



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 5 EMMALON AVE NORTH OF WHITE PLAINS

Section III- DESCRIPTION OF WORK:

EXPANSION OF DRIVEWAY

Section III- CONTACT INFORMATION:

APPLICANT: ALPHONSO LEONCE
ADDRESS: 9 MIDWAY ROAD WHITE PLAINS NY 10607
PHONE: 914-946-5244 MOBILE: 914-772-0429 EMAIL: PETAMP20@MSN.COM

PROPERTY OWNER: ALPHONSO LEONCE
ADDRESS: 5 EMMALON AVE NORTH OF WHITE PLAINS NY 10603
PHONE: 914 946 5244 MOBILE: 914 772 0429 EMAIL: PETAMP 20 @ MSN.COM

PROFESSIONAL: THEODORE STRAUSS
ADDRESS: 63 MOORE AVE. MT. KISCO, N.Y. 10549
PHONE: 914.241.3354 MOBILE: _____
EMAIL: _____

Section IV- PROPERTY INFORMATION:

Zone: R. 2F Tax ID (lot designation) 5.16.4.

8/3/21 @ 9:30 - 15 Bedford Rd
Town Administrator Conference Room



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PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

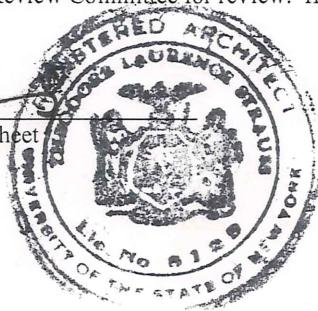
Application Name or Identifying Title: ALPHONSO LEONE Date: 7/21/21
 Tax Map Designation or Proposed Lot No.: 5.16.4

Gross Lot Coverage

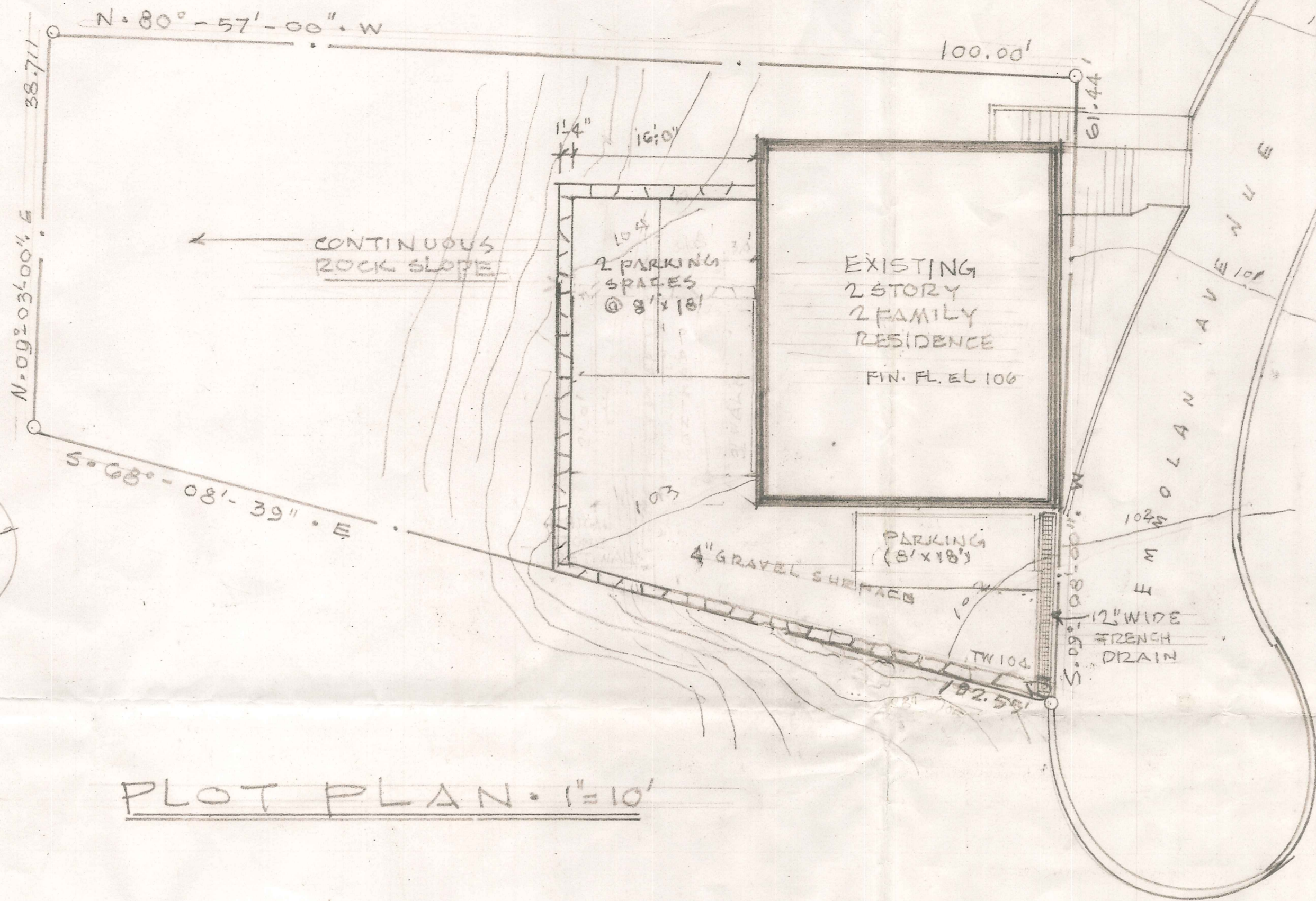
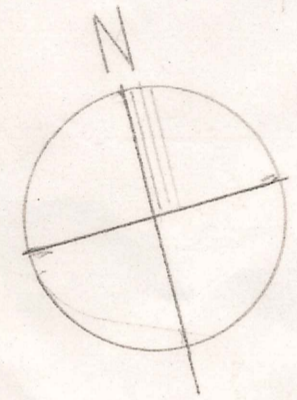
1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 5,136.92 S.F.
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): 2,500 + 30% (40.8) = 2,540.8 S.F.
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
0 x 10 = 0
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 2,540.8 S.F.
5. Amount of lot area covered by principal building:
1,800 existing + 0 proposed = 1,800 S.F.
6. Amount of lot area covered by accessory buildings:
~~450~~ existing + ~~700~~ proposed = 0 S.F.
7. Amount of lot area covered by decks:
0 existing + 0 proposed = 0
8. Amount of lot area covered by porches:
0 existing + 0 proposed = 0
9. Amount of lot area covered by driveway, parking areas and walkways:
450 existing + 280 proposed = 730 S.F.
10. Amount of lot area covered by terraces:
0 existing + 0 proposed = 0
11. Amount of lot area covered by tennis court, pool and mechanical equip:
0 existing + 0 proposed = 0
12. Amount of lot area covered by all other structures:
0 existing + 0 proposed = 0
13. Proposed gross land coverage: Total of Lines 5 - 12 = 2,530 S.F.

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

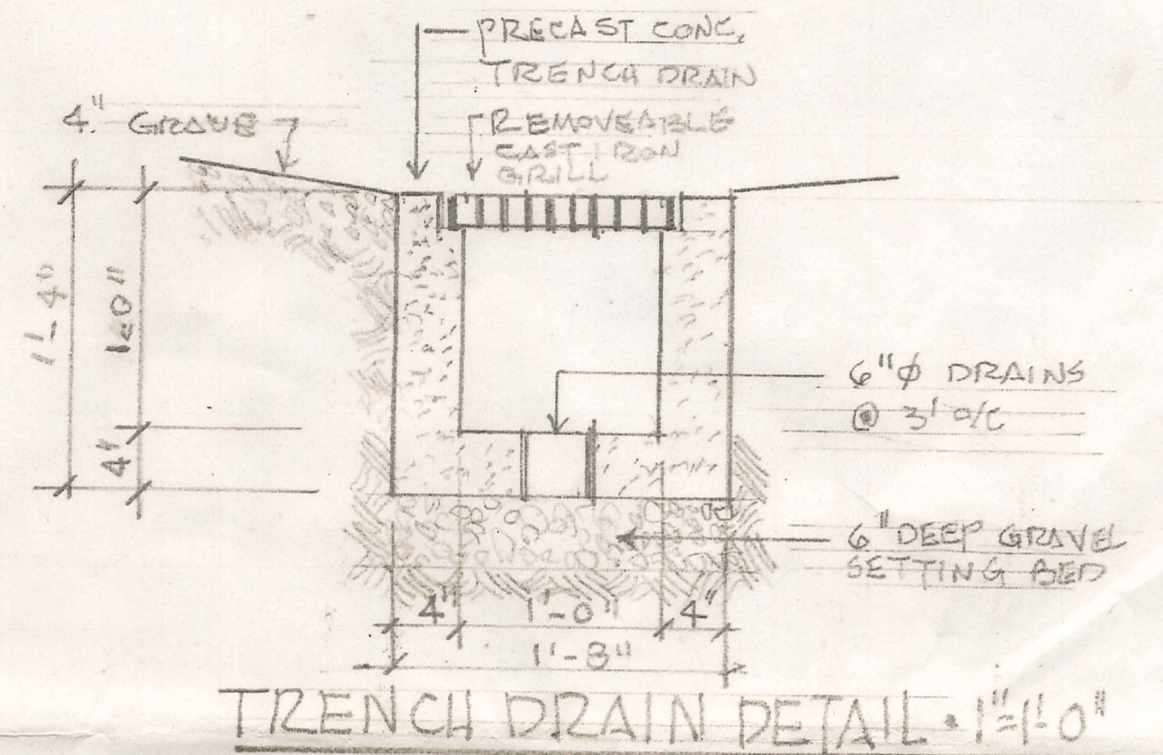
[Handwritten Signature]
 Signature and Seal of Professional Preparing Worksheet



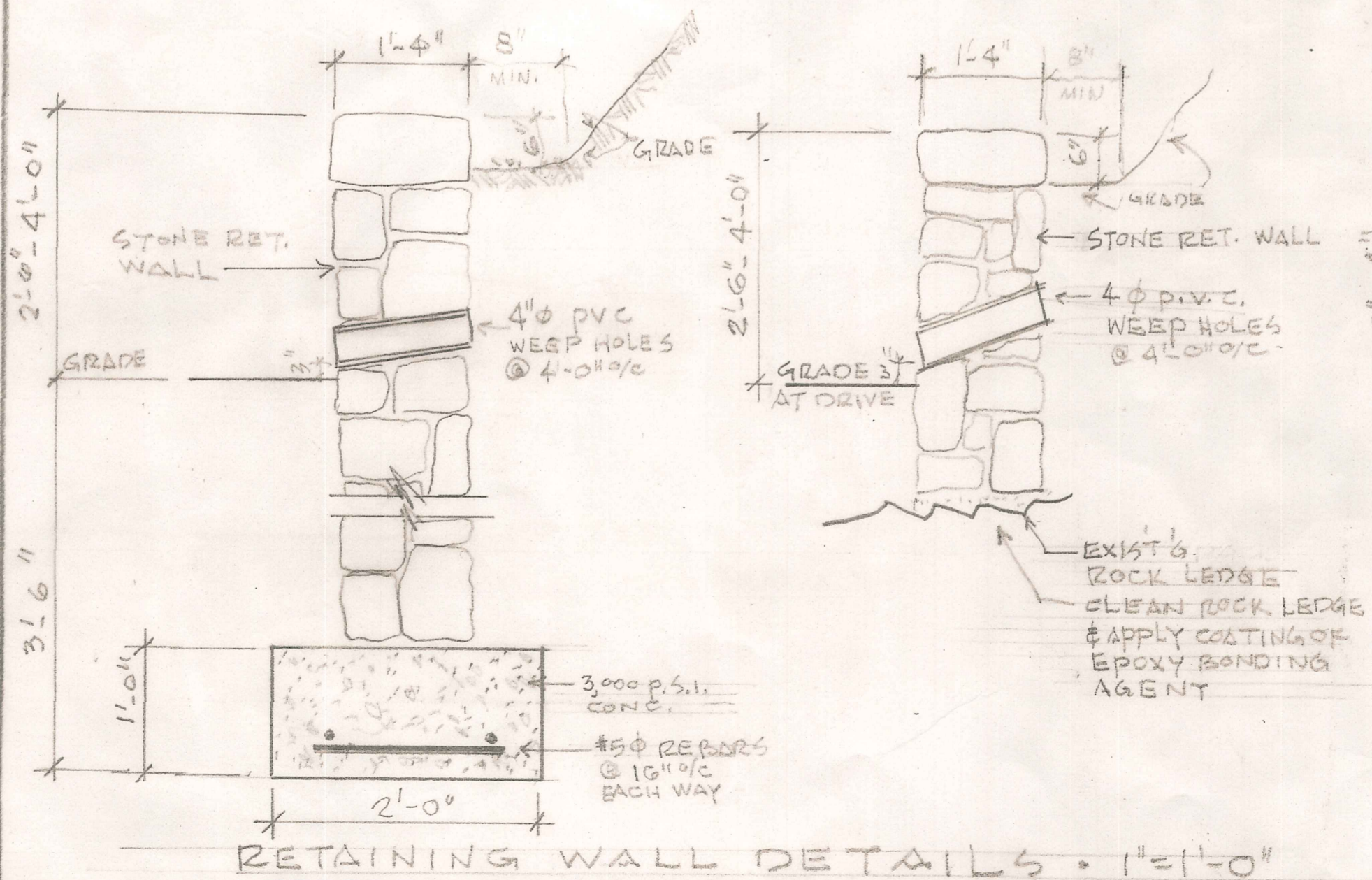
7/21/21
 Date



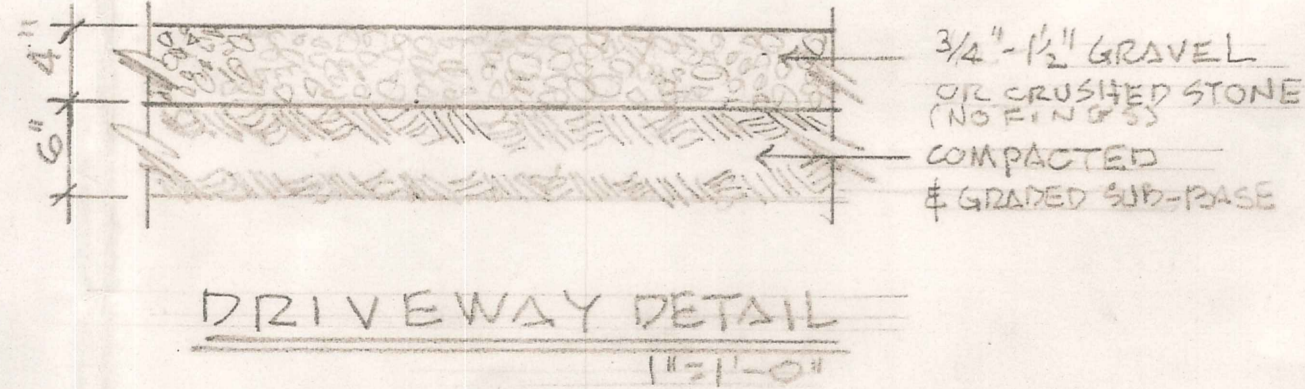
PLOT PLAN • 1"=10'



TRENCH DRAIN DETAIL • 1"=1'-0"



RETAINING WALL DETAILS • 1"=1'-0"



DRIVEWAY DETAIL
1"=1'-0"

SECTION • 5 BLOCK • 16 LOT • 4 ZONE-R2F

	project: SITE DEVELOPMENT PLAN ALPHONSE LEONCE 5 EMMALON AVE • N. WHITE PLAINS TOWN OF NORTH CASTLE • NEW YORK	date 7/7/21 drawn by TLS checked by
	drawing title • PLOT PLAN • SITE DETAILS	scale AS SHOWN job no. 4044 drawing no.
THEODORE LAURENCE STRAUSS and ASSOCIATES architects • planning consultants 63 MOORE AVENUE • MT. KISCO • NEW YORK • 914.241.3754		