



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: \_\_\_\_\_

### Section III- DESCRIPTION OF WORK:

### Section III- CONTACT INFORMATION:

APPLICANT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

#### PROPERTY OWNER:

\_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

PROFESSIONAL: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

### Section IV- PROPERTY INFORMATION:

Zone: \_\_\_\_\_ Tax ID (lot designation) \_\_\_\_\_



**Town of North Castle  
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan:

Initial Submittal  Revised Preliminary

Street Location:

Zoning District: \_\_\_\_\_ Property Acreage: \_\_\_\_\_ Tax Map Parcel ID: \_\_\_\_\_

Date: \_\_\_\_\_

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: VALCICH RESIDENCE Date: 7/19/21

Tax Map Designation or Proposed Lot No.: 101.01-1-53

Gross Lot Coverage

- 1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 43553
- 2. Maximum permitted gross land coverage (per Section 355-26.C(1)(a)): 8050.02
- 3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):  
Distance principal home is beyond minimum front yard setback  
0 x 10 = 0
- 4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 8050.02
- 5. Amount of lot area covered by principal building:  
1424 existing + 0 proposed = 1424
- 6. Amount of lot area covered by accessory buildings:  
0 existing + 0 proposed = 0
- 7. Amount of lot area covered by decks:  
0 existing + 787 proposed = 787
- 8. Amount of lot area covered by porches:  
0 existing + 0 proposed = 0
- 9. Amount of lot area covered by driveway, parking areas and walkways:  
809 existing + 0 proposed = 809
- 10. Amount of lot area covered by terraces:  
0 existing + 0 proposed = 0
- 11. Amount of lot area covered by tennis court, pool and mechanical equip:  
0 existing + 0 proposed = 0
- 12. Amount of lot area covered by all other structures:  
0 existing + 0 proposed = 0
- 13. Proposed gross land coverage: Total of Lines 5 - 12 = 3020

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's Regulations.

Signature and Seal of Professional Engineer Worksheet



Date 7/19/21

# LEGALIZATION 65 HIGH STREET ARMONK, NY

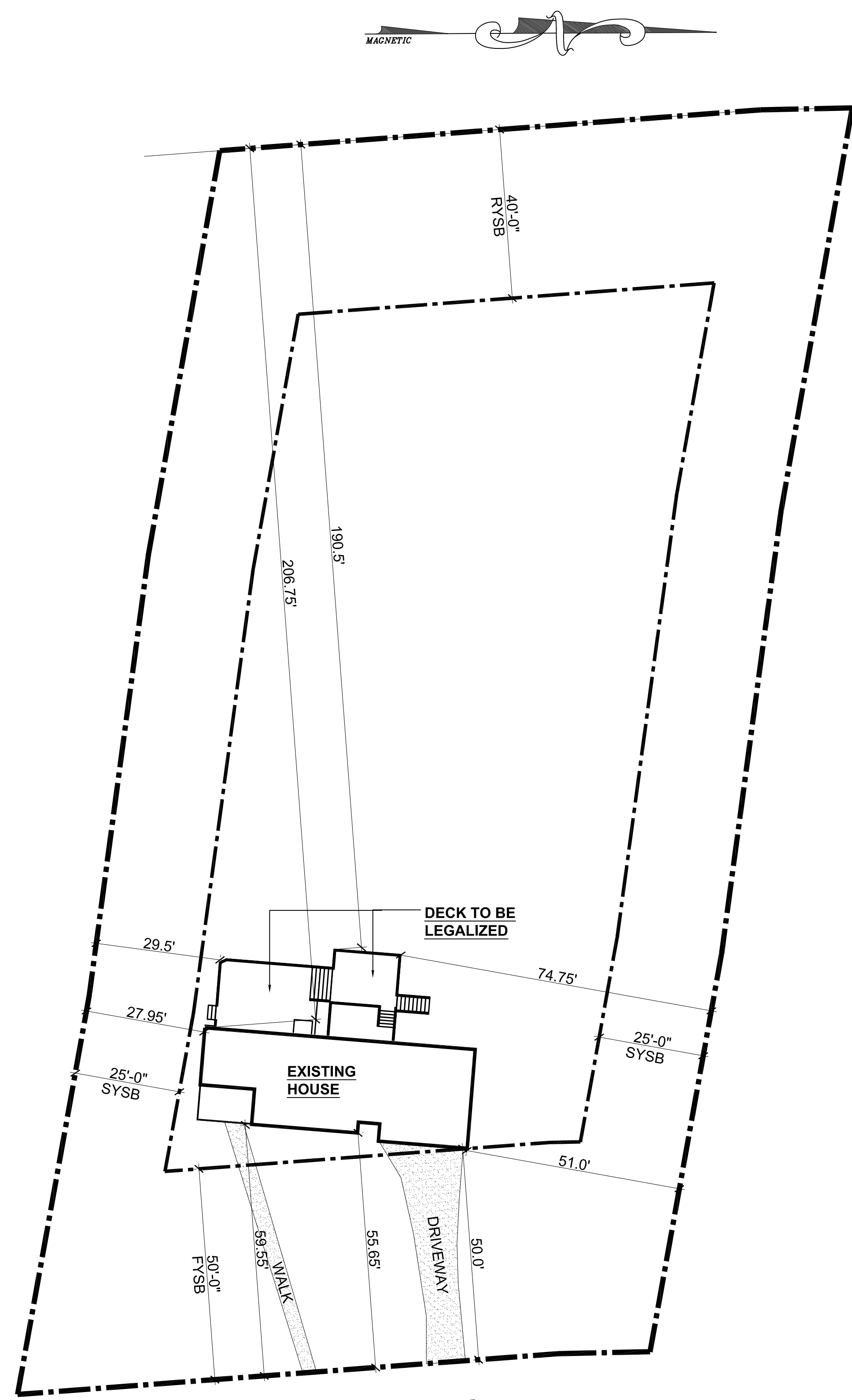
ZONING DATA: NORTH CASTLE			
TAX MAP #:	101.01-1-53		
ZONE:	R-1A		
TABLE BUILDING REQUIREMENTS			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	1 ACRE	0.999 ACRE (43,553 SF)	NO CHANGE
BUILDING COVERAGE	12%(5,226 SF)	3.27%(1,425SF)	
GROSS LAND COVER.	REFER TO COVERAGE CALCULATION WORKSHEET		
FAR	NOT APPLICABLE		
SETBACK REQUIREMENTS			
MIN. FRONT (EAST)	50'	50'	NO CHANGE
MIN. SIDE (NORTH)	25'	51.0'	74.75'
MIN. SIDE (SOUTH)	25'	27.95'	29.5'
MIN. REAR (WEST)	40'	206.75'	190.5'

**APPLICABLE CODES:**  
2000 RESIDENTIAL CODE

**SCOPE OF WORK:**  
DECK LEGALIZATION  
INTERIOR ALTERATION LEGALIZATION

**GENERAL NOTES**

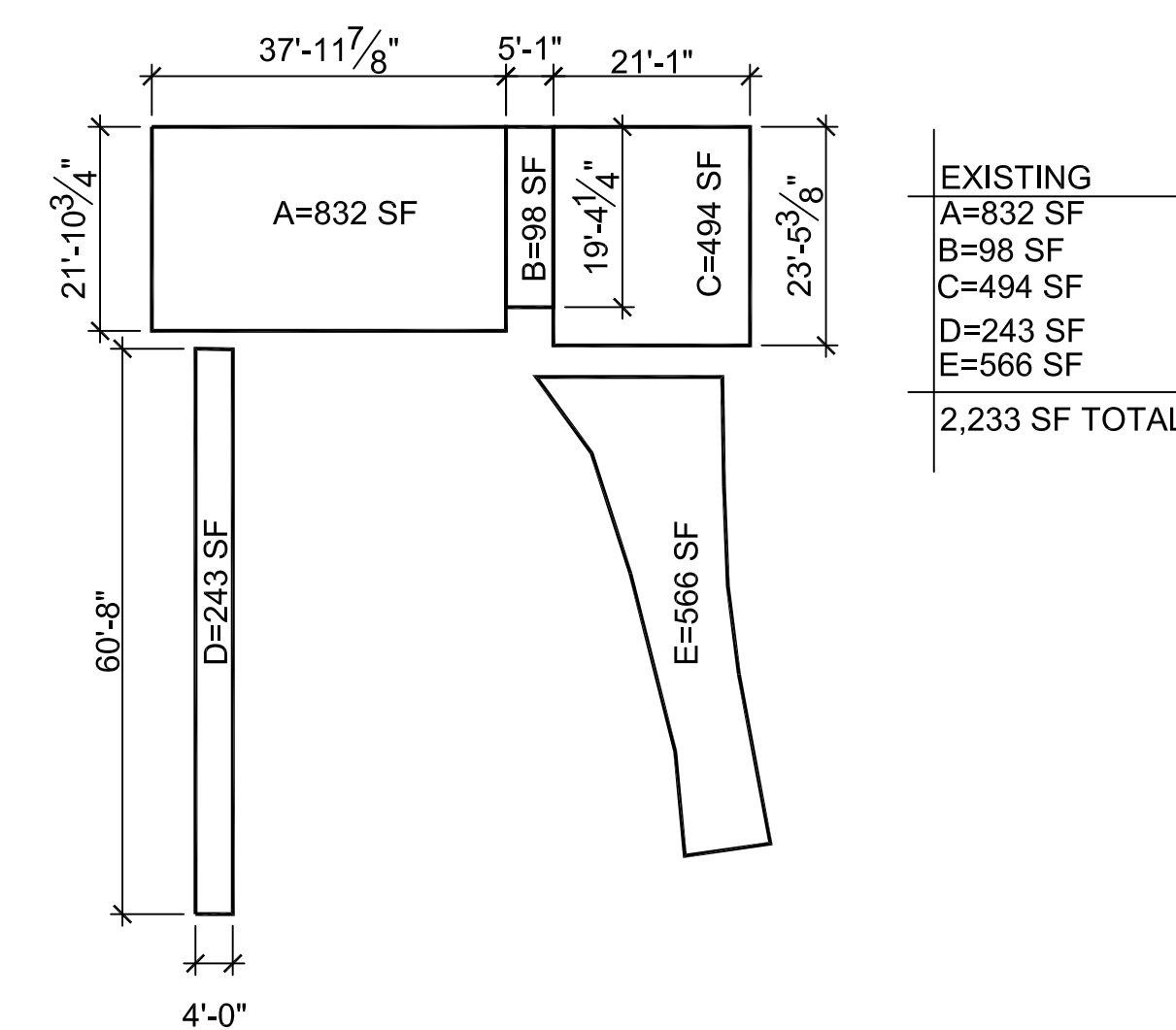
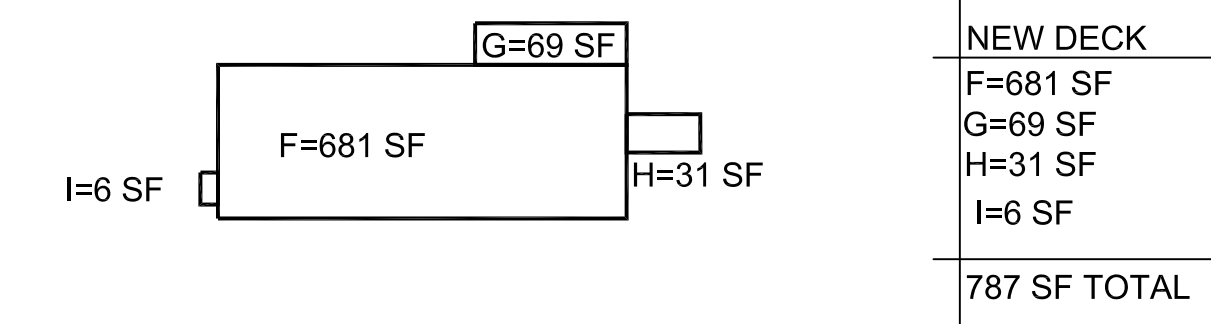
- ALL WORK SHALL CONFORM TO 2000 RESIDENTIAL CODE, AND LOCAL CODES.
- MATERIALS, WORKMANSHIP AND INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH NOT ONLY MANUFACTURERS' PRINTED INSTRUCTIONS, BUT ALSO THE STANDARDS OF RECOGNIZED AGENCIES OR ASSOCIATIONS.
- ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
- PROVIDE TEMPORARY PROTECTION OF MATERIALS AND EQUIPMENT.
- IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB. ANY OMISSIONS IN THESE GENERAL INSTRUCTIONS OR THE OUTLINE OF WORK ARE NOT TO BE CONSTRUED AS REMOVING SUCH ITEMS FROM THE RESPONSIBILITIES OF THE CONTRACTOR.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES. CONTRACTOR SHALL KEEP SUFFICIENT WORKMEN ON THE JOB AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTERESTS OF THE
- CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK; THE CHARACTER, QUALITY, AND QUANTITY OF MATERIALS; THE DIFFICULTIES LIKELY TO BE ENCOUNTERED AND OTHER ITEMS FOUND ON THE JOB.



**A SITE PLAN**  
SCALE: 1"= 20'

OWNER:  
ERIC R. VALCICH  
65 HIGH STREET  
ARMONK, NY

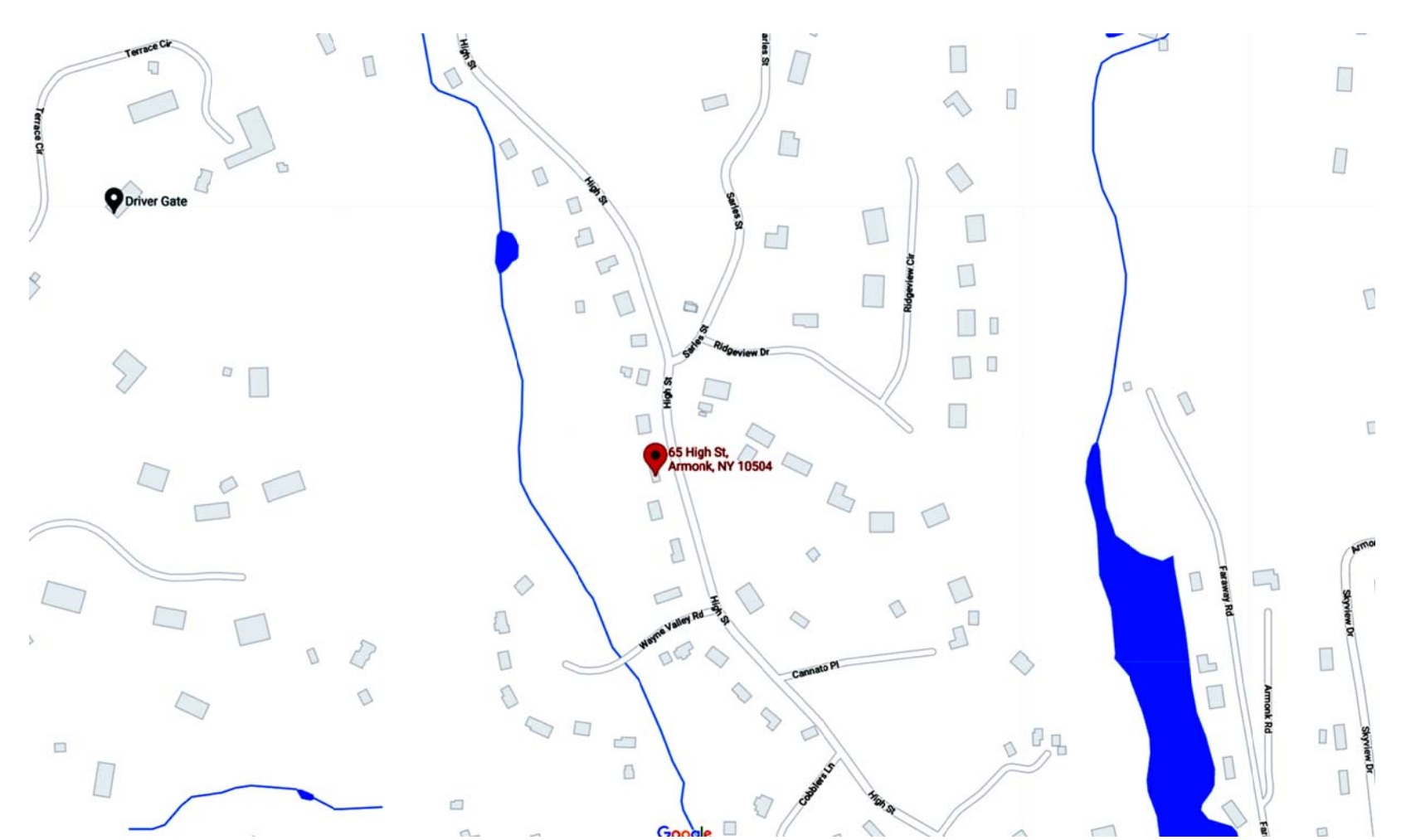
ARCHITECT:  
MICHAEL PICCIRILLO ARCHITECTURE  
345 KEAR STREET, SUITE 203  
YORKTOWN HEIGHTS, NY



## GROSS LAND CALCULATION



## GOOGLE EARTH



## LOCATOR MAP

**MAP**  
Michael Piccirillo Architecture

NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW. COPYRIGHT 2021 MICHAEL PICCIRILLO ARCHITECTURE

No.	DATE:	ISSUE:
1	7/16/21	ISSUED
2	7/21/21	ISSUED RPRC

**PROJECT NAME:**  
LEGALIZATION

**PROJECT ADDRESS:**  
65 HIGH STREET  
ARMONK, NY



MICHAEL A. PICCIRILLO, AIA  
345 KEAR STREET, SUITE 203  
YORKTOWN HEIGHTS, NY 10598

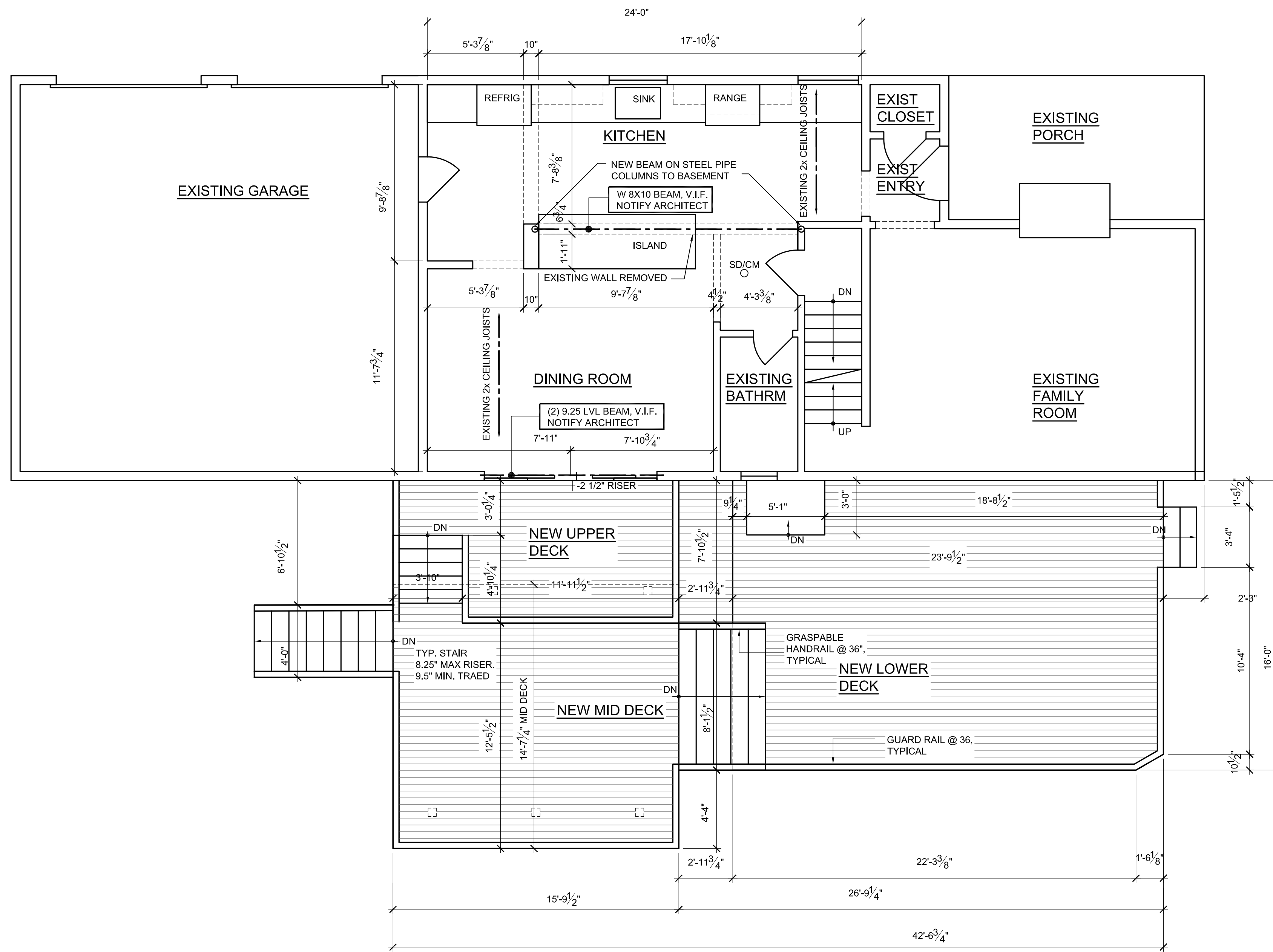
TELEPHONE: 914-368-9838  
FACSIMILE: 914-368-9839  
michael@mpiccirilloarchitect.com  
www.mpiccirilloarchitect.com

**SITE PLAN**

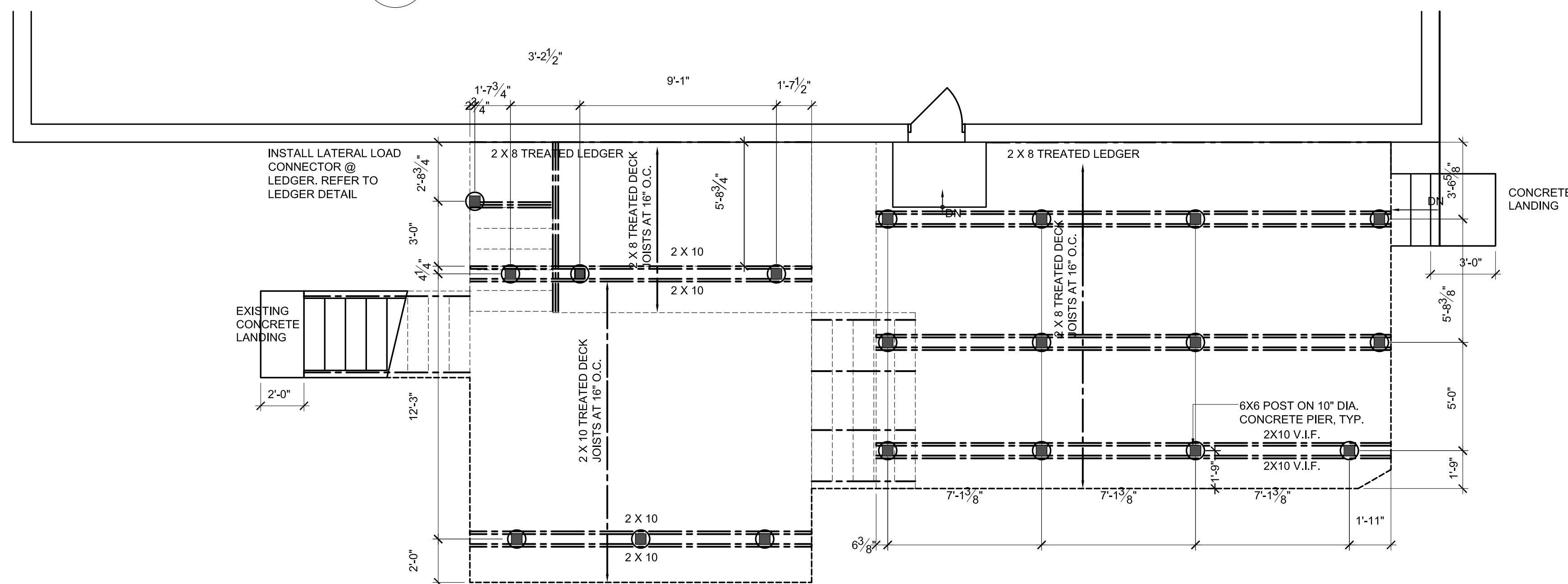
Scale

Drawn by  
MAP

**A001**



**1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**2 DECK FRAMING**  
SCALE: 1/4" = 1'-0"

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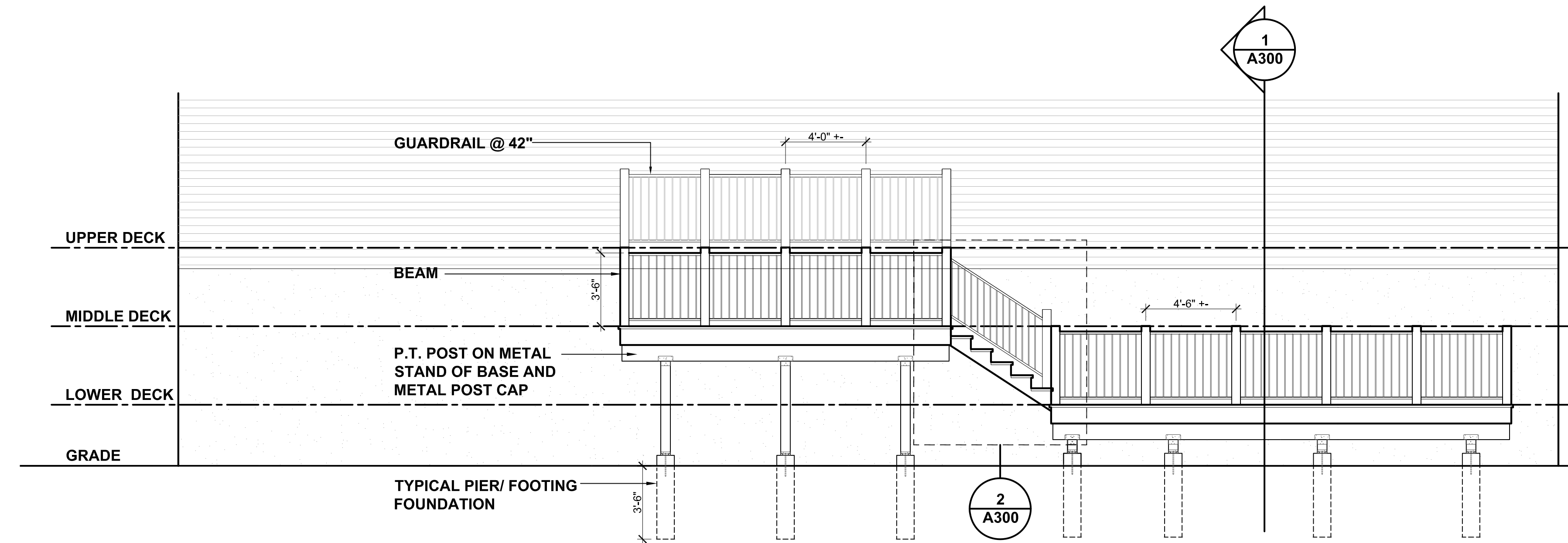
**PROJECT ADDRESS:**  
65 HIGH STREET  
ARMONK, NY



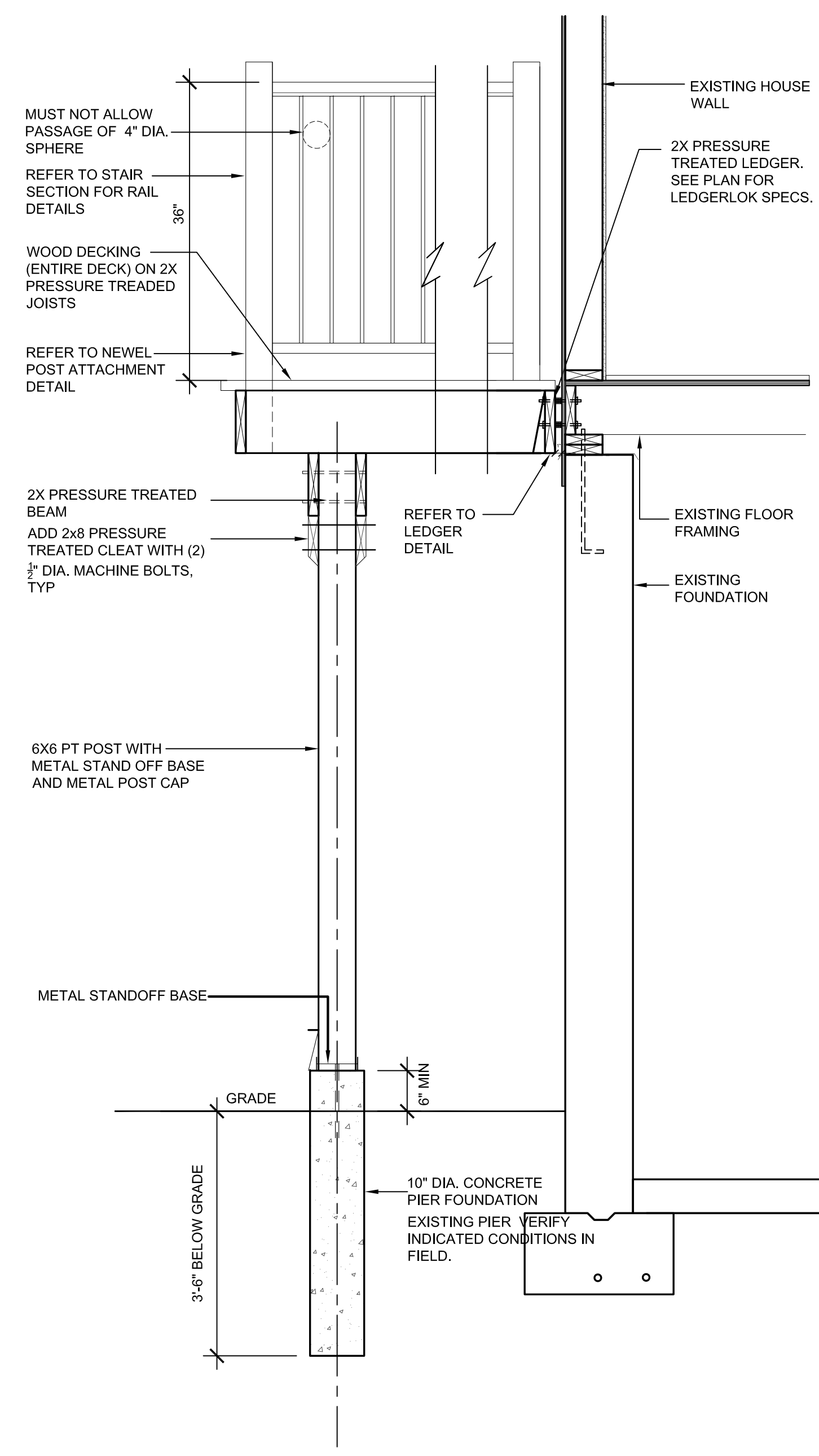
MICHAEL A PICCIRILLO, AIA  
345 KEAR STREET, SUITE 203  
YORKTOWN HEIGHTS, NY 10598  
TELEPHONE: 914-368-9838  
FACSIMILE: 914-368-9839  
michael@mpiccirilloarchitect.com  
www.mpiccirilloarchitect.com

**DECK PLANS**

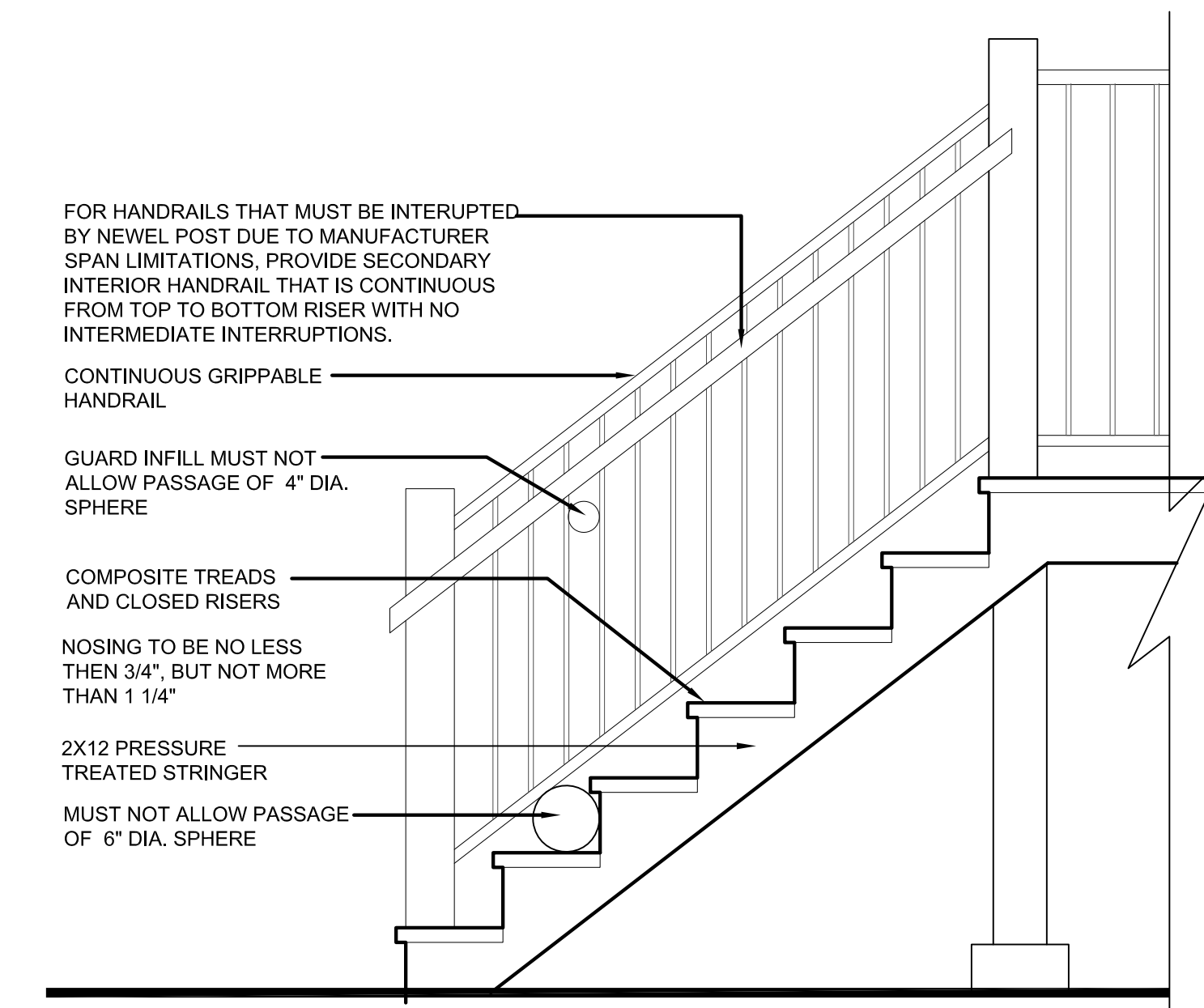
Scale  
Drawn by  
MAP **A100**



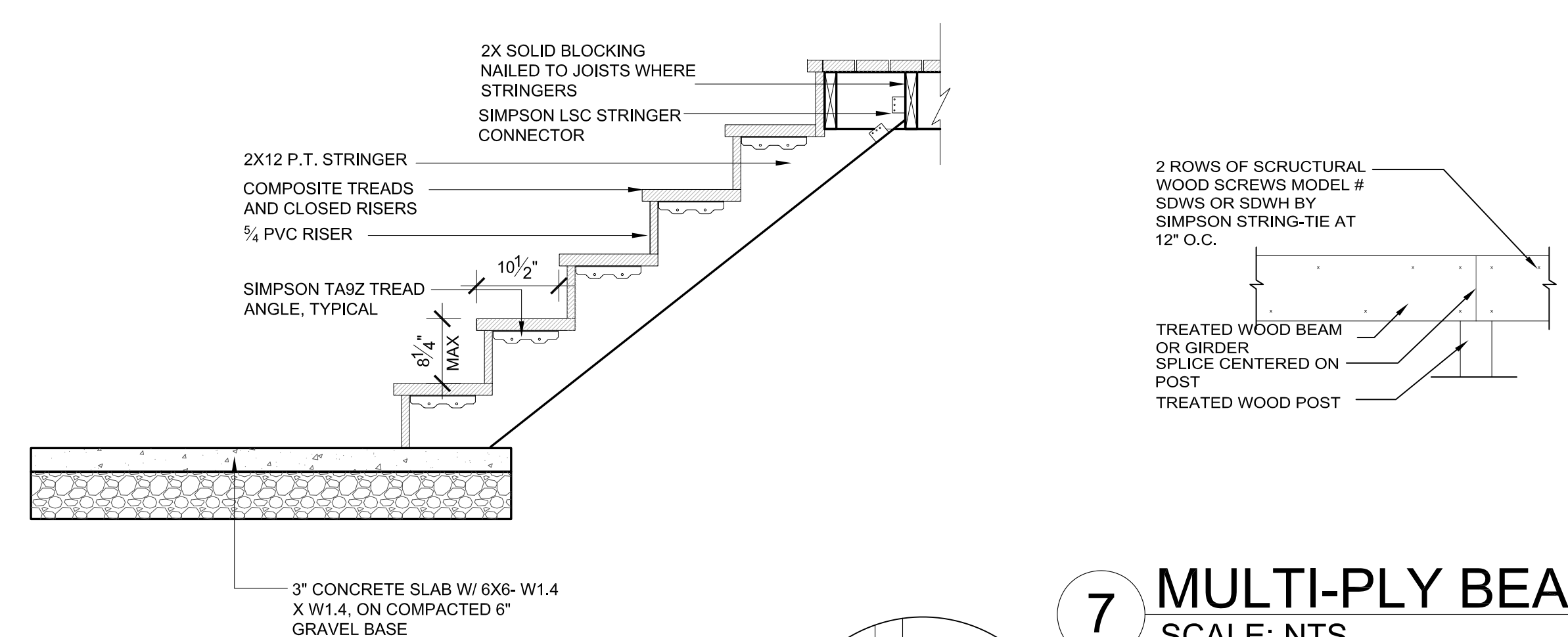
**A DECK ELEVATION**  
SCALE: 1/4 = 1'-0"



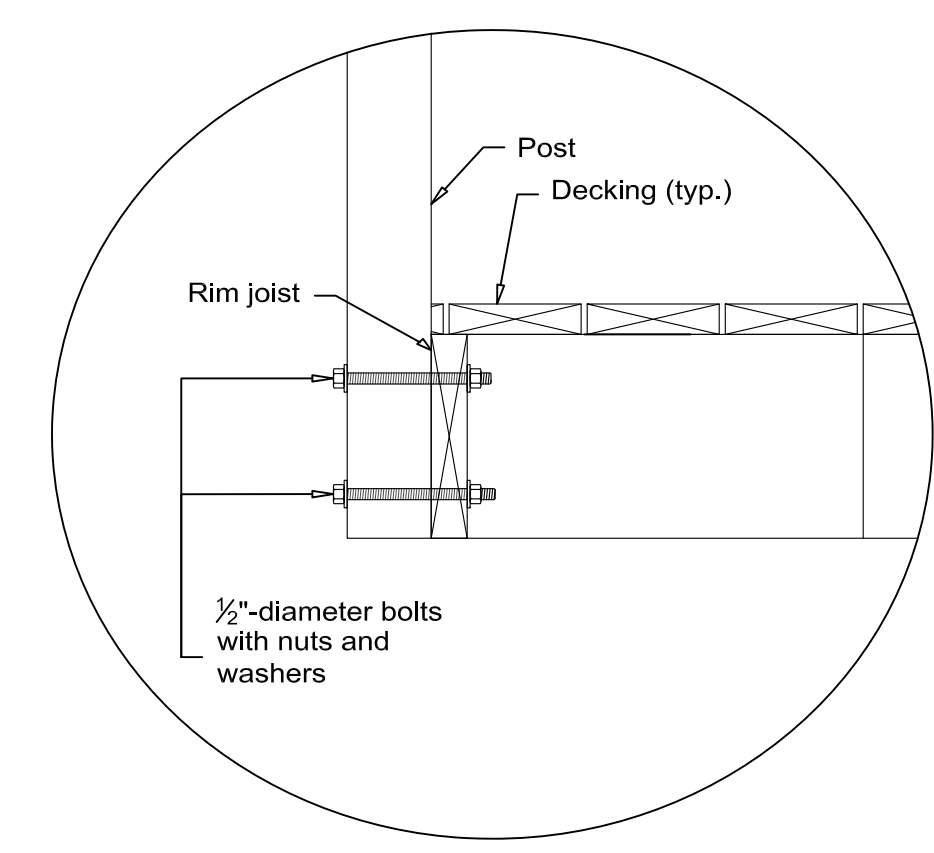
**1 DECK SECTION**  
SCALE: 3/4 = 1'-0"



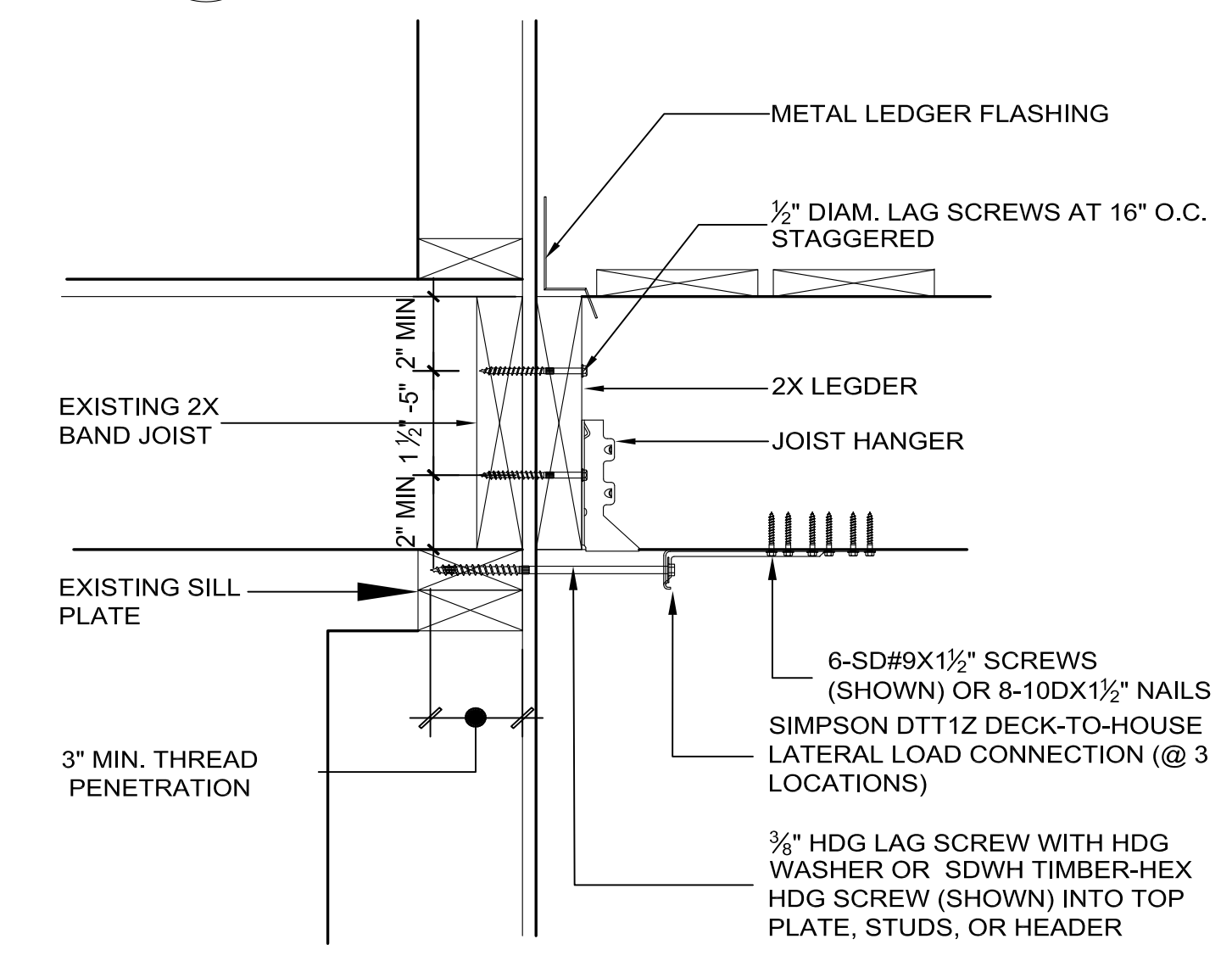
**2 STAIR ELEVATION**  
SCALE: 3/4 = 1'-0"



**3 STAIR DETAIL**  
SCALE: 3/4 = 1'-0"



**5 NEWEL POSTDETAIL**  
SCALE: NTS



**4 LEDGER DETAIL**  
SCALE: NTS

**7 MULTI-PLY BEAM**  
SCALE: NTS

- GENERAL NOTES**
- ALL WORK SHALL CONFORM TO NYSRC2010, AND LOCAL ZONING CODES.
  - DIMENSIONS ARE GIVEN AS GUIDES TO ESTABLISH THE LAYOUT. G.C. SHALL SURVEY AND EXAMINE THE EXISTING STRUCTURE IN ESTABLISHING LAYOUT OF THE WORK IN ORDER TO ASSURE PROPER FIT AND ALIGNMENT OF THE NEW WORK WITH PROPER RELATIONSHIP TO EXISTING FEATURES. DO NOT SCALE DRAWINGS.
  - ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
  - ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES.
  - CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK.
  - ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK DESCRIBED IN THIS DRAWING

- FRAMING NOTES:**
- ALL WOOD FRAMING SHALL BE PRESSURE TREATED.
  - MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS:
    - GUARDS AND HANDRAILS: 200 LBS/SF
    - GUARD INFILL: 30 LBS/SF
    - STAIRS: 40 LBS/SF
    - DECK: 40 LBS/SF
  - ALL CONNECTORS SHALL BE METAL, CORROSION RESISTANT, MANUFACTURED BY SIMPSON STRONG TIE
  - ALL SIMPSON CONNECTORS SHALL BE INSTALLED WITH FASTENERS AS REQUIRED BY MANUFACTURER.
  - ALL MULTI-PLY 2X MEMBERS SHALL BE NAILED TOGETHER. REFER TO DETAIL.
  - ALL BEAMS SHALL HAVE MINIMUM 1 1/2" BEARING

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FACSIMILE: 914-368-9839  
michael@mpiccirilloarchitect.com  
www.mpiccirilloarchitect.com

**DETAILS**

Scale

Drawn by  
MAP

**A300**