



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-8625
Fax: (914) 273-3554
www.northcastleny.com

RPRC RETURN LETTER

Application Number: 2021-0721

Street Location: 9 Quaker Meeting House Road

Zoning District: R-1A Property Acreage: 1.07 TaxID: 108.03-1-18

RPRC DECISION: OPEN

Date: August 3, 2021

The above referenced application was reviewed by the Residential Project Review Committee (RPRC) on August 3, 2021.

The Committee determined that given the submitted plans, additional information is required to be reviewed prior to a decision of the RPRC.

The following issues should be addressed at this time:

- The deck addition that does not meet the minimum side yard setback shall be removed or the Applicant will need to seek a variance from the Zoning Board of Appeals.
- The proposed decorative driveway bands located in the Quaker Meeting House ROW should be relocated to be [five feet off the curb](#) per Highway Department regulations.
- The Applicant is within 13 feet of the maximum permitted gross land coverage. The Applicant should submit a GLC backup exhibit that graphically depicts all existing and proposed GLC with the square footage of each element (see GLC worksheet instructions for further detail).
- The proposed tree in the Quaker Meeting House ROW should be relocated to the subject parcel.
- The proposed nature path should be removed from the plans.
- The project plans include an approximate wetland boundary which differs considerably from the wetland boundary shown on the Leisure Farm Subdivision Filed Map. The wetland boundary touches the retaining wall at the southern property line and extends northerly to a point on the northern property line which is midway between the retaining wall and wetland edge shown on the applicant's site plan. If the Filed Map wetland boundary was used, a majority of the proposed improvements would be located within the wetland buffer and a Wetland Permit would be required for the project. The applicant will need to have the wetland boundary flagged in the field by a Wetland/Soil Professional and verified by the Town Wetland Consultant. Please notify the Town Engineer once the wetland boundary has been established in the field. Upon verification, the wetland flags will need to be surveyed and boundary included on the Site Plan.

- The applicant will need to perform deep and percolation soil testing to be witnessed by the Town Engineer at the location of the proposed stormwater infiltrators. The test locations and results shall be shown on the project plans. Contact this office to schedule the testing.
- The project plans should include drains and piping required to collect the runoff and discharge to the stormwater treatment system.
- The plans should provide construction details for the drainage system, retaining walls, patio, decorative driveway bands.
- The application includes stormwater calculations for the sizing of the infiltrator system which will mitigate runoff for the disturbed portions of the site. We assume the same infiltration system will be used to mitigate the pool drawdown volume. Please calculate for the pool drawdown. Also, show the connection between the pool equipment and the infiltration system.
- Please show all existing wells within the area and confirm the infiltration system complies with the setback requirements from the wells.
- The Town Building Inspector should review the proposed wall and fence design to confirm that the necessary safety improvements are provided.

Please submit revised plans addressing the above issues to the RPRC. If revised plans will not be submitted, please contact my office so that the RPRC can reconvene and conclude the review process.

If you would like to further discuss this matter, please do not hesitate to contact my office at 914-273-3542.

Adam R. Kaufman, AICP
Director of Planning



November 1, 2021

To: Members of Town of North Castle Residential Project Review Committee

From: Louis C. Fusco, RLA

RE: Lazar Residence – 9 Quaker Meeting House Road – TaxID: 108.03-1-18

Residential Project Review Committee Response Letter:

In response to the RPRC Town review letter dated August 3, 2021 please see below our response/answers to your questions and comments itemized. As part of the revised submission, we have included updated plans that reflect the comments and responses below.

1. The deck addition that does not meet the minimum side yard setback shall be removed or the Applicant will need to seek a variance from the Zoning Board of Appeals,

Response: At this time the application would like to proceed with the deck location as represented on the plan and will seek a variance from ZBA.

2. The proposed decorative driveway bands located in the Quaker Meeting House ROW should be relocated to be five feet off the curb per Highway Department regulations.

Response: The proposed bands are located 7' from the curb and we have noted a dimension on the plans.

3. The Applicant is within 13 feet of the maximum permitted gross land coverage. The Applicant should submit a GLC backup exhibit that graphically depicts all existing and proposed GLC with the square footage of each element (see GLC worksheet instructions for further detail).

Response: The gross land coverage has been adjusted per minor modifications to the site plan. As per the original application the GLC backup graphic is included on sheet RPRC-1.

4. The proposed tree in the Quaker meeting House ROW should be relocated to the subject parcel.

Response: All planting has been relocated out of the ROW and onto the property.

5. The proposed nature path should be removed from the plans.

Response: The nature path has been removed.

6. The project plans include an approximate wetland boundary which differs considerably from the wetland boundary shown on the Leisure Farm Subdivision Filed Map. The wetland boundary touches the retaining wall at the southern property line and extends northerly to a point on the northern property line which is midway between the retaining wall and wetland edge shown on the applicant's site plan. If the Filed Map wetland boundary was used, a majority of the proposed improvements would be located within the wetland buffer and a Wetland Permit would be required for the project. The applicant will need to have the wetland boundary flagged in the field by a Wetland/Soil Professional and verified by the Town Wetland Consultant. Please notify the Town Engineer once the wetland boundary has been established in the field. Upon verification, the wetland flags will need to be surveyed and boundary included on the Site Plan.

Response: A site visit was conducted with Jan Johannessen from Kellard Sessions Consulting on August 17th, 2021 at 9am to review the wetlands boundary delineated on the plan using the WCGIS data. Per Jan's review, he noted that the WCGIS line reflected actual field conditions and can be used.

7. The applicant will need to perform deep and percolation soil testing to be witnessed by the Town Engineer at the location of the proposed stormwater infiltrators. The test locations and results shall be shown on the project plans. Contact this office to schedule the testing.

Response: Soiling testing was completed on October 27th, 2021 and witnessed by Kellard Sessions Consulting. The project engineer Ahneman Kirby, LLC has shown all testing information and proposed stormwater system on there plans.

8. The project plans should include drains and piping required to collect the runoff and discharge to the stormwater treatment system.

Response: The full drainage system has been designed and included in engineering plans by Ahneman Kirby, LLC.

9. The plans should provide construction details for the drainage system, retaining walls, patio, decorative driveway bands.

Response: All construction details have been provided for the proposed work on sheet D-1. Drainage system details have been provided on engineering plans by Ahneman Kirby, LLC.

10. The application includes stormwater calculations for the sizing of the infiltrator system which will mitigate runoff for the disturbed portions of the site. We assume the same infiltration system will be used to mitigate the pool drawdown volume. Please calculate for the pool drawdown. Also, show the connection between the pool equipment and the infiltration system.

Response: Pool drawdown volume has been calculated. See engineering plans by Ahneman Kirby, LLC.

11. Please show all existing wells within the area and confirm the infiltration system complies with the setback requirements from the wells.

Response: The existing well is shown in the front of the house in the center island of the looped driveway.

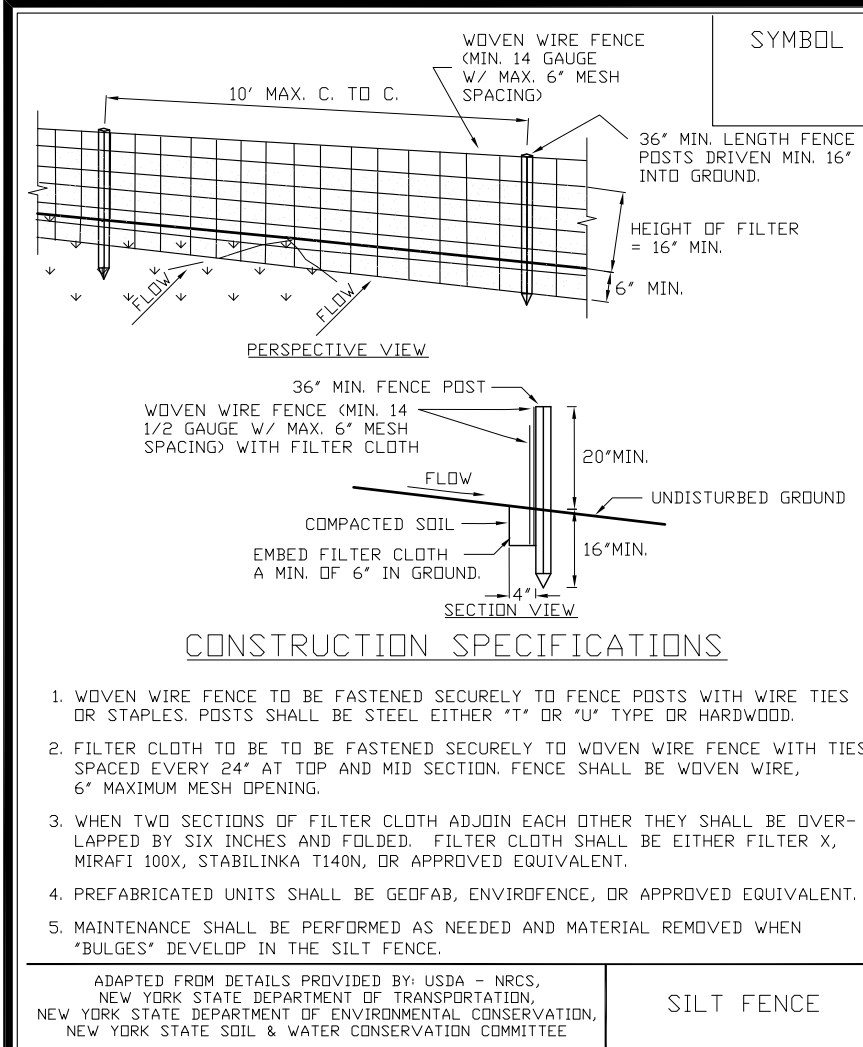
12. The Town Building Inspector should review the proposed wall and fence design to confirm that the necessary safety improvements are provided.

Response: We will adjust details if required per the Town Building Inspectors comments.

Thank you for your consideration.

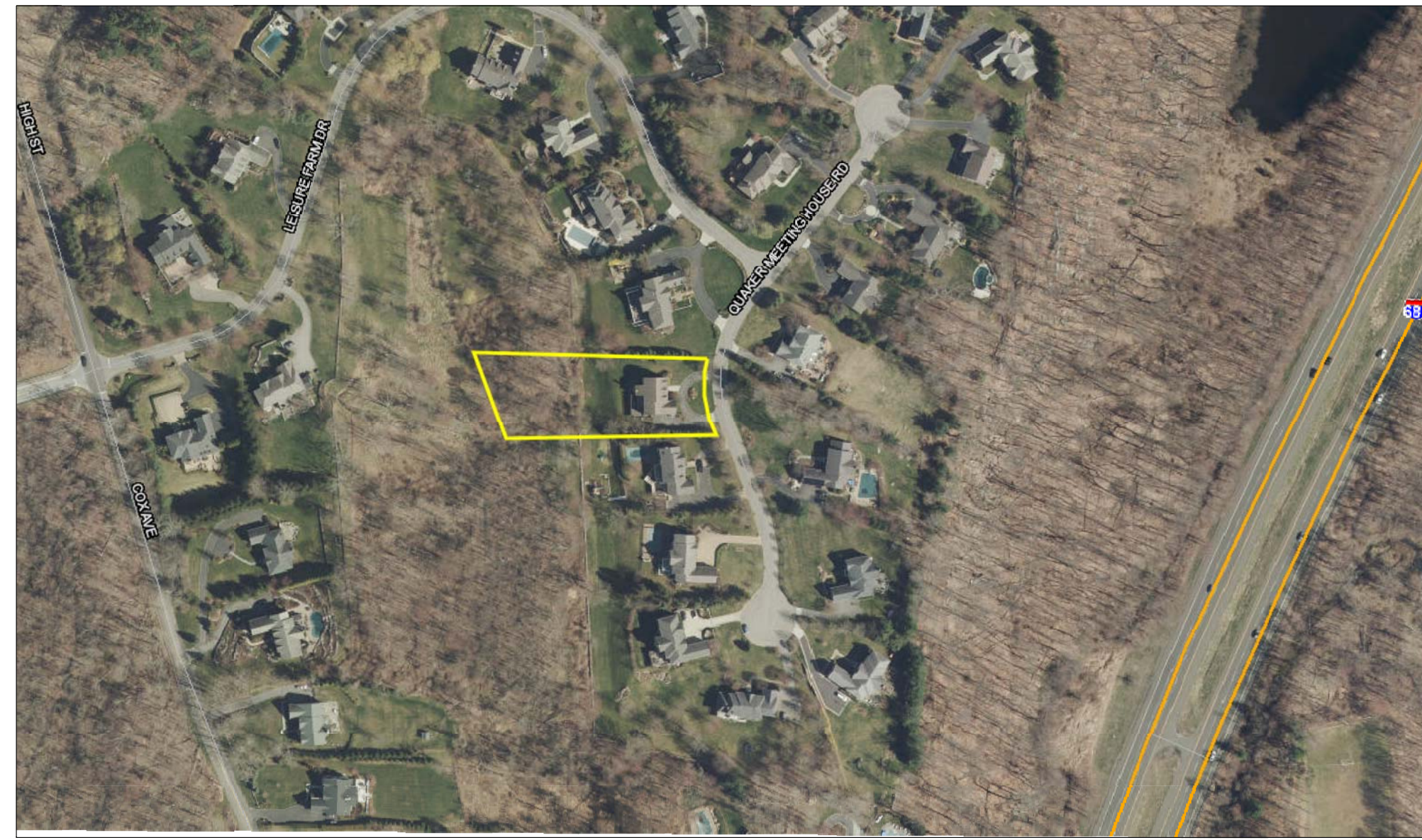
Respectfully submitted,

Louis C. Fusco, PLA

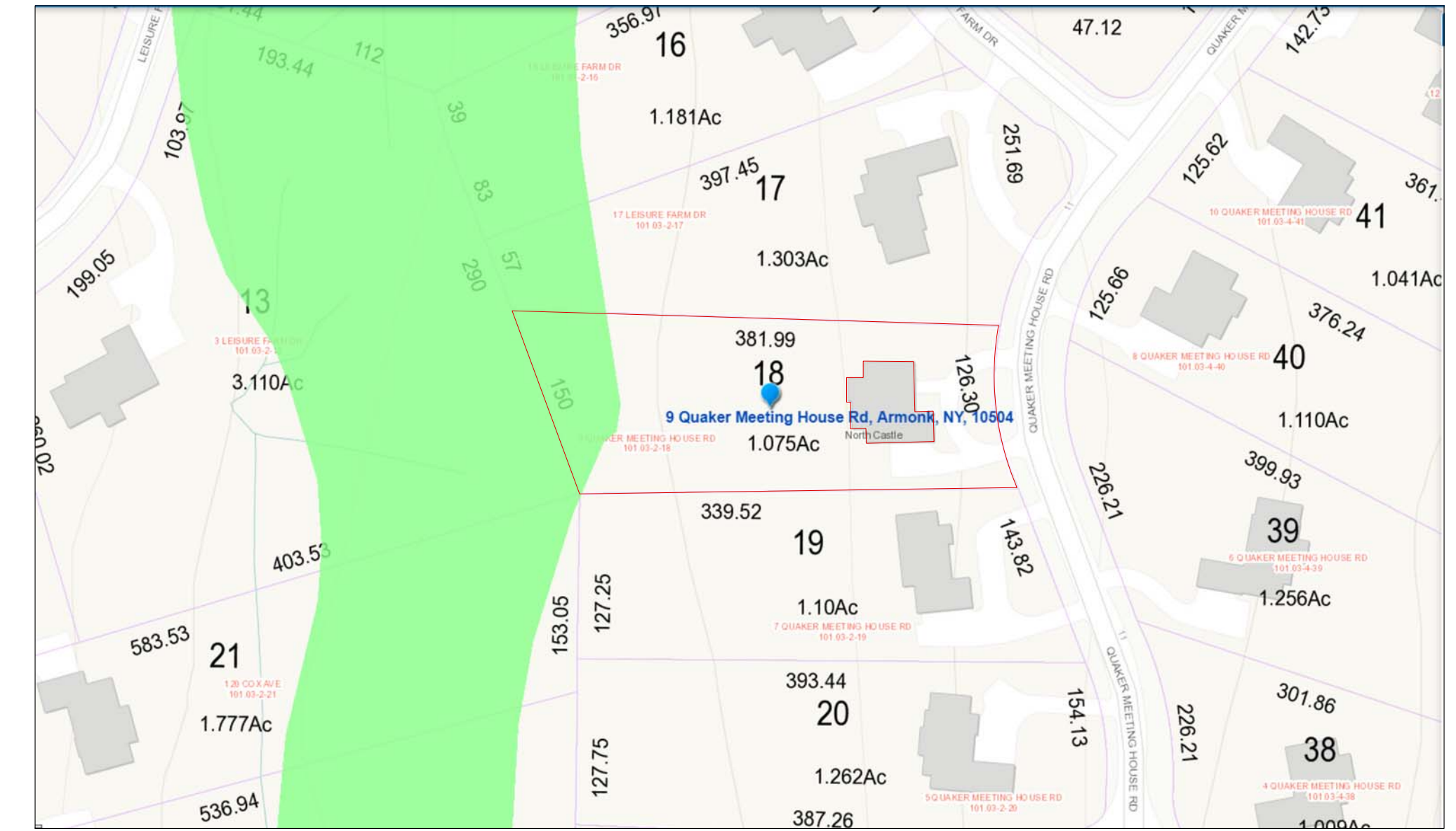


STORMWATER POLLUTION PREVENTION PLAN NOTES:

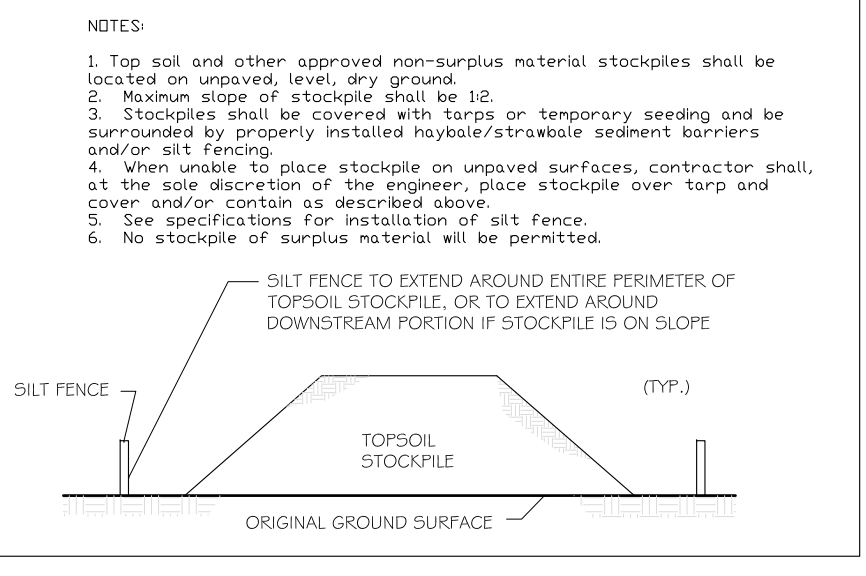
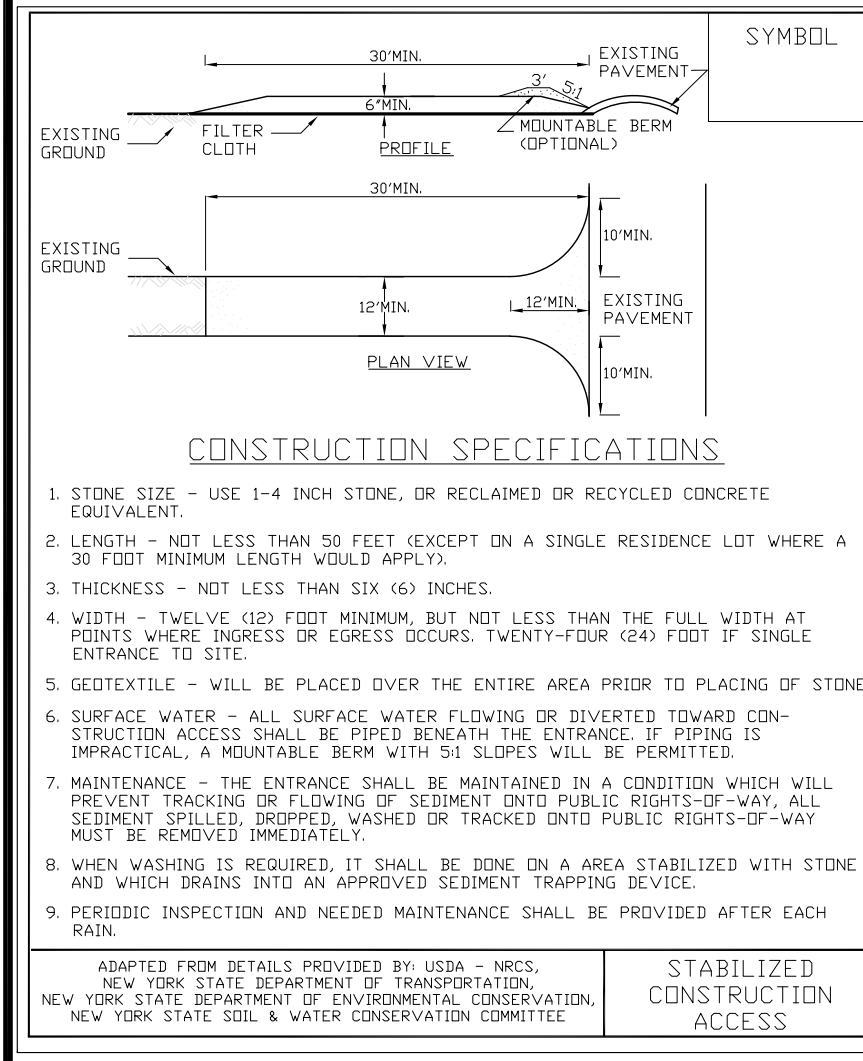
- TOTAL ESTIMATED AMOUNT OF CUT TO BE 20 CUBIC YARDS. ALL 20 CUBIC YARDS TO BE USED ONSITE FOR BACKFILL AND GRADING. NO ADDITIONAL FILL SHALL BE IMPORTED OR REMOVED FROM THE SITE.
- WEEKLY INSPECTIONS TO BE MADE BY A TRAINED CONTRACTOR, AS DEFINED BY NYSDEC SPDES GP-0-20-001 APPENDIX "A", OF SILT FENCE & SOIL STOCK PILE AREA. ANY DAMAGED AREAS TO BE FIXED OR REPLACED.
- DRAINAGE SYSTEMS TO BE INSPECTED & MAINTAINED ON A YEARLY BASIS. INSPECTION TO CONSIST OF DRAIN INLETS TO BE CLEAR OF DEBRIS & LEVEL SPREADER CONSTRUCTION.
- CONTRACTOR TO HAVE ONSITE AS NEEDED DURING CONSTRUCTION A 8 YARD DUMPSTER FOR LITTER & DEBRIS. CONTRACTOR TO REMOVE ANY CONSTRUCTION DEBRIS ON A WEEKLY BASIS AND REMOVE ANY WASTE ON A DAILY BASIS.
- ONLY MATERIAL TO BE STORED ONSITE ARE GRAVEL, SAND, CEMENT & ORGANIC MATERIAL (IE. STONES & PLANTS).
- CONTRACTORS SHALL SIGN AND DATE THE FOLLOWING CERTIFICATION STATEMENT BEFORE UNDERTAKING ANY LAND DEVELOPMENT ACTIVITY: "I HEREBY CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND AGREE TO COMPLY WITH THE TERMS AND CONDITIONS OF THE SWPPP AND AGREE TO IMPLEMENT ANY CORRECTIVE ACTIONS IDENTIFIED BY THE QUALIFIED INSPECTOR DURING A SITE INSPECTION. I ALSO UNDERSTAND THAT THE OWNER OR OPERATOR MUST COMPLY WITH THE TERMS AND CONDITIONS OF THE MOST CURRENT VERSION OF THE NEW YORK STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM ("SPDES") GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES AND THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS. FURTHERMORE, I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, THAT I DO NOT BELIEVE TO BE TRUE, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."



AERIAL PHOTO

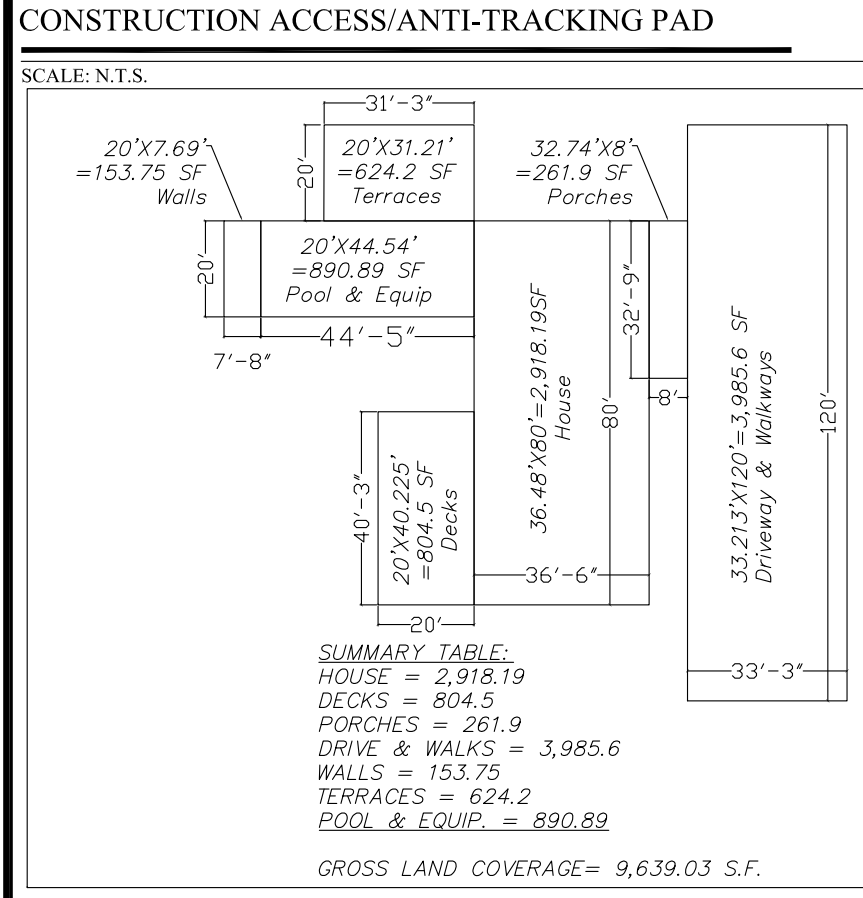


ADJACENT PROPERTY MAP



SOIL STOCK PILE

SCALE: N.T.S.



GROSS LAND COVERAGE SCHEMATIC

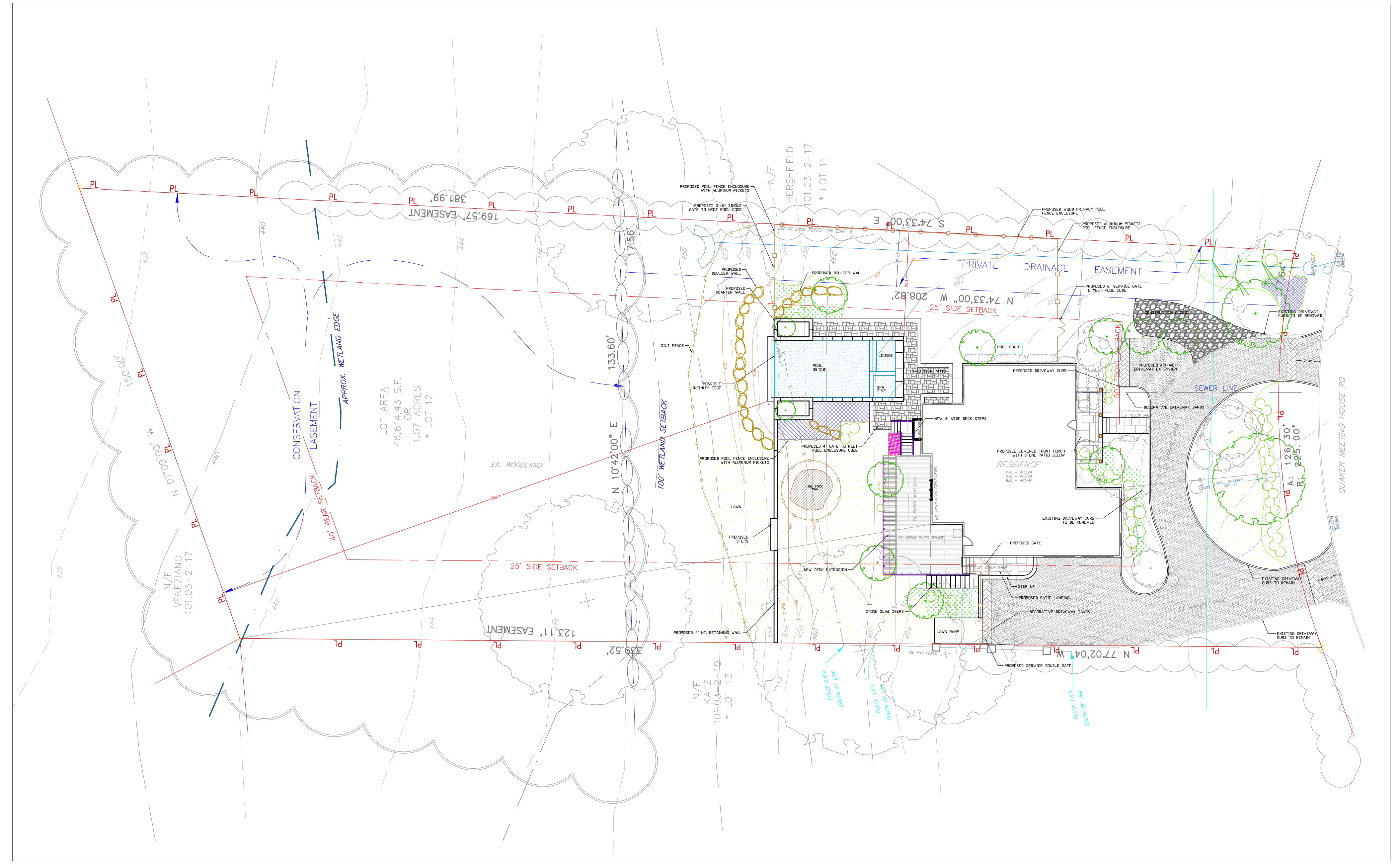
SCALE: 1" = 40'-0"

	BUILDING COVERAGE		
	MAX. Permitted	Existing	Proposed
Principal BLDG. Coverage	12%	3.89%	--
Accessory BLDG. Coverage	--	--	--
Total BLDG. Coverage	12%	3.89%	--
BLDG. Height	30'	N/A	N/A

ZONE: R-1A Acre Lot Size: 1.07 Section: 101.03 Block: 2 Lot: 18

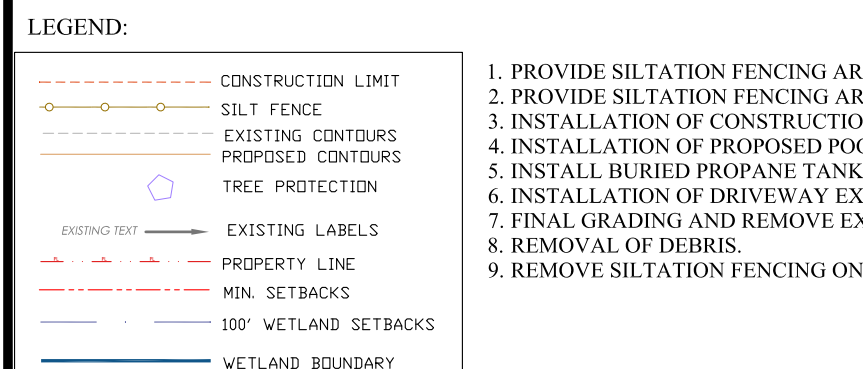
ZONING DATA BREAKDOWN			
	MIN. REQ.	Existing	Proposed
Lot Area	1 acres	46,814.43 S.F.	--
Width	125'	126.30'	--
Front Yard	50'	50.7'	--
Side Yard	25'	21.5'	--
Rear Yard	40'	219.7'	180.9'

	EXISTING	TOTAL PROPOSED	DIFFERENCE
HOUSE	2918.19	2918.19	0.00
DRIVEWAY	3497.00	3985.600000	488.60
PATIO	389.02	624.200000	235.18
DECK	585	804.50	219.50
FRONT PORCH	60.41	261.90	201.49
POOL	0	890.89	890.89
WALLS	0	153.75	153.75
TOTAL	7449.62	9639.03	



SITE PLAN

SCALE: 1" = 20'-0"



CONSTRUCTION SEQUENCE

- PROVIDE SILTATION FENCING AROUND ALL PROPOSED DISTURBANCE AREAS AS INDICATED ON PLANS.
- PROVIDE SILTATION FENCING AROUND STOCKPILE LOCATION.
- INSTALLATION OF CONSTRUCTION ACCESS ROAD.
- INSTALLATION OF PROPOSED POOL, RETAINING WALLS, STEPS, PATIO AND WALKWAYS.
- INSTALL BURIED PROPANE TANK, ELECTRICAL AND GAS LINES FOR POOL REQUIREMENT.
- INSTALLATION OF DRIVEWAY EXTENSION AND REMOVAL OF OLD DRIVEWAY.
- FINAL GRADING AND REMOVE EXCESS FILL FROM SITE IF NEEDED.
- REMOVAL OF DEBRIS.
- REMOVE SILTATION FENCING ONCE ALL DISTURBED AREAS HAVE BEEN STABILIZED.

NOTES:

- PROPERTY SURVEY PREPARED BY W.E. JAMES ENGINEERING AND LAND SURVEYING, PLLC, DATED 9-29-2020.
- TOPO FROM EASTERN STATES ENGINEERING, INC. PLOT PLAN, DATED 10-27-09.
- EDGE OF WETLANDS TAKEN FROM WESTCHESTER COUNTY GIS, MAPPING WESTCHESTER COUNTY.
- ALL EXISTING UTILITIES TO BE MARKED OUT BY PUBLIC OR PRIVATE SERVICE PRIOR TO START OF CONSTRUCTION.
- CONSTRUCTION OF WALLS OVER 4' HT. SHALL BE CERTIFIED BY THE DESIGN PROFESSIONAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLETION.
- SEE ENGINEERS PLANS FOR DRAINAGE SYSTEM, DETAILS AND SOIL TESTING.

LOUIS FUSCO
landscape architects
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914 764 9123
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LAZAR RESIDENCE
9 QUAKER MEETING HOUSE RD
NORTH CASTLE, NY

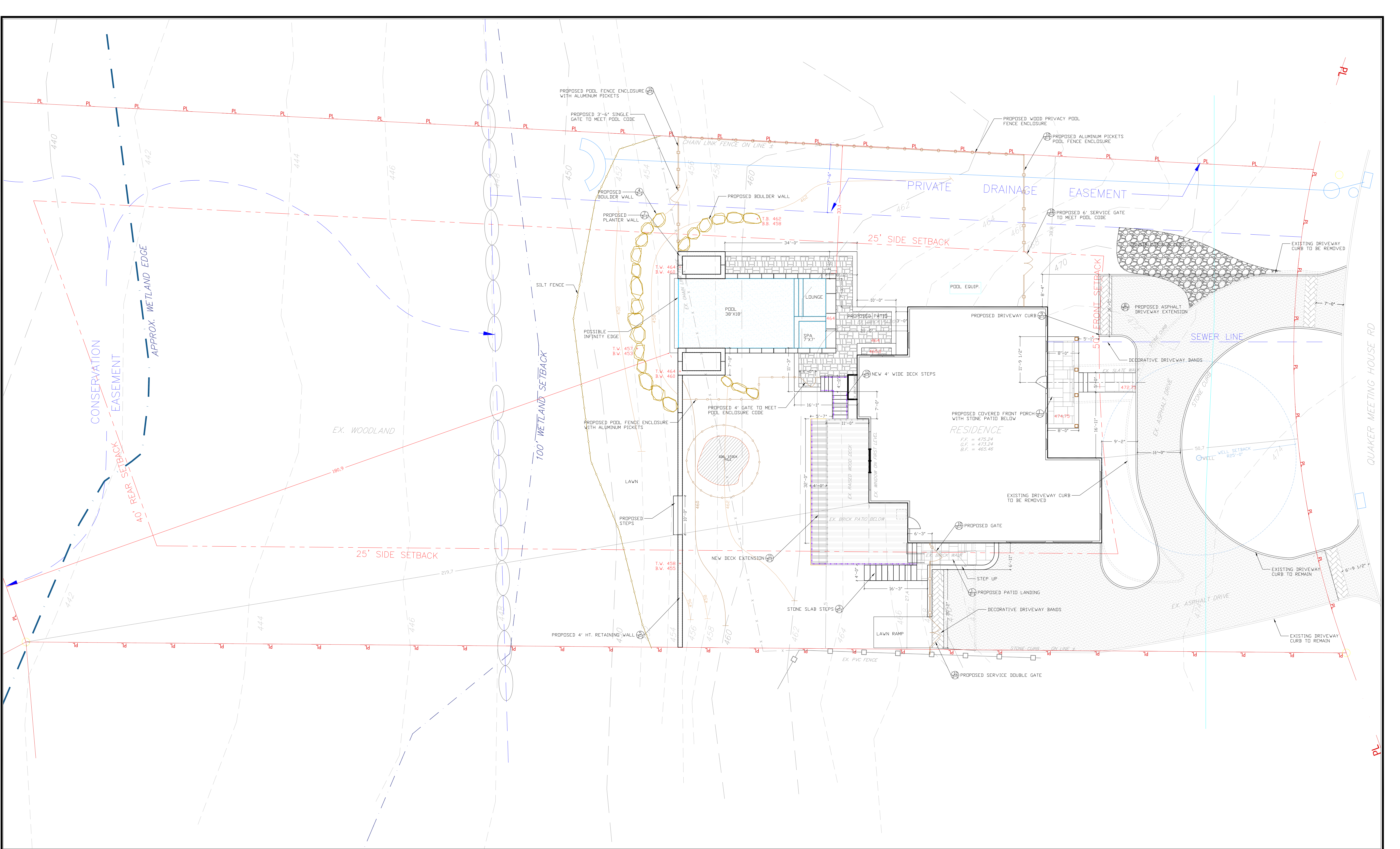
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SITE PLAN
RPRC PERMIT PLAN

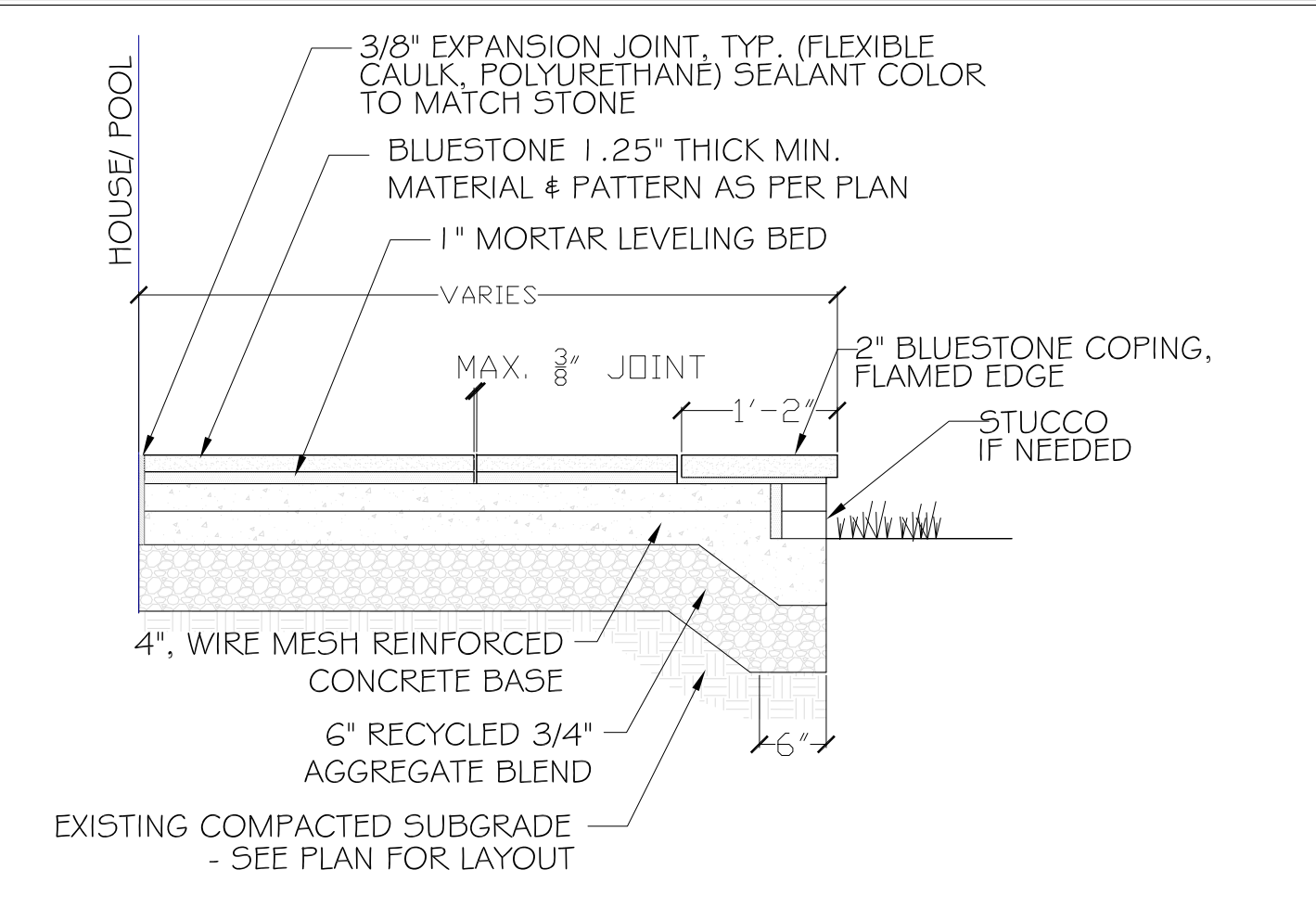
REVISED: 09-16-2021, 10-12-2021, 10-28-2021

STAMP: REGISTERED LANDSCAPE ARCHITECT
LOUIS FUSCO
No. 001915
STATE OF NEW YORK

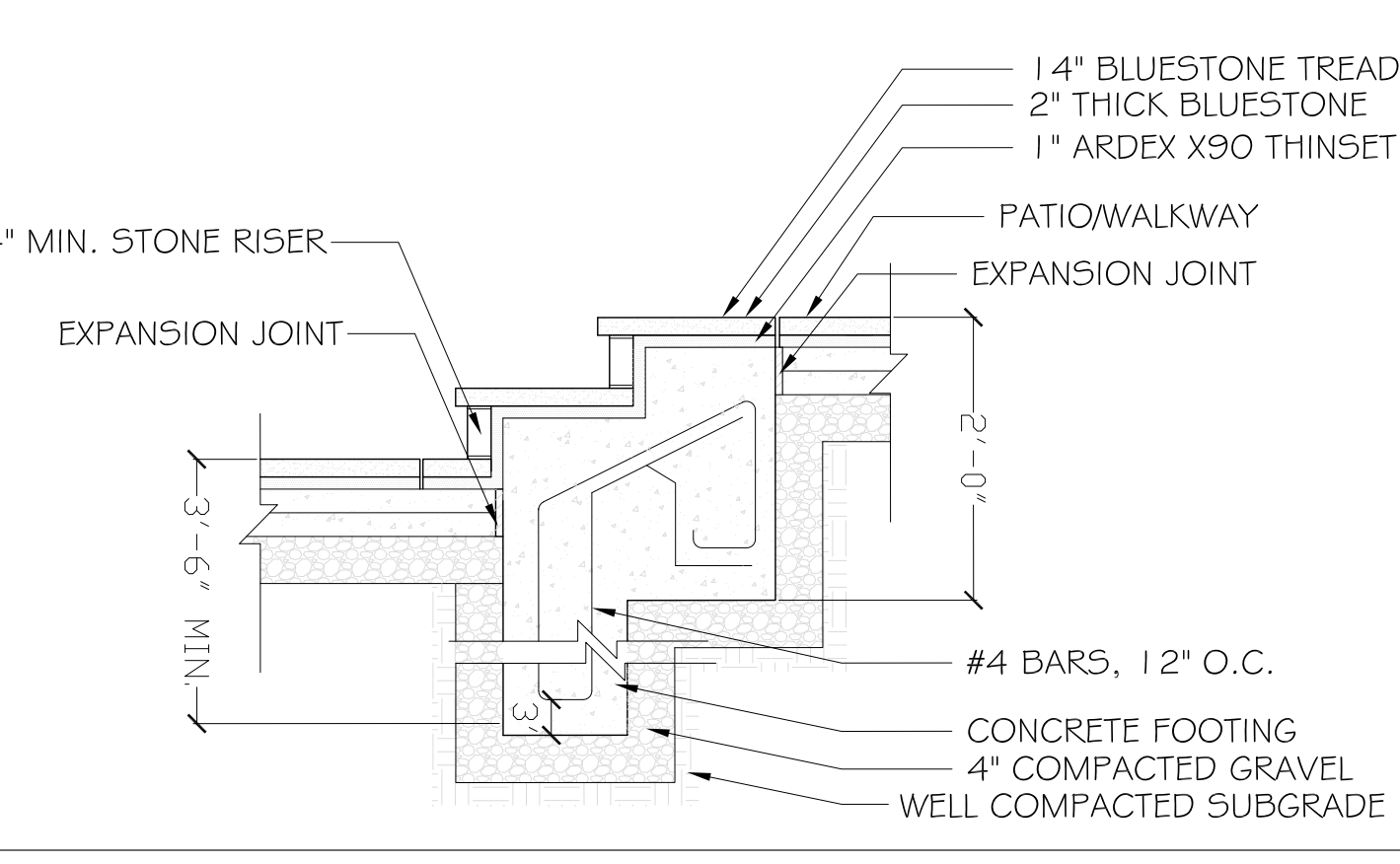
Drawings number: RPRC



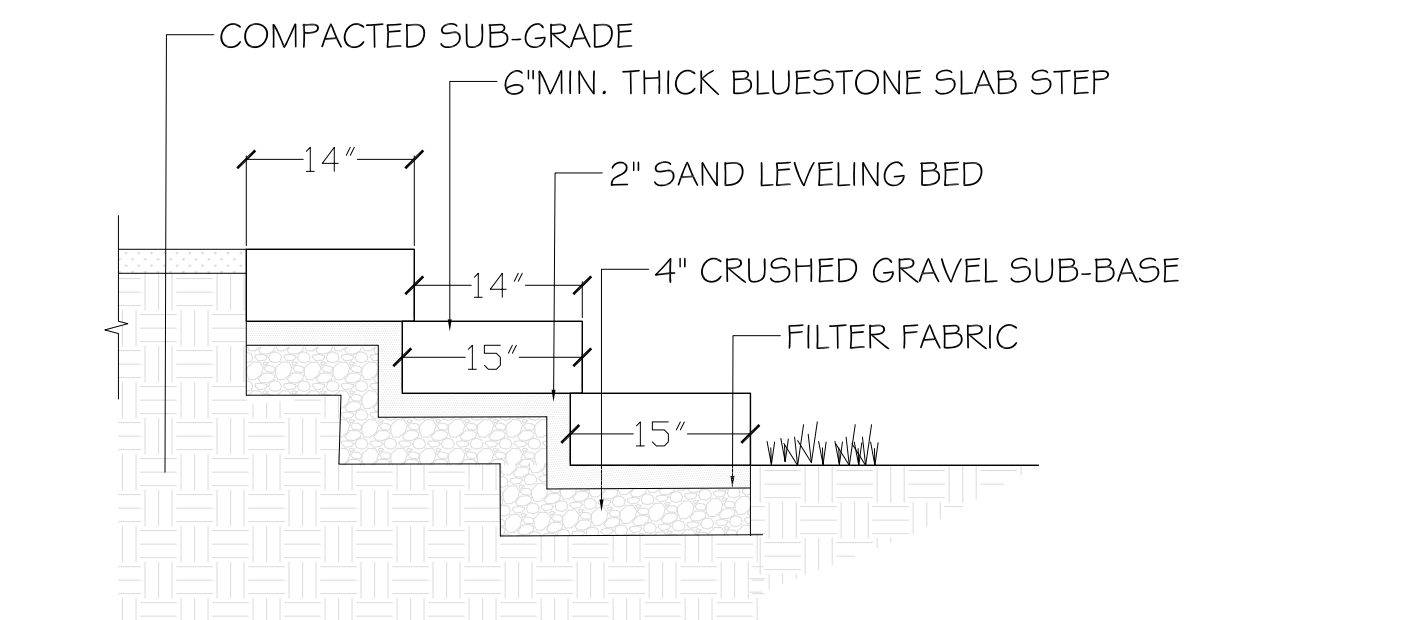
<p>LEGEND:</p> <ul style="list-style-type: none"> CONSTRUCTION LIMIT SILT FENCE EXISTING CONTOURS PROPOSED CONTOURS TREE PROTECTION EXISTING LABELS PROPERTY LINE WLL SETBACKS 100' WETLAND SETBACKS WETLAND BOUNDARY 	<p>CONSTRUCTION SEQUENCE</p> <ol style="list-style-type: none"> 1. PROVIDE SILTATION FENCING AROUND ALL PROPOSED DISTURBANCE AREAS AS INDICATED ON PLANS. 2. PROVIDE SILTATION FENCING AROUND STOCKPILE LOCATION. 3. INSTALLATION OF CONSTRUCTION ACCESS ROAD. 4. INSTALLATION OF PROPOSED POOL, RETAINING WALLS, STEPS, PATIO AND WALKWAYS. 5. INSTALL BURIED PROPANE TANK, ELECTRICAL AND GAS LINES FOR POOL REQUIREMENT. 6. INSTALLATION OF DRIVEWAY EXTENSION AND REMOVAL OF OLD DRIVEWAY. 7. FINAL GRADING AND REMOVE EXCESS FILL FROM SITE IF NEEDED. 8. REMOVAL OF DEBRIS. 9. REMOVE SILTATION FENCING ONCE ALL DISTURBED AREAS HAVE BEEN STABILIZED. 	<p>NOTES:</p> <ul style="list-style-type: none"> - PROPERTY SURVEY PREPARED BY W.E. JAMES ENGINEERING AND LAND SURVEYING, PLLC, DATED 9-29-2020. - TOPO FROM EASTERN STATES ENGINEERING, INC. PLAT PLAN, DATED 10-27-99. - EDGE OF WETLANDS TAKEN FROM WESTCHESTER COUNTY GIS, MAPPING WESTCHESTER COUNTY. - ALL EXISTING UTILITIES TO BE MARKED OUT BY PUBLIC OR PRIVATE SERVICE PRIOR TO START OF CONSTRUCTION. - CONSTRUCTION OF WALLS OVER 4' HT. SHALL BE CERTIFIED BY THE DESIGN PROFESSIONAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLETION. - SEE ENGINEERS PLANS FOR DRAINAGE SYSTEM, DETAILS AND SOIL TESTING. 	<p>LOUIS FUSCO landscape architects focus • form • function</p> <p>26 Woodland Road Pound Ridge, NY 10576 914.764.9123 louisfusco.com</p>	<p>LAZAR RESIDENCE 9 QUAKER MEETING HOUSE NORTH CASTLE, NY</p> <p>DATE: 07-20-2021 SCALE: 1"=10'-0"</p> <p>LAYOUT PLAN</p>	<p>REVISED: 09-16-2021 10-12-2021 10-28-2021</p> <p>STAMP: REGISTERED LANDSCAPE ARCHITECT LOUIS FUSCO No. 001915 STATE OF NEW YORK</p>
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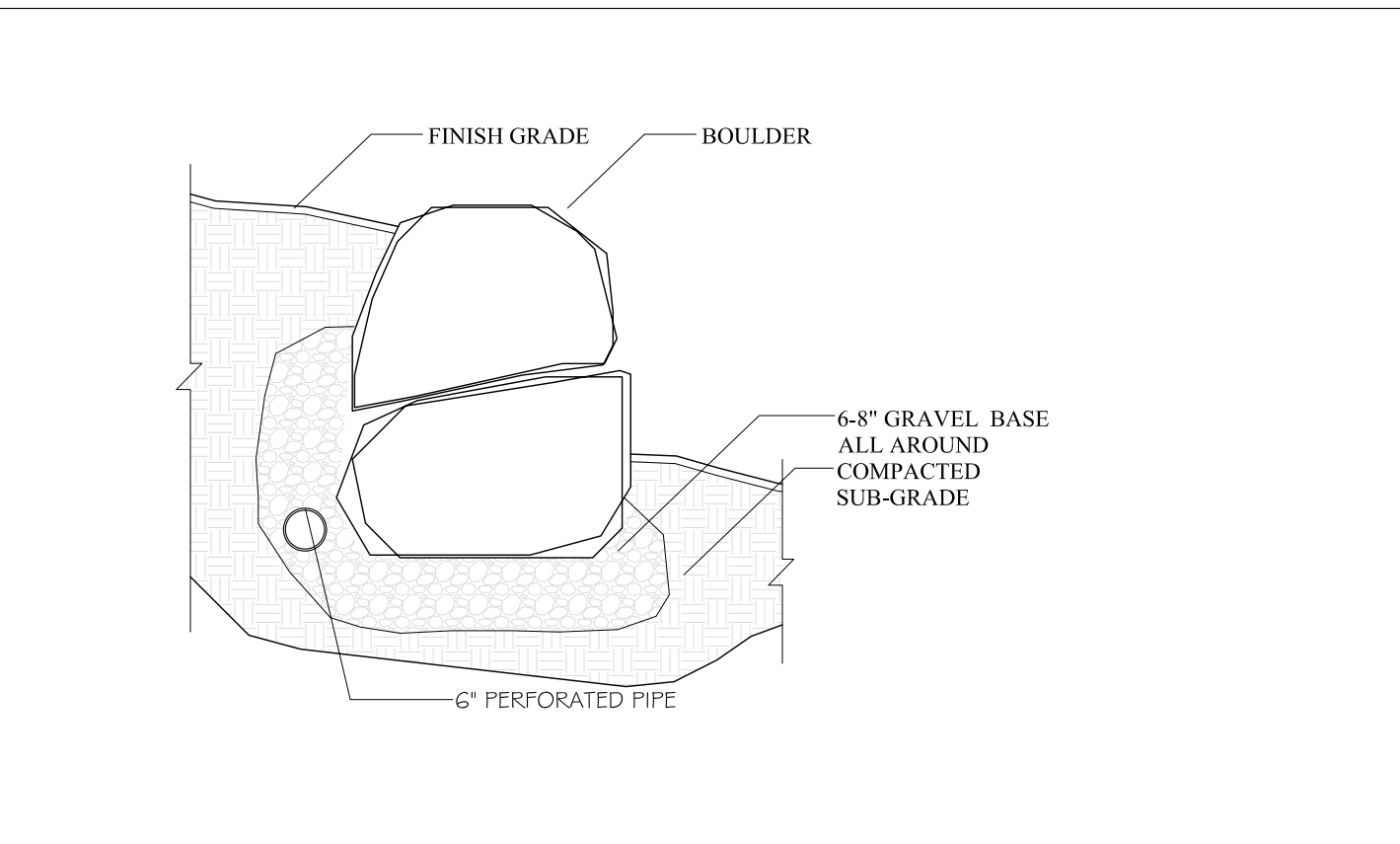
PATIO
SCALE: 3/4" = 1'-0"
1
D-1



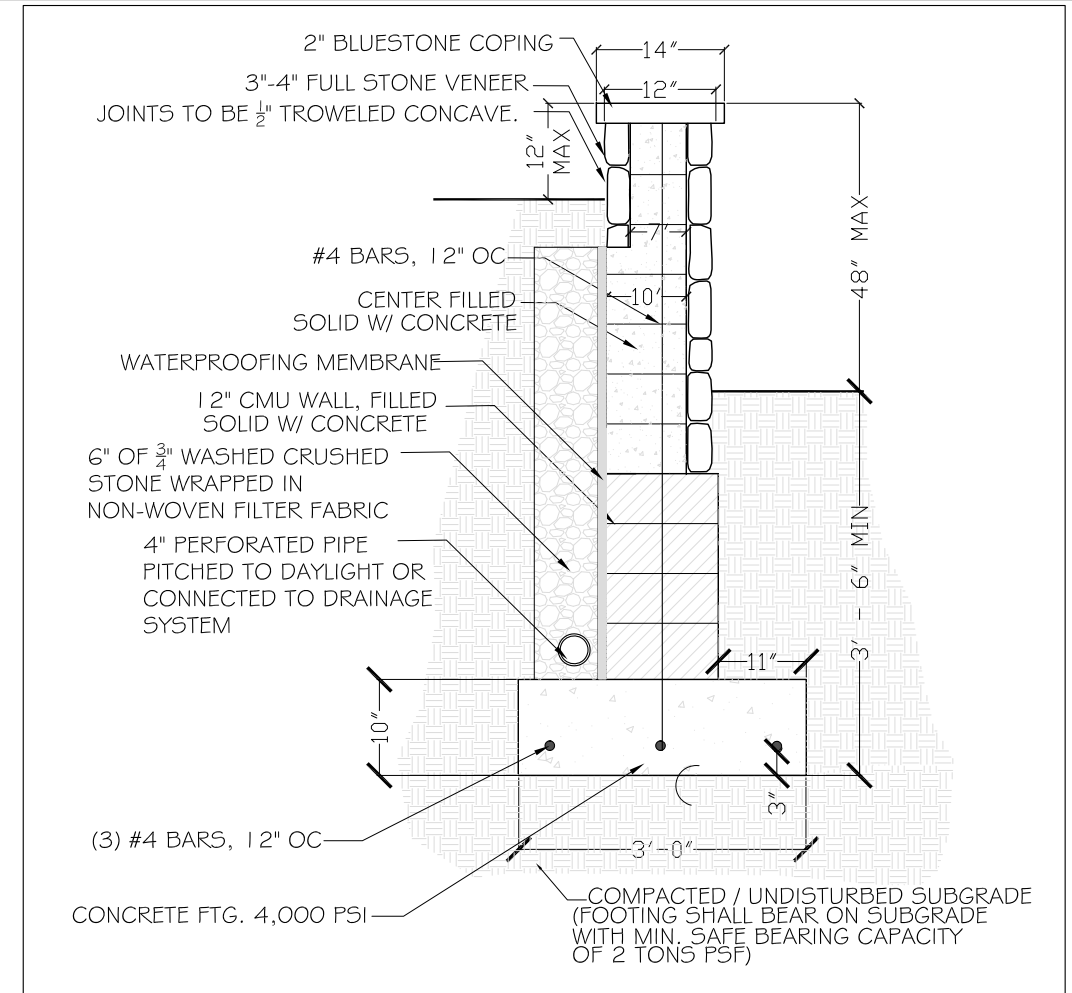
STEPS
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2
D-1



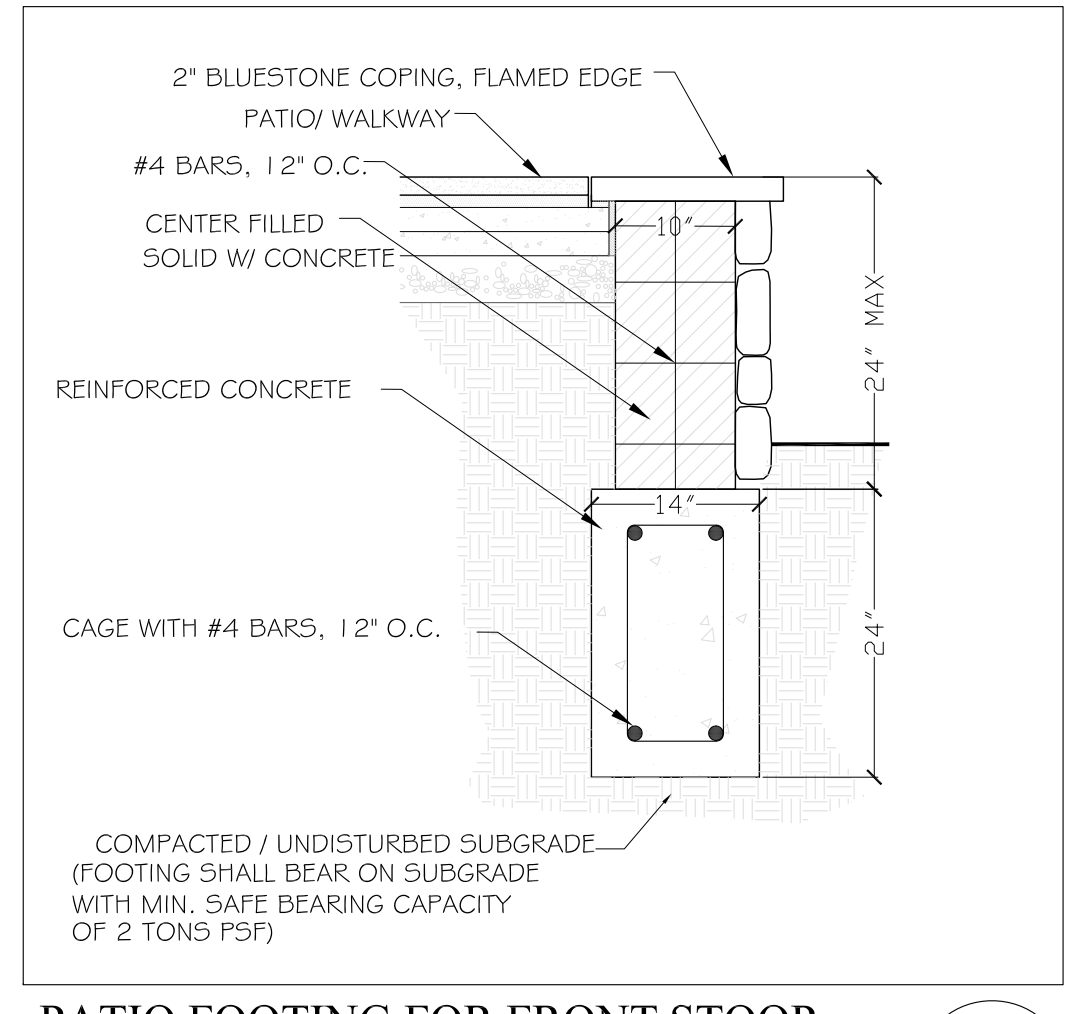
STONE STEPS
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3
D-1



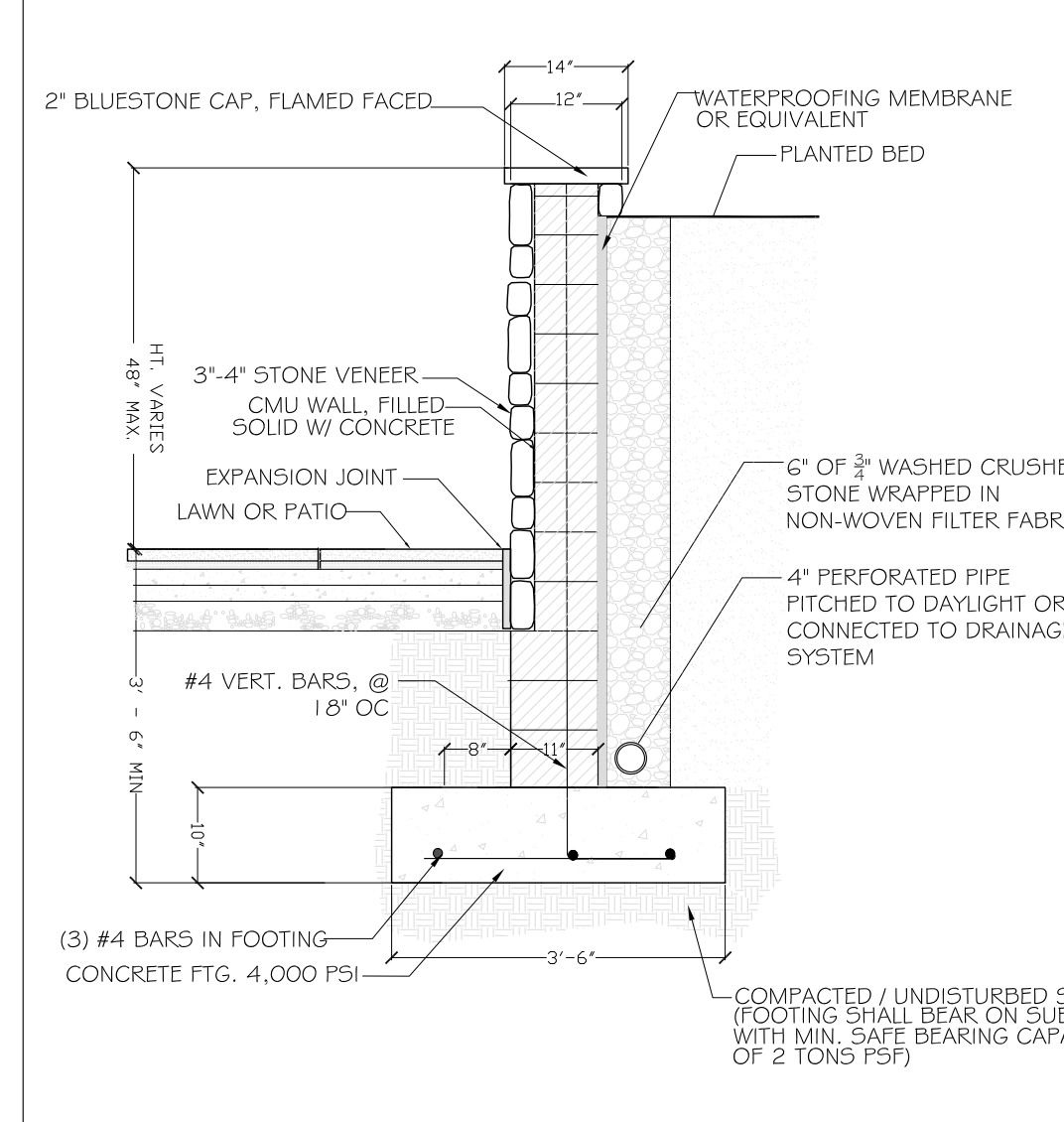
BOULDER WALL DETAIL
SCALE: NTS
4
D-1



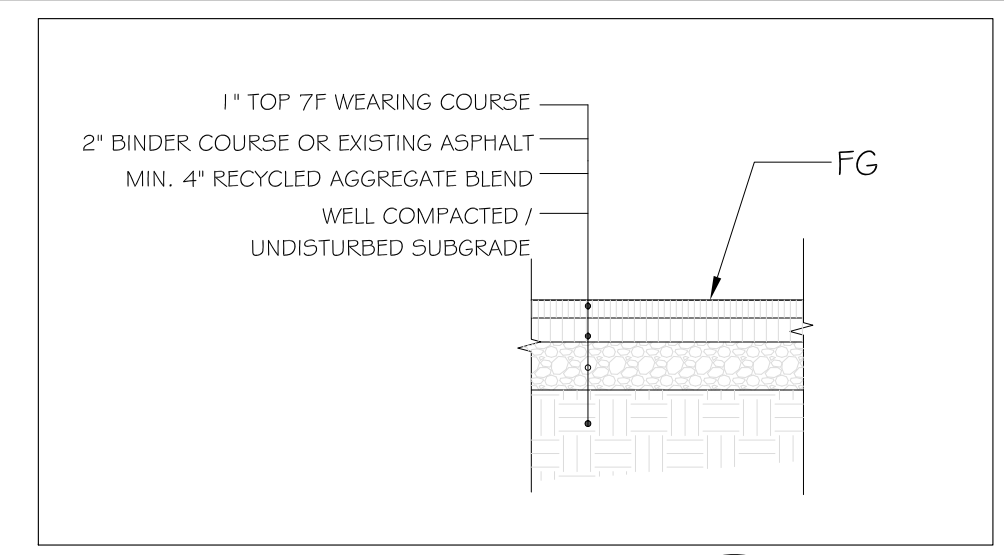
RETAINING WALL
SCALE: 1/2" = 1'-0"
5
D-1



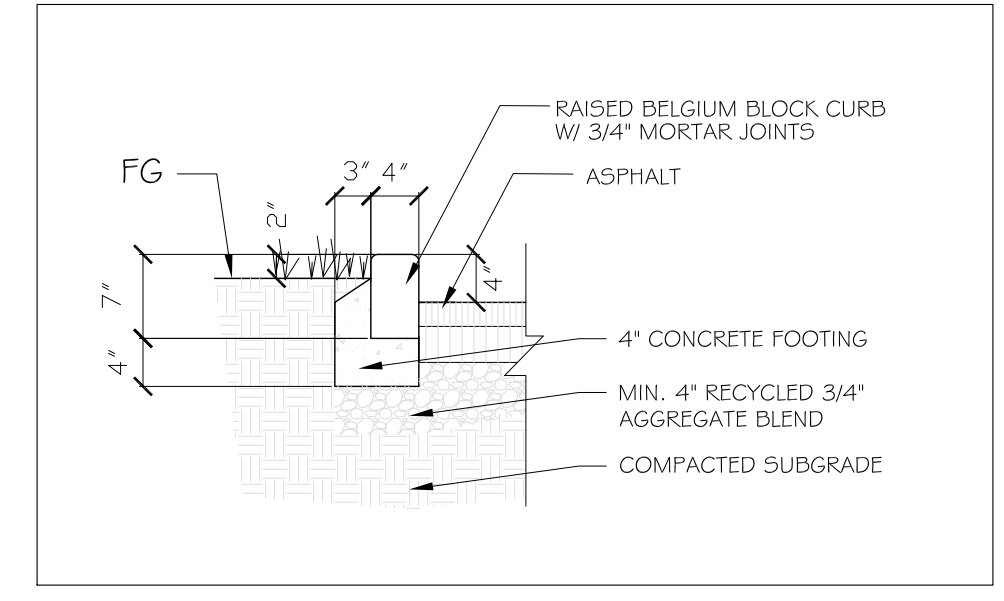
PATIO FOOTING FOR FRONT STOOP
SCALE: 3/4" = 1'-0"
6
D-1



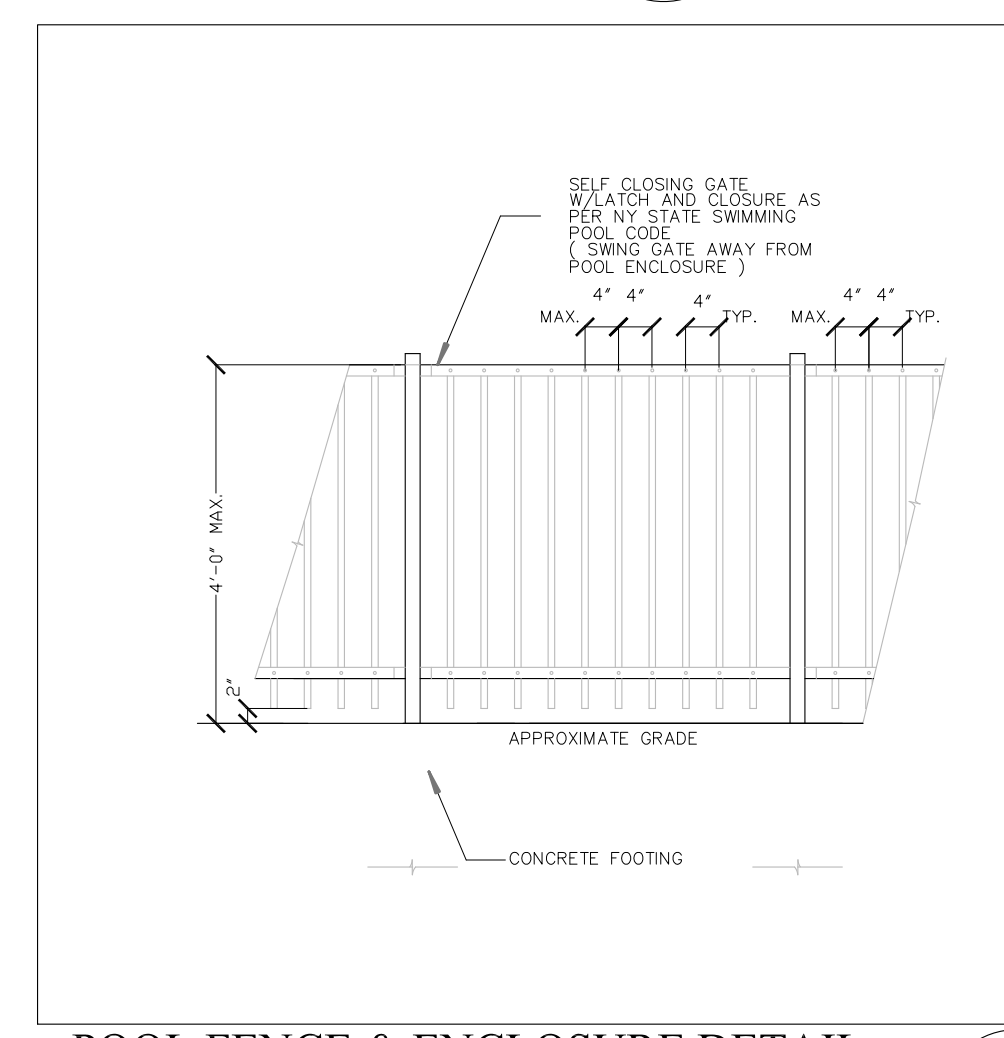
PLANTER WALL
SCALE: 1/2" = 1'-0"
7
D-1



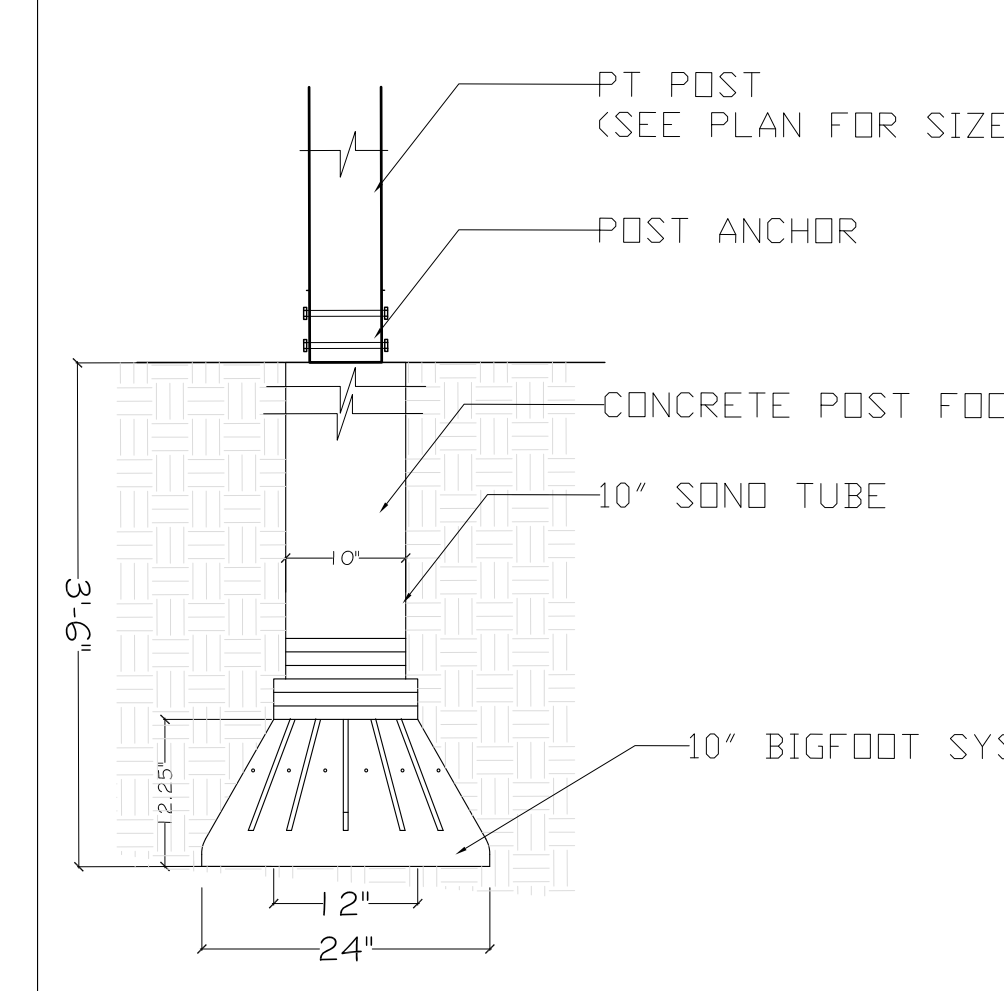
DRIVEWAY
SCALE: 3/4" = 1'-0"
8
D-1



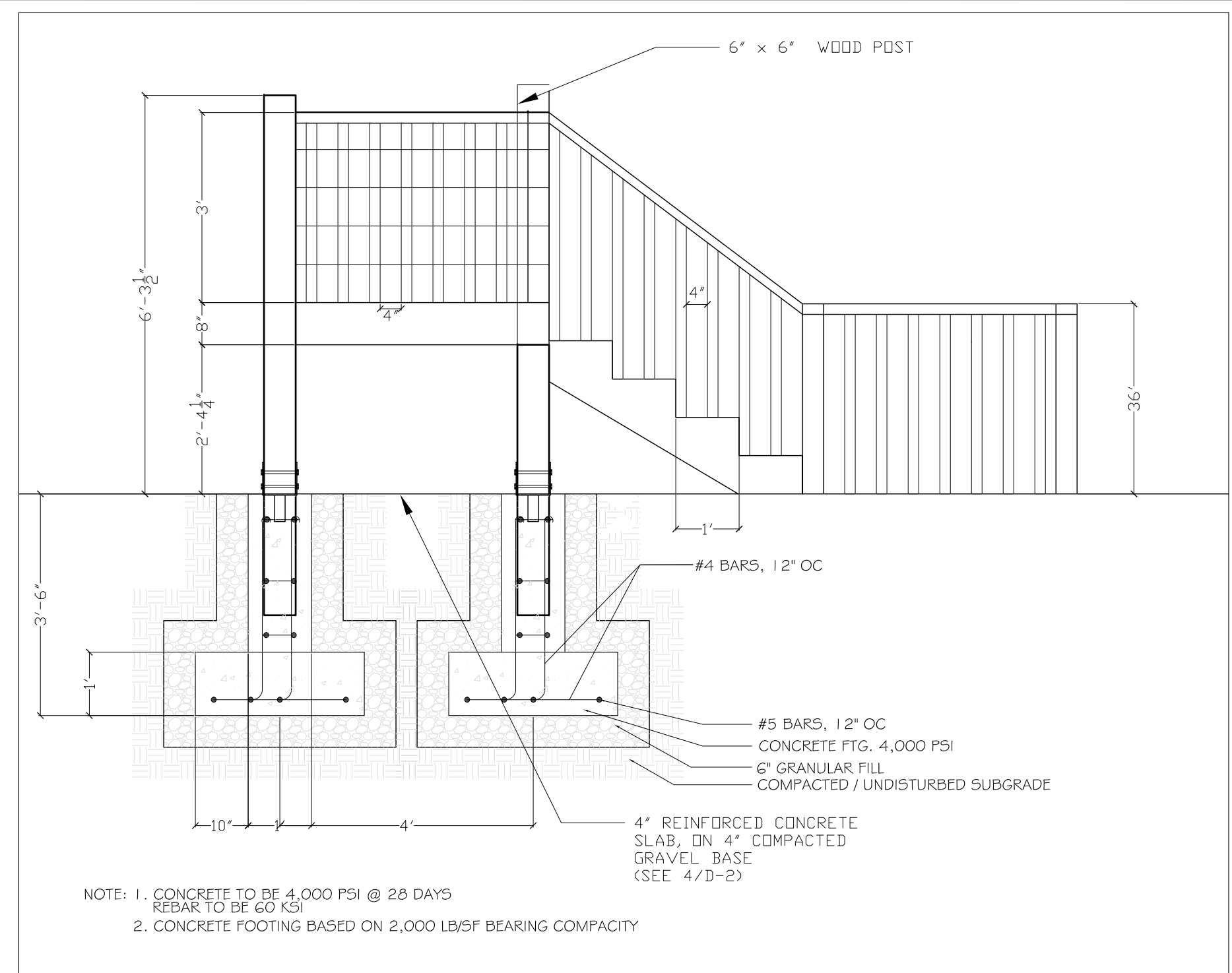
CURB DRIVEWAY EDGE
SCALE: 3/4" = 1'-0"
9
D-1



POOL FENCE & ENCLOSURE DETAIL
SCALE: 3/4" = 1'-0"
10
D-1



DECK FOOTING
SCALE: 3/4" = 1'-0"
11
D-1



DECK STEPS
SCALE: 1/2" = 1'-0"
12
D-1

- LEGEND:**
- CONSTRUCTION LIMIT
 - SILT FENCE
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - TREE PROTECTION
 - EXISTING LABELS
 - PROPERTY LINE
 - MIN. SETBACKS
 - 100' WETLAND SETBACKS
 - WETLAND BOUNDARY
- CONSTRUCTION SEQUENCE:**
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 - PROVIDE SILTATION FENCING AROUND STOCKPILE LOCATION.
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- NOTES:**
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LAZAR RESIDENCE
9 QUAKER MEETING HOUSE RD
NORTH CASTLE, NY

DATE: 09-16-2021 SCALE: AS NOTED

CONSTRUCTION DETAILS

REVISED: 10-07-2021
10-28-2021

STAMP:
REGISTERED LANDSCAPE ARCHITECT
LOUIS FUSCO
NO. 001915
STATE OF NEW YORK

Drawn by: D-1



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: _____ Date: _____

Tax Map Designation or Proposed Lot No.: _____

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): _____
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): _____
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
_____ x 10 = _____
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 _____
5. Amount of lot area covered by **principal building**:
_____ existing + _____ proposed = _____
6. Amount of lot area covered by **accessory buildings**:
_____ existing + _____ proposed = _____
7. Amount of lot area covered by **decks**:
_____ existing + _____ proposed = _____
8. Amount of lot area covered by **porches**:
_____ existing + _____ proposed = _____
9. Amount of lot area covered by **driveway, parking areas and walkways**:
_____ existing + _____ proposed = _____
10. Amount of lot area covered by **terraces**:
_____ existing + _____ proposed = _____
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
_____ existing + _____ proposed = _____
12. Amount of lot area covered by **all other structures**:
_____ existing + _____ proposed = _____
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = _____

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
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FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: _____ Date: _____

Tax Map Designation or Proposed Lot No.: _____

Floor Area

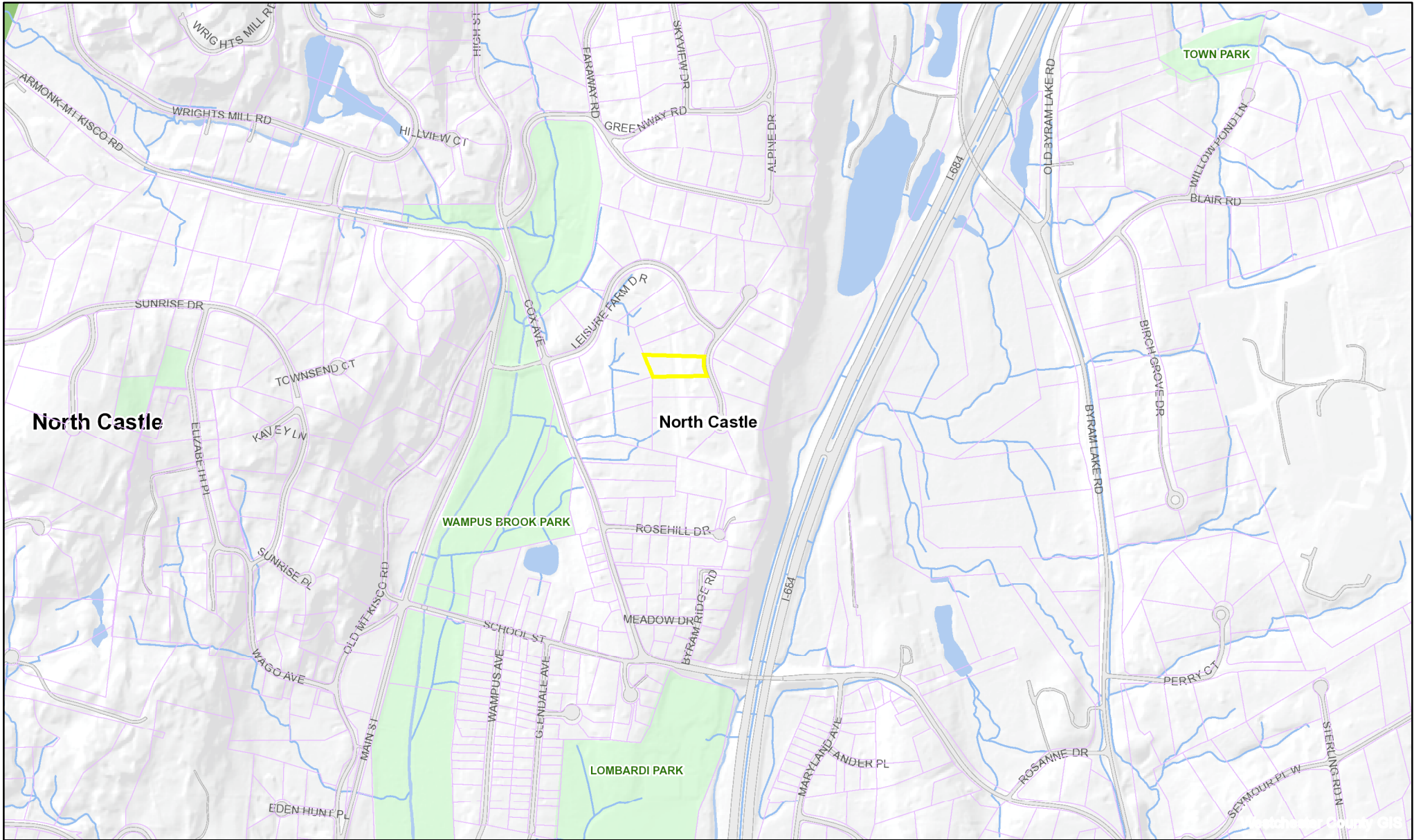
1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): _____
2. **Maximum** permitted floor area (per Section 355-26.B(4)): _____
3. Amount of floor area contained within first floor:
– _____ existing + _____ proposed = _____
4. Amount of floor area contained within second floor:
– _____ existing + _____ proposed = _____
5. Amount of floor area contained within garage:
– _____ existing + _____ proposed = _____
6. Amount of floor area contained within porches capable of being enclosed:
– _____ existing + _____ proposed = _____
7. Amount of floor area contained within basement (if applicable – see definition):
– _____ existing + _____ proposed = _____
8. Amount of floor area contained within attic (if applicable – see definition):
– _____ existing + _____ proposed = _____
9. Amount of floor area contained within all accessory buildings:
– _____ existing + _____ proposed = _____
10. Proposed **floor area**: Total of Lines 3 – 9 = _____

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

Date

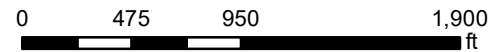
9 QUAKER MEETING HOUSE RD. ID: 101.03-2-18 (North Castle)



July 19, 2021

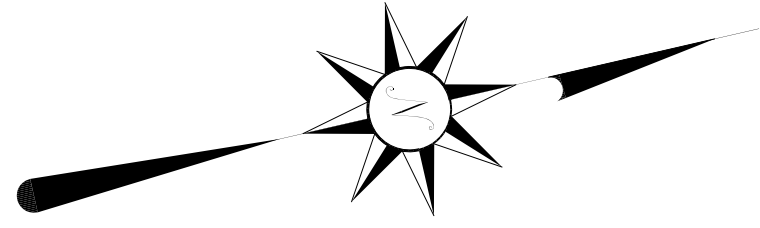
Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

1:10,000



Westchester County GIS

GIS
<http://giswww.westchestergov.com>
Michaelian Office Building
148 Martine Avenue Rm 214
White Plains, New York 10601



N/F
VENEZIANO
101.03-2-17

N 07°09'00" W 150.00'

CONSERVATION
EASEMENT

LOT AREA
46,814.43 S.F.
OR
1.07 ACRES

339.52'

123.11' EASEMENT
219.7'

381.99'

169.57' EASEMENT

N 10°42'00" E 133.60'

17.56'

N/F
KATZ
101.03-2-19
* LOT 13

* LOT 12

N/F
HERSHFIELD
101.03-2-17
* LOT 11

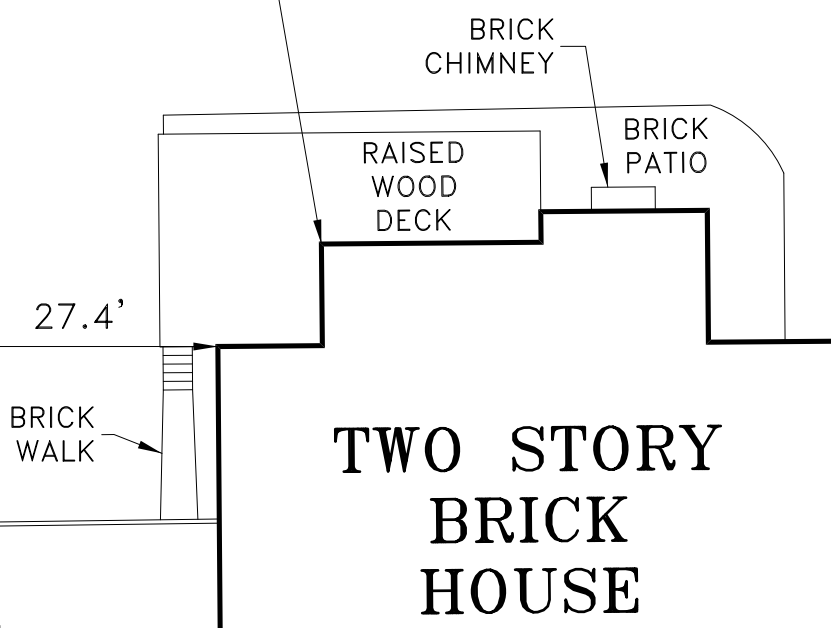
FENCE 0.8'±
SOUTH OF LINE

FENCE 0.5'±
SOUTH OF LINE

FENCE 1.8'±
SOUTH OF LINE

PVC FENCE
STONE CURB
ON LINE ±

N 77°02'04" W



**TWO STORY
BRICK
HOUSE**

N 74°33'00" W 208.82'

CHAIN LINK FENCE ON LINE ±
DRAINAGE EASEMENT
PRIVATE
S 74°33'00" E

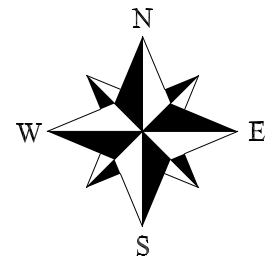
A: 126.30'
R: 225.00'

**QUAKER MEETING
HOUSE ROAD**

GENERAL NOTES:

1. THE PREMISES SHOWN HEREON IS GENERALLY AS DESCRIBED IN DEED CONTROL #480670568 RECORDED IN THE WESTCHESTER COUNTY CLERK'S OFFICE.
2. SURVEYED AS PER RECORD DESCRIPTIONS, RECORD FILED MAP, AND EXISTING MONUMENTATION.
3. SUBJECT TO ANY EASEMENTS AND/OR RIGHT OF WAYS THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
4. THE LOCATION OF ANY SUBSURFACE EASEMENTS, RIGHT OF WAYS, ENCROACHMENTS, AND/OR IMPROVEMENTS, IF ANY EXIST, ARE NOT CERTIFIED OR SHOWN HEREON.
5. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE ORIGINAL SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.
6. ANY ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PER SECTION 7209, SUBDIVISION 2.
- * 7. REFERENCE: 'AMENDED MAP OF SUBDIVISION OF LEISURE FARM' FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE DIVISION OF LAND RECORDS ON OCTOBER 8, 1999 AS MAP #26434.

W.E. James



**Engineering
and
Land Surveying, PLLC**

8 CHEANDA LANE
WALKKILL, NEW YORK 12589
PHONE: (845) 566-6522 FAX: (845) 566-6525
EMAIL: WEJames@optonline.net
www.wejamesassociates.com

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A TRUE VALID COPY. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON: SEPTEMBER 25, 2020

CERTIFIED ONLY TO:

1. MATTHEW BENJAMIN LAZAR AND JENA NICOLE LAZAR
2. CITIZENS BANK, N.A., ITS SUCCESSORS AND/OR ASSIGNS
3. RADIAN TITLE INSURANCE INC.
4. THOROUGHBRD TITLE SERVICES, LLC
5. THE LAW OFFICE OF DAVID M. GLADSTONE, PC

William E. James

WILLIAM E. JAMES, P.E., P.L.S.
NY STATE PROFESSIONAL LAND SURVEYOR LICENSE #050506

PROJECT TITLE:

SURVEY PREPARED FOR
Matthew Benjamin Lazar

&
Jena Nicole Lazar

TAX MAP SECTION 101.03, BLOCK 2, LOT 18
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

SCALE:
1" = 30'

DATE:
SEPT. 29, 2020

SHEET NO:
1 OF 1

PROJECT CAD REFERENCE:

WESTCHESTER COUNTY/TOWN OF NORTH CASTLE/QUAKER MEETING HOUSE ROAD/LAZAR.DWG