



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 49 BYRAM RIDGE ROAD, ARMONK, NY

Section III-DESCRIPTION OF WORK:

NEW ENTRY INTO BASEMENT & LAUNDRY ROOM.

Section III- CONTACT INFORMATION:

APPLICANT: JEFFREY SCHOR
ADDRESS: 49 BYRAM RIDGE ROAD
PHONE: _____ MOBILE: 917-597-3797 EMAIL: ingridschor@gmail.com

PROPERTY OWNER: JEFFREY/INGRID SCHOR
ADDRESS: 49 BYRAM RIDGE ROAD
PHONE: _____ MOBILE: 917-597-3797 EMAIL: ingridschor@gmail.com

PROFESSIONAL: ROY A. FREDRIKSEN, PE
ADDRESS: 266 SHEAR HILL RD. MAHOPAC, NY 10541
PHONE: 845-621-4000 MOBILE: _____
EMAIL: RAYEXDESIGN@GMAIL.COM

Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 101.03-3-23



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Schor

Initial Submittal Revised Preliminary

Street Location: 49 Byram Ridge Road, Armonk, NY 10504

Zoning District: R-1A Property Acreage: 21.1A Tax Map Parcel ID: 101.03-3-23

Date: 9-23-21

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

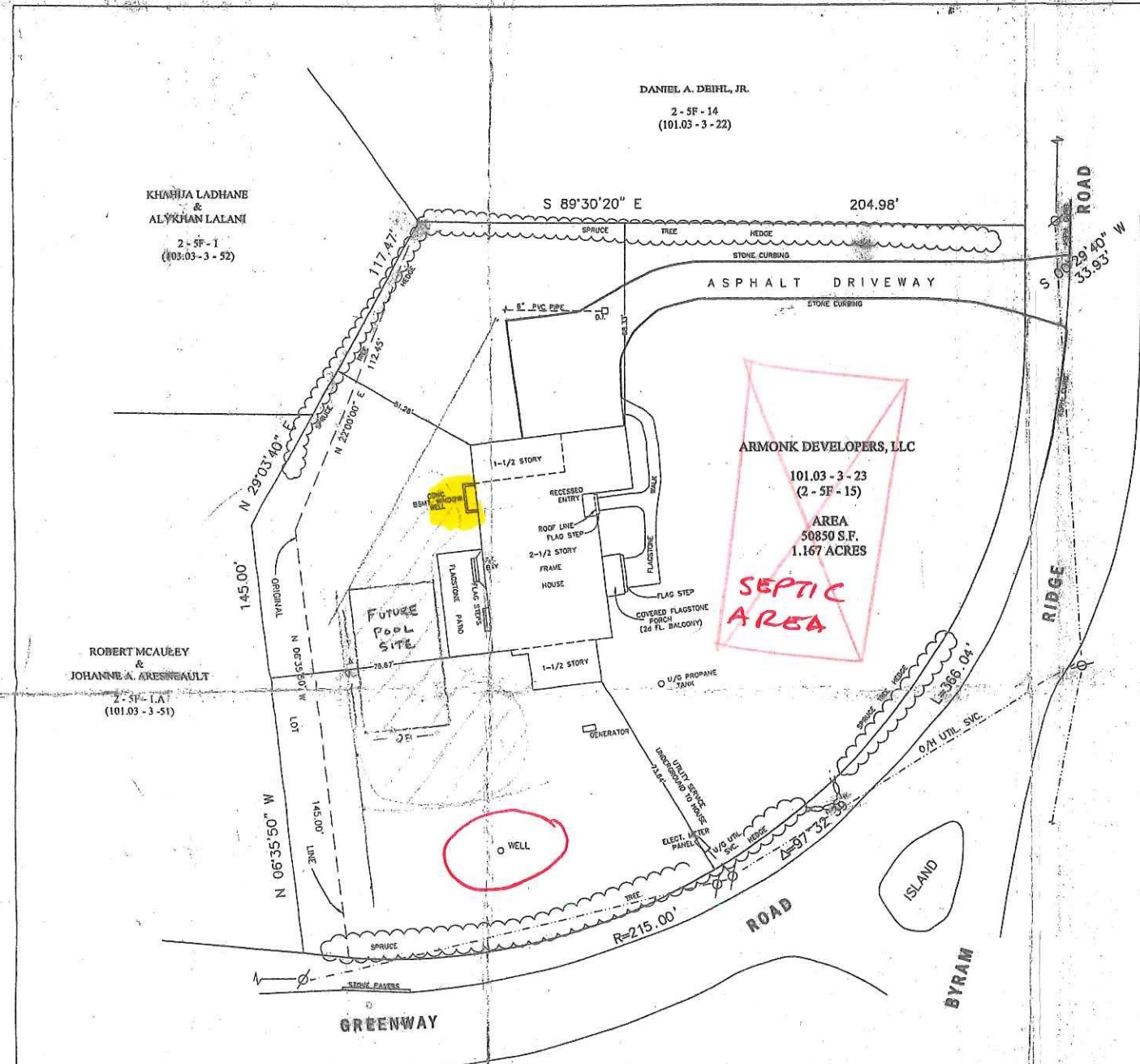
RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



ZONING
 DISTRICT R-1A
 MIN. LOT SIZE 1 ACRE
 MIN. FRONTAGE 125 FT.
 MIN. WIDTH 125 FT.
 MIN. DEPTH 150 FT.
 MIN. YARDS
 FRONT 50 FT.
 SIDE 25 FT.
 REAR 40 FT.
 MAX. BLDG. HT. 30 FT.
 MAX. BLDG. COV. 12 %

THIS MAP SUBJECT TO ANY STATE OF FACTS THAT AN ACCURATE, UP-TO-DATE ABSTRACT OF TITLE MAY SHOW
 SUBSURFACE UTILITIES, IF ANY, NOT LOCATED BY FIELD SURVEY
 THIS MAP IS BASED ON MAPS AND SURVEYS ON FILE WITH THE RALPH L. McDONALD COMPANY, GREENWICH, CT
 UNAUTHORIZED ALTERATION OR ADDITION TO THIS MAP IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW

FINAL SURVEY
 AT LANDS OF
 ARMONK DEVELOPERS, LLC
 SITUATE AT
 49 BYRAM RIDGE ROAD
 IN THE TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY NEW YORK
 SCALE: 1 IN. = 20 FT.
 JUNE 21, 2013
 SECTION 101.03 BLOCK 3 LOT 23
 (2 - 5F - 15)

I HEREBY CERTIFY THAT THE SURVEY ON WHICH THIS MAP IS BASED WAS COMPLETED ON JUNE 19, 2013, AND THAT THIS MAP WAS COMPLETED ON JUNE 21, 2013 IN ACCORDANCE WITH THE CURRENT STANDARDS FOR SURVEYING AND MAPPING OF THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS



DENNIS M. LOWES, L.S.
 NY STATE LICENSE NO. 48094
 RALPH L. McDONALD COMPANY, ENGINEERS & SURVEYORS
 81 HUNTER HILL LAKE ROEPENWHA FERRIS RD. 017.0779.1004

GENERAL NOTES

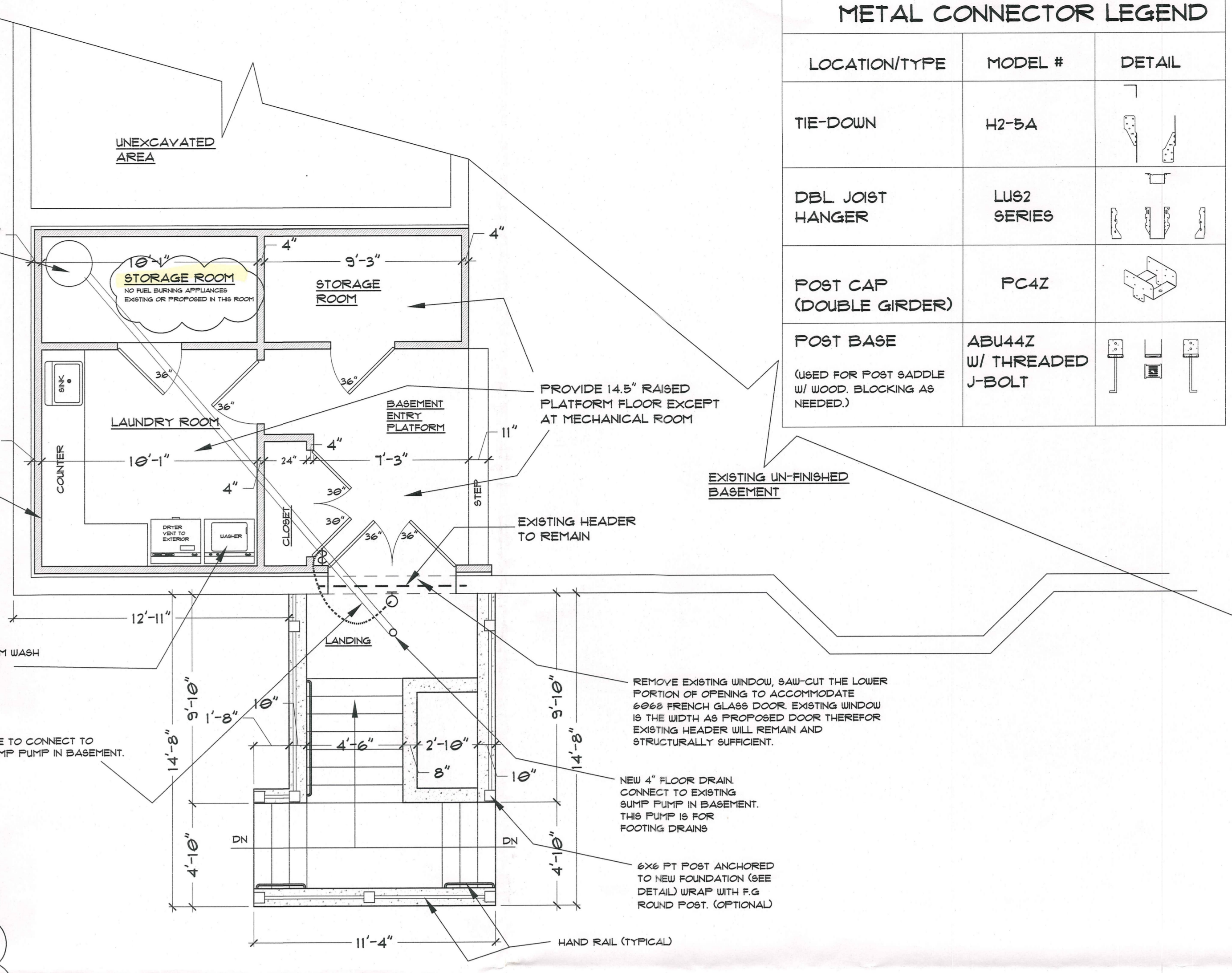
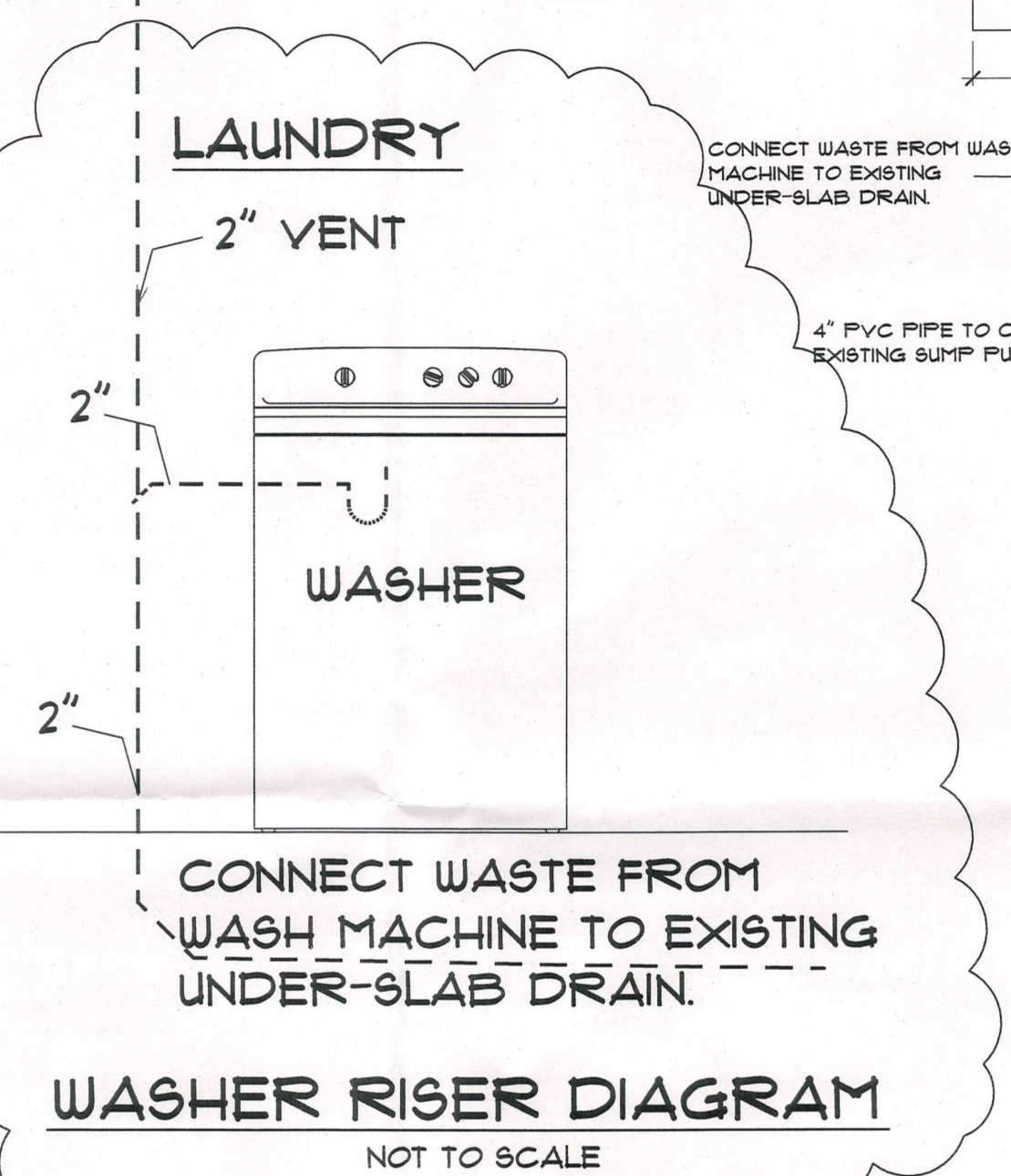
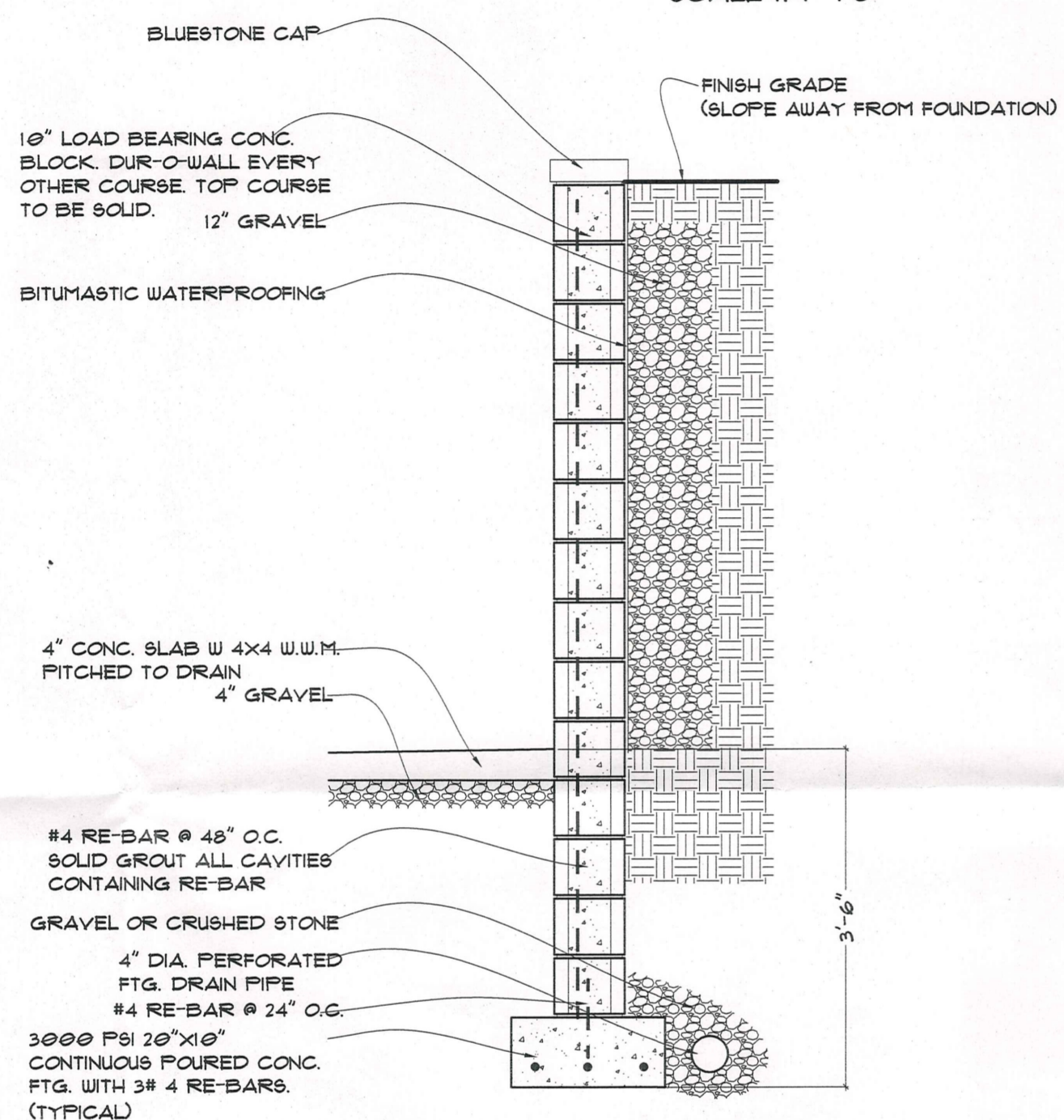
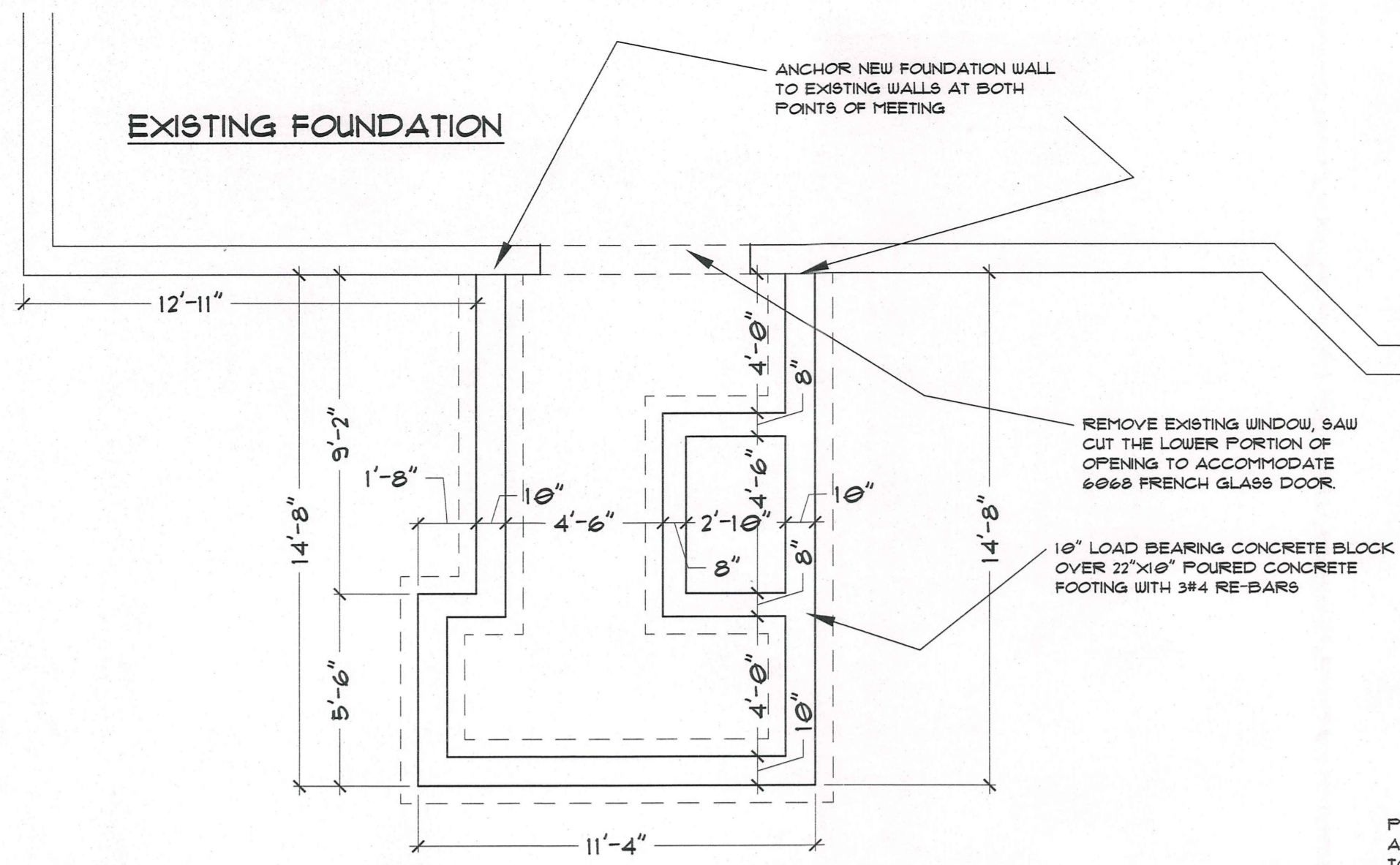
- 2020 NEW YORK STATE RESIDENTIAL CODE IS USED IN THIS DESIGN.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ALL WORK, ETC., AS SHOWN ON THE DRAWINGS NECESSARY FOR A COMPLETE JOB, UNLESS OTHERWISE SPECIFIED. ALL MATERIAL AND WORKMANSHIP SHALL BE OF BEST QUALITY.
- ALL WRITTEN FIGURES (NOTES AND DIMENSIONS) ON THE FLOOR PLANS OR SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY DRAWN FIGURES (ELEVATIONS). ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR BEFORE START OF CONSTRUCTION.
- CONTRACTOR AND/OR ANY SUB-CONTRACTOR ARE TO PERFORM ALL WORKS AS SHOWN, IMPLIED OR THAT IS REQUIRED TO PROVIDE A COMPLETE AND FINISHED KEY-IN LOCK JOB EVEN IF EACH AND EVERY SPECIFIC ITEM IS NOT SPECIFICALLY CALLED FOR.
- WHILE EVERY ATTEMPT HAS BEEN MADE IN PREPARATION OF THESE PLANS TO AVOID MISTAKES, THE REPAIRER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB MUST CHECK AND CONFIRM ALL DETENTIONS AND DETAILS AND BE RESPONSIBLE FOR SAME.

- EXCAVATION**
- EXCAVATE AS REQUIRED TO ALLOW FOR THE CONSTRUCTION OF THE NEW STAIRS AS SHOWN ON PLANS.
 - FOOTINGS: TO BEAR 42" BELOW LINE OF SOLID UNDISTURBED EARTH. SLOPED FOOTINGS SHALL BE 1:2 MAX. SLOPE. PROVIDE (3) #4 BARS CONTINUOUS.
 - FINISH GRADING SHALL BE ESTABLISHED TO PROVIDE SURFACE DRAINAGE IN ALL DIRECTIONS AWAY FROM HOUSE.
 - WHEN BACKFILLING AGAINST BASEMENT FOUNDATION WALLS, NO HEAVY MACHINERY TO COME WITHIN 8' OF FOUNDATION.

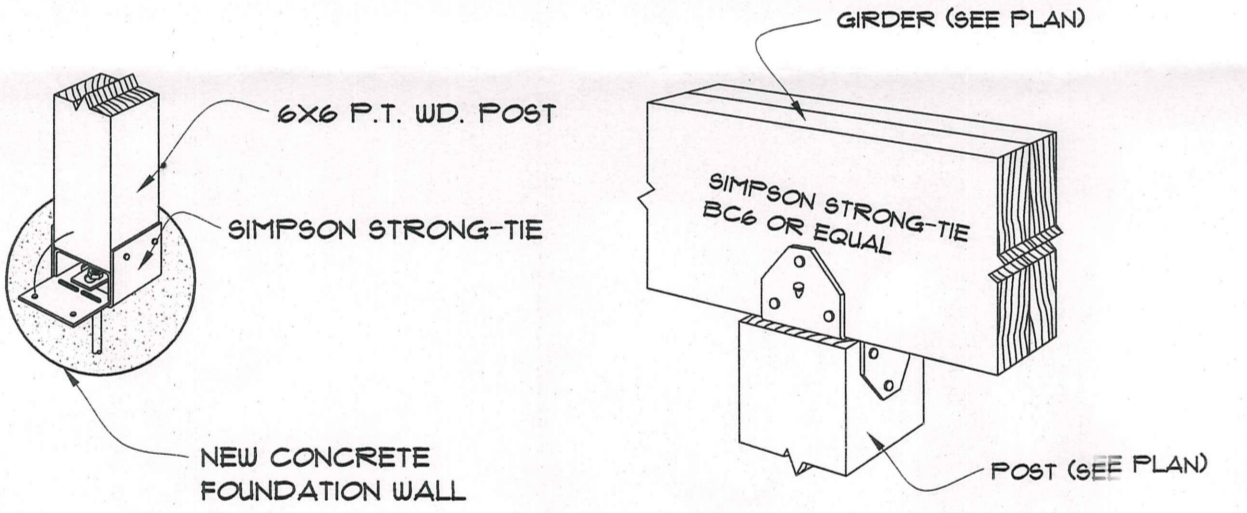
- CONCRETE**
- POUR CONCRETE FOR FOOTINGS CONTINUOUSLY AND STIFFLY, SIZE AS SHOWN ON PLANS. FOOTING TO BE REINFORCED WITH (3) #4 RE-BARS AND FOURED AT 42" BELOW GRADE.
 - CONCRETE SHALL BE A MIN. F'C = 3,000 PSI COMPRESSIVE STRENGTH FOR FOOTINGS. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST AMERICAN CONCRETE INSTITUTE (ACI) GUIDELINES.
 - MASONRY CONCRETE BLOCK SHALL BE LOAD BEARING LAID LEVEL, PLUMB AND STRAIGHT IN A FULL BED OF CEMENT MORTAR (TYPE "S") WITH GALVANIZED METAL TRUSS-TYPE TIES @ 24" HORIZONTAL AND VERTICAL. ALL JOINTS TO BE WELL TOOLED. ALL MASONRY WORK SHALL CONFORM TO ACI 530 CODE AND ALL REINFORCEMENT WORK SHALL CONFORM TO ACI 318-11. FILL TOP TWO COURSE SOLID WITH CEMENT MOTOR.
 - PROVIDE BITUMASTIC WATERPROOFING OVER 1/2" CEMENT FARGE WITH ANTI-HYDRO ON THE OUTSIDE OF ALL FOUNDATION WALLS. PROVIDE WATERPROOF CEMENT COVE WHERE FOUNDATION WALL MEETS FOOTINGS.

- STAIRS**
- ALL STAIRS ARE TO BE BUILT AS PER THE BUILDING CODE. CONTRACTOR TO DETERMINE TREAD RUN, WIDTH AND RISER HEIGHTS FOR STAIRS SHOWN ON DRAWINGS.
 - RAILING TO BE AS PER NYS BUILDING CODE REQUIREMENTS.

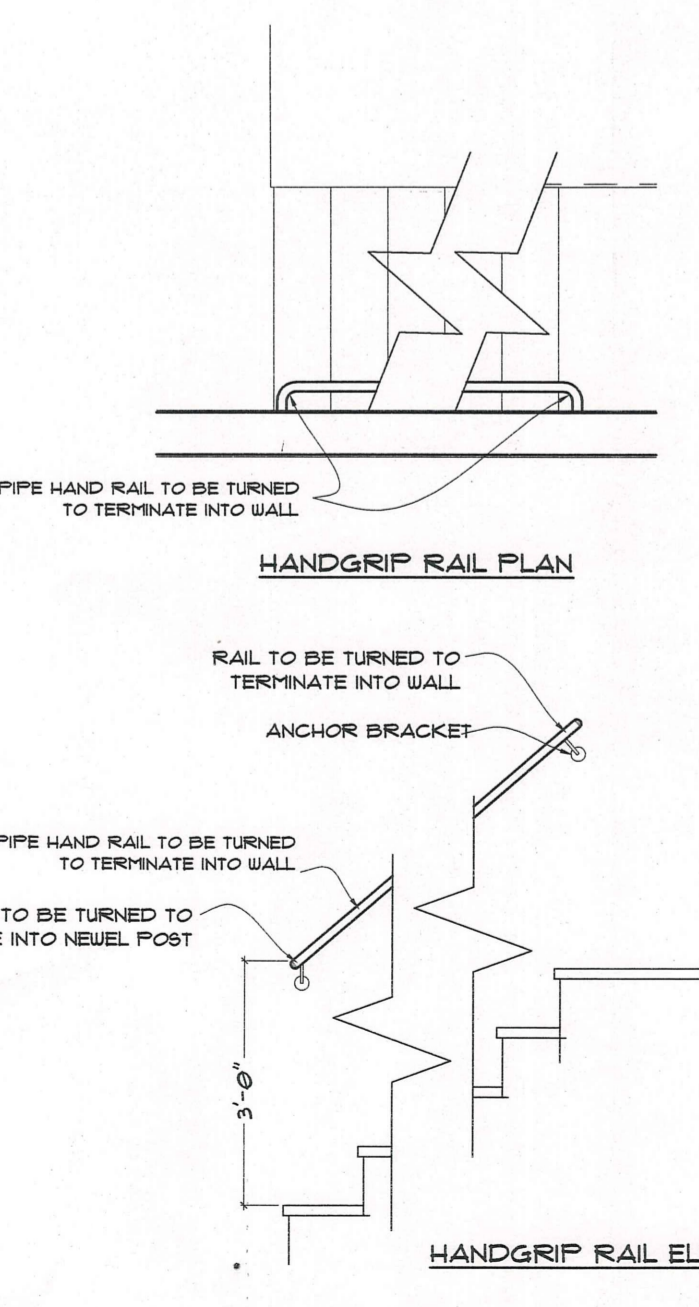
- PLUMBING, HEATING AND ELECTRICAL**
- ALL PLUMBING TO BE IN ACCORDANCE WITH THE 2020 NEW YORK STATE PLUMBING CODE.
 - ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND A CERTIFICATE OF COMPLIANCE MUST BE ISSUED.
 - PROVIDE ELECTRIC HEAT WITH THERMOSTAT IN NEW LAUNDRY ROOM.



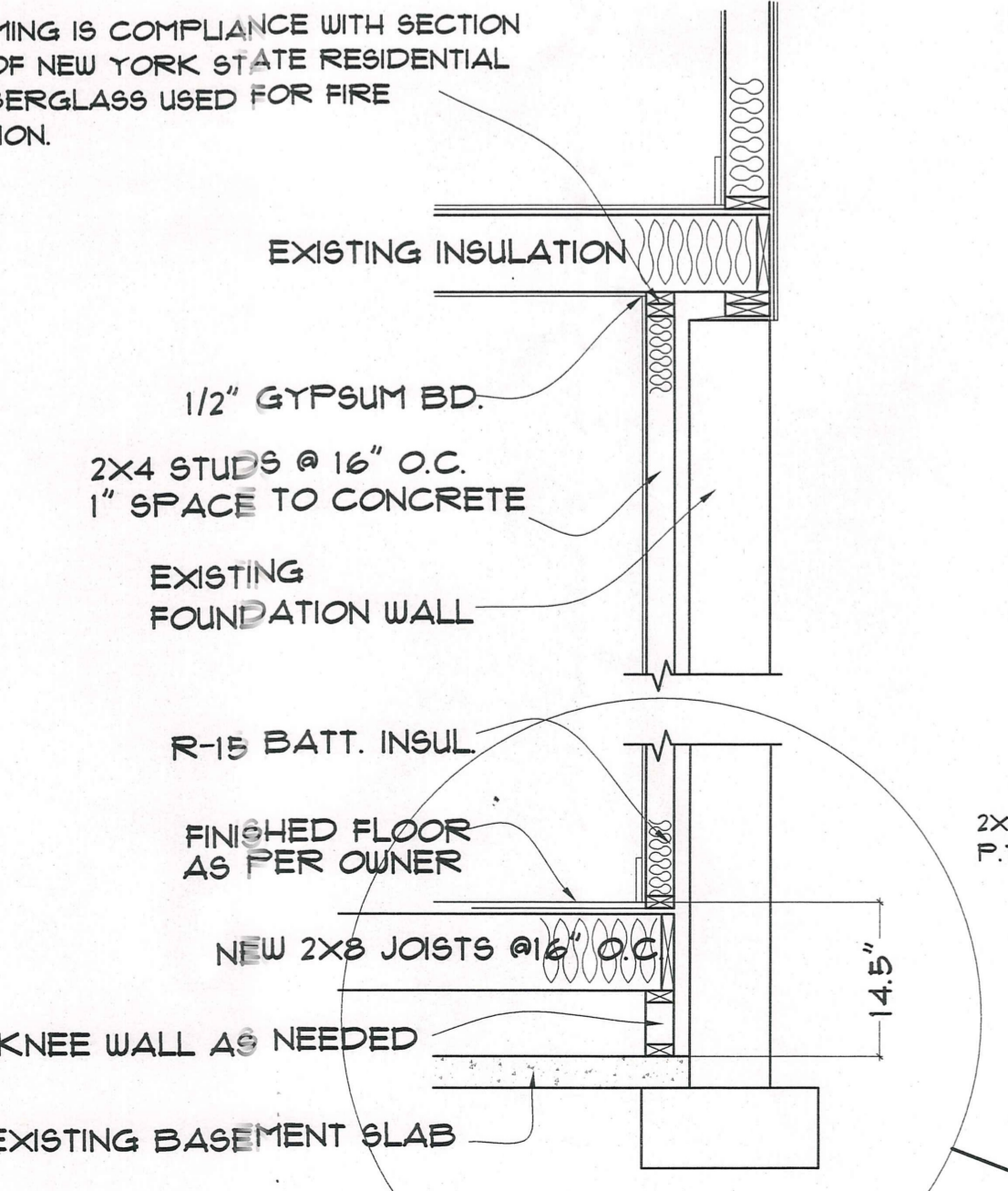
METAL CONNECTOR LEGEND		
LOCATION/TYPE	MODEL #	DETAIL
TIE-DOWN	H2-5A	
DBL JOIST HANGER	LU92 SERIES	
POST CAP (DOUBLE GIRDER)	PC4Z	
POST BASE (USED FOR POST SADDLE W/ WOOD BLOCKING AS NEEDED.)	ABU44Z W/ THREADED J-BOLT	



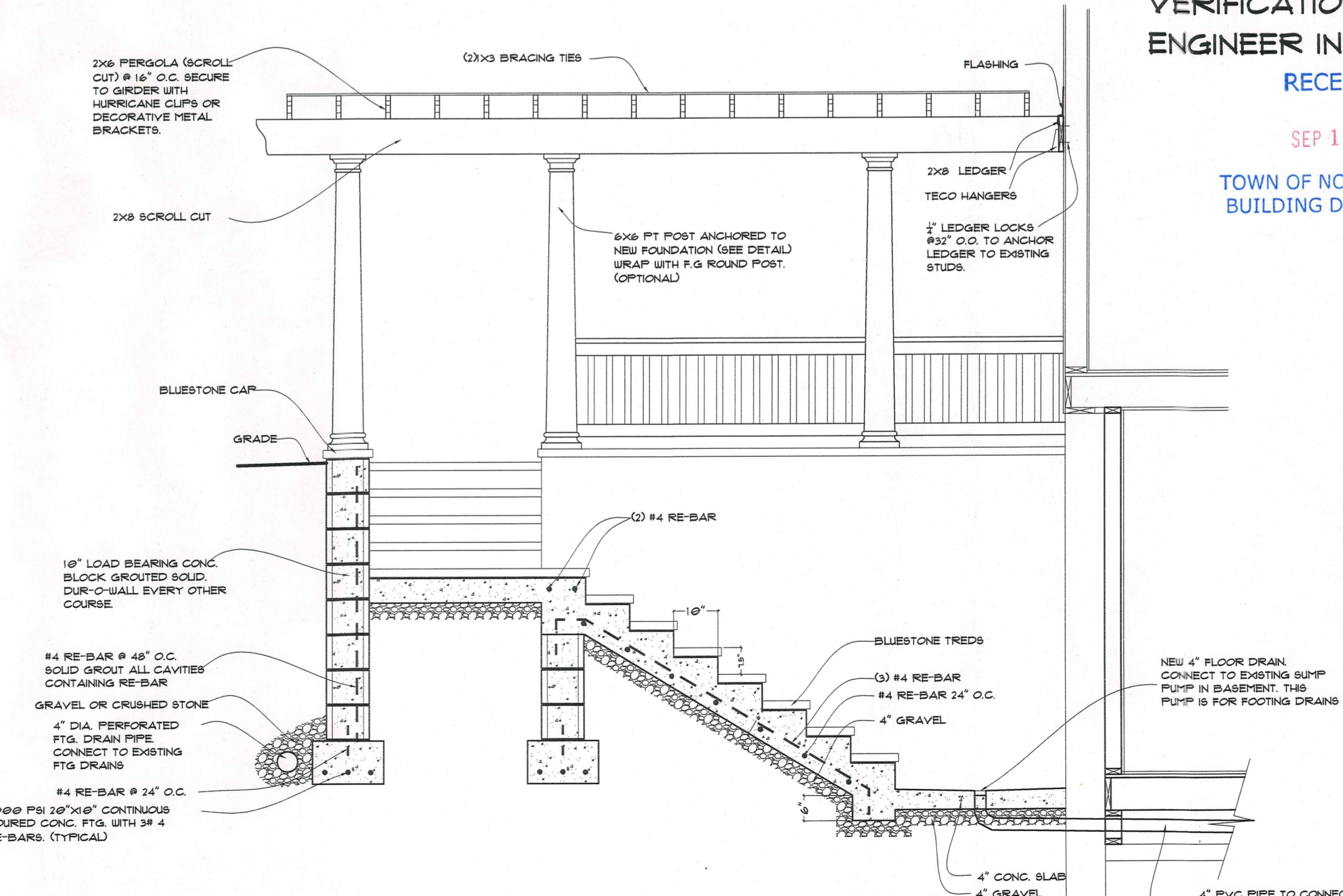
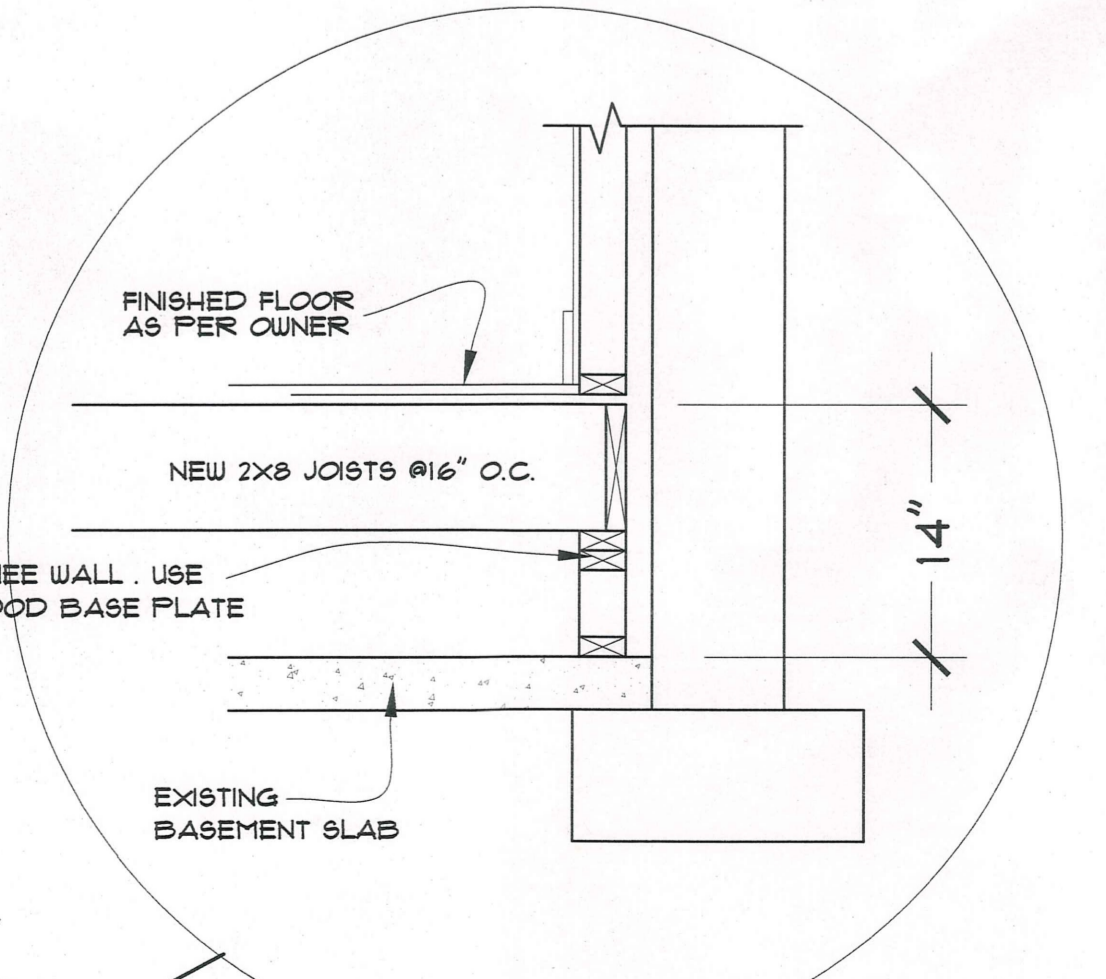
DECK POST TIE-DOWN DETAIL
NOT TO SCALE



HANDRAIL DETAIL
NOT TO SCALE



EXT. WALL FURRING
NOT TO SCALE



CONCRETE STAIR DETAIL
NOT TO SCALE

NOTE: THESE PLANS ARE PREPARED IN COMPLIANCE WITH THE 2020 NEW YORK STATE RESIDENTIAL CODE.

N.Y.S. EDUCATION NOTE
IT IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON TO ALTER THIS DOCUMENT IN ANY WAY WITHOUT THE WRITTEN VERIFICATION OR ADOPTION BY A N.Y.S. LICENSED ENGINEER IN ACCORDANCE WITH SECTION 1209(2).

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SEP 17 2021

TOWN OF NORTH CASTLE
BUILDING DEPARTMENT



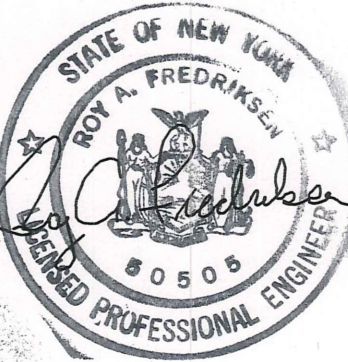
ROY A. FREDRIKSEN, PE
DESIGN • PLANNING • CONSULTING ENGINEERING
266 SHEAR HILL RD. • MAHOPAC, NY 10541 • 845-621-4000
RAYEXDESIGN@GMAIL.COM

OWNER: **JEFFERY AND INGRID SCHOR**

PROJECT: RENOVATION OF EXISTING BASEMENT LOCATED AT 49 BYRAM RIDGE ROAD IN ARMONK, NY

SHEET TITLE: PLANS AND 1 OF 1 DETAILS

REVISIONS: _____ DATE: 7/7/2021





TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING
DEPARTMENT

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Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastle.ny.gov
AUG 13 2012

GROSS LAND COVERAGE CALCULATIONS WORKSHEET TOWN OF NORTH CASTLE BUILDING DEPARTMENT

Application Name or Identifying Title: Armonk Developers, LLC Date: 8/12/12
Tax Map Designation or Proposed Lot No.: 2-5F-15

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 1.167 Ac
2. **Maximum** permitted gross land coverage (per Section 213-22.2C): 10,004 SF
3. **BONUS** maximum gross land cover (per Section 213-22.2C):
Distance principal home is beyond minimum front yard setback
23 x 10 = 230
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 10,234
5. Amount of lot area covered by **principal building**:
_____ existing + 3448 proposed = 3448 SF
6. Amount of lot area covered by **accessory buildings**:
_____ existing + _____ proposed = —
7. Amount of lot area covered by **decks**:
_____ existing + 600 proposed = 600 SF
8. Amount of lot area covered by **porches**:
_____ existing + 142 proposed = 142 SF
9. Amount of lot area covered by **driveway, parking areas and walkways**:
_____ existing + 3185 proposed = 3185 SF
10. Amount of lot area covered by **terraces**:
_____ existing + _____ proposed = —
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
_____ existing + _____ proposed = —
12. Amount of lot area covered by **all other structures**:
_____ existing + _____ proposed = —
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 7375 SF

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

8.13.12
Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

BUILDING DEPARTMENT
Robert Melillo
Building/ Fire inspector

Telephone: (914) 273-3000 ext. 44
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: JEFFERY AND INGRID SCHOR Date: 9/22/2021

Tax Map Designation or Proposed Lot No.: 5-5F-15

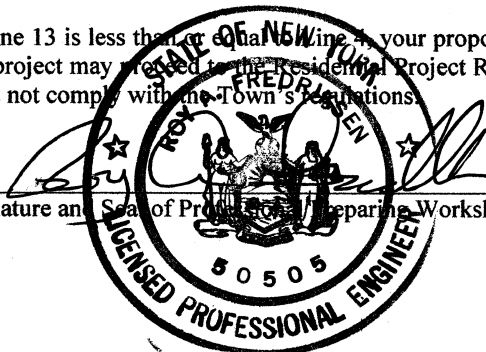
Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 1.167 AC
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 10,004 SF
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):

Distance principal home is beyond minimum front yard setback
 $\frac{23}{10} \times 10 =$ 230
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 10,234 SF
5. Amount of lot area covered by **principal building**:
 $\frac{3448}{\text{existing}} + \frac{152}{\text{proposed}} =$ 3,600 SF
6. Amount of lot area covered by **accessory buildings**:
 $\frac{\text{existing}}{\text{existing}} + \frac{\text{proposed}}{\text{proposed}} =$ _____
7. Amount of lot area covered by **decks**:
 $\frac{600}{\text{existing}} + \frac{\text{proposed}}{\text{proposed}} =$ 600 SF
8. Amount of lot area covered by **porches**:
 $\frac{142}{\text{existing}} + \frac{\text{proposed}}{\text{proposed}} =$ 142 SF
9. Amount of lot area covered by **driveway, parking areas and walkways**:
 $\frac{3185}{\text{existing}} + \frac{\text{proposed}}{\text{proposed}} =$ 3,185 SF
10. Amount of lot area covered by **terraces**:
 $\frac{\text{existing}}{\text{existing}} + \frac{\text{proposed}}{\text{proposed}} =$ _____
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
 $\frac{\text{existing}}{\text{existing}} + \frac{\text{proposed}}{\text{proposed}} =$ _____
12. Amount of lot area covered by **all other structures**:
 $\frac{\text{existing}}{\text{existing}} + \frac{\text{proposed}}{\text{proposed}} =$ _____
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 7,527 SF

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Engineer Preparing Worksheet



9/22/2021
 Date