



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 6 TRIPP LANE, ARMONK, NEW YORK, 10504

Section III- DESCRIPTION OF WORK:

PROPOSED SECOND STORY AND DRIVEWAY EXPANSION.

Section III- CONTACT INFORMATION:

APPLICANT: DENNIS BUTLER

ADDRESS: 6 TRIPP LANE, ARMONK, NY 10504

PHONE: _____ MOBILE: _____ EMAIL: DENNISBUTLER@GMAIL.COM

PROPERTY OWNER: DENNIS BUTLER

ADDRESS: 6 TRIPP LANE, ARMONK, NY 10504

PHONE: _____ MOBILE: _____ EMAIL: DENNISBUTLER@GMAIL.COM

PROFESSIONAL.: RALPH ALFONZETTI

ADDRESS: 1100 ROUTE 52, CARMEL, NY 10512

PHONE: 845-228-9800 MOBILE: _____

EMAIL: INFO@ALFONZETTIENG.COM

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 108.02-1-9



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: BUTLER RESIDENCE

Initial Submittal Revised Preliminary

Street Location: 6 TRIPP LANE, ARMONK, NY 10504

Zoning District: R-2A Property Acreage: 2.397 Tax Map Parcel ID: 108.02-1-9

Date: 08/10/2021

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: BUTLER RESIDENCE Date: 08/10/2021

Tax Map Designation or Proposed Lot No.: 108.02-1-9

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 104,440.46 S.F.
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 14,567.0 S.F.
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
- 4.0 Distance principal home is beyond minimum front yard setback
 $\times 10 = \underline{40}$ 40 S.F.
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 14,607.0 S.F.
5. Amount of lot area covered by **principal building**:
2,052.2 s.f. existing + 0 proposed = 2,052.2 S.F.
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0 S.F.
7. Amount of lot area covered by **decks**:
123.0 s.f. existing + 0 proposed = 123.0 S.F.
8. Amount of lot area covered by **porches**:
128.5 s.f. existing + 0 proposed = 128.5 S.F.
9. Amount of lot area covered by **driveway, parking areas and walkways**:
1,481.6 s.f. existing + 720 s.f. proposed = 2,201.6 S.F.
10. Amount of lot area covered by **terraces**:
0 existing + 0 proposed = 0 S.F.
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 0 proposed = 0 S.F.
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0 S.F.
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 4,505.3 S.F.

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet



8/16/2021
 Date



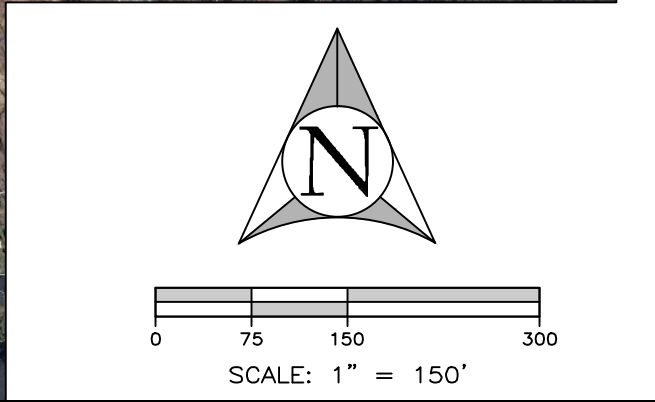
ALFONZETTI ENGINEERING, P.C.
 1100 ROUTE 52, CARMEL, N.Y. 10512
 845 - 228 - 9800

PROJECT:

6 TRIPP LANE
 TOWN OF NORTH CASTLE,
 WESTCHESTER COUNTY, NEW YORK

DRAWING:

VICINITY MAP
 AUGUST 10, 2021



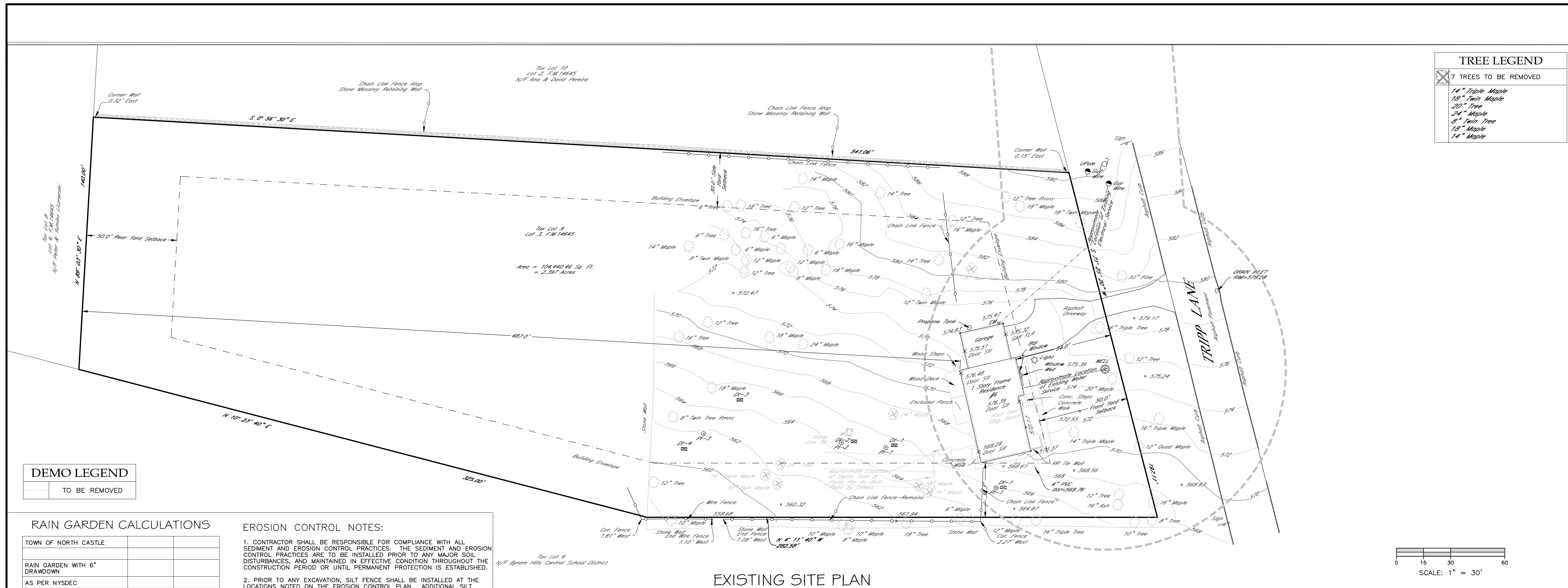
ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

PROJECT:

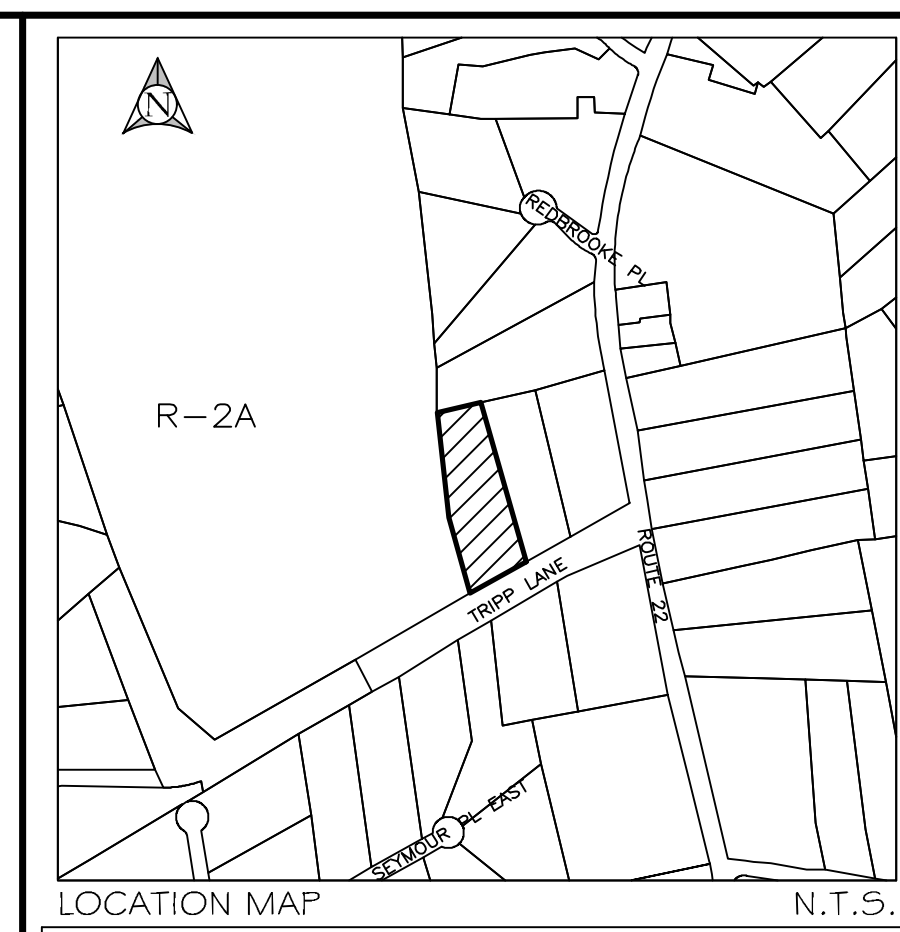
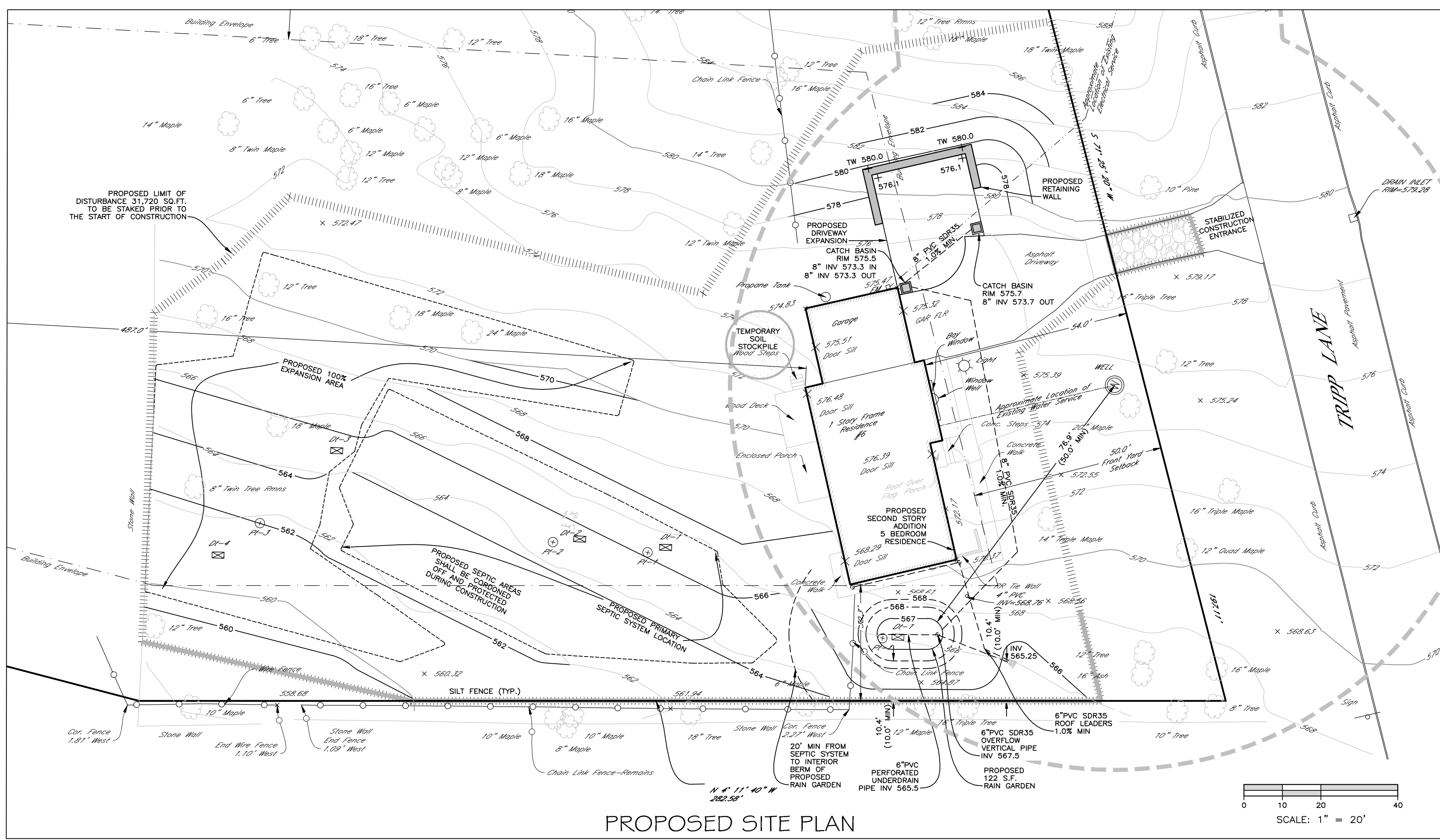
6 TRIPP LANE
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NEW YORK

DRAWING:

AERIAL VIEW
AUGUST 10, 2021



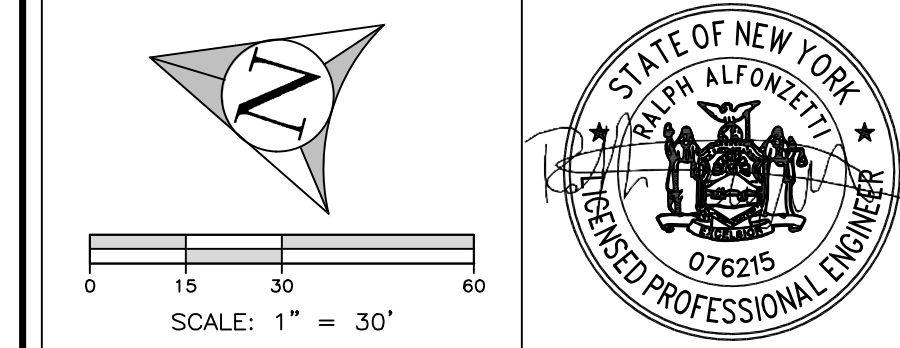
- EROSION CONTROL NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
 - PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
 - INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2"-3" DIAMETER CRUSHED STONE 6" DEEP.
 - TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 - ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
 - ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
 - ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
 - ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
 - THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
 - ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
 - UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED.
 - SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED BY PERMANENT MEASURES.
 - ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
 - ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).



- CONSTRUCTION SEQUENCE:**
- SURVEY AND STAKE LIMITS OF DISTURBANCE AND EROSION CONTROL INSTALLATION.
 - INSTALL EROSION CONTROLS (ANTI-TRACKING PAD, SILT FENCE, TEMPORARY SOIL STOCKPILES) AS SHOWN ON THE EROSION CONTROL PLAN AND PER THE RESPECTIVE EROSION CONTROL DETAILS.
 - REMOVE ANY IMPERVIOUS SURFACES PROPOSED TO BE REMOVED.
 - STRIP TOPSOIL AND ROUGH GRADING. NOTE THAT DISTURBED SOIL THAT WILL NOT BE WORKED FOR A PERIOD GREATER THAN 14 DAYS MUST BE STABILIZED. STABILIZATION MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS.
 - EXCAVATE AND INSTALL SUBSURFACE UTILITIES; WATER SERVICE, ELECTRIC TELEPHONE/CABLE/DRAINAGE, SEPTIC SYSTEM SHALL BE STAKED, SEPTIC SYSTEM AND WELL SHALL BE INSTALLED.
 - PROTECT SEPTIC SYSTEM DURING CONSTRUCTION.
 - FINAL GRADING, SEEDING, SODDING, AND OTHER SOIL STABILIZING LANDSCAPING FOR FINAL SITE STABILIZATION.
 - REMOVE EROSION CONTROL SILT FENCE AND ANTI-TRACKING PAD. DISCARD EROSION CONTROL DEVICES IN AN APPROPRIATE MANNER.

BASE SITE PLAN AND TOPOGRAPHY IS FROM SURVEY ENTITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR WILLIAM BUTLER," PREPARED BY T.C. MERRITTS LAND SURVEYORS LAST DATED NOVEMBER 24, 2021.

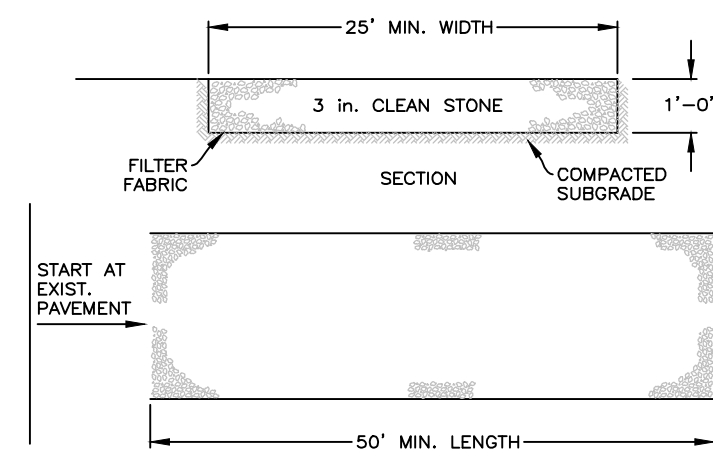
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 2209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY MANNER BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED. THE ALTERING ENGINEER OR LAND SURVEYOR SHALL SIGN TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C.
 1100 ROUTE 52, CARMEL, N.Y. 10512
 845-228-9800

DEMOLITION AND SITE PLAN
 AUGUST 10, 2021

PROJECT: BUTLER RESIDENCE
 TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK

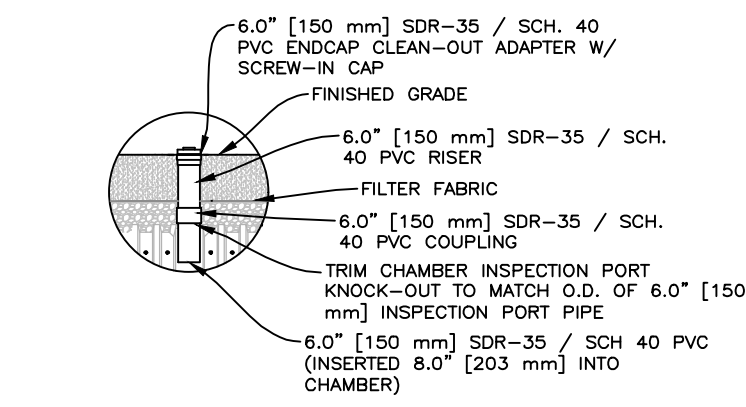


TO BE PROVIDED AT ALL POINTS OF EQUIPMENT INGRESS OR EGRESS ONTO PUBLIC RIGHTS-OF-WAY.

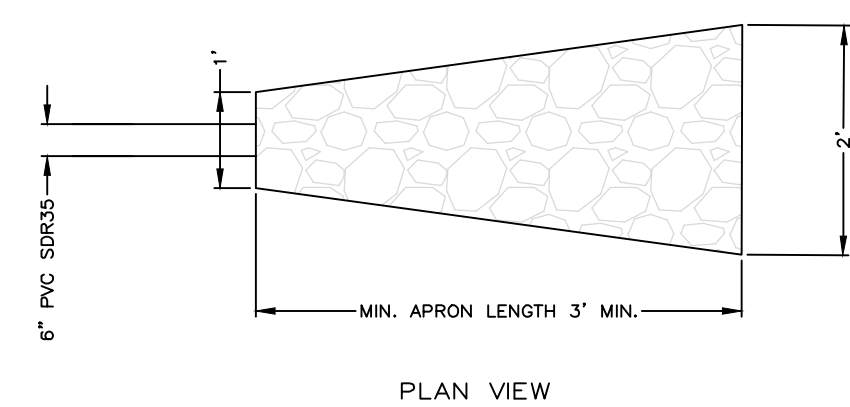
INSTALLATION NOTES

1. STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

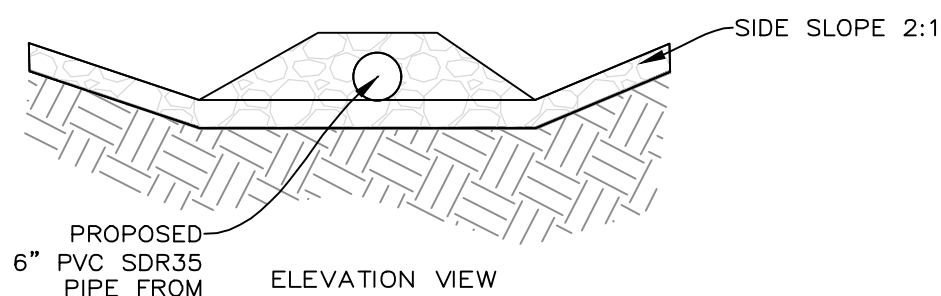
STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)
N.T.S.



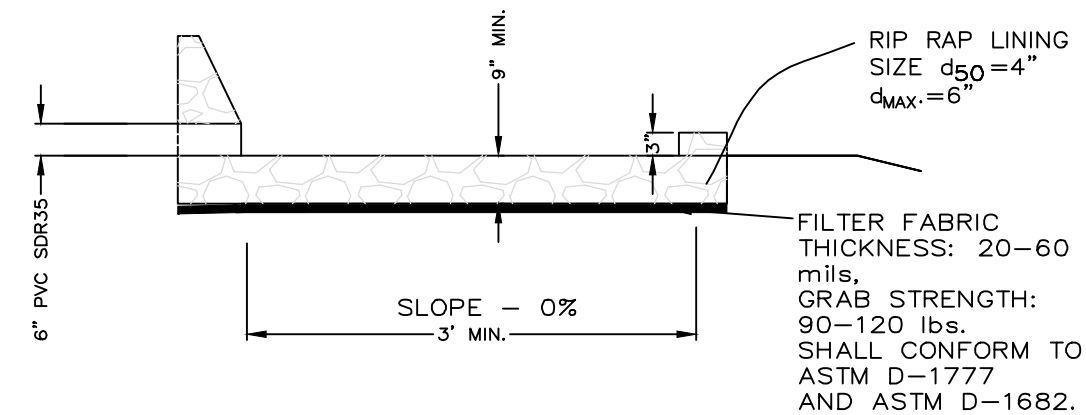
'CULTEC' CHAMBERS INSPECTION PORT NON-TRAFFIC APPLICATION
N.T.S.



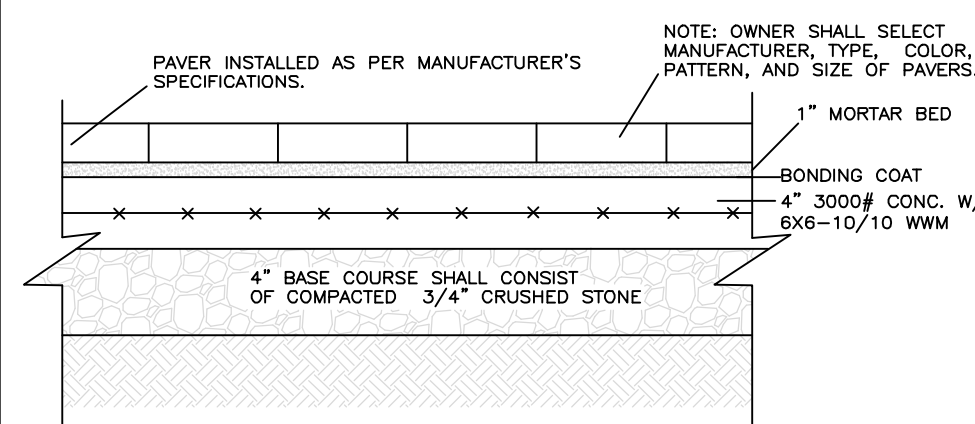
PLAN VIEW



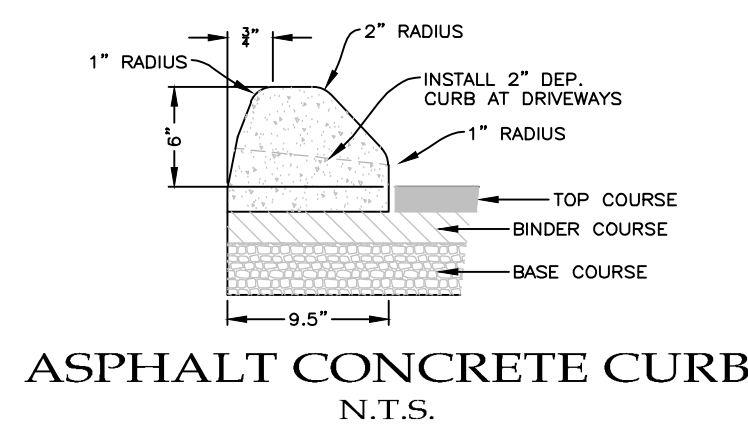
ELEVATION VIEW



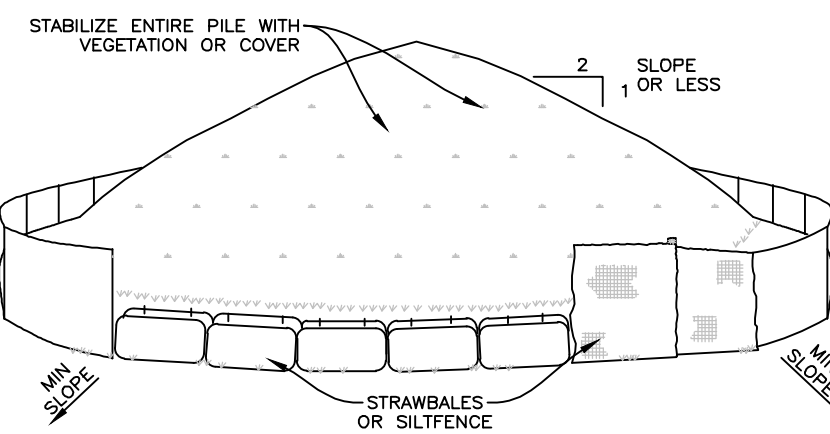
OUTLET PROTECTION
N.T.S.



WALKWAY DETAIL
N.T.S.



ASPHALT CONCRETE CURB
N.T.S.



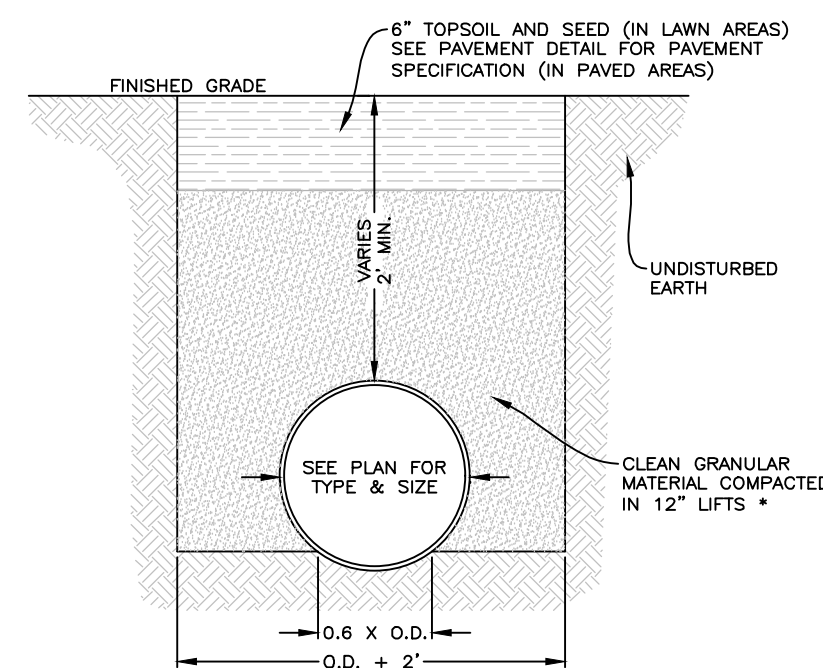
TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOILS THAT ARE DROUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

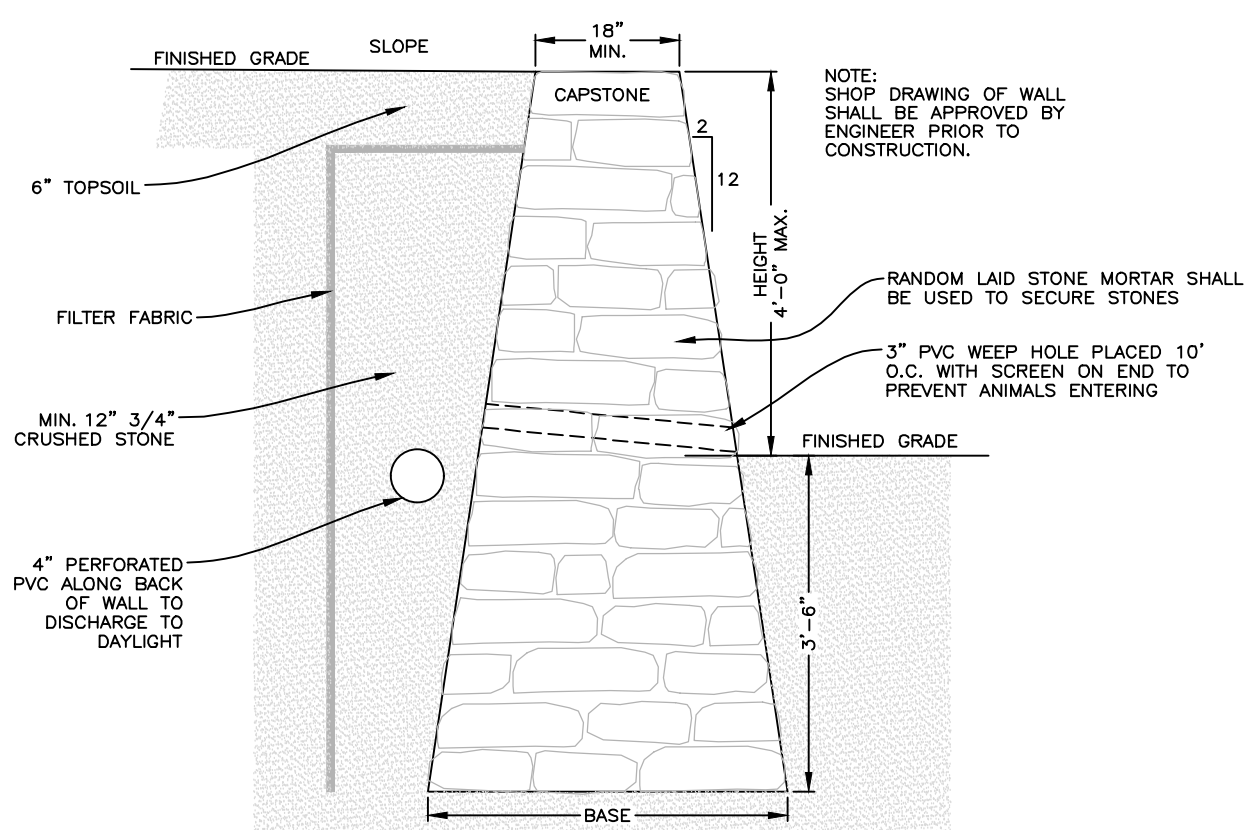
INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

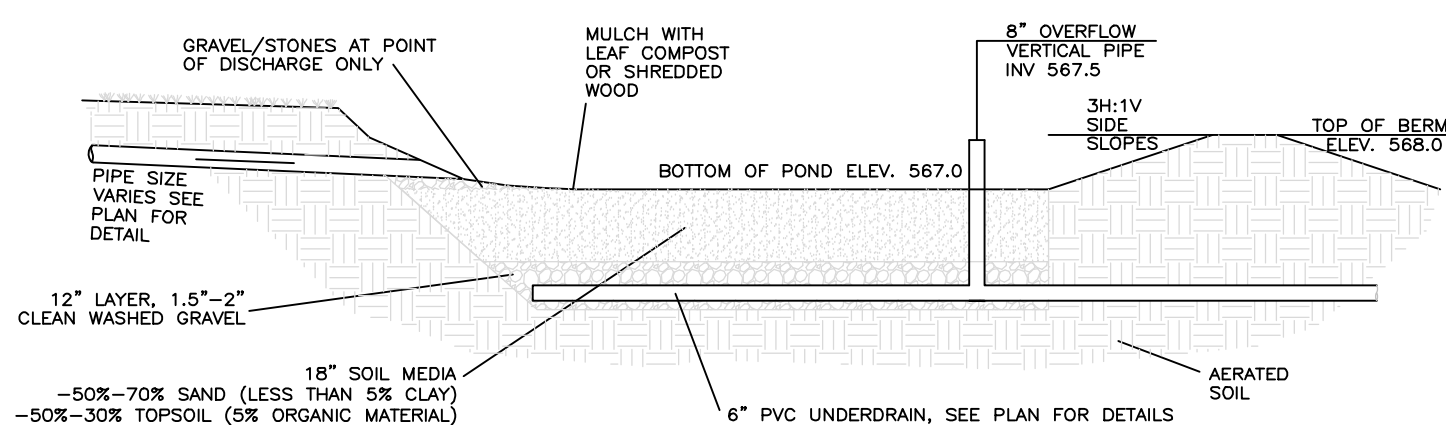
TEMPORARY MATERIAL STOCKPILE
N.T.S.



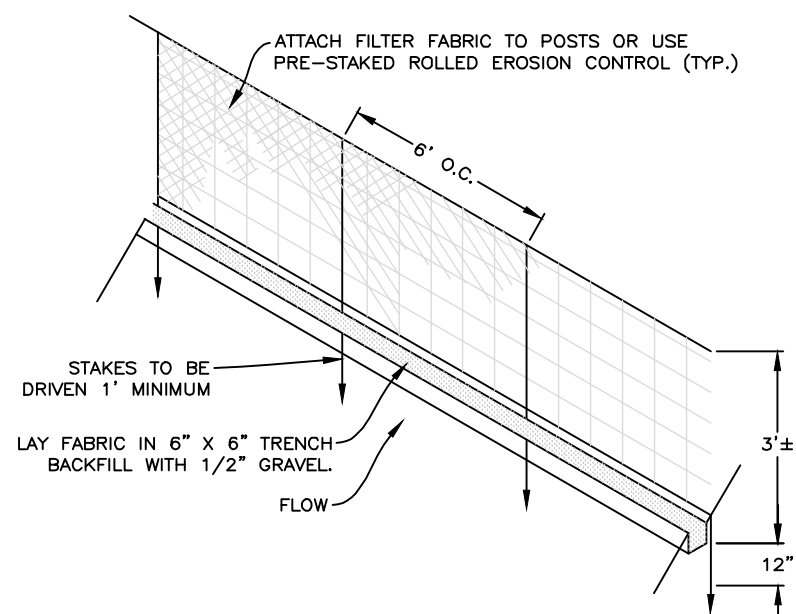
DRAIN PIPE TRENCH DETAIL
N.T.S.



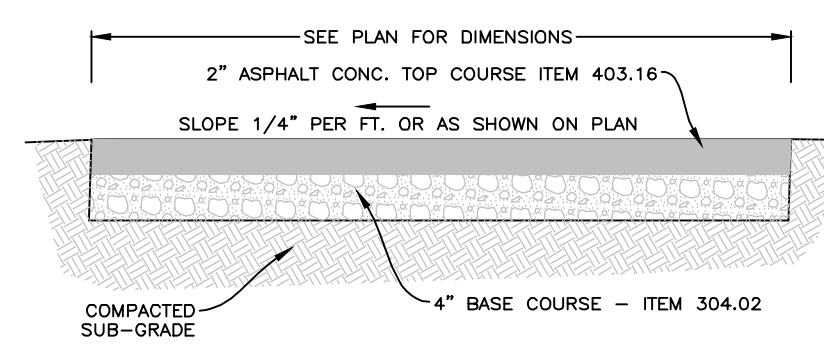
TYPICAL RETAINING WALL
N.T.S.



RAIN GARDEN DETAIL
N.T.S.



SILT FENCE
N.T.S.

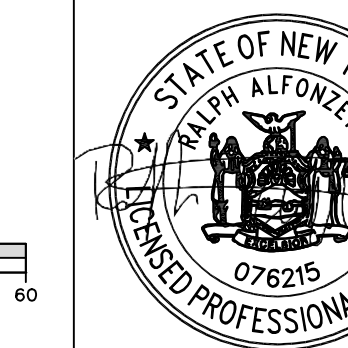
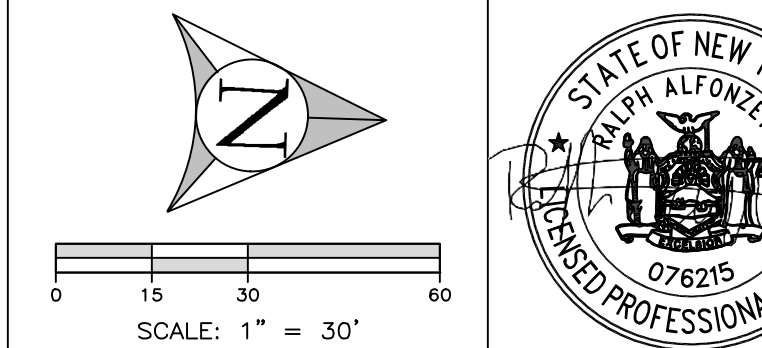


DRIVEWAY SECTION
N.T.S.

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
2. THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
4. AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
5. ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
8. UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
9. ALL PROPOSED OR DISTURBED SLOPES, 1H:2V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
10. IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
11. NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.
12. OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

SITE DATA

OWNER/APPLICANT:
WILLIAM BUTLER
SITE ADDRESS:
6 TRIPP LANE, ARMONK,
NEW YORK 10504
TAX MAP #:
108.02-1-9
LOT AREA:
2.397 ACRES
ZONING: R-2A
DRAWING:

SITE DETAILS
AUGUST 10, 2021

PROJECT:
BUTLER RESIDENCE
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY,
NEW YORK

SHEET:
02
OF
02



▲ Front Elevation

Preliminary

Residence For

6 Tripp Lane
Armonk, NY.

Revision	Date
	May 14, 2021
Job No	221-013
Drawing	

1 OF 4

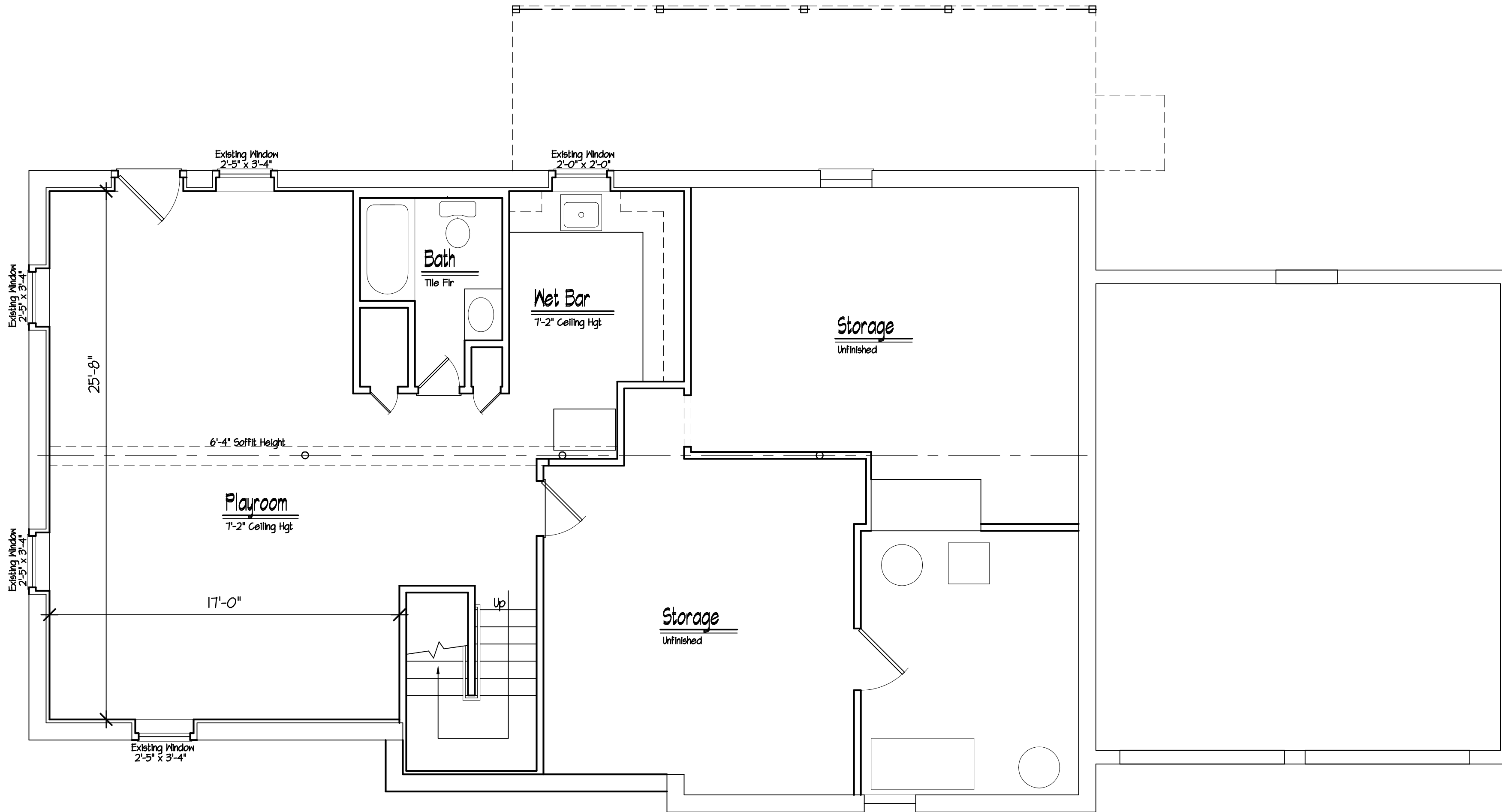
DeMasi Architects P.C.

105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549

PHONE: (914) 666-3858

EMAIL: Lou@DemasiArchitects.com

These plans are not valid for a building permit unless originally signed and sealed by the Architect and are for the construction of one structure only by the person whose name appears on the plans.



Foundation Plan

DeMasi Architects P.C.
 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549

PHONE: (914) 666-3858
 EMAIL: Lou@DemasiArchitects.com

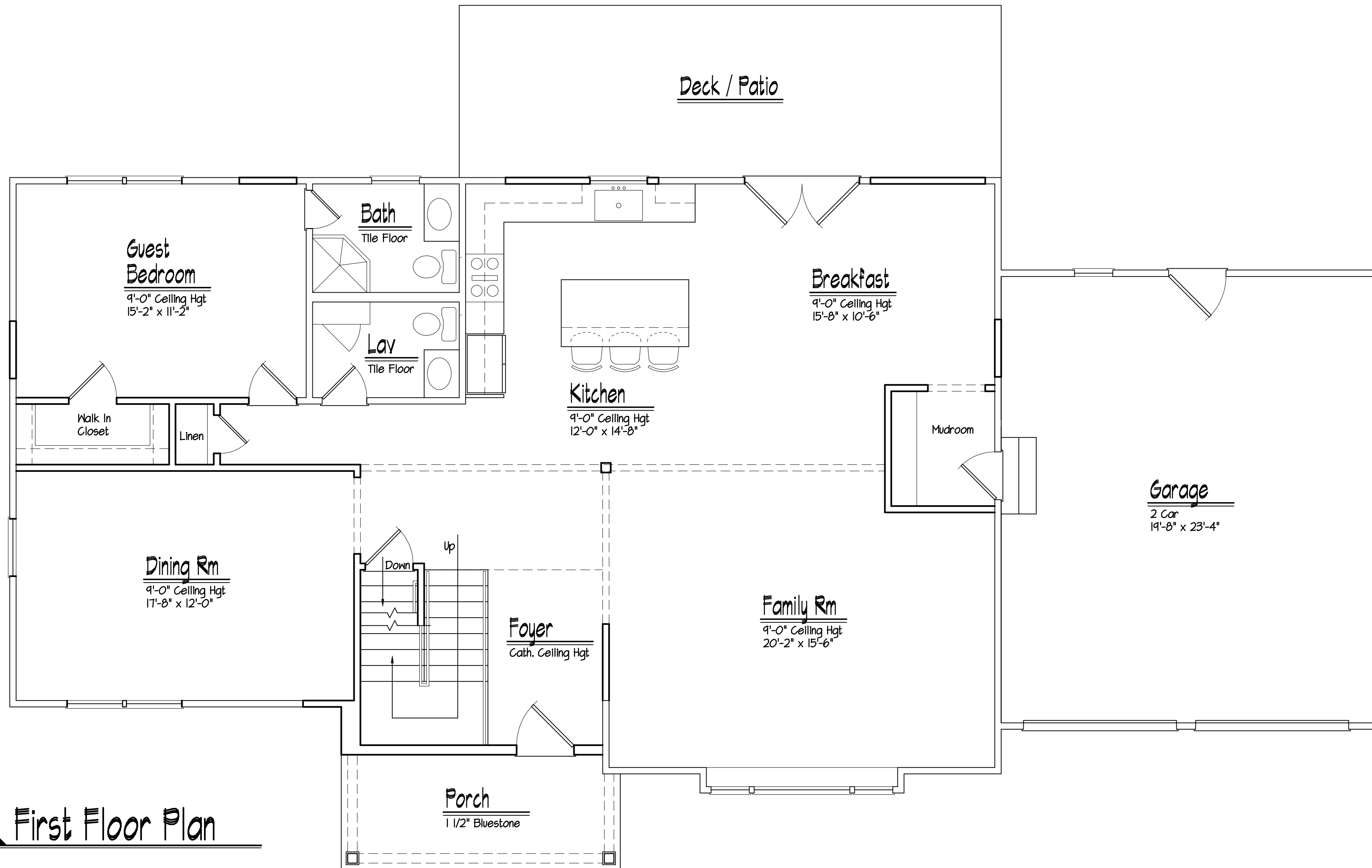
Preliminary
 Residence For

6 Tripp Lane
 Armonk, NY.

Revision	Date
	May 14, 2021
Job No	221-013
Drawing	

2 OF 4

First Floor Plan

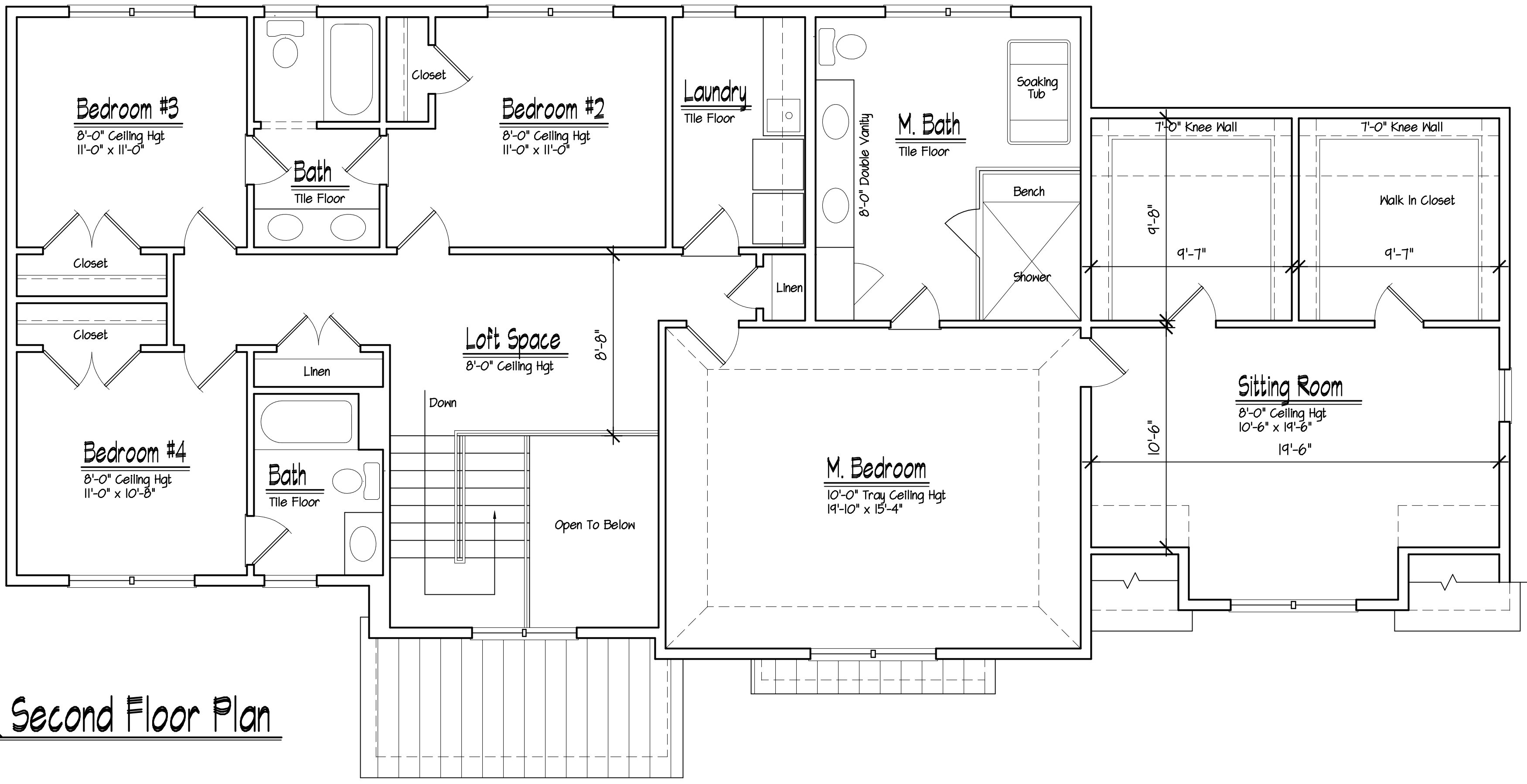


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Preliminary
Residence For
6 Tripp Lane
Armonk, NY.

Revision	Date
	May 14, 2021
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Second Floor Plan

Preliminary
 Residence For
 6 Tripp Lane
 Armonk, NY.

Revision	Date
	May 14, 2021
Job No	221-013
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2020 Residential Code Of New York State

Design Loads:		Provided Design Loads:	
Required Live Loads:			
First Floor Loads	Live Load	40 #/sf	
Second Floor Loads	Live Load	30 #/sf	
Attic Load (w/o Storage)	Live Load	20 #/sf	
Attic Load (w/ Storage)	Live Load	30 #/sf	
Exterior Balconies	Live Load	60 #/sf	
Decks	Live Load	40 #/sf	
Guardrails	Live Load	200 #/sf	
Stairs	Live Load	40 #/sf	
Refer to section RB301.4 of the Residential code of New York State for any additional information.			
Provided Design Loads:			
First Floor Loads	Live Load	40 #/sf	Dead Load 12 #/sf
Second Floor Loads	Live Load	30 #/sf	Dead Load 12 #/sf
Attic Load (4'-6" Headroom)	Live Load	20 #/sf	Dead Load 12 #/sf
Attic Load (4'-6" Headroom)	Live Load	30 #/sf	Dead Load 12 #/sf
Ground Snow Load	Live Load	45 #/sf	Dead Load 7 #/sf
Snow Load Reduction			
Ground Snow Loads Have Been Converted To Roof Snow Loads In Accordance With The Provisions Of ASCE 7.			
	Pitch	Roof Snow Load	
	4-11	28.35	
	12-14	27	
	15-16	22.7	
	17	20	
	18-19	19.5	
	20-24	17	
LUMBER: All framing lumber to be stress grade Douglas-Fir Larch No. 2 or better.			

Climatic & Geographic Design Criteria Table R301.2(2)												
Ground Snow Load	Wind Design				Seismic Design Category	Subject To Damage From Frost Heave	Winter Design Temp.	Ice Shed Minimum Required	Flood Hazards	Air Freezing Index	Mean Annual Temperature	
	Speed (mph)	Topographic Effects	Special Wind Region	Wind-Borne Debris Zone								
30 lb/ft	115 - 120 mph	No	Yes	Zone 1	B	Severe	42°	Moderate Heavy	7° F	Yes	1500 or Less	52.2 F

Manual J Design Criteria								
Elevation	Latitude	Winter Heating	Summer Cooling	Altitude Correction Factor	Indoor Design Temperature	Design Temperature Cooling	Heating Temperature Difference	
436	41	7	87	1	68	75	61	
Cooling Temperature Difference	Wind Velocity Heating	Wind Velocity Cooling	Coincident Wet Bulb	Daily Range	Winter Humidity	Summer Humidity		
12	20.4	15	15	M	30	55		

Schedule For Proposed Building Material and Color Scheme

Name:	Type:	Color:	
Siding:	Vinyl	Bevel	Navy Blue
Windows:	Andersen	Double Hung	White
Trim:	Azek/Vinyl		White
Front Door:		Composite	Red
Roofing:	Asphalt Shingle Roof		Charcoal
Porch Roofing:	Metal Roofing		Black
Garage Door:		Composite	White

Construction Type Note:
As Per Title 19 NYCRR Part 1265

Provide Label As Shown Below

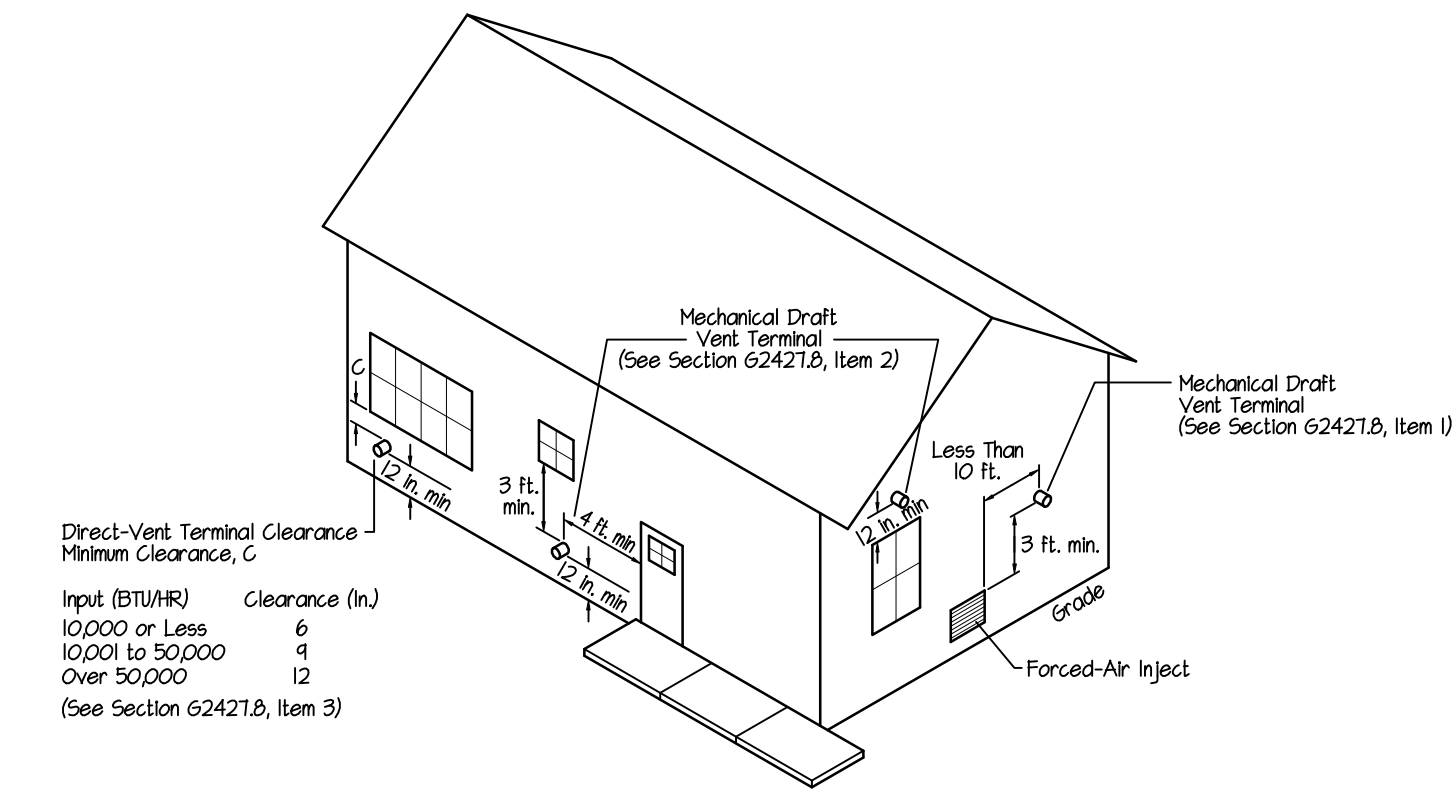
V = Construction Type As Per Section 602 of BCNYS

FR = Floor And Roof Framing As Per Designation For Structural Components That Are Of Truss/Engineered Type Construction

Size:
6" Diameter Circle

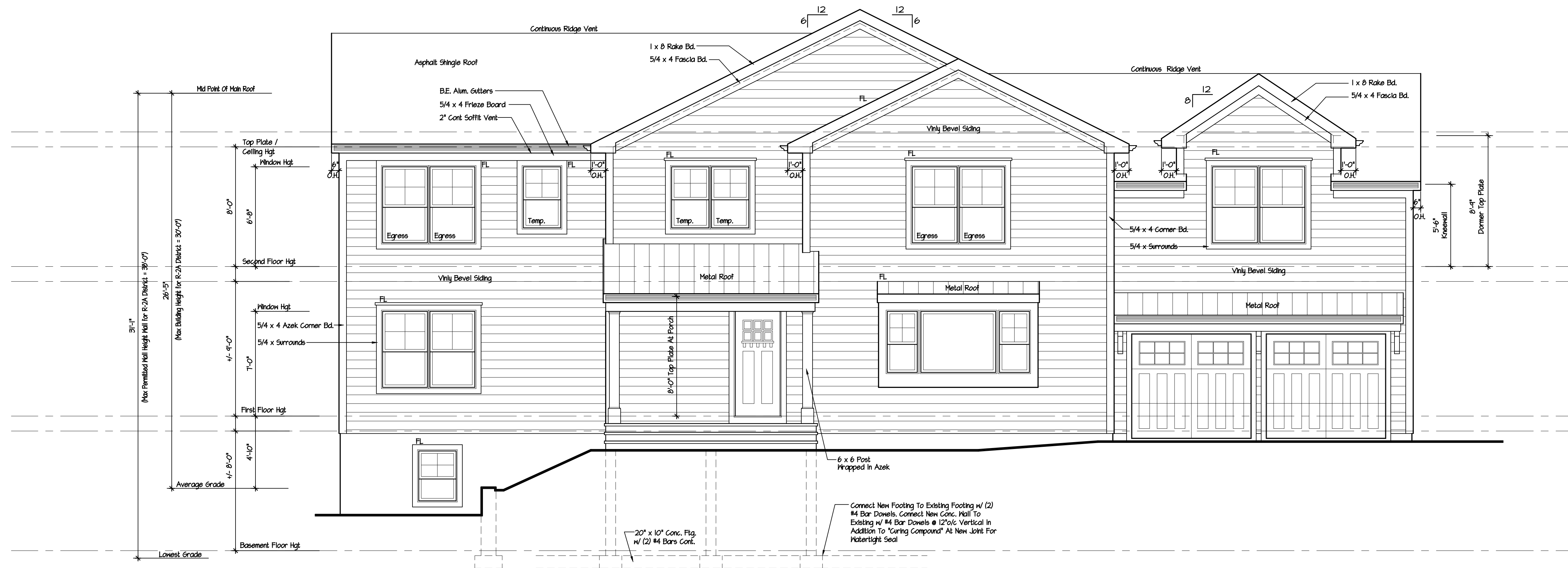
Color:
Circle To Be 1/2" Stroke - Reflective Red Pantone #181
Inner Circle - Reflective White
Text - Reflective Red Pantone #181

Sign Location:
The Sign Or Symbol Required Shall Be Affixed To The Electric Box Attached To The Exterior Of The Residential Structure
See Section 1265.5 For Further Notes On Sign Location.
See Title 19 NYCRR Part 1265 For Other Specs



Exit Terminals Of Mechanical Draft & Direct-Vent Venting Systems

See 2020 New York State Residential Code Appendix C For More Detail



Front Elevation
Scale: 1/4" = 1'-0"

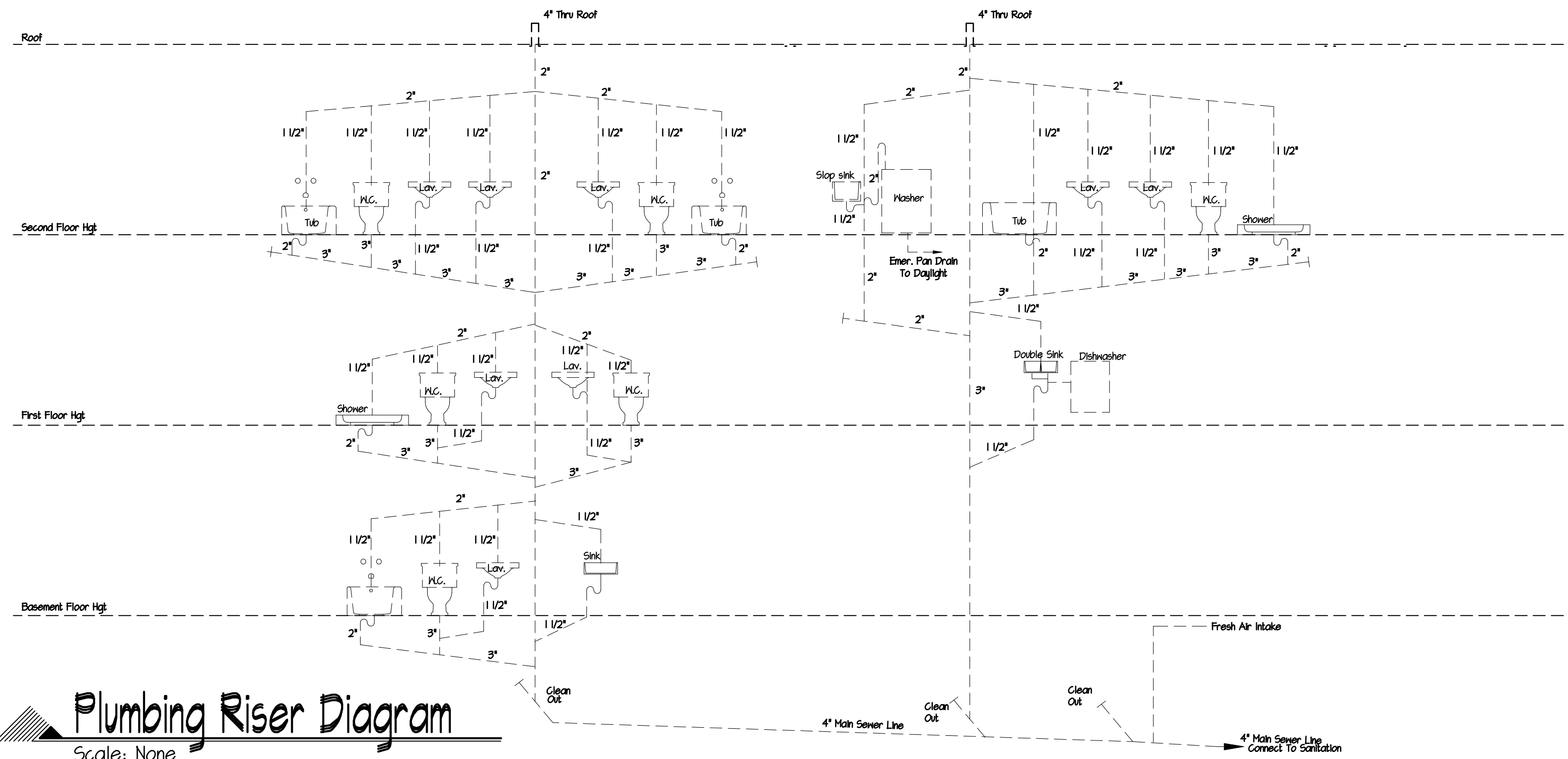
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Addition For
6 Tripp Lane
Armonk, NY.

Revision	Date
	Aug. 11, 2021
Job No	221-013
Drawing	1 OF 7



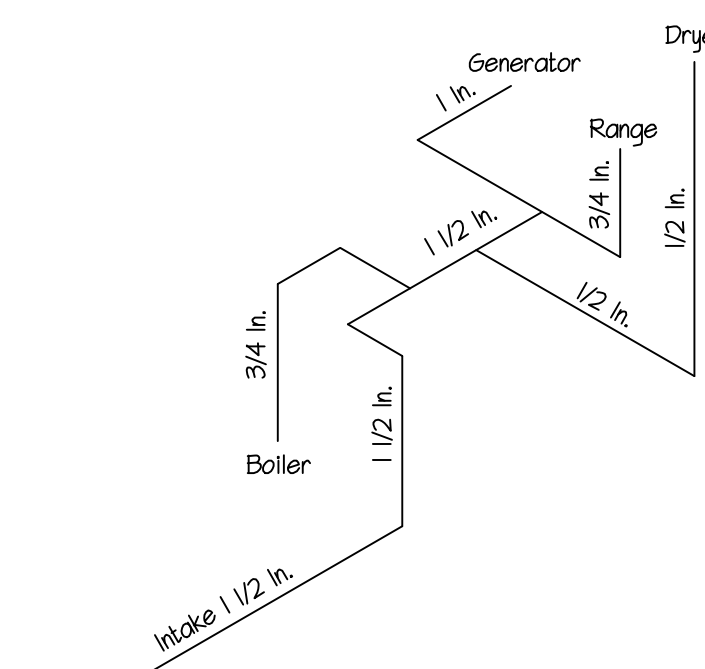
Plumbing Riser Diagram

Scale: None

Riser diagram taken from "2020 Residential Code Of New York State" Figure N5, Refer to diagram for all other information

Note:
Plumbing riser diagram shown is generic, and should be used only for informational purposes. Plumbing contractor to install plumbing system as per state & local building codes.

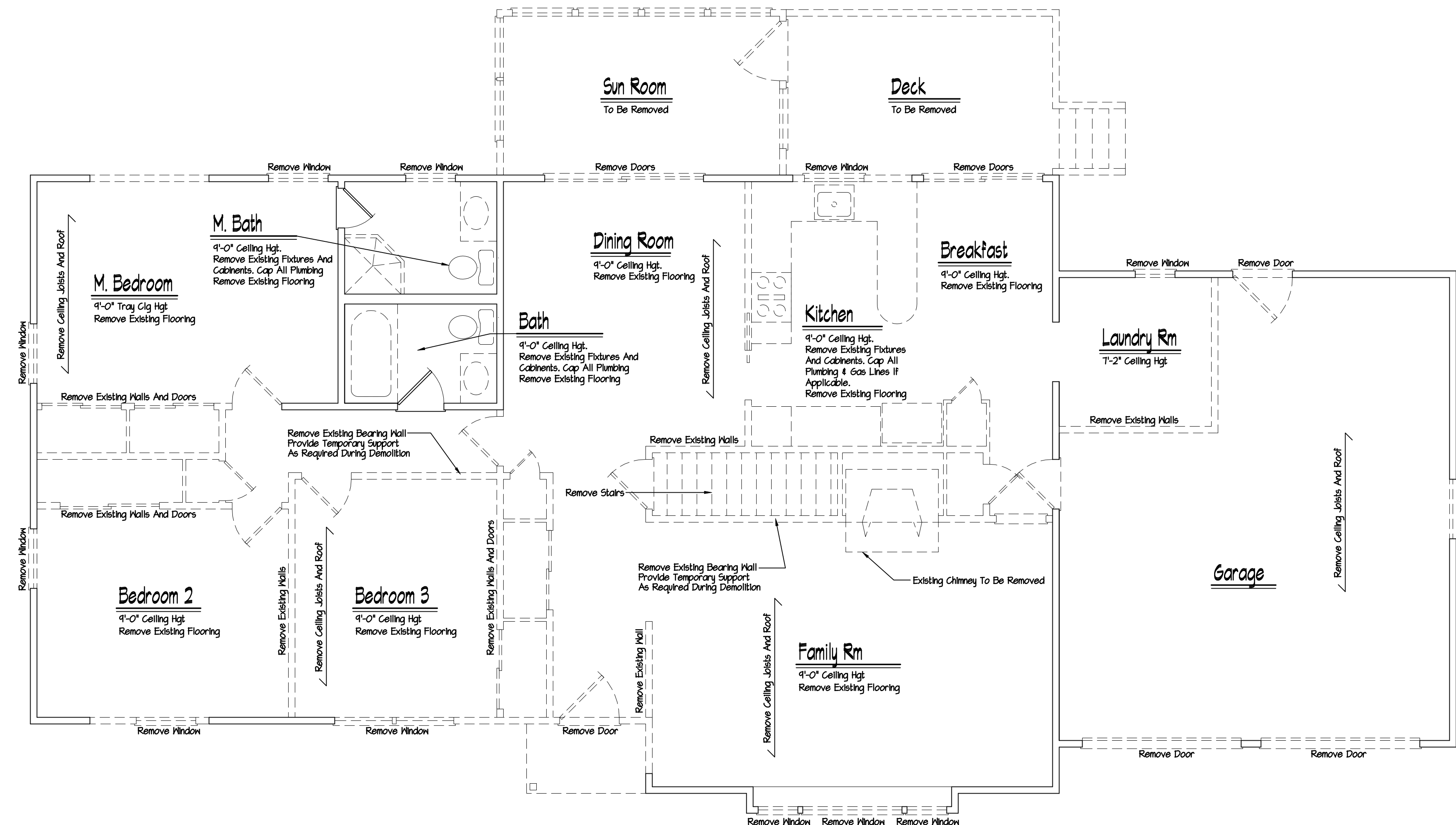
See Section P2403 For Sizing Of Supply Pipes & Additional Info.



Gas Riser Diagram

Scale: None

Refer To 2020 Residential Code Of New York State Chapter 24 Fuel Gas For Additional Information.
See Section G2413 For Sizing Of Pipes & Additional Info.
See Section G2411 For Electrical Bonding code.



Demolition First Floor Plan

Scale: 1/4" = 1'-0"

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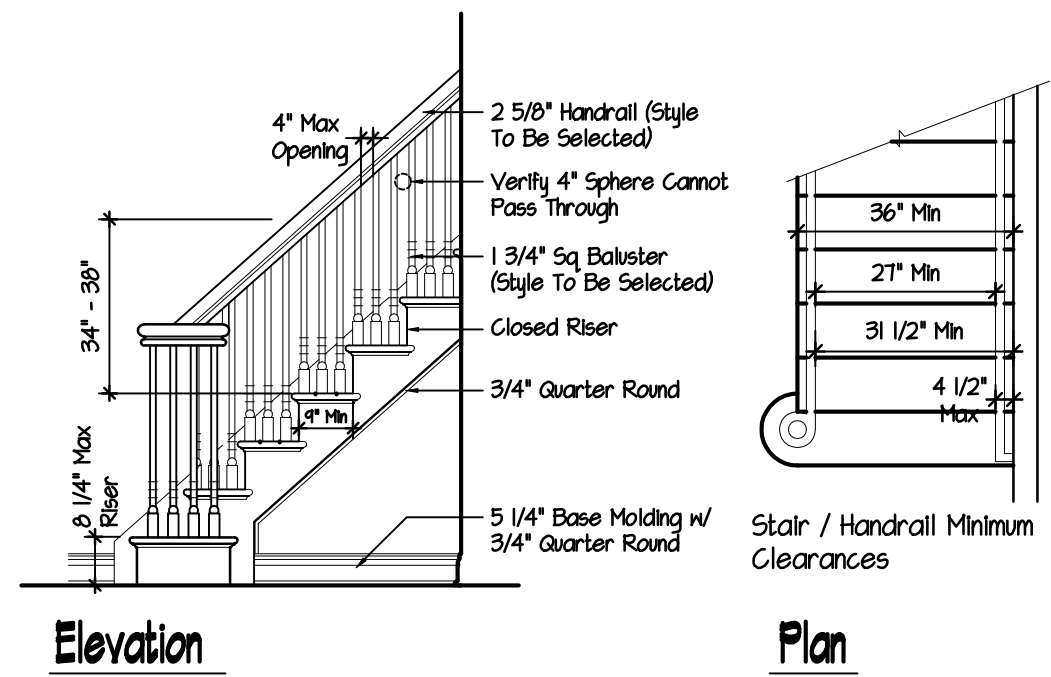
Addition For

6 Tripp Lane
Armonk, NY.

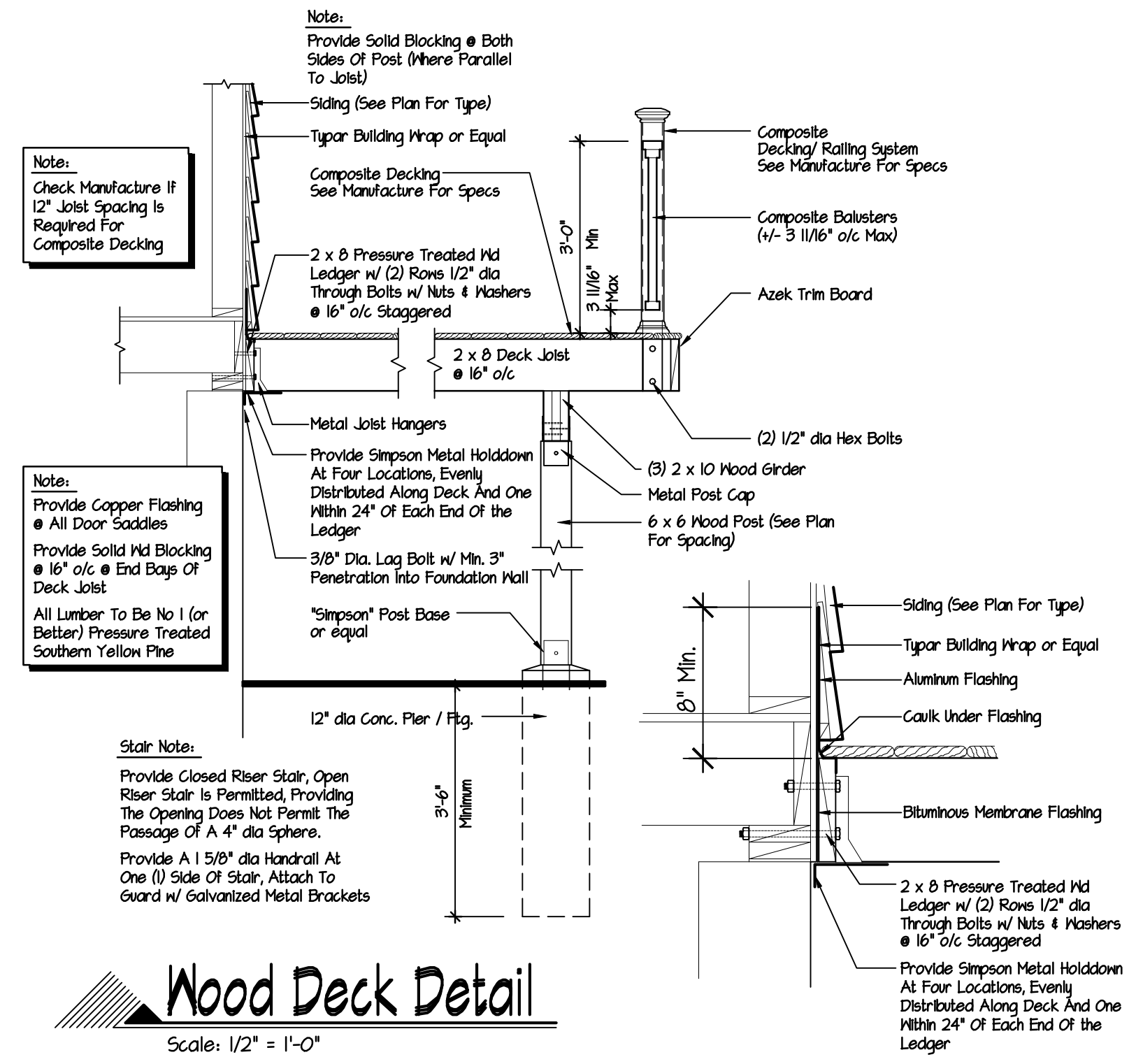
Revision	Date
	Aug. 11, 2021
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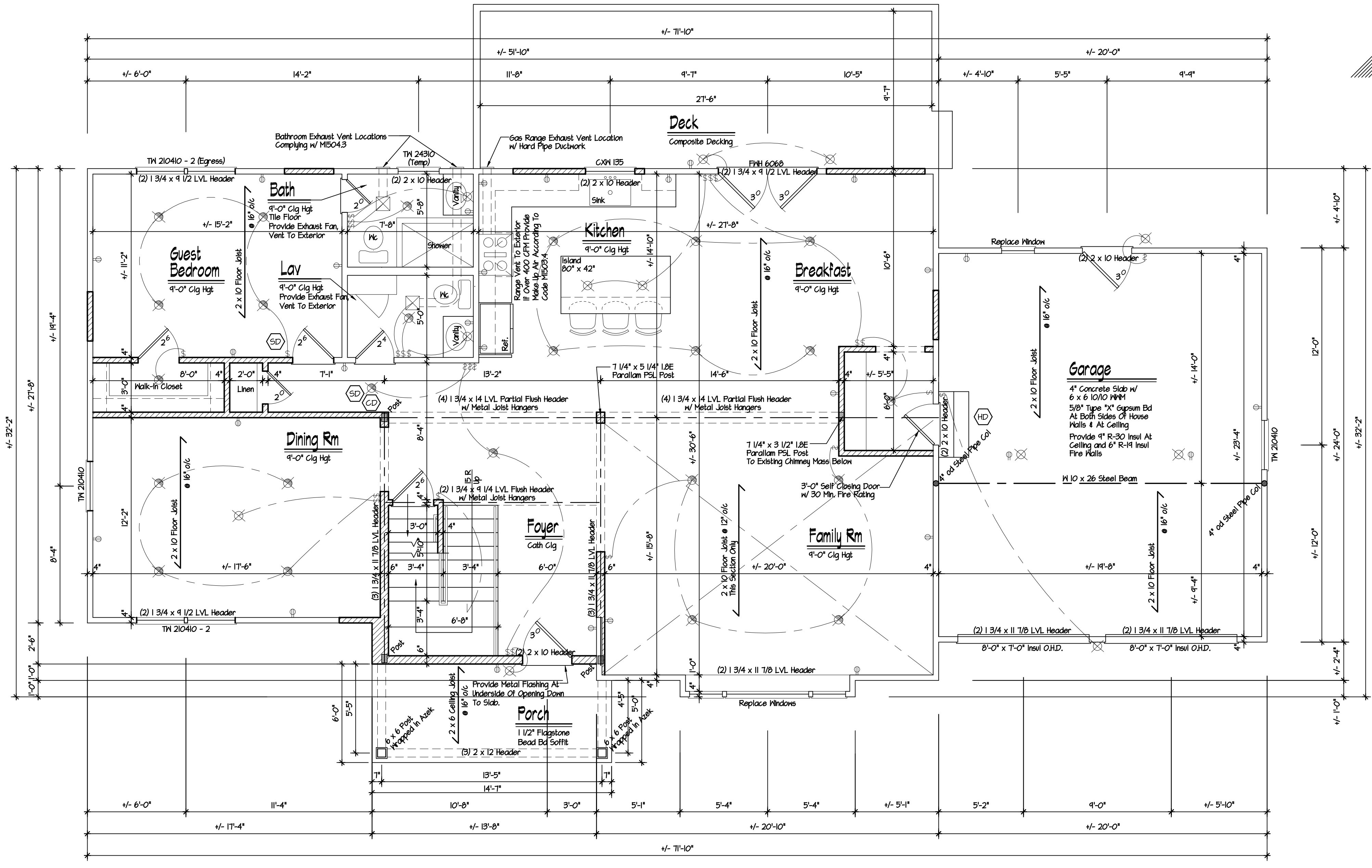


Stair Clearance Detail
Scale: None



Wood Deck Detail
Scale: 1/2" = 1'-0"

Flashing Detail
Scale: 1" = 1'-0"



Proposed First Floor Plan
Scale: 1/4" = 1'-0"

Window Note:

- All Glazing To Be Low E⁺ Insulated Glass w/ Minimum R-31 (U=0.32).
- All Windows Within 18" Of Floor To Have Tempered Glass (Double Hungs-Bottom Sash Only, All Others Full Unit).
- All Glazing In Doors & Windows Enclosing Hot Tubs, Whirlpool Tubs, Saunas, Steam Rooms, Bathrooms and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
- All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 Sf Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
- All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.
- All Window Sills Within 24" Above The Finished Floor & Greater Than 12" Above Finished Grade Or Other Surface. Requires Fall Protection. See Section R312.2 For More Info.

Egress Window Sizes:

Model #	Opening	Width	Height
TH 210410 - 2	5.81 sf	31-7/8"	26-1/4"

Notes:

All Framing Members To Be # 2 Douglas Fir - Larch Or Better Double Frame Under All Partitions Parallel To Framing.
If The Floor Is To Be Mid Job Consult Architect For Additional Framing Required.

Legend:

- (4) 2 x 8 Wood Post or As Noted
- SD Smoke Detector w/ Battery Back-Up
- CD Carbon Monoxide Detector w/ Battery Back-Up
- HD Heat Detector w/ Battery Back-Up
- Existing Wall (To Remain)
- New Wall

Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Header
Up To 4'-0"	(2) 2 x 10 Header
Up To 6'-0"	(3) 2 x 10 Header

Note: Unless Otherwise Noted On Plans

Light/Power

- ⊗ Recessed Light Fixture
- ⊗ Surface Mounted Light Fixture
- ⊕ Duplex Outlet
- ⊕ Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)
- ⊗ Exhaust Fan

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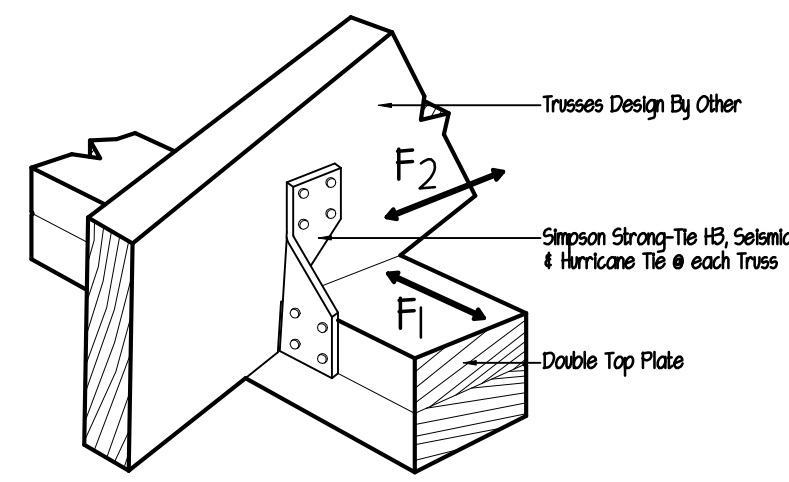


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Addition For
**6 Tripp Lane
Armonk, NY.**

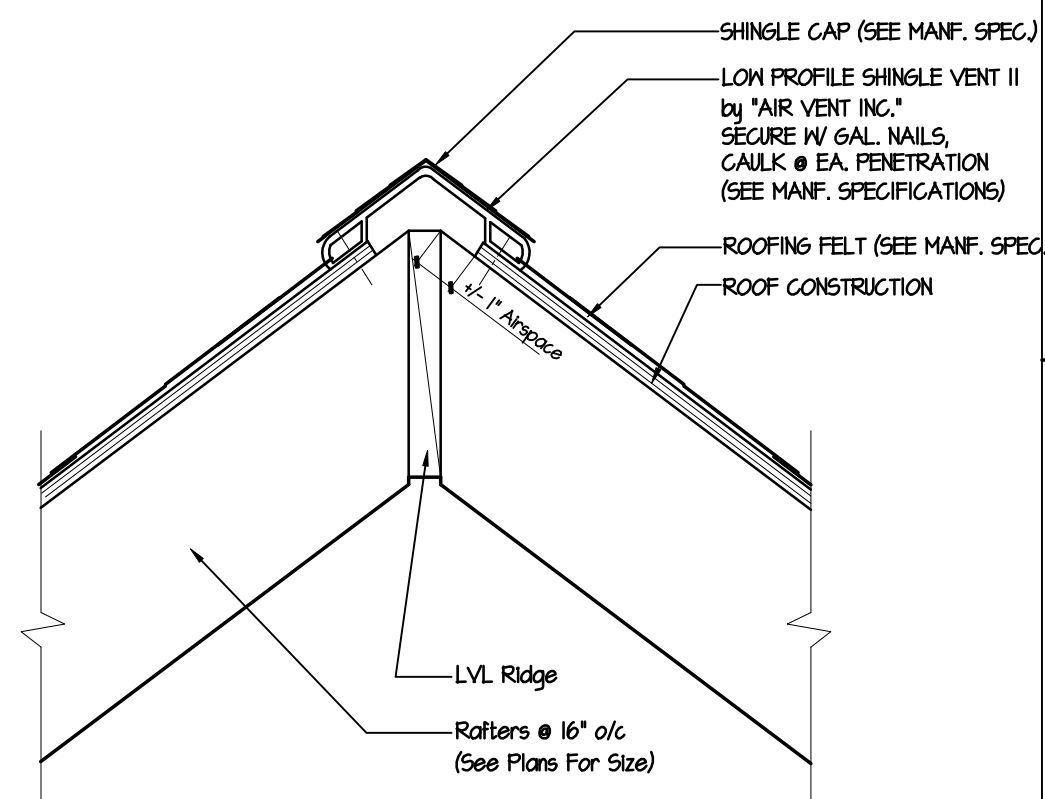
Revision	Date
Date	Aug. 11, 2021
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Do Not Scale Prints

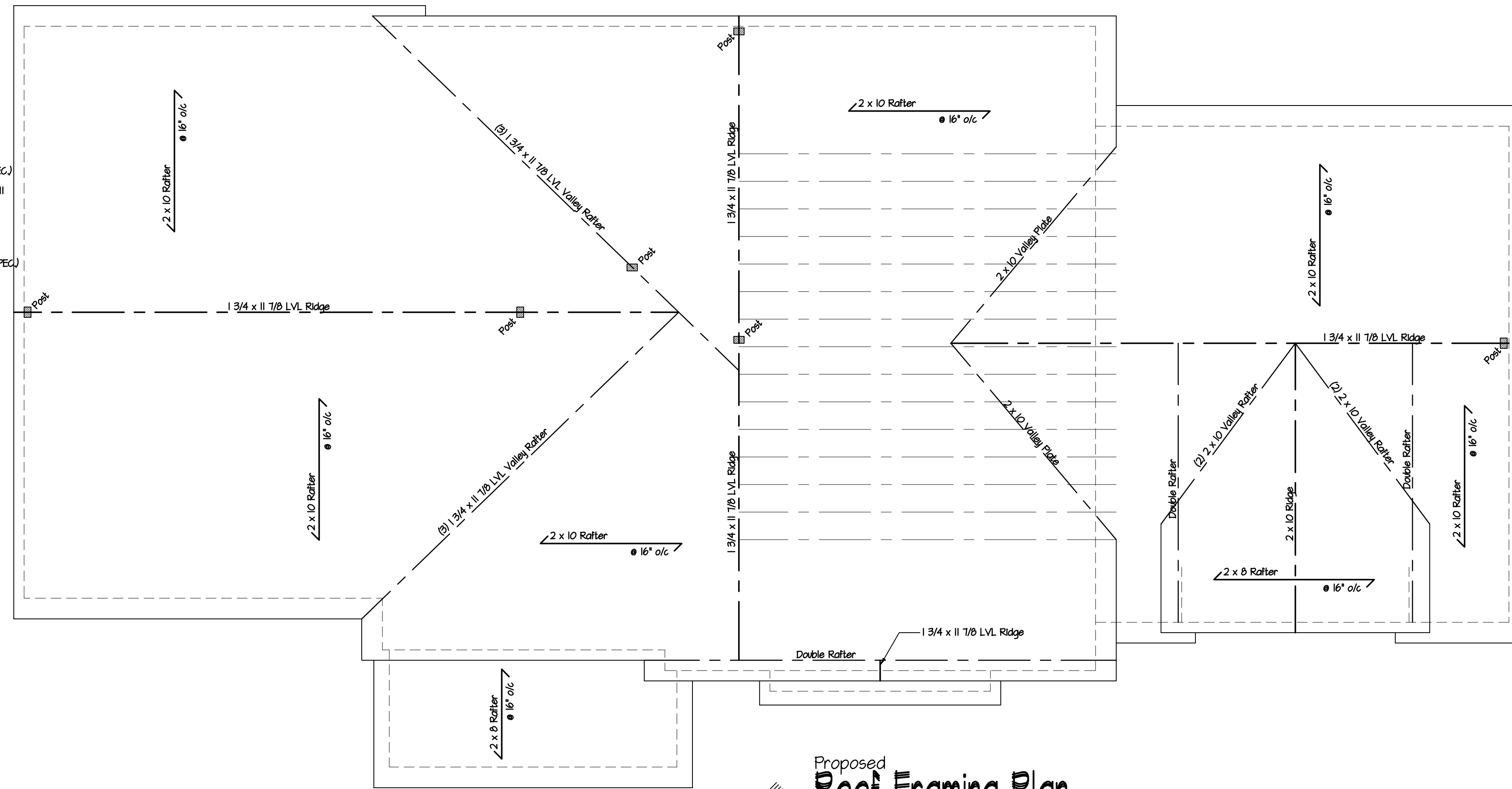


Note:
Simpson Strong Ties is Recommended by Truss Supplier

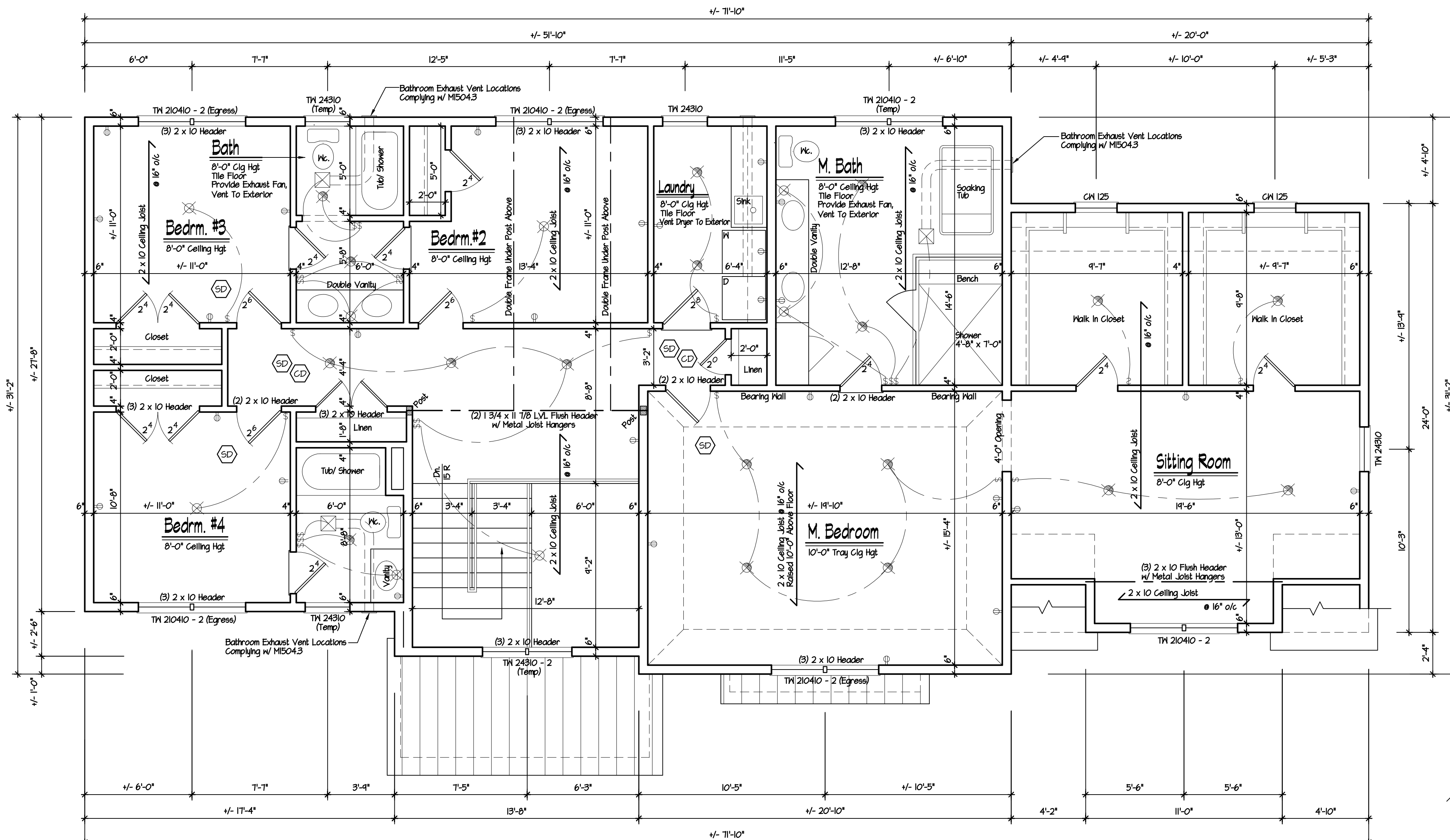
Rafter Tie Down Detail
Scale: None



Ridge Vent Detail
No Scale



Proposed
Roof Framing Plan
Scale: 1/4" = 1'-0"



Window Note:

- All Glazing To Be Low E³ Insulated Glass w/ Minimum R-31 (U=0.32).
- All Windows Within 18" Of Floor To Have Tempered Glass (Double Hung's-Bottom Sash Only, All Others Full Unit).
- All Glazing In Doors & Windows Enclosing Hot Tubs, Whirlpool Tubs, Saunas, Steam Rooms, Bathtubs and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
- All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 Sq Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
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Egress Window Sizes:

Model #	Opening	Width	Height
TN 210410	5.81 sf	31-7/8"	26-1/4"

Notes:

All Framing Members To Be # 2 Douglas Fir - Larch Or Better Double Frame Under All Partitions Parallel To Framing
If The Floor Is To Be HUD Job Consult Architect For Additional Framing Required

Legend:

- (4) 2 x Wood Post or As Noted
- SD Smoke Detector w/ Battery Back-Up
- CD Carbon Monoxide Detector w/ Battery Back-Up

Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

Note:
Unless Otherwise Noted On Plans

Light/ Power

- ⊗ Recessed Light Fixture
- ⊗ Surface Mounted Light Fixture
- ⊕ Duplex Outlet
- ⊕ Ground Fault Interrupter (GFI) AT All Wet Areas (As Required By Code)
- ⊗ Exhaust Fan

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Armonk, NY.

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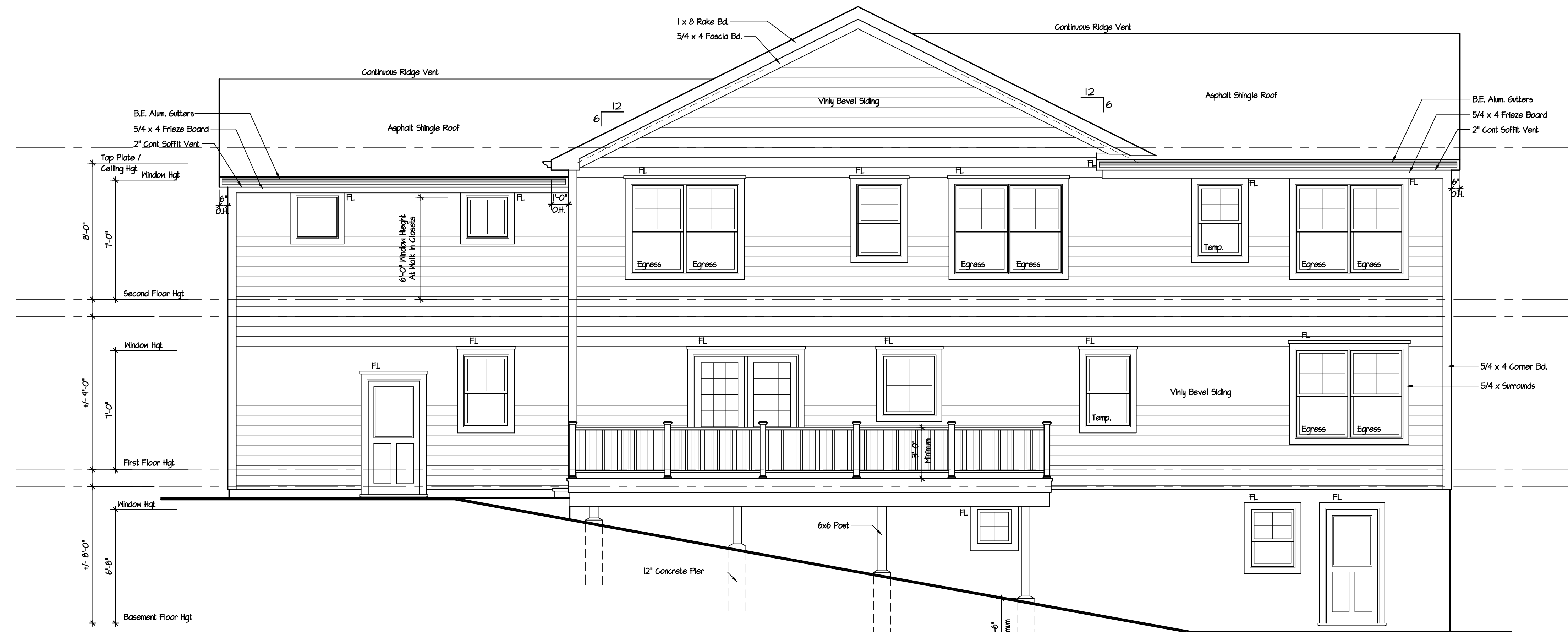


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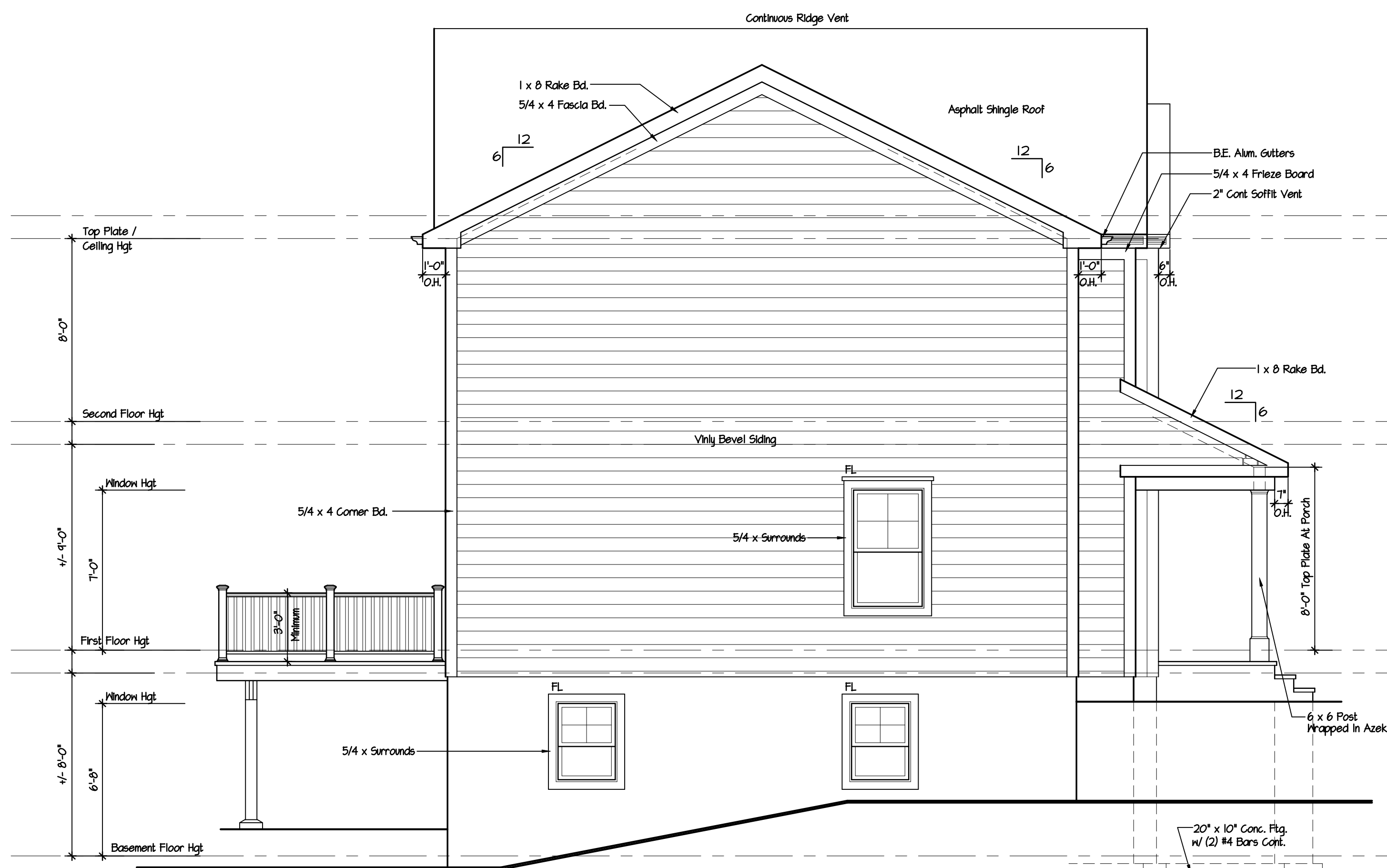
Do Not Scale Prints

Schedule For Proposed Building Material and Color Scheme

	Name:	Type:	Color:
Siding:	Vinly	Bevel	Navy Blue
Windows:	Andersen	Double Hung	White
Trim:	Azek/Vinyl		White
Front Door:		Composite	Red
Roofing:	Asphalt Shingle Roof		Charcoal
Porch Roofing:	Metal Roofing		Black
Garage Door:		Composite	White

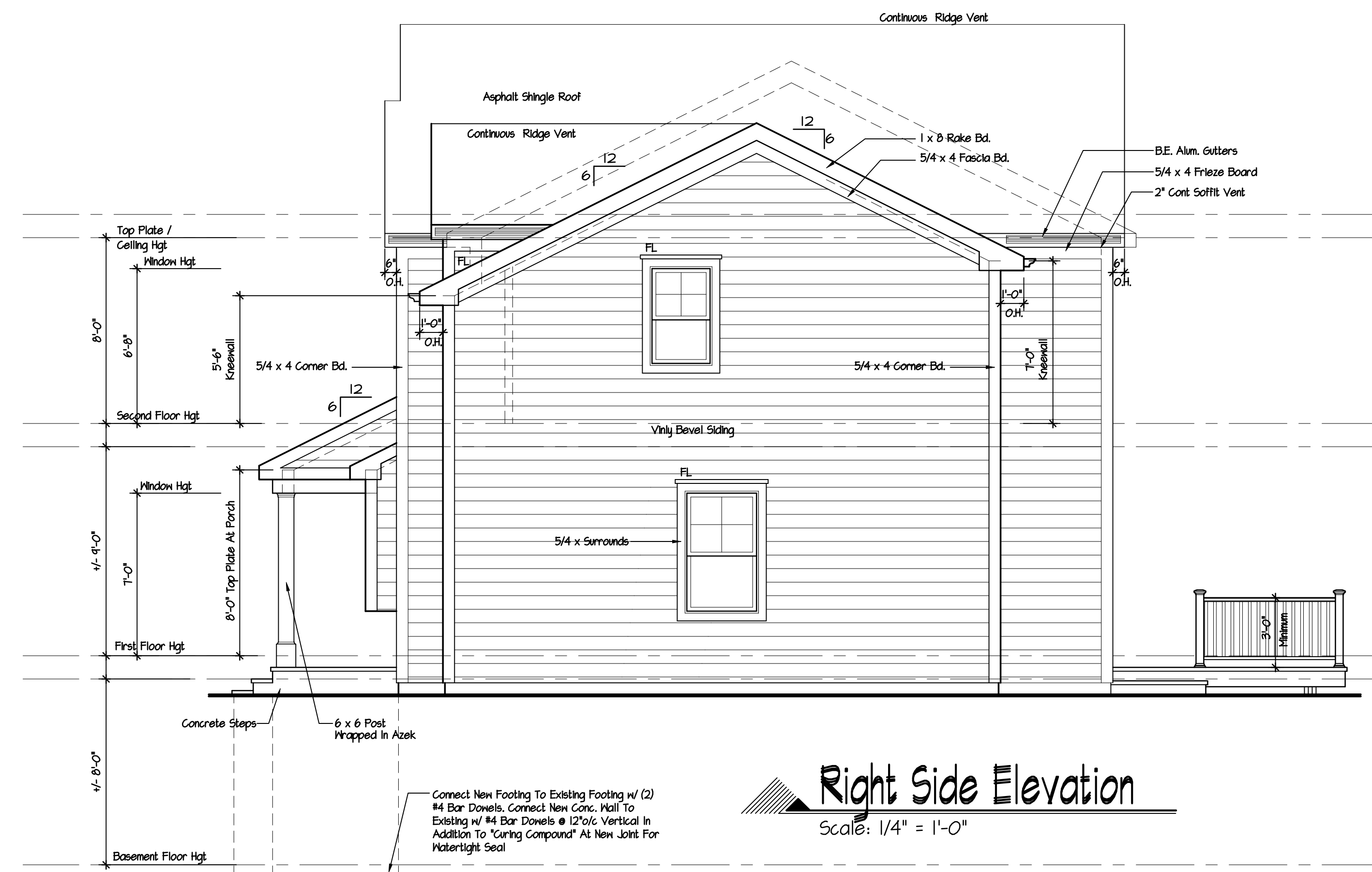


Rear Side Elevation
Scale: 1/4" = 1'-0"



Left Side Elevation
Scale: 1/4" = 1'-0"

Connect New Footing To Existing Footing w/ (2) #4 Bar Dowels. Connect New Conc. Wall To Existing w/ #4 Bar Dowels @ 12"o/c Vertical In Addition To "Curing Compound" At New Joint For Watertight Seal



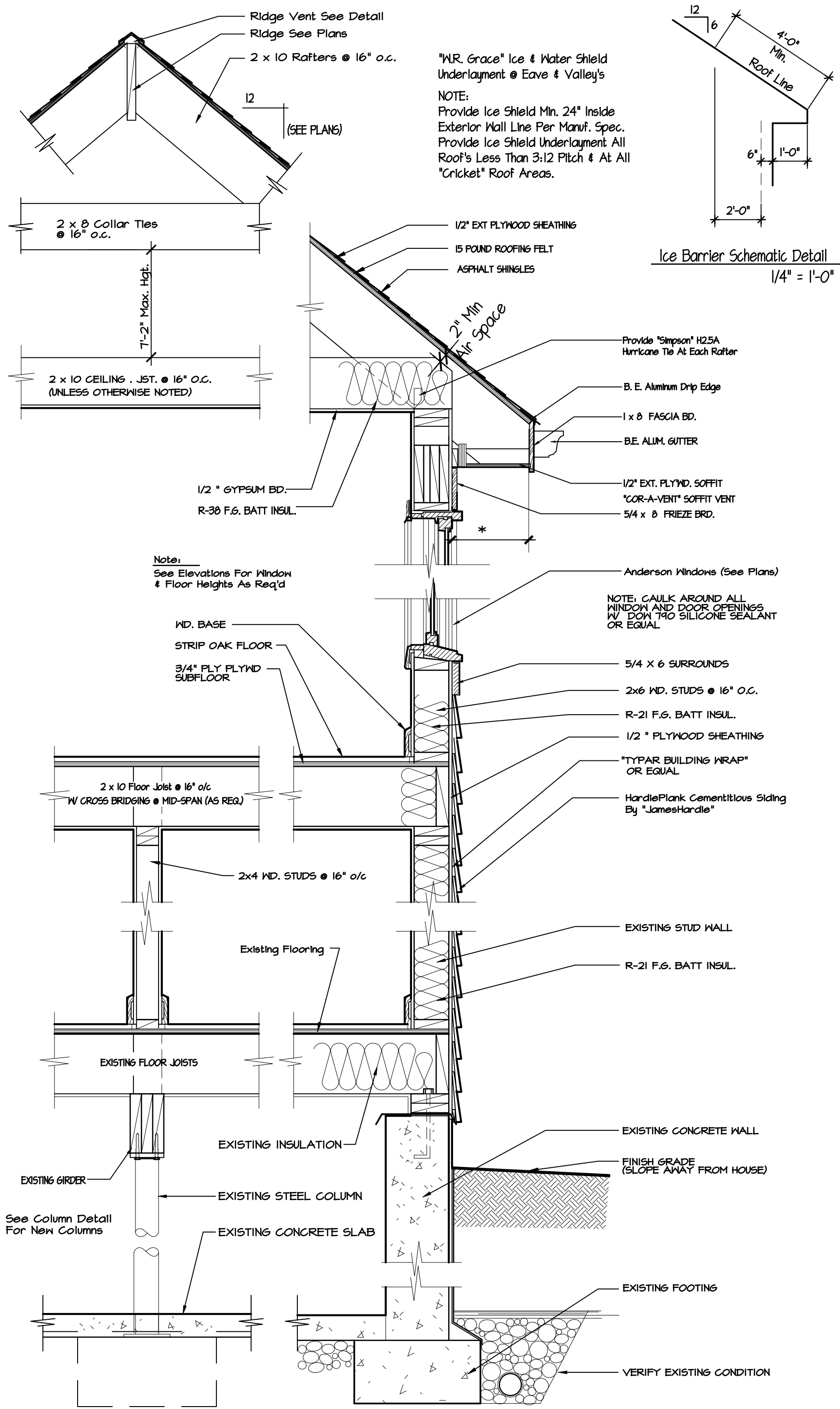
Right Side Elevation
Scale: 1/4" = 1'-0"

Connect New Footing To Existing Footing w/ (2) #4 Bar Dowels. Connect New Conc. Wall To Existing w/ #4 Bar Dowels @ 12"o/c Vertical In Addition To "Curing Compound" At New Joint For Watertight Seal



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Addition For	
6 Tripp Lane Armonk, NY.	
Revision	Date
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Typical Wall Section
SCALE: 3/4" = 1'-0"

General Conditions:

SPECIFICATIONS: These specifications are made in general form only and not specifically for any one building. The owner applying these specifications, assumes complete responsibility for their use, changes, or omissions.

SCOPE OF WORK: The Contractor shall provide all labor, materials, appliances and equipment required to complete all work, etc., as shown on the drawings necessary for a complete job, unless otherwise specified. All material and workmanship shall be of good quality.

OMISSIONS: All written figures (notes and dimensions) on the floor plans or specifications shall take precedence over any drawn figures (elevations). Do not scale prints. All dimensions must be verified by the contractor before start of construction. Any discrepancies on the plans or specifications must be reported to the Architect prior to the start of construction.

CODES: All work and materials must conform to all local and the 2020 International Code Of New York State, National Board of Fire Underwriters, 2020 Energy Conservation Code Of New York State and requirements of the Board of Health.

ACCEPTABLE BUILDING STANDARDS: Installation of materials shall comply with industry standards as instituted by the national association or equivalent group of material used. Acceptable associations shall include, but are not limited to, the following: Western Wood Products Assoc., Cedar Shake & Shingle Bureau, Brick Industry Assoc., Tile Council of America, National Roofing Contractors Assoc. and American Concrete Institute, etc.

MATERIALS: Shall be installed according to the manufacturer's specifications. All work shall comply with applicable sections of the state and local codes and the generally accepted standards as listed in the state building code.

PERMANENT CERTIFICATION: A permanent certificate shall be completed by the builder or registered design professional and posted on a wall in the space where the furnace is located, a utility room or an approved location inside the building. Where located on an electrical panel, the certificate shall not cover or obstruct the visibility of the circuit directory label, service disconnect label or other required labels. The certificate shall list the manufacturer's name of insulation installed in or on ceiling/roof, walls, foundation (slab, basement wall, crawlspace wall and floor) and ducts outside conditioned spaces; U-factors for fenestration and the solar heat gain coefficient (SHGC) of fenestration, and the results from any required duct system and building envelope air leakage testing done on the building. Where there is more than one value for each component, the certificate shall list the value covering the largest area. The certificate shall list the types and efficiencies of heating, cooling and service water heating equipment. Where a gas-fired vented room heater, electric furnace or baseboard electric heater is installed in the residence, the certificate shall list "gas-fired vented room heater," "electric furnace," or "baseboard electric heater," as appropriate. An efficiency shall be listed for gas-fired vented room heaters, electric furnaces, or electric baseboard heaters. See Section R403.3 of the 2015 International Energy Conservation Code.

SITE CONDITIONS: The General Contractor shall verify all conditions before submitting his proposal. No allowance for extra charges will be permitted because of lack of knowledge of the conditions peculiar to a site, except as otherwise specified elsewhere in the contract documents. Each contractor will be responsible for his own engineering and layout once the owner has established property lines and minimum number of benchmarks. The contractor shall verify all lines, levels and dimensions shown on the drawings and will be held responsible for the correctness and setting out of his work.

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ARCHITECT STATUS: Architect has not been retained by owner to provide periodic job inspections or job administration. Purchaser of the plans shall assume all responsibilities for all deviations or changes to these plans.

Excavation:

FOUNDATION: Excavate all earth, boulders, loose and soft rock to the lines and depths indicated on the drawings. All footings to bear on solid, undisturbed earth. Excavate for all utilities as required.

FOOTINGS: To bear 12" below line of solid undisturbed earth. Design of footings are based on 2,000 psi soil. If soil bearing conditions are questionable, contractor shall consult engineer for footing design. Sloped footings shall be 1:2 max. slope. Provide (2) #4 bars continuous (refer to wall section). All footings bearing from rock to soil shall be reinforced with (4) #5 bars (6" min. on both sides of joint). Dowel and pin all footings bearing on rock with a slope greater than 1:12 (30 degrees) w/ #4 dowels @ 24" o/c max.

FINISH GRADING: Finish grading shall be established to provide surface drainage in all directions away from the house and excavated areas.

Concrete & Masonry:

Weathering Condition: Severe
CONCRETE: Shall be a min. Fc = 3000 psi compressive strength for footings & foundation walls and Fc = 3500 psi compressive strength for porches, steps & garage floors. Concrete shall be "air-entrained"; total air content shall not be less than 5% or more than 7%. All concrete work shall conform to the latest American Concrete Institute (ACI) guidelines.

CONCRETE FLOORS: Shall have a smooth, dense steel trowel finish, suitable to receive composition flooring. Concrete floors in living areas shall have 6 mil. poly vapor barrier and 2" x 24" (min.) rigid polystyrene foam insulation around the perimeter of the slab, where slab is within 2'-0" of grade. Pitch all garage and porch floors for drainage. (1/8"/ft. min.)

POURED CONCRETE FOUNDATION: Shall comply with the latest edition of American Concrete Institute Specification and shall be plumb, straight, level and true. Forms to be properly constructed to hold concrete. Provide (2) #4 bars located at top and bottom of wall. All reinforcing bars for concrete work shall conform to A.S.T.M. A615 grade 60.

MASONRY: Concrete block shall be load bearing laid level, plumb and straight in a full bed of cement mortar (TYPE "S") with galvanized metal truss-type ties @ 24" horizontal and vertical. All joints to be well tooled. All masonry work shall conform to ACI 530 code and all reinforcement work shall conform to ACI 318-TL. Fill top two courses solid with cement mortar.

MASONRY CHIMNEY & FIREPLACES: Where shown on the plans, shall be brick or stone where exposed and laid in a full bed of cement mortar with well tooled joints. Flies to be fire clay, size shown on the plans. Provide cast iron damper, ash pit and clean-out doors. Provide for proper clearances with combustible construction. Firestop at all clearances with non-combustible material. Contractor shall ensure proper clearances of chimney and fireplace per 2020 Residential and Energy Codes Of New York State.

FRE FAB CHIMNEY AND FIREPLACE: Installation of prefab flues and fireplaces shall be in strict accordance with manufacturer's specification. Install firestops as required by code. Fireplace shall be metal prefab with compatible fire and shall be UL listed.

FIREPLACES: All fireplaces shall have tempered glass fire doors and closable combustion air intake ducts and comply with the 2020 Energy Conservation Code Of New York State.

DAMP-PROOFING: Foundation wall shall be dampproofed with two (2) coats of asphalt waterproofing over 1/2" cement parge (block wall) or cement wash (poured wall). Provide 4" perforated PVC footing drain laid in 16" stone with layer of filter fabric. Drain to outflow above ground or stone drywell.

DAMP-PROOFING: Provide a complete TUFF-N-DRI Exterior Foundation Waterproofing System as manufactured by KOCH MATERIALS COMPANY or equal. Provide 4" perforated PVC footing drain laid in 16" deep (min) stone with a layer of filter fabric over. Drain to outflow above ground, min. 30' from house, when not permitted, provide drywell.

DAMP-PROOFING: In areas of high water table or severe soil-water conditions are known to exist, provide 2-ply hot mopped felts, 55 pound roll roofing from top of footing to finished grade. All joints are to be lapped and sealed with adhesive.

Miscellaneous Metals:

STEEL: Shall conform to ASTM specification A-36 for structural steel.

FLITCH BEAMS: All steel plates shall conform to ASTM specifications A-36 for structural steel. All bolt holes to be properly drilled. Torched holes are not acceptable.

ANCHOR BOLTS: Provide 1/2" dia. x 16" with hooked end. Bolts to be placed 6"-0" o.c. max. 12" min. from corner and 2 bolts min. per sill. Consult Architect for anchoring in other seismic zone.

Carpentry:

Decay Design Condition: Slight - Moderate
Termite Design Condition: Moderate - Heavy.

Design Loads;

First Floor Loads	Live Load	40 #/sf
	Dead Load	12 #/sf
Second Floor Loads	Live Load	30 #/sf
	Dead Load	12 #/sf
Attic Load	Live Load	20 #/sf
(4'-6" Headroom)	Dead Load	12 #/sf
(6'-4"-6" Headroom)	Live Load	30 #/sf
	Dead Load	12 #/sf
Ground Snow Load	Live Load	45 #/sf
	Dead Load	7 #/sf

Wind Speed Design Load: IIS-120 mph

LUMBER: All framing lumber to be stress grade Douglas Fir Larch No. 2 or better.

FRAMING: Framing of the entire house shall be erected plumb, level and true, securely nailed. Joists, studs and rafters shall be doubled above all openings. All flush headers shall be connected with metal joist hangers. Double frame under all partitions parallel to framing. Size of joists, sheathing and rafters are shown on plans. Provide solid blocking under all posts. Contractor to provide all fire blocking at all stud wall over 10'-0" high or all horizontal framed spaces at 10'-0" intervals max.

TERMITE SHIELD: Shall be bent aluminum with sealed lapped joints (refer to nail section for other information).

SILL PLATES: All wood sill plates that rest on concrete or masonry exterior walls shall be pressure preservative treated in accordance with ANFA standards or shall be of decay-resistant heartwood of redwood, black locust, or cedars. All sill plates to be set on fiberglass sill sealer or equal.

GULLAM BEAM: Shall be No. 1 Douglas Fir (min. Fb-2200 PSL).

LAMINATED VENEER BEAM: Shall be "Microlam 1.8E" by Trus Joist Meyerhaeuser or equal, min. fb. 2600.

ACCESSORIES AND ATTACHMENTS: Provide ceramic accessories such as soap dish, paper holder, 2 towel bars per bath. Provide mirror medicine cabinet with light over. Provide formica stock vanity where shown on plans.

PLYWOOD JOISTS: Shall be "TJI" Joists by Trus Joist Meyerhaeuser. Install as per manufacturer's specifications.

SUB FLOOR: Shall be 23/32" Advantech Flooring w/ manufacturer's recommendation for glue and screwed to each framing member @ 6" o/c.

SHEATHING: Shall be 1/2" exterior grade plywood nailed to each framing member.

WOOD DECKS AND RAILINGS: Where shown on plans, shall be pressure treated No. 1 southern yellow pine wood. All nails, bolts and all metal fastenings to be hot-dipped galvanized steel, silicon bronze or copper (see detail).

BRICK OR STONE VENEER: Shall be as shown on plans, laid in cement mortar with galvanized metal wall ties 24" horizontal and vertical. Provide weep holes at 4" o/c max. or as required (option: provide "mortar-net" at bottom of cavity). All joints to be well tooled. Brick and/or stone shall be selected by owner.

WINDOWS: Shall be Anderson 400 Series or equal windows with insulated "Low E" glass and screens. Size and type shown on plans. Provide tempered glass where shown or where within 18" of floor.

FRENCH DOORS: Shall be ANDERSEN Frenchwood or equal with tempered insulated "Low E" glass and screens.

VINYL SIDING: Shall be vinyl as manufactured by "POLYMERINE TECHNOLOGIES" Millennium series, complete w/ millennium series coordinates. Color to be selected by owner.

INTERIOR DOORS: Interior doors shall be 1 3/8" flush mahogany stain grade or 6 panel pre-hung units, complete with hardware and casing. Sliding bi-fold and pocket doors shall be 1 3/8" flush mahogany or 6 panel doors or as shown on plans, complete with hardware. Provide a self-closing "30 Min." label insulated door and frame between garage and house.

EXTERIOR TRIM: Shall be "Azek" or Equal. Size and shape shown on plans.

INTERIOR TRIM: Shall be stock sections of pine and shall be neatly fitted and mitered and complete, including doors and window casings, aprons, and stools, base at the floor. Closets to have one 3/4" shelf with clothes pole adequately supported. Linen closets to have five (5) 3/4" shelves.

WOOD STAIR: Provide oak tread stair, size shown on the plan. Provide complete hardwood railing, post, newel, and balusters (4 1/2" o.c. max.), as required. Stair to have oak tread (10" w/ 1 1/8" nosing @ closed stair), clear pine stringer and risers (6 1/4" max.). Provide oak tread return and bullnose on open sides. Stair shall be glued and wedged. All trim to be mitered and glued. Stair shall be fabricated in millshop by professional stair-builder. The general contractor shall be responsible to field check and verify stair dimensions and compliance with local 4 state building codes.

FLOORS: Wood floors shall be 23/32 strip oak securely nailed to joists over a layer of rosin paper. Composition floors shall be 1/8" vinyl set in mastic on concrete, or 5/8" exterior AC plywood underlayment in joist areas.

ATTIC/CRAWLSPACE ACCESS: Access doors from conditioned spaces to unconditioned spaces such as attics and crawl spaces shall be weathershipped and insulated to a level equivalent to the insulation on the surrounding surfaces. Access shall be provided to all equipment that prevents damaging or compressing the insulation. A wood-framed or equivalent bottle or retainer is required to be provided when loose-fill insulation is installed, the purpose of which is to prevent the loose-fill insulation from spilling into the living space when the attic access is opened, and to provide a permanent means of maintaining the installed R-value of the loose-fill insulation. See Section R402.2.4 Of the 2020 Energy Conservation Code Of New York State.

BUILDING CAVITIES: Building framing cavities shall not be used as ducts or plenums As Per Section R403.3.5 Of the 2020 Energy Conservation Code Of New York State.

ROOFING: All chimneys shall be properly flashed. Provide self-sealing rubberized waterproof membrane (36" wide min.) at all eaves, openings, hips, valleys, and ridges by W.R. Grace and Company or equal (ice and water shield). All roofing shall be installed by qualified roofing contractors, in strict accordance with manufacturer's specifications.

ASPHALT SHINGLE ROOF: Shall be 30-yr nstic asphalt shingles laid on 15 b. roofing felt.

ROOF VENTILATION: Ventilate all attic and rafter spaces with proper sized screened ridge and soffit vents or louvers (see plans).

GYPSUM BOARD: 1/2" nailed with rosin nails according to manufacturer's specifications. All joints to be taped and receive three (3) coats of joint compound. Finish to be smooth and even, ready for painting. Provide 5/8" type "X" gypsum board at both sides of garage house walls and ceilings. Also, provide 100 SF min. over furnace.

GUTTERS AND LEADERS: Provide baked enamel gutters and leaders as required. All leaders and gutters are to be properly supported at all joint areas.

INSULATION: Shall be fiberglass batts with vapor barrier. Provide insulation as per 2020 International Energy Conservation Code Of New York State Section R402.

RES-CHECK software is allowed to be used to calculate insulation requirements.

Tile Work:
CERAMIC TILE: Baths and lavatory floors to receive matt glazed ceramic tile set in thin-set grout. Installation to be as per latest edition of the Tile Council of America specifications. Consult Architect if other setting methods are to be used to verify floor structure. Tub and shower wall to receive glazed ceramic tile set in mastic (6" high min.) Provide water-resistant cement backer boards to tub shower walls and wet areas.

ACCESSORIES AND ATTACHMENTS: Provide ceramic accessories such as soap dish, paper holder, 2 towel bars per bath. Provide mirror medicine cabinet with light over. Provide formica stock vanity where shown on plans.

Painting:

EXTERIOR: Siding, fascias, and trim shall receive one (1) prime coat and one (1) finish coat of exterior stain or paint.

INTERIOR: Walls to receive one (1) prime coat and one (1) finish coat of latex or oil flat paint. Flush hardwood doors to receive one (1) coat of stain and one (1) coat of satin polyurethane finish. 5x6 (6) panel doors to receive one (1) coat primer and one (1) coat of satin enamel finish. Floors to be sanded and receive one (1) coat of sealer and one (1) coat of floor polyurethane, gloss finish.

TRIM AND MISCELLANEOUS WOOD: Shall have one (1) prime coat and one (1) finish coat of satin enamel.

Heating:

HEATING AND AIR CONDITIONING: Shall be oil-fired hydro-air system, complete with boiler, hydronic zone controls, thermostats, oil tank, etc. for 5 zones. Provide domestic hot water coil or separate circulating storage tank if required in boiler. Provide air handling units, condensers, insulated supply ducts and vents to each room. Heating and cooling system to be designed and guaranteed to conform to the latest ASHREA specifications and the 2020 Energy Code Of New York State. Heating system shall be designed and guaranteed to maintain 73 degrees F indoor temperature with 17 degrees F outdoor temperature.

DUCTS: All ducts shall be fabricated and rigidly installed with required bracing and supports. The main supply and return duct shall be isolated from the heater and blower by means of fabric's insulators. Provide duct damper for each run. Insulate all ducts located in garage, attic, and unheated areas

DUCT TESTING: Ducts shall be pressure tested to determine air leakage by one of the following methods: Rough-in test Or Postconstruction test. A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. See Section R403.3.3 Of the 2020 Energy Conservation Code Of New York State.

EQUIPMENT SIZING AND EFFICIENCY RATINGS: Heating and cooling equipment shall be sized in accordance with ACCA Manual 5 based on building loads calculated in accordance with ACCA Manual 4 or other approved heating and cooling calculation methodologies. New or replacement heating and cooling equipment shall have an efficiency rating equal to or greater than the minimum required by federal law for the geographic location where the equipment is installed. See Section R403.7 Of the 2020 Energy Conservation Code Of New York State For More Detail.

GRILLS AND REGISTERS: Provide supply and return registers in each room. All supply grills to have adjustable dampers.

BALANCING: Heating contractor shall balance entire house so that all rooms heat evenly to the required temperature set on the thermostat.

Plumbing:

WORK INCLUDED: Contractor shall furnish all labor, materials and equipment required to fully complete all plumbing work shown on plans.

FLASHING: All pipes passing through roof shall receive aluminum collar, strapped and fitted to provide water-proof seal.

TESTING: Contractor shall test all water, drainage, and vent piping in accordance with local codes.

WATER SUPPLY: Water supply in street or well shall be extended to house with 1" heavy copper pipe and entire house shall be supplied with both hot and cold water by means of heavy copper pipe of appropriate sizes, min. 3/4" sub main to each bath, kitchen, and laundry. The weather resistant hose fittings shall be supplied. Provide hook-up for washer where shown. See Section P2403 For Sizing & Additional Info.

DRAINAGE SYSTEM: Shall be installed in accordance with local codes and ordinances and shall be complete with copper drains and copper vents, cleanouts, etc. connected to street sewer or septic system. Drains under concrete to be cast iron.

FIXTURES: As shown on plans shall be AMERICAN STANDARD, KOHLER, or equal. All exposed fittings and pipe to be chrome plated.

SEPTIC AND WELL SYSTEMS: (If required) shall conform to all requirements of the Board of Health.

Electrical:

Electrical system to be designed to comply with NEC 70 specification.

Electrical: Provide a minimum of 120/208-200 amp, or larger, if required, for service. Switches to be silent type. Locations of outlets, fixtures, etc. as shown on plans. All electric work to conform to the National Board of Fire Underwriters Codes. Provide a complete door bell system.

Contractor to provide exhaust fans at both rooms (vent to exterior). Provide 4 install as per code.

Contractor to provide smoke & heat detectors with battery back-up (see plans for location). Detectors shall conform to all applicable codes and shall be installed as per code R314.3. Hard-wire and interconnected per section R314.4

Contractor to provide carbon monoxide detectors with battery back-up (see plans for location). Detectors shall conform to all applicable codes and shall be installed as per building code, Section R315.1

Lighting Equipment: Not less than 90 percent of the permanently installed lighting fixtures shall contain only high-efficiency lamps. Of the 2020 Energy Conservation Code Of New York State.

MECHANICAL VENTILATION: The building shall be provided with ventilation that meets the requirements of the 2020 Residential Code or 2020 Mechanical Code Of New York State, as applicable, or with other approved means of ventilation. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating. See Section R403.6 Of the 2020 Energy Conservation Code Of New York State For More Detail.

Site Work:

SITE WORK: Provide 2" blacktop driveway, 4" gravel base to street. Sidewalks to be 3" wide, 4" concrete or 1 1/2" flagstone laid in sand, from house to driveway. Provide top soil and seed to all areas disturbed by construction.

Insulation / Energy Code:

Refer to "RES CHECK" energy study attached to plans or fixed to first page.

INSULATION: Shall be fiberglass batt with foil faced vapor barrier, "R" value stated on attached RES-CHECK.

Pack insulation in all cavities around all exterior windows, doors and other openings.

AIR LEAKAGE: Joints, penetrations, and all other such openings in the building envelope that are sources of air leakage must be sealed in accordance with the requirements of Sections R402.4.1 through R402.4.4. Of the 2020 Energy Conservation Code Of New York State. Recessed lights must be 1) Type IC rated, or 2) installed inside an appropriate air-tight assembly with a 0.5" clearance from combustible materials. If non-IC rated, the fixture must be installed with a 3" clearance from insulation.

VAPOR RETARDER: Required on the warm-in winter side of all non-vented framed ceilings, walls, and floors.

Material Identification:

Materials and equipment must be installed in accordance with the manufacturer's installation instructions. Materials and equipment must be identified so that compliance can be determined. Manufacturer manuals for all installed heating and cooling equipment and service water heating equipment must be provided. Insulation R-values and ducting U-factors must be clearly marked on the building plans or specifications.

Duct Insulation:

Supply and return ducts in attics shall be insulated to an R-value of not less than R-6 for ducts 3 inches (76 mm) in diameter and larger and not less than R-6 for ducts smaller than 3 inches (76 mm) in diameter.

Supply and return ducts in other portions of the building shall be insulated to not less than R-6 for ducts 3 inches (76 mm) in diameter and not less than R-4.2 for ducts smaller than 3 inches (76.2 mm) in diameter. Exception being ducts located in conditioned spaces. See 2020 Residence Code Of New York State.

Ducts buried within ceiling insulation both supply and return shall have an insulation R-value not less than R-8. At all points along each duct, the sum of the ceiling insulation R-values against and above the top of the duct, and against and below the bottom of the duct shall be not less than R-19, excluding the R-value of the duct insulation.

Duct Construction:

All joints, seams, and connections must be securely fastened with welds, gaskets, mastics (adhesives), mastic-plus-embedded-fabric, or tapes. Duct tape is not permitted. - Exception: Continuously welded and locking-type longitudinal joints and seams on ducts operating at less than 2 in. Hg. (500 Pa). - Exception: Air-impermeable spray foam products shall be permitted to be applied without additional joint seals.

Ducts shall be supported every 10 feet or in accordance with the manufacturer's instructions. Cooling ducts with exterior insulation must be covered with a vapor retarder.

Air filters are required in the return air system. The HVAC system must provide a means for balancing air and water systems.

Temperature Controls:

The thermostat controlling the primary heating or cooling system of the dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule to maintain different temperature setpoints at different times of the day. This thermostat shall include the capability to set back or temporarily operate the system to maintain zone temperatures of not less than 55 F (13 C) to not greater than 85 F (24 C). The thermostat shall be programmed initially by the manufacturer with a heating temperature setpoint of not greater than 70 F (21 C) and a cooling temperature setpoint of not less than 78 F (26 C).

Electrical Systems:

Separate electric meters are required for each dwelling unit.

Fireplaces:

Fireplaces must be installed with tight fitting non-combustible fireplace doors. Fireplaces must be provided with a source of combustion air, as required by the Fireplace construction provisions of the Building Code, the Residential Code as applicable.

Service Water Heating:

Water heaters with vertical pipe risers must have a heat trap on both the inlet and outlet unless the water heater has an integral heat trap or is part of a circulating system.

Swimming Pools:

All heated swimming pools must have an on/off heater switch and require a cover unless over 20% of the heating energy is from non-depletable sources. Pool pumps require a time clock.

Heating & Cooling Piping Insulation:

Mechanical system piping capable of carrying fluids above 105 degrees F or chilled fluids below 55 degrees F must be insulated to a minimum of R-3. See Section R403.4 of the 2020 Energy Conservation Code Of New York State for more detail.

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105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
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PHONE: (914) 666-3950

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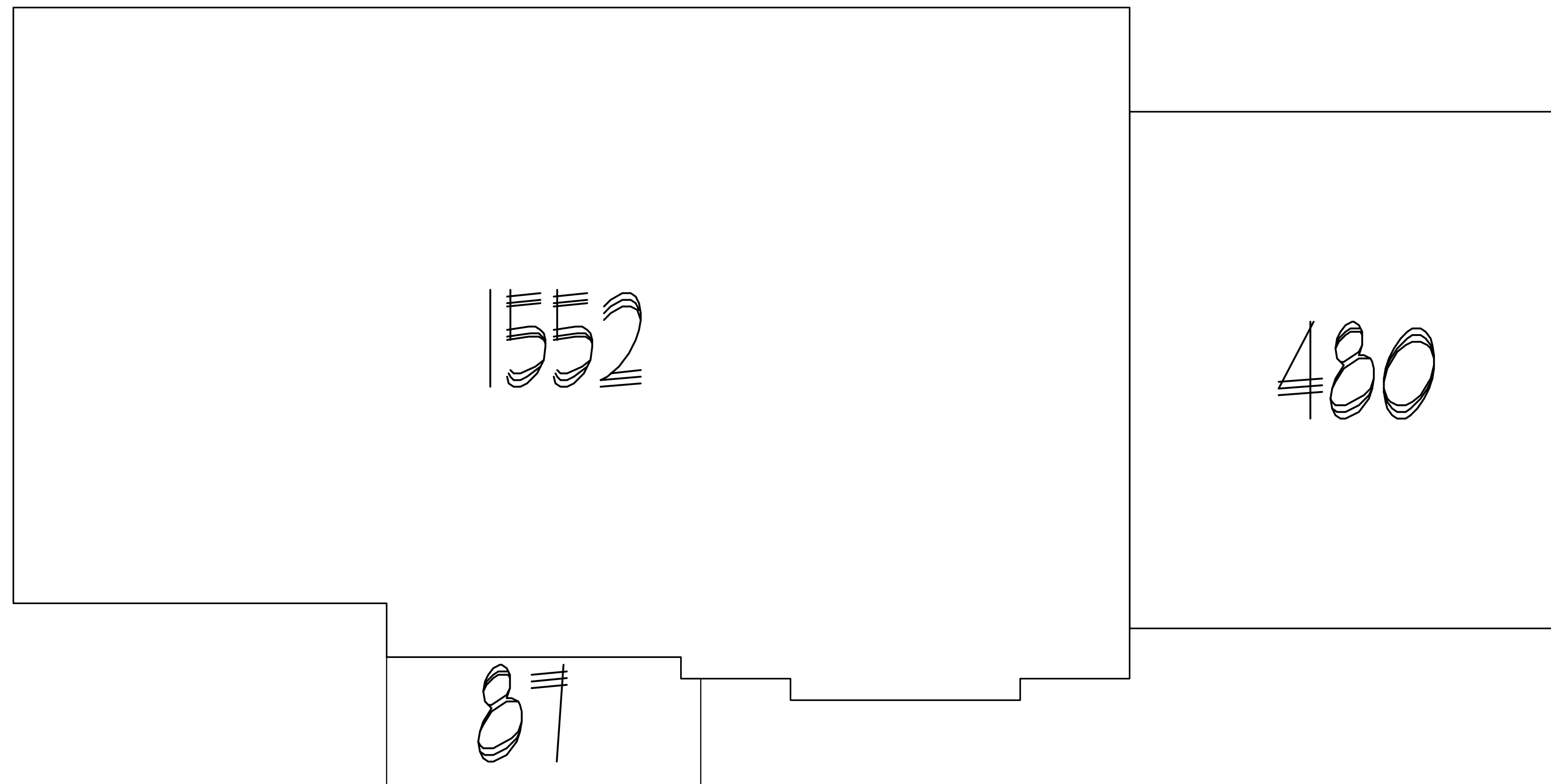
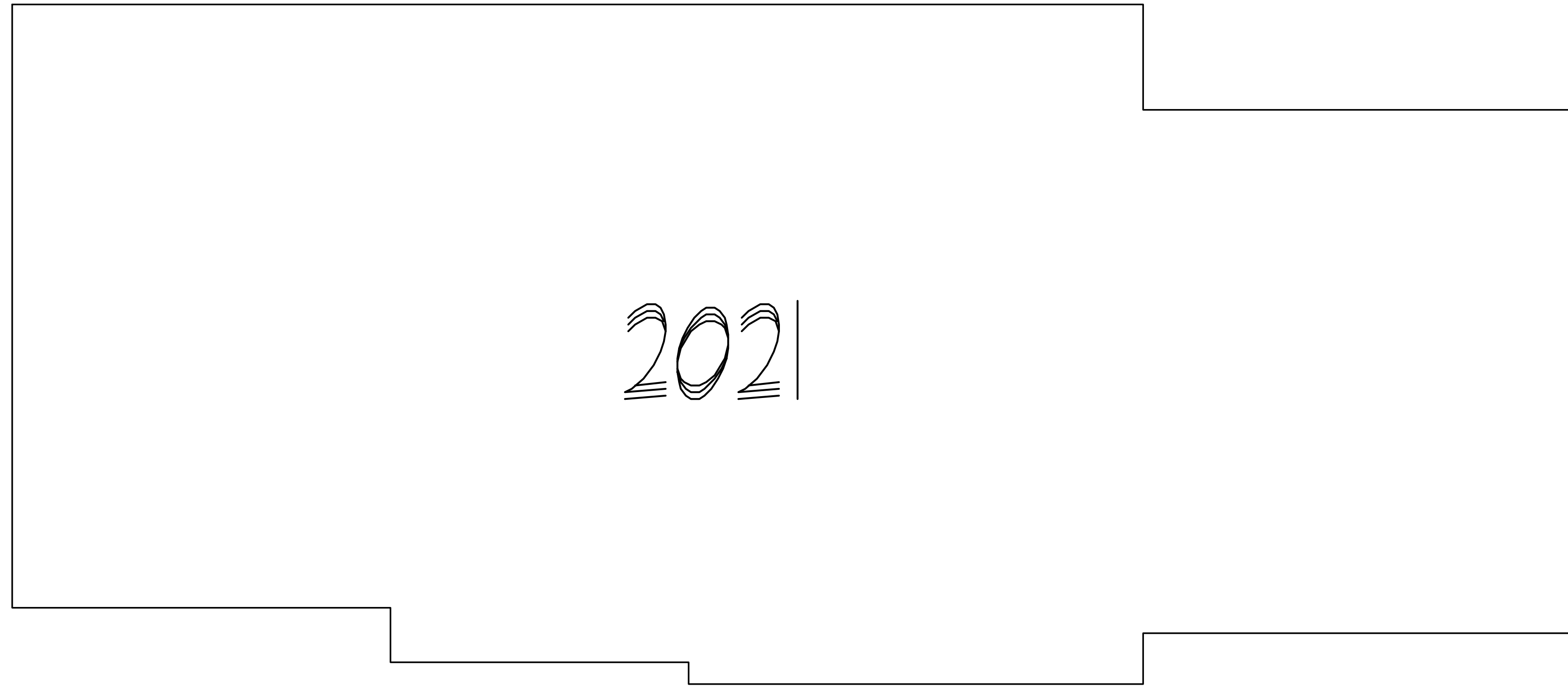
Addition For
**6 Tripp Lane
Armonk, NY.**

Revision	Date
Date	Aug. 11, 2021
Job No	221-013
Drawing	OF

Second Floor

Scale: 1/4 " = 1'-0"

Note: Lines Shown are
Computer Polyline Entities



First Floor

Scale: 1/4 " = 1'-0"

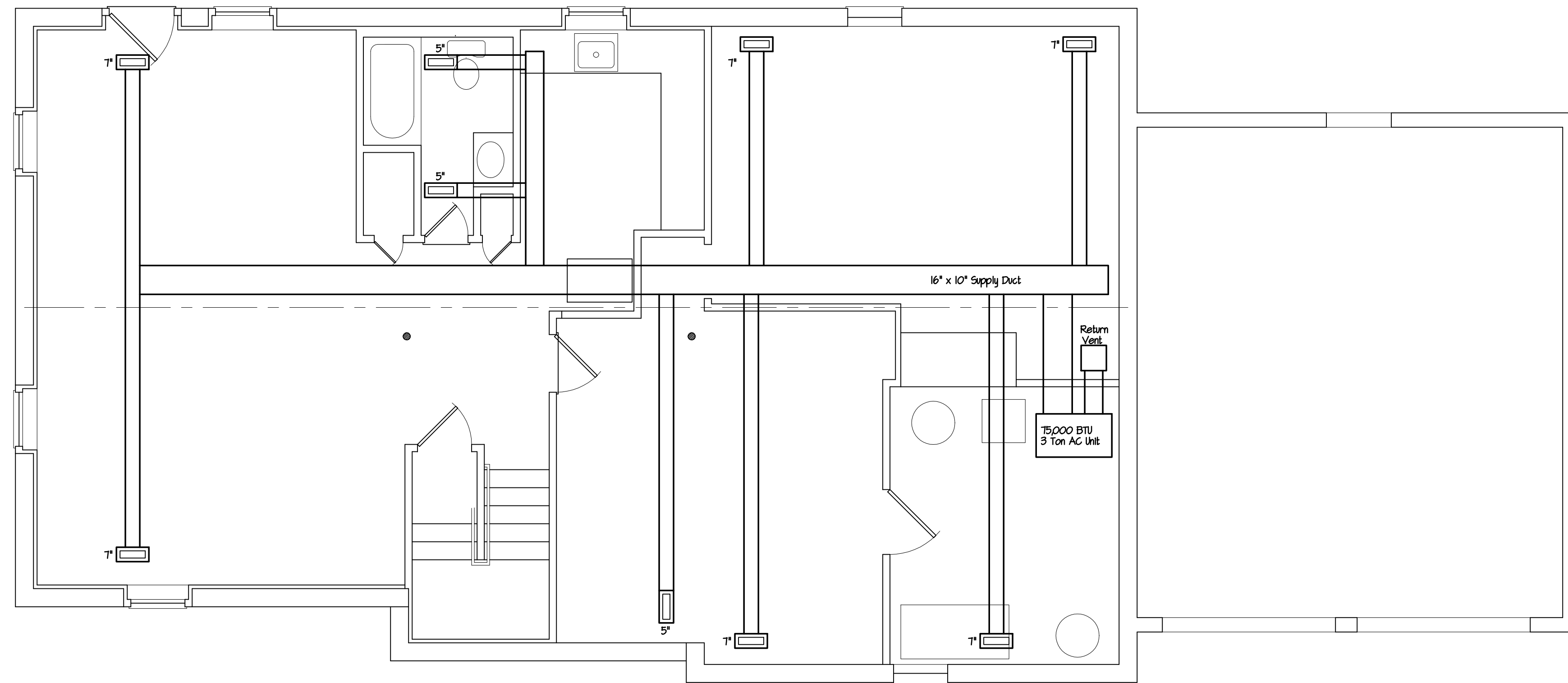
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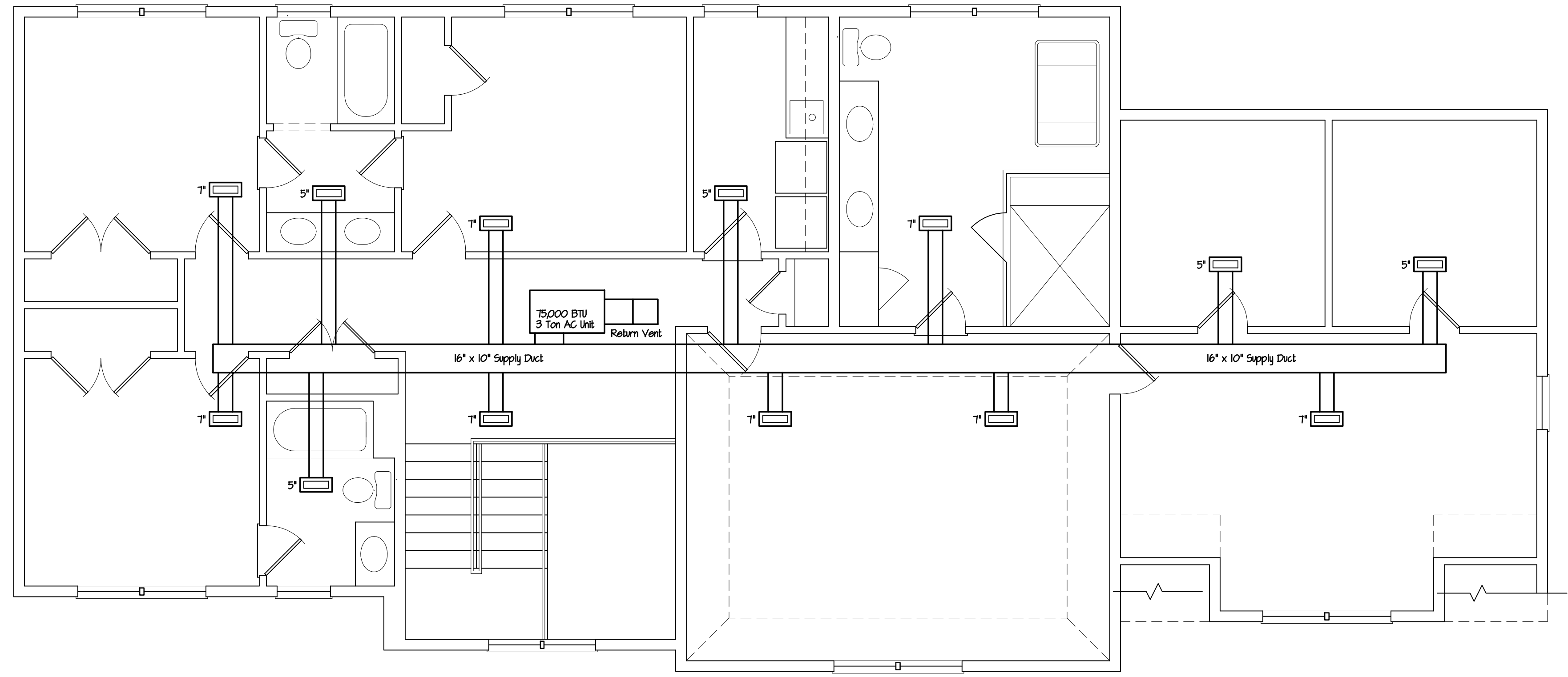
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Addition For
6 Tripp Lane
Armonk, NY.

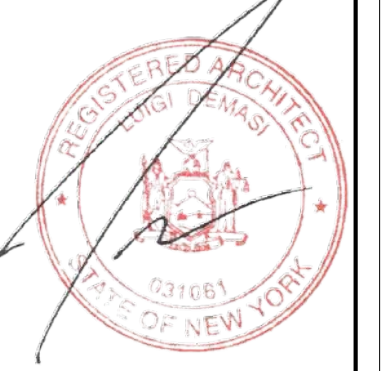
Revision	Date
	Aug. 11, 2021
Job No	221-013
F.A.R.	OF



Schematic HVAC Plan
Foundation Plan
 Scale: 1/4" = 1'-0"



Schematic HVAC Plan
Second Floor Plan
 Scale: 1/4" = 1'-0"



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Addition For
**6 Tripp Lane
 Armonk, NY.**

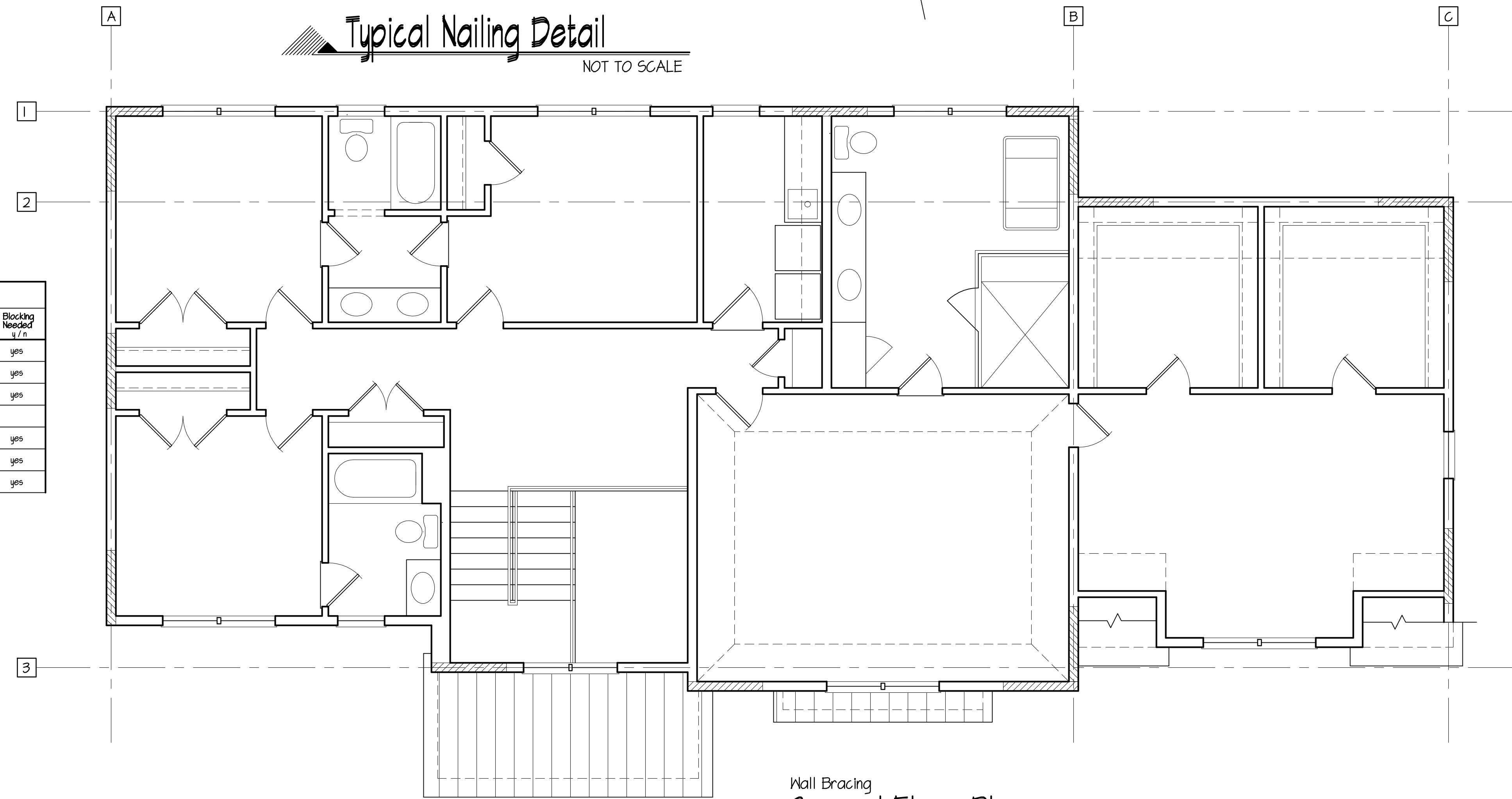
Revision	Date
	Aug. 11, 2021
Job No	221-013
HVAC	OF

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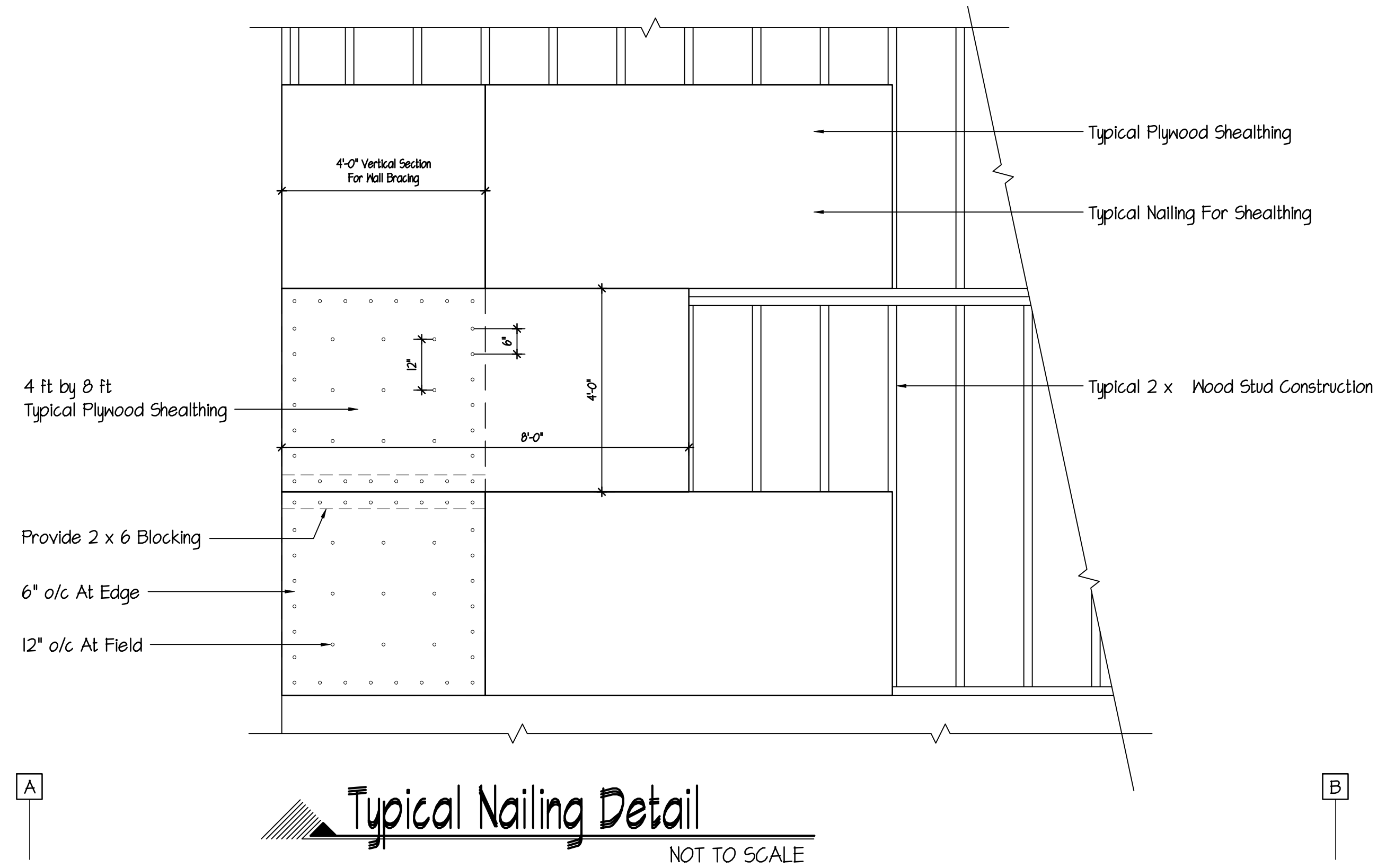
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Wall Bracing Schedule													
Wind Speed (mph)	Braced Wall Line	Braced Wall Line Spacing	Method	Minimum Length Req'd (1602.10.2.2)	Adjustment Factors				Adjusted Minimum Length	Bracing Length Provided	R.O.C. # Hold Down q/n	Blocking Needed q/n	
					Exposure	Ridge Hgt.	Wall Height	Number of BWL's					Gypsum Board
100	1	4'-10"	CS-WEP	15	B (1)	10 (10)	8 (90)	3 (13)	N/A	18	12	no	yes
100	2	24'-10"	CS-WEP	45	B (1)	10 (10)	8 (90)	3 (13)	N/A	5.3	8	no	yes
100	3	24'-10"	CS-WEP	45	B (1)	10 (10)	8 (90)	3 (13)	N/A	5.3	12	no	yes
100	A	51'-4"	CS-WEP	8	B (1)	10 (10)	8 (90)	3 (13)	N/A	4.4	12	no	yes
100	B	20'-0"	CS-WEP	3	B (1)	10 (10)	8 (90)	3 (13)	N/A	3.5	8	no	yes
100	C	20'-0"	CS-WEP	3	B (1)	10 (10)	8 (90)	3 (13)	N/A	3.5	8	no	yes

 4'-0" Plywood Panel with Typical 6" o/c On Edge & 12" o/c In Field Nailing Pattern



Wall Bracing
Second Floor Plan
Scale: 1/4" = 1'-0"



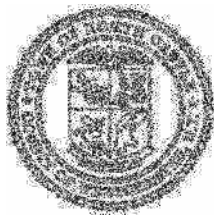
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Addition For
**6 Tripp Lane
Armonk, NY.**

Revision	Date
Date	Aug. 11, 2021
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Wall Bracing	OF

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TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 6 Tripp Lane, Armonk, NY. Date: 8/16/21

Tax Map Designation or Proposed Lot No.: 108.02-1-9

Floor Area

1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>104,440.46 Sf /2.397 Acres</u>
2.	Maximum permitted floor area (per Section 355-26.B(4)):	<u>10,814.82 Sf</u>
3.	Amount of floor area contained within first floor: <u>1,518</u> existing + <u>34</u> proposed =	<u>1,552 Sf</u>
4.	Amount of floor area contained within second floor: <u> </u> existing + <u>2,021</u> proposed =	<u>2,021 Sf</u>
5.	Amount of floor area contained within garage: <u>480</u> existing + <u> </u> proposed =	<u>480 Sf</u>
6.	Amount of floor area contained within porches capable of being enclosed: <u> </u> existing + <u>87</u> proposed =	<u>87 Sf</u>
7.	Amount of floor area contained within basement (if applicable – see definition): <u>702</u> existing + <u> </u> proposed =	<u>702 Sf</u>
8.	Amount of floor area contained within attic (if applicable – see definition): <u> </u> existing + <u> </u> proposed =	<u> </u>
9.	Amount of floor area contained within all accessory buildings: <u> </u> existing + <u> </u> proposed =	<u> </u>
10.	Proposed floor area : Total of Lines 3 – 9 =	<u>4,842 Sf</u>

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



8/16/21
Date

CONSTRUCTION APPROVAL APPLICATION

WCDH File # NOC 2021-11 Municipality: NORTH CASTLE Fee Amount: _____

On-site Wastewater Treatment System Private Water Supply Residential Commercial
Watershed Basin Name: INLAND LONG ISLAND SOUND If NYCDEP Watershed: Joint Review Delegated Review
Is property in a Water District: Y N Name: _____ Is property in a Sewer District: Y N Name: _____

Property Information:

Property Name BUTLER RESIDENCE
Property Address 6 TRIPP LANE, ARMONK Zip Code 10504
TMD: Section 108.02 Block 1 Lot 9 R.S. Lot _____ Lot Area 2.397 Acres _____
Realty Subdivision: _____ Map # _____ Date Filed _____
Owner Last Name: BUTLER Owner First Name: WILLIAM
St. #: 6 St. Address: TRIPP LANE State: NY Zip Code: 10504
Owner Phone #: () _____ Owner E-mail Address: _____
Building Type: RESIDENTIAL # of Bedrooms: 5 Total Habitable Space: _____ Sq. Ft.

On-site Wastewater Treatment System (OWTS) Information:

Design Flow: 1000 gpd Soil Percolation Rate: 15 min./in
Slope of OWTS Area: 11.1 % Septic Tank Size: 1500 Gallons (Gal.)
Absorption Trench(es): Length: 625 Lin. Ft. Trench Width: 2 Ft. Area: _____ Sq. Ft.
Absorption Pit(s): # Pits N/A Diameter: N/A Ft. Depth: N/A Ft. Area: N/A Sq. Ft.
Other (circle or specify): Tri-Galleys 4X4 Galleys Flow Diffusers Name: N/A
Trenches N/A Length: N/A Lin. Ft. Trench Width: N/A Ft. Sidewall Area: N/A Sq.Ft./Lin Ft.

Other Requirements:

Pump System: Pump Chamber: Size: 1500 Gal. Dose 312.5 Gal. Overflow Tank: Size: N/A Gal.
Curtain Drain: Depth: N/A Ft. Width: N/A Ft. R.O.B. Sand and Gravel Fill Section: Depth: N/A Ft.
Separate Sewage Contractor (SSC): Name: Licensed Septic Co. M. [unclear] WCDH SSC License # _____

Water Supply System Information:

Private Water Supply Public Water Supply Name: _____
Well Driller Name: FDD NYSDEC Reg # _____
Address: _____ Phone: () _____
Other Requirements/Conditions: _____

I represent that I am wholly and completely responsible for the design and location of the proposed system(s): 1] that the on-site wastewater treatment system above described will be constructed as shown on the approved plan or approved amendments thereto and in accordance with the standards, rules and regulations of the Westchester County Department of Health; that on completion thereof, a "Certificate of Construction Compliance" satisfactory to the Commissioner of Health will be submitted to the Department and a written guarantee will be furnished the owner, his successors, heirs or assigns by the builder that said builder will place in good operating condition any part of said OWTS which fails to operate for a period of two (2) years immediately following the date of the issuance of the approval of the Certificate of Construction Compliance of the OWTS, or any repairs thereto; 2] that the drilled well described above will be located as shown on the approved plan and that said well will be installed in accordance with the standards, rules and regulations of the Westchester County Department of Health.

Date: 6/28/21 Signed: [Signature] P.E./R.A. Seal 076215

APPROVED FOR CONSTRUCTION

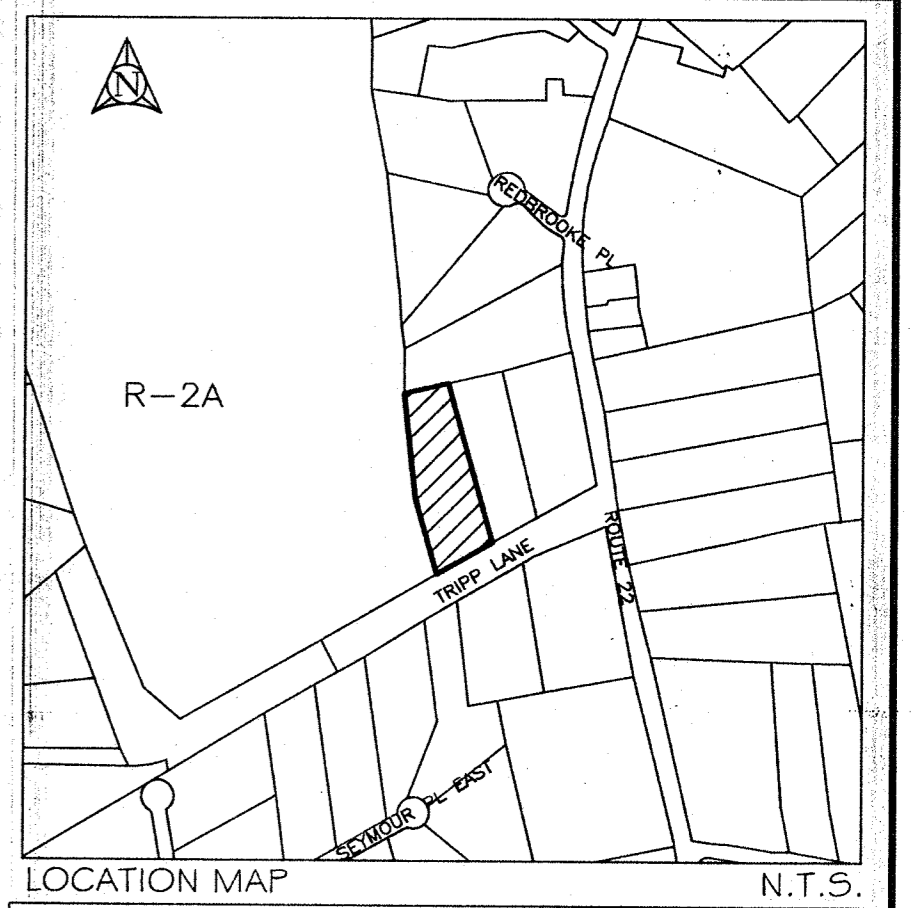
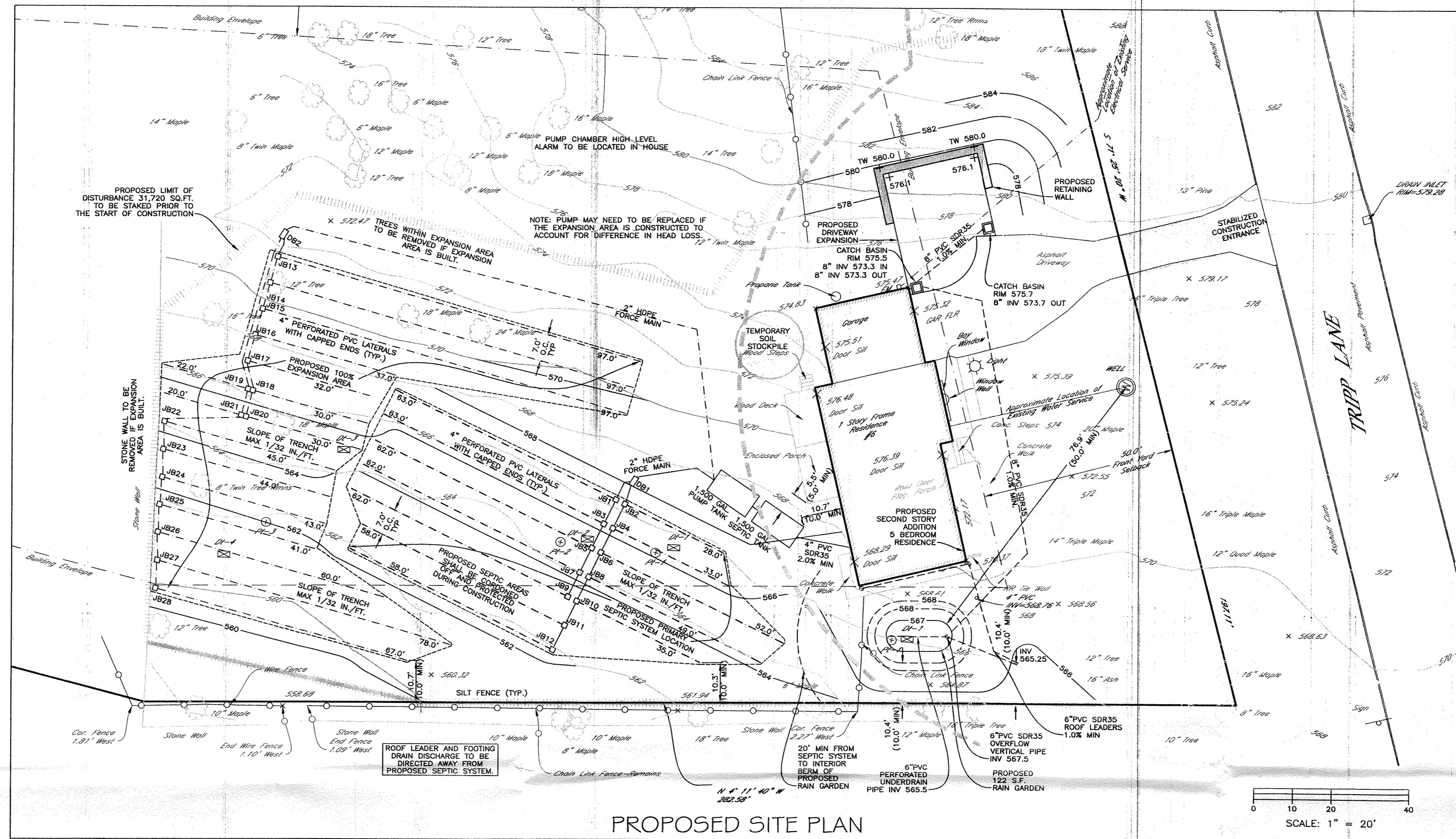
This approval expires one (1) year from the date issued unless construction of the building has been undertaken, and is revocable for cause or may be amended or modified when considered necessary by the Commissioner of Health. Any change or alteration of construction requires a new permit.

Date: 7/15/21 Approved By: [Signature]

DESIGN DATA INFORMATION	
OWNER	WILLIAM BUTLER
APPLICANT	WILLIAM BUTLER
SITE LOCATION	6 TRIPP LANE, ARMONK, NEW YORK 10504
TAX MAP #	108.02-1-9
REALTY SUBDIVISION	N/A
WATERSHED BASIN	INLAND LONG ISLAND SOUND BASIN
USDA SOIL CONSERVATION SERVICE SOIL CLASSIFICATION	PnB PAXTON FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES PnC PAXTON FINE SANDY LOAM, 9 TO 15 PERCENT SLOPES
HYDROLOGIC SOIL GROUP	C
NUMBER OF BEDROOMS	5
DESIGN FLOW	1000 GPD (200 GPD/BEDROOM)
SEPTIC TANK SIZE	1,500 GALLONS
SOIL PERCOLATION RATE	11-15 MIN./IN. PRIMARY 21-30 MIN./IN. EXPANSION
APPLICATION RATE	.8 GPD/S.F. PRIMARY .6 GPD/S.F. EXPANSION
ABSORPTION TRENCH REQUIRED	625 L.F. PRIMARY 840 L.F. EXPANSION
DOSING REQUIRED	312.5 GALLONS
ALTERNATE DOSING (ASBUILT)	NA
SLOPE	11.1%
ABSORPTION TRENCH PROVIDED (ASBUILT)	NA
FILL REQUIRED	RUN OF BANK SAND & GRAVEL FOR GRADING PURPOSES ONLY
FILL PROVIDED (ASBUILT)	NA
CURTAIN DRAIN LENGTH	N/A
ESTIMATED START DATE	08 / 2021
ESTIMATED FINISH DATE	08 / 2022

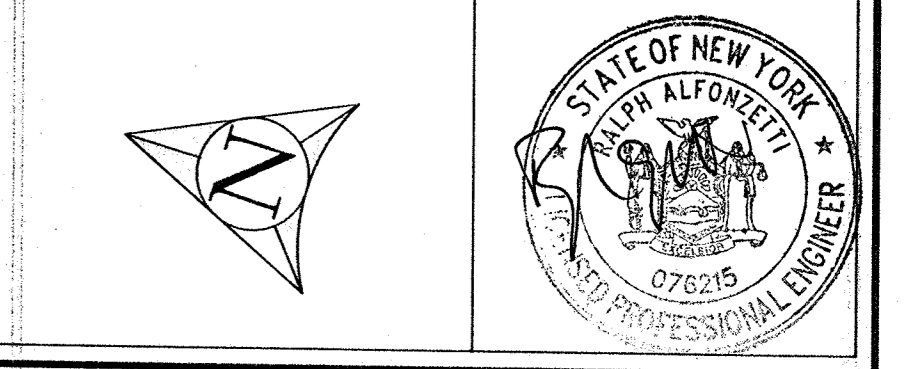
DEEP TEST HOLE DESCRIPTION	
DT1	0"-12" TOPSOIL 12"-84" MEDIUM SANDY LOAM WITH SOME COBBLE @ 60"
DT2	0"-6" TOPSOIL 6"-84" MEDIUM SANDY LOAM WITH SOME COBBLE
DT3	0"-6" TOPSOIL 6"-84" MEDIUM SANDY LOAM WITH SOME COBBLE
DT4	0"-6" TOPSOIL 6"-84" MEDIUM SANDY LOAM WITH SOME COBBLE WATER ENCOUNTERED @ 84"

PERCOLATION TEST DATA	
P1	5.67 MIN./IN.
P2	15 MIN./IN.
P3	30 MIN./IN.



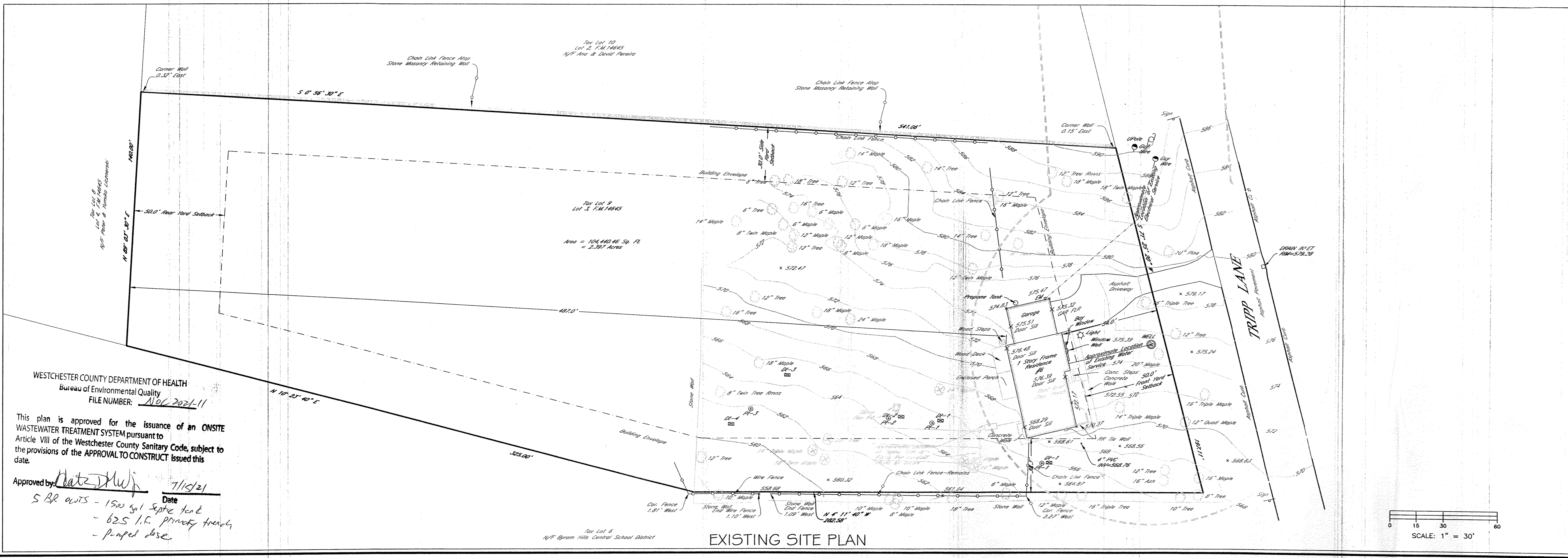
- WESTCHESTER COUNTY DEPARTMENT OF HEALTH OWTS NOTES:
- THERE SHALL BE NO TREES WITHIN 10 FEET OF THE OWTS.
 - THERE ARE NO WELLS WITHIN 200' OF OWTS UNLESS OTHERWISE SHOWN ON PLAN.
 - THERE ARE NO WELLS WITHIN 200' OF WELL UNLESS OTHERWISE SHOWN ON PLAN.
 - THE PROPOSED OWTS AREA SHALL BE ISOLATED AND PROTECTED AGAINST DAMAGE BY EROSION, STORAGE OF EARTH OR MATERIALS, DISPLACEMENT, COMPACTION OR OTHER ADVERSE PHYSICAL CHANGE IN THE CHARACTERISTICS OF THE SOIL OR IN THE DRAINAGE OF THE AREA.
 - IF FOR ANY REASON THE APPROVED CONSTRUCTION PLAN CAN NOT BE FOLLOWED, A REVISED PLAN MUST BE PREPARED, SUBMITTED, AND APPROVED BY WCDH.
 - THE DESIGN PROFESSIONAL SHALL SUPERVISE THE CONSTRUCTION OF THE OWTS AND MAKE AN OPEN WORKS INSPECTION.
 - WITHIN 24-HOURS OF THE COMPLETION OF THE OWTS, THE DESIGN PROFESSIONAL MUST NOTIFY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH (WCDH) THAT THE OWTS IS READY FOR INSPECTION BY SUBMITTING A COMPLETED REQUEST FOR AN OPEN WORKS INSPECTION ON THE APPROPRIATE FORM TO WCDH.
 - THAT NO BACKFILLING OF A COMPLETED OWTS CAN OCCUR UNTIL AFTER IT HAS BEEN INSPECTED AND ACCEPTED BY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH.
 - AFTER BACKFILLING THE OWTS, THE AREA SHALL BE COVERED WITH A MINIMUM OF 4 INCHES OF CLEAN TOP SOIL, SEED AND MULCHED.
 - THE INSTALLATION OF THE OWTS SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE DESIGN AND CONSTRUCTION OF RESIDENTIAL SUBSURFACE SEWAGE TREATMENT SYSTEMS AND DRILLED WELLS IN WESTCHESTER COUNTY, NY.
 - ALL PIPES CONNECTING TO THE TANK AND BOXED SHALL BE CUT FLUSHED WITH THE INSIDE WALL OF BOX.
 - THE PROPOSED OWTS SHALL BE INSTALLED BY A WESTCHESTER COUNTY LICENSED SEPTIC CONTRACTOR.
 - PRIOR TO ANY EXCAVATION ALL UNDERGROUND UTILITIES MUST BE LOCATED. CALL: 1-800-962-7962.
 - THE WESTCHESTER COUNTY DEPARTMENT APPROVAL EXPIRES ONE YEAR FROM THE DATE ON THE APPROVAL STAMP AND IS REQUIRED TO BE RENEWED ON OR BEFORE THE EXPIRATION DATE. THE APPROVAL IS RECALLABLE FOR CAUSE OR MAY BE AMENDED OR MODIFIED CONSIDERED NECESSARY BY THE DEPARTMENT.
 - THERE ARE NO SOURCES OF CONTAMINATION WITHIN 200 FEET OF THE PROPOSED WELL (WHERE NEW WELLS ARE PROPOSED).
 - THE MINIMUM WELL YIELD IS 5 GPM, YIELDS LESS THAN 5 GPM MUST BE IMMEDIATELY REPORTED TO THE DEPARTMENT (WHERE NEW WELLS ARE PROPOSED).

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

SITE DATA	
OWNER/APPLICANT:	WILLIAM BUTLER
SITE ADDRESS:	6 TRIPP LANE, ARMONK, NEW YORK 10504
TAX MAP #:	108.02-1-9
LOT AREA:	2.387 ACRES
ZONING:	R-2A
REVISION:	JUNE 22, 2021
OWTS PLAN	
MAY 24, 2021	
BUTLER RESIDENCE	
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK	

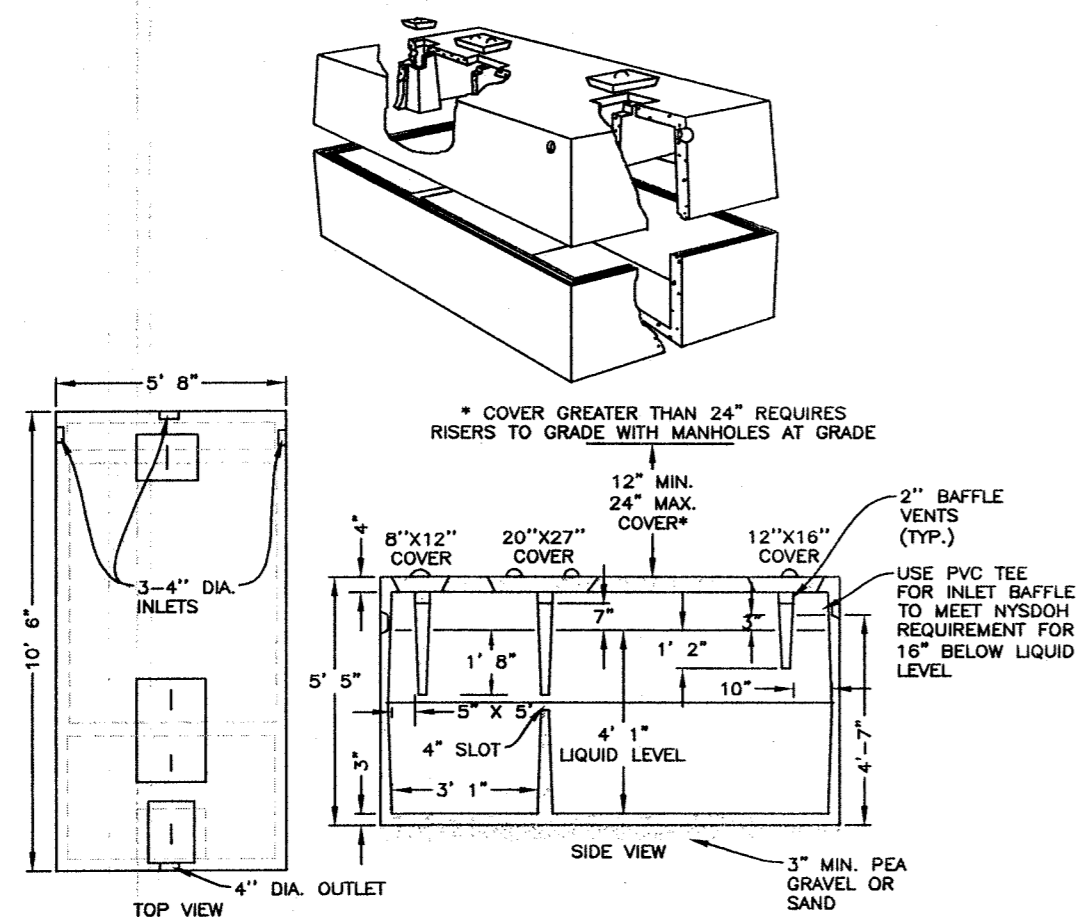


WESTCHESTER COUNTY DEPARTMENT OF HEALTH
Bureau of Environmental Quality
FILE NUMBER: 1106 2021-11

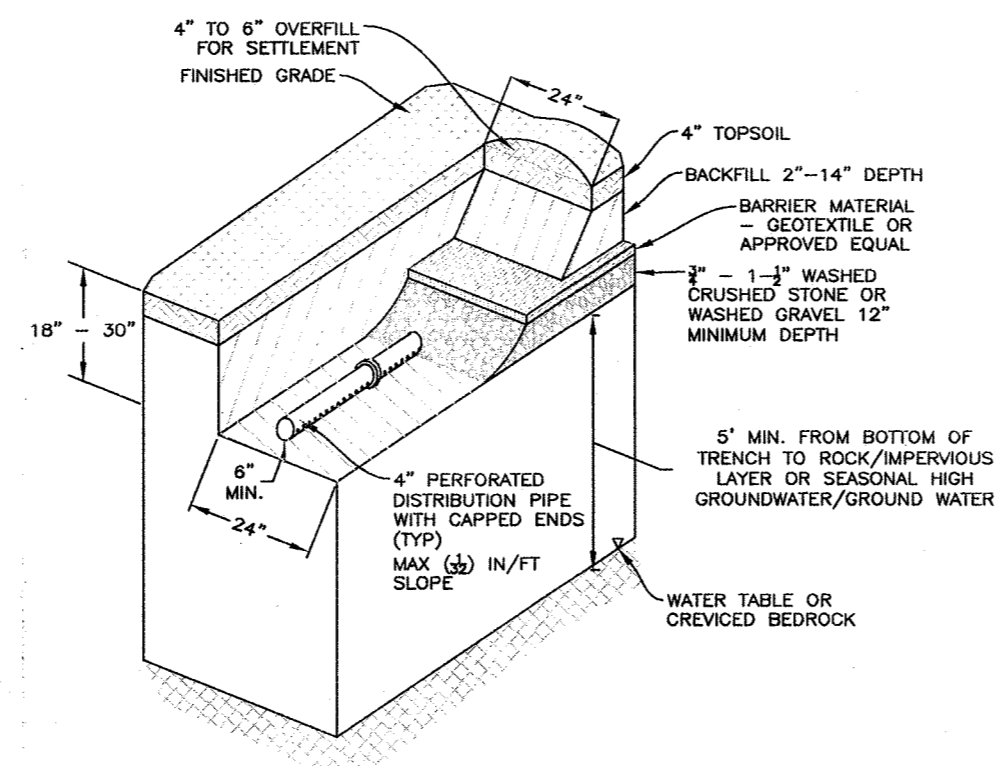
This plan is approved for the issuance of an ONSITE WASTEWATER TREATMENT SYSTEM pursuant to Article VIII of the Westchester County Sanitary Code, subject to the provisions of the APPROVAL TO CONSTRUCT issued this date.

Approved by: [Signature] Date: 7/15/21

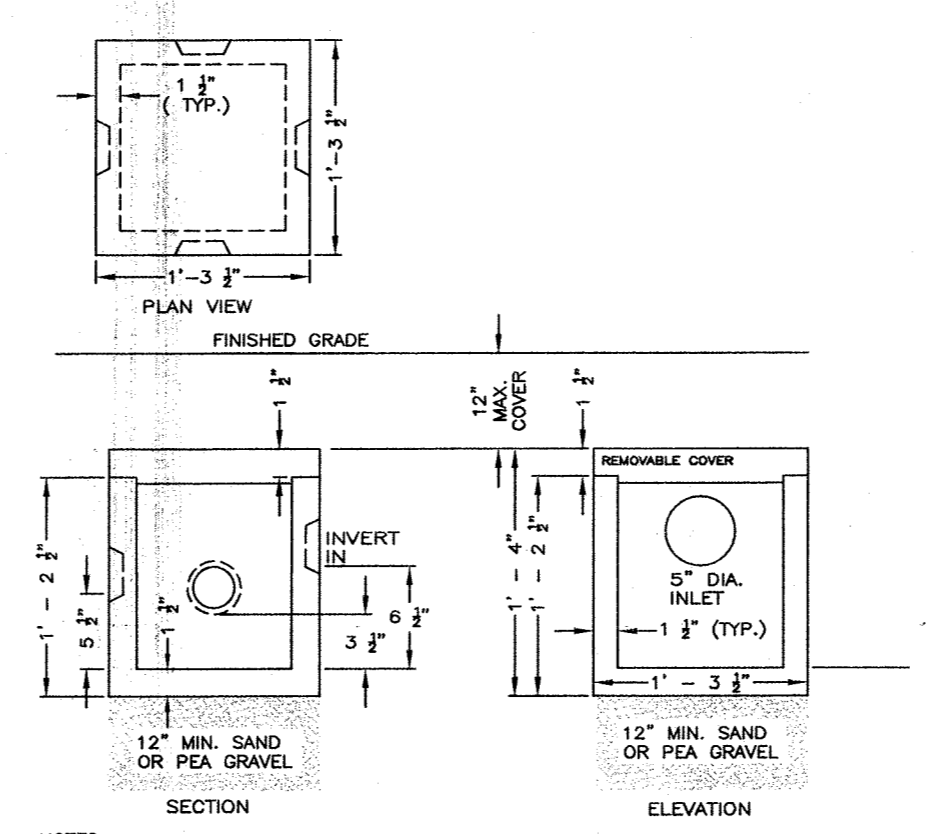
5 BR OWTS - 1500 gal septic tank
- 625 l.f. primary trench
- pump dose



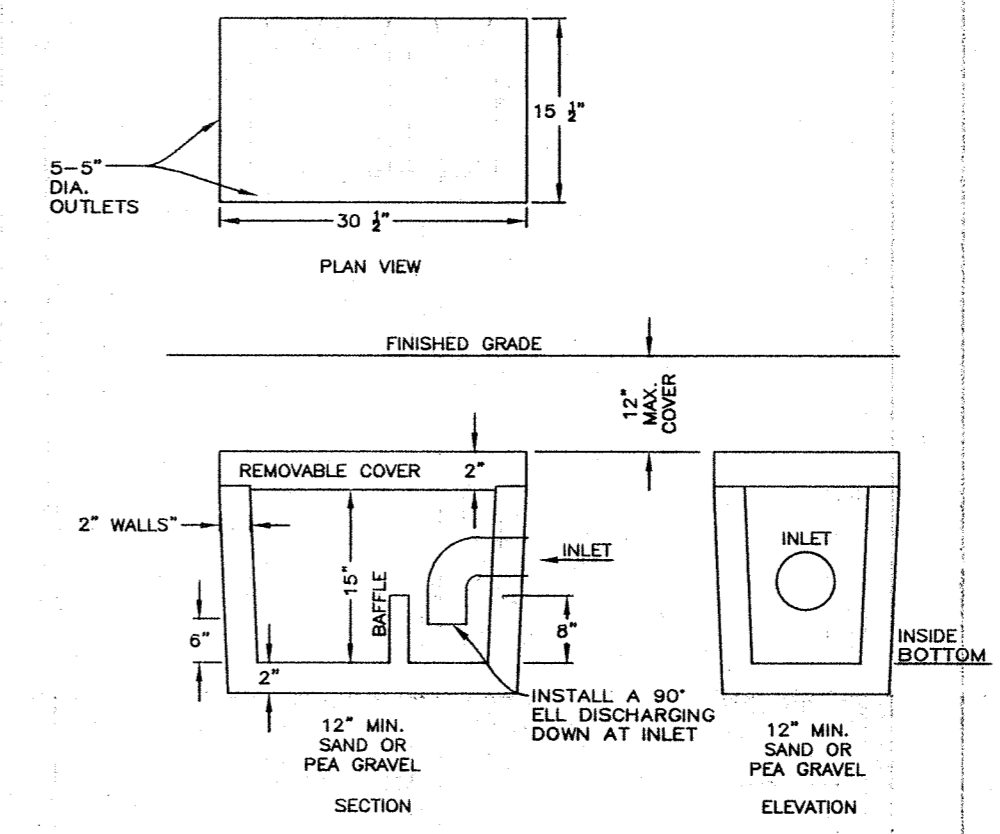
1500 GALLON PRECAST SEPTIC TANK
N.T.S.



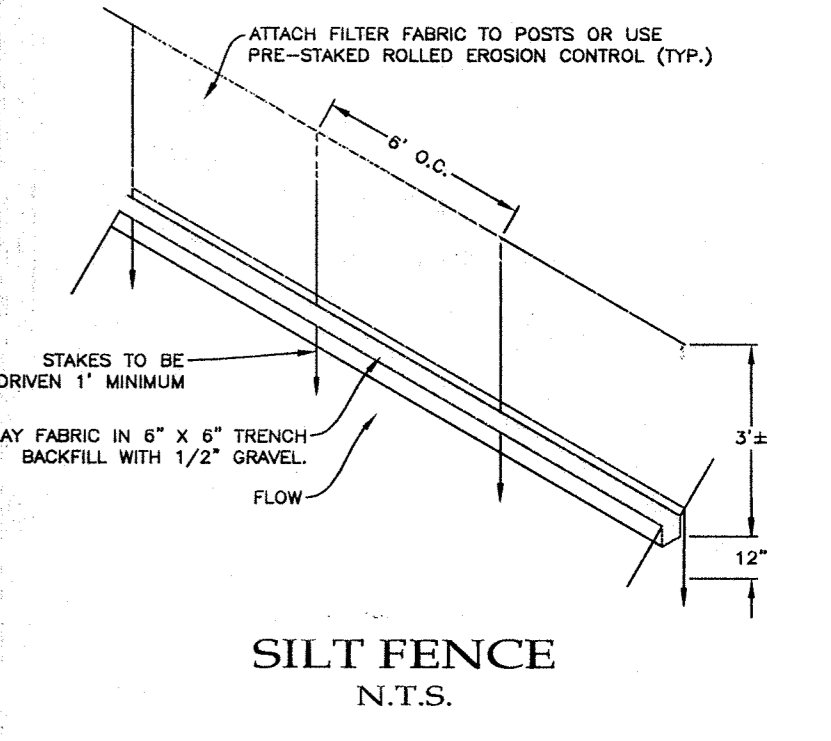
ABSORPTION TRENCH
N.T.S.



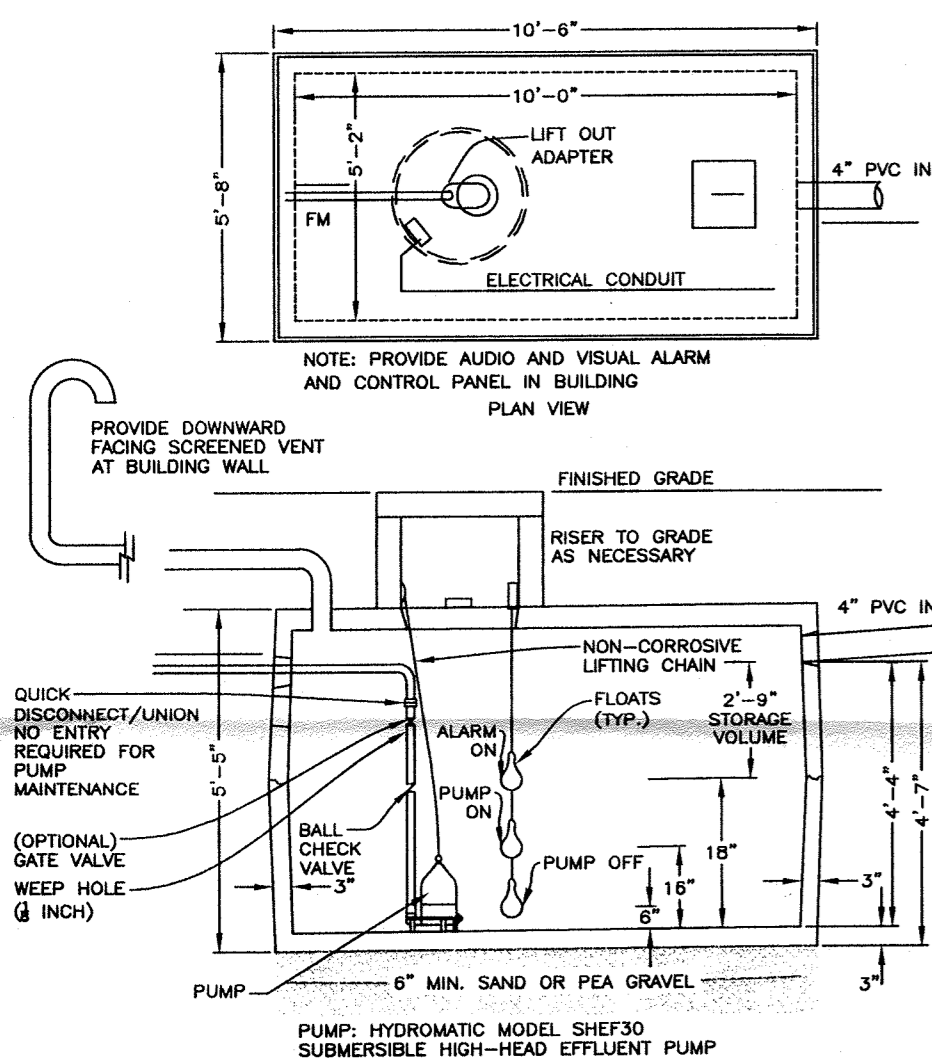
JUNCTION BOX
N.T.S.



DISTRIBUTION BOX (DB1 & DB2) WITH BAFFLE
N.T.S.



SILT FENCE
N.T.S.



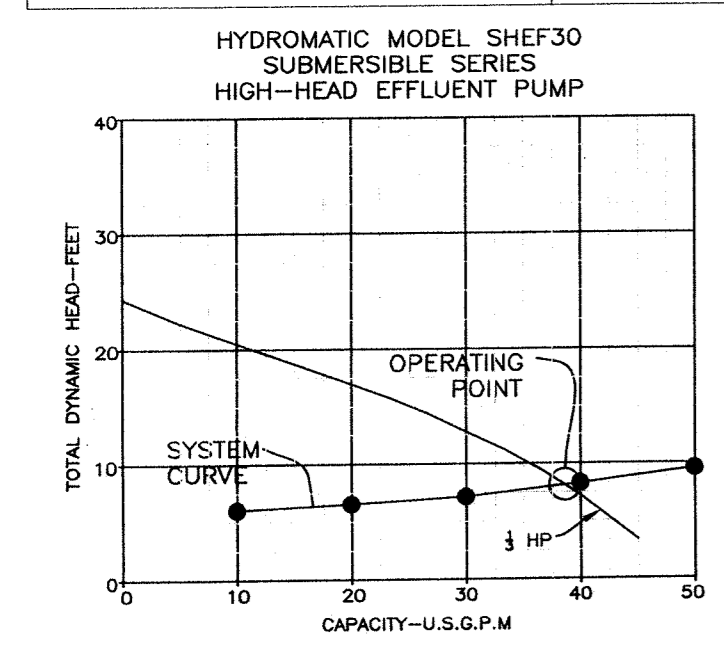
- NOTES:**
- ALL ELECTRICAL WORK AND MATERIAL FOR PUMP INSTALLATION SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE.
 - AN ELECTRICAL UNDERWRITER'S CERTIFICATE FOR THE PUMP CHAMBER MUST BE PROVIDED TO THE DEPARTMENT PRIOR TO THE DEPARTMENT ISSUING A CERTIFICATE OF CONSTRUCTION COMPLIANCE.
 - THE PUMP CONTROL PANEL AND ALARMS SHALL BE LOCATED INSIDE THE HOUSE.
 - THE FLOATS MAY NEED TO BE ADJUSTED BASED ON THE INSIDE DIMENSIONS OF THE TANK.

PUMP CALCULATIONS - SYSTEM CURVE

FLOW GPM	STATIC HEAD	DYNAMIC HEAD	TOTAL HEAD
10.00	6.03	0.16	6.19
20.00	6.03	0.61	6.64
30.00	6.03	1.33	7.36
40.00	6.03	2.33	8.36
50.00	6.03	3.59	9.62

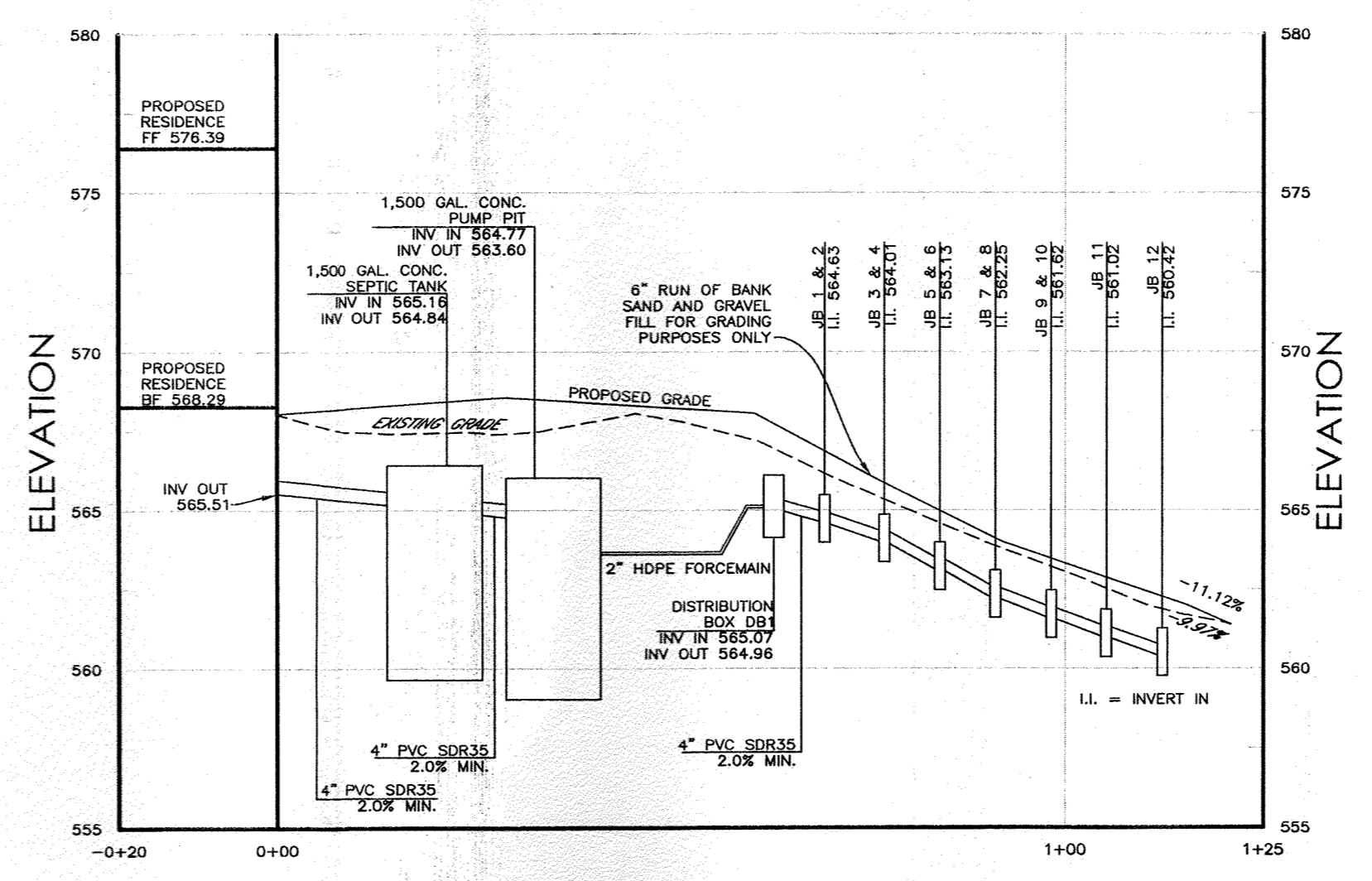
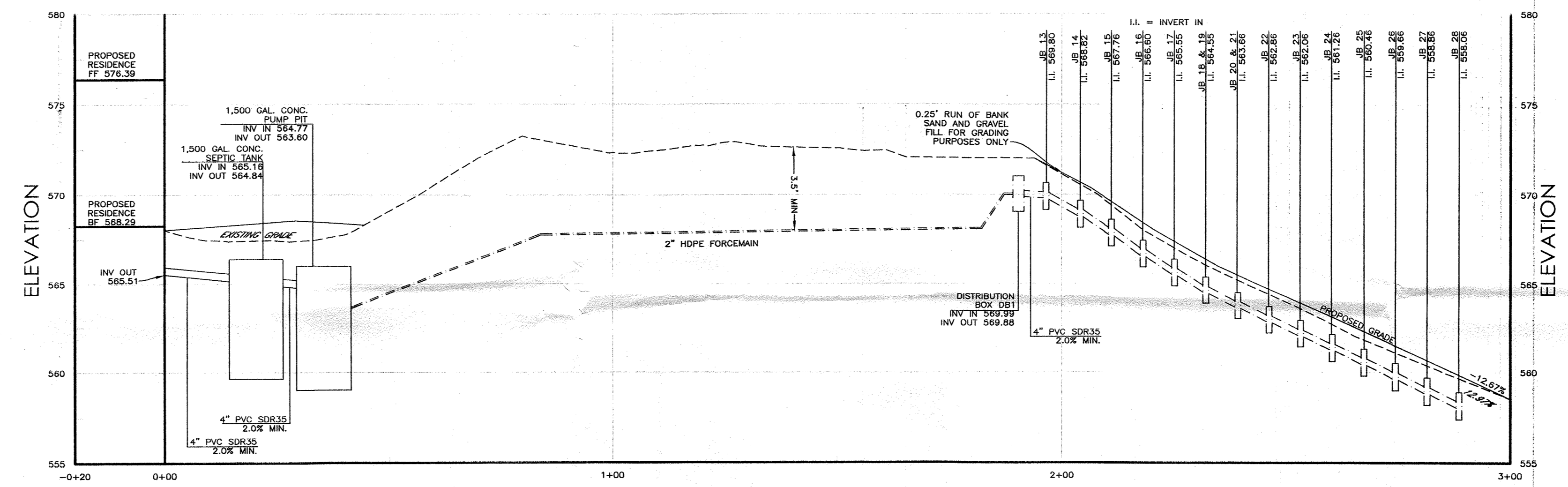
PUMP PIT CALCULATIONS

TANK (VOLUME)	DOSING	STORAGE (VOLUME)
$= (10.0 \times 5.17) \text{ CF/FT (CROSS SECTION)}$	$625 \text{ L.F.} \times (0.5 \text{ GALLONS/1 L.F. FIELDS})$	$(1500 \text{ GALLON TANK})$
$= (51.7) \text{ CF/FT} \times 7.48 \text{ GALLONS/CF}$	$= 312.5 \text{ GALLONS}$	$\text{HAVE } 33''(12''\text{FT}) \times 51.7 \text{ CF/FT}$
$= 386.7 \text{ GALLONS/FT}$	$(312.5 \text{ GALLONS}) / (386.7 \text{ GALLONS/FT})$	$= 142.18 \text{ CU. FT.}$
	$= .81 \text{ FEET USE } 10''$	$142.18 \text{ CU. FT.} \times 7.48 \text{ GAL./CU.FT}$
	$(\text{SET FLOATS OFF AT } 6'' \text{ ON AT } 16'')$	$= 1063 \text{ GALLONS}$



PUMP/SYSTEM CURVE CALCULATIONS

PUMP ELEVATION	559.04 FT.
HIGH POINT IN FORCEMAIN	565.07 FT.
FORCEMAIN DIAMETER	2 IN.
FORCEMAIN LENGTH	21 FT.
OPERATING POINT	40 GPM AT 8.36 FT. TOTAL DYNAMIC HEAD



PRIMARY SEPTIC PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 5'

INSTALLATION NOTES

- STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT ACCUMULATED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- WHEELS - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)
N.T.S.

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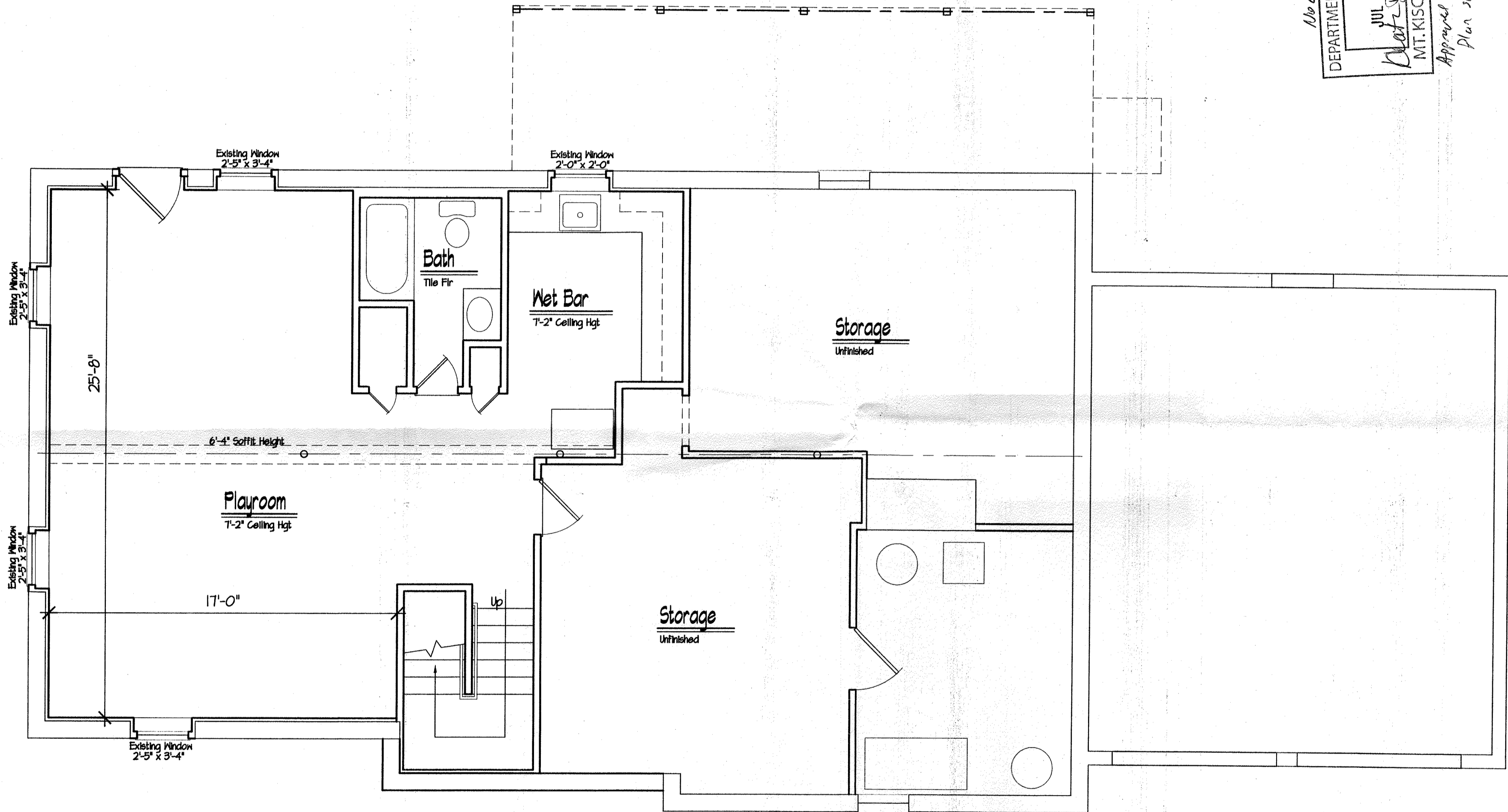
APPROVED FOR CONSTRUCTION
JUL 5 2021

SITE DATA

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 SITE ADDRESS: 6 TRIPP LANE, ARMONK, NEW YORK 10504
 TAX MAP #: 108.02-1-9
 LOT AREA: 2.397 ACRES
 ZONING: R-2A
 REVISED: JUNE 22, 2021

OWTS PLAN
MAY 24, 2021

PROJECT: **BUTLER RESIDENCE**
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK



Foundation Plan

DEC 2021-11
 DEPARTMENT OF HEALTH
 JUL 15 2021
 Approved for a Five (5) BR Residence
 Plan set of 3 sheets
 MT. KISCO D.O. BEQ

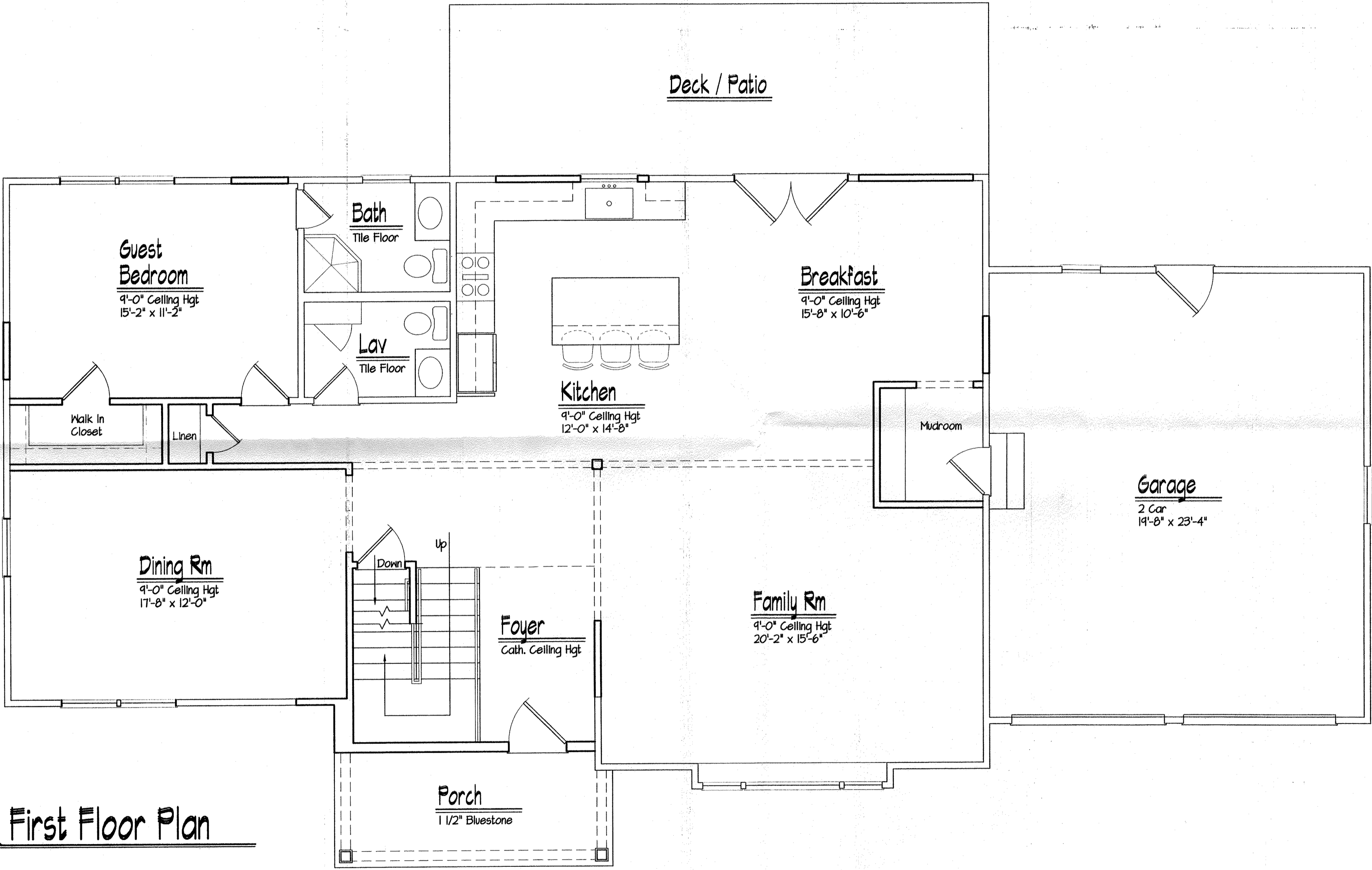
Preliminary
 Residence For

6 Tripp Lane
 Armonk, NY

Revision	Date
Date	May 14, 2021
Job No	221-013
Drawing	

2 OF 4

DeMasi Architects P.C.
 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
 PHONE: (914) 666-3056
 EMAIL: Lou@DemasiArchitects.com



First Floor Plan

DeMasi Architects P.C.

105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10541

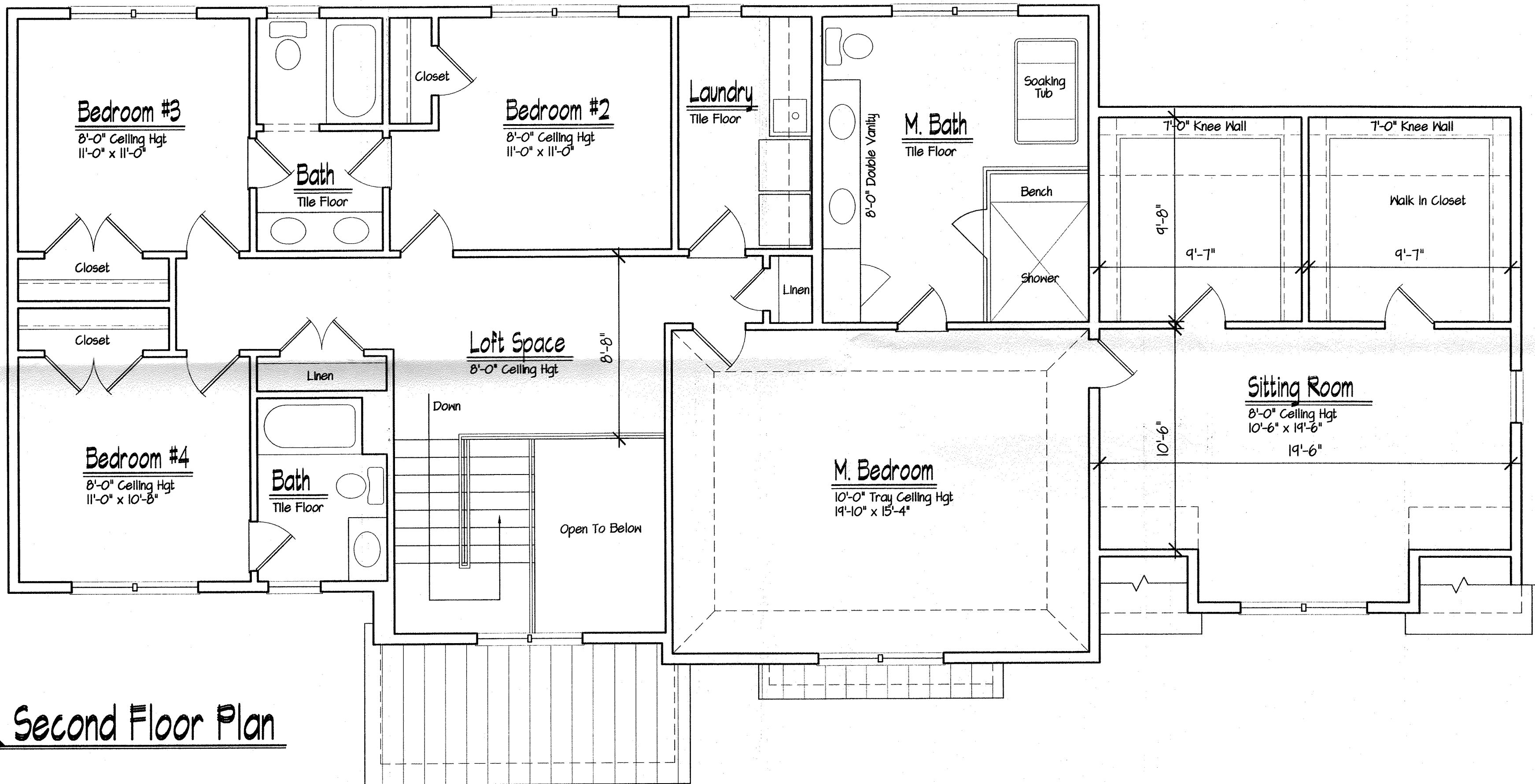
EMAIL: Lou@DemasiArchitects.com

PHONE: (914) 666-3858

Preliminary
Residence For

**6 Tripp Lane
Armonk, NY.**

Revision	Date
	May 14, 2021
Job No	221-013
Drawing	3 OF 4



Second Floor Plan

DeMasi Architects P.C.

105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549

PHONE: (914) 666-3858 EMAIL: Low@DemasiArchitects.com

Preliminary
Residence For

**6 Tripp Lane
Armonk, NY.**

Revision	Date
	May 14, 2021
Job No	221-013
Drawing	4 OF 4