



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 2 SHOEMAKER LANE, ARMONK, NEW YORK, 10504

Section III- DESCRIPTION OF WORK:

PROPOSED SECOND STORY AND DRIVEWAY EXPANSION.

Section III- CONTACT INFORMATION:

APPLICANT: JAIME SALOMON

ADDRESS: 2 SHOEMAKER LANE, ARMONK, NY 10504

PHONE: MOBILE: EMAIL: JAIME119@AOL.COM

PROPERTY OWNER: JAIME SALOMON

ADDRESS: 2 SHOEMAKER LANE, ARMONK, NY 10504

PHONE: MOBILE: EMAIL: JAIME119@AOL.COM

PROFESSIONAL: RALPH ALFONZETTI

ADDRESS: 1100 ROUTE 52, CARMEL, NY 10512

PHONE: 845-228-9800 MOBILE:

EMAIL: INFO@ALFONZETTIENG.COM

Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 108.02-1-9



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: SALOMON RESIDENCE

Initial Submittal Revised Preliminary

Street Location:
2 SHOEMAKER LANE, ARMONK, NY 10504

Zoning District: R-1A Property Acreage: 2.02 Tax Map Parcel ID: 101.03-2-7.6

Date: 08/10/2021

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: SALOMON RESIDENCE Date: 08/10/2021

Tax Map Designation or Proposed Lot No.: 101.03-2-7.6

Gross Lot Coverage

- | | | |
|-------------|--|----------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>83,068.9 S.F.</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>12,905.8 S.F.</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback | |
| <u>21.1</u> | x 10 = <u>211</u> | <u>211 S.F.</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>13,116.8 S.F.</u> |
| 5. | Amount of lot area covered by principal building : | |
| | <u>0</u> existing + <u>3422</u> proposed = | <u>3,422.0 S.F.</u> |
| 6. | Amount of lot area covered by accessory buildings : | |
| | <u>0</u> existing + <u>0</u> proposed = | <u>0 S.F.</u> |
| 7. | Amount of lot area covered by decks : | |
| | <u> </u> existing + <u>0</u> proposed = | <u>0 S.F.</u> |
| 8. | Amount of lot area covered by porches : | |
| | <u>0</u> existing + <u>355</u> proposed = | <u>355.0 S.F.</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways : | |
| | <u>0</u> existing + <u>5063</u> proposed = | <u>5,063.0 S.F.</u> |
| 10. | Amount of lot area covered by terraces : | |
| | <u>0</u> existing + <u>0</u> proposed = | <u>0 S.F.</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip : | |
| | <u>0</u> existing + <u>800</u> proposed = | <u>800.0 S.F.</u> |
| 12. | Amount of lot area covered by all other structures : | |
| | <u>0</u> existing + <u>0</u> proposed = | <u>0 S.F.</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>9,640.0 S.F.</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

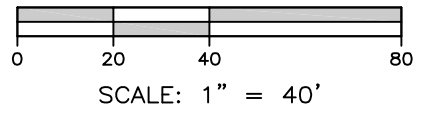
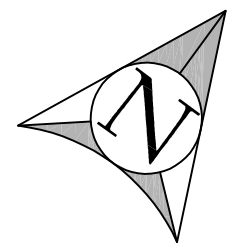
Signature and Seal of Professional Engineer



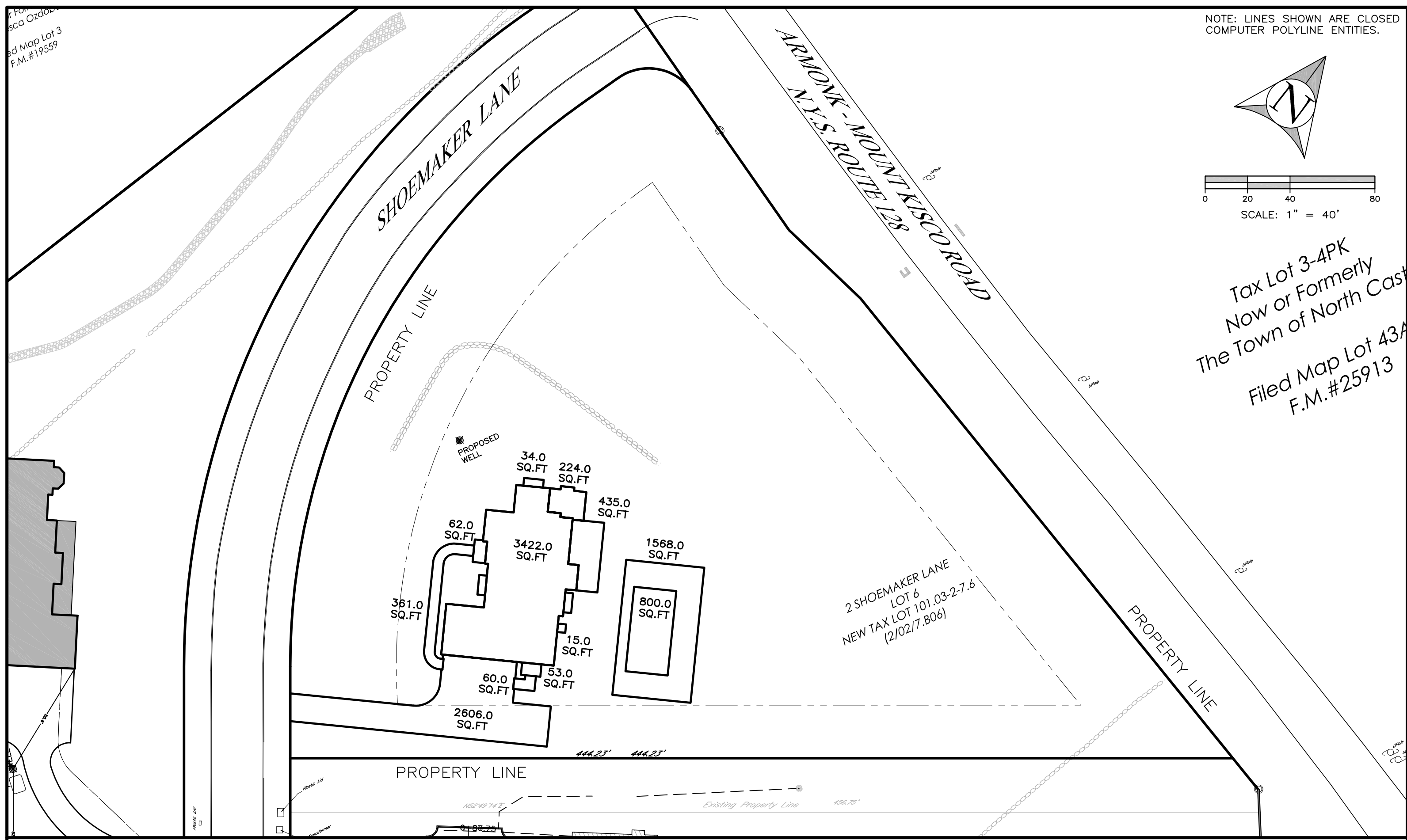
8/16/2021
Date

rd Map Lot 3
F.M.#19559

NOTE: LINES SHOWN ARE CLOSED
COMPUTER POLYLINE ENTITIES.



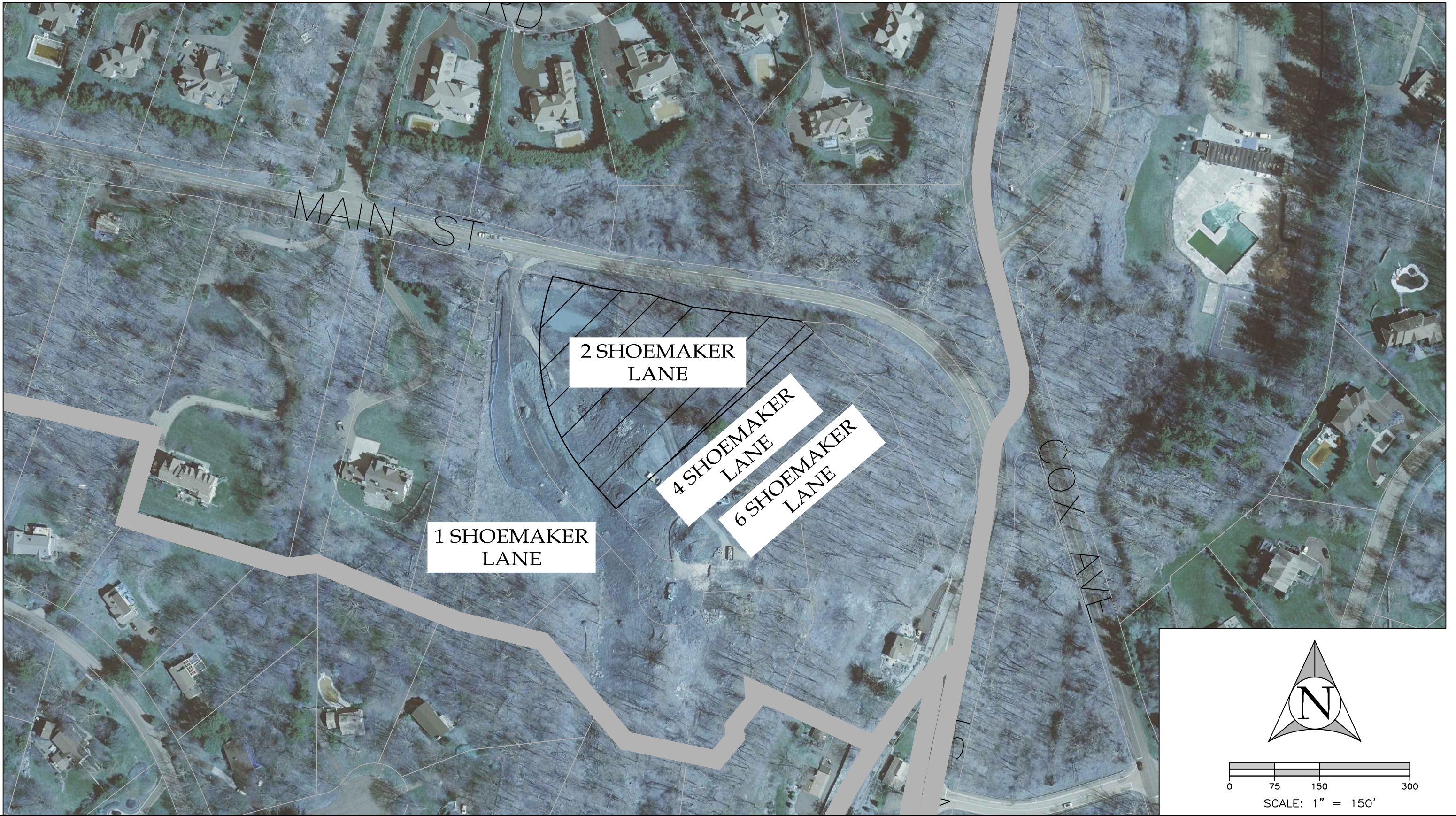
Tax Lot 3-4PK
Now or Formerly
The Town of North Castle
Filed Map Lot 43A
F.M.#25913



ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

2 SHOEMAKER LANE
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NY

GROSS LAND COVERAGE
AUGUST 13, 2021



ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

PROJECT:

2 SHOEMAKER LANE
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NEW YORK

DRAWING:

AERIAL VIEW
AUGUST 10, 2021



ALFONZETTI ENGINEERING, P.C.
 1100 ROUTE 52, CARMEL, N.Y. 10512
 845 - 228 - 9800

PROJECT:

2 SHOEMAKER LANE
 TOWN OF NORTH CASTLE,
 WESTCHESTER COUNTY, NEW YORK

DRAWING:

VICINITY MAP
 AUGUST 10, 2021

NOTE:
 1. FEATURES SHOWN HEREON ARE A COMBINATION OF AN INTERIM AS-BUILT AND PROPOSED DESIGN.



LOCATION MAP N.T.S.

ZONING TABLE

ZONE: ONE FAMILY RESIDENCE DISTRICT ZONE 'R-1A'

TOTAL LOT AREA: 1.521 ACRES

	REQUIRED/ PERMITTED	LOT 6 PROPOSED
MINIMUM LOT AREA	1 ACRE	2,016 ACRES
75% WETLAND AREA		0.000 ACRES
50% STEEP SLOPE AREA		0.109 ACRES
NET LOT AREA		1.907 ACRES
MINIMUM LOT FRONTAGE	125 FT	414.07 FT
MINIMUM LOT WIDTH	125 FT	198.5 FT
MINIMUM LOT DEPTH	150 FT	271.1 FT
FRONT YARD SETBACK	50 FT	71.1 FT
SIDE YARD SETBACK	25 FT	43.6 FT
REAR YARD SETBACK	40 FT	155.3 FT
MAXIMUM HEIGHT	30 FT	≤30 FT
MAXIMUM BUILDING COVERAGE	12%	4.3%

*MINIMUM 25 FEET REQUIRED ON A DEAD END ROAD WITH A TURNAROUND

- CONSTRUCTION NOTES:**
1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
 2. THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
 3. EROSION AND SEDIMENT CONTROL MEASURES, SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
 4. AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
 5. ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
 7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
 8. UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
 9. ALL PROPOSED OR DISTURBED SLOPES, 1:2V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
 10. IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
 11. NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.
 12. OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 270(2)(c), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C.
 1100 ROUTE 52, CARMEL, N.Y. 10512
 845 - 228 - 9800

SITE DATA

OWNER/APPLICANT:
 JAIME SALOMON

SITE ADDRESS:
 2 SHOEMAKER LANE,
 ARMONK, NY 10504

TAX MAP #:
 101.03-2-7.6

LOT AREA: 2.02 ACRES

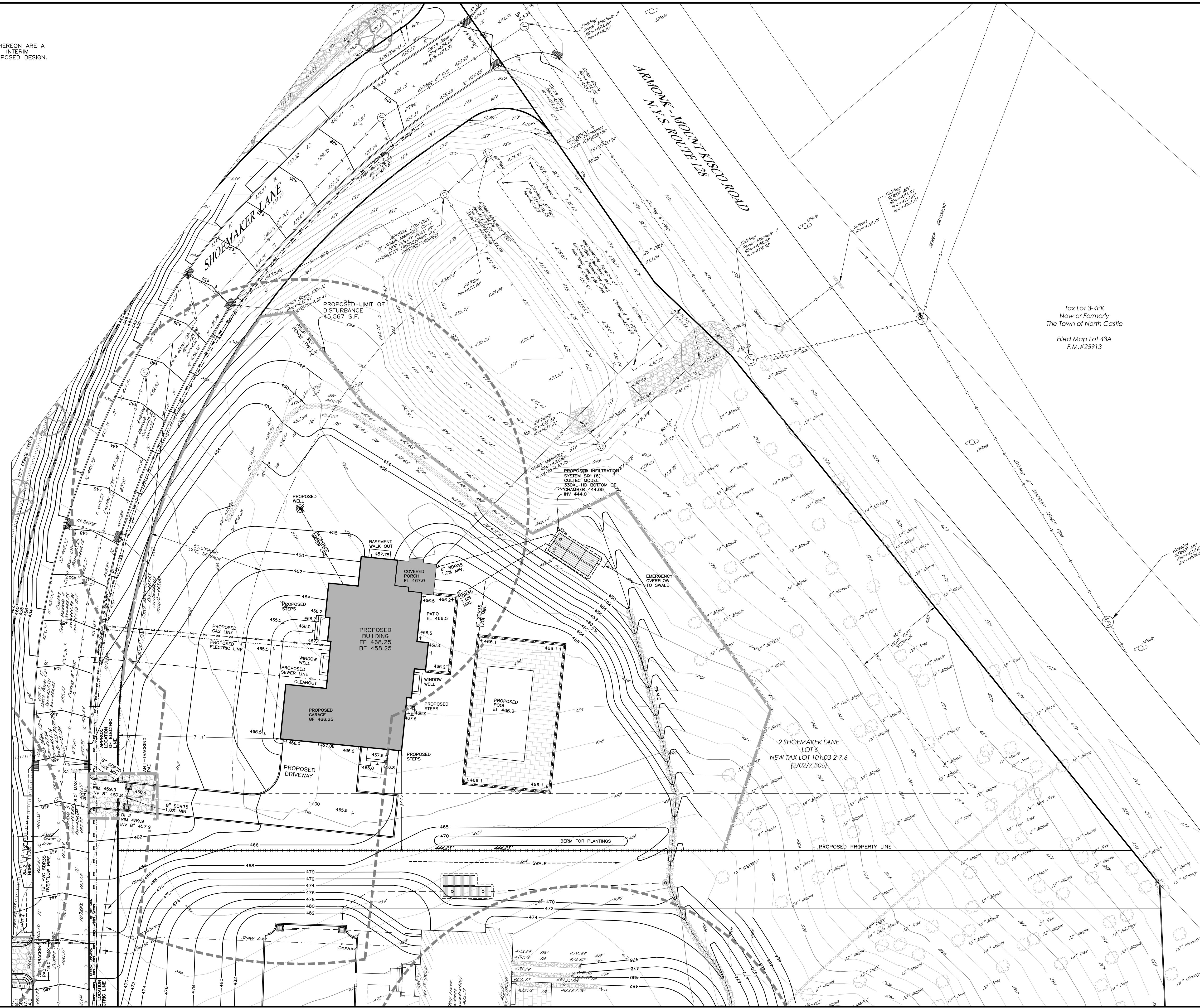
ZONING: R-1A

DRAWING: **SITE PLAN**

DATE: **AUGUST 10, 2021**

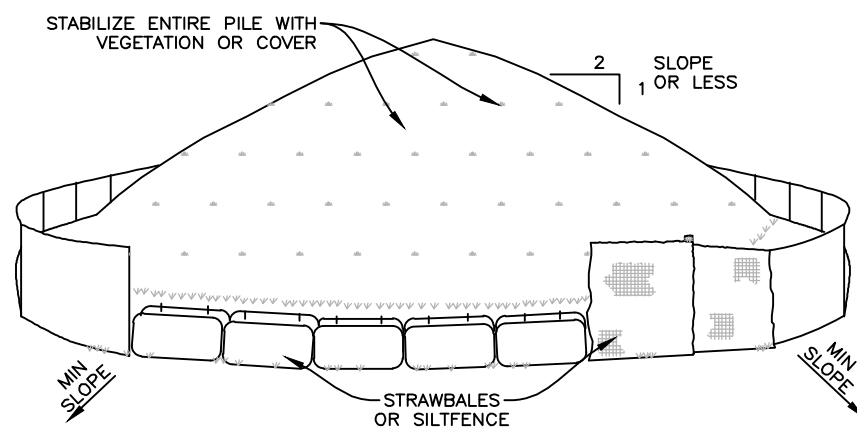
PROJECT: **LOT 6
 WAMPUS MILLS SUBDIVISION
 TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY, NEW YORK**

SHEET: 01 OF 02



Tax Lot 3-4PK
 Now or Formerly
 The Town of North Castle
 Filed Map Lot 43A
 F.M.#25913

2 SHOEMAKER LANE
 LOT 6
 NEW TAX LOT 101.03-2-7.6
 (2/02/17.B06)



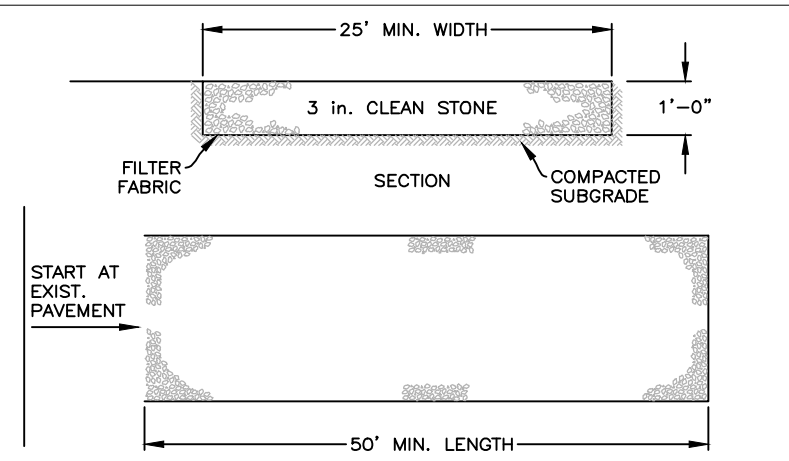
TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOILS THAT ARE BROUGHT UP (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL, WOUND SHOULDER AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

TEMPORARY MATERIAL STOCKPILE N.T.S.

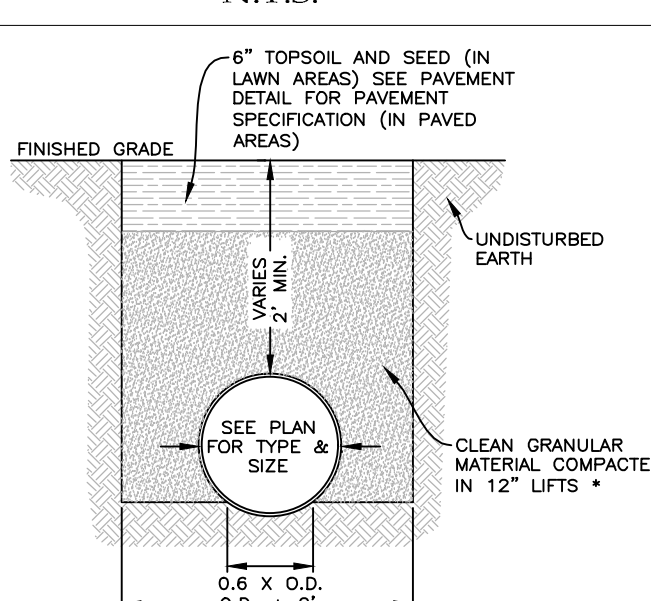


TO BE PROVIDED AT ALL POINTS OF EQUIPMENT INGRESS OR EGRESS ONTO PUBLIC RIGHTS-OF-WAY.

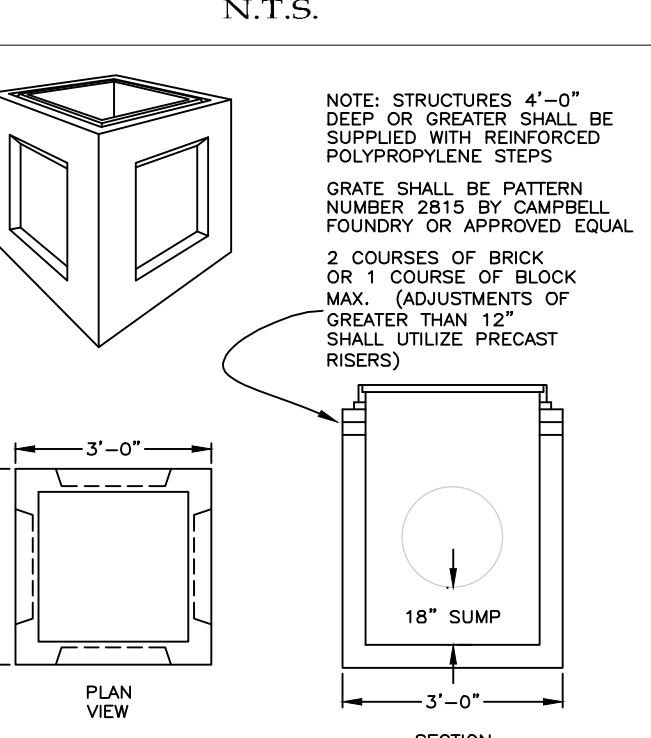
INSTALLATION NOTES

1. STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT, ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

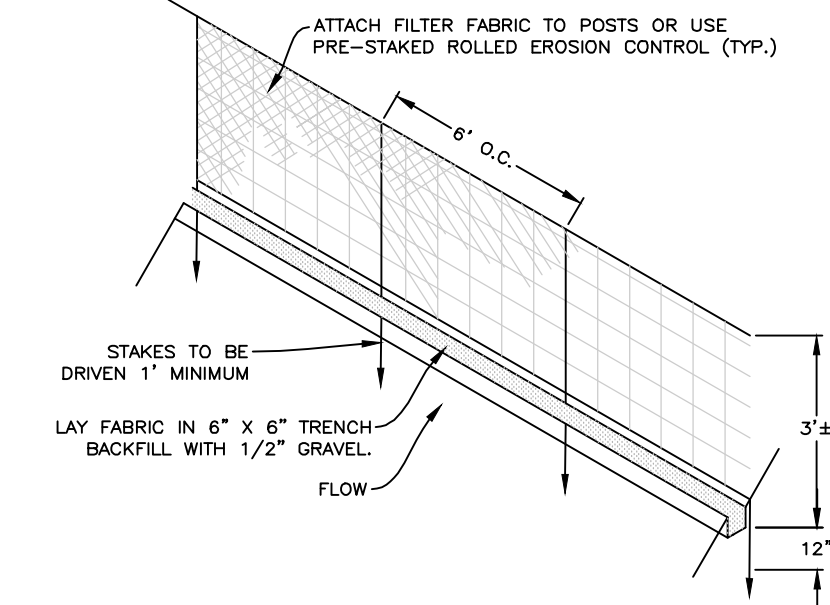
STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD) N.T.S.



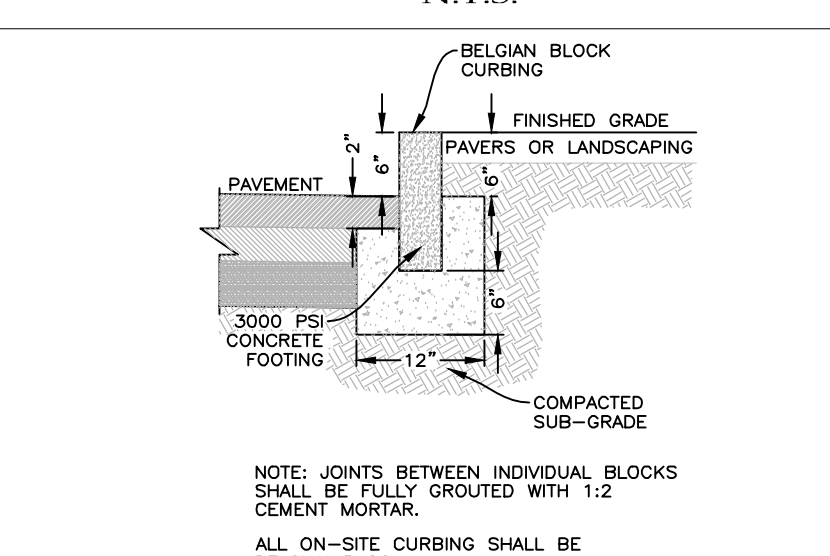
DRAIN PIPE TRENCH DETAIL N.T.S.



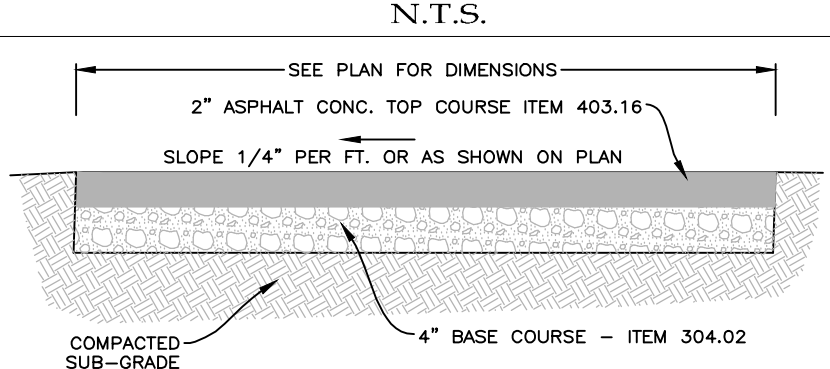
YARD DRAIN N.T.S.



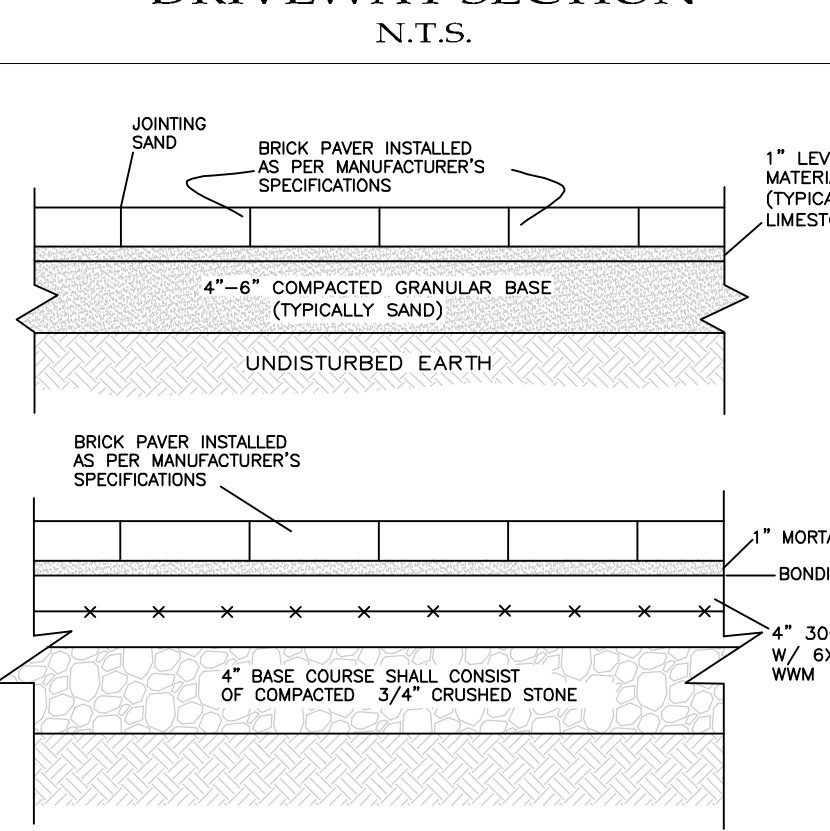
SILT FENCE N.T.S.



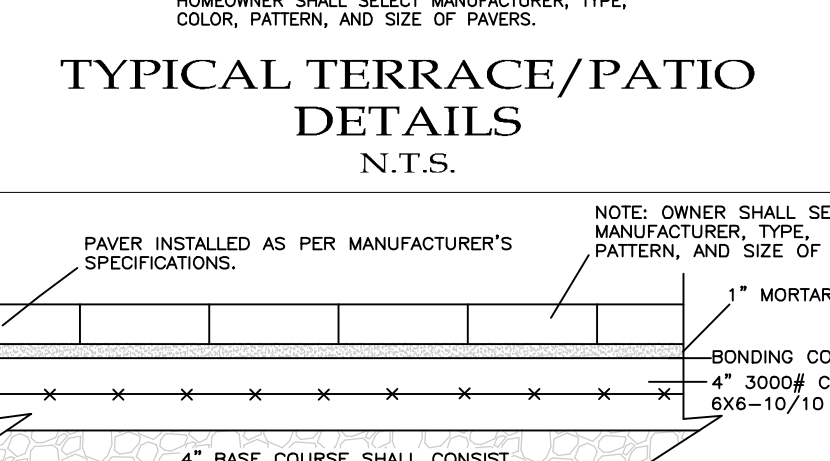
BELGIAN BLOCK CURB N.T.S.



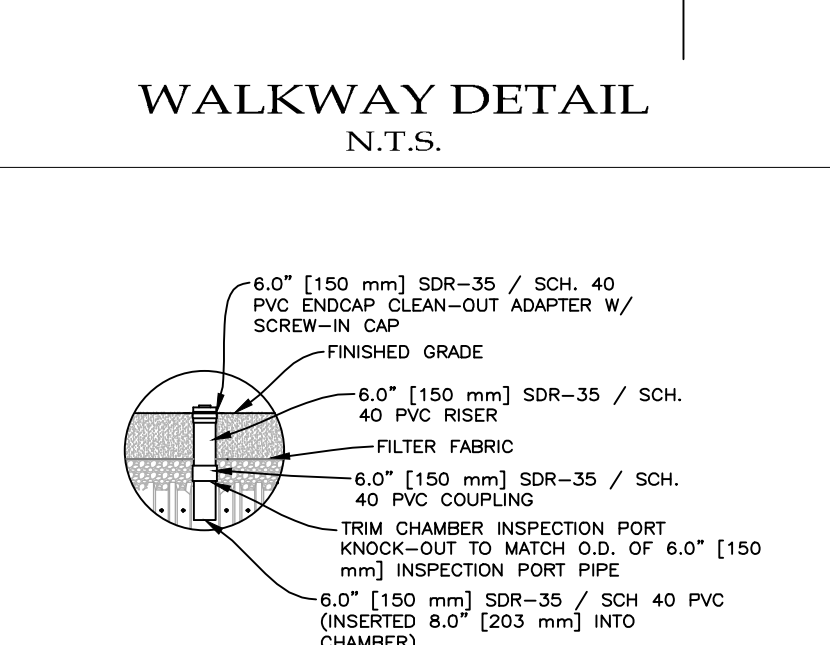
DRIVEWAY SECTION N.T.S.



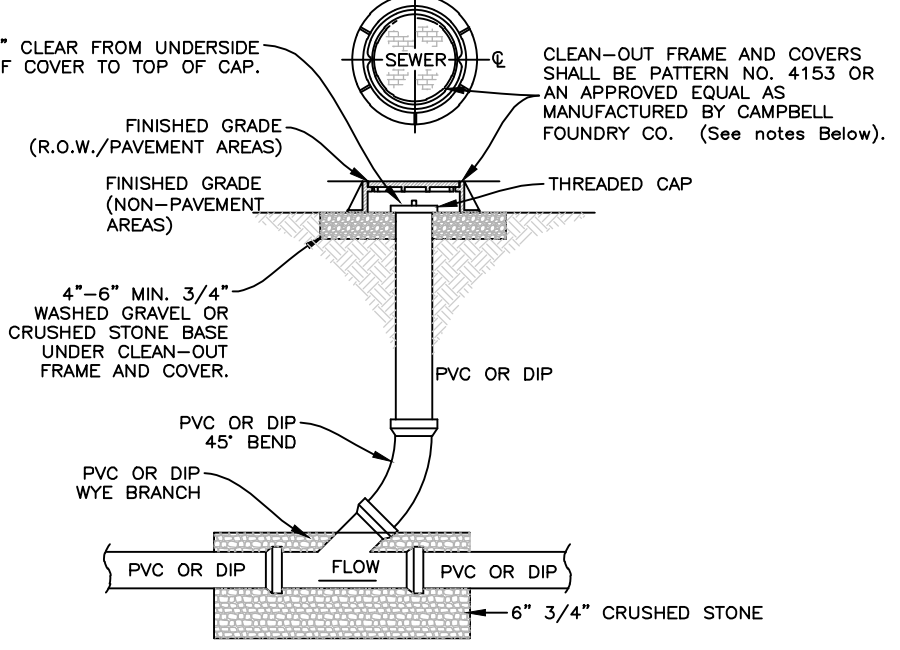
TYPICAL TERRACE/PATIO DETAILS N.T.S.



WALKWAY DETAIL N.T.S.

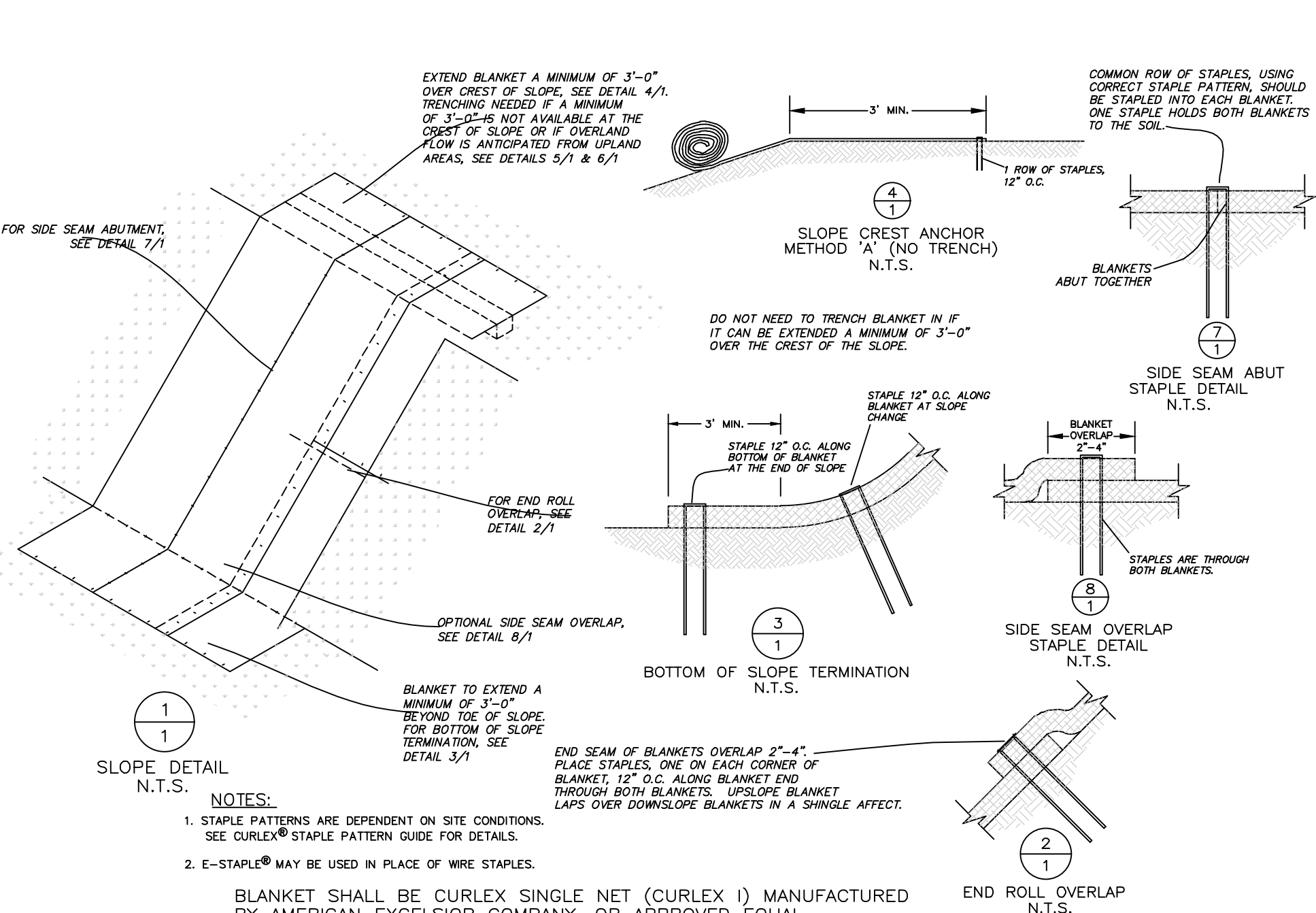


'CULTEC' CHAMBERS INSPECTION PORT NON-Traffic APPLICATION N.T.S.



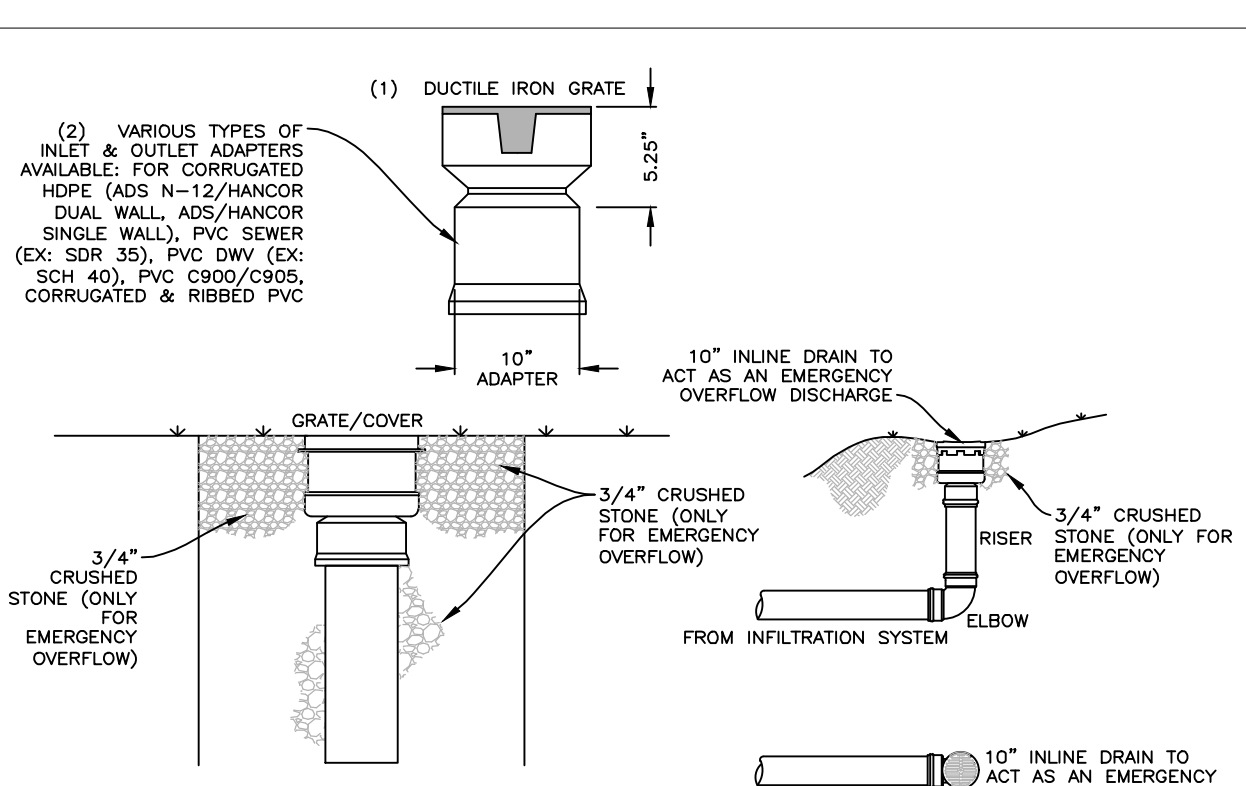
1. ALL CLEAN-OUT FRAMES AND COVERS SHALL BE MADE IN THE U.S.A., HEAVY DUTY, SUITABLE FOR TRAFFIC LOADING WITH A MACHINED MATING SURFACE FOR A TIGHT NON-ROCKING FIT.
2. CLEAN-OUT COVERS SHALL CONTAIN THE WORD "SEWER" CAST IN RAISED LETTERS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP THE COVER PATTERN CLEAN AND FREE OF EXCESS PAVENTMENT, MORTAR, AND DIRT THAT MAY HINDER REMOVAL OR OBSCURE THE LETTERING UNTIL THE MUNICIPALITY HAS ACCEPTED THE SEWER.

CLEANOUT ASSEMBLY DETAIL N.T.S.

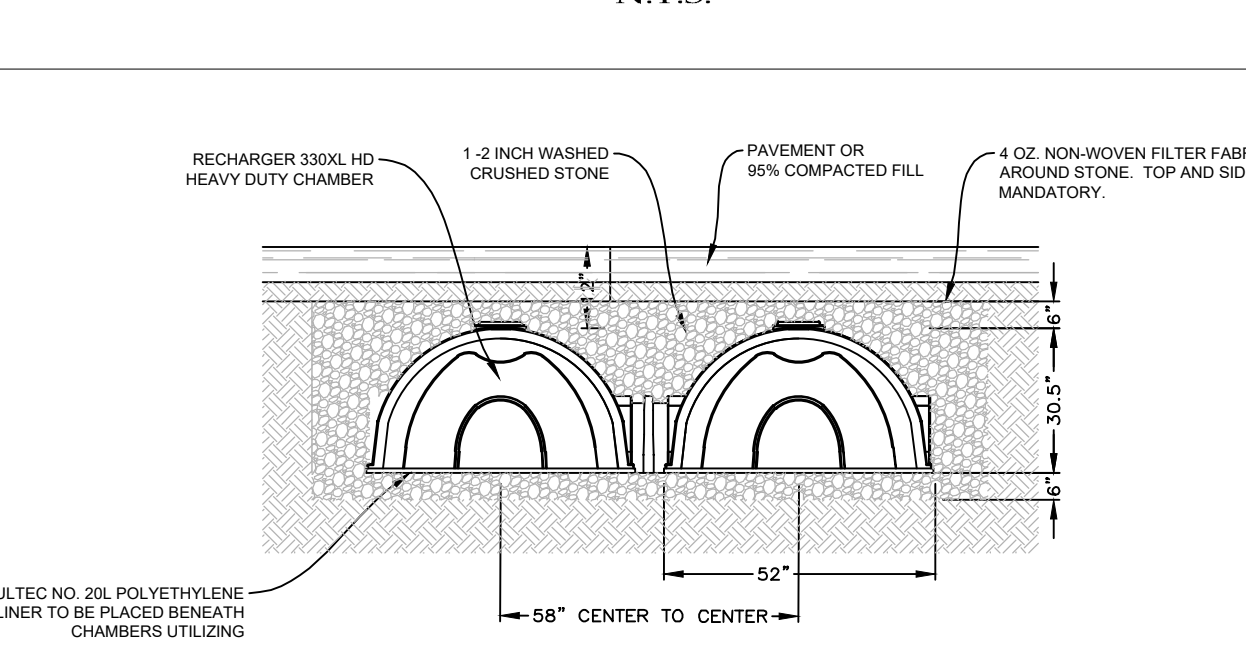


EROSION CONTROL BLANKET N.T.S.

BLANKET SHALL BE CURLEX SINGLE NET (CURLEX I) MANUFACTURED BY AMERICAN EXCELSIOR COMPANY, OR APPROVED EQUAL.



YARD DRAIN EMERGENCY OVERFLOW DISCHARGE N.T.S.

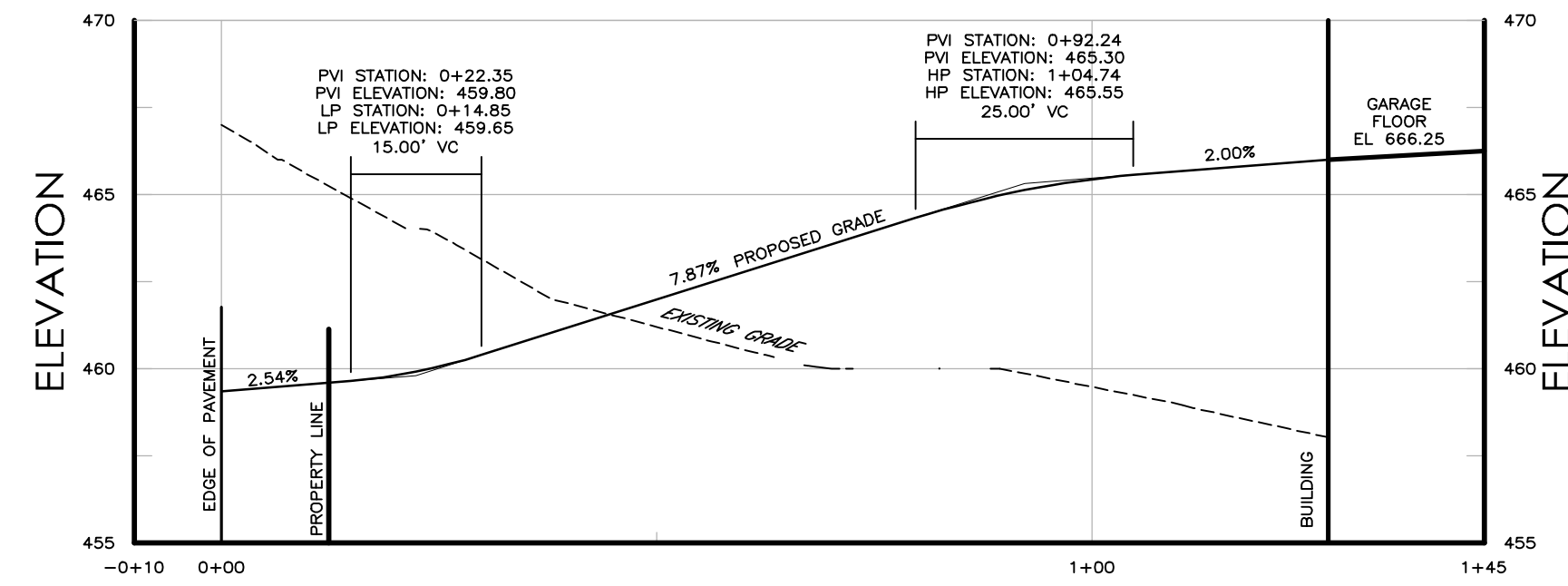


STORMWATER CHAMBER CROSS SECTION N.T.S. STORMWATER CHAMBER INSTALLATION N.T.S.

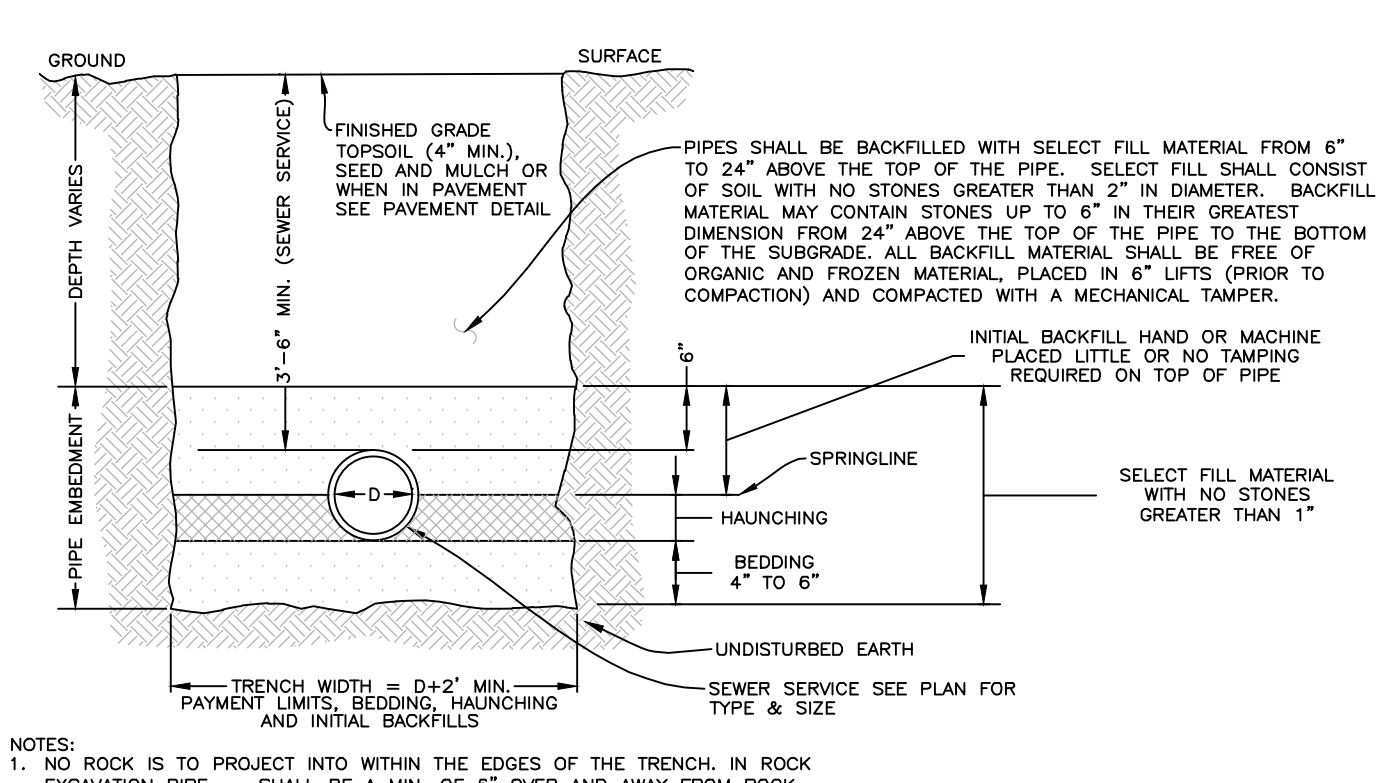
ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

GENERAL NOTES:
RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT.
STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT.
REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.
CHAMBERS SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS.

GENERAL NOTES:
RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT.
STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT.
REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.



PROPOSED DRIVEWAY PROFILE HORIZONTAL SCALE: 1" = 20' VERTICAL SCALE: 1" = 5'



SEWER SERVICE TRENCH DETAIL N.T.S.

WATER QUALITY CALCULATION FOR RESIDENCE

DRAINAGE STUDY AREA: (NET IMPERVIOUS)	S.F.	9640
SUBDIVISION PLAN IMPERVIOUS		5237
NET INCREASE IMPERVIOUS		4403
DESIGN STORM (100 YR.):	IN.	9.2
HYDROLOGIC SOIL TYPE:		B
EXISTING CN:		65
PROPOSED CN:		98
REQUIRED STORAGE VOLUME CALCULATION		
EX. RUNOFF DEPTH:	IN.	4.88
PR. RUNOFF DEPTH:	IN.	8.96
REQUIRED STORAGE VOLUME:	C.F.	1495.0
DELTA RUNOFF DEPTH:	IN.	4.07
REQUIRED STORAGE VOLUME:	C.F.	1495.0
WQV CALCULATIONS:		
90% RAINFALL EVENT NUMBER (P):	IN.	1.5
IMPERVIOUS COVER (I):	PERCENT	100.00
AREA OF HOUSE, WALKS, POOL, AND PATIOS (A):	ACRES	0.161
RV (=0.05+0.009(I)):		0.95
WATER QUALITY VOLUME (WQV):	ACRE-FEET	0.0192
WATER QUALITY VOLUME (WQV):	C.F.	835.3
REQUIRED STORAGE VOLUME:	C.F.	1495.0
CHAMBER INFORMATION		
LENGTH OF 1 CHAMBER:	FT.	8.5
WIDTH OF 1 CHAMBER:	FT.	4.33
HEIGHT OF CHAMBER:	FT.	2.54

WIDTH OF STONE SURROUNDING CHAMBER:	FT.	1
DEPTH OF STONE UNDER CHAMBER:	FT.	0.5
STONE VOID RATIO:		0.33
VOLUME PER CHAMBER (AS PER MANUFACTURER):	C.F./L.F.	7.46
TRENCH SIZE		
TRENCH WIDTH:	FT.	6.33
TRENCH LENGTH (UNIT LENGTH):	FT.	1
TRENCH HEIGHT:	FT.	3.04
TRENCH VOLUME:	C.F./L.F.	19.24
STONE VOID VOLUME:	C.F.	3.89
PERCOLATION INFORMATION		
PERCOLATION AREA:	S.F./L.F.	6.33
PERCOLATION RATE:	MIN./IN.	5
PERCOLATION HOLE DIAMETER:	IN.	10
WATER LEVEL DROP:	IN.	1
AVERAGE DEPTH OF WATER:	IN.	8.5
PERCOLATION HOLE BOTTOM AREA:	S.F.	0.55
PERCOLATION HOLE SIDE AREA:	S.F.	1.85
PERCOLATION HOLE TOTAL AREA:	S.F.	2.40
PERCOLATION VOLUME CHANGE:	C.F.	0.045
ADJUSTED PERCOLATION RATE:	C.F./S.F./DAY	5.45
PERCOLATION VOL. PER DAY:	C.F./DAY/L	34.5
SOIL CLOGGING FACTOR:		25%
PERCOLATION WITH CLOGGING:	C.F./DAY/L	25.9
TOTAL VOLUME OF CHAMBERS:	C.F./DAY/L	37.2
REQUIRED LENGTH CHAMBERS:	L.F.	40.14
REQUIRED NUMBER OF CHAMBERS @ 7 L.F./CHAMBER:		5.73
PROPOSED NUMBER OF CHAMBERS		6.00

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



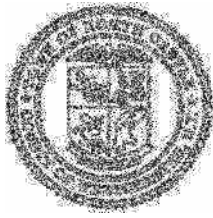
ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845-228-9800

SITE DATA

OWNER/APPLICANT: JAIME SALOMON
SITE ADDRESS: 2 SHOEMAKER LANE, ARMONK, NY 10504
TAX MAP #: 101.03-2-7.6
LOT AREA: 2.02 ACRES
ZONING: R-1A

SITE DETAILS
AUGUST 10, 2021

PROJECT: LOT 6 WAMPUS MILLS SUBDIVISION TOWN OF NORTH CASTLE WESTCHESTER COUNTY, NEW YORK



**TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning**

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Salomon Residence Date: 8-13-21

Tax Map Designation or Proposed Lot No.: 101.03-2-7.6

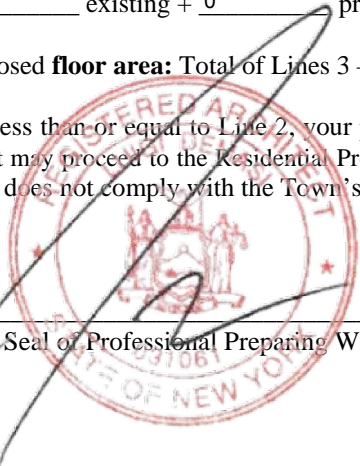
Floor Area

- | | | |
|-----|--|----------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>83,068.9 Sqft</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>9,929 Sqft</u> |
| 3. | Amount of floor area contained within first floor:
_____ existing + <u>2,510</u> proposed = | <u>2,510</u> |
| 4. | Amount of floor area contained within second floor:
_____ existing + <u>2,708</u> proposed = | <u>2,834</u> |
| 5. | Amount of floor area contained within garage:
_____ existing + <u>843</u> proposed = | <u>843</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
_____ existing + <u>332</u> proposed = | <u>332</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
_____ existing + <u>0</u> proposed = | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
_____ existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
_____ existing + <u>0</u> proposed = | <u>0</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>6,519 Sqft</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

8-13-21
Date





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Residence For
Lot 6
Wampus Mills Subdivision
2 Shoemaker Lane
North Castle, NY.

Revision	Date
Date	Aug. 16, 2021
Job No	221-058
Drawing	
1 OF 10	

2020 Residential Code Of New York State

Climatic & Geographic Design Criteria Table R301.2(1)

Ground Snow Load	Wind Design Speed (mph)	Topographic Effects	Special Wind Region	Wind-Borne Debris Zone	Salt-Crystallization Design Category	Subject To Damage From Heating	Subject To Damage From Frost (Like Depth)	Winter Design Temp.	Ice Shield Required	Flood Hazards	AV Freezing Index	Mean Annual Temperature	
30 lb/ft ²	115 - 120 mph	No	Yes	Zone I	B	Severe	42"	Moderate Heavy	7° F	Yes	No	1500 or Less	52.2 F

Manual J Design Criteria

Elevation	Latitude	Winter Heating	Summer Cooling	Altitude Correction Factor	Indoor Design Temperature	Design Temperature Cooling	Heating Temperature Difference
436	41	7	81	1	68	75	61
Cooling Temperature Difference	Wind Velocity Heating	Wind Velocity Cooling	Coincident Wet Bulb	Daily Range	Winter Humidity	Summer Humidity	
12	20.4	15	7.5	M	30	55	

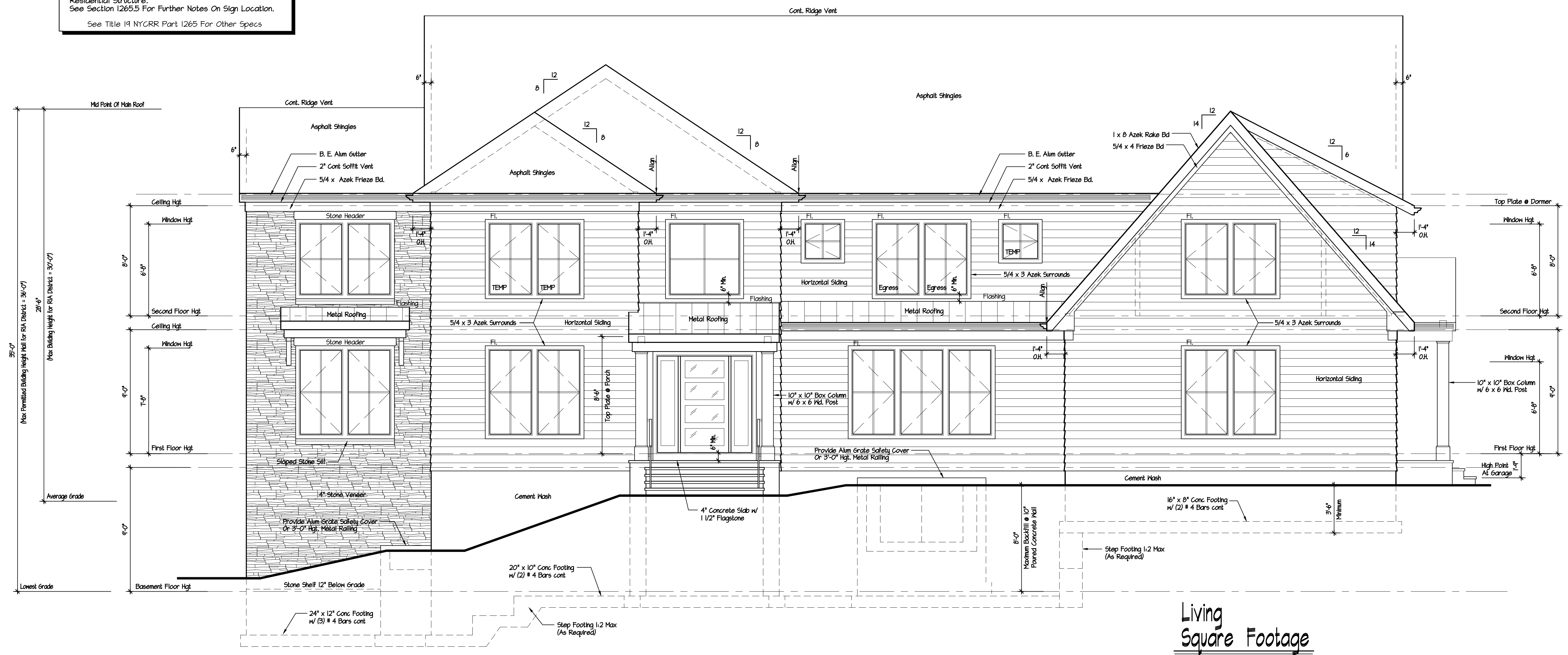
Construction Type Note:
 As Per Title 19 NYCRR Part 1265
 Provide Label As Shown Below For:
 John Wallace Drive East, Lot 4, Croton on Hudson

V = Construction Type As Per Section 602 of BCNYS
FR = Floor And Roof Framing As Per Designation For Structural Components That Are Of Truss/Engineered Type Construction

Size:
 6" Diameter Circle

Color:
 Circle To Be 1/2" Stroke - Reflective Red Pantone #187
 Inner Circle - Reflective White
 Text - Reflective Red Pantone #187

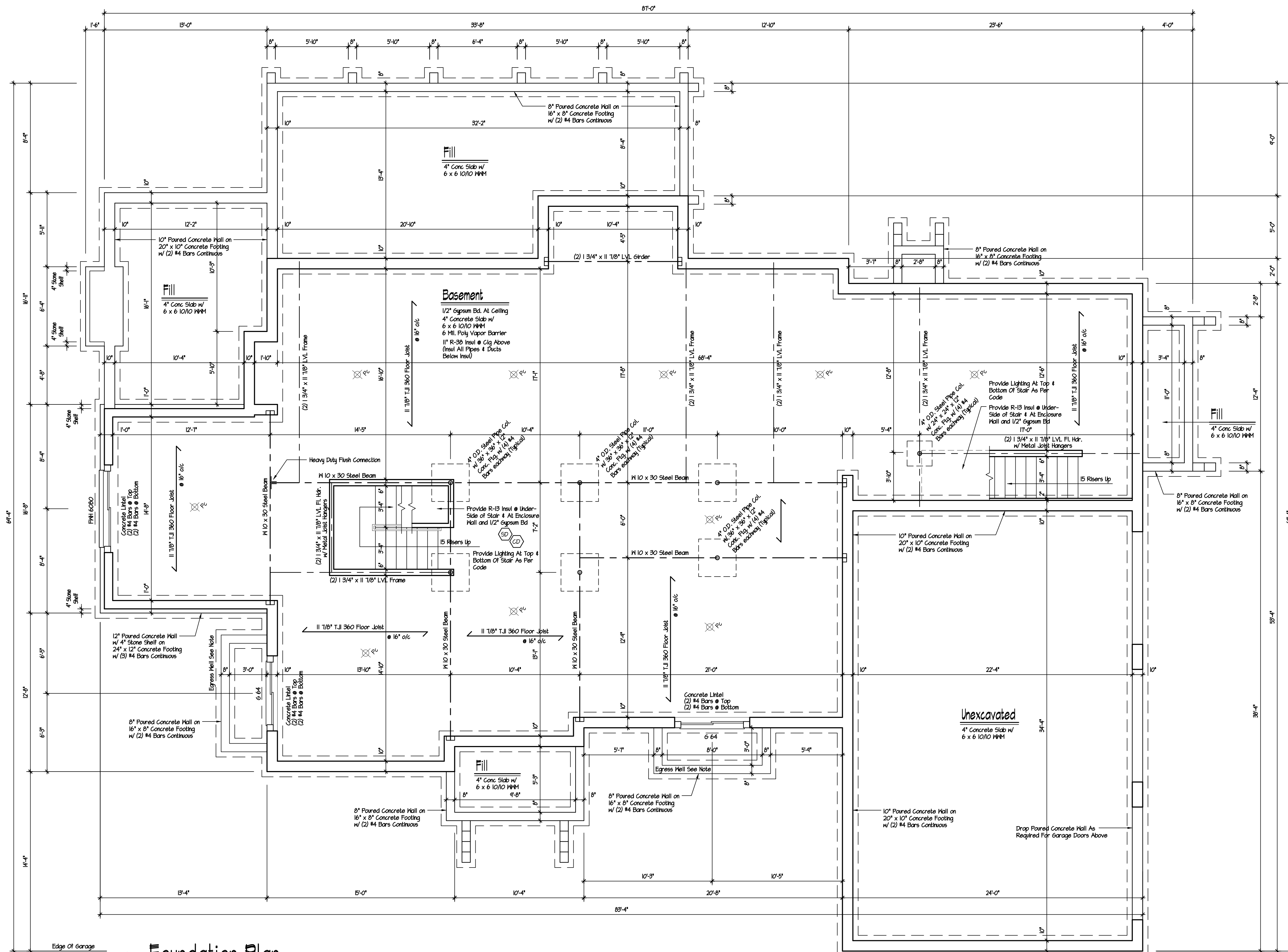
Sign Location:
 The Sign Or Symbol Required Shall Be Affixed To The Electric Box Attached To The Exterior Of The Residential Structure.
 See Section 1265.5 For Further Notes On Sign Location.
 See Title 19 NYCRR Part 1265 For Other Specs



Front Elevation
 Scale: 1/4" = 1'-0"

Living Square Footage

Basement	2,126 Sf
First Floor	2,510 Sf
Second Floor	2,708 Sf
Total	7,344 Sf
Attic (Unfinished)	313 Sf



Foundation Plan
Scale: 1/4" = 1'-0"

Egress Well Note:

- 8" Poured Concrete Wall
- 16" x 8" Concrete Footing w/ (2) #4 Bars Continuous
- Crushed Gravel Base w/ 2" Drain To Daylight Or Drywell
- Aluminum Ladder
- Minimum Width 3'-0" Per Code and 9 sq. ft.
- Provide Light Weight Aluminum Grate if required by Local Code

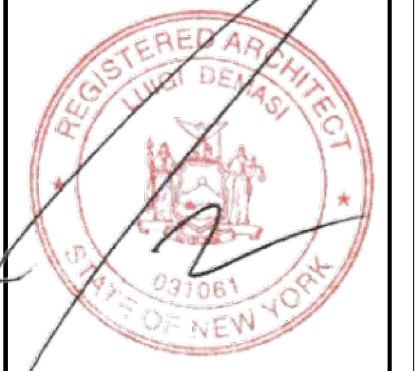
Egress Window Sizes:

Size	Opening	Width	Height
2852	6.08 sf	30 11/16"	28 1/2"
3046	5.91 sf	34 11/16"	24 1/2"
3062	6.01 sf	34 11/16"	24 15/16"
TH 210410	5.81 sf	31 7/8"	26 1/4"

- Window Note:**
- All Glazing To Be Low "E" Insulated Glass w/ Minimum R-31 (U=0.32).
 - All Windows Within 18" Of Floor To Have Tempered Glass (Double Hung's-Bottom Sash Only, All Others Full Unit).
 - All Glazing In Doors & Windows Enclosing Hot Tubs, Whirlpool Tubs, Saunas, Steam Rooms, Bathtubs and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
 - All Egress Windows To Have A Minimum Clear Opening Area of 5.7 sq. ft. Total w/ 24" min. Clear Opening Height & 20" min. Clear Width. Refer To Manufacturers Specifications For All Other Information.
 - All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.
 - All Windows Sills Within 24" Above The Finished Floor & Greater Than 12" Above Finished Grade Or Other Surface. Requires Fall Protection. See Section R312.2 For More Info.

- Notes:**
- All Footings To Bear 12" Below Solid Undisturbed Earth
 - All Framing Members To Be # 2 Douglas Fir-Larch Or Better
 - Double Frame Under All Partitions Parallel To Framing
 - Double All Box Joist At Ceiling
 - If Tile Floor Is To Be MID Job Consult Architect For Additional Framing Required
- Legend:**
- 2 x Wood Post Match Beam Width or As Noted
 - Smoke Detector w/ Battery Back-Up
 - Heat Detector w/ Battery Back-Up
 - Carbon Monoxide Det w/ Battery Back-Up
 - Surface Mounted Light Fixture
 - Surface Mounted Light Fixture w/ Pull Chain
 - Duplex Outlet
 - Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)
- Wood Header Schedule**
- | Span | Header Size |
|-------------|----------------|
| Up To 3'-0" | (2) 2 x 8 Hat |
| Up To 4'-0" | (2) 2 x 10 Hat |
| Up To 6'-0" | (3) 2 x 10 Hat |
- Notes:
Unless Otherwise Noted on Plans

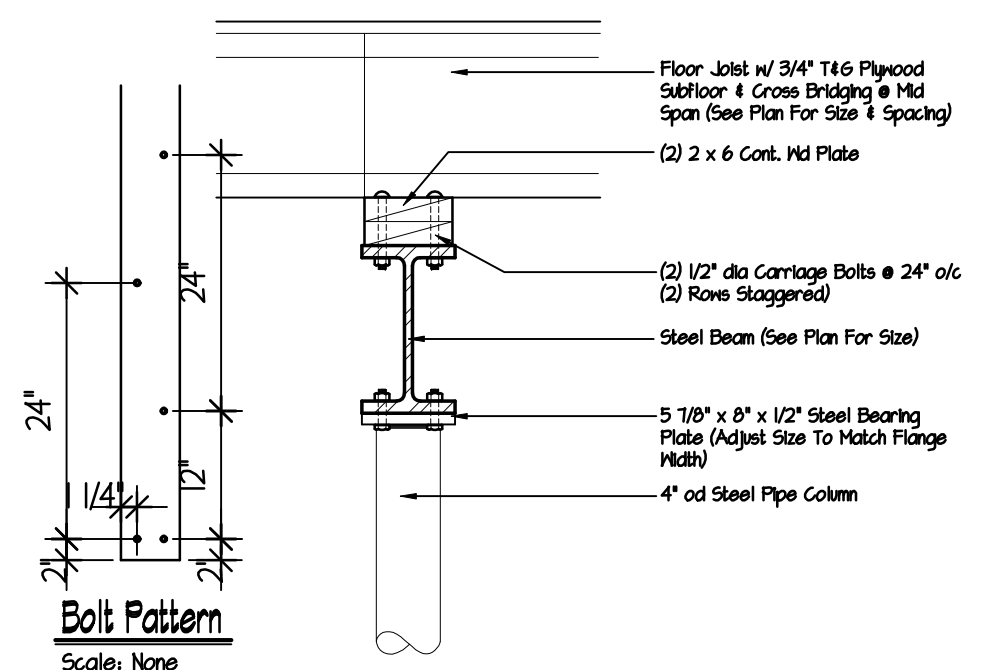
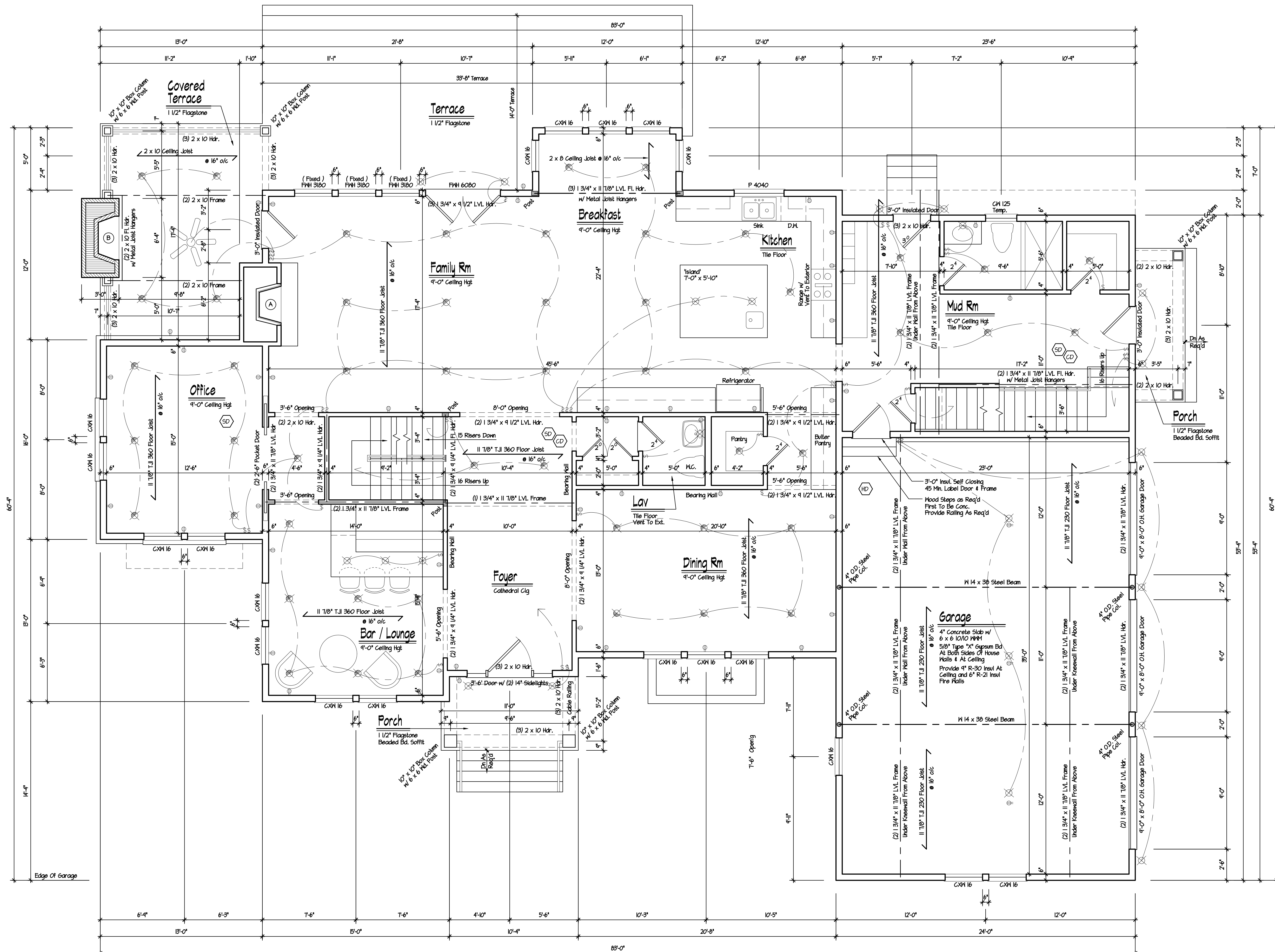
DeMasi Architects P.C.
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
PHONE: (914) 666-3956
EMAIL: Lov@DemasiArchitects.com



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Residence For
Lot 6
Wampus Mills Subdivision
2 Shoemaker Lane
North Castle, NY.

Revision	Date
Date	Aug. 16, 2021
Job No	221-058
Drawing	2 OF 10



Steel Beam Detail @ Garage
Scale: 1 1/2" = 1'-0"

Notes:
All Framing Members To Be # 2 Douglas Fir-Larch or Better Double Frame Under All Partitions Parallel To Framing
If The Floor Is To Be MUD Job Consult Architect For Additional Framing Required

Legend:

Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

Note: Unless Otherwise Noted On Plans

Window Note:

- All Glazing To Be Low "E" Insulated Glass w/ Minimum R-31 (U=0.32).
- All Windows Within 10' of Floor To Have Tempered Glass (Double Hung's-Bottom Sash Only, All Others Full Unit).
- All Glazing In Doors & Windows Enclosing Hot Tubs, Whirlpool Tubs, Saunas, Steam Rooms, Bathrooms and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
- All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 Sq Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
- All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.
- All Windows Sills Within 24" Above The Finished Floor & Greater Than T2" Above Requires Fall Protection. See Section R312.2 For More Info.

(A) Direct Vent Fireplace w/ 42" Opening Raised Hearth & Brick Veneer Cobble to Mantel Provide Temp. Glass Doors And Clos. Outside Air Intake Duct

(B) Masonry Fireplace w/ 42" Masonry Opening Raised Hearth & Brick Veneer

Note: Contractor To Maintain 2" Min. Clearance To Combustible Members From All Masonry Masses As Per Building Code

First Floor Plan
Scale: 1/4" = 1'-0"

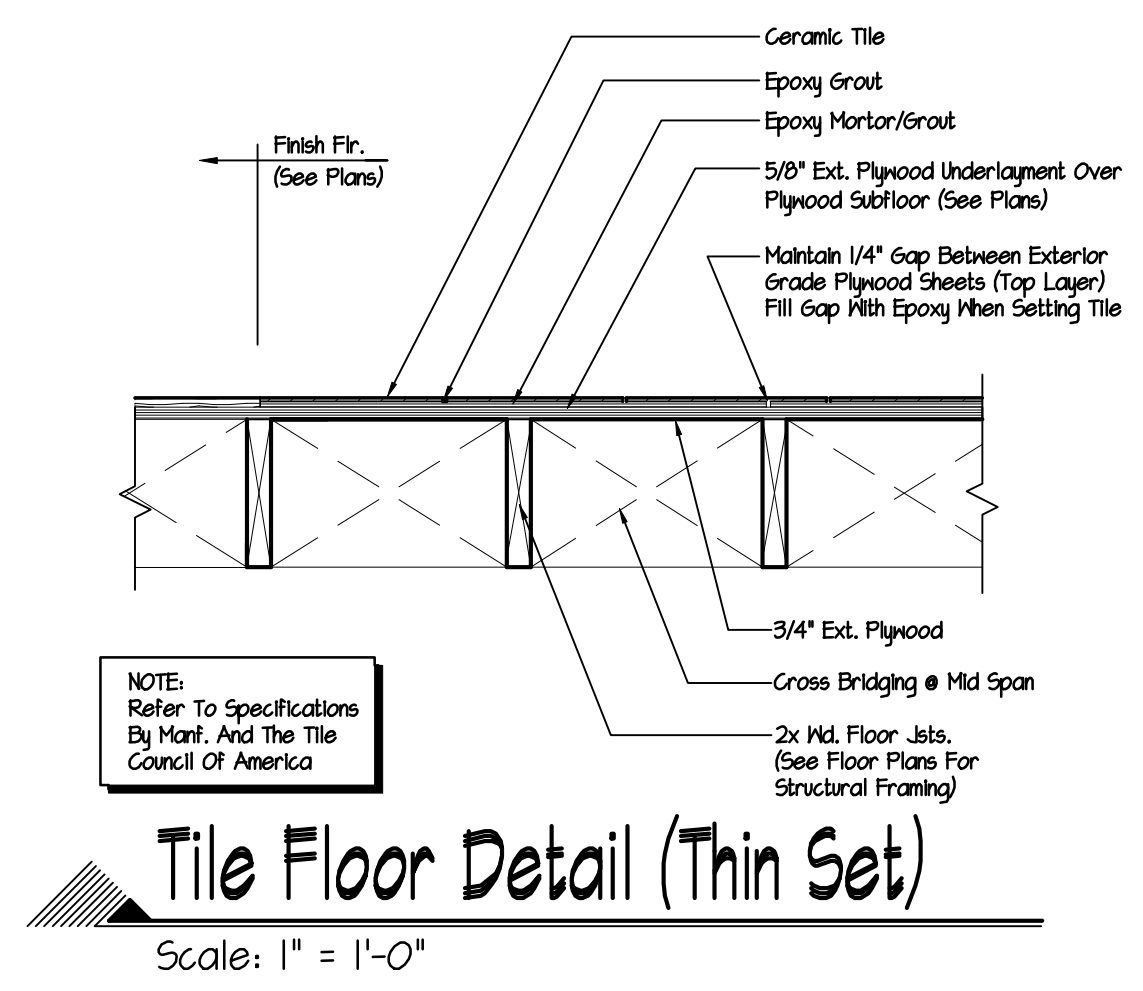
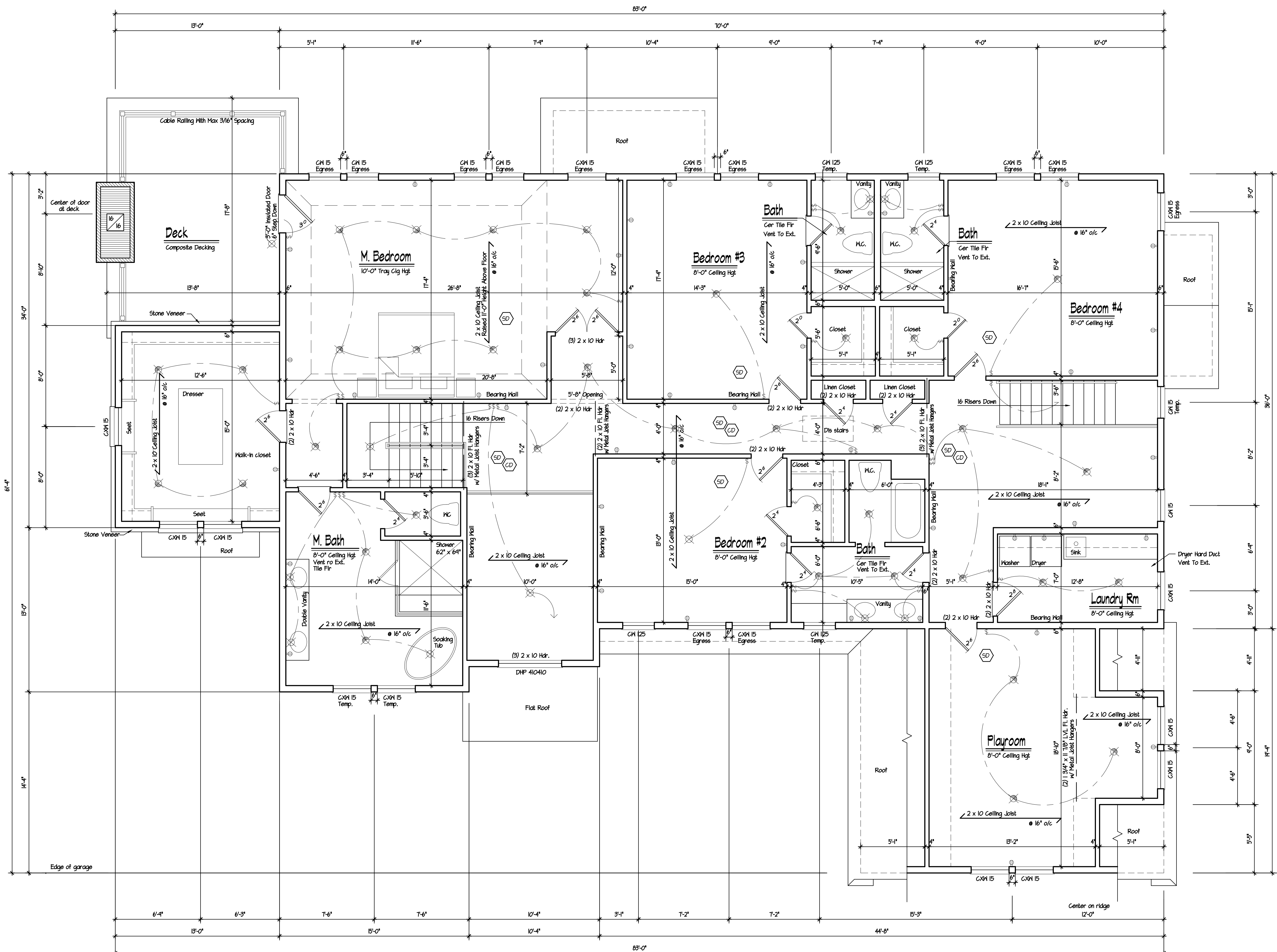
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Residence For Lot 6 Wampus Mills Subdivision 2 Shoemaker Lane North Castle, NY.

Revision	Date
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Drawing	4 OF 10



Casement Egress Window Sizes:

Size	Opening	Width	Height
CWN 15	115 sf	30 1/8"	55"

- Window Note:**
- All Glazing To Be Low "E" Insulated Glass w/ Minimum R-31 (I=0.32).
 - All Windows Within 18" Of Floor To Have Tempered Glass (Double Hung-Bottom Sash Only, All Others Full Unit).
 - All Glazing In Doors & Windows Enclosing Hot Tubs, Hot Tubs, Saunas, Steam Rooms, Bathrooms and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
 - All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 Sq Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
 - All Windows or Doors Marked w/ "IEHP" To Have Full Unit Tempered.
 - All Windows Sills Within 24" Above Finished Floor & Greater Than 12" Above Finished Grade Or Other Surface. Requires Fall Protection. See Section R312.2 For More Info.

- Notes:**
- All Framing Members To Be # 2 Douglas Fir-Larch Or Better Double Frame Under All Partitions Parallel To Framing
- If The Floor Is To Be MID Job Consult Architect For Additional Framing Required
- Legend:**
- 2 x Wood Post (Match Beam Width or As Noted)
 - Smoke Detector w/ Battery Back-Up
 - Carbon Monoxide Det w/ Battery Back-Up
 - Surface Mounted Light Fixture
 - Recessed Light Fixture
 - Duplex Outlet
 - Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)
- Wood Header Schedule**
- | Span | Header Size |
|-------------|----------------|
| Up To 3'-0" | (2) 2 x 4 Hdr |
| Up To 4'-0" | (2) 2 x 10 Hdr |
| Up To 6'-0" | (3) 2 x 10 Hdr |
- Note: Unless Otherwise Noted On Plans

Do Not Scale Prints

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EMAIL: Love@DemasiArchitects.com
PHONE: (914) 666-3858

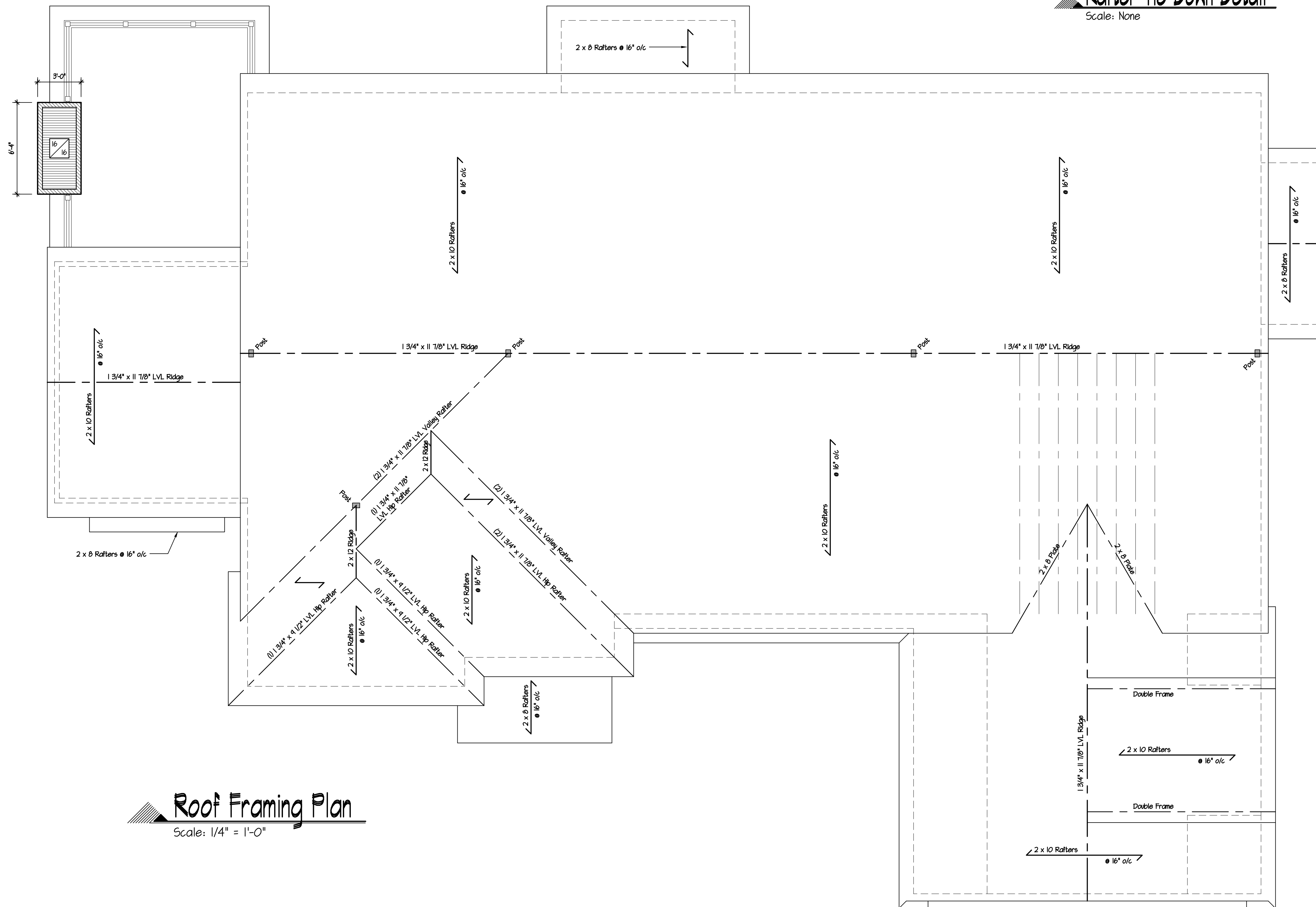


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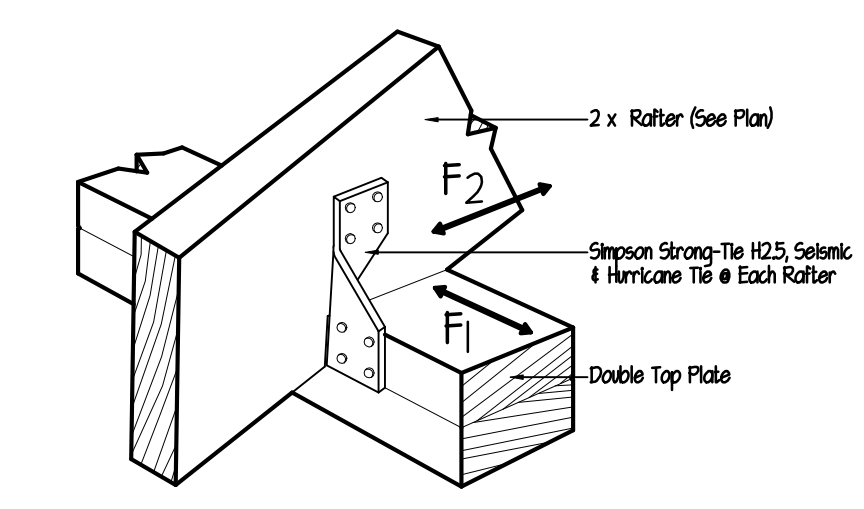
Residence For
Lot 6
Wampus Mills Subdivision
2 Shoemaker Lane
North Castle, NY.

Revision	Date
	Aug. 16, 2021
Job No	221-058
Drawing	5 OF 10

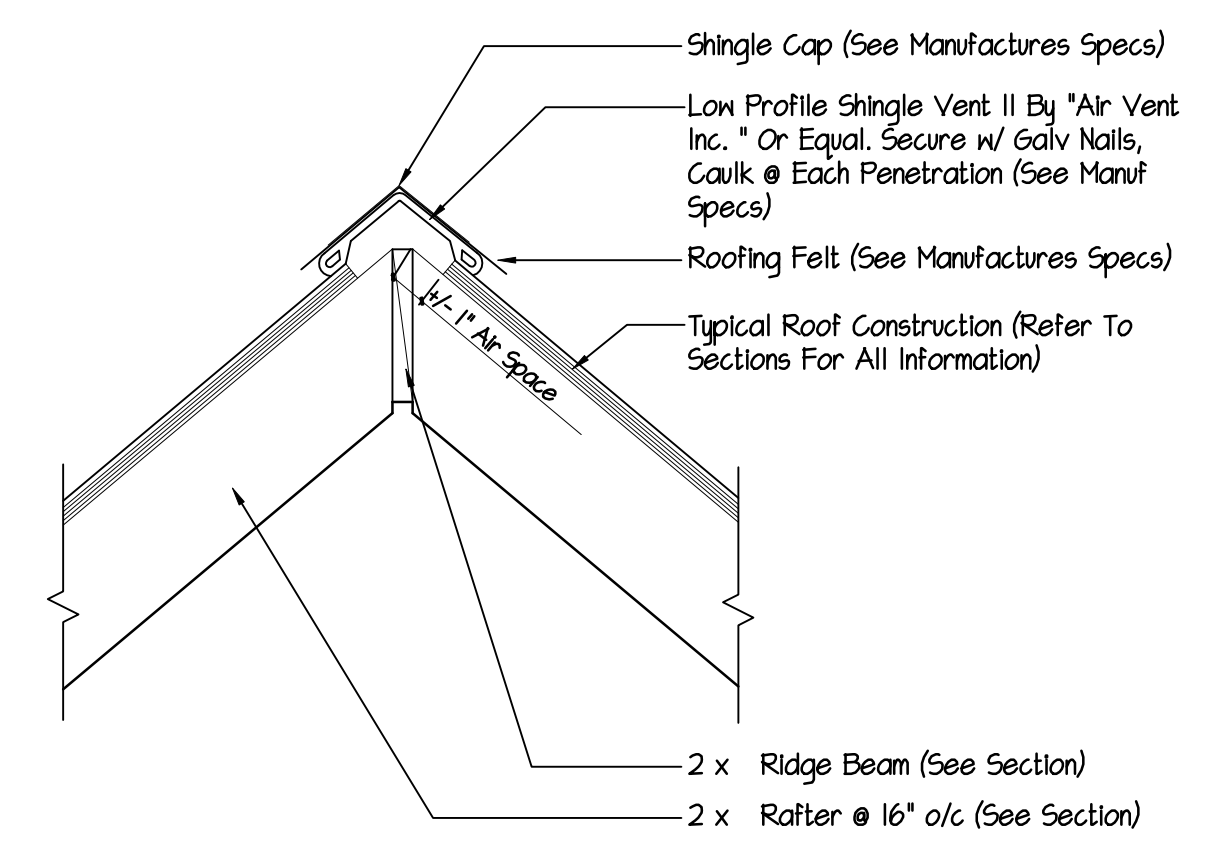
Second Floor Plan
Scale: 1/4" = 1'-0"



Roof Framing Plan
Scale: 1/4" = 1'-0"



Rafter Tie Down Detail
Scale: None



Ridge Vent Detail
Scale: 1" = 1'-0"

Design Loads:

Required Live Loads:

First Floor Loads	Live Load	40 #/sf
Second Floor Loads	Live Load	30 #/sf
Attic Load (w/o Storage)	Live Load	20 #/sf
Attic Load (w/ Storage)	Live Load	30 #/sf
Exterior Balconies	Live Load	60 #/sf
Decks	Live Load	40 #/sf
Guardrails	Live Load	200 #/sf
Stairs	Live Load	40 #/sf

Refer to section RR301.4 of the International Residential Code for any additional information.

Provided Design Loads:

First Floor Loads	Live Load	40 #/sf
	Dead Load	12 #/sf
Second Floor Loads	Live Load	30 #/sf
	Dead Load	12 #/sf
Attic Load (< 4'-6" Headroom)	Live Load	20 #/sf
	Dead Load	12 #/sf
(≥ 4'-6" Headroom)	Live Load	30 #/sf
	Dead Load	12 #/sf
Ground Snow Load	Live Load	45 #/sf
	Dead Load	1 #/sf

Snow Load Reduction

Ground Snow Loads Have Been Converted To Roof Snow Loads In Accordance With The Provisions Of ASCE 7.

Pitch	Roof Snow Load
4-4	26.35
10-11	21
12	22.7
13	20
14	18.5
15-16	17

LUMBER: All framing lumber to be stress grade Douglas-Fir Larch No. 2 or better.

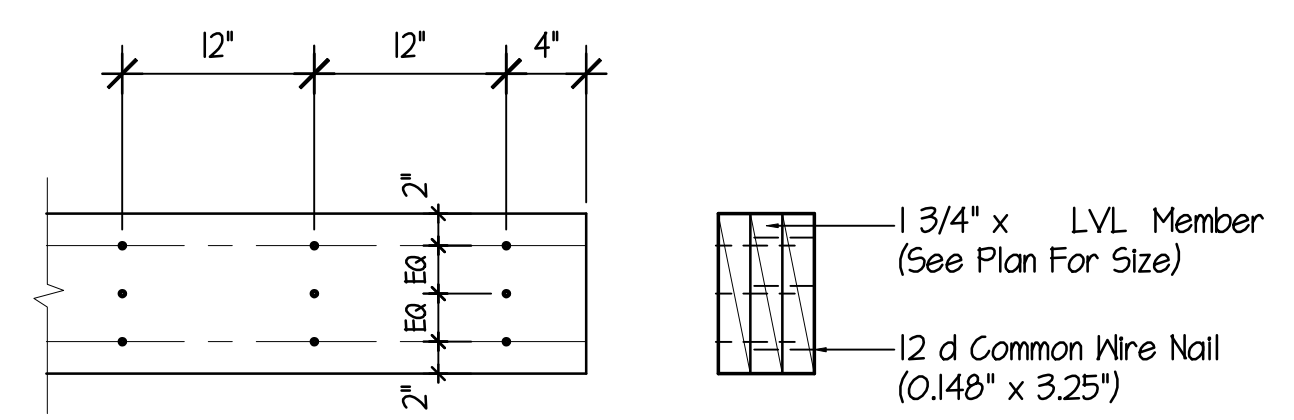
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Residence For
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Date	Aug. 16, 2021
Job No	221-058
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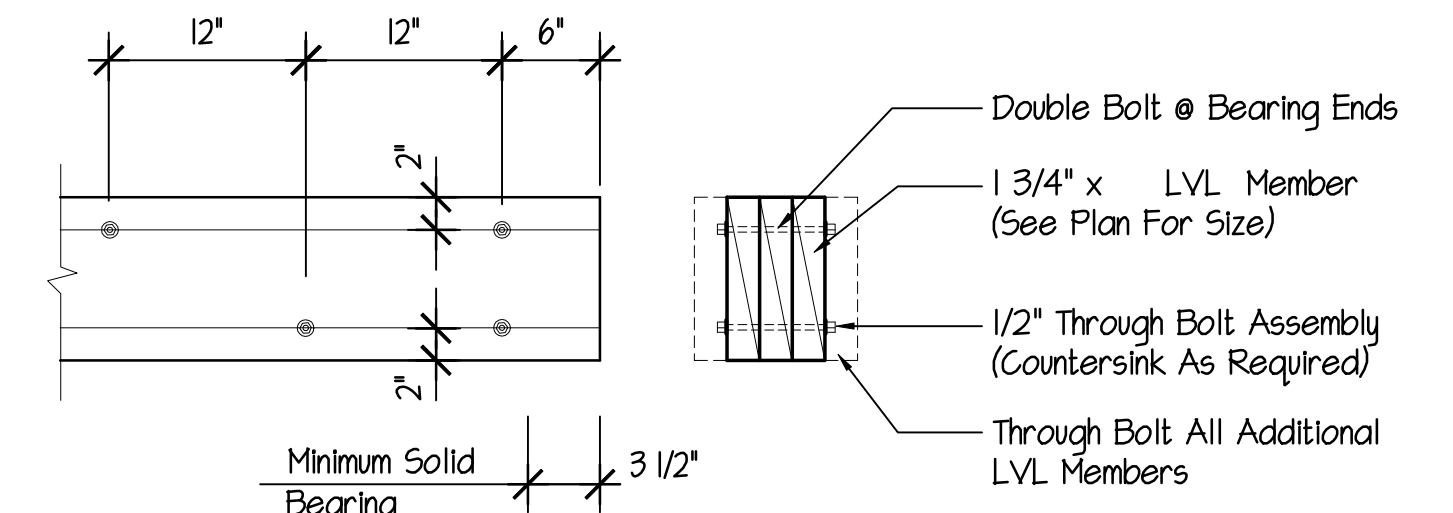
Elevation

Note:
LVL = Laminated Veneer Lumber
By Trus-Joist Meyerhaeuser (1.9 E)
Minimum or Equal

Section

Note:
See Plans For Size & Location
Of All LVL Members

LVL Beam Detail (Nailed)
Scale: 1" = 1'-0"



Elevation

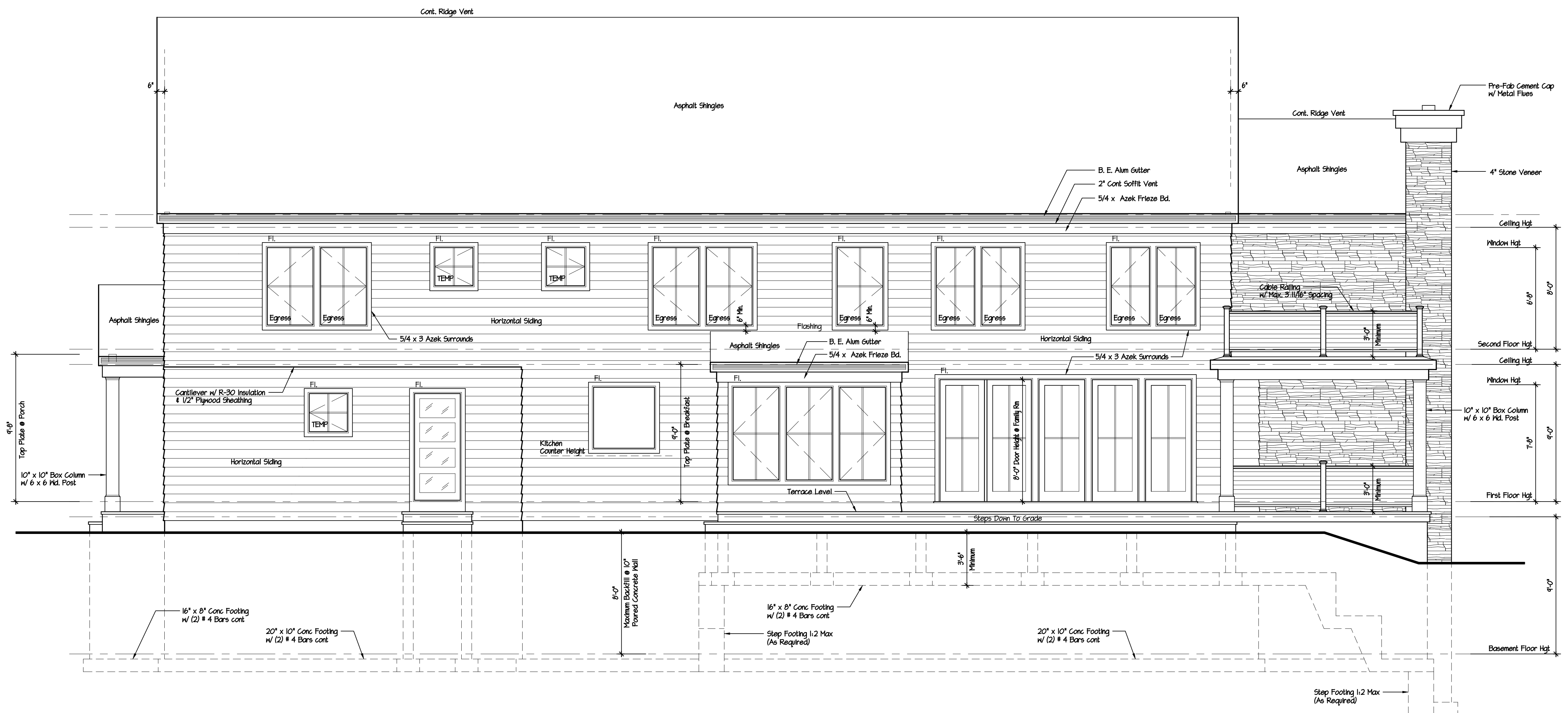
Note:
LVL = Laminated Veneer Lumber
By Trus-Joist Meyerhaeuser (1.9 E)
Minimum or Equal

Section

Note:
Bolting As Required, Refer
To Manufactured Specifications
For All Information & Specifics

Note:
See Plans For Size & Location
Of All LVL Members

LVL Beam Detail (Bolted)
Scale: None



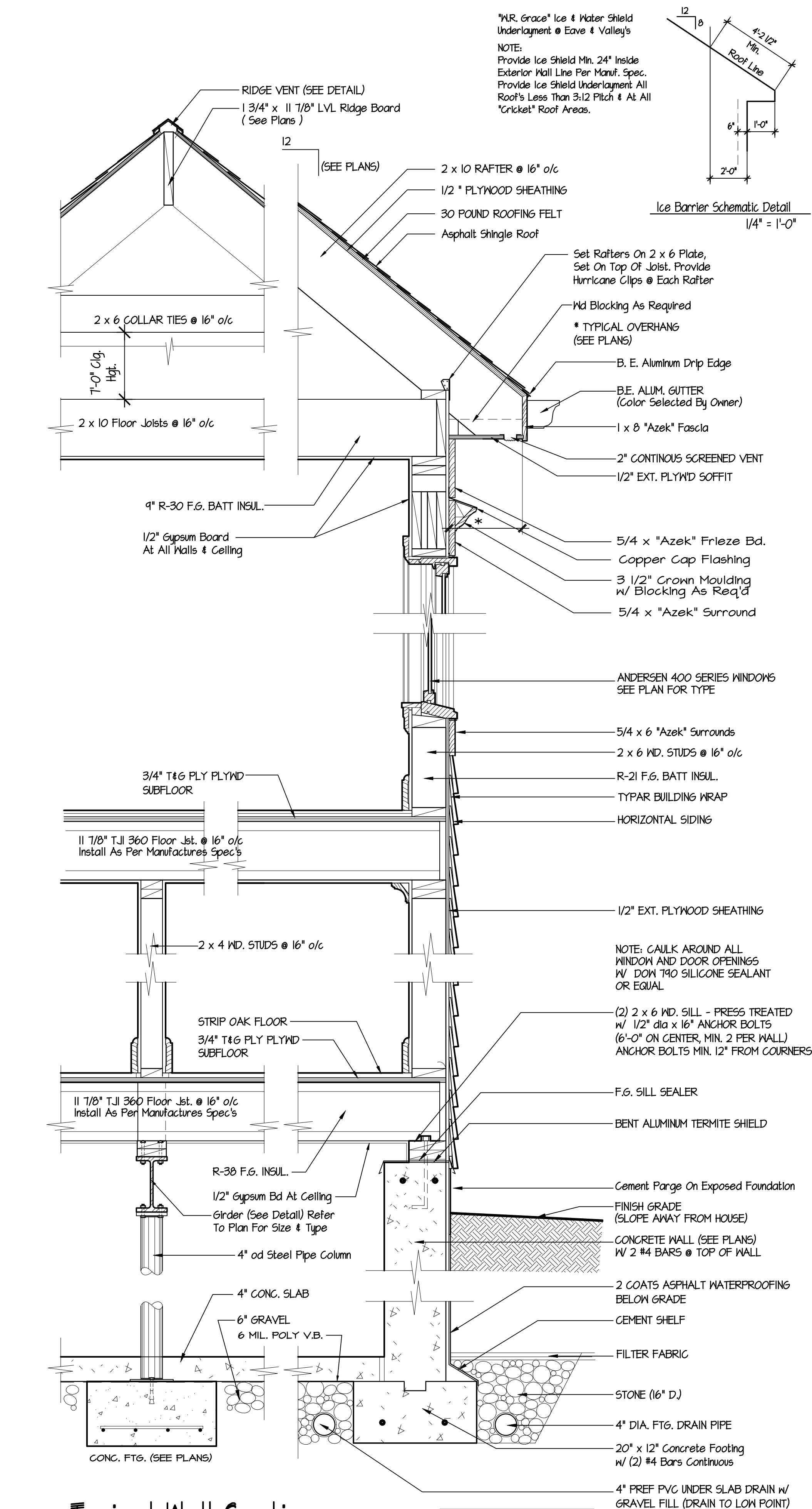
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Residence For
Lot 6
Wampus Mills Subdivision
2 Shoemaker Lane
North Castle, NY.

Revision	Date
	Aug. 16, 2021
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Typical Wall Section
Scale: 1/4" = 1'-0"

NOTE:
SEE ELEVATIONS FOR WINDOW & FLR. HEIGHTS AS REQ'D.

General Conditions:

SPECIFICATIONS: These specifications are made in general form only and not specifically for any one building. The owner applies these specifications, assumes complete responsibility for their use, changes, or omissions.

SCORE OF WORK: The Contractor shall provide all labor, materials, appliances and equipment required to complete all work, etc., as shown on the drawings necessary for a complete job, unless otherwise specified. All material and workmanship shall be of good quality.

OMISSIONS: All written figures (notes and dimensions) on the floor plans or specifications shall take precedence over any drawn figures (elevations). Do not scale prints. All dimensions must be verified by the contractor before start of construction. Any discrepancies on the plans or specifications must be reported to the Architect prior to the start of construction.

CODES: All work and materials must conform to all local and the 2015 International Residential Code, National Board of Fire Underwriters, 2016 International Energy Conservation Code State and requirements of the Board of Health.

ACCEPTABLE BUILDING STANDARDS: Installation of materials shall comply with industry standards as instituted by the national association or equivalent, group of material used. Acceptable associations shall include, but are not limited to, the following: Western Wood Products Assoc., Cedar Shake & Shingle Bureau, Brick Industry Assoc., The Council of American, National Roofing Contractors Assoc., and American Concrete Institute, etc.

MATERIALS: Shall be installed according to the manufacturer's specifications. All work shall comply with applicable sections of the state and local codes and the generally accepted standards as listed in the state building code.

PERMANENT CERTIFICATION: A permanent certificate shall be completed by the builder or registered design professional and posted on a wall in the space where the furnace is located, a utility room or an approved location inside the building. Where located on an electrical panel, the certificate shall not cover or obstruct the visibility of the circuit directory label, service disconnect label or other required labels. The certificate shall list the predominant R-values of insulation installed in or on ceiling/roof, walls, foundation (basement wall, crawlspace wall and floor) and ducts outside conditioned spaces, U-factors for fenestration and the solar heat gain coefficient (SHGC) of fenestration, and the results from any required duct system and building envelope air leakage testing on the building, where there is more than one such component, the certificate shall list the leakage covering the largest area. The certificate shall list the types and efficiencies of heating cooling and service water heating equipment, where a gas-fired vented room heater, electric furnace or baseboard electric heater is installed in the residence, the certificate shall list "gas-fired vented room heater," "electric furnace," or "baseboard electric heater," as appropriate. An efficiency shall not be listed for gas-fired vented room heaters, electric furnaces or electric baseboard heaters. See Section R403.3.5 of the 2015 International Energy Conservation Code.

SITE CONDITIONS: The General Contractor shall verify all conditions before submitting his proposal. No allowance for extra charges will be permitted because of lack of knowledge of the conditions peculiar thereto except as otherwise specified elsewhere in the contract documents. Each contractor will be responsible for his own engineering and layout once the owner has established property lines and minimum number of benchmarks. The contractor shall verify all lines, levels and dimensions shown on the drawings and will be held responsible for the correctness and setting out of his work.

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ARCHITECT STATUS: Architect has not been retained by owner to provide periodic job inspections or job administration. Purchaser of the plans shall assume full responsibilities for any deviations or changes to these plans.

Excavation:
FOUNDATION: Excavate all earth, boulders, loose and soft rock to the lines and depths indicated on the drawings. All footings to bear on solid, undisturbed earth. Excavate for all utilities as required.

FOOTINGS: To bear 12" below line of solid undisturbed earth. Design of footings are based on 2,000 psi soil. If soil bearing conditions are questionable, contractor shall consult engineer for footing design. Sloped footings shall be 1:2 max. slope. Provide (2) #4 bars continue (refer to wall section). All footings bearing from rock to soil shall be reinforced with (4) #5 bars (6" min. on both sides of joint). Dowel and pin all footings bearing on rock with a slope greater than 1:12 (30 degrees) w/ #4 dowels @ 24" o/c max.

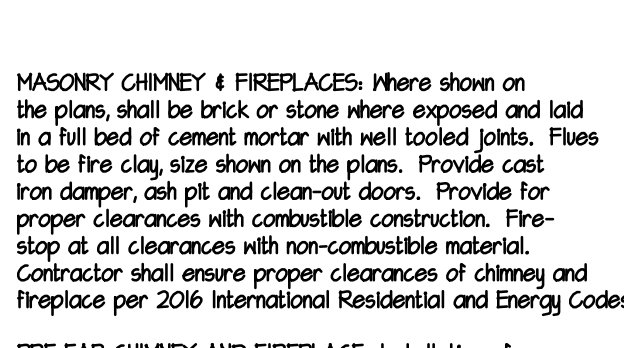
FINISH GRADING: Finish grading shall be established to provide surface drainage in all directions away from the house and excavated areas.

Concrete & Masonry:
Weathering Condition: Severe
CONCRETE: Shall be a min. FC = 3,000 psi compressive strength for footings & foundation walls and FC = 3,500 psi compressive strength for porches, steps & garage floors. Concrete shall be "Air Entrained," total air content shall not be less than 5% or more than 7%. All concrete work shall conform to the latest American Concrete Institute (ACI) guidelines.

CONCRETE FLOORS: Shall have a smooth, dense steel trowel finish, suitable to receive composition flooring. Concrete floors in living areas shall have 6 mil. poly vapor barrier and 2" x 24" (min) rigid polystyrene foam insulation around the perimeter of the slab, where slab is within 2'-0" of grade. Pitch all garage and porch floors for drainage. (1/8"/ft. min.)

POURED CONCRETE FOUNDATION: Shall comply with the latest edition of American Concrete Institute Specification and shall be plumb, straight, level and true. Forms to be properly constructed to hold concrete. Provide (2) #4 bars located at top and bottom of wall. All reinforcing bars for concrete work shall conform to A.S.T.M. A615 grade 60.

MASONRY: Concrete block shall be load bearing laid level, plumb and straight in a full bed of cement mortar (TYPE "S") with galvanized metal truss-type ties @ 24" horizontal and vertical. All joints to be well tooled. All masonry work shall conform to ACI 530 code and all reinforcement work shall conform to ACI 308-7L. Fill top two courses solid with cement mortar.



ICE BARRIER SCHEMATIC DETAIL
1/4" = 1'-0"

SET RAFTERS ON 2 x 6 PLATE, SET ON TOP OF JOIST. PROVIDE HURRICANE CLIPS @ EACH RAFTER

WOOD BLOCKING AS REQUIRED
* TYPICAL OVERHANG (SEE PLANS)

B. E. ALUM. DRAIN EDGE
B. E. ALUM. GUTTER (Color Selected By Owner)

1 x 6 "Azek" Fascia
2" CONTINUOUS SCREENED VENT
1/2" EXT. PLYWOOD SOFFIT

4" R-30 F.6. BATT INSUL.
1/2" Gypsum Board At All Walls & Ceiling

5/4 x "Azek" Frieze Ed.
Copper Cap Flashing
3 1/2" Crown Moulding w/ Blocking As Req'd
5/4 x "Azek" Surround

ANDERSEN 400 SERIES WINDOWS
SEE PLAN FOR TYPE

5/4 x 6 "Azek" Surrounds
2 x 6 IND. STUDS @ 16" o/c

R-21 F.6. BATT INSUL.
TY-PA BUILDING WRAP
HORIZONTAL SIDING

1/2" EXT. PLYWOOD SHEATHING
2 x 4 IND. STUDS @ 16" o/c

NOTE: CAULK AROUND ALL WINDOW AND DOOR OPENINGS W/ DOW 710 SILICONE SEALANT OR EQUAL

(2) 2 x 6 IND. SILL - PRESS TREATED W/ 12" dia x 16" ANCHOR BOLTS (6'-0" ON CENTER, MIN. 2 PER WALL) ANCHOR BOLTS MIN. 12" FROM COUNTERS

F.6. SILL SEALER
BENT ALUMINUM TERMITES SHIELD

Cement Parge On Exposed Foundation
FINISH GRADE (SLOPE AWAY FROM HOUSE)

CONCRETE WALL (SEE PLANS)
W/ 2 #4 BARS @ TOP OF WALL

2 COATS ASPHALT WATERPROOFING BELOW GRADE
CEMENT SHELF

FILTER FABRIC
STONE (6" D)

4" DIA. FTG. DRAIN PIPE
20" x 12" Concrete Footing w/ (2) #4 Bars Continuous

4" PREF PVC UNDER SLAB DRAIN W/ GRAVEL FILL (DRAIN TO LOW POINT)

MASONRY CHIMNEY & FIREPLACES: Where shown on the plans, shall be brick or stone where exposed and laid in a full bed of cement mortar with well isolated joints. Flues to be fire clay, size shown on the plans. Provide cast iron damper, ash pit and clean-out doors. Provide for proper clearances with combustible construction. Firestop at all clearances with non-combustible material. Contractor shall ensure proper clearances of chimney and fireplace per 2016 International Residential and Energy Codes.

PRE-FAB CHIMNEY AND FIREPLACE: Installation of prefab flues and fireplaces shall be in strict accordance with manufacturer's specification. Install firestops as required by code. Fireplace shall be metal prefab with compatible tile and shall be UL listed.

FIREPLACES: All fireplaces shall have tempered glass fire doors and closable combustion air intake ducts and comply with the 2016 International Energy Conservation Code.

DAMP-PROOFING: Foundation wall shall be dampproofed with two (2) coats of asphalt waterproofing over 1/2" cement parge (block wall) or cement wash (poured wall). Provide 4" perforated pipe footing drain laid in 6" stone with layer of filter fabric. Drain to outflow above ground or stone drainwell.

DAMP-PROOFING: Provide a complete TUFF-N-DRI Exterior Foundation Waterproofing System as manufactured by KOCH MATERIALS COMPANY or equal. Provide 4" perforated PVC footing drain laid in 6" deep (min) stone with a layer of filter fabric over. Drain to outflow above ground, min. 30' from house, when not permitted, provide drainwell.

DAMP-PROOFING: In areas of high water table or severe soil-water conditions are known to exist, provide 2-ply hot rosin felts, 55 pound roll roofing from top of footing to finished grade. All joints are to be lapped and sealed with adhesive.

Miscellaneous Metals:
STEEL: Shall conform to ASTM specification A-36 for structural steel.

FLITCH BEAMS: All steel plates shall conform to ASTM specification A-36 for structural steel. All bolt holes to be properly drilled. Torched holes are not acceptable.

ANCHOR BOLTS: Provide 1/2" dia. x 16" with hooked end. Bolts to be placed 6'-0" o.c. max. 12" min. from corner and 2 bolts min. per sill. Consult Architect for anchoring in other seismic zone.

Carpentry:
Decay Design Condition: Slight - Moderate
Termite Design Condition: Moderate - Heavy

Design Loads:
First Floor Loads Live Load 40 #/sf
Dead Load 12 #/sf

Second Floor Loads Live Load 30 #/sf
Dead Load 12 #/sf

Attic Load Live Load 20 #/sf
Dead Load 12 #/sf

0' 4"-6" Headroom Live Load 30 #/sf
Dead Load 12 #/sf

Ground Snow Load Live Load 45 #/sf
Dead Load 1 #/sf

Wind Speed Design loads: 115-120 mph
LUMBER: All framing lumber to be stress grade Douglas Fir Larch No. 2 or better.

FRAMING: Framing of the entire house shall be erected plumb, level and true, securely nailed. Joists, studs and rafters shall be doubled above all openings. All flush headers shall be connected with metal joint hangers. Double frame under all partitions parallel to framing. Sizes of joists, sheathing and rafters are shown on plans. Provide solid blocking under all posts. Contractor to provide all fire blocking at all stud wall over 10'-0" high or all horizontal framed spaces at 10'-0" intervals max.

TERMITE SHIELD: Shall be bent aluminum with sealed lapped joints (refer to wall section for other information).

SILL PLATES: All wood sill plates that rest on concrete or masonry exterior walls shall be pressure preservative treated in accordance with APFA standards or shall be of decay-resistant hardwood of redwood, black locust, or cedars. All sill plates to be set on fiberglass sill sealer or equal.

GLULAM BEAM: Shall be No. 1 Douglas Fir (min. Pb-2200 FSI).

LAMINATED VENEER BEAM: Shall be "MicroLam 1.0E" by Trus Joist Heigehausen or equal, min. 10.2600. Install as per manufacturer's specifications.

PLYWOOD JOISTS: Shall be "TJI" Joists by Trus Joist Heigehausen. Install as per manufacturer's specifications.

SUB FLOORS: Shall be 2 1/2" Advantech Flooring w/ manufacturer recommendation for glue and screwed to each framing member @ 6" o/c.

SHEATHING: Shall be 1/2" exterior grade plywood nailed to each framing member.

WOOD DECKS AND RAILINGS: Where shown on plans, shall be pressure treated No. 1 Southern yellow pine wood. All nails, bolts and all metal fastenings to be hot-dipped galvanized steel, silicon bronze or copper (see detail).

BRICK OR STONE VENEER: Shall be as shown on plans, laid in cement mortar with galvanized metal wall ties 24" horizontal and vertical. Provide weep holes at 4" o/c max. or as required (option provide "mortar" at bottom of cavity). All joints to be well tooled. Brick and/or stone shall be selected by owner.

WINDOWS: Shall be ANDERSEN Pella-shield or equal windows with insulated "Low E" glass and screens. Size and type shown on plans. Provide tempered glass where forms to be properly constructed to hold concrete. Provide (2) #4 bars located at top and bottom of wall. All reinforcing bars for concrete work shall conform to A.S.T.M. A615 grade 60.

FRENCH DOORS: Shall be ANDERSEN Frenchwood or equal with tempered insulated "Low E" glass and screens.

FIBER-CEMENT SIDING: Shall be fiber-cement plank siding by Hardie or Certainted. Install according to manufacturer's installation and details. Provide 3/8" x 1/2" wood starter strip set to true level 1/4" up from bottom edge of siding. Lap siding on 1/4" minimum over course below, placing all joints over stud bearing, the only galvanized or corrosion resistant fasteners.

INTERIOR DOORS: Interior doors shall be 1 3/8" flush masonry door grade or 6 panel pre-hung units, complete with hardware and casing. Sliding 1/2-fold and pocket doors shall be 1 3/8" flush masonry or 6 panel doors or as shown on plans, complete with hardware. Provide a self-closing 1" label insulated door and frame between garage and house.

EXTERIOR TRIM: Shall be "Azek" or Equal. Size and shape shown on plans.

INTERIOR TRIM: Shall be stock sections of pine and shall be neatly fitted and mitered and complete, including doors and window casings, aprons, and stools, base at the floor. Closets to have one 3/4" shelf with clothes pole adequately supported. Linen closets to have five (5) 3/4" shelves.

WOOD STAIR: Provide oak tread stair, size shown on the plan. Provide complete hardwood railing post, newel, and balusters (4 1/2" o.c. max.), as required. Stair to have oakland (4" w/ 1/8" nosing or closed stair), clear pine stringer and risers (8 1/4" max.). Provide oak tread return and wedged. All trim to be mitered and glued. Stair shall be fabricated in millshop by professional stair-builder. The general contractor shall be responsible to field check and verify stair dimensions and compliance with local & state building codes.

FLOORS: Wood floors shall be 25/32 strip oak securely nailed to joists over a layer of rosin paper. Composition floors shall be 1/8" vinyl set in mastic on concrete, or 3/8" exterior PVC plywood underlayment in joist areas.

ATTIC/CRAWLSPACE ACCESS: Access doors from conditioned spaces to unconditioned spaces such as attics and crawl spaces shall be weatherstripped and insulated to a level equivalent to the insulation on the surrounding surfaces. Access shall be provided to all equipment that prevents damage or compressing the insulation. A wood-framed or equivalent bottle cap access is required to be provided when loose-fill insulation is installed, the purpose of which is to prevent the loose-fill insulation from spilling into the living space when the attic access is opened, and to provide a permanent means of accessing the insulation. See Section R402.2.4 of the 2015 International Energy Conservation Code.

BUILDING CAVITIES: Building framing cavities shall not be used as ducts or plenums as per Section R403.3.5 of the 2015 International Energy Conservation Code.

ROOFING: All chimneys shall be properly flashed. Provide self-sealing rubberized waterproof membrane (36" wide min) at all eaves, openings, hips, valleys, and ridges by MR. Grace and Company or equal (ice and water shield). All roofing shall be installed by qualified roofing contractors in strict accordance with manufacturer's specifications.

ASPHALT SHINGLE ROOF: Shall be 30-year nastic asphalt shingles laid on 1/2" roofing felt.

ROOF VENTILATION: Ventilate attic and rafter spaces with proper sized screened ridge and soffit vents or louvers (see plans).

GYP-SUM BOARD: 1/2" nailed with rosin nails according to manufacturer's specifications. All joints to be taped and receive three (3) coats of joint compound. Finish to be smooth and even, ready for painting. Provide 5/8" type "X" gypsum board at both sides of garage hose walls and ceilings. Also, provide 100 SF min. over furnace.

CUTTERS AND LEADERS: Provide baked enamel gutters and leaders as required. All leaders and gutters are to be properly supported at all joint areas.

INSULATION: Shall be fiberglass batts with vapor barrier. Provide insulation as per 2016 International Energy Conservation Code Section R402. RES-CHECK software is allowed to be used to calculate insulation requirements.

Tile Work:
CERAMIC TILE: Baths and lavatory floors to receive matt glazed ceramic tile set in thin-set grout. Installation to be as per latest edition of the Tile Council of America specifications. Consult Architect if other setting methods are to be used to verify floor structure. Tub and shower nail to receive glazed ceramic tile. tile set in mastic 6" high (min). Provide water-resistant cement backer boards to tub shower walls and wet areas.

ACCESSORIES AND ATTACHMENTS: Provide ceramic accessories such as soap dish, paper holder, 2 towel bars per bath. Provide mirror medicine cabinet with light over. Provide formica stock vanity where shown on plans.

Painting:
EXTERIOR: Siding, fascias, and trim shall receive one (1) prime coat and one (1) finish coat of exterior stain or paint.

INTERIOR: Walls to receive one (1) prime coat and one (1) finish coat of latex or oil flat paint. Flush hardwood doors to receive one (1) coat of stain and one (1) coat of satin polyurethane finish. Six (6) panel doors to receive one (1) coat primer and one (1) coat of satin enamel finish. Floors to be sanded and receive one (1) coat of sealer and one (1) coat of floor polyurethane, gloss finish.

HEATING:
TRIM AND MISCELLANEOUS WOOD: Shall have one (1) prime coat and one (1) finish coat of satin enamel.

HEATING AND AIR CONDITIONING: Shall be oil-fired hydro-air system, complete with boiler, hydronic zone controls, thermostats, oil tank, etc. for 5 zones. Provide domestic hot water tank or separate circulating storage tank if required in boiler. Provide air handling units, condensers, insulated supply ducts and vents to each room. Heating and cooling system to be designed and guaranteed to conform to the latest ASHRA specifications and the Energy Code of New York State. Heating system shall be designed and guaranteed to maintain 70 degrees F indoor temperature with 19 degrees F outdoor temperature.

DUCTS: All ducts shall be fabricated and rigidly installed with required bracing and supports. The main supply and return duct shall be isolated from the heater and blower by means of fabric insulators. Provide duct support for each run. Insulate all ducts located in garage, attic, and wheeled areas.

Duct Insulation:
Supply ducts in unconditioned attics or outside the building must be insulated to R-8.
Return ducts in unconditioned attics or outside the building must be insulated to R-6.
Supply ducts in unconditioned spaces must be insulated to R-8.
Return ducts in unconditioned spaces must be insulated to R-6

Duct Construction:
All joints, seams, and connections must be securely fastened with welds, gaskets, mastics (adhesives), mastic-embed-fabric, or tapes. Duct tape is not permitted.
- Exception: Continuously welded and locking-type long-bulb joints and seams on ducts operating at less than 2 in. Hg. (500 Pa).
- Exception: Air-impervious spray foam products shall be permitted to be applied without additional joint seals.
Ducts shall be supported every 10 feet or in accordance with the manufacturer's instructions.
Cooling ducts with exterior insulation must be covered with a vapor retarder.
Air filters are required in the return air system.
The HVAC system must provide a means for balancing air and water systems.

Temperature Controls:
Each dwelling unit has at least one thermostat capable of automatically adjusting the space temperature set point of the largest zone.

Electrical Systems:
Separate electric meters are required for each dwelling unit.

Fireplaces:
Fireplaces must be installed with tight fitting non-combustible fireplace doors. Fireplaces must be provided with a source of combustion air, as required by the Fireplace construction provisions of the Building Code, the Residential Code as applicable.

Service Water Heating:
Water heaters with vertical pipe risers must have a heat trap on both the inlet and outlet unless the water heater has an integral heat trap or is part of a circulating system.
Heated water circulation systems shall be in accordance with Section R103.5.1.1. Heat traps temperature maintenance systems shall be in accordance with Section R103.5.1.2. Automatic controls, temperature sensors and pumps shall be accessible. Manual controls shall be readily accessible.

Swimming Pools:
All heated swimming pools must have an on/off heater switch and require a cover unless over 20% of the heating energy is from non-depletable sources. Pool pumps require a time clock.

Heating & Cooling Piping Insulation:
Mechanical piping capable of carrying fluids above 125 degrees Fahrenheit and insulated fluids below 35 degrees F must be insulated to a minimum of R-3. See Section R403.4 of the 2015 International Energy Conservation Code for more detail.

Electrical:
Electrical system to be designed to comply with NEC 10 specification.
Electrical: Provide a minimum of 120/208-200 amp, or larger, if required, for service. Switches to be silent type. Locations of outlets, fixtures, etc., as shown on plans. All electric work to conform to the National Board of Fire Underwriters Codes. Provide a complete door bell system.
Contractor to provide exhaust fans at both rooms (vent to exterior). Provide # install as per code.
Contractor to provide smoke & heat detectors with battery back-up (see plans for location). Detectors shall conform to all applicable codes and shall be installed as per code R314.3. Hard-wire and interconnected per section R314.4
Contractor to provide carbon monoxide detectors with battery back-up (see plans for location). Detectors shall conform to all applicable codes and shall be installed as per building code. Section R315.

Lighting Equipment: Not Less Than 75 Percent Of The Lamps Provided In Permanently Installed Light Fixtures Are High Efficacy Lamps Or Not Less Than 75 Percent Of The Lamps In Permanently Installed Light Fixtures Shall Contain Only High Efficacy Lamps As Per R404.1 Of The 2015 International Energy Conservation Code.

MECHANICAL VENTILATION: The building shall be provided with ventilation that meets the requirements of the International Residential Code or International Mechanical Code, as applicable, or with other approved means of ventilation. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating. See Section R403.6 of the 2015 International Energy Conservation Code For More Detail.

Site Work:
SITE WORK: Provide 2" blacktop driveway, 4" gravel base to street. Sidewalks to be 3" wide, 4" concrete or 1 1/2" Hespstone laid in sand, from house to driveway. Provide top soil and seed to all areas disturbed by construction.

Refer to "RES CHECK" energy study attached to plans or fixed to first page.

INSULATION: Shall be fiberglass batt with foil faced vapor barrier, "R" value stated on attached RES-CHECK.

Pack insulation in all cavities around all exterior windows, doors and other openings.

AIR LEAKAGE: Joints, penetrations, and all other such openings in the building envelope that are sources of air leakage must be sealed in accordance with the requirements of Sections R402.4.1 through R402.4.4. of the 2015 International Energy Conservation Code. recessed lights must be U Type G rated, or 2) installed inside an appropriate air-tight assembly with a 0.5" clearance from combustible materials. If non-rated, the fixture must be installed with a 3" clearance from insulation.

VAPOR RETARDER: Required on the warm-in-hinter side of all non-vented framed ceilings, walls, and floors.

Material Identification:
Materials and equipment must be installed in accordance with the manufacturer's installation instructions. Materials and equipment must be identified so that compliance can be determined.
Manufacturer manuals for all installed heating and cooling equipment and service water heating equipment must be provided. Insulation R-values and glazing U-factors must be clearly marked on the building plans or specifications.

Do Not Scale Prints

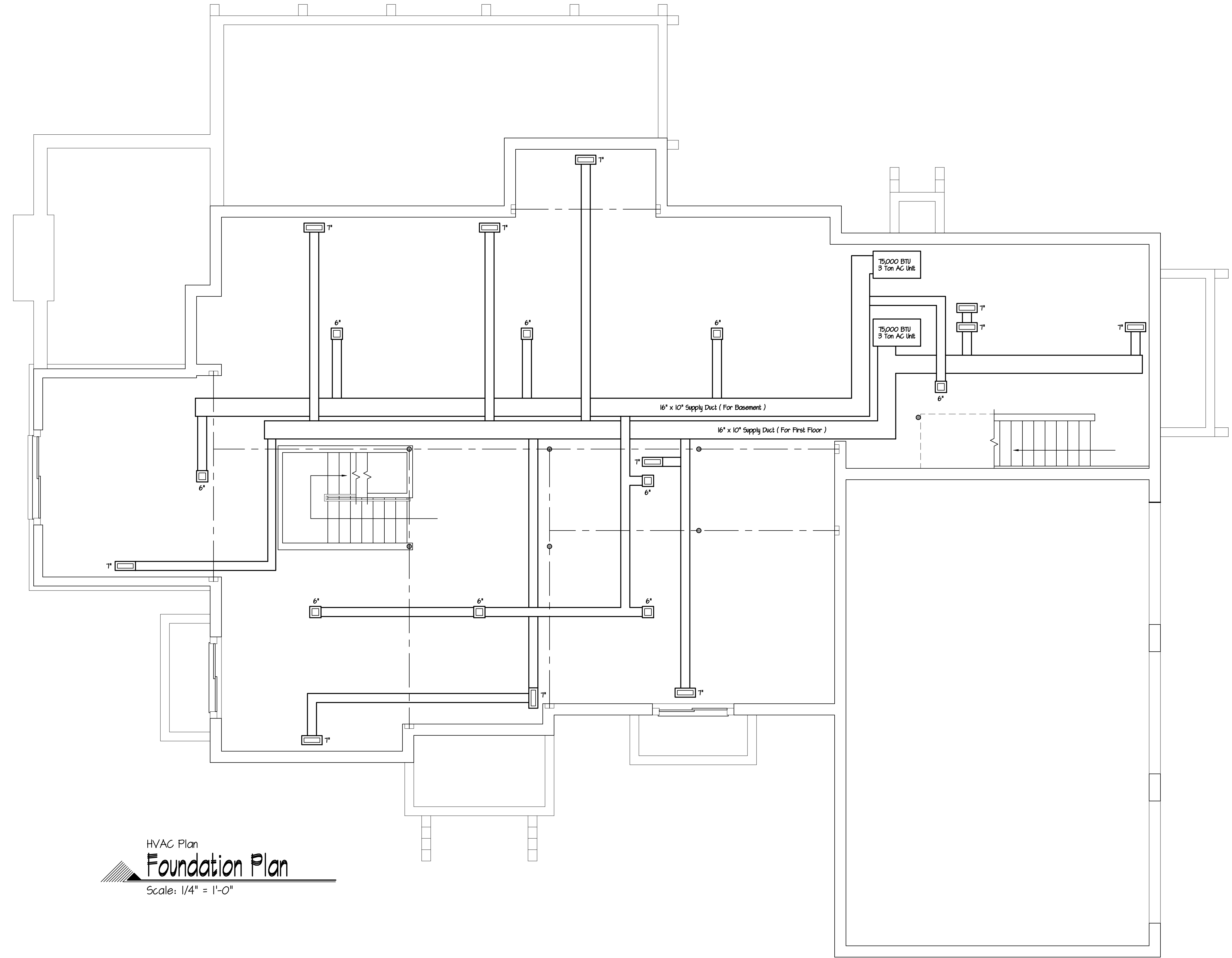
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Residence For
Lot 6
Wampus Mills Subdivision
2 Shoemaker Lane
North Castle, NY.

Revision	Date
	Aug. 16, 2021
Job No	221-058
Drawing	10 OF 10



HVAC Plan
Foundation Plan
 Scale: 1/4" = 1'-0"

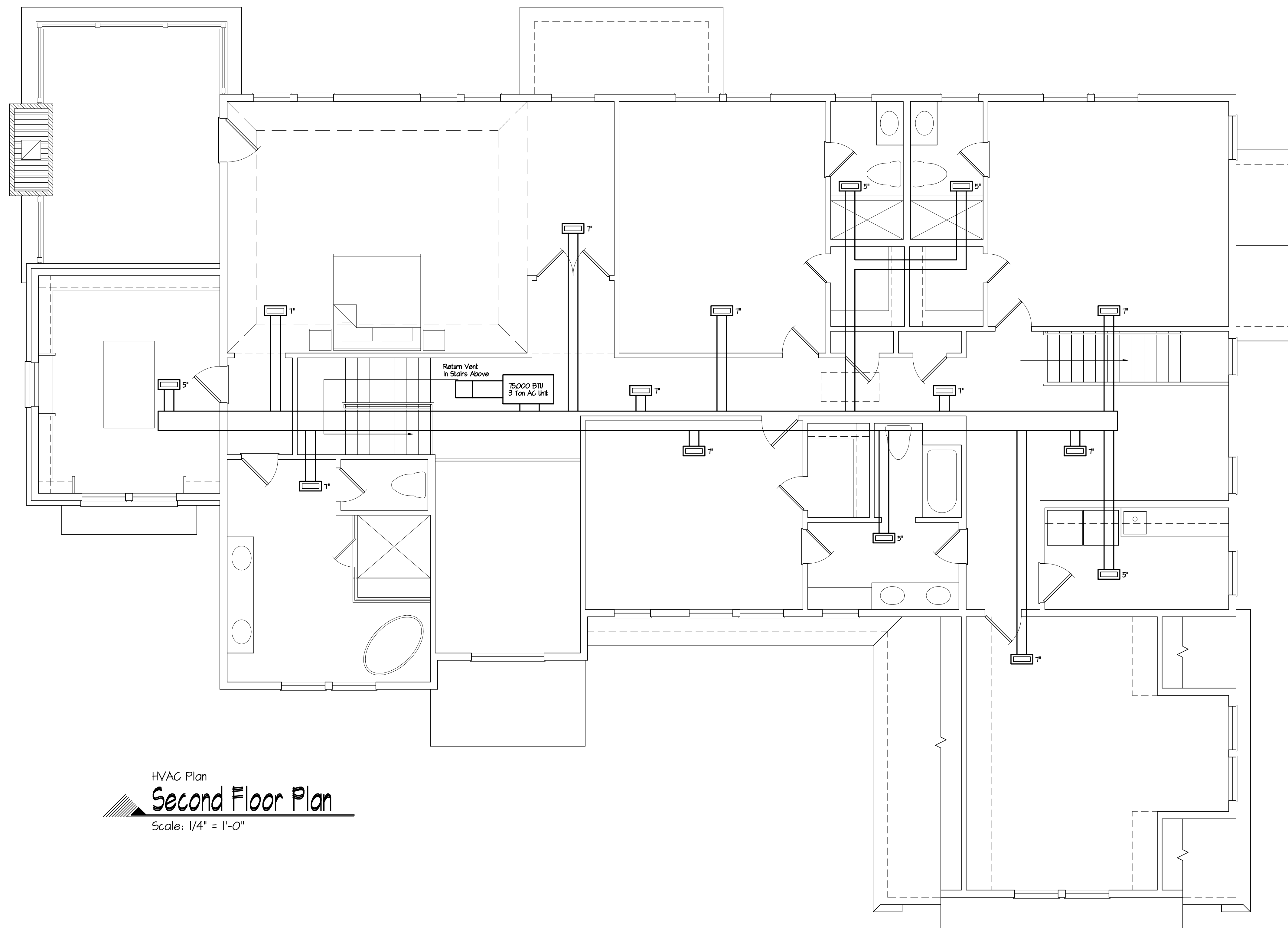
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HVAC Plan For
Lot 6
Wampus Mills Subdivision
2 Shoemaker Lane
North Castle, NY.

Revision	Date
	Aug. 16, 2021
Job No	221-058
Drawing	1 OF 2



HVAC Plan
Second Floor Plan
 Scale: 1/4" = 1'-0"

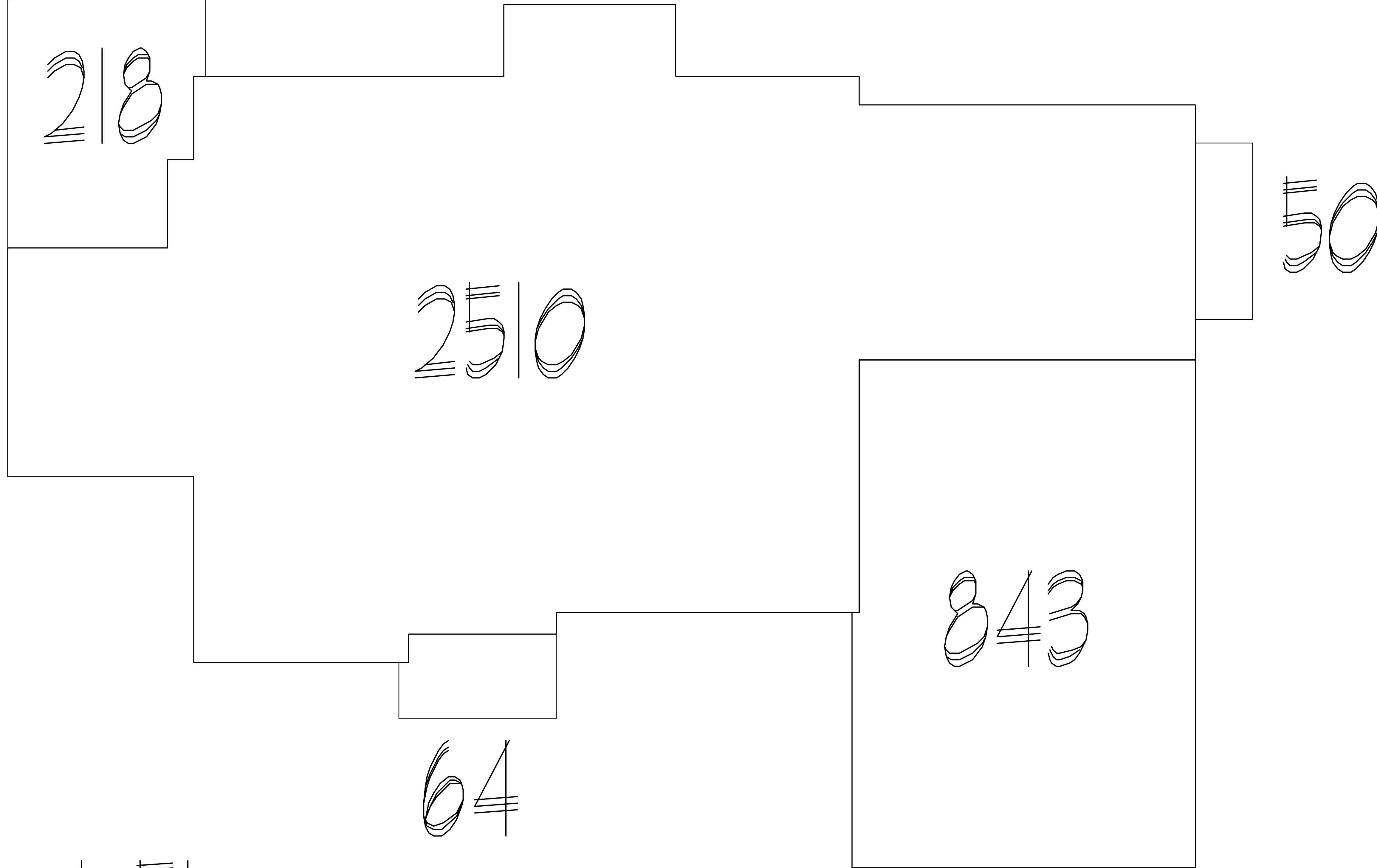
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HVAC Plan For
Lot 6
Wampus Mills Subdivision
2 Shoemaker Lane
North Castle, NY.

Revision	Date
	Aug. 16, 2021
Job No	221-058
Drawing	2 OF 2



First Floor
 Scale: 1/4" = 1'-0"

Note: Lines Shown are
 Computer Polyline Entities

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FAR Plan For
 Lot 6
 Wampus Mills Subdivision
 2 Shoemaker Lane
 North Castle, NY.

Revision	Date
	Aug. 16, 2021
Job No	221-058
Drawing	1 OF 2

Second Floor

Scale: 1/4" = 1'-0"

Note: Lines Shown are
Computer Polyline Entities

2834

3/3

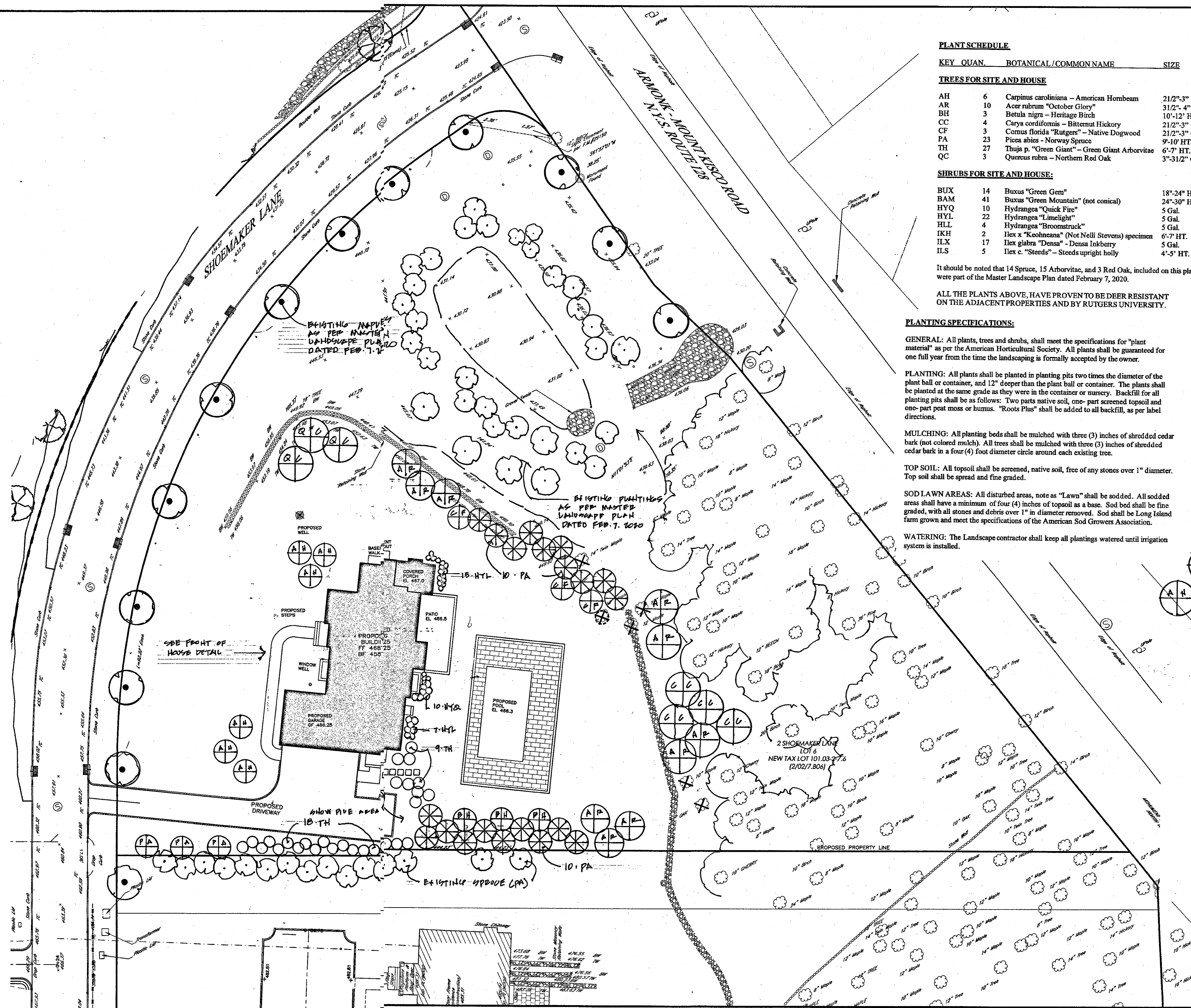
FAR Plan For
Lot 6
Wampus Mills Subdivision
2 Shoemaker Lane
North Castle, NY.

Revision	Date
	Aug. 16, 2021
Job No	221-058
Drawing	2 OF 2

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PLANT SCHEDULE

KEY QUAN. BOTANICAL / COMMON NAME SIZE

TREES FOR SITE AND HOUSE

AH	6	Carpinus caroliniana - American Hornbeam	2 1/2" - 3" Cal.
AR	10	Acer rubrum "October Glory"	3 1/2" - 4" Cal.
BH	3	Betula nigra - Heritage Birch	10" - 12" HT.
CC	4	Carya cordiformis - Bitternut Hickory	2 1/2" - 3" Cal.
CF	3	Comus florida "Rutgers"	2 1/2" - 3" Cal.
PA	23	Picea abies - Norway Spruce	9" - 10" HT.
TH	27	Thuja p. "Green Giant" - Green Giant Arborvitae	6" - 7" HT.
QC	3	Quercus rubra - Northern Red Oak	3" - 3 1/2" Cal.

SHRUBS FOR SITE AND HOUSE:

BUX	14	Buxus "Green Gem"	18" - 24" HT.
BAM	41	Buxus "Green Mountain" (not conical)	24" - 30" HT.
HYQ	10	Hydrangea "Quick Fire"	5 Gal.
HYL	22	Hydrangea "Limelight"	5 Gal.
HLL	4	Hydrangea "Broomstruck"	5 Gal.
IKH	2	Ilex x "Keokheana" (Not Nelli Stevens) specimen	6" - 7" HT.
ILX	17	Ilex glabra "Densa" - Densa Inkberry	5 Gal.
ILS	5	Ilex c. "Steeds" - Steeds upright holly	4" - 5" HT.

It should be noted that 14 Spruce, 15 Arborvitae, and 3 Red Oak, included on this plan were part of the Master Landscape Plan dated February 7, 2020.

ALL THE PLANTS ABOVE, HAVE PROVEN TO BE DEER RESISTANT ON THE ADJACENT PROPERTIES AND BY RUTGERS UNIVERSITY.

PLANTING SPECIFICATIONS:

GENERAL: All plants, trees and shrubs, shall meet the specifications for "plant material" as per the American Horticultural Society. All plants shall be guaranteed for one full year from the time the landscaping is formally accepted by the owner.

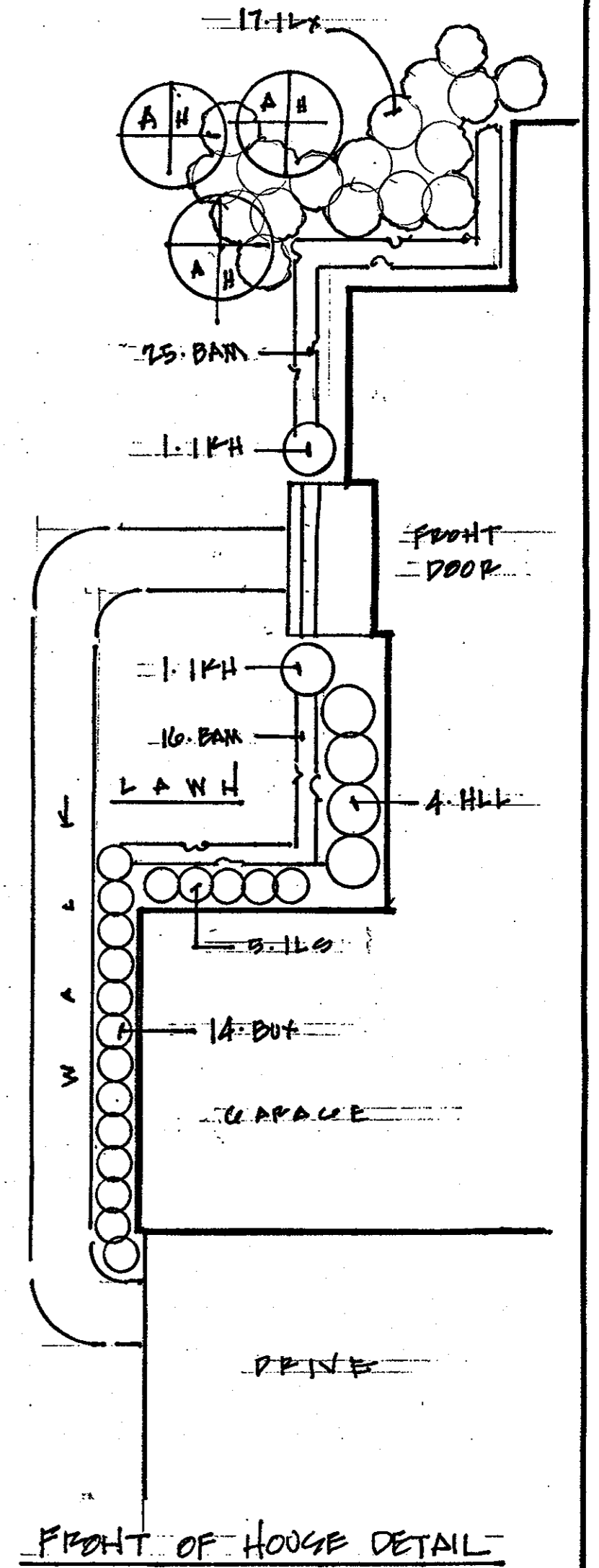
PLANTING: All plants shall be planted in planting pits two times the diameter of the plant ball or container, and 12" deeper than the plant ball or container. The plants shall be planted at the same grade as they were in the container or nursery. Backfill for all planting pits shall be as follows: Two parts native soil, one-part screened topsoil and one-part peat moss or humus. "Roots Plus" shall be added to all backfill, as per label directions.

MULCHING: All planting beds shall be mulched with three (3) inches of shredded cedar bark (not colored mulch). All trees shall be mulched with three (3) inches of shredded cedar bark in a four (4) foot diameter circle around each existing tree.

TOP SOIL: All topsoil shall be screened, native soil, free of any stones over 1" diameter. Top soil shall be spread and fine graded.

SOD LAWN AREAS: All disturbed areas, note as "Lawn" shall be sodded. All sodded areas shall have a minimum of four (4) inches of topsoil as a base. Sod bed shall be fine graded, with all stones and debris over 1" in diameter removed. Sod shall be Long Island farm grown and meet the specifications of the American Sod Growers Association.

WATERING: The Landscape contractor shall keep all plantings watered until irrigation system is installed.



LANDSCAPE PLAN
 LOT 6 - WAMPUS MILLS
 SUBDIVISION
 2 SHOEMAKER LANE
 101.03/27.6
 TOWN OF NORTH CASTLE
 ARMONK, NEW YORK 10504
 SCALE: AS NOTED
 August 14, 2021

FRANK GIULIANO - LANDSCAPE ARCHITECTS
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