

Section I- PROJECT

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair

ADDRESS: 15 Elizabeth Place.

Telephone: (914) 273-3000 x 43 Fax: (914) 273-3554

www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section III- DESCRIPTION OF WORK:	
New exterior door + wood Platform w	10:0
1 00000 1 101 101 19	seirs
Section III- CONTACT INFORMATION:	
APPLICANT: Paolo Alamp.	
ADDRESS: 13 Elizabeth Place	
PHONE: 914-755-264MOBILE: EMAIL: Pao	localampi agnail.com
PROPERTY OWNER: Same as above	7 - 9.20.
ADDRESS:	
PHONE: MOBILE: EMAIL:	
PROFESSIONAL::	
ADDRESS:	
PHONE:MOBILE:	
EMAIL:	
Section IV- PROPERTY INFORMATION:	
Tone: R-10 Tax ID (lot designation) 08.01-	1-3



Town of North Castle Residential Project Review Committee

17 Bedford Road Armonk, New York 10504 (914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: 1 1 terior alteration of existing Kitchen and barenet				
Street Location: 15 Elizabeth Pice.				
Zoning District: R-10 Property Acreage: .49 Tax Map Parcel ID: 108.01-1-3				
Date: 8/9/2021				
DEPARTMENTAL USE ONLY				
Date Filed: Staff Name:				
Preliminary Plan Completeness Review Checklist Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.				
1. Plan prepared by a registered architect or professional engineer				
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets				
3. Map showing the applicant's entire property and adjacent properties and streets				
A locator map at a convenient scale				
The proposed location, use and design of all buildings and structures				
6. Existing topography and proposed grade elevations				
7. Location of drives				
Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences				

RPRC COMPLETENESS REVIEW FORM

Page 2

₽.	Description of method of water supply and sewage disposal and location of such facilities		
10.	The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work		
1.	Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District		
2.	If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.		
<u></u> 3.	If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.		
More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: http://www.northcastleny.com/townhall.html			
	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.		

INTERIOR & EXTERIOR ALTERATIONS

PAOLO AND CRISTINA D. ALAMPI 15 ELIZABETH PL, ARMONK, NEW YORK 10504

ZONE: R-10 SECTION: 108.01 BLOCK: 1 LOT: 3 MATERIAL LEGEND PROJECT DESCRIPTION **GENERAL CONDITIONS:** THESE DOCUMENTS REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT, AND MAY NOT INTERIOR ALTERATIONS OF THE EXISTING KITCHEN, CONSISTING OF REMOVAL OF AN EXISTING BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN CONSENT OF TH BEARING WALL TO ACCOMMODATE AN OPEN FLOOR PLAN WITH NEW KITCHEN CABINETRY, LIGHTING AND DINING AREA. NEW EXTERIOR DOOR & WOOD PLATFORM/STAIRS. CONTRACTORS SHALL VISIT THE SITE AND BE RESPONSIBLE FOR HAVING RECORDED AL CONDITIONS WITHIN THE SCOPE OF THE PROJECT. NO CLAIMS FOR EXTRA COMPENSATION, BASED ON IGNORANCE OF VISIBLE OR IMPLIED EXISTING CONDITIONS Concrete Block ALL WORK IS TO CONFORM TO ALL APPLICABLE REQUIREMENTS OF LOCAL GOVERNING CODES, STATE CONSTRUCTION AND ENERGY CONSERVATION CODES, HEALTH CODE, FIRE DEPARTMENT REGULATIONS, FHA FRAMING STANDARDS, OSHA CODES, FHMU AND UTILITY CODES, AND BEST TRADE PRÁCTICES. 15 ELIZABETH PLACE ARMONK, NEW YORK, 10504 ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE EMAIL: PAOLOALAMPI@GMAIL.COM VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING MATERIAL OR DOING ANY EMAIL: RDILEO@RDSTUDIO-INC.COM EMAIL: BUILDING@NORTHCASTLENY.COM PHONE: 914-374-7473 WORK ANY DISCREPANCIES OR FRRORS IN THE PLANS, SPECIFICATIONS, AND/OR DETAILS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGE IN PLANS, DETAILS OR DIMENSIONS IS PERMISSIBLE WITHOUT THE CONSENT OF THE ARCHITECT. SHOULD THE DRAWING LIST CONTRACTOR FAIL TO NOTIFY THE ARCHITECT WITHIN A REASONABLE TIME, HE SHALL BE

AMERICANS WITH

AIR-HANDLER UNIT

BUILDING STANDARD

CONCRETE MASONRY UNI

CONTRACTOR/CONTRACT RCF

CONTROL JOINT

CENTER LINE

CROWN MOLD

CONSTRUCTION

CONTINUOUS

CERAMIC TILE

DIAMETER

DIAGONAL

DIMENSION

ELEVATION/ ELEVATOR

EXISTING TO REMAIN

EXPANSION JOIN

FIRE EXTINGUISHER

FURRED/ FURRING

FABRIC WALL COVERING

FIBERGLASS REIN. PLASTIC

GROSS SQUARE FOOTAGE W.P.

GLAZED CERAMIC TILE

GYPSUM WALL BOARD

GLASS/GLAZED

HOLLOW CORE

HIGH INTENSITY

HOLLOW METAL

HEATING, VENTUATION 8

AIR CONDITIONING

INSIDE DIAMETER

INCANDESCEN'

JANITOR CLOSE

JUNCTION BOX

LAVATORY

MATERIAL

MULLION

MANUFACTUREE

INSULATION

HARDWARE

DISCHARGE

FLOOR DRAIN

FLUORESCENT

FOOT/ FEET

ELECTRIC WATER COOLER

EMERGENCY

ENTRANCE

EXTERIOR

CONCRETE

ACOUSTICAL CEILING TILE O.A.

ARCHITECTURAL/ARCHITECTO.C.

DISABILITIES ACT

ADJUSTABLE

BUILDING

LOCATION MAP: NTS Rigid Board/Spray-Foam Insulation ////////// Glazing/Mirror

NOT APPLICABLE

OPPOSITE HAND

PROPERTY LINE

PLYWOOD

QUANTITY

RELOCATED

RUBBER BASE

ROUGH OPENING

SECTION

RENTABLE SQUARE

SQUARE FOOT/ SQ

SPECIFY/ SPECIFIED

STAINLESS STEEL

SUSPENDED

TEMPERED

THRESHOLD

UNDERCUT . APPROVED

UNDERSIDE

VERIFY IN FIELD

WATER CLOSET

WATER HEATER

TOP OF STEEL/SLAB

UNLESS OTHERWISE NOTE

USABLE SQUARE FOOTAGE

VINYL COMPOSITION TILE

VINYL WALL COVERING

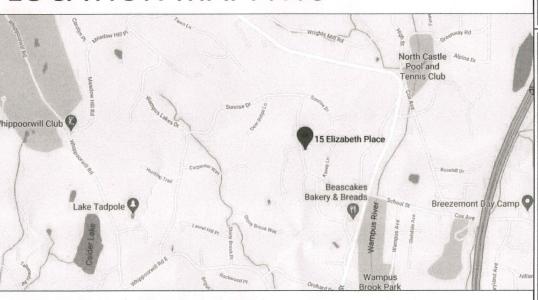
PLASTIC LAMINAT

PRE-CAST MASONRY UNIT

PROJECT/PROJECTION

PRESSURE TREATED

NET SQUARE FOOTAGE



GENERAL NOTES; GENERAL CONDITIONS; CODE SUMMARY; SITE PLAN

CONSTRUCTION FLOOR PLANS; SECTIONS; ELEVATIONS

BUILDING DEPT

TOWN OF NORTH CASTLE BUILDING DEPARTMENT

15 BEDFORD ROAD

ARMONK, NY 10504

PHONE: 914-273-3000

CODE SUMMARY

ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF NORTH CASTLE CODES &

NEW YORK STATE APPLICABLE BUILDING CODES **EXISTING BUILDING** PLUMBING MECHANICAL **FUEL GAS ENERGY** PROPERTY MAINTENANCE

2020 INTERNATIONAL BUILDING CODE 2020 INTERNATIONAL RESIDENTIAL CODE 2020 UNIFORM CODE SUPPLEMENT 2020 INTERNATIONAL EXISTING BUILDING CODE 2020 INTERNATIONAL FIRE CODE 2020 INTERNATIONAL PLUMBING CODE 2015 INTERNATIONAL MECHANICAL CODI 2020 INTERNATIONAL FUEL GAS CODE 2020 INTERNATIONAL ENERGY CONSERVATION CODE 2020 INTERNATIONAL PROPERTY MAINTENANCE CODE

3,000 PSI

3,000 PSI

L/360

40PSF

10PSF

SE AND OCCUPANCY CLASSIFICATION ONE-FAMILY RESIDENCE: R-3 (IBC: 310.5

CONSTRUCTION TYPE

ACCESSIBILITY

STRUCTURAL DESIGN CRITERIA

MIN. SOIL BEARING CAPACITY: CONCRETE FOOTINGS: CONCRETE SLABS ON GRADE/COMPACTED FILL: DEFLECTION LIMITS (IBC: 1604.3): LIVE LOADS (IBC: TABLE 1607.1)

FIRST FLOOR/DECK ATTIC FLOOR (WITHOUT STORAGE)

STRUCTURAL STEEL MATERIALS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING SPECIFICATIONS UNLESS NOTED OTHERWISE STRUCTURAL STEEL - ASTM A992 GRADE 50 U.N STEEL PLATES - ASTM A36 U.N. // HIGH STRENGTH BOLTS ASTM A325, GALVANIZED NUTS - ASTM A563 GALVANIZED // WELDING ELECTRODES - AWS CLASS E70

GENERAL CONSTRUCTION NOTES: GENERAL DEMOLITION NOTES:

- ALL DIMENSIONS GIVEN ARE TO ROUGH OPENINGS AND/OR FRAMING.
- THESE DRAWINGS ARE TO SHOW AS CLOSE AS POSSIBLE ALL CONDITIONS OF THE EXISTING STRUCTURE. ALL CONSTRUCTION AND STRUCTURE THAT WAS NOT ACCESSIBLE ASSUMES NO RESPONSIBILITY FOR THESE CONDITIONS FOR ANY CONSTRUCTION MEANS METHODS, MATERIALS, ETC.
- THE ARCHITECT HAS NO RESPONSIBILITY FOR THE ORIGINAL CONSTRUCTION, STRUCTURE LOCATIONS OF THE STRUCTURE AND ANY CONDITIONS THAT ARE NOT VISIBLE. THE ARCHITECT IS SOLELY RESPONSIBLE FOR THE PROPOSED ADDITIONS AND/OR
- CONTRACTOR/OWNER AND TRADES TO FILE AND PAY FOR ALL PERMITS AND APPROVALS
- ALL SMOKE DETECTORS & CARBON MONOXIDE DETECTORS TO BE ON A INTERCONNECTED
- CONTRACTOR/OWNER TO PROVIDE PROPER VENTILATION FOR DRYERS AS REQUIRED PER
- MANUFACTURER
- ELECTRICAL AND PLUMBING CONTRACTOR TO VERIFY ALL EXISTING ELECTRICAL AND
- ALL ITEMS INDICATED IN THESE DRAWINGS AS 'TO BE SELECTED BY OWNER' WILL BE GIVEN AN ALLOWANCE BY THE CONTRACTOR. CONTRACTORS WILL BE RESPONSIBLE FOR SUPPLYING & INSTALLING ALL ITEMS INDICATED IN THESE DRAWINGS AS 'TO BE SELECTED
- ALL NEW PAINT TO BE SELECTED BY OWNER.
- ALL NEW FLOOR & WALL TILE TO BE SELECTED BY OWNER
- ALL NEW INTERIOR DOOR HARDWARE TO BE SELECTED BY OWNER
- UNLESS NOTED OTHERWISE ALL INTERIOR & EXTERIOR FINISH MATERIAL TO BE SELECTED
- UNLESS NOTED OTHERWISE ALL EXISTING ELEMENTS DISTURBED BY CONSTRUCTION IS TO
- CONTRACTOR IS RESPONSIBLE TO MODIFY ALL EXISTING MECHANICAL, ELECTRICAL

STRUCTURAL/FRAMING NOTES:

- ALL POST BEARING CONDITIONS SHALL RECEIVE SOLID BEARING OF THE SAME SIZE OR GREATER DOWN TO THE FOUNDATION WALLS OR BEARING BEAM BELOW. VERIFY ALL CONDITIONS IN FIELD WITH ARCHITECT.
- ALL POST BEARING CONDITIONS TO RECEIVE ADDITIONAL STUDS FOR TOTAL POST DIMENSION TO EQUAL OR SURPASS SUPPORTED BEAM THICKNESS. IF THIS CONDITION CAN NOT BE MET, VERIFY BEARING PLATE OR OTHER CONNECTION WITH ARCHITECT JA
- DOORS & EXTERIOR/INTERIOR OPENINGS SHALL HAVE MINIMUM (3) 2 X 10 HEADER WITH 3" PLYWOOD SPACERS BETWEEN AT 2 X 6 WALLS & (2) 2 X 10 HEADER WITH 3" PLYWOOD SPACER AT 2 X 4 WALLS. IF THIS CONDITION CAN NOT BE MET, VERIFY WITH
- L NEW PARTITIONS RUNNING PARALLEL TO EXISTING/NEW JOISTS BELOW SHALL RECEIVE DOUBLE JOISTS CENTERED ON NEW PARTITION. VERIFY ALL CONDITIONS IN FIELD WITH ARCHITECT.
- BRIDGING @ MID-SPACE. FOR JOISTS SPANNING 20'-0" OR MORE, INSTALL TWO (2) ROWS OF SOLID CROSS BRIDGING @ 1/4 SPAN.
- OTHERWISE. DROPPED SOFFIT FRAMING TO BE SISTERS TO EXIST. CEILING JOISTS & EXIST. WALL STUDS AND SECURED W/ MIN (4) 10d NAILS.
- ALL 'ALIGN' INDICATORS ON PLANS, SECTIONS & ELEVATIONS ARE TO IMPLY THAT BOTH SIDES OF ALL NEW ROUGH FRAMING & FINISHES ARE TO ALIGN WITH BOTH SIDES OF ALL EXIST. ROUGH FRAMING & FINISHES. VERIFY ALL CONDITIONS IN FIELD WITH ARCHITECT.
- RECEPTACLES, LIGHT FIXTURES, ETC. WITH NEW/EXIST. ROUGH FRAMING, MILLWORK, INTERIOR TRIM. TILE AND ADJACENT FINISHES. SEE REFLECTED CEILING PLAN & INTERIOR FLEVATIONS FOR LOCATIONS
- ALL FLUSH BEAMS AND JOIST CONNECTIONS TO RECEIVE HEAVY DUTY 'SIMPSON STRONG-TIE' METAL HANGERS. FOLLOW MANUFACTURER INSTALLATION

- CONTRACTOR TO PERFORM ALL DEMOLITION WORK TO ACCOMMODATE NEW CONSTRUCTION, UNLESS NOTED OTHERWISE.
- THESE DRAWINGS ARE TO SHOW AS CLOSE AS POSSIBLE ALL CONDITIONS OF THE EXISTING STRUCTURE. ALL CONSTRUCTION AND STRUCTURE THAT WAS NOT ACCESSIBL ARE SHOWN IN ASSUMED LOCATIONS AND APPROXIMATE SIZE. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THESE CONDITIONS FOR ANY CONSTRUCTION MEANS, METHODS, MATERIALS, ETC.
- IN ANY CONDITION THE CONTRACTOR IS NOT TO REMOVE ANY STRUCTURAL WALLS, STRUCTURAL COLUMNS, STRUCTURAL BEAMS, PRIOR TO INSTALLING ADEQUATE SHORING AND/OR BRACING.
- CONTRACTOR IS TO DESIGN AND INSTALL ADEQUATE AND CODE COMPLIANT SHORING AND/OR BRACING WHERE NEEDED TO SAFELY COMPLETE STRUCTURAL WORK. CONTRACTOR TO ASSUME FULL AND SOLE RESPONSIBILITY FOR STRUCTURAL ADEQUACY OF THE SHORING, AND FOR ANY INJURIES, DAMAGE, CRACKS, OR DEFECTS CAUSED BY SHORING AND/OR BRACING, AND SHALL REPAIR ALL SUCH DAMAGE AS THE CONTRACTOR'S SOLE EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING & NEW CONDITIONS. ANY DAMAGE CAUSED BY THE EXECUTION OF THE WORK INDICATED OR IMPLIED HEREIN SHALL BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S SOLE EXPENSE.
- CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING THE PREMISES FROM ENTRY OF
- CONTRACTOR TO REPLACE AND/OR REPAIR ALL EXISTING STUDS, JOISTS, SUB-FLOORING ALL NEW RECEPTACLES TO BE 'LEVITON DECORA TAMPER RESISTANT' (UNLESS NOTED PLUMBING, ELECTRICAL, HVAC, THAT IS DAMAGED, ROTTED, OR NOT CODE COMPLIANT, OTHERWISE) RECEPTACLE COLOR TO BE VERIFIED WITH ARCHITECT AND OWNER THESE CONDITIONS ARE CONSIDERED UNFORESEEN CONDITIONS AND THE CONTRACTOR PROIR TO PÙIRCHASE RECEPTACLE AND AMPERAGE AND TYPE TO BE PER CODE WILL BE COMPENSATED FOR ADDITIONAL WORK UPON THE APPROVAL FROM BOTH THE WHEN SITUATIONS EXIST WHERE MULTIPLE RECEPTACLES ARE SCHEDULED AND CONFLICT REGARDING CLEARANCES OR STRUCTURAL FRAMING CONSTRAINTS. COORDINATE LOCATIONS AND CONFIGURATIONS WITH ARCHITECT.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS NECESSARY TO SUITABLY SCREEN DEMOLITION WORK FROM OTHER SPACES WITHIN DWELLING.
- ANY ASBESTOS AND/OR LEAD PAINT ENCOUNTERED DURING CONSTRUCTION SHALL B REMOVED BY A LICENSED ASBESTOS CONTRACTOR AND/OR LICENSED LEAD PAINT CONTRACTOR IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL CODES AT THE OWNERS EXPENSE
- CONTRACTOR TO CARFELLLY PROTECT ALL FIRE ALARM AND SPRINKLER SYSTEMS DURING CONSTRUCTION, SUCH THAT THESE SYSTEMS REMAIN OPERABLE AND FUNCTIONAL FOR THE COURSE OF THE PROJECT. ALL FINAL CONNECTIONS/DISCONNECTIONS OF FIRE ALARM AND SPRINKLER SYSTEM SHALL BE PERFORMED BY THE LICENSED CONTRACTOR.
- ALL ELECTRICAL & PLUMBING DEMOLITIONS MUST BE PERFORMED BY A LICENSED ELECTRICIAN AND LICENSED PLUMBER. ALL ELECTRICAL & PLUMBING DEMOLITION MUST CONFORM TO ALL CITY, STATE AND FEDERAL CODE.

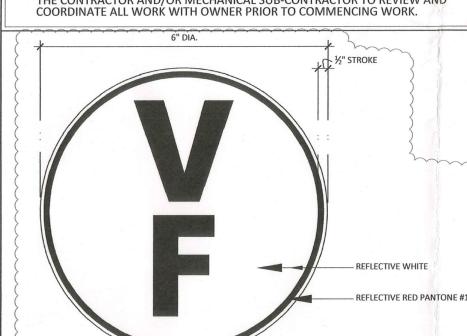
GENERAL MECHANICAL NOTES:

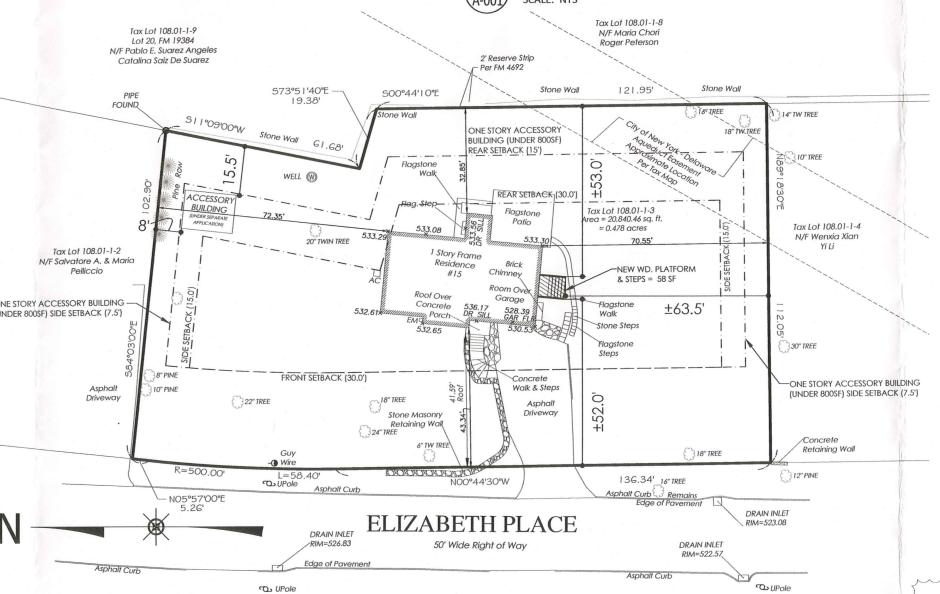
- EXISTING MECHANICAL EQUIPMENT SHALL REMAIN AS-IS. CONTRACTOR TO SERVICE EXISTING MECHANICAL EQUIPMENT AND CONFIRM EQUIPMENT IS IN GOOD WORKING ORDER. EQUIPMENT REPLACEMENT PARTS AND LABOR WILL BE CONSIDERED AN ADDITIONAL COST
- AND WITH THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS. THE RESULTING SYSTEM SHALL BE FULLY OPERATIONAL AND IN PERFECT WORKING ORDER ONCE CONSTRUCTION IS COMPLETE

ALL WORK SHALL BE FULLY INTEGRATED INTO EXISTING MECHANICAL SYSTEMS

- ALL MECHANICAL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE MECHANICAL & ENERGY CONSERVATION CODE AS WELL AS ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS, WHETHER OR NOT
- NEW RANGE HOOD MUST BE LESS THAN 400CFMS AND COMPLY WITH SECTION M1503. CONTRACTOR TO PROVIDE A TECHNICAL DATA SHEET TO THE BUILDING DEPARTMENT, FOR APPROVAL PRIOR TO INSTALLING

THE CONTRACTOR AND/OR PLUMBING SUB-CONTRACTOR TO REVIEW AND COORDINATE ALL WORK WITH OWNER AND/OR ARCHITECT PRIOR TO COMMENCING THE CONTRACTOR AND/OR MECHANICAL SUB-CONTRACTOR TO REVIEW AND CONTRACTOR AND/OR PLUMBING SUB-CONTRACTOR TO COORDINATE ALL PLUMBING





GENERAL ELECTRICAL NOTES

ONCE CONSTRUCTION IS COMPLETE

ARCHITECT FOR ACCEPTANCE.

ELEVATIONS FOR LOCATIONS

ARCHITECT PRIOR TO COMMENCING WORK

COORDINATED WITH BUILT-IN CABINETRY, ETC

ALL WORK SHALL BE FULLY INTEGRATED INTO EXISTING ELECTRICAL SYSTEMS AND

RESULTING SYSTEM SHALL BE FULLY OPERATIONAL AND IN PERFECT WORKING ORDER

WELL AS ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS, WHETHER

RESPONSIBILITY FOR ALL ELECTRICAL WORK TO CONFORM TO ANY AND ALL CODES

WHETHER SPECIFICALLY INDICATED IN THE PLANS OR SPECIFICATIONS, OR NOT.

THE ELECTRICAL SUB-CONTRACTOR SHALL SECURE A SEPARATE PERMIT FOR HIS

THE CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO REVIEW AND

CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO COORDINATE ALL

SWITCHES, RECEPTACLES, LIGHT FIXTURES, ETC. WITH MILLWORK, INTERIOR TRIM,

EQUIPMENT AND ADJACENT FINISHES. SEE REFLECTED CEILING PLAN & INTERIOR

ALL NEW SWITCHES TO BE 'LUTRON DIVA DIMMER & SWITCH' (UNLESS NOTED

OTHERWISE). SWITCH COLOR SHALL BE VERIFIED WITH ARCHITECT AND OWNER

CONSTRAINTS, COORDINATE LOCATIONS AND CONFIGURATIONS WITH ARCHITEC'

MOUNTING HEIGHTS OF ALL SWITCHES AND RECEPTACLES SHALL BE COORDINATED

CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO VERIFY ALL TYPES OF

ALL NEW T.V. AND TELEPHONE LINE TO BE HOME RUN AND WIRED TO THE BASEMENT

ELECTRICAL CONTRACTOR TO INSTALL 3 ½" DIA. IN-WALL CABLE CONDUIT WITH COVER PLATES AT EACH TV LOCATION. CONTRACTOR TO VERIFY LOCATION

ALL WORK SHALL BE FULLY INTEGRATED INTO EXISTING PLUMBING SYSTEMS AND

RESULTING SYSTEM SHALL BE FULLY OPERATIONAL AND IN PERFECT WORKING ORDER

ALL PLUMBING WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL OTHER

SPONSIBILITY FOR ALL PLUMBING WORK TO CONFORM TO ANY AND ALL CODES.

RULES AND REGULATIONS OF ANY AGENCIES HAVING JURISDICTION OVER THE WORK

WHETHER SPECIFICALLY INDICATED IN THE PLANS OR SPECIFICATIONS, OR NOT.

WORK LOCATIONS WITH MILLWORK, INTERIOR TRIM, EQUIPMENT AND ADJACENT

REGARDING CLEARANCES OR STRUCTURAL FRAMING CONSTRAINTS, COORDINATE

MOUNTING HEIGHTS OF ALL PLUMBING CONNECTIONS SHALL BE COORDINATED WITH

EXISTING

0.478 ACRES 20,840.46 SF

194.74

194.74

112.05

43.34

70.55

72.35

32.85

N/A

N/A

EXIST. (NO CHANGE)

EXIST. (NO CHANGE)

N/A

2,851.54 SF

2,920.24 SF

JUN 2 4 2021

TOWN OF NORTH CASTLE

THE SITE PLAN DRAWING IS INTENDED FOR ARCHITECTURAL PURPOSES AND FOR BIDDING AND CONTRACT PURPOSES. THIS IS

CONTRACTOR/OWNER TO COORDINATE ALL LANDSCAPING AND SITE WORK WITH APPROVED FINAL SITE PLAN, SITE ENGINEERS,

ANDSCAPE ARCHITECT, BUILDING ARCHITECT AND ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT PRIOR TO THE

NO CHANGE

±52.0' @ NEW WD. PLATFORM & STER

±63.5' @ NEW WD. PLATFORM & STE

NO CHANGE

±53.0' @ NEW WD. PLATFORM & ST

NO CHANGE

NO CHANGE

NO CHANGE

NO CHANGE

NO CHANGE

2,978.24 SF

WHEN SITUATIONS EXIST WHERE PLUMBING IS SCHEDULED AND CONFLICT

R-10: SINGLE FAMILY DWELLING - STORAGE SHED

REQUIRED

15.00'

15.00

7.50'

7.50

15.00'

35.00' (HIGHEST SECTION)

800.00 SQUARE FT

15.00'

5,626.07 SF

MAXIMUM ACCESSORY BUILDING DIMENSIONAL REQUIREMENTS

MINIMUM ONE STORY ACCESSORY BUILDING (UNDER 800SF) YARD REQUIREMENT:

LOCATIONS AND CONFIGURATIONS WITH ARCHITECT

OWNER/ARCHITECT PRIOR TO ROUGH-IN.

ZONING COMPLIANCE SCHEDULE

MINIMUM MAIN BUILDING YARD REQUIREMENTS:

MAXIMUM BUILDING HEIGHT REQUIREMENTS

MAXIMUM LOT COVERAGE REQUIREMENTS

ALL SURVEY INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY

TC MERRITTS LAND SURVEYOR

THE ARCHITECT IS NOT RESPONSIBLE FOR ANY SURVEY INFORMATION

GENERAL SURVEY NOTES:

DATE: APRIL 16, 2019.

NOT TO BE USED AS A LICENSED SURVEY.

AX. GROSS FLOOR AREA COVERAGE

MIN. LOT SIZE REQUIREMENTS:

OT AREA (SQUARE FEET)

T FRONTAGE (FEET):

T WIDTH (FEET):

T DEPTH (FEET)

POSIE SIDE (FEET)

ONE SIDE (FEET)

POSIE SIDE (FEET

WHERE ADDITIONAL SWITCHES AND/OR RECEPTACLES ARE REQUIRED. THE

CONTRACTOR AND/OR SUB-CONTRACTOR SHALL SUBMIT LOCATIONS TO THE

WITH THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS. THE

APPLICABLE CODES, ORDINANCES AND REGULATIONS, WHETHER OR NOT

CABLES FOR T.V., TELEPHONE, INTERNET, ETC. WITH MANUFACTURER PRIOR TO

WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN. LOCATIONS SHALL BE

ALL ELECTRICAL OUTLET IN 'WET' LOCATIONS WILL BE OF THE G.F.I. TYPE

GENERAL PLUMBING NOTES:

CONDUIT LENGTH IN FIELD WITH ARCHITECT AND OWNER.

ELECTRICAL CONTRACTOR TO WIRE NEW HYDRO SYSTEM.

ARCHITECT FOR ACCEPTANCE.

AREA. OWNER TO BE RESPONSIBLE FOR FINAL HOOK-UP WITH T.V./CABLE

PRIOR TO PURCHASE. WHEN SITUATIONS EXIST WHERE MULTIPLE SWITCHES ARE SCHEDULED AND CONFLICT REGARDING CLEARANCES OR STRUCTURAL FRAMING

COORDINATE ALL WORK WITH BUILDING SUPERINTENDENT, OWNER AND/OR

WHERE ADDITIONAL SWITCHES AND/OR RECEPTACLES ARE REQUIRED. THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL SUBMIT LOCATIONS TO THE

OR NOT SPECIFICALLY STATED. THE ELECTRICAL SUB-CONTRACTOR SHALL ASSUME ALL

RULES AND REGULATIONS OF ANY AGENCIES HAVING JURISDICTION OVER THE WORK,

WITH THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS. THE

ALL ELECTRICAL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE

11.03.20

06.18.21

SUBMITTED FOR PERMIT

REV1: DOB COMMENTS

REV2: OWNER REVISIONS

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700 10

AS NOTED Job Number

RESTORATION OF PROPERTY BY RETURNING SHRUBS TO ORIGINAL LOCATIONS, FILLING H.V.A.C. OF ALL RUTS, RAKE TOPSOIL, PLANT GRASS SEED ON DAMAGED LAWN AREAS AND REPAIRS TO DAMAGED BLACKTOP. B. UNLESS OTHERWISE NOTED. MATERIALS SHALL BE PREPARED, INSTALLED, FITTED, AND ADJUSTED IN ACCORDANCE WITH MANUFACTURES' SPECIFICATIONS, DETAILS, AND . THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS | J.C. TO ALL TRADES UNDER HIS RESPONSIBILITY DURING THE PROGRESS OF THE PROJECT. 5. GENERAL CONTRACTORS TO NOTIFY THE ARCHITECT OF ANY UNFORESEEN CONDITIONS . GENERAL CONTRACTORS SHALL COORDINATE WITH THE VARIOUS TRADES INVOLVED IN THE CONSTRUCTION OF THE PROJECT . THE CONTRACTOR SHALL PROTECT AND NOT DAMAGE TREES, PLANTINGS OR SHRUBS WHERE COMETRUCTION/WORK/ISREDURED AT THE EXISTIMG EXTERNOR OF THE BUILDING.

28. THE ENTIRE WORK AREA SHALL BE DELIVERED TO THE OWNER IN PROPER WORKING

MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND

ACCEPTABLE CONSTRUCTION. INSTALLATION. OR OPERATION OF ANY PART OF THE WORK AS DETERMINED BY THE ARCHITECT, SHALL BE INCLUDED IN THE WORK THE SAME AS IF

CONTRACTORS ARE TO FILE INSURANCE CERTIFICATE AND OBTAIN ALL PERMITS. SCHEDULE

OF OCCUPANCY. NO WORK SHALL START PRIOR TO OBTAINING PERMITS

GENERAL CONTRACTOR SHALL CARRY PROPERTY DAMAGE INSURANCE AND PUBLIC

LIABILITY INSURANCE, WORKMAN'S COMPENSATION, AUTO INSURANCE, GENERAL

THE ARCHITECT HAS INDICATED AND ESTIMATED CERTAIN CONDITIONS, EITHER NOT

LIABILITY AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES AND AS OWNER REQUIRES

SHOWN OR NOT CONSIDERED RELIABLE ON OLDER DRAWINGS FURNISHED TO ARCHITEC

BY OWNER, OR NOT MEASURABLE DUE TO TOTAL ABSENCE OF ANY DRAWINGS, OR TOO

THE ARCHITECT THEREFORE TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THESE

ANY WORK THAT MUST BE DON ADDITIONALLY IN AREAS WHERE INFORMATION OR

LOCAL AUTHORITIES. NEIGHBORHOOD ASSOCIATIONS. AND ANY OTHER GOVERNING

ALL INDICATED SURVEY MATERIAL IS FOR GENERAL REFERENCE ONLY. THE ARCHITECT

ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR CORRECTNESS OF ANY OF THE

CONTRACTORS SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING AND NEW

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF CONSTRUCTION

CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE,

AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM

DRAWINGS MAY BE ROUGH SCALED FOR ESTIMATING AND GENERAL PURPOSE, BUT ARE

CONTRACTOR SHALL LAY OUT WORK AND BE RESPONSIBLE FOR ITS CORRECTNESS AND

BY STARTING ANY WORK, CONTRACTOR SIGNIFIES ACCEPTANCE OF THE PREVIOUSLY

CONTRACTOR TO ORDER SPECIFIC MATERIALS INDICATED HEREIN IMMEDIATELY AFTER

OF THE ARCHITECT, AND CONTRACTOR WILL BE HELD LIABLE FOR DELAYS CAUSED BY

INSTALLED MATERIALS AND FRAMING, AND WAIVES ANY RIGHT TO BLAME PRIOR WORK

BEING AUTHORIZED TO PROCEED. THE SUBSTITUTIONS PERMITTED WITHOUT APPROVAL

CONTRACTOR IS TO DESIGN AND INSTALL ADEQUATE AND CODE APPROVED SHORING AND

ASSUME FULL AND SOLE RESPONSIBILITY FOR STRUCTURAL ADEQUACY THE SHORING, AND DS

FOR ANY INJURIES, DAMAGE, CRACKS, OR DEFECTS CAUSED BY SHORING OR BRACING, AND DTL/DET

BRACING WHERE NEEDED TO SAFELY COMPLETE STRUCTURAL WORK. CONTRACTOR TO

ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL PAYMENT. THE GENERAL

SUBCONTRACTOR'S WORK, AGAINST DEFECTS RESULTING FROM THE USE OF INTERIOR

ALL SUCH DEFECTS ARE TO BE REPLACED OR REPAIRED, COMPLETE WITH LABOR AND

SUBSTITUTIONS OF FOUIPMENT OR MATERIALS OTHER THAN THOSE SHOWN ON THE

DRAWINGS OR IN THE SPECIFICATIONS SHALL BE MADE ONLY UPON APPROVAL OF THE

ARCHITECT OR OWNER AS NOTED ON THE DRAWINGS OR IN THESE SPECIFICATIONS. T

ORDER FOR FABRICATION AND/OR SHIPMENTS. THE ARCHITECT RESERVES THE RIGHT TO

DISAPPROVE SUCH SUBSTITUTION. PROVIDED IN HIS SOLE OPINION. THE ITEM OFFERED I

NOT FOLIAL OF THE ITEM SPECIFIED. WHERE A CONTRACTOR PURPOSES TO USE AN ITEM

THER THAN THAT SPECIFIED OR DETAILED ON THE DRAWINGS. WHICH REQUIRES ANY

REDESIGN OF THE STRUCTURE, PARTITIONS, PIPING, WIRING OR OF ANY OTHER PART OF

IEW DRAWINGS AND DETAILING REQUIRED THEREFOR SHALL, WITH THE APPROVAL OF

ALL WORK SHALL BE INSTALLED SO THAT ALL PARTS REQUIRED ARE READILY ACCESSIBLE

22. UPON COMPLETION OF THE WORK, THE ENTIRE PROJECT IS TO BE COMPLETELY CLEANED

AND THE SITE RESTORED TO EXISTING CONDITION, INCLUDING, BUT NOT LIMITED TO, THE

COMPLETE SWEEPING OF ALL AREAS, AND REMOVAL OF ALL RUBBISH AND DEBRIS.

REMOVAL OF STAINS, AND PAINT FROM GLASS, HARDWARE, FINISHED FLOORING,

REMOVAL OF ALL LABELS FROM GLASS, FIXTURES, AND EQUIPMENT, ETC. AND SPRAY

PROFESSIONAL INTERIOR AND EXTERIOR FINAL CLEANING OF THE ENTIRE STRUCTURE.

DRAWINGS MAY BE MADE TO ACCOMPLISH THIS, BUT CHANGES OF MAGNITUDE SHALL

THE ARCHITECT, BE PREPARED BY THE CONTRACTOR AT HIS OWN EXPENSE.

NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT

EXCEPT THAT CAUSED BY OWNER OR OTHER DOING N.I.C. WORK

HE MECHANICAL, ELECTRICAĹ, OR ARCHITÉCTURAĹ LAYOUT, ALL SUCH REDESIGN, AND ALL FT

FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR. MINOR DEVIATIONS FROM THE GCT

MATERIALS, EQUIPMENT, OR WORKMANSHIP, AS DETERMINED SOLELY BY THE ARCHITECT.

CONTRACTOR IS TO FURNISH WRITTEN GUARANTEE ON HIS WORK AND ALI

NOT TO BE SCALED FOR CONSTRUCTION LOCATIONS, DIMENSIONS, OR ANY OTHER

PURPOSES. CONSULT WITH THE ARCHITECT FOR FINAL SIZES, DIMENSIONS, AND

DEBRIS. RUBBISH AND OFF SITE DISPOSAL IN A RESPONSIBLE MANOR

SAFETY, AND SHALL GIVE NECESSARY DIMENSIONS TO ALL PARTIES.

CONTRACTOR'S FAILURE TO ORDER MATERIAL PROMPTLY

SHALL REPAIR ALL SUCH DAMAGE AT HIS SOLE EXPENSE

ENTRY BY UNAUTHORIZED PARTIES.

FOR ANY DEFECTS IN HIS OWN WORK.

MATERIALS, AT NO COST TO OWNER.

LEANING OF ALL GLASS /MIRRORS

DRAWINGS FOR BIDDING SCOPE ONLY, AND WILL FURNISH MORE DETAILED INFORMATION

LATER WHEN AREAS ARE ACTUALLY ACCESSIBLE AND MEASURABLE, BY THE CONTRACTORS

INDICATIONS WHERE WORK IN LAID OUT, SHALL BE BILLED TO THE OWNER AS AN EXTRA

CONTRACTORS SHALL COORDINATE ALL WORK PROCEDURES AND WORKING HOURS WITH

DAMAGE CAUSED BY THE EXECUTION OF THE WORK INDICATED OR IMPLIED HEREIN SHALL

BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S SOLE \mid BRD

CHARGE, SUBJECT TO THE ARCHITECTS APPROVAL OF AN ITEMIZED COST BREAKDOWN.

NACCESSIBLE TOO INACCESSIBLE TO VERIFY IN THE FIELD PRIOR TO PREPARING DRAWINGS

ALL REQUIRED INSPECTIONS WITH NOTIFICATION TO INSPECTORS AND ARCHITECT. OBTAIN ALL CODE APPROVALS AND HEMLI CERTIFICATES, AND FILE FOR AND OBTAIN CERTIFICATE

THE ARCHITECT DOES NOT HAVE CONSTRUCTION SUPERVISION RESPONSIBILITY AND HERE

CONTRACTOR/OWNER TO SCHEDULE AND PAY FOR ALL INSPECTIONS AS REQUIRED BY THE JURISDICTION HAVING AUTHORITY OVER THE PROJECT.

HARDWIRED SYSTEM AS PER CODE THROUGHOUT ENTIRE DWELLING

ALL PLUMBING & ELECTRICAL WORK TO MEET ALL LOCAL, STATE, AND FEDERAL CODE.

PLUMBING TO REMAIN IS CODE COMPLIANT GENERAL CONTRACTOR TO NOTIFY OWNER AND ARCHITECT OF ANY UNFORESEEN CONDITIONS THAT MAY ARISE.

ALL NEW PLUMBING FIXTURES TO BE SELECTED BY OWNER.

BE PATCHED & REPAIRED TO MATCH EXISTING BY THE CONTRACTOR.

PLUMBING, FIRE PROTECTION DEVICES AND FIXTURES, AS WELL AS, EXISTING FINISHES TO REMAIN TO PROPERLY ACCOMMODATE AND INTEGRATE THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS.

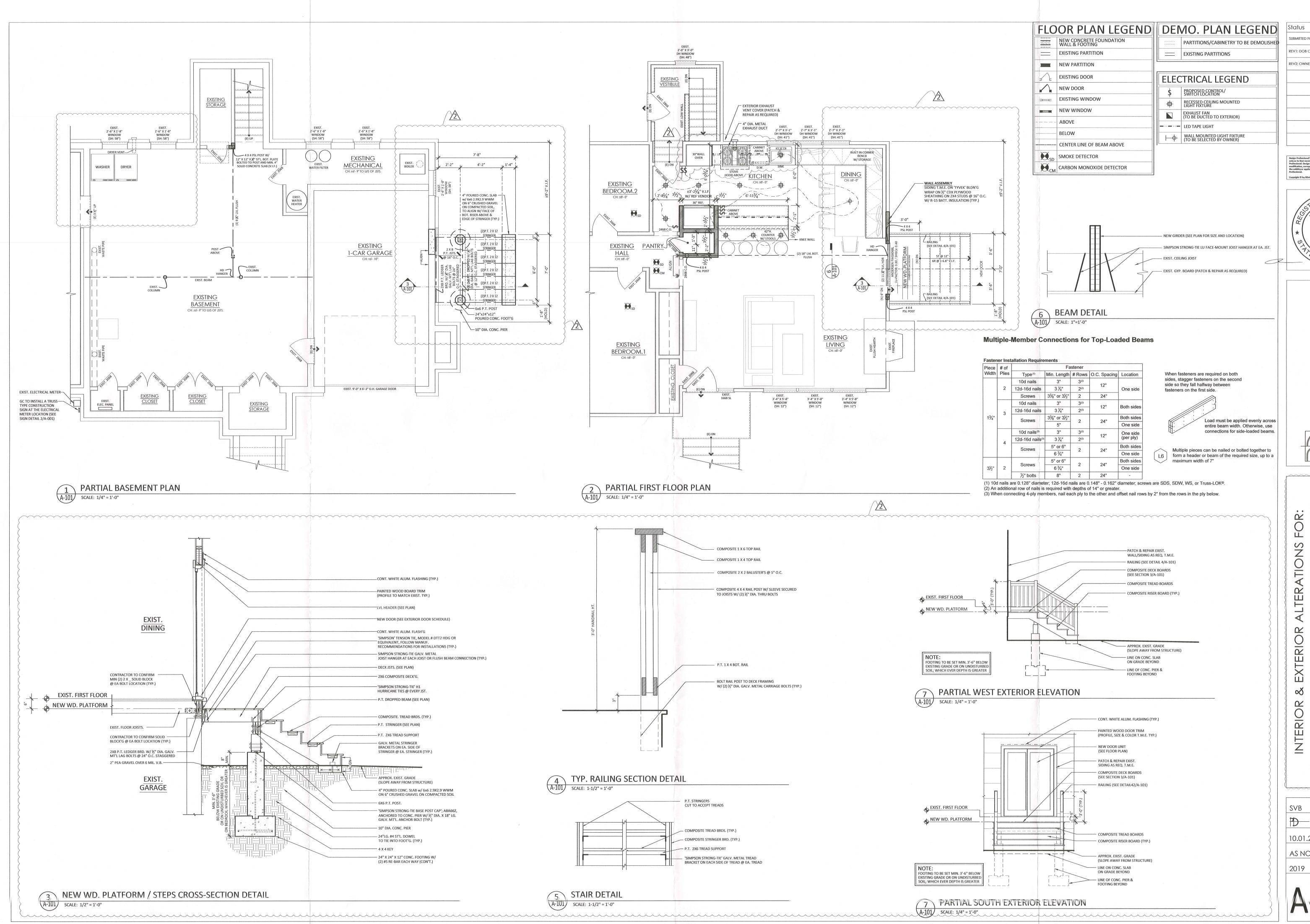
- UNLESS OTHERWISE INDICATED ALL EXTERIOR/INTERIOR WINDOWS, EXTERIOR/INTERIOR
- FOR JOISTS SPANNING 10'-0" OR MORE, INSTALL ONE (1) ROW OF SOLID CROSS
- ALL DROPPED SOFFITS ARE TO BE FRAMED W/ 2 X 4 FRAMING @ 16" O.C. UNLESS NOTED
- CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO COORDINATE ALL SWITCHES,

A-001/ SCALE: 1" = 30'-0"

REFLECTIVE RED PANTONE #187 TRUSS TYPE CONSTRUCTION NOTIFICATION SIGN SCALE: NTS



SITE PLAN



Status Date
SUBMITTED FOR PERMIT 11.03.20
REV1: DOB COMMENTS 11.23.20
REV2: OWNER COMMENTS 06.18.21

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STCOIO

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INTERIOR & EXTERIOR ALTERATIONS FOR:

PAOLO AND CRISTINA D. ALAMPI
15 ELIZABETH PL, ARMONK, NY 10504

Drawn
SVB
Checked
Date
10.01.20
Scale
AS NOTED
Job Number
2019

A-101



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

January 29, 2019 Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Applica	tion Name or	Identifying Title:	Interior & Exterior Altera	ations _ Alampi Residence	Date: 07.01.21
Tax Ma	p Designatio	n or Proposed Lot No	108.01-1-3		
Floor A	<u>rea</u>				
1.	Total Lot A	rea (Net Lot Area for	Lots Created After	r 12/13/06):	20,840.46 SF
2.	Maximum	permitted floor area (J	per Section 355-26	5.B(4)):	6,383.68 SF
3.	Amount of	floor area contained w _ existing + 0	vithin first floor: proposed =	_	1,332 SF
4. -	Amount of	floor area contained w _ existing + 0		:	0 SF
5. -	Amount of	floor area contained w _ existing + _262 SF		_	262 SF
6. -	Amount of	floor area contained w _ existing + 0		able of being enclosed:	0 <u>SF</u>
7. -	Amount of		vithin basement (if proposed =	applicable – see definition): –	1, <u>070</u> SF
8. -	Amount of	floor area contained w _ existing + 0		icable – see definition): –	0
9. -	Amount of	floor area contained w _ existing + o		buildings: _	192 SF
10. Pro	posed fl	oor area: Total of Lir	$1 = 3 - 9 = $ _		2,664 SF
and the	project may p		al Project Review	nplies with the Town's maxi Committee for review. If Lin	
					07.01.21
Signatu	re and Seal o	f Professional Prepari	ng Worksheet		Date



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair Telephone: (914) 273-3000 x43 Fax: (914) 273-3554 www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residental review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential perm its (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

- 1. Complete all items on the RPRC checklist
- 2. RPRC Application fee. Check made payable to: Town of North Castle.
- 3. Floor Area and Gross Land Coverage work sheets (with backup information)
- 4. Plans for your project according the RPRC Checklist
- 5. Submit one single PDF file containg all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at http://www.northcastleny.com/residential-project-review-committee-rprc

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1:00 p.m.)



Town of North Castle Residential Project Review Committee

17 Bedford Road Armonk, New York 10504 (914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Interior & Exterior Alterations - Alampi residence			
☐Initial Submittal ■Revised Preliminary			
Street Location: 15 Elizabeth Place, Armonk NY			
Zoning District: R-10 Property Acreage: 0.478 Tax Map Parcel ID: 108.01-1-3			
Date:			
DEPARTMENTAL USE ONLY			
Date Filed: Staff Name:			
Preliminary Plan Completeness Review Checklist Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.			
Plan prepared by a registered architect or professional engineer			
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacen properties and streets			
3. Map showing the applicant's entire property and adjacent properties and streets			
1. A locator map at a convenient scale			
The proposed location, use and design of all buildings and structures			
Existing topography and proposed grade elevations			
7. Location of drives			
3. Location of all existing and proposed site improvements, including drains, culverts retaining walls and fences			

RPRC COMPLETENESS REVIEW FORM

Page 2

Description of method of water supply and sewage disposal and location of such facilities		
10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work		
Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District		
2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.		
3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.		
More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: http://www.northcastleny.com/townhall.html		
1,332 SF On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.		



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Appli	cation Name or Identifying Title:	Date:	07.01.21
Tax M	Map Designation or Proposed Lot No.: 108.01-1-3		
Gross	Lot Coverage		
1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):		20,840.46 SF
2.	Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):		6,383.68 SF
3.	BONUS maximum gross land cover (per Section 355-26.C(1)(b)):		
	Distance principal home is beyond minimum front yard setback x 10 =		13.33' x 10 = 133.33
4.	TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and	d 3	6,516.98 SF
5.	Amount of lot area covered by principal building:		1,332 SF
6.	Amount of lot area covered by accessory buildings:		192 SF
7.	Amount of lot area covered by decks: o existing + 58 SF proposed =		58 SF
8.	Amount of lot area covered by porches: $ \underline{\text{30 SF}} \text{existing} + \underline{\text{0}} \text{proposed} = $		30 SF
9.	Amount of lot area covered by driveway, parking areas and walkways: 1,232 SF existing + 0 proposed =		1,232 SF
10.	Amount of lot area covered by terraces: $ \underline{\text{307 SF}} $ existing + $\underline{\text{0}}$ proposed =		307 SF
11.	Amount of lot area covered by tennis court, pool and mechanical equip: o existing + o proposed =	:	0
12.	Amount of lot area covered by all other structures: o existing + o proposed =		0
13. Pr	roposed gross land coverage: Total of Lines $5 - 12 =$		+/- 3,151 SF
the pr	e 13 is less than or equal to Line 4, your proposal complies with the Town's oject may proceed to the Residential Project Review Committee for review. In comply with the Town's regulations.		
		07.01.21	
Signa	ture and Seal of Professional Preparing Worksheet	Date	