



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 15 Elizabeth Place.

Section III- DESCRIPTION OF WORK:

New exterior door + wood Platform w/stairs

Section III- CONTACT INFORMATION:

APPLICANT: Paolo Lampi.
ADDRESS: 15 Elizabeth Place
PHONE: 914-755-2600 MOBILE: _____ EMAIL: Paololampi@gmail.com

PROPERTY OWNER: Same as above

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____

EMAIL: _____

Section IV- PROPERTY INFORMATION:

Zone: R-10 Tax ID (lot designation) 108.01-1-3



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

interior alteration of existing kitchen and basement

Initial Submittal Revised Preliminary

Street Location:

15 Elizabeth Pkce.

Zoning District: R-10 Property Acreage: .49 Tax Map Parcel ID: 108.01-1-3

Date: 8/9/2021

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

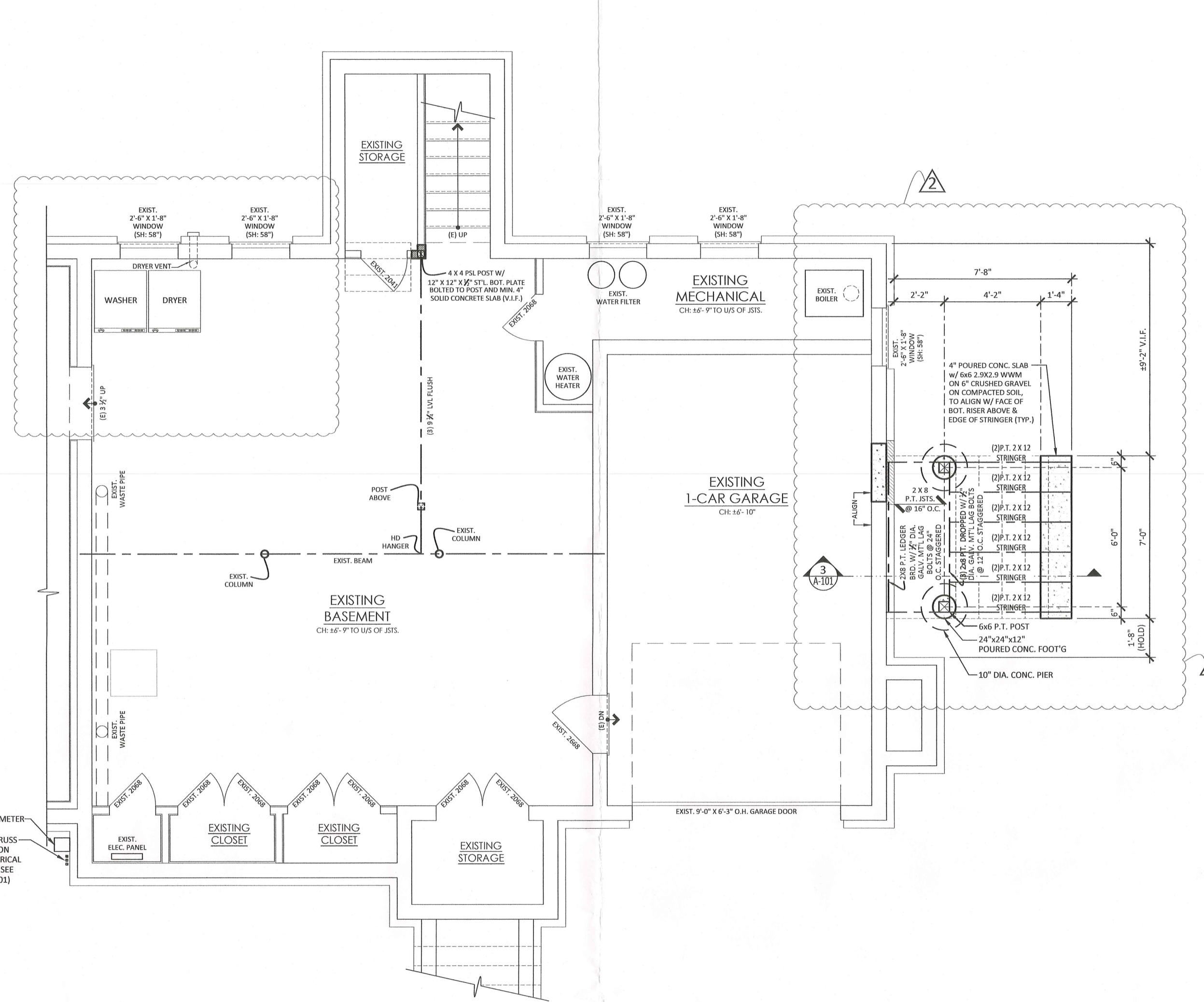
RPRC COMPLETENESS REVIEW FORM

Page 2

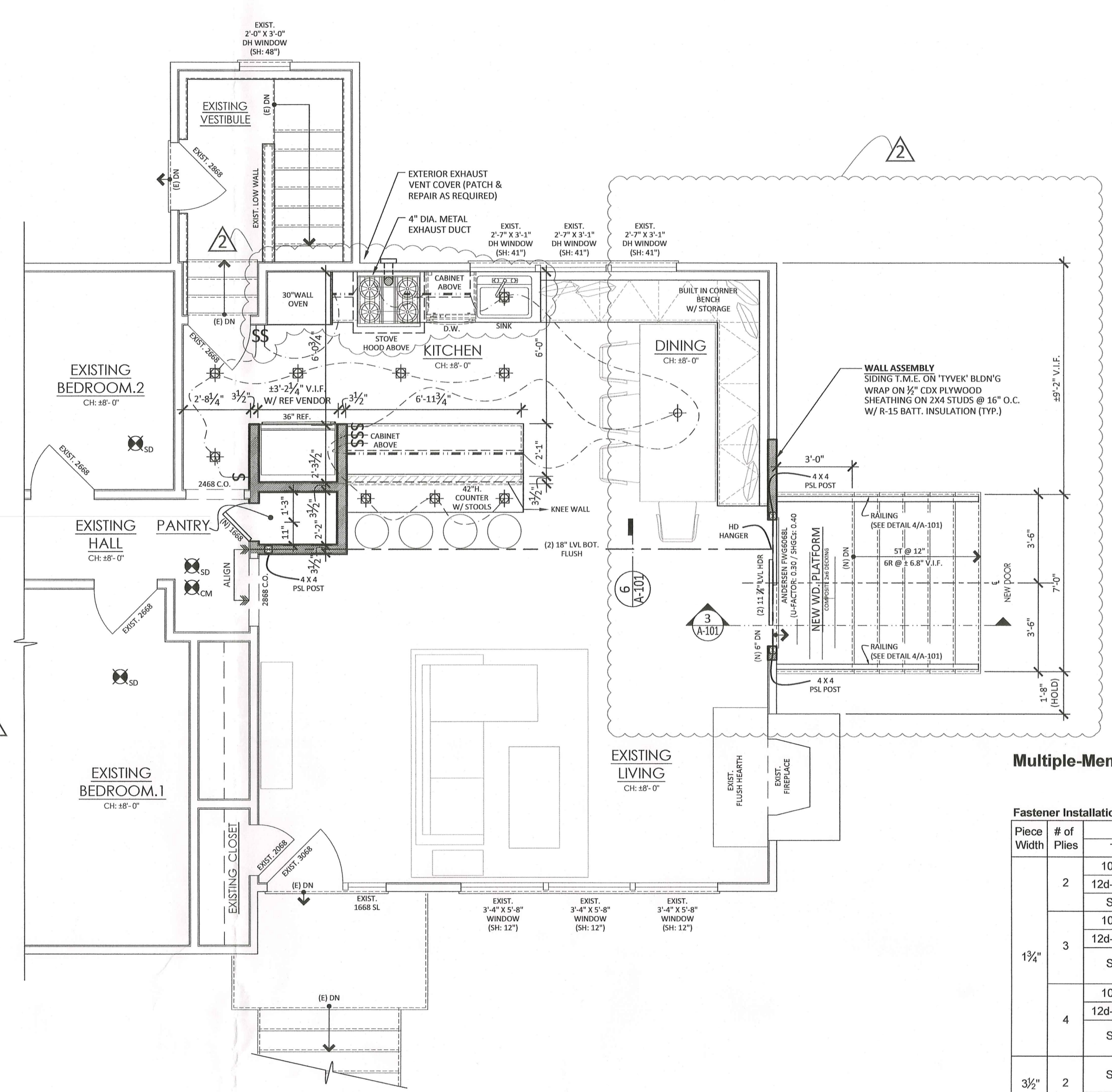
- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



1 PARTIAL BASEMENT PLAN
SCALE: 1/4" = 1'-0"



2 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

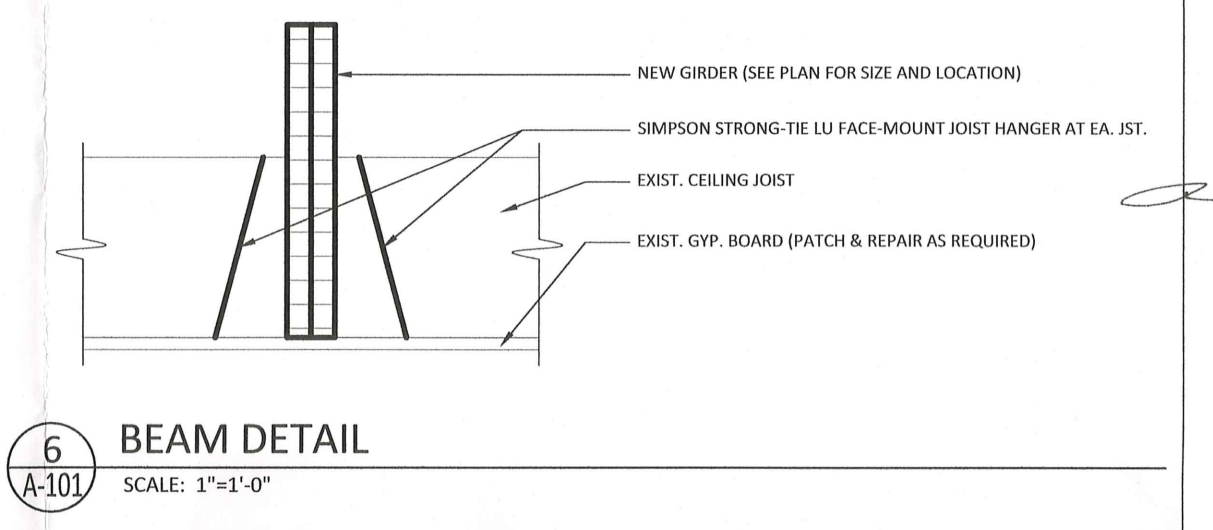
- NEW CONCRETE FOUNDATION WALL & FOOTING
- EXISTING PARTITION
- NEW PARTITION
- EXISTING DOOR
- NEW DOOR
- EXISTING WINDOW
- NEW WINDOW
- ABOVE
- BELOW
- CENTER LINE OF BEAM ABOVE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

DEMO. PLAN LEGEND

- PARTITIONS/CABINETS TO BE DEMOLISHED
- EXISTING PARTITIONS

ELECTRICAL LEGEND

- PROPOSED CONTROL SWITCH LOCATION
- RECESSED CEILING MOUNTED LIGHT FIXTURE
- EXHAUST FAN (TO BE DUCTED TO EXTERIOR)
- LED TAPE LIGHT
- WALL MOUNTED LIGHT FIXTURE (TO BE SELECTED BY OWNER)



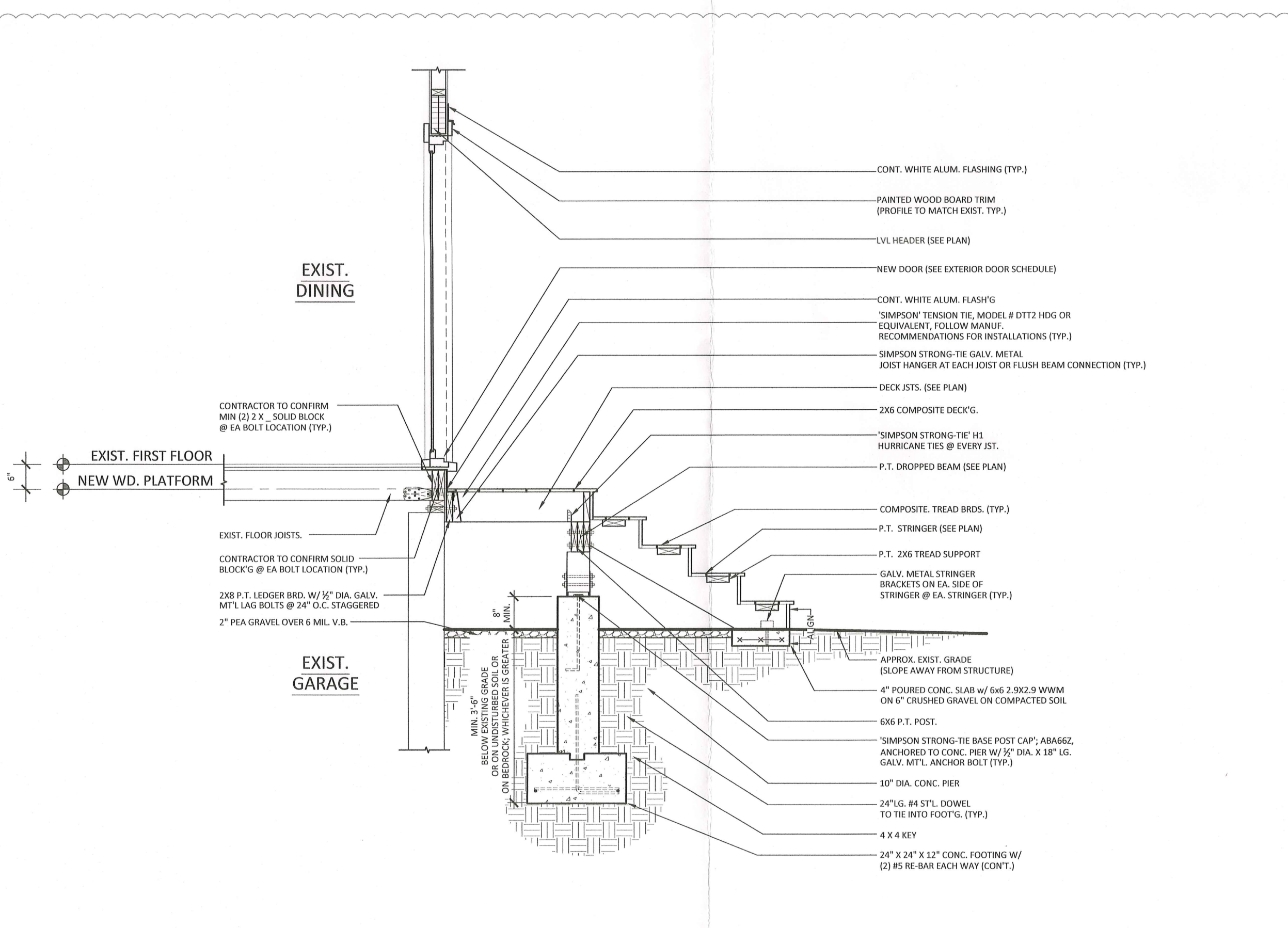
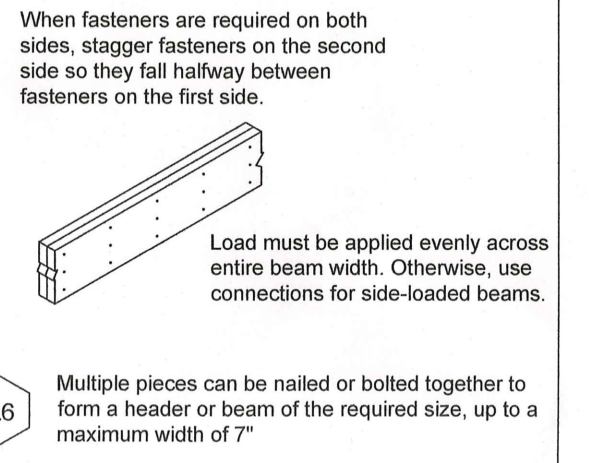
6 BEAM DETAIL
SCALE: 1" = 1'-0"

Multiple-Member Connections for Top-Loaded Beams

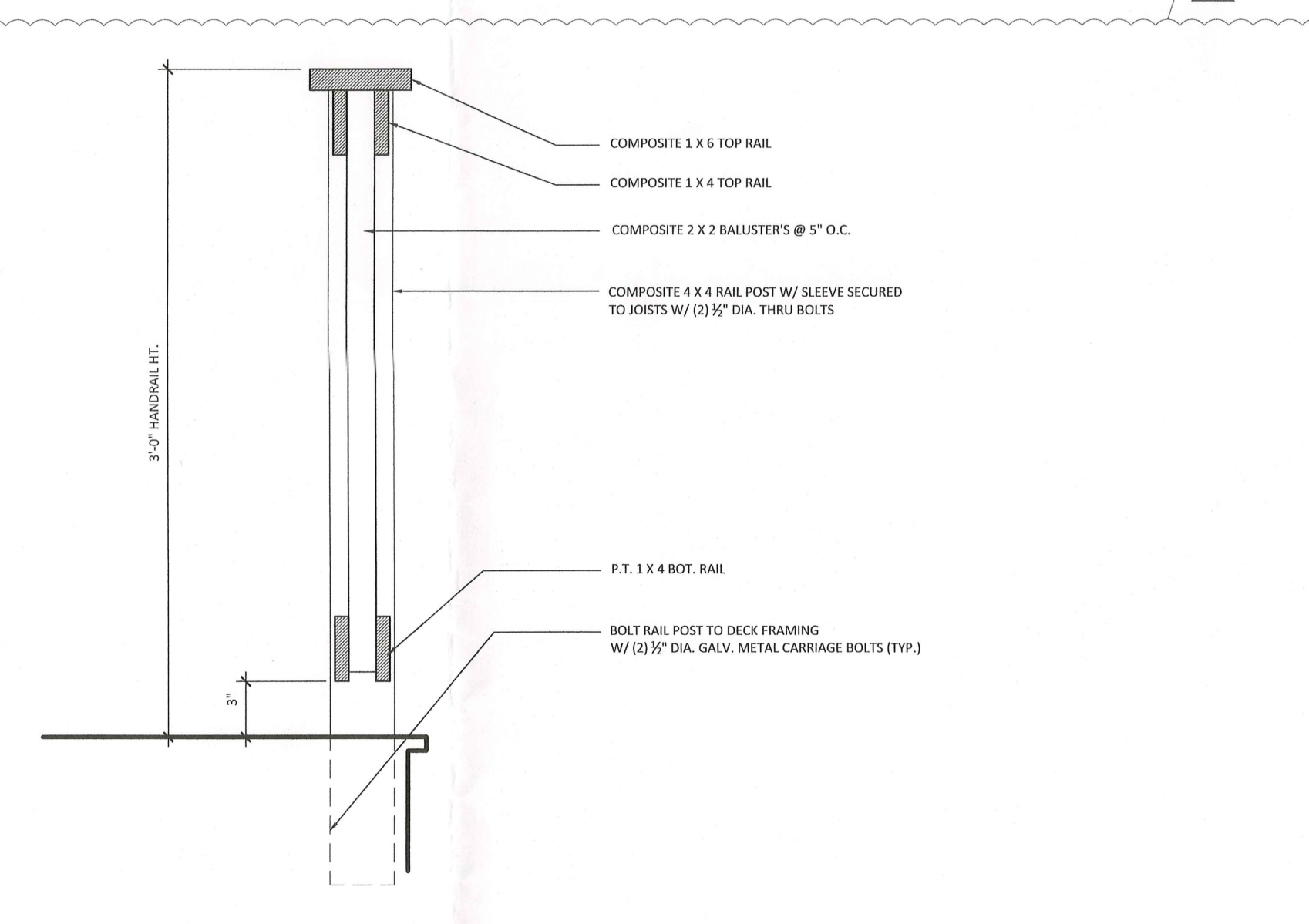
Fastener Installation Requirements

Piece Width	# of Plies	Type ⁽¹⁾	Min. Length	# Rows	O.C. Spacing	Location	
2	12d-16d nails	3 3/4"	3"	2 ⁽²⁾	12"	One side	
		Screws	3 3/4" or 3 1/2"	2	24"	One side	
	1 1/2"	12d-16d nails	3"	3"	2 ⁽²⁾	12"	Both sides
		Screws	3 3/4" or 3 1/2"	2	24"	Both sides	
3/2"	10d nails ⁽¹⁾	5"	3"	2 ⁽²⁾	24"	One side (per ply)	
		12d-16d nails ⁽¹⁾	3 3/4"	2 ⁽²⁾	12"	Both sides	
	Screws	5" or 6"	3"	2	24"	One side	
		6 3/4"	2	24"	Both sides		
3 1/2"	Screws	5" or 6"	3"	2	24"	One side	
		6 3/4"	2	24"	One side		

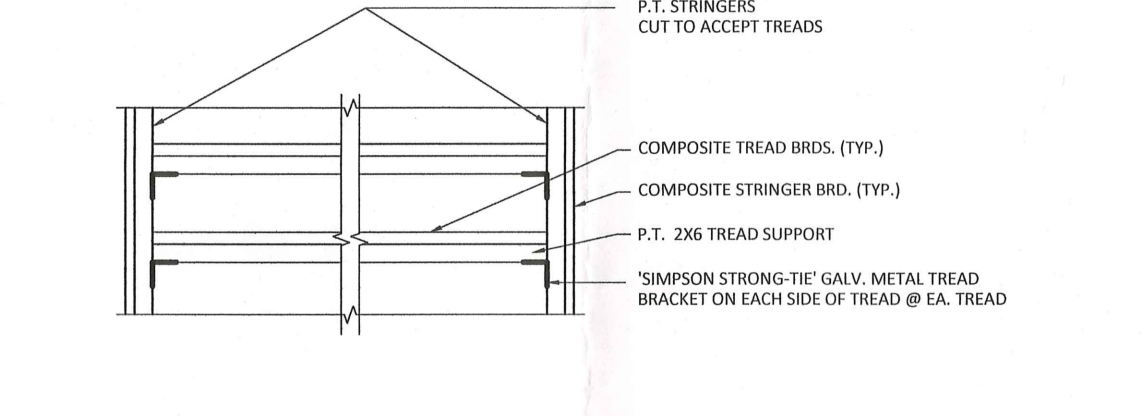
(1) 10d nails are 0.128" diameter; 12d-16d nails are 0.148" - 0.162" diameter; screws are SDS, SDW, WS, or Truss-LOK®.
 (2) An additional row of nails is required with depths of 14" or greater.
 (3) When connecting 4-ply members, nail each ply to the other and offset nail rows by 2" from the rows in the ply below.



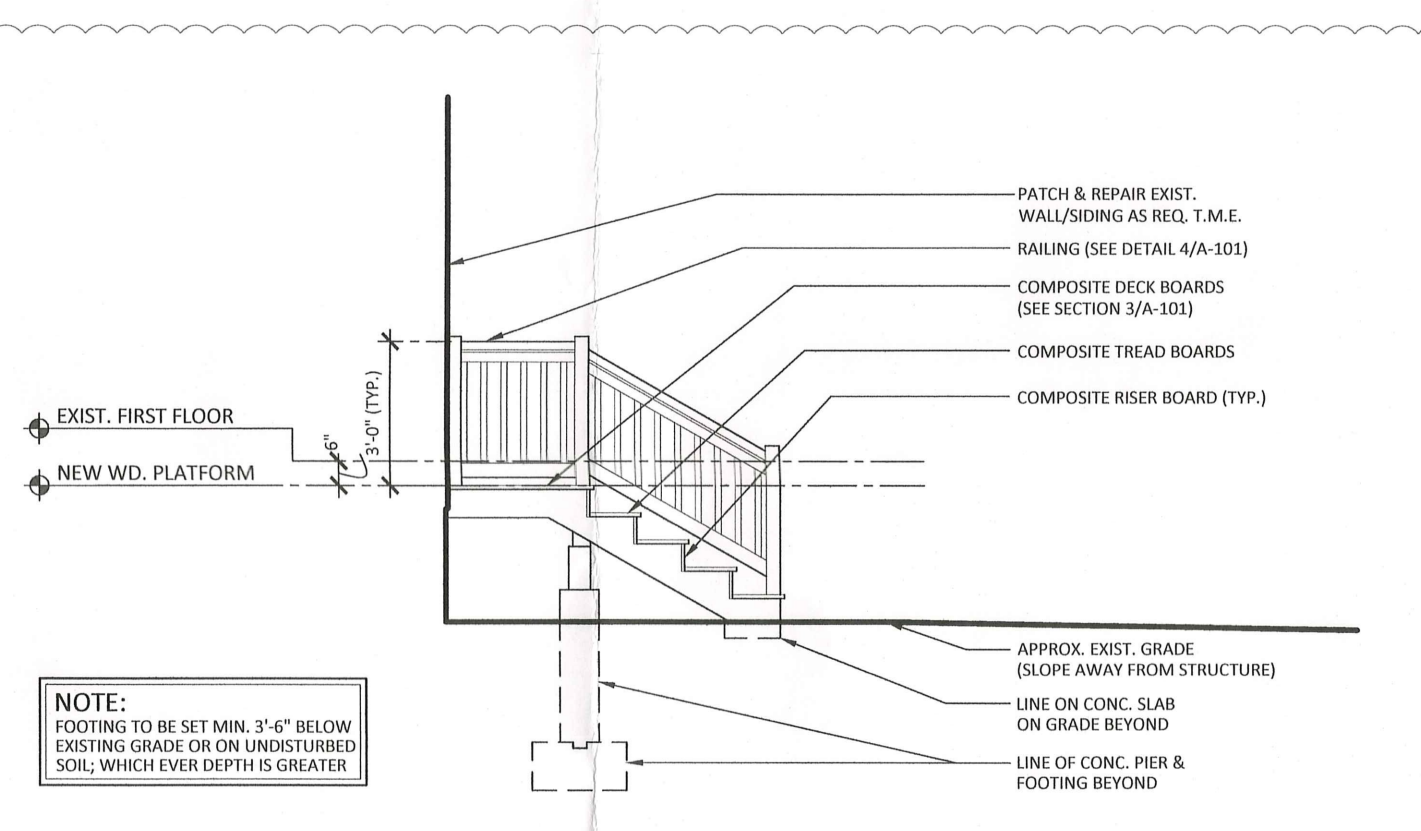
3 NEW WD. PLATFORM / STEPS CROSS-SECTION DETAIL
SCALE: 1/2" = 1'-0"



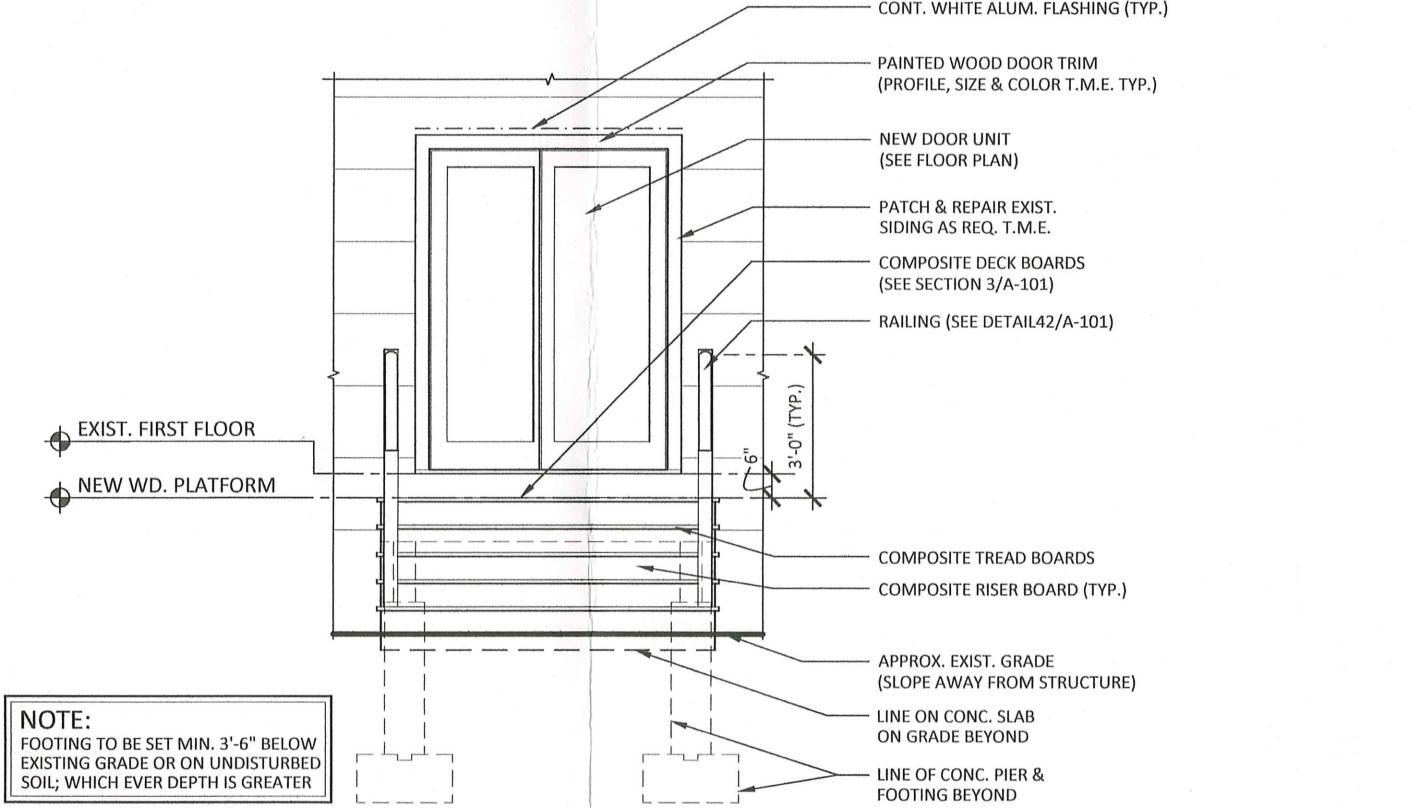
4 TYP. RAILING SECTION DETAIL
SCALE: 1-1/2" = 1'-0"



5 STAIR DETAIL
SCALE: 1-1/2" = 1'-0"



7 PARTIAL WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



7 PARTIAL SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

Status Date

SUBMITTED FOR PERMIT 11.03.20

REV1: DOB COMMENTS 11.23.20

REV2: OWNER COMMENTS 06.18.21



studio
design + planning
303 waverly street - port charter - new york - 10273
e: 914.746.0334 - e: ralf@studioinc.com

INTERIOR & EXTERIOR ALTERATIONS FOR:
PAOLO AND CRISTINA D. ALAMPI
15 ELIZABETH PL., ARMONK, NY 10504

CONSTRUCTION FLOOR PLANS, SECTIONS, ELEVATIONS

Drawn SVB

Checked

Date 10.01.20

Scale AS NOTED

2019

Sheet

A-101



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Interior & Exterior Alterations _ Alampi Residence Date: 07.01.21

Tax Map Designation or Proposed Lot No.: 108.01-1-3

Floor Area

- | | | |
|-----|--|---------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>20,840.46 SF</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>6,383.68 SF</u> |
| 3. | Amount of floor area contained within first floor:
— <u>1,332 SF</u> existing + <u>0</u> proposed = — | <u>1,332 SF</u> |
| 4. | Amount of floor area contained within second floor:
— <u>0</u> existing + <u>0</u> proposed = — | <u>0 SF</u> |
| 5. | Amount of floor area contained within garage:
— <u>0</u> existing + <u>262 SF</u> proposed = — | <u>262 SF</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
— <u>0 SF</u> existing + <u>0</u> proposed = — | <u>0 SF</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
— <u>1,070 SF</u> existing + <u>0</u> proposed = — | <u>1,070 SF</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
— <u>0 SF</u> existing + <u>0</u> proposed = — | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
— <u>0</u> existing + <u>0</u> proposed = — | <u>192 SF</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = — | <u>2,664 SF</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

07.01.21
Date



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RESIDENTIAL PROJECT
REVIEW COMMITTEE
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RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department:
planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)



**Town of North Castle
Residential Project Review Committee**

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RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Interior & Exterior Alterations - Alampi residence

Initial Submittal Revised Preliminary

Street Location: 15 Elizabeth Place, Armonk NY

Zoning District: R-10 Property Acreage: 0.478 Tax Map Parcel ID: 108.01-1-3

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

1,332 SF On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT
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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: _____ Date: 07.01.21

Tax Map Designation or Proposed Lot No.: 108.01-1-3

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 20,840.46 SF
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 6,383.68 SF
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
 x 10 = 13.33' x 10 = 133.33
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 6,516.98 SF
5. Amount of lot area covered by **principal building**:
1,332 SF existing + 0 proposed = 1,332 SF
6. Amount of lot area covered by **accessory buildings**:
192 SF existing + 0 proposed = 192 SF
7. Amount of lot area covered by **decks**:
0 existing + 58 SF proposed = 58 SF
8. Amount of lot area covered by **porches**:
30 SF existing + 0 proposed = 30 SF
9. Amount of lot area covered by **driveway, parking areas and walkways**:
1,232 SF existing + 0 proposed = 1,232 SF
10. Amount of lot area covered by **terraces**:
307 SF existing + 0 proposed = 307 SF
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 0 proposed = 0
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = +/- 3,151 SF

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

07.01.21
Date