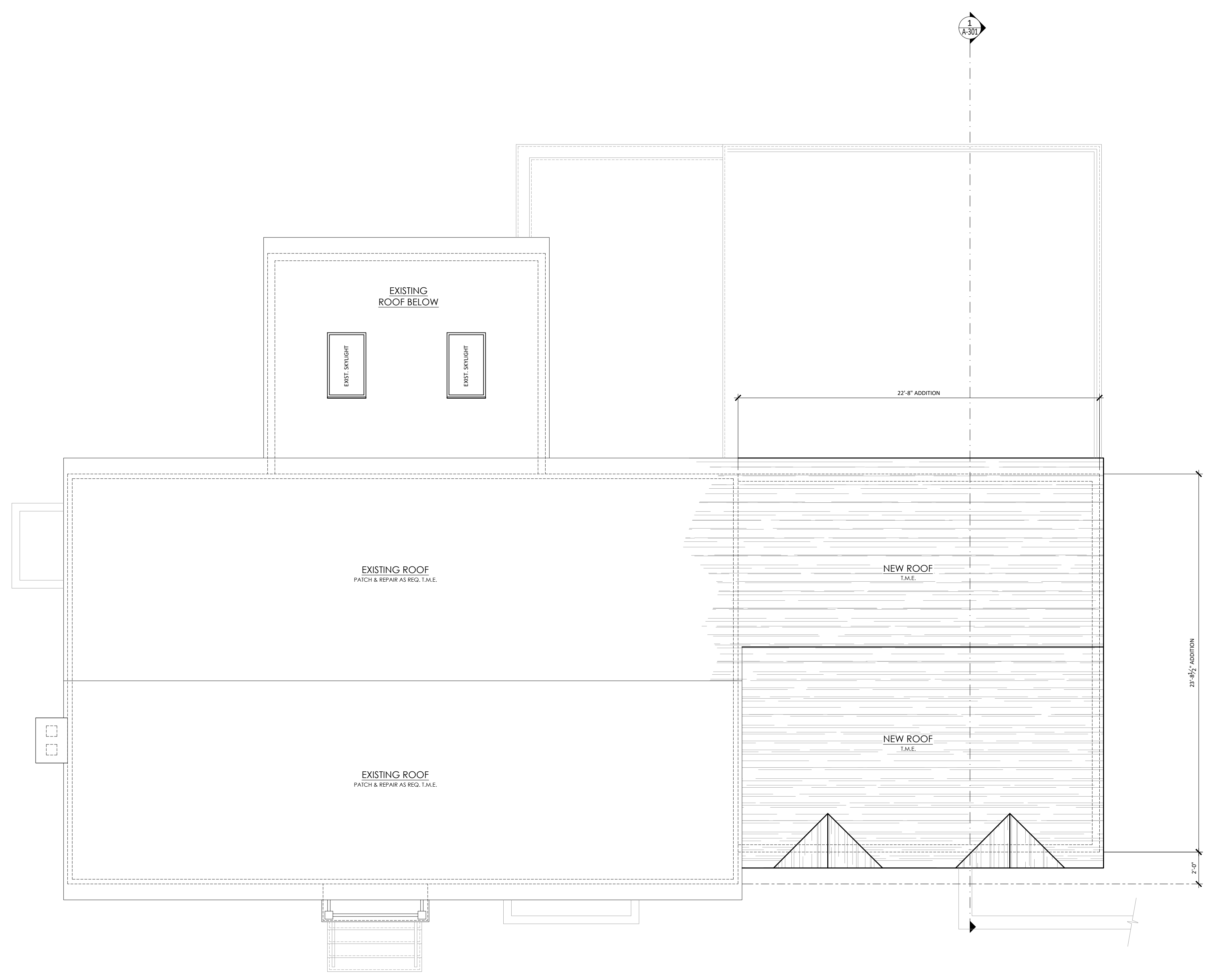
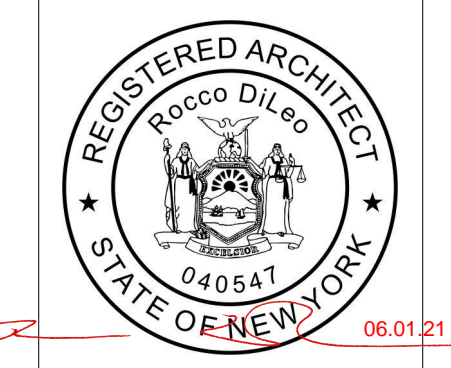


1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND	
	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER

Status	Date
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1 ROOF PLAN
A-104 SCALE: 1/4" = 1'-0"

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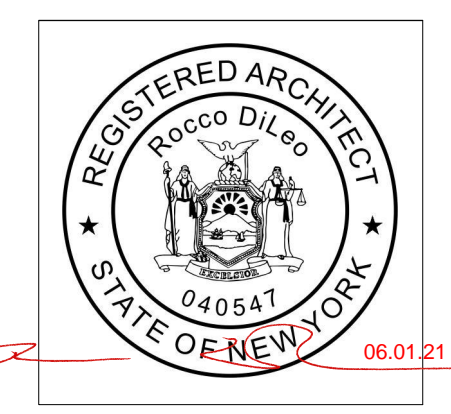
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SECOND FLOOR PLAN

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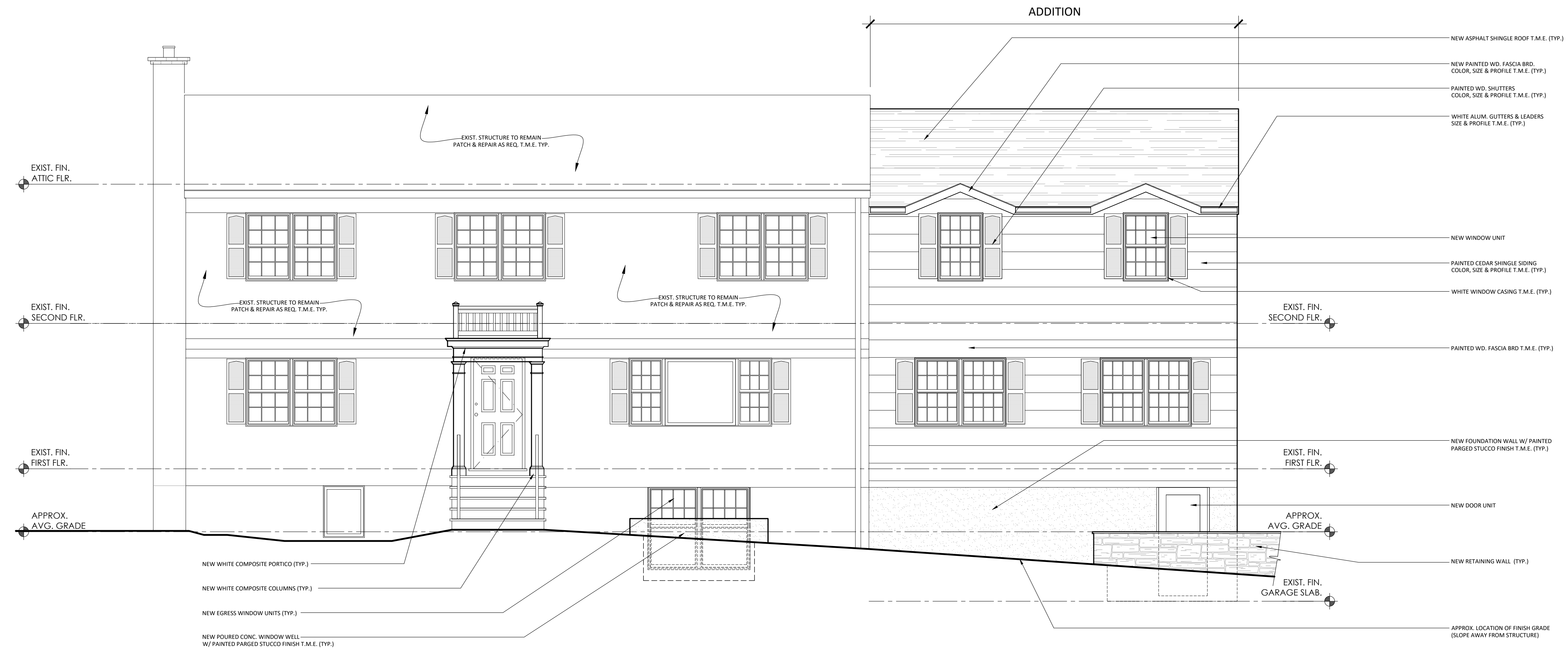
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EXTERIOR ELEVATIONS

JV	Drawn
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A-201



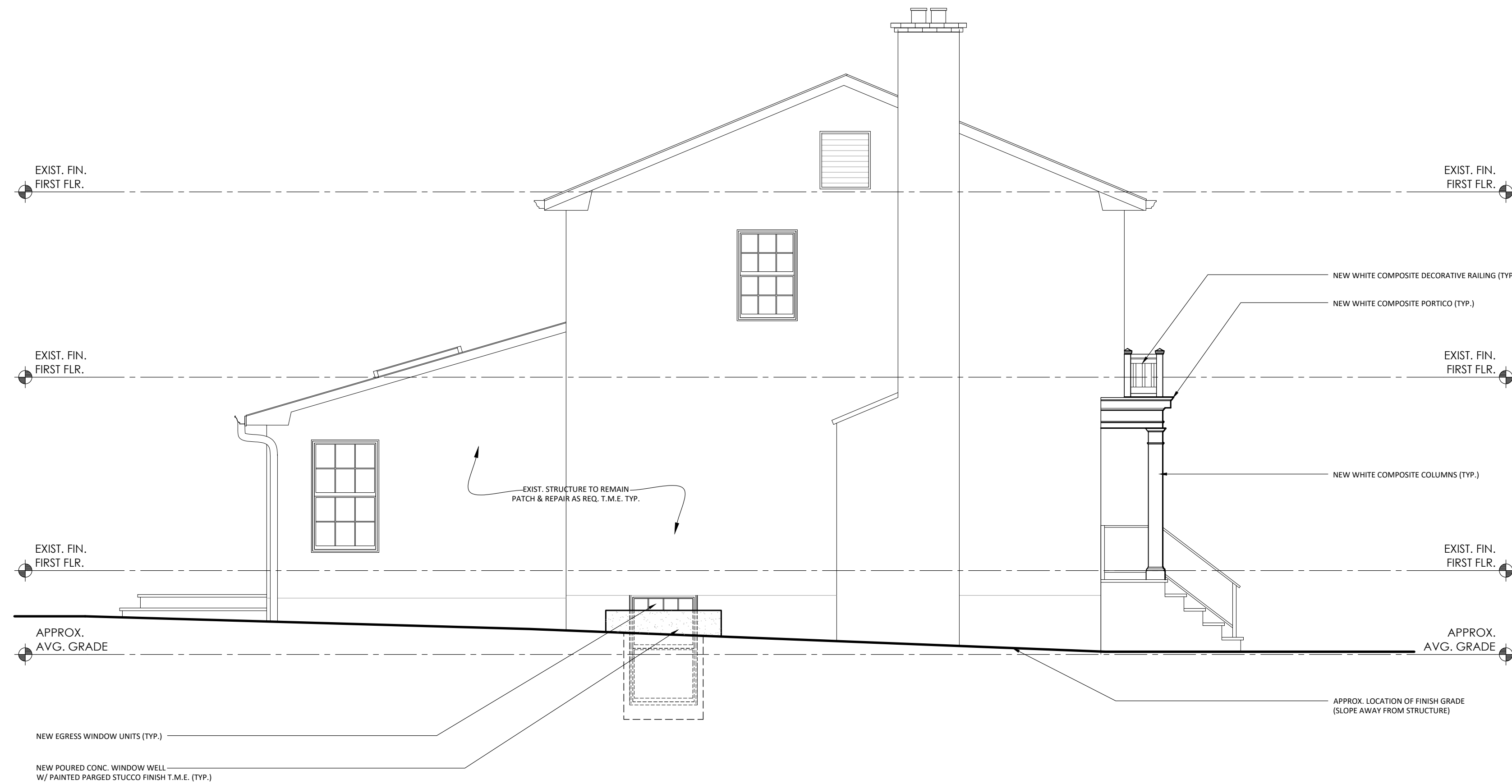
1
A-201
EXTERIOR NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A-201
EXTERIOR WEST ELEVATION
SCALE: 1/4" = 1'-0"



1
A-202
EXTERIOR SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A-202
EXTERIOR EAST ELEVATION
SCALE: 1/4" = 1'-0"

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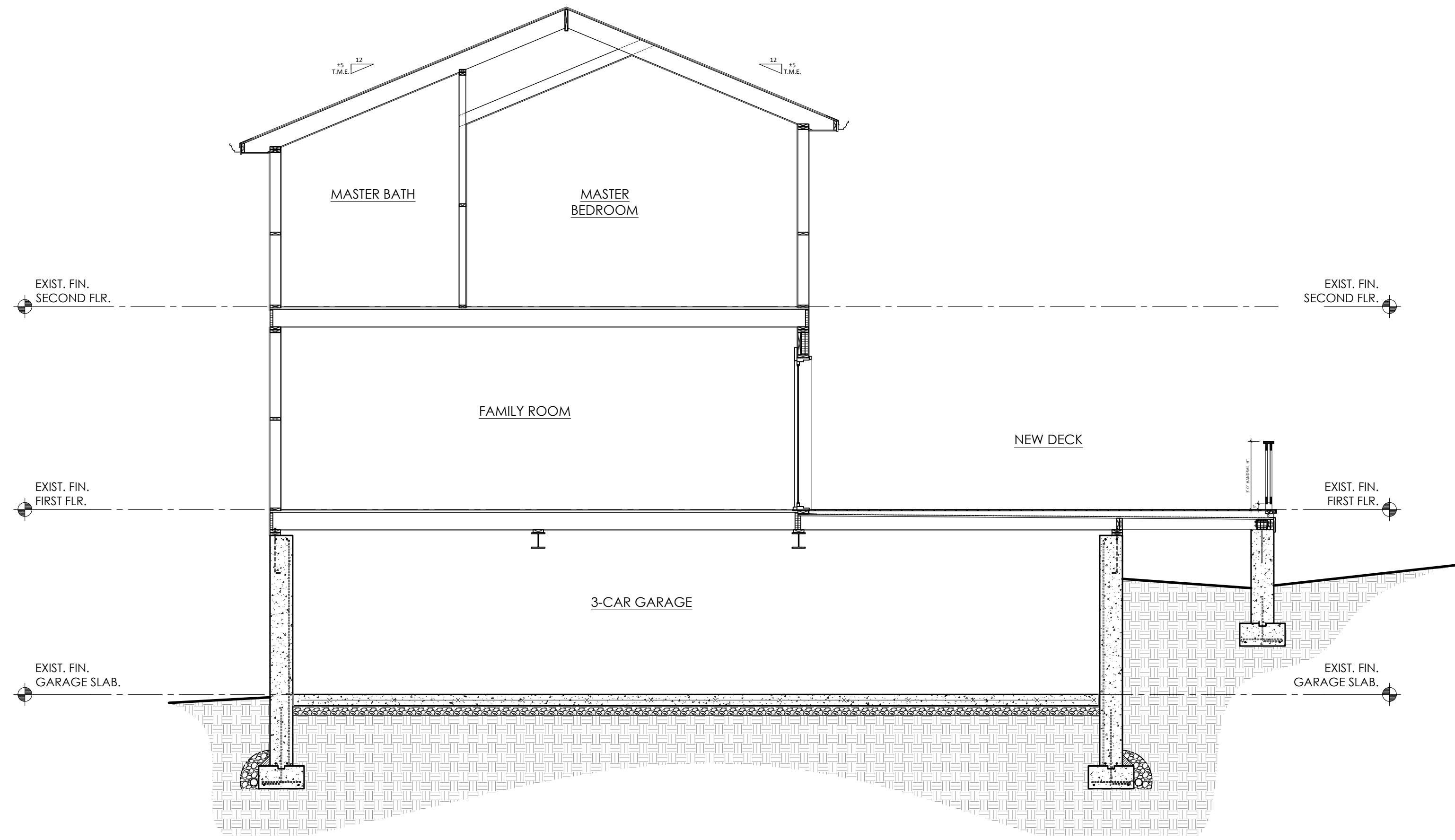
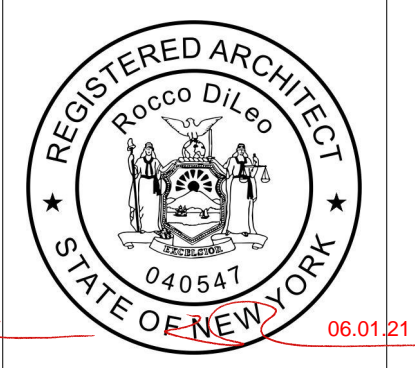
EXTERIOR ELEVATIONS

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A-202

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1 CROSS-SECTION.1
A-301 SCALE: 1/4" = 1'-0"

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CROSS-SECTIONS

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