



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 75 Round Hill Road, Armonk, NY 10504

Section III- DESCRIPTION OF WORK:

Relocation of the existing barn building to move it approximately 15 feet to the west. Construct a 551 square foot addition on the east side of the relocated barn, and a 523 square foot addition that would link the barn to the existing house. Modification of the driveway to create a parking court in front of the house. Construction of a garage building through the renovation of the existing stable building. A new potable water well, new septic system and stormwater management facilities would also be constructed.

Section III- CONTACT INFORMATION:

APPLICANT: Teo Siguenza Architects (agent for property owner)

ADDRESS: 460 Old Post Road, Bedford, NY 10506

PHONE: 914-234-6289 MOBILE: 914-519-7722 EMAIL: ts@teosiguenza.com

PROPERTY OWNER:

Alicia and Mark DeVincenzo

ADDRESS: _____

PHONE: _____ MOBILE: 646-533-2221 EMAIL: markdevincenzo@gmail.com

PROFESSIONAL: Alan L. Pilch, PE, RLA, ALP Engineering & Landscape Architecture, PLLC

ADDRESS: P.O. Box 843, Ridgefield, CT 06877

PHONE: (475) 215-5343 MOBILE: (203) 710-0587

EMAIL: alan@eaec-inc.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 102.03-1-46.2 / 1-9-4-2B



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

75 Round Hill Road

Zoning District: R-2A Property Acreage: 3.769 ac. Tax Map Parcel ID: 1-9-4-2B

Date: July 14, 2021

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- WETLAND BOUNDARY
- 100-FOOT WETLAND BUFFER
- DRAINAGE EASEMENT



ENGINEER & LANDSCAPE ARCHITECT:

ALP ENGINEERING & LANDSCAPE ARCHITECTURE, PLLC

P.O. Box 843 Ridgefield, CT 06877
Direct Tel. (475) 215-5343 Cell (203) 710-0587

Architect:
TEO SQUENZA ARCHITECTS
480 OLD POST ROAD
BEDFORD, NEW YORK 10506
Tel. 914.234.6289 Fax 914.234.0819

ISSUED:

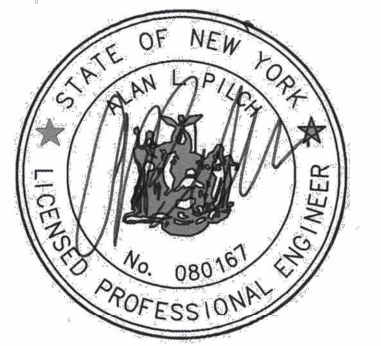
OWNERSHIP AND USE OF DOCUMENTS
UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

No part of these drawings shall be copied, disclosed to others or used in connection with any work or project other than for which they have been prepared without the express written consent of the licensed professional who prepared the document.

Civil engineer:

Alan L. Pich
ALP Engineering & Landscape Architecture, PLLC
P.O. Box 843, Ridgefield, CT 06877
102 Falls Road, Bethany, CT 06524
P.E. #80167
C. of A. #0016331
Tel. (475) 215-0343

SEAL:



PROJECT NAME:

DeVincenzo Property
75 Round Hill Road
Armonk, New York 10504

Date: July 19, 2021

Dwn. by: alp

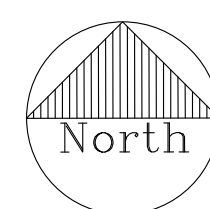
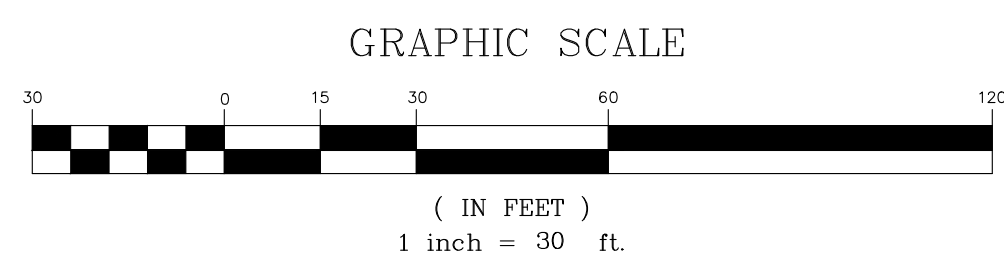
ID: 75 Round Hill Rd Site_C07-12-2021

Drawing Title:

EXISTING CONDITIONS PLAN

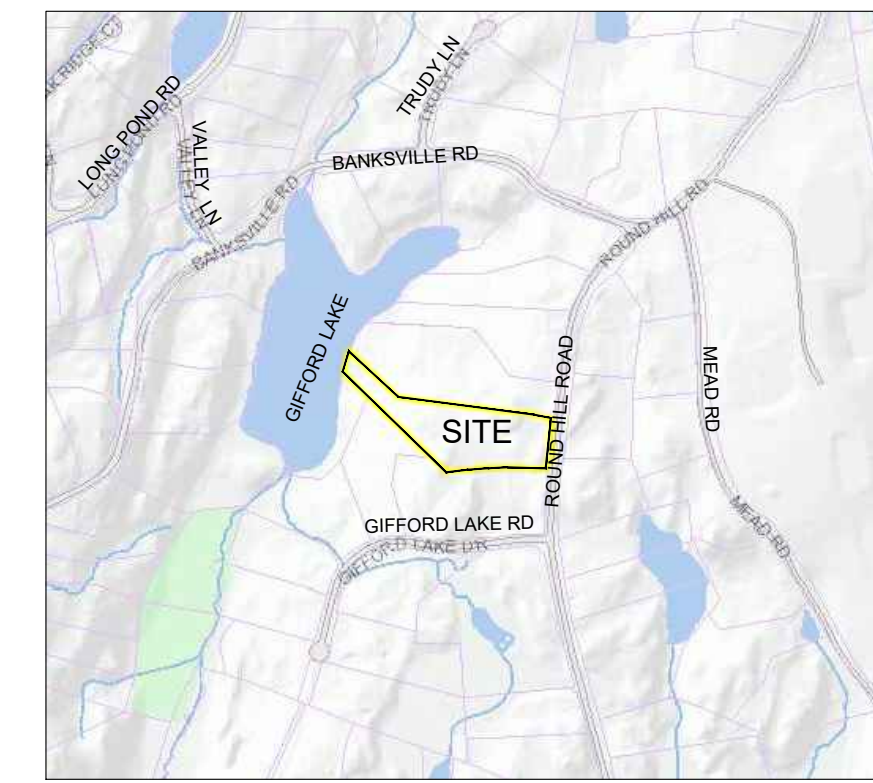
DRAWING NO.

C-100



LEGEND

- PROPERTY LINE
- WETLAND BOUNDARY
- 100-FOOT WETLAND BUFFER
- DRAINAGE EASEMENT
- SETBACK LINE
- EDGE OF PAVEMENT / CURB
- POOL FENCE LINE



SITE LOCATION MAP



AERIAL VIEW OF PROPERTY

ENGINEER & LANDSCAPE ARCHITECT:

ALP ENGINEERING & LANDSCAPE ARCHITECTURE, PLLC

P.O. Box 843 Ridgefield, CT 06877
Direct Tel. (475) 215-5343 Cell (203) 710-0587

Architect:
TEO SIGUENZA ARCHITECTS
480 OLD POST ROAD
BEDFORD, NEW YORK 10506
Tel. 914-234-6289 Fax 914-234-0619

ISSUED:

OWNERSHIP AND USE OF DOCUMENTS
UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

No part of these drawings shall be copied, disclosed to others or used in connection with any work or project other than for which they have been prepared without the express written consent of the licensed professional who prepared the document.

Civil engineer:

Alan L. Plich
ALP Engineering & Landscape Architecture, PLLC
P.O. Box 843, Ridgefield, CT 06877
102 Falls Road, Bethany, CT 06524
P.E. #80167
C. of A. #0016331
Tel. (475) 215-6343

SEAL:



PROJECT NAME:

DeVincenzo Property

75 Round Hill Road
Armonk, New York 10504

Date: July 19, 2021

Dwn. by: alp

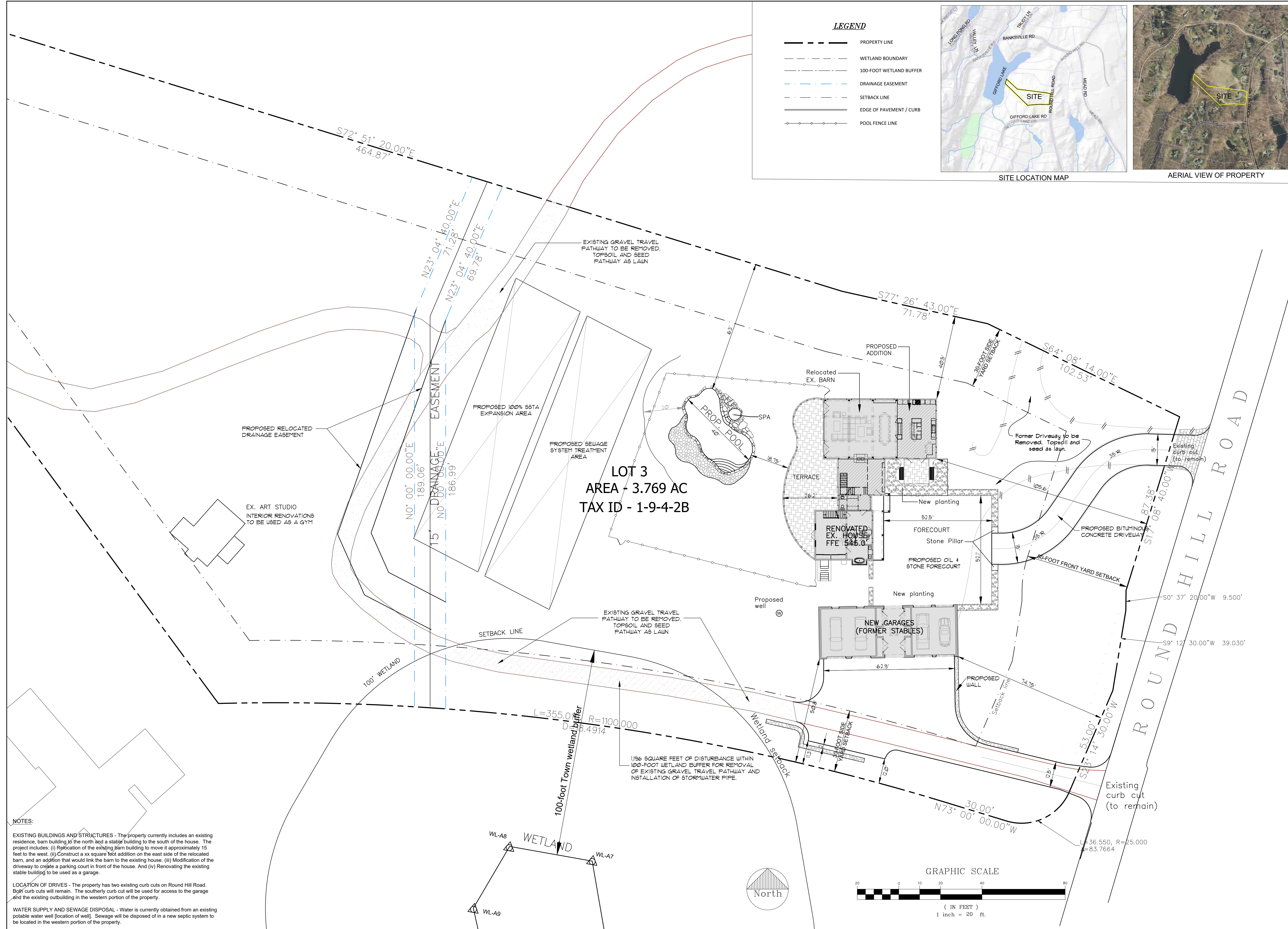
ID: 75 Round Hill Rd Site_C07-12-2021

Drawing Title:

Site Layout Plan

DRAWING NO.

C-101

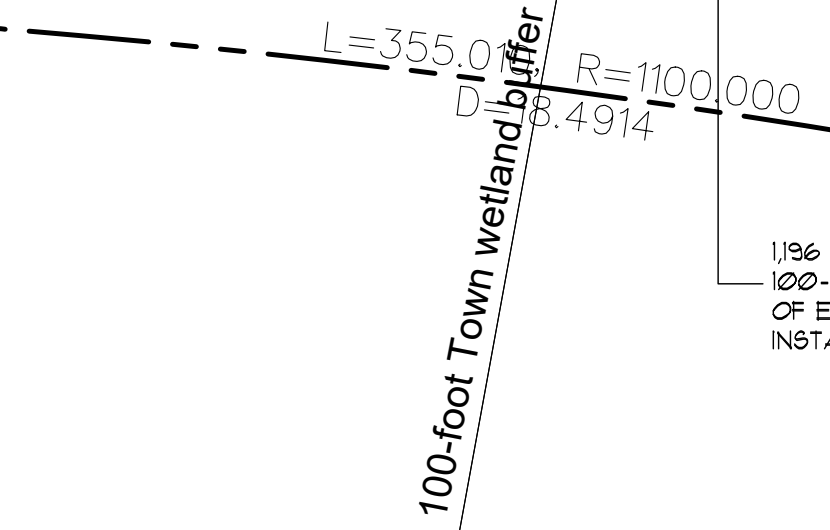
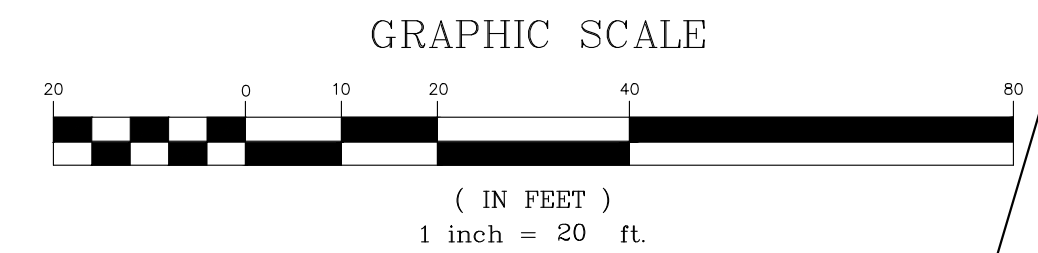
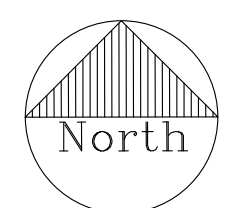


NOTES:

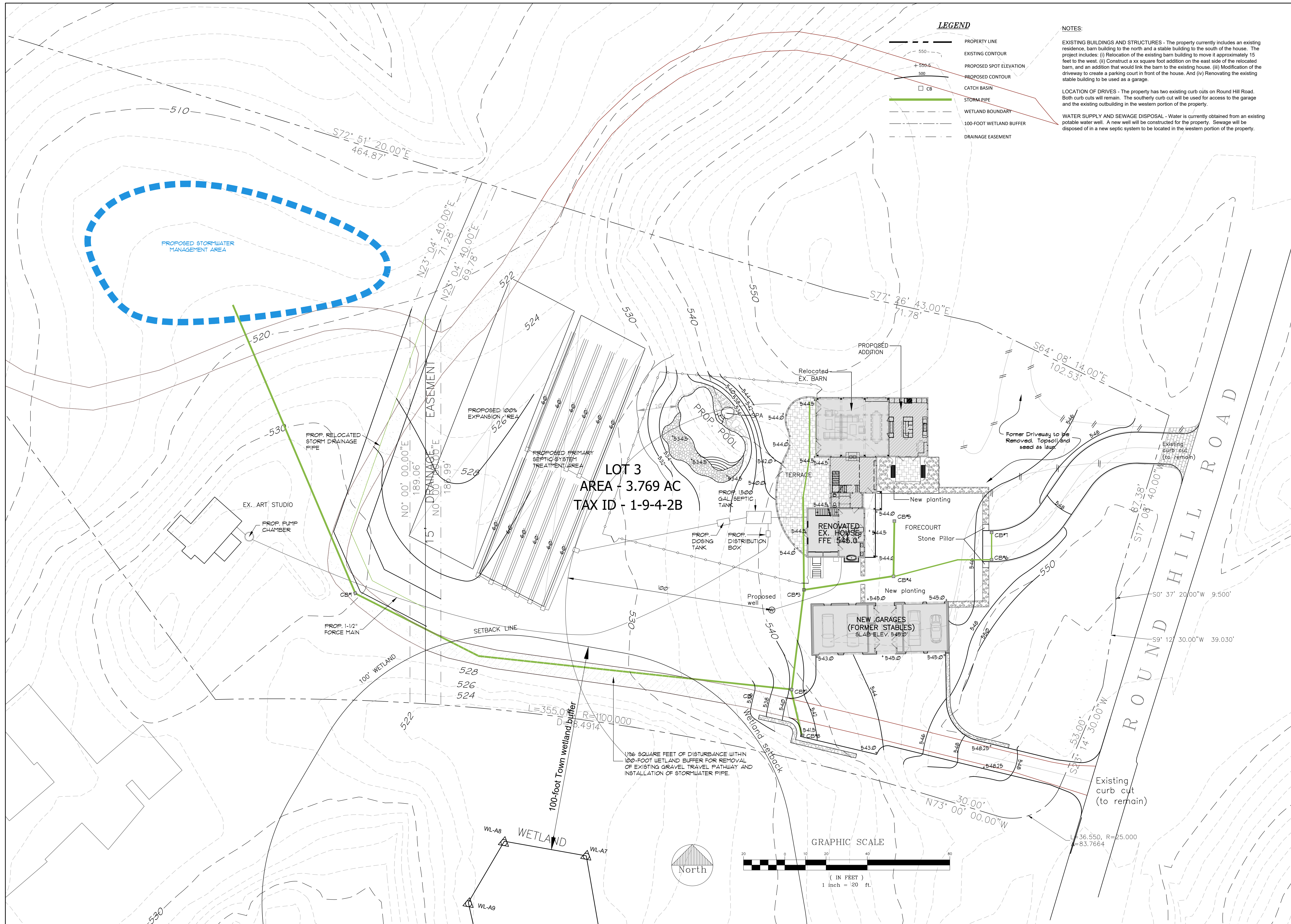
EXISTING BUILDINGS AND STRUCTURES - The property currently includes an existing residence, barn building to the north and a stable building to the south of the house. The project includes: (i) Relocation of the existing barn building to move it approximately 15 feet to the west. (ii) Construct a xx square foot addition on the east side of the relocated barn, and an addition that would link the barn to the existing house. (iii) Modification of the driveway to create a parking court in front of the house. And (iv) Renovating the existing stable building to be used as a garage.

LOCATION OF DRIVES - The property has two existing curb cuts on Round Hill Road. Both curb cuts will remain. The southerly curb cut will be used for access to the garage and the existing outbuilding in the western portion of the property.

WATER SUPPLY AND SEWAGE DISPOSAL - Water is currently obtained from an existing potable water well [location of well]. Sewage will be disposed of in a new septic system to be located in the western portion of the property.



1186 SQUARE FEET OF DISTURBANCE WITHIN 100-FOOT WETLAND BUFFER FOR REMOVAL OF EXISTING GRAVEL TRAVEL PATHWAY AND INSTALLATION OF STORMWATER PIPE.



LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOUR
- - - - - PROPOSED SPOT ELEVATION
- - - - - PROPOSED CONTOUR
- CB CATCH BASIN
- STORM PIPE
- - - - - WETLAND BOUNDARY
- - - - - 100-FOOT WETLAND BUFFER
- - - - - DRAINAGE EASEMENT

NOTES:

EXISTING BUILDINGS AND STRUCTURES - The property currently includes an existing residence, barn building to the north and a stable building to the south of the house. The project includes: (i) Relocation of the existing barn building to move it approximately 15 feet to the west. (ii) Construct a xx square foot addition on the east side of the relocated barn, and an addition that would link the barn to the existing house. (iii) Modification of the driveway to create a parking court in front of the house. And (iv) Renovating the existing stable building to be used as a garage.

LOCATION OF DRIVES - The property has two existing curb cuts on Round Hill Road. Both curb cuts will remain. The southerly curb cut will be used for access to the garage and the existing outbuilding in the western portion of the property.

WATER SUPPLY AND SEWAGE DISPOSAL - Water is currently obtained from an existing potable water well. A new well will be constructed for the property. Sewage will be disposed of in a new septic system to be located in the western portion of the property.

ENGINEER & LANDSCAPE ARCHITECT:

ALP ENGINEERING & LANDSCAPE ARCHITECTURE, PLLC

P.O. Box 843 Ridgefield, CT 06877
Direct Tel. (475) 215-5343 Cell (203) 710-0587

Architect:
TEO SQUENZA ARCHITECTS
460 OLD POST ROAD
BEDFORD, NEW YORK 10506
Tel. 914.234.6289 Fax 914.234.0619

ISSUED:

OWNERSHIP AND USE OF DOCUMENTS
UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

No part of these drawings shall be copied, disclosed to others or used in connection with any work or project other than for which they have been prepared without the express written consent of the licensed professional who prepared the document.

Civil engineer:

Alan L. Plich
ALP Engineering & Landscape Architecture, PLLC
P.O. Box 843, Ridgefield, CT 06877
102 Falls Road, Bethany, CT 06524
P.E. #80187
C. of A. #0016331
Tel. (475) 215-0343

SEAL:



PROJECT NAME:

DeVincenzo Property
75 Round Hill Road
Armonk, New York 10504

Date: July 19, 2021

Dwn. by: alp

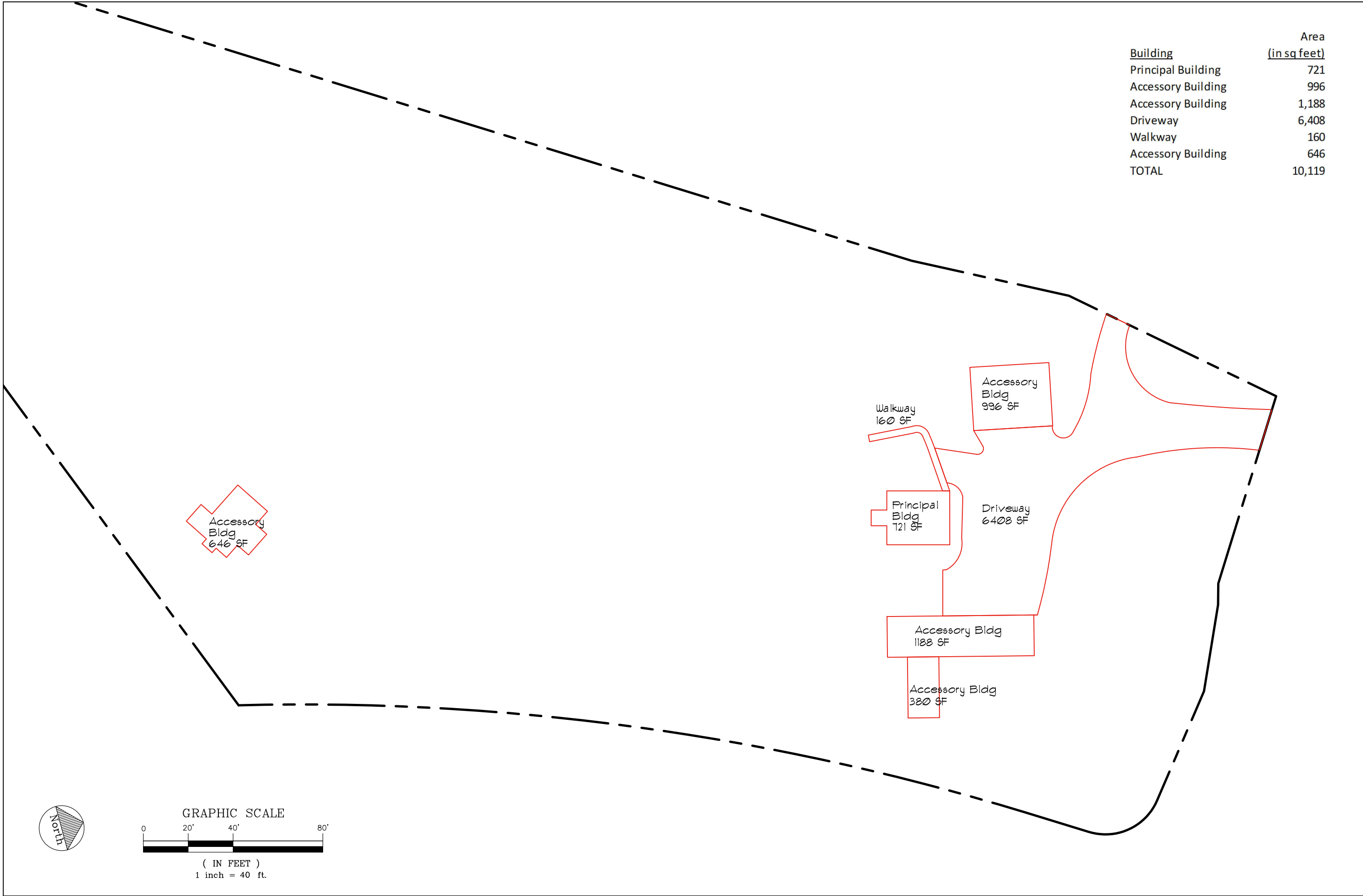
ID: 75 Round Hill Rd Site_C07-12-2021

Drawing Title:

Grading and Utilities Plan

DRAWING NO.

C-102



Building	Area (in sq feet)
Principal Building	721
Accessory Building	996
Accessory Building	1,188
Driveway	6,408
Walkway	160
Accessory Building	646
TOTAL	10,119

Accessory Bldg
646 SF

Walkway
160 SF

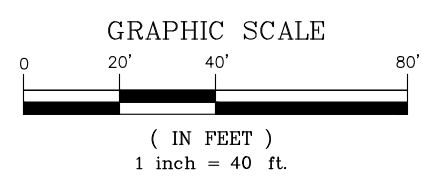
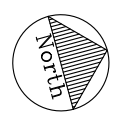
Accessory Bldg
996 SF

Principal Bldg
721 SF

Driveway
6408 SF

Accessory Bldg
1188 SF

Accessory Bldg
380 SF



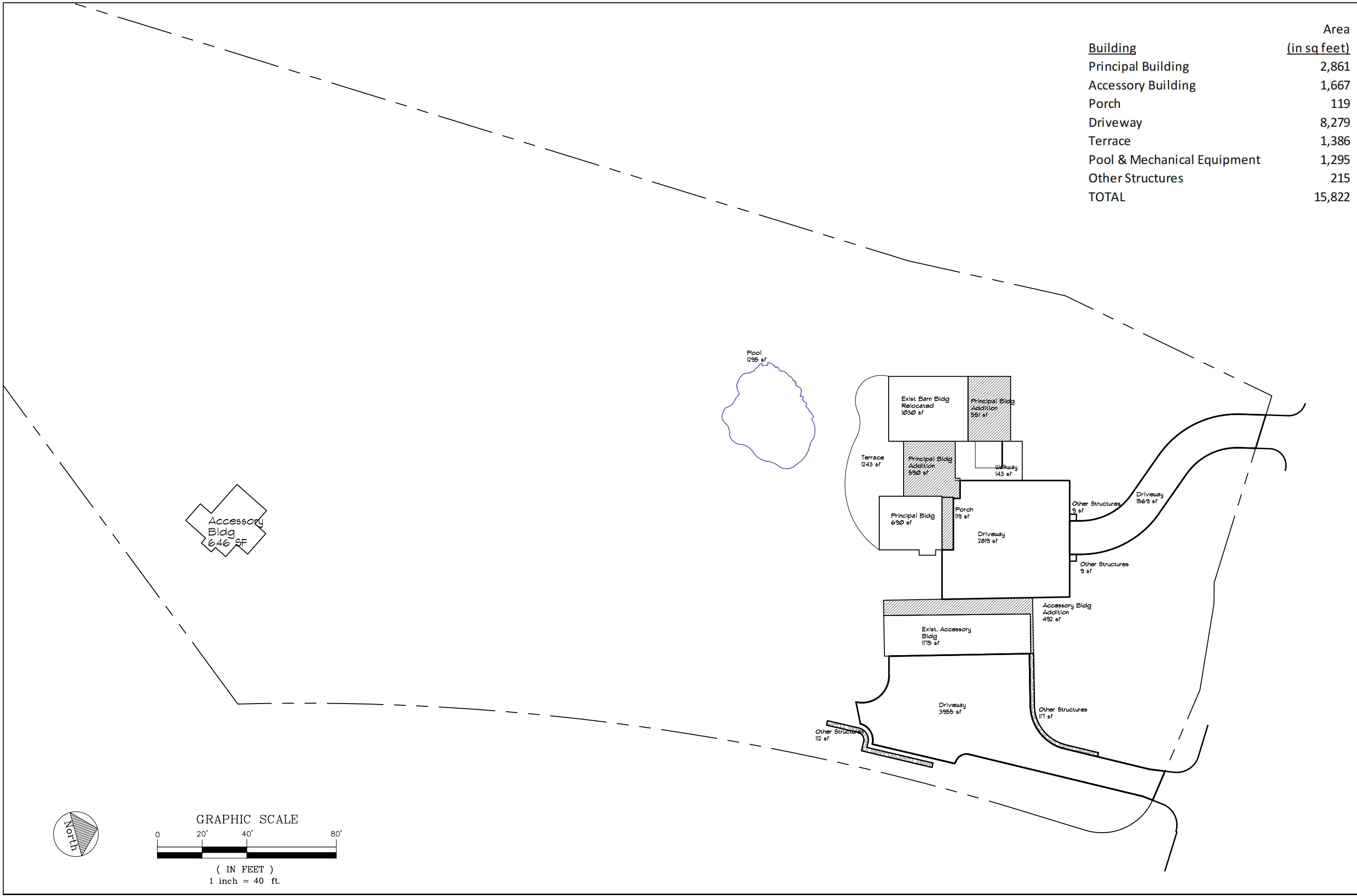
ENGINEER:
**ALP ENGINEERING
AND LANDSCAPE ARCHITECTURE, PLLC**
P.O. Box 843
Ridgefield, Connecticut 06877
Tel. (475) 215-5343 Cell (203) 710-0587

PROJECT NAME:
DeVincenzo Residence
75 Round Hill Road
Armonk, New York

DRAWING TITLE:
**Existing Condition
Gross Land Coverage**

Date: July 12, 2021
Dwn. by: alp
ID:
75 Round Hill Rd
Site_C07-12-2021

Fig 1



Building	Area (in sq feet)
Principal Building	2,861
Accessory Building	1,667
Porch	119
Driveway	8,279
Terrace	1,386
Pool & Mechanical Equipment	1,295
Other Structures	215
TOTAL	15,822

ENGINEER:
ALP ENGINEERING
 AND LANDSCAPE ARCHITECTURE, PLLC
 P.O. Box 843
 Ridgfield, Connecticut 06877
 Tel. (475) 215-5343 Cell (203) 710-0587

PROJECT NAME:
DeVincenzo Residence
 75 Round Hill Road
 Armonk, New York

DRAWING TITLE:
**Future Condition
 Gross Land Coverage**

Date: July 12, 2021
 Dwn. by: alp
 ID:
 75 Round Hill Rd
 Site_C07-12-2021

Fig 2

RESIDENCE AT ROUND HILL ROAD

SINGLE FAMILY RESIDENCE & DETACHED GARAGE

75 ROUND HILL ROAD, ARMONK, NY

GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
 2. ALL DIMENSIONS TO BE CHECKED
 3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT

DRAWING LIST:

- T101.00 TITLE SHEET & LIST OF DRAWINGS
- A100.00 PROPOSED BASEMENT PLAN
- A101.00 PROPOSED FIRST FLOOR PLAN
- A101.10 MAIN HOUSE & ACCESSORY STRUCTURE FAR CALCULATION
- A102.00 PROPOSED SECOND FLOOR PLAN
- A103.00 PROPOSED ROOF PLAN
- A200.00 PROPOSED EXTERIOR ELEVATIONS
- A201.00 PROPOSED EXTERIOR ELEVATIONS

NOTE:

- The building is designed with the 2020 NYS Residential code, Appendix J & 2020 NYS energy code.
- Fire stop will be installed in all horizontal areas where there are chases or furred out walls & include all framed boys every 10' per code.
- Entire home will have hard wired and interconnected smoke and carbon monoxide alarms installed per code for new areas and other areas that have no work being done can follow the property maintenance and fire code regulations.
- For areas where new spray foam insulation is to be used and is uncovered such as in attic areas, the required fire rating such as intumescent paint cover will be applied per code.
- All required bathroom exhaust fans and clothes dryer exhausts will be installed directly to exterior.
- Shower or tub glass enclosures will have tempered safety glass per code. Any interior or exterior doors with glazing and any windows 18" or less to the ground shall have Tempered safety glass per code.
- The New stove will have minimum clearance from combustible material per manufacturer specs and must be listed and labeled for household use. New range hood system capable of exhausting in excess of 400 cubic feet per minute then show that make up air shall be provided either naturally or mechanically per M1503.
- All stairs should compliance per section R311.7 of the residential code.
- Porch railing & guard rail should compliance per section R312.1 of the residential code.
- New HVAC equipment is being installed in unfinished space, then need to do leakage test shall be performed per code.
- New HVAC equipment is being installed per applicable code regulation and per required setbacks. All ductwork insulated per code & the air handler will have a pan underneath with float shut off switch along with a condensation drain connected directly to the exterior.
- The designated placard (Type V for floor and roof) will need to be installed on exterior wall in area approved by inspector & placed prior to CO application.
- Lighting equipmen: Not less than 90% of the permanently installed lighting fixtures shall contain only high efficacy lamps.

WINDOW & DOOR SPEC

WINDOW & DOOR SPECS:
 ELEVATE BY MARVIN or SIGNATURE SERIES BY WEATHERSHIED
 EXTERIOR: FIBERGLASS OR ALUMINUM CLAD
 INTERIOR: WOOD
 SUNDEFENSE LOW-E ARGON GLAZING
 BONDED GRILLS WITH SPACER BARS
 Glass: Insulated Tempered Low-E SunDefense
 Low-E Insulating Glass Argon
 Performance Information:
 FOR WINDOW U-Factor 0.29, SHGC 0.18
 FOR DOOR U-Factor 0.29, SHGC 0.18

THE ENERGY CONSERVATION IN ACCORDANCE WITH THE 2020 INTERNATIONAL ENERGY CONSERVATION CODE (TABLE R402.1.2)										
Minimum										
Climate Zone	Glazing U-Factor	Skylight U-Factor	Glazing SHGC-Factor	Ceiling R-Value	Wood frame wall R-Value	Mass wall R-Value	Floor R-Value	Basement Wall R-Value	Slab Perimeter R-Value and Depth	Crawl Space Wall R-Value and Depth
4	0.27	0.50	0.40	R-49	R-20+5 or 13+10	15/20	R-30	R-15/19	R-10, 4 ft.	R-15/19

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA IN ACCORDANCE WITH THE 2020 NYS RESIDENTIAL CODE TABLE 301.2(1) FOR ZONE 4 (WESTCHESTER COUNTY)													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITES					
30	115 MPH	NO	YES	NO	C	SEVERE	42"	MODERATE TO HEAVY	15 DAY	YES	4/24/84 REV 11/1/07	1500	48.5°

INSULATION TYPE & VALUE

	MIN. R-VALUE	INSULATION TYPE
ROOF	R-49	CLOSED CELL SPRAY FOAM
EXTERIOR WALLS	R-25	CLOSED CELL SPRAY FOAM
FLOORS	R-19	CLOSED CELL SPRAY FOAM
RIM JOIST	R-25	CLOSED CELL SPRAY FOAM

ALL duct work, in unconditioned spaces must be properly sealed with duct mastic and insulated (insulated with R-8 for attics and R-6 for basements req'd by 2018 IECC). Provide duct work and flex runs LEAK FREE!
 Do not "pan" floor joists or wall cavities to create return ducts

NOTES:

Any ducted air distribution systems should be designed via ACCA Manual 'D'.

Calculate the heating and cooling loads using ACCA Manual 'J' only. Manual 'J' loads need to be submitted for review PRIOR to installing any ducts or equipment. Based on a Manual J load, the equipment must be selected using Manual S to prevent oversizing. AHRI certificates must be submitted for all HVAC equipment before any equipment is purchased or installed.

Provide Mechanical Whole House ventilation. Outside air must be provided, by using a Heat Recovery Ventilator (HRV). The flow rate must be calculated based on ASHRAE Standard 62.2 2013.

Provide spot ventilation for all bathrooms. Fans are to be Energy Star qualified.

Recessed lights need to be IC rated and Air Tight in insulated cavities
 Provide at least 90% energy saving lamps (defined as high-efficacy)

AIR BARRIER & INSULATION INSTALLATION

COMPONENT AND CRITERIA

Air barrier and thermal barrier:
 A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed. Air-permeable insulation shall not be used as a sealing material.

Ceiling:
 The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed.

Walls:
 Corners and headers shall be insulated and the junction of the foundation and sill plate shall be sealed. The junction of the top plate and top of exterior walls shall be sealed. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier. Knee walls shall be sealed.

Windows and doors:
 The space between window/door jambs shall be sealed.

Rim joists:
 Rim joists shall be insulated and include the air barrier.

Narrow cavities:
 Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.

Recessed lighting:
 Recessed light fixtures installed in the building thermal envelope shall be air tight, IC rated, and sealed to the drywall.

Plumbing and wiring:
 Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.

Shower/tub on exterior wall:
 Exterior walls adjacent to showers and tubs shall be insulated and the air barrier installed separating them from the showers and tubs.

Electrical/phone box on exterior walls
 The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.

HVAC register boots:
 HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.

DATE:	REVISION

PROJECT
SINGLE FAMILY RESIDENCE
 ADDITION & ALTERATIONS

75 ROUND HILL ROAD
 ARMONK, NY

DRAWING TITLE
TITLE SHEET & LIST OF DRAWINGS

SEAL



DATE
7-28-21

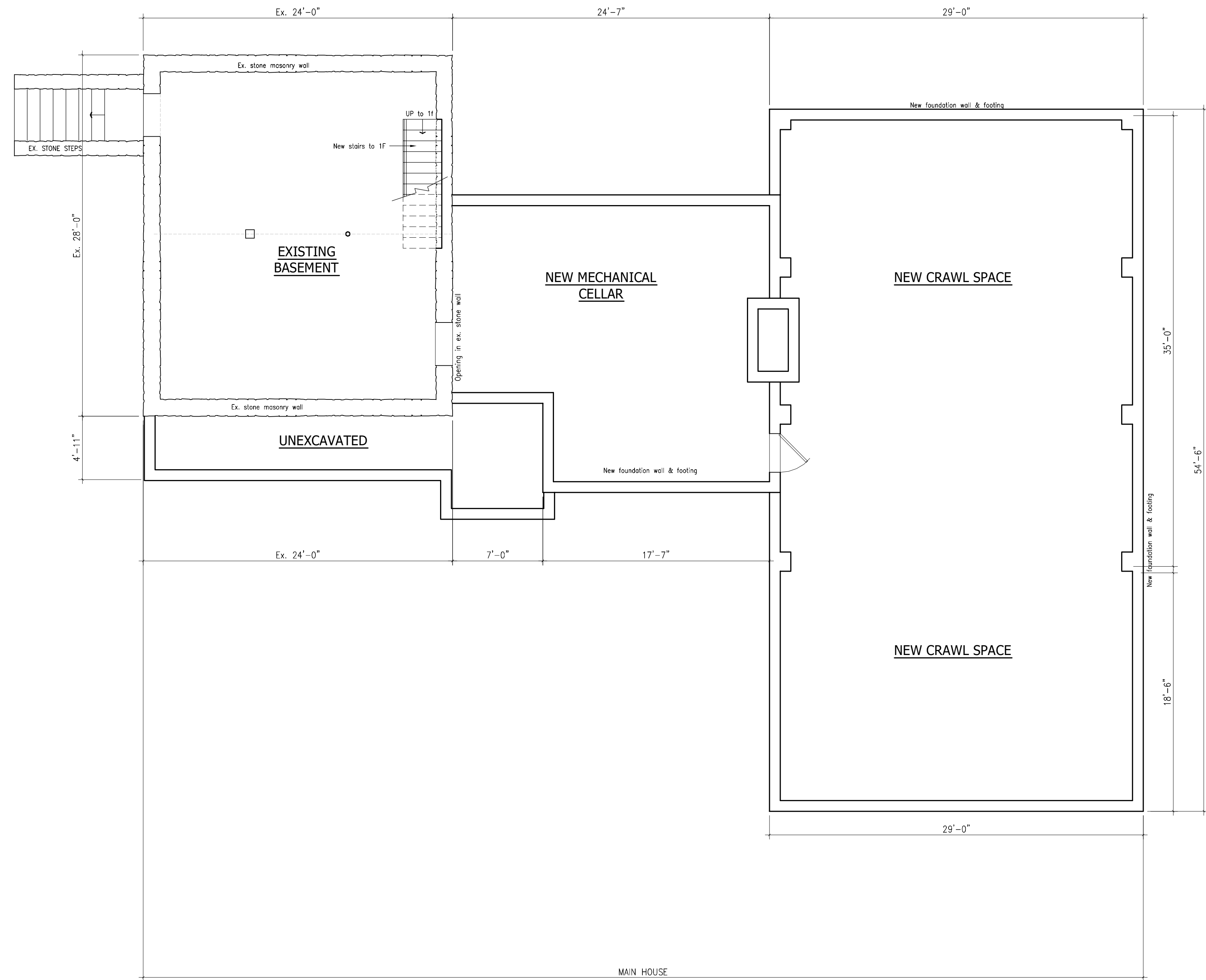
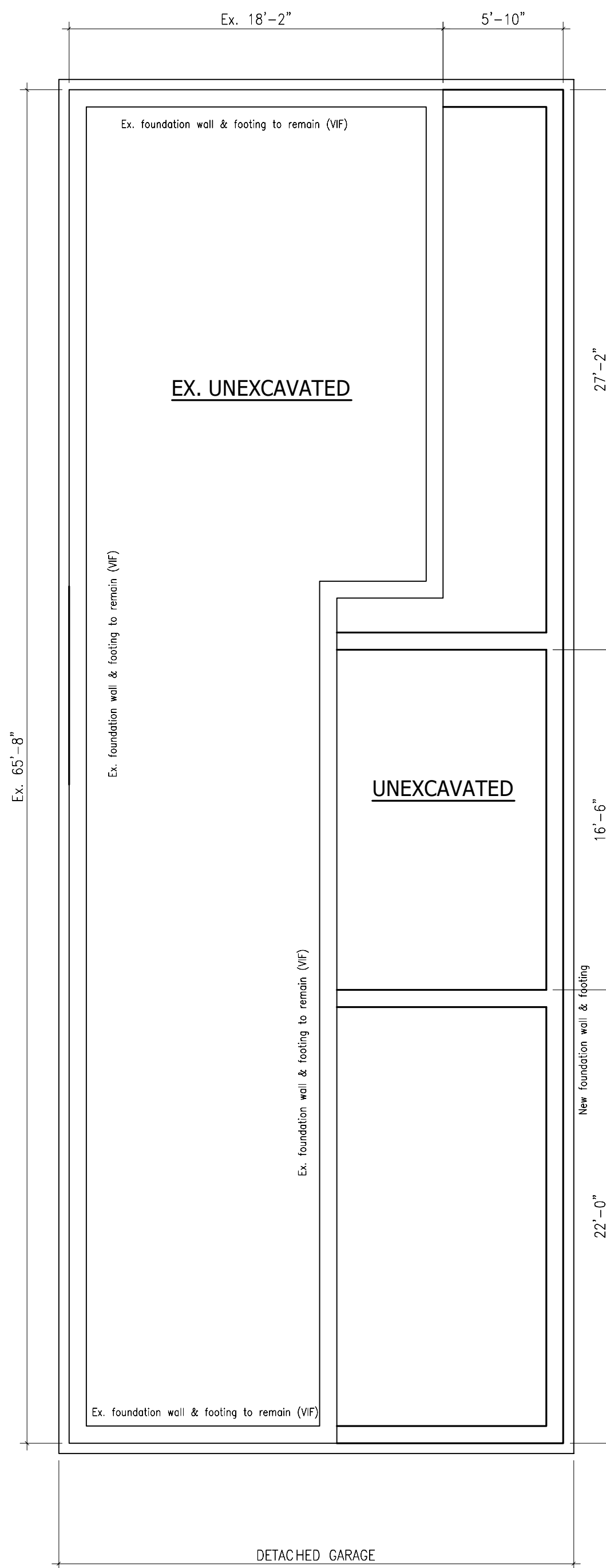
SCALE
3/16" = 1'-0"

DRAWING NO.

T101.00

PAGE NO.

GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
 2. ALL DIMENSIONS TO BE CHECKED
 3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT



DATE	REVISION

PROJECT
SINGLE FAMILY RESIDENCE
 ADDITION & ALTERATIONS
 75 ROUND HILL ROAD
 ARMONK, NY

DRAWING TITLE
PROPOSE BASEMENT PLAN



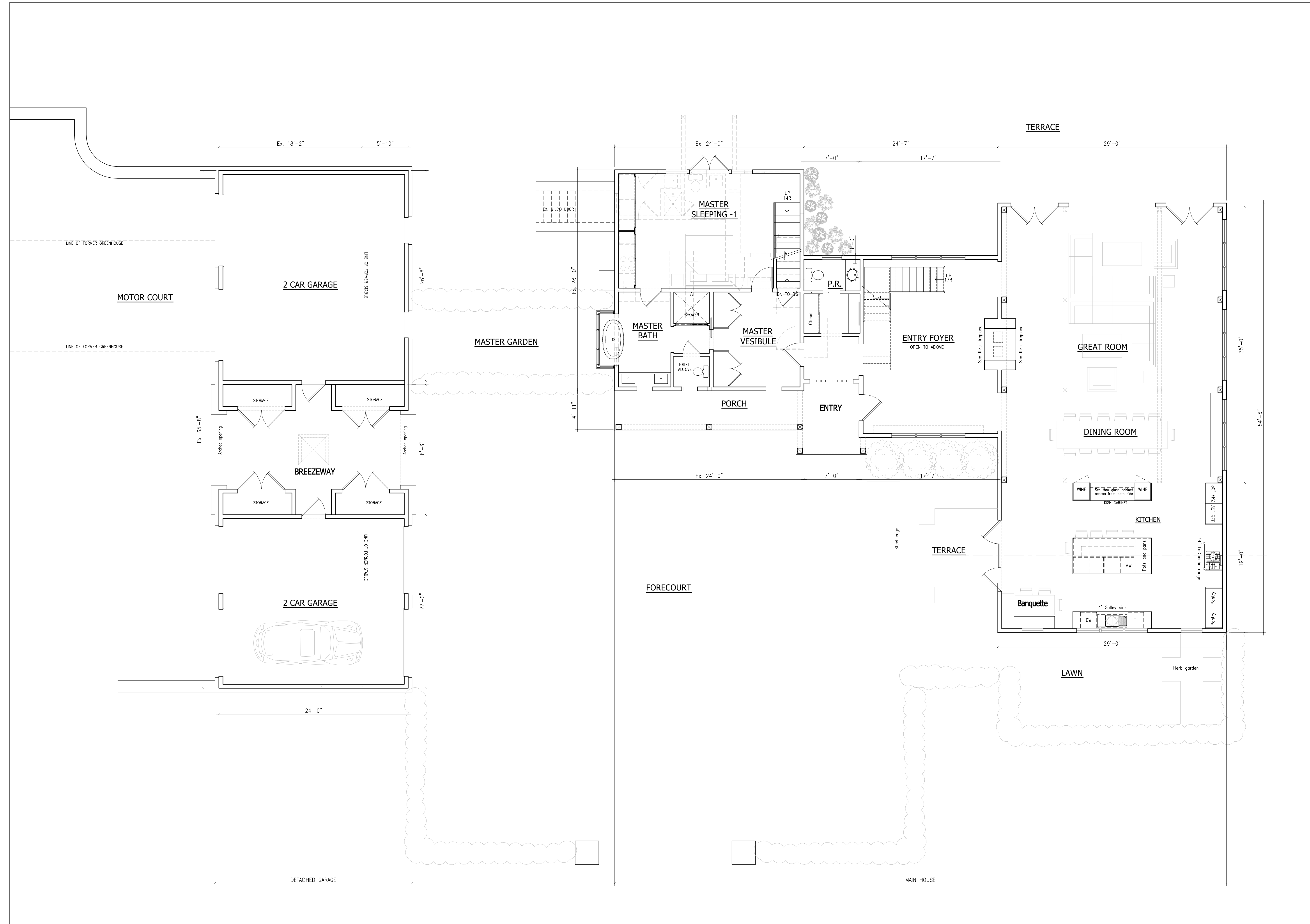
DATE
7-28-21

SCALE
3/16" = 1'-0"

DRAWING NO.
A100.00

PAGE NO.

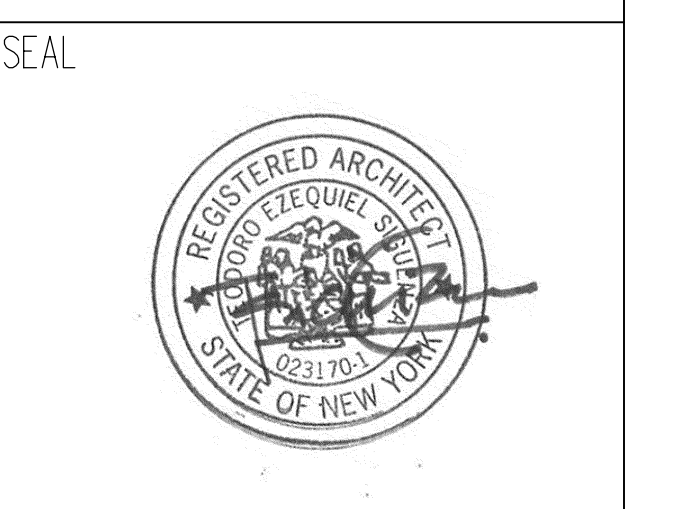
GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
 2. ALL DIMENSIONS TO BE CHECKED
 3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT



DATE:	REVISION

PROJECT
SINGLE FAMILY RESIDENCE
 ADDITION & ALTERATIONS
 75 ROUND HILL ROAD
 ARMONK, NY

DRAWING TITLE
PROPOSE FIRST FLOOR PLAN



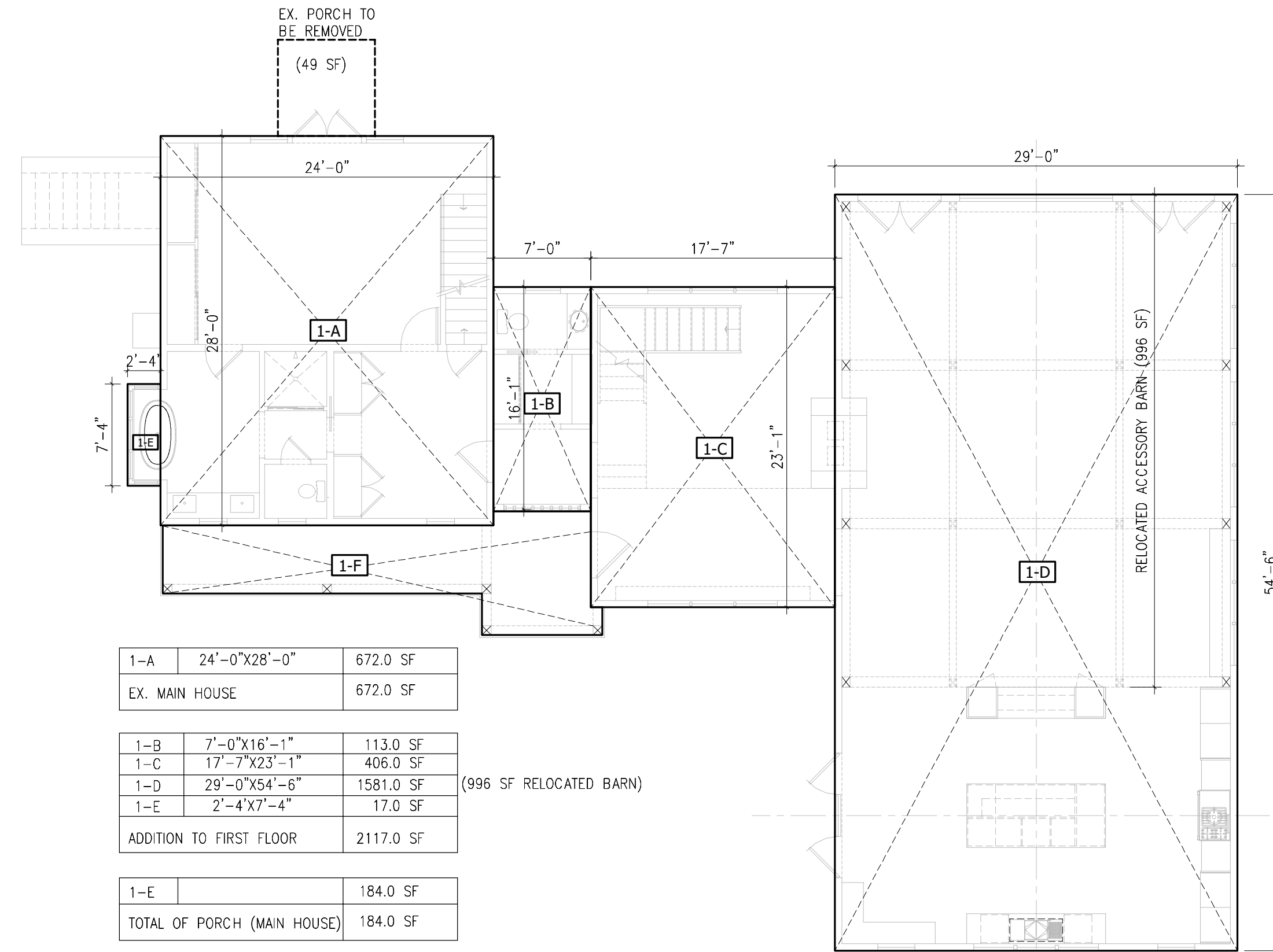
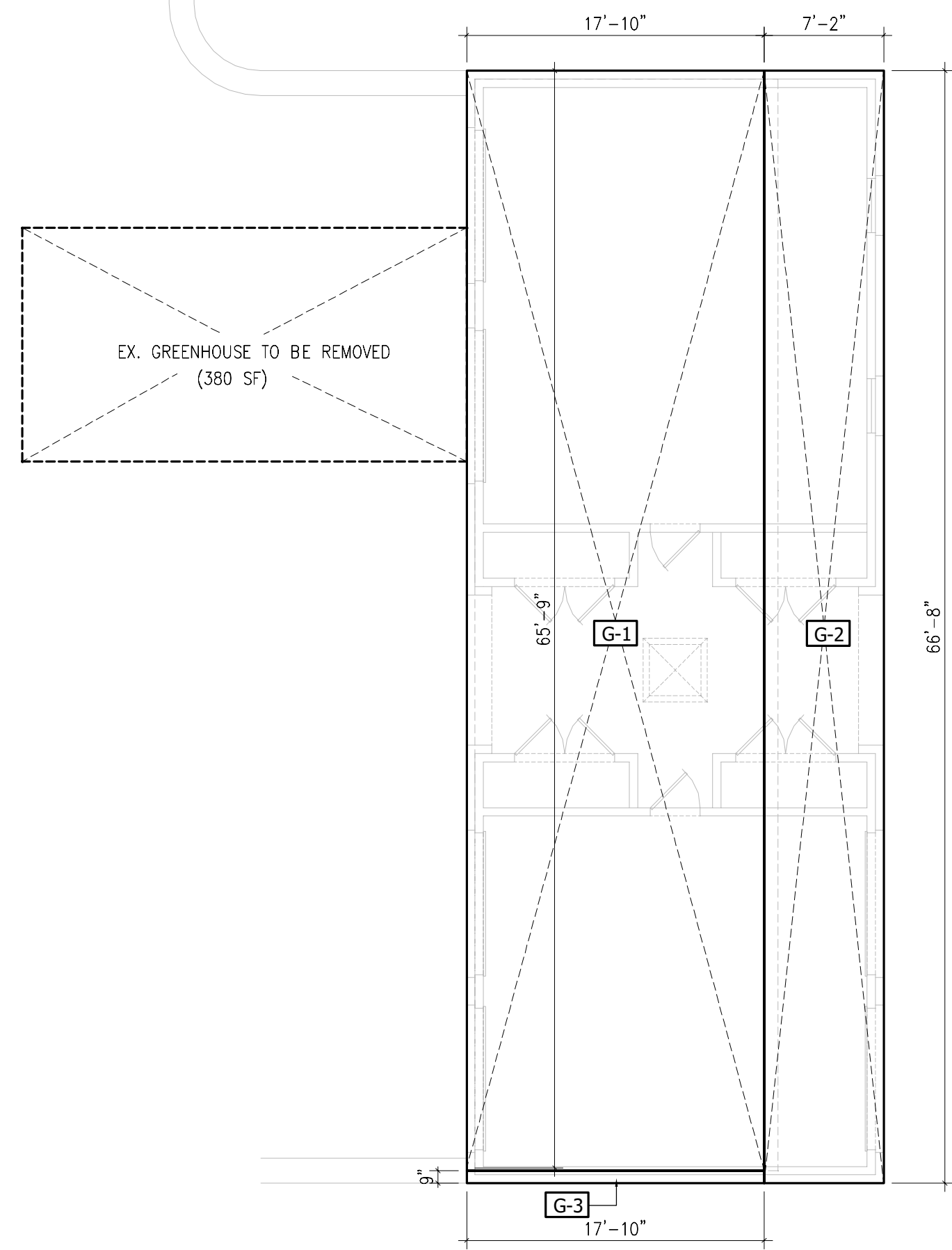
DATE
7-28-21

SCALE
3/16" = 1'-0"

DRAWING NO.
A101.00

PAGE NO.

GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
 2. ALL DIMENSIONS TO BE CHECKED
 3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT



1-A	24'-0" X 28'-0"	672.0 SF
EX. MAIN HOUSE		672.0 SF

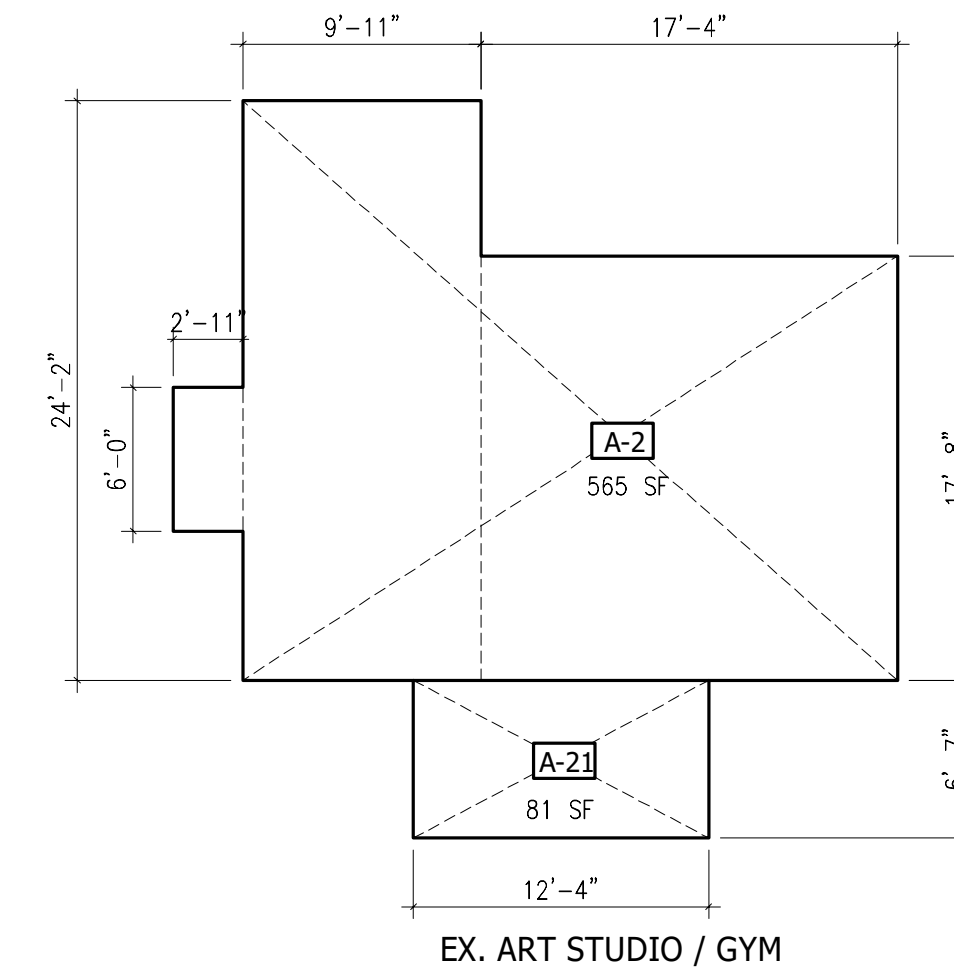
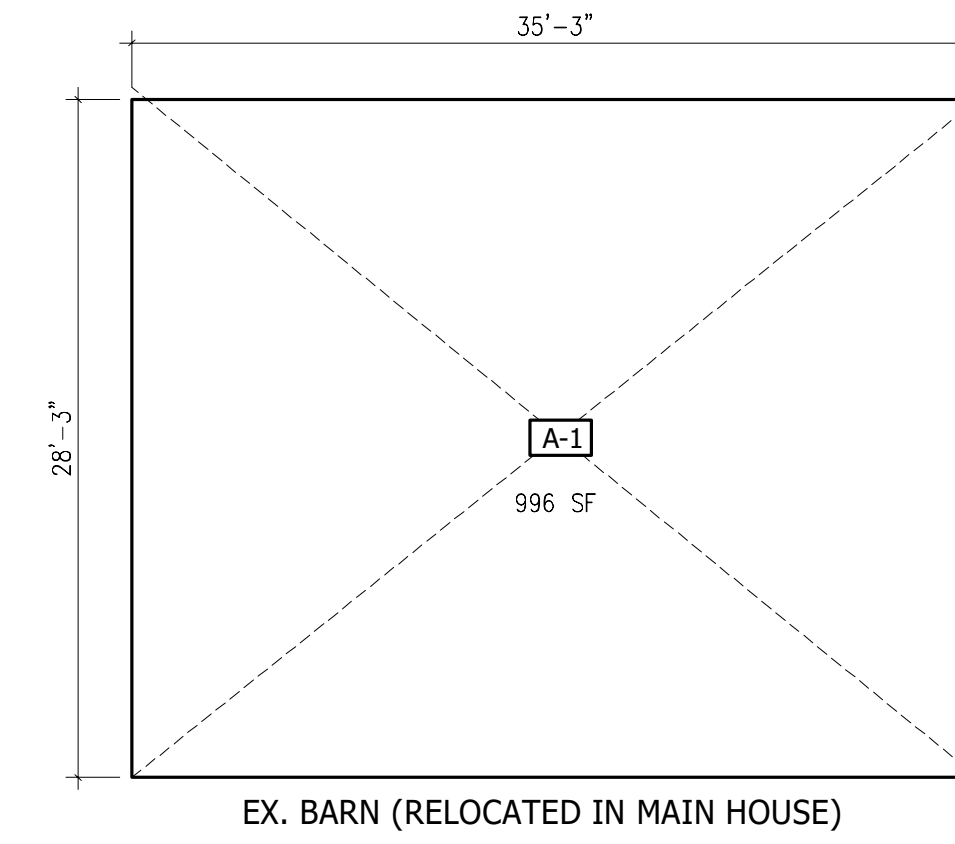
1-B	7'-0" X 16'-1"	113.0 SF
1-C	17'-7" X 23'-1"	406.0 SF
1-D	29'-0" X 54'-6"	1581.0 SF
1-E	2'-4" X 7'-4"	17.0 SF
ADDITION TO FIRST FLOOR		2117.0 SF

(996 SF RELOCATED BARN)

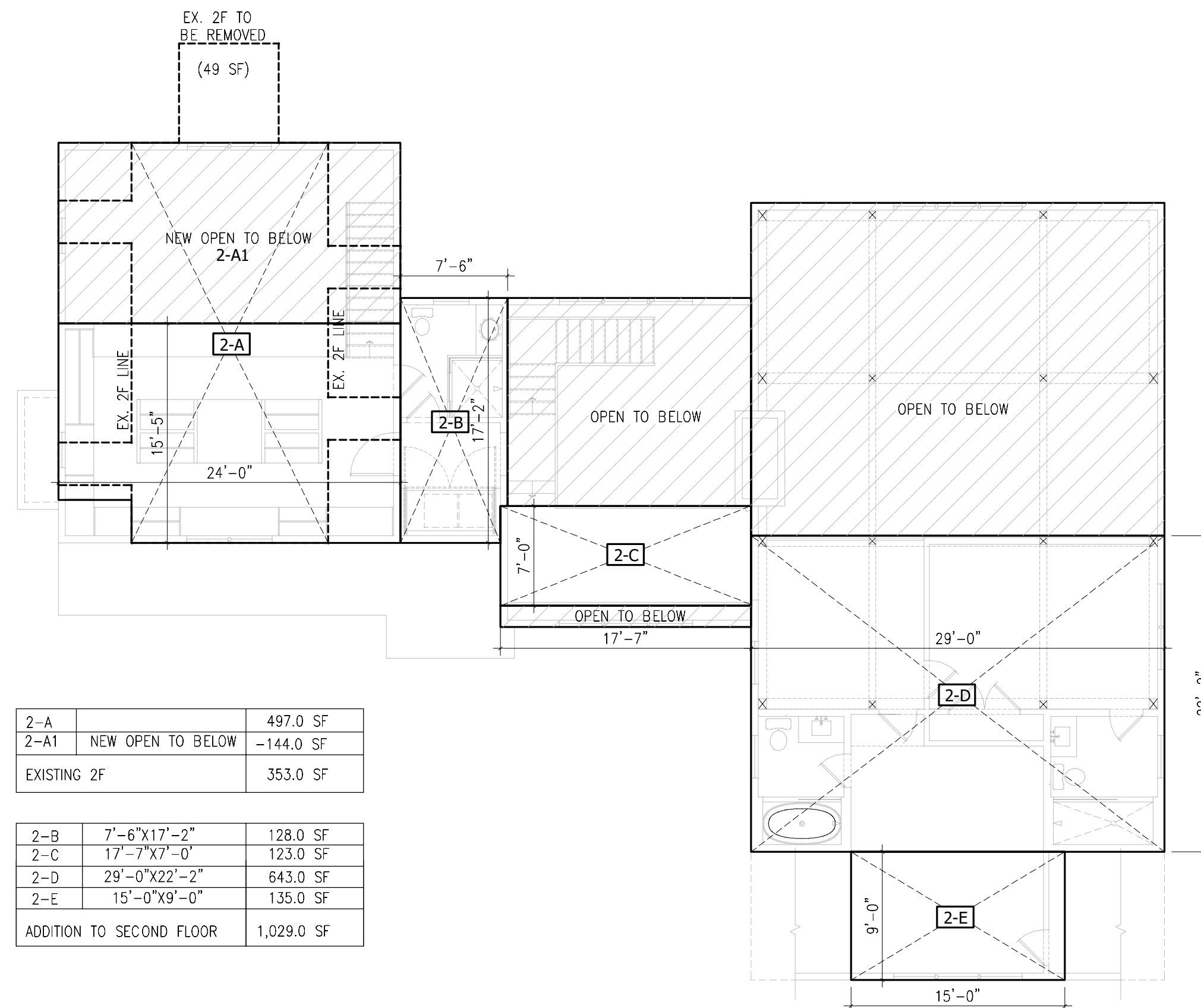
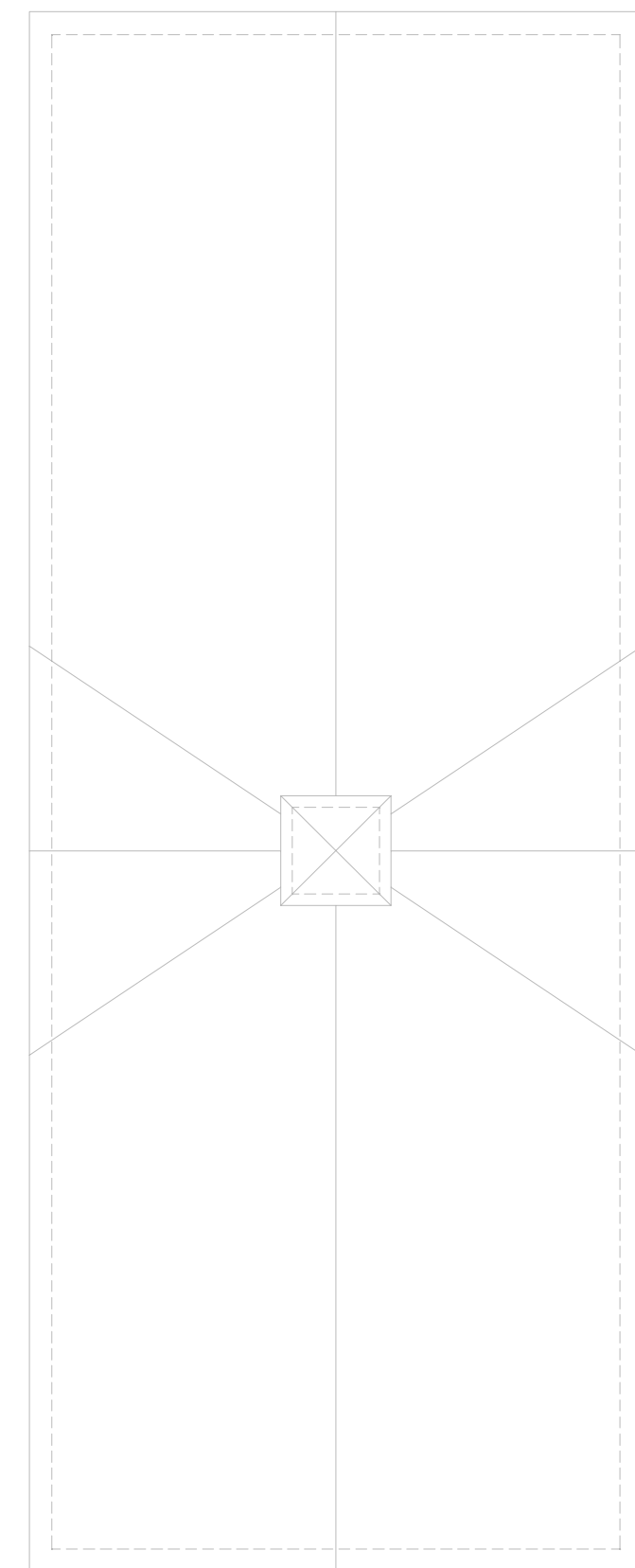
1-E		184.0 SF
TOTAL OF PORCH (MAIN HOUSE)		184.0 SF

G-1	17'-10" X 65'-9"	1175.0 SF
EX. ACCESSORY BUILDING 1 (STABLES)		1175.0 SF

G-2	7'-2" X 66'-8"	478.0 SF
G-3	17'-10" X 0'-9"	14.0 SF
ADDITION TO ACCESSORY BUILDING 1		492.0 SF



A-2	EX. ART STUDIO / GYM	565.0 SF
A-21	EX. PORCH	81.0 SF
EXISTING TOTAL		646.0 SF



2-A		497.0 SF
2-A1	NEW OPEN TO BELOW	-144.0 SF
EXISTING 2F		353.0 SF

2-B	7'-6" X 17'-2"	128.0 SF
2-C	17'-7" X 7'-0"	123.0 SF
2-D	29'-0" X 22'-2"	643.0 SF
2-E	15'-0" X 9'-0"	135.0 SF
ADDITION TO SECOND FLOOR		1,029.0 SF

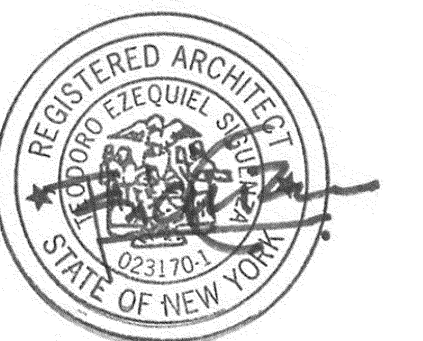
TOTAL FLOOR AREA CALCULATION

MAIN HOUSE 1F	672.0 SF
PROPOSED ADDITION 1F	2,117.0 SF
MAIN HOUSE 2F	353.0 SF
PROPOSED ADDITION 2F	1,029.0 SF
PORCHES	184.0 SF
ACCESSORY BUILDING 1 (STABLES)	1,175.0 SF
ADDITION TO ACCESSORY BUILDING 1	492.0 SF
ACCESSORY BUILDING 2 (BARN) (RELOCATED IN MAIN HOUSE)	(996-996) 0
ACCESSORY BUILDING 3 (ART STUDIO)	646.0 SF
TOTAL	6,668.0 SF

DATE:	REVISION

PROJECT
SINGLE FAMILY RESIDENCE
 ADDITION & ALTERATIONS
 75 ROUND HILL ROAD
 ARMONK, NY
 DRAWING TITLE
MAIN HOUSE & ACCESSORY STRUCTURE
FLOOR AREA CALCULATION

SEAL



DATE
7-28-21

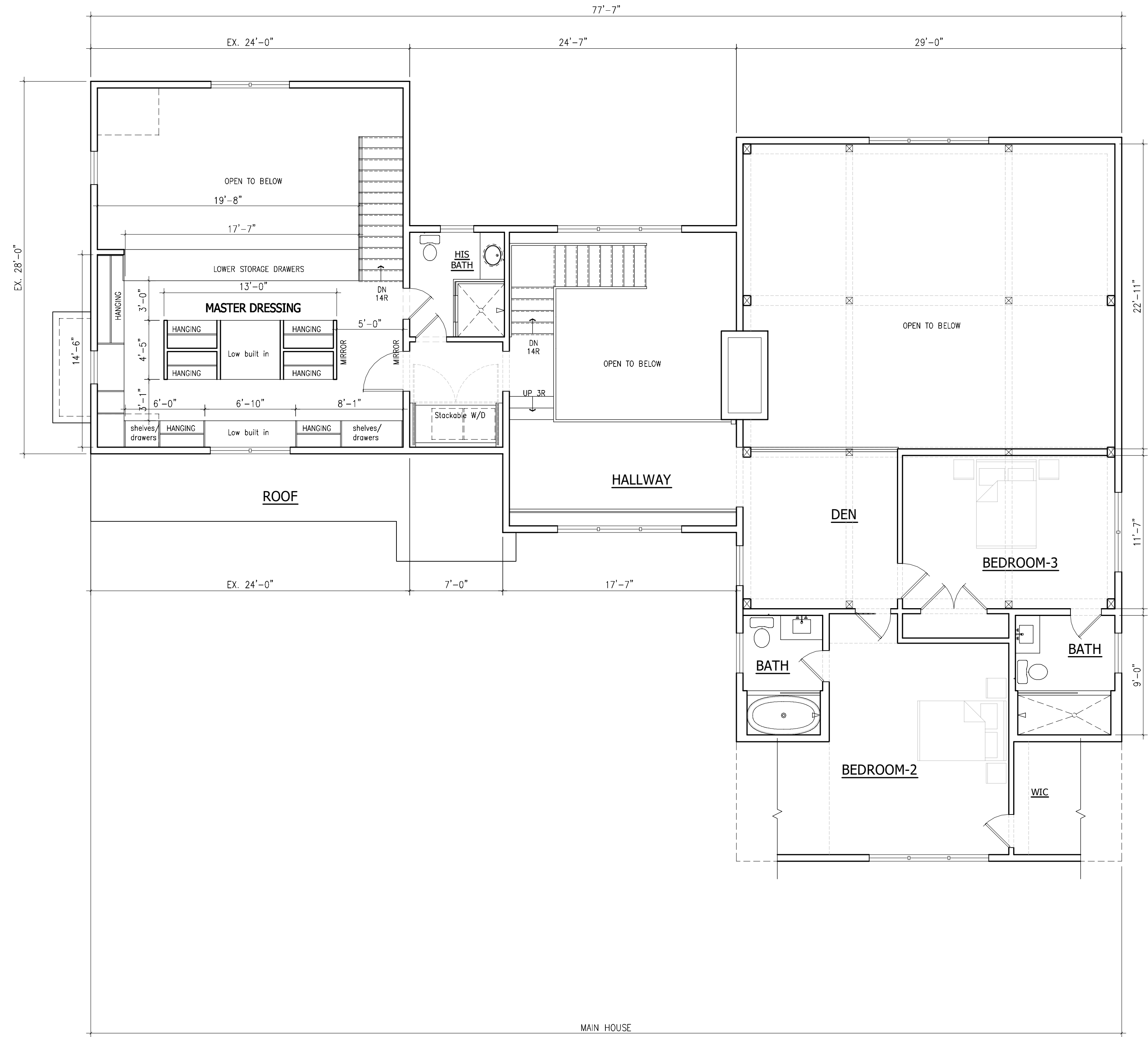
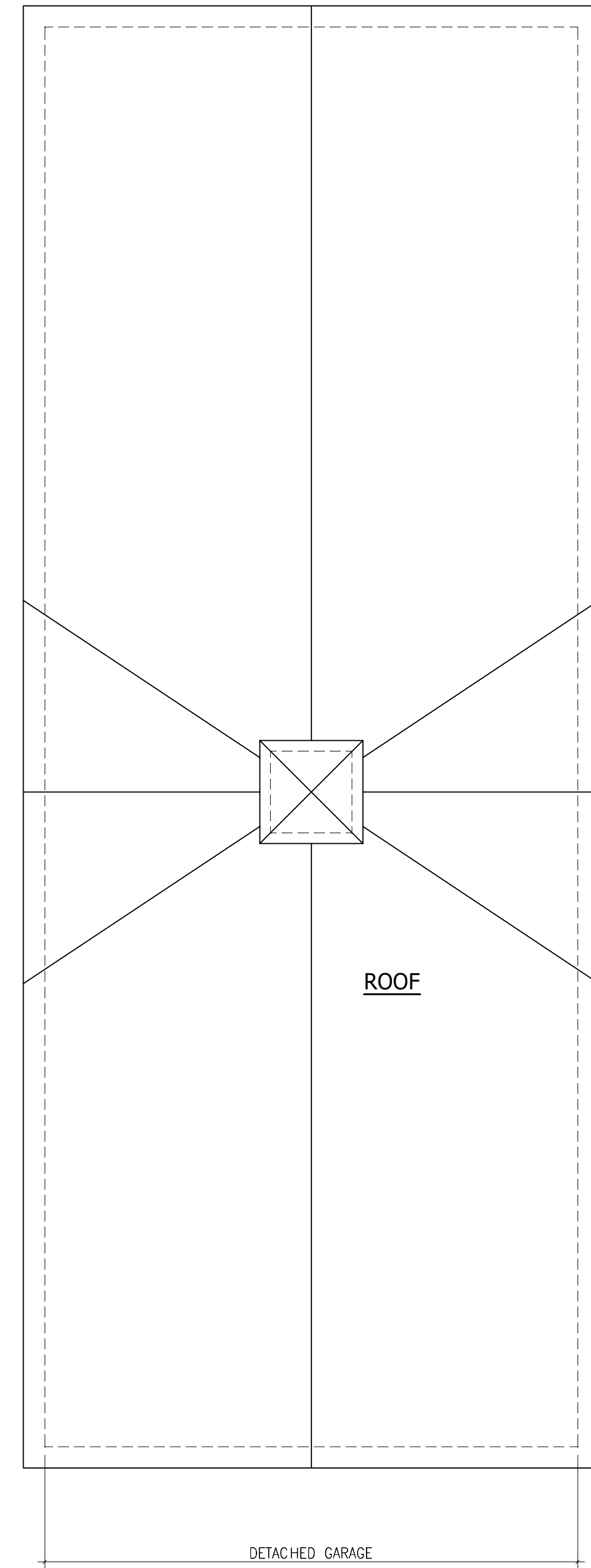
SCALE
3/16" = 1'-0"

DRAWING NO.

A101.10

PAGE NO.

GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
 2. ALL DIMENSIONS TO BE CHECKED
 3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT



DATE	REVISION

PROJECT
SINGLE FAMILY RESIDENCE
 ADDITION & ALTERATIONS
 75 ROUND HILL ROAD
 ARMONK, NY

DRAWING TITLE
PROPOSE SECOND FLOOR PLAN



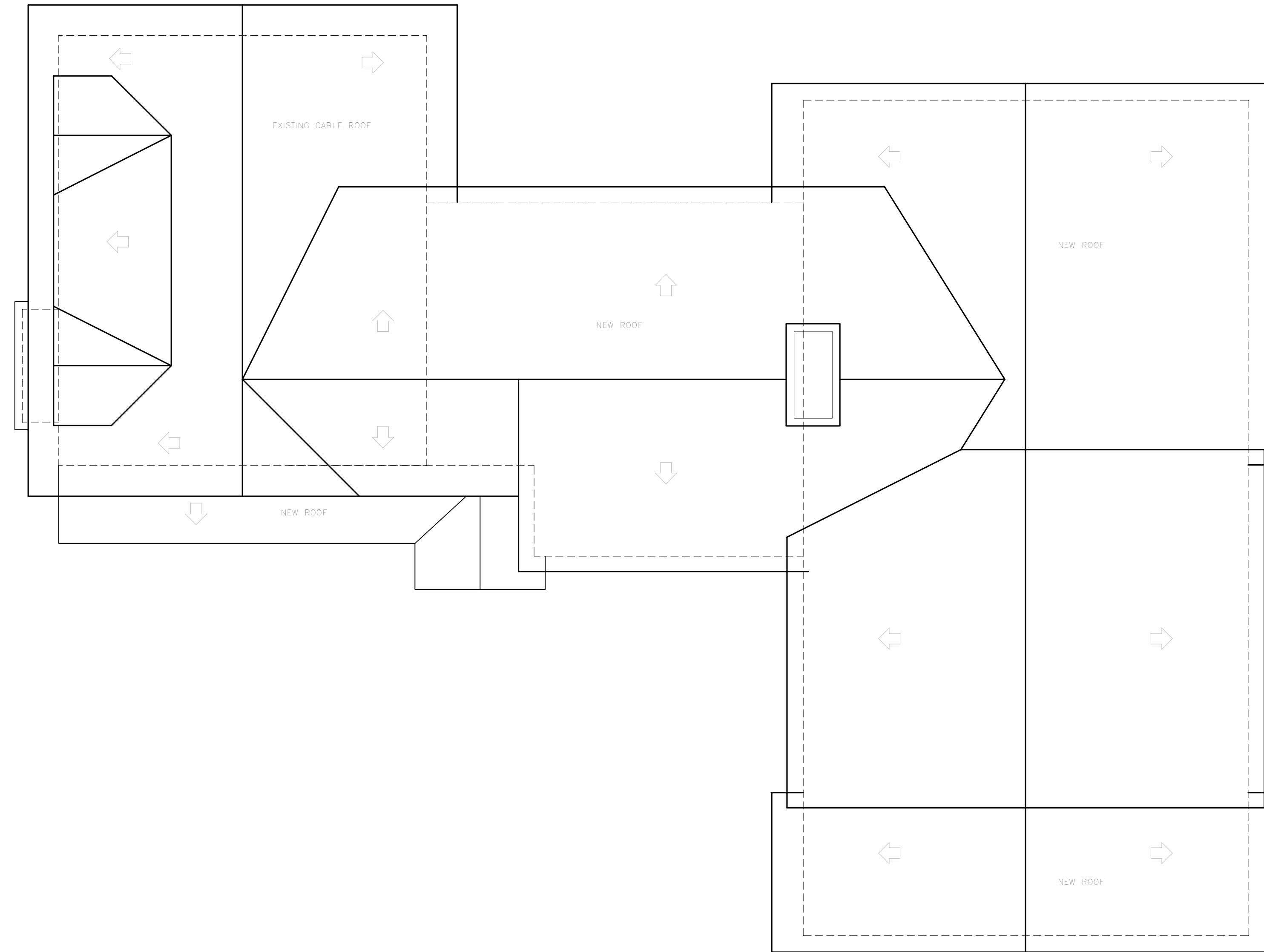
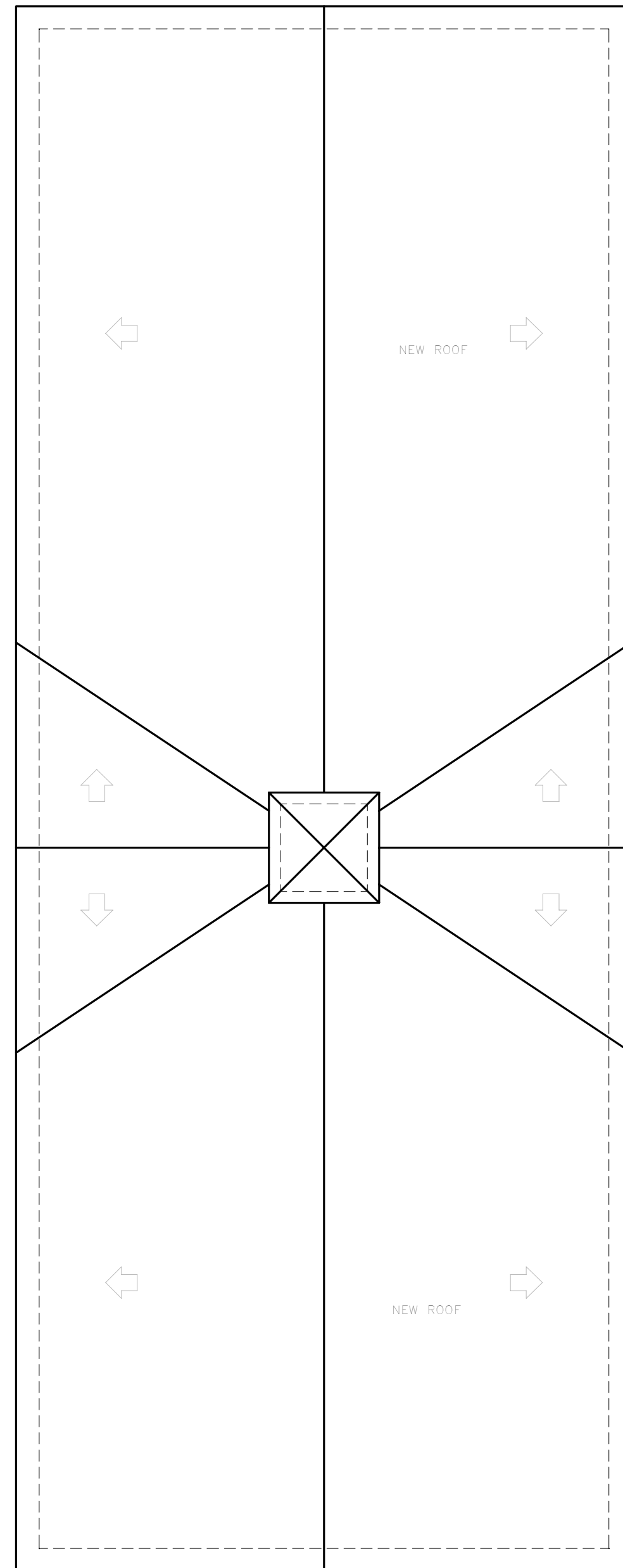
DATE
7-28-21

SCALE
3/16" = 1'-0"

DRAWING NO.
A102.00

PAGE NO.

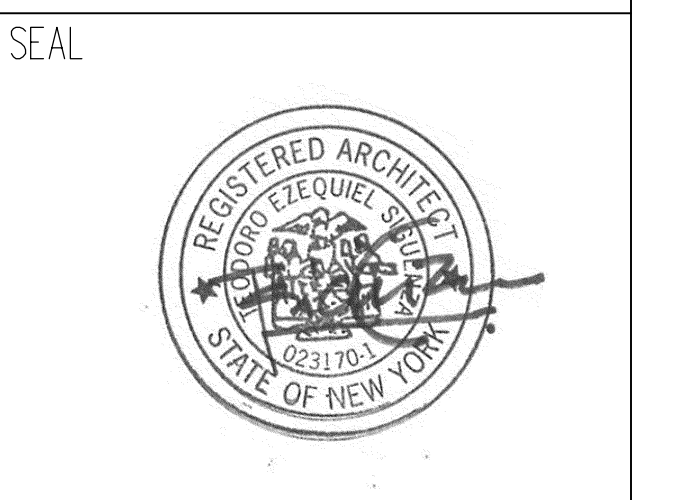
GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
 2. ALL DIMENSIONS TO BE CHECKED
 3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT



DATE	REVISION

PROJECT
SINGLE FAMILY RESIDENCE
 ADDITION & ALTERATIONS
 75 ROUND HILL ROAD
 ARMONK, NY

DRAWING TITLE
PROPOSE ROOF PLAN



DATE
7-28-21

SCALE
3/16" = 1'-0"

DRAWING NO.
A103.00

PAGE NO.

GENERAL NOTES:
1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
2. ALL DIMENSIONS TO BE CHECKED
3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT



1 PROPOSED FRONT ELEVATION
Scale: 3/16" = 1'-0"



2 PROPOSED REAR ELEVATION
Scale: 3/16" = 1'-0"

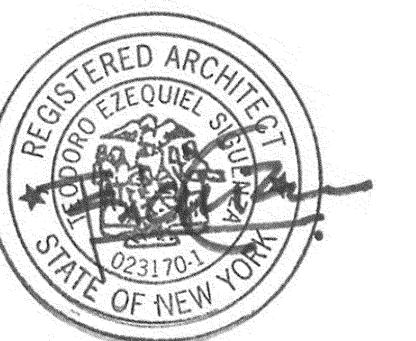
DATE:	REVISION

PROJECT
SINGLE FAMILY RESIDENCE
ADDITION & ALTERATIONS

75 ROUND HILL ROAD
ARMONK, NY

DRAWING TITLE
PROPOSE EXTERIOR ELEVATIONS

SEAL



DATE
7-28-21

SCALE
3/16" = 1'-0"

DRAWING NO.

A200.00

PAGE NO.

GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
 2. ALL DIMENSIONS TO BE CHECKED
 3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT



1 PROPOSED RIGHT SIDE ELEVATION
 Scale: 3/16" = 1'-0"



2 PROPOSED LEFT SIDE ELEVATION
 Scale: 3/16" = 1'-0"



3 PROPOSED RIGHT SIDE ELEVATION (GARAGE)
 Scale: 3/16" = 1'-0"

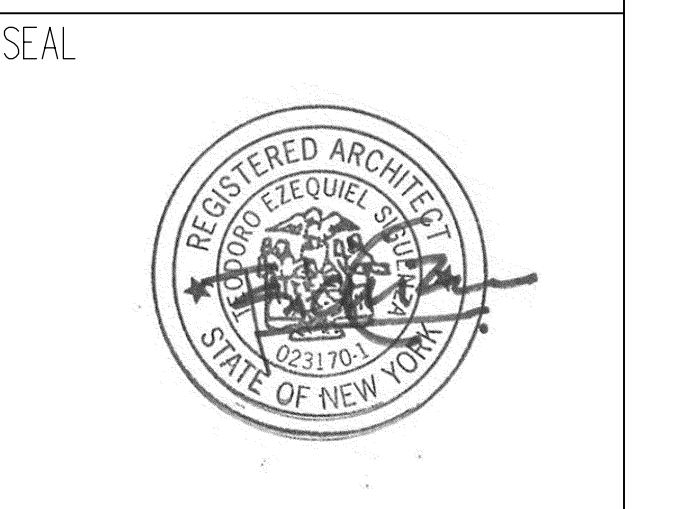


4 PROPOSED LEFT SIDE ELEVATION (GARAGE)
 Scale: 3/16" = 1'-0"

DATE	REVISION

PROJECT
SINGLE FAMILY RESIDENCE
 ADDITION & ALTERATIONS
 75 ROUND HILL ROAD
 ARMONK, NY

DRAWING TITLE
PROPOSE EXTERIOR ELEVATIONS



DATE
7-28-21

SCALE
3/16" = 1'-0"

DRAWING NO.
A201.00

PAGE NO.



PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY

17 Bedford Road
Armonk, NY 10504-1898

Telephone: (914) 273-3542

Fax: (914) 273-3554

www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

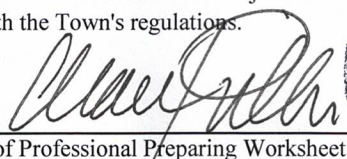
Application Name or Identifying Title: DeVincenzo Property Date: July 19, 2021

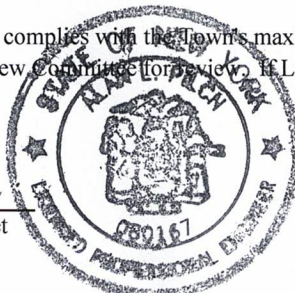
Tax Map Designation or Proposed Lot No. 1-9-4-2B

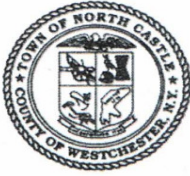
Gross Lot Coverage

1.	Total lot Area (Net Lot Area for Lots Created After 12/12/06):	<u>163,989.9</u>
2.	Maximum Permitted gross land coverage (per Section 355-26.C(1)(b)):	<u>19,035.2</u>
3.	BONUS maximum gross land cover (per Section 355-26.C(1)(b)):	<u>540</u>
	Distance principal home is beyond minimum front yard setback	<u>54</u>
4.	TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3	<u>19,575.2</u>
5.	Amount of lot area covered by principal building: <u>721</u> existing = <u>2,140</u> proposed =	<u>2,861</u>
6.	Amount of lot area covered by accessory buildings: <u>2,830</u> existing = <u>-1163</u> proposed =	<u>1,667</u>
7.	Amount of lot area covered by decks: <u>0</u> existing = <u>0</u> proposed =	<u>0</u>
8.	Amount of lot area covered by porches: <u>0</u> existing = <u>119</u> proposed =	<u>119</u>
9.	Amount of lot area covered by driveway, parking areas and walkways: <u>6,568</u> existing = <u>1,775</u> proposed =	<u>8,343</u>
10.	Amount of lot area covered by terraces: <u>0</u> existing = <u>1,386</u> proposed =	<u>1,386</u>
11.	Amount of lot area covered by tennis court, pool and mechanical equipment: <u>0</u> existing = <u>1,295</u> proposed =	<u>1,295</u>
12.	Amount of lot area covered by all other structures: <u>0</u> existing = <u>247</u> proposed =	<u>247</u>
13.	Proposed gross land coverage: Total of Lines 5 - 12	<u>15,918</u>

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


Signature and Seal of Professional Preparing Worksheet





PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, NY 10504-1898

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: DeVincenzo Property Date: July 14, 2021

Tax Map Designation or Proposed Lot No. 1-9-4-2B

Floor Area

1.	Total lot Area (Net Lot Area for Lots Created After 12/12/06):	<u>163,989.9</u>
2.	Maximum permitted floor area (per Section 355-26.B(4)):	<u>13,196.8</u>
3.	Amount of floor area contained with first floor: <u>672</u> existing = <u>2117</u> proposed =	<u>2,789</u>
4.	Amount of floor area contained with second floor: <u>353</u> existing = <u>1,029</u> proposed =	<u>1,382</u>
5.	Amount of floor area contained within porches capable of being enclosed: <u>49</u> existing = <u>135</u> proposed = (184-49 (ex. Back porch to be removed))	<u>184</u>
6.	Amount of floor area contained within basement (if applicable - see definition): <u>0</u> existing = <u>0</u> proposed =	<u>0</u>
7.	Amount of floor area contained within attic (if applicable - see definition): <u>0</u> existing = <u>0</u> proposed =	<u>0</u>
8.	Amount of floor area contained within all accessory buildings: <u>1,555</u> existing = <u>112</u> proposed = (ex.stables & greenhouse) (492-380(ex green house to be removed))	<u>1,667</u>
9.	Amount of lot area covered by all other structures: <u>1,642</u> existing = <u>-996</u> proposed = (ex.art studio & barn) (ex. Barn to be removed & relocated, part of principal dwelling)	<u>646</u>
10.	Proposed floor area : Total of Lines 3 - 9 =	<u>6,668</u>

If Line 10 is less than or equal to Line 2, your proposal complies with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



7/28/2021
Date

MARK DEVINCENZO 11-07
ALICIA A. DEVINCENZO
69 ROUND HILL RD.
ARMONK, NY 10504

1-2/210

2665

DATE 8-1-2021

PAY TO THE
ORDER OF

Town of North Castle

\$ 1,200.⁰⁰

One thousand two hundred and 00/100

DOLLARS  Security Features
Included.
Details on Back.

CHASE 

JPMorgan Chase Bank, N.A.
www.Chase.com

MEMO

KPRC

Alicia A. Devincenzo MP

+ 021000021

7589349621 2665