



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43
Fax: (914) 273-3554
www.northcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One-Family Residence - New Construction	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One Family Residence - Teardown/Rebuild	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (less than 1,000 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (greater than or equal to 1,000 s.f.)	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (less than 150 s.f.)	\$0	\$100	\$100	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (greater than or equal to 150 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Pool/Hot Tub and associated Mechanical Equipment (includes associated deck, patio, walls, walkway, etc.)	\$800	\$400	\$1,200	

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Recreational Court (tennis, basketball, volleyball, etc.) and Associated Utilities	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Deck, porch, patio, pergola	\$200	\$100	\$300	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Walkway, piers, wall, gate	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Fence	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Mechanical Equipment (generator, fuel storage tank, etc.) and Associated Utilities	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Under 250 square feet	\$0	\$0	\$0	See § 355-26C(3). RPRC EXEMPT
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Over 250 square feet	\$400	\$200	\$600	

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Solar Panels	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Stormwater Practice/Drainage Facilities	\$400	\$200	\$600	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	For proposed actions not listed above	\$150	\$75	\$225	per 1,000 s.f. of disturbance or fraction thereof

1. In the event the RPRC determines that Planning Board approval is required, any RPRC Review Fees already paid by the applicant shall be applied towards the escrow review account to be established by the Planning Board.
2. In the event the RPRC determines that an Administrative Wetland Permit is required, an Administrative Wetland Permit application shall be filed with the appropriate fee, as indicated in the Administrative Wetland Permit Fee Schedule.



RPRC

Adam R. Kaufman, Chairman

TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
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Telephone: (914) 273-3542

Fax: (914) 273-3554

www.northcastleny.com

**RESIDENTIAL PROJECT REVIEW COMMITTEE
RPRC 2021**

MEETING DATES - 9:30 .a.m.

January 5
January 19
February 2
February 16

March 2
March 16
April 6
April 20

May 4
May 18
June 1
June 15

July 6
July 20
August 3
August 17

September 7
September 21
October 5
October 19

November 2
November 16
December 7
December 21

**1 PDF ELECTRONIC SUBMISSION
DEADLINE By 12:00 p.m.**

December 15, 2020
January 5, 2021
January 19
February 2

February 16
March 2
March 16
April 6

April 20
May 4
May 18
June 1

June 15
July 6
July 20
August 3

August 17
September 7
September 21
October 5

October 19
November 2
November 16
December 7

Submissions shall be made with 1 PDF electronically to planning@northcastleny.com

Please do not submit hard copy of submission

ALL DEADLINES ARE STRICTLY ENFORCED BY ORDER OF THE CHAIRMAN



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RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 11 Sterling Road South

Section III- DESCRIPTION OF WORK:

To add an accessory 2-car garage.

Section III- CONTACT INFORMATION:

APPLICANT: Michael Ventrino

ADDRESS: 11 Sterling Road South Armonk, NY

PHONE: _____ MOBILE: _____ EMAIL: Michaelv@samsonmanagement.com

PROPERTY OWNER: Same as Applicant

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: Joseph R. Crocco Architects

ADDRESS: 4 MacDonald Ave. Suite 5 Armonk, NY 10504

PHONE: 914-273-2774 MOBILE: _____

EMAIL: Chris@jrcarchitects.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 108.04-1-6



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

SEE PLANS BY HOLT ENGINEERING

Application Name or Identifying Title: _____ Date: _____

Tax Map Designation or Proposed Lot No.: _____

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): _____
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): _____
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
_____ x 10 = _____
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 _____
5. Amount of lot area covered by **principal building**:
_____ existing + _____ proposed = _____
6. Amount of lot area covered by **accessory buildings**:
_____ existing + _____ proposed = _____
7. Amount of lot area covered by **decks**:
_____ existing + _____ proposed = _____
8. Amount of lot area covered by **porches**:
_____ existing + _____ proposed = _____
9. Amount of lot area covered by **driveway, parking areas and walkways**:
_____ existing + _____ proposed = _____
10. Amount of lot area covered by **terraces**:
_____ existing + _____ proposed = _____
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
_____ existing + _____ proposed = _____
12. Amount of lot area covered by **all other structures**:
_____ existing + _____ proposed = _____
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = _____

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

Date



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WESTCHESTER COUNTY
17 Bedford Road
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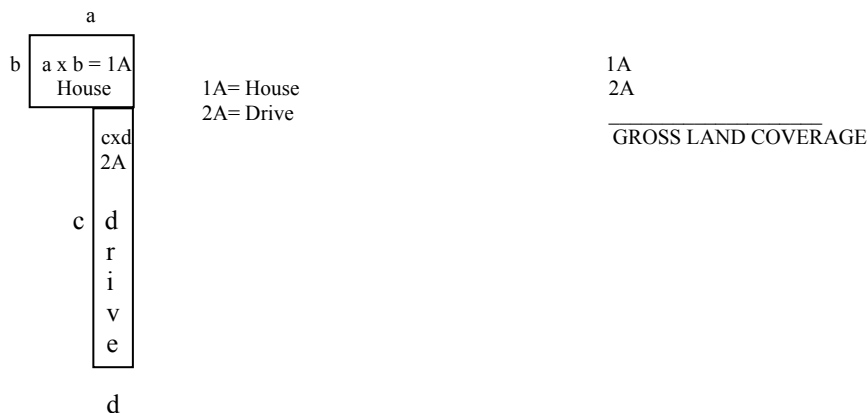
PLANNING DEPARTMENT
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GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
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PLANNING DEPARTMENT
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Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 11 Sterling Road South Date: 08.05.21
Tax Map Designation or Proposed Lot No.: 108.04-1-6

Floor Area

1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>92165.02</u>
2.	Maximum permitted floor area (per Section 355-26.B(4)):	<u>10323.8</u>
3.	Amount of floor area contained within first floor: — <u>2872</u> existing + <u>0</u> proposed = —	<u>2872</u>
4.	Amount of floor area contained within second floor: — <u>3755</u> existing + <u>0</u> proposed = —	<u>3755</u>
5.	Amount of floor area contained within garage: — <u>883</u> existing + <u>0</u> proposed = —	<u>883</u>
6.	Amount of floor area contained within porches capable of being enclosed: — <u>372</u> existing + <u>0</u> proposed = —	<u>372</u>
7.	Amount of floor area contained within basement (if applicable – see definition): — <u>0</u> existing + <u>0</u> proposed = —	<u>0</u>
8.	Amount of floor area contained within attic (if applicable – see definition): — <u>0</u> existing + <u>0</u> proposed = —	<u>0</u>
9.	Amount of floor area contained within all accessory buildings: — _____ existing + <u>780</u> proposed = —	<u>780</u>
10.	Proposed floor area : Total of Lines 3 – 9 = —	<u>8662</u>

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

Date



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WESTCHESTER COUNTY
17 Bedford Road
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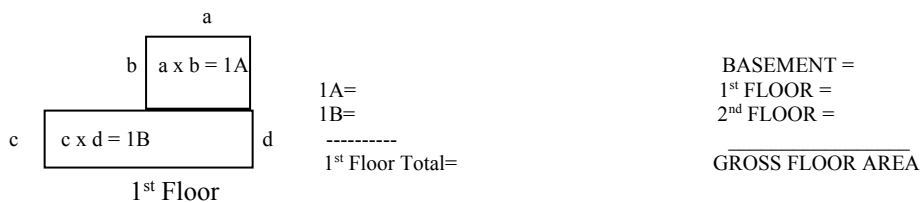
PLANNING DEPARTMENT
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GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings ¹ (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.



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PLANNING DEPARTMENT
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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: MICHAEL VENTORINO Date: 3/22/21

Tax Map Designation or Proposed Lot No.: 108.04-1-6

Gross Lot Coverage

- | | | |
|-----|---|------------------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>92,165.02[±]</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(a)): | <u>13,648[±]</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback
<u>69.4</u> x 10 = | <u>694[±]</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>14,342[±]</u> |
| 5. | Amount of lot area covered by principal building:
<u>3755</u> existing + <u>0</u> proposed = | <u>3755</u> |
| 6. | Amount of lot area covered by accessory buildings:
<u>0</u> existing + <u>796</u> proposed = | <u>796</u> |
| 7. | Amount of lot area covered by decks:
<u>320</u> existing + <u>0</u> proposed = | <u>320</u> |
| 8. | Amount of lot area covered by porches:
<u>355</u> existing + <u>0</u> proposed = | <u>355</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways:
<u>5390</u> existing + <u>0</u> proposed = | <u>5390</u> |
| 10. | Amount of lot area covered by terraces & PATIOS
<u>2740</u> existing + <u>0</u> proposed = | <u>2740</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:
<u>830</u> existing + <u>0</u> proposed = | <u>830</u> |
| 12. | Amount of lot area covered by all other structures:
<u>0</u> existing + <u>796</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage: Total of Lines 5 – 12 = | <u>14,186</u> |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



3/24/21
Date

PROPOSED ACCESSORY GARAGE:

AT: 11 STERLING ROAD SOUTH ARMONK, NY

GENERAL NOTES

All work shall comply with the strictest requirements of the International Building Code and all applicable codes whether specifically stated or not.

All work shall conform with the strictest interpretation of State and Local codes, laws, rules and regulations of all authorities having jurisdiction over the project, whether specifically shown, or not.

Where the contract, construction notes or drawings call for any work of a more stringent nature than that required by code or any other department having jurisdiction over the work, the work of the more stringent nature called for by the contract, construction notes or drawings shall be furnished.

The Contractor shall visit the site prior to submitting a bid. The Contractor will be responsible for the verification of all dimensions and conditions. All discrepancies shall be brought to the attention of the Architect before proceeding.

All drawings and notes are complementary, and what is called for by either will be binding as if called for by all. Any work shown or referred to on any one set of drawings shall be provided as though shown on all related drawings.

The drawings are not to be scaled at any time. Only written dimensions and notes are to be used. All dimensions are given to finishes. All dimensional discrepancies shall be immediately brought to the attention of the Architect. All dimensions shall be verified before starting work by the respective Contractor, who shall be held responsible for his phase of the work.

All "Plus-Minus" dimensions are provided in situations where existing conditions exist. Such dimensions shall be verified in the field by the Contractor.

All work listed on the construction notes sheets and shown or implied on all drawings shall be supplied and installed by the Contractor, unless otherwise noted. The Contractor shall notify the Architect in writing immediately if he cannot comply with all notes contained within the Contract Documents.

The Contractor shall notify the Architect in writing immediately of any discrepancies between the drawings, the notes and field conditions before commencing any work to request clarification.

The Contractor shall be responsible for all damage to existing property as a result of his work, his workmanship and subcontractors. The Contractor shall provide adequate protection for his work, and shall be responsible for the same. The Contractor shall restore to original condition and existing element damaged as a result of his work.

Where a product is specified by a particular manufacturer, the Contractor shall furnish and install the product in accordance with the strictest specifications set forth by the manufacturer's best standards.

The General Conditions of the contract for construction of Buildings, the Standard Form of the American Institute of Architects (AIA), latest edition of Form A-201, inclusive as it pertains to this project, are part of these Contract Documents.

Work included in this contract shall be all labor, material and equipment required to complete the proposed construction as shown or implied in the Contract Documents. Work included in this contract shall be according to the true intent of these drawings and shall be first class in all respects.

The Contractor is responsible for dimensions to be confirmed and correlated at the job site and for information that pertains to the fabrication process, and/or techniques for construction and coordination of the work of all trades.

The Architect shall be the sole judge as to the adequacy of any work performed. The Architect shall have the right to order the removal of defective work and material, and its replacement without any additional cost to the Owner.

All work to comply with governing State and Local Building Codes.

All plumbing to comply with governing State and Local Plumbing Codes.

All Electrical work to comply with governing National and Local Electrical Codes. The Contractor shall assume full responsibility for the confirmation of actual field dimensions as they pertain to the fabrication and installation of any materials and/or equipment requiring such.

The General Contractor shall exercise strict control over job cleaning to prevent any debris, dirt or dust from leaving the job site and adjacent finished areas.

The Contractor shall properly protect all adjoining property or work or work and any damage to the same caused by his work or workmen must be made good without delay. Patching and and replacing or damaged work shall be done by the Contractor who is responsible for the damage.

The Contractor shall provide all necessary protection for his work until it is turned over to the Owner.

The Construction Drawings and/or notes are supplied to illustrate the design and general type of construction desired and are intended to imply the finest quality construction materials and workmanship throughout.

The Contractor, upon acceptance of these drawings, assumes full responsibility for the construction, materials and workmanship of the work described in these notes and drawings, and he will be expected to comply with the spirit, as well as with the letter in which they were written and drawn.

Controlled tests required by those having jurisdiction over the project shall be executed and paid for by the Contractor.

Construction

All footings shall be placed on undisturbed soil, or controlled fill with a minimum bearing capacity of two (2) tons per square foot. The bottom of footings shall be a minimum of 3'-6" below finished grade. All footings shall be sized as indicated in the documents.

Prior to backfilling, the Contractor shall waterproof all foundation walls below grade. Backfill only after framing is in place.

All concrete slabs shall be placed over a 6 mil. visqueen vapor barrier and 4" compacted gravel. Reinforce all concrete slabs with 6x6-10/10 W.W.F.

All concrete shall be air-entrained and have a minimum strength of 3000 p.s.i. after 21 days.

All sill plates resting on any concrete slabs or foundation walls shall be pressure treated and shall be placed upon a fiberglass sill sealer.

Anchor bolts to be high strength, 3/8" x 16" with 1/2" hook end. Embed a minimum of 12" into concrete.

All wood framing members shall be select structural grade Douglas Fir in accordance with the latest edition of A.I.T.C. Design specifications for stress grade lumber. Minimum E=14000000; F=1400.

All landings to be in accordance with RCNY'S R311.5.4 for stairways and R311.4.3 for exterior doors.

Unless otherwise specified in these documents, all openings in wall shall receive 2021/2 wood headers. This includes, but is not limited to, all doors and windows.

All walls and ceilings shall receive 1/2" thick, tapered edge gypsum wall board except Bathrooms, which shall receive 1/2" thick moisture resistant wall board and/or 1/2" thick "Wunderboard", in accordance with finishes selected by the Owner. Such variations shall be coordinated by the Contractor with the Owner.

All interior surfaces shall be taped three (3) times and sanded smooth for paint.

All windows, doors and transition spaces (i.e. openings without doors) shall receive a paint grade colonial wood trim as selected by the Owner, and approved by the Architect.

All interior wood trim shall receive 1 coat of latex primer and 2 coats of latex semi-gloss flat finish trim paint. Colors as manufactured by Benjamin Moore, or approved equal.

All exterior wood shall be painted. All surfaces shall receive 1 coat of exterior oil primer, and 2 coats of exterior oil house or trim paint. All surfaces shall receive a "White" finish. Paint as manufactured by Benjamin Moore, or approved equal.

All existing exterior wood trim shall be painted. All surfaces shall receive 1 coat of exterior oil primer, and 2 coats of exterior oil house or trim paint. All surfaces shall receive a "White" finish. Paint as manufactured by Benjamin Moore, or approved equal.

Windows shall be as manufactured by "Andersen Windows". Units as specified in the drawings. All new units shall be ordered with the appropriate grilles (as demonstrated in the drawings), insect screens, extension jambs and standard hardware.

In accordance with the New York State Code, all habitable spaces shall have a secondary opening for emergency egress use. The opening shall have a minimum clear opening area of not less than five seven (57) square feet, with no less than an twenty (20) inch width clear opening. The bottom of the required openings shall be no higher than 3'-6" above the finished floor in all above grade stories.

All glazing on doors, fixed side panels adjoining doors, interior partitions, and where glazing extends to 18" or less of a floor level shall be tempered safety glass, and shall have window guards, if the unit is operable.

New skylight roofing shall match the existing in color in size. Contractor to submit sample to the Owner for their approval.

Insulation as manufactured by Owens Corning. Thickness as specified in drawings.

Unless otherwise noted, all dimensions for partitions are from finish material-to-finish material.

All flashing shall be aluminum or copper, unless specified otherwise.

The new construction depicted in these plans and specifications comply with the minimum standards of the New York State Energy Conservation Code.

JOSEPH R. CROCCO - ARCHITECT

Ceiling/Floor Draftstopping
Dropped ceilings below wood joists or attached directly to wood floor framing shall be draftstopping with 1/2" drywall or 3/8" plywood at 1000 sq.ft. intervals and parallel to framing members.

Fireslopping
Fireslopping consisting of 2" lumber, minimum 23/32" structural panel or approved non-combustible materials shall be provided at the ceiling line in concealed spaces of stud walls/partitions, including furled or studded-off spaces of concrete foundation walls and at soffits, dropped ceilings and similar spaces.

Smoke Detectors
AC powered, UL listed smoke detectors with battery backup shall be placed throughout the dwelling unit. All detectors within the dwelling shall be interconnected and hard wired so that the activation of any alarm will sound all alarms throughout the house.
Exception: Detector locations in existing areas shall not be required to be interconnected and hard wired where the alterations or repairs do not result in the removal of interior wall or ceiling finishes exposing the structure, unless there is an attic, crawl space, or basement available which could provide access for hard wiring and interconnection without the removal of interior finishes.

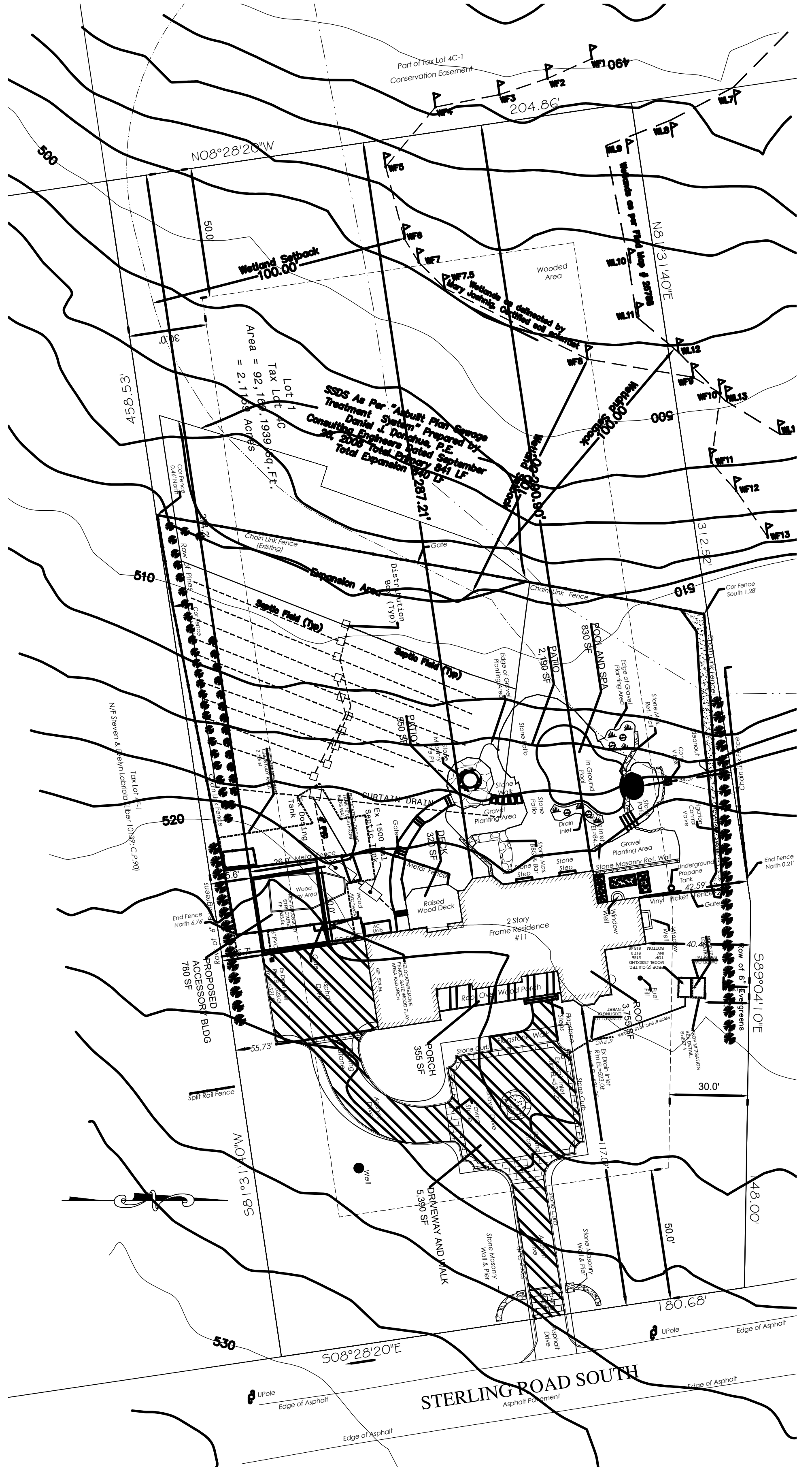
Smoke detectors shall be placed in the following locations:
Floor levels with bedrooms: A smoke detector is required in each bedroom and one centrally located detector is required outside of a group of bedrooms in the hall way.
Floor level without bedrooms: A smoke detector is required adjacent to the stair.

Carbon Monoxide Detectors
A carbon monoxide alarm shall be installed in each of the following locations:
Within 10 ft. of any bedroom and shall have a digital readout.
When more than one carbon monoxide alarm is required to be installed within an individual dwelling unit, the alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all sleeping areas over background noise levels with all intervening doors closed. (Exception: Interconnection is not required where carbon monoxide alarms are permitted to be battery operated in accordance with section RR313.4.2.)
All carbon monoxide alarms shall be listed and labeled as complying with UL 2034 or CAN/CSA 6.19, and shall be installed in accordance with the manufacturer's installation instructions and New York State Code.

CODE INFORMATION		
TYPE	APPLICABLE CODES	
ARCHITECTURAL	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE	
MECHANICAL	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE	
PLUMBING	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE	
FIRE PROTECTION	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE	
ELECTRICAL	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE	
ENERGY	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE	
CATEGORY	REQUIREMENT	REFERENCE
CLASSIFICATION OF WORK	NEW CONSTRUCTION	SECTION 405
OCCUPANCY CLASSIFICATION	GROUP R-3-SINGLE FAMILY	SECTION 310
CONSTRUCTION CLASSIFICATION	TYPE 5B - WOOD FRAME	SECTION 601

ZONING CHART			
SECTION 136.46 BLOCK 1, LOT 2			
ZONE: R-1	REQUIRED:	EXISTING:	PROPOSED:
LOT 50 FT.	2 ACRES	2154 ACRES	NO CHANGE
SETBACKS:			
ONE SIDE YARD:	15 FT		15.6 FT
REAR YARD:	15 FT		214.2 FT
BUILDING HEIGHT:	15 FT		14'-4-1/2"

SYMBOLS LEGEND	
	EXTERIOR WALL: NEW 2x6 WOOD STUDS @ 16" OC.
	NEW DOOR: NUMBER INDICATES WIDTH & HEIGHT



1 SITE PLAN
A-0 SCALE: 1/4"=1'-0"

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	
			WEATHERING	FROST LINE DEPTH	TERMITE				
30 PSF	120	C	SEVERE	3'-6"	MODERATE TO HEAVY	MODERATE TO SEVERE	7'	YES	NO

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FOR CLIENT REVIEW	12.02.20
FOR CLIENT REVIEW	05.24.20
REVISION	DATE



Joseph R. Crocco architects
new york connecticut new jersey massachusetts
4 macedonald avenue, suite 5
armonk, new york 10504
(914) 273-2774 fax (914) 273-2776

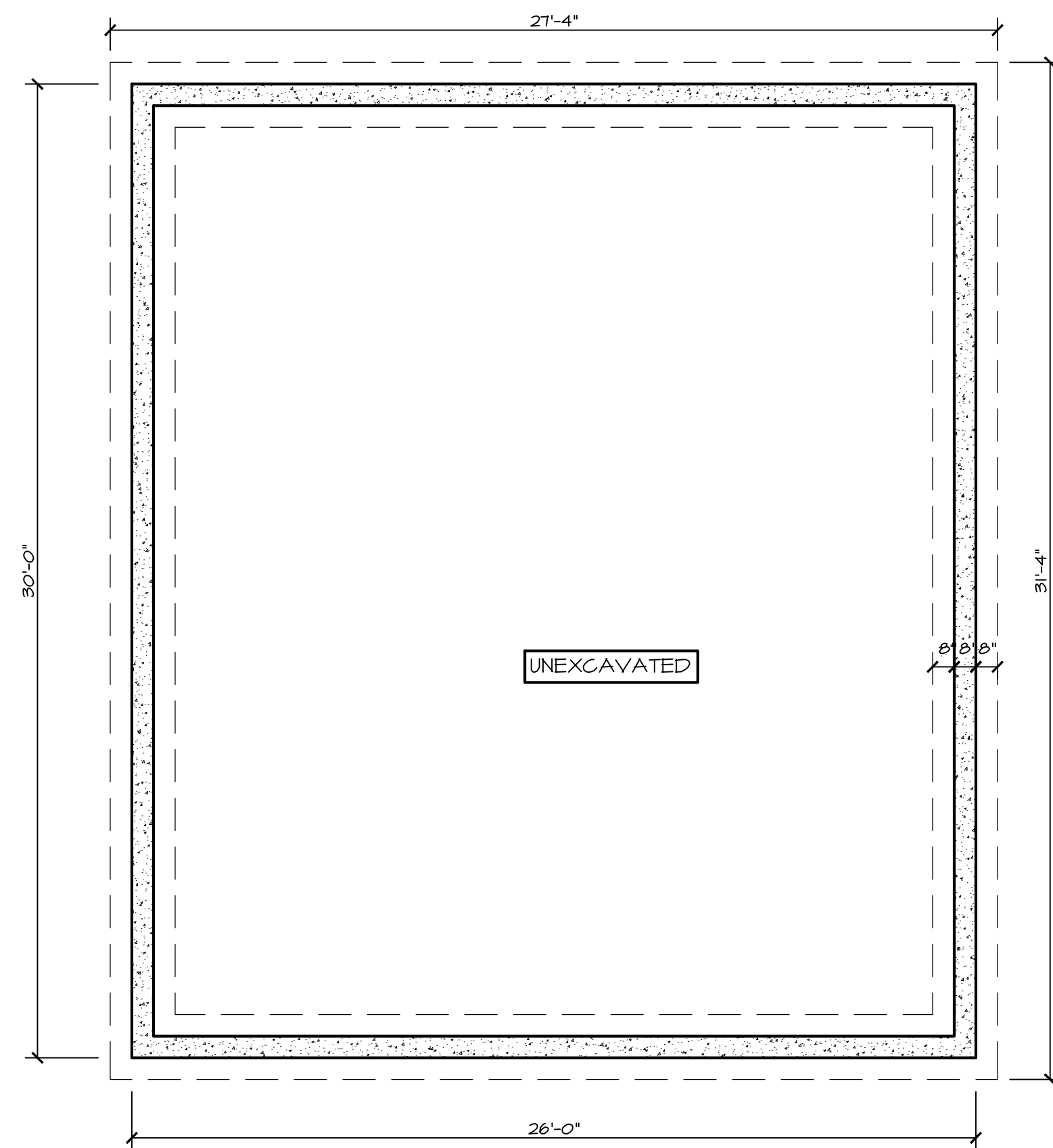
PROPOSED GARAGE FOR:
11 STERLING ROAD SOUTH
ARMONK, NY

Dwg. Name:
TITLE SHEET & SITE PLAN

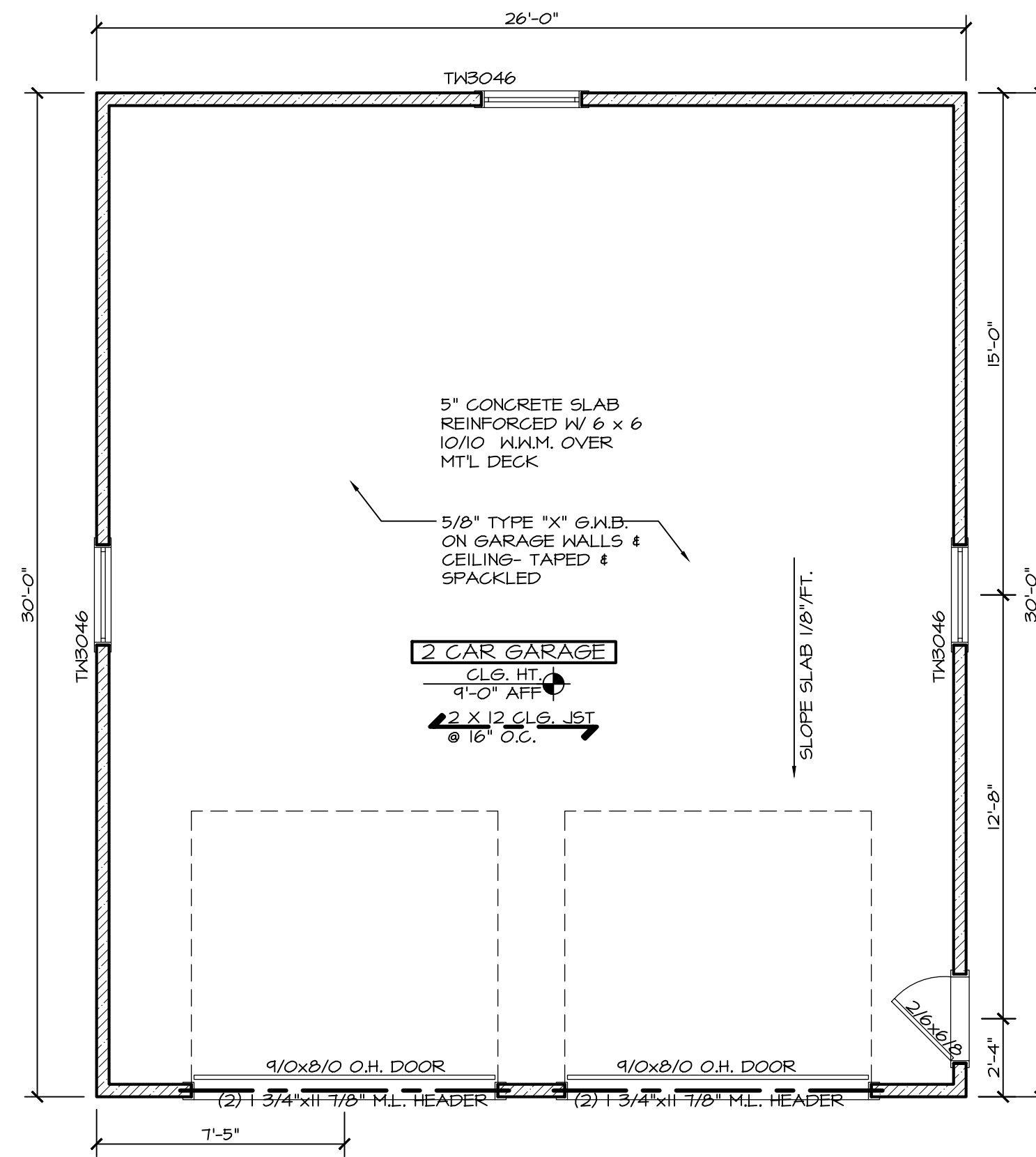
Project No:
20029

Date:
AUG. 16, 2020

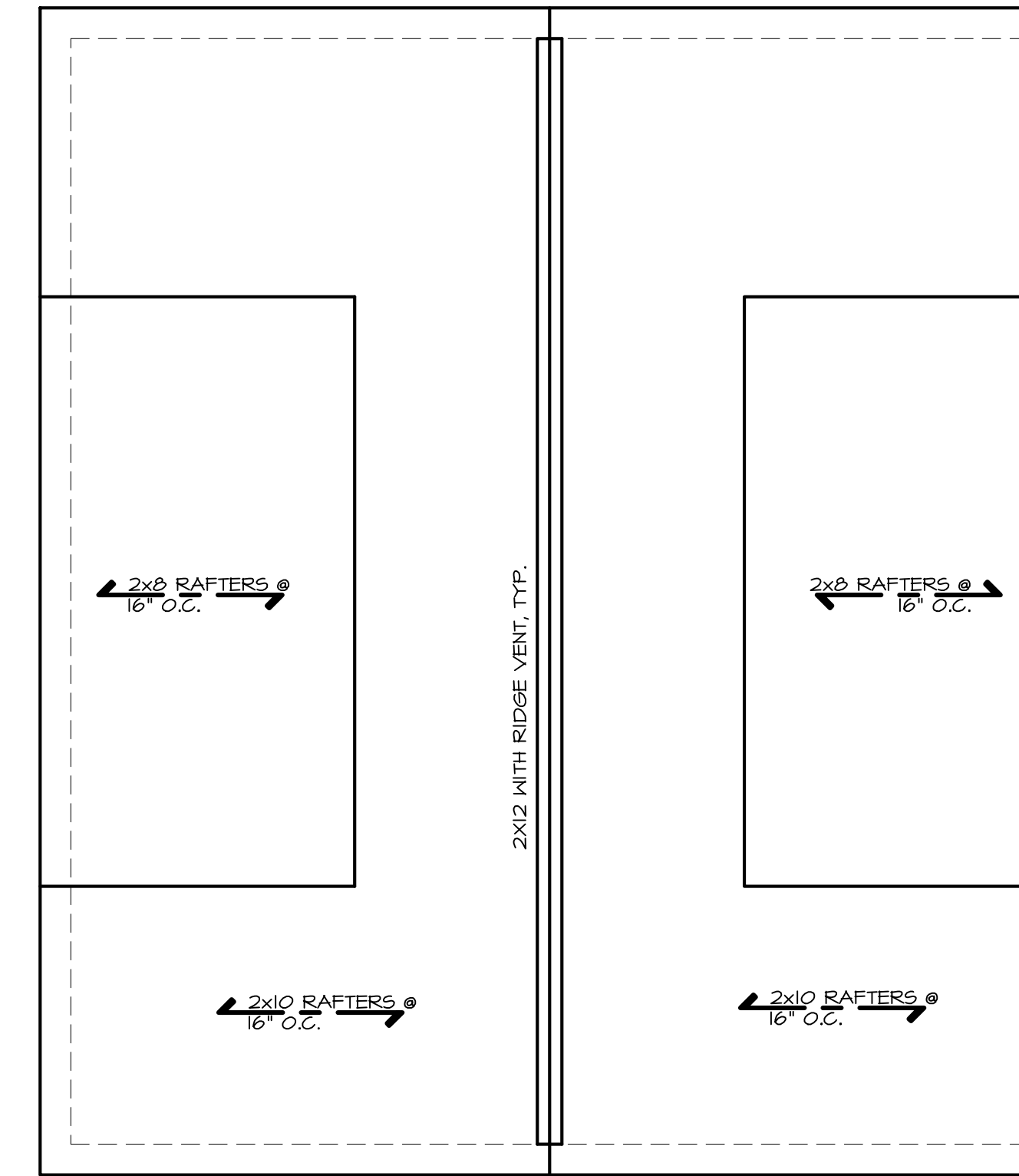
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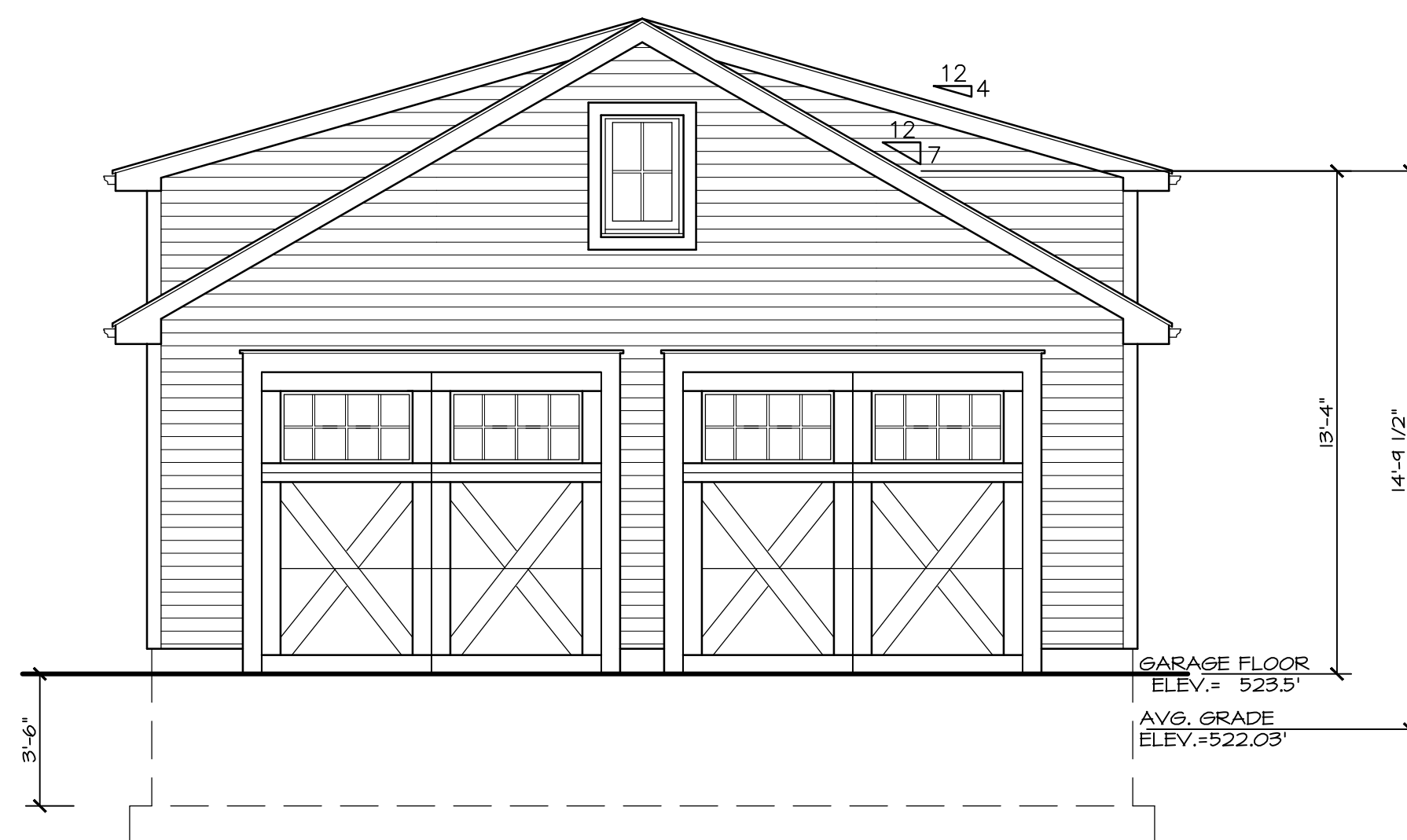
1 PROPOSED FOUNDATION PLAN
A-1 SCALE: 1/4"=1'-0"



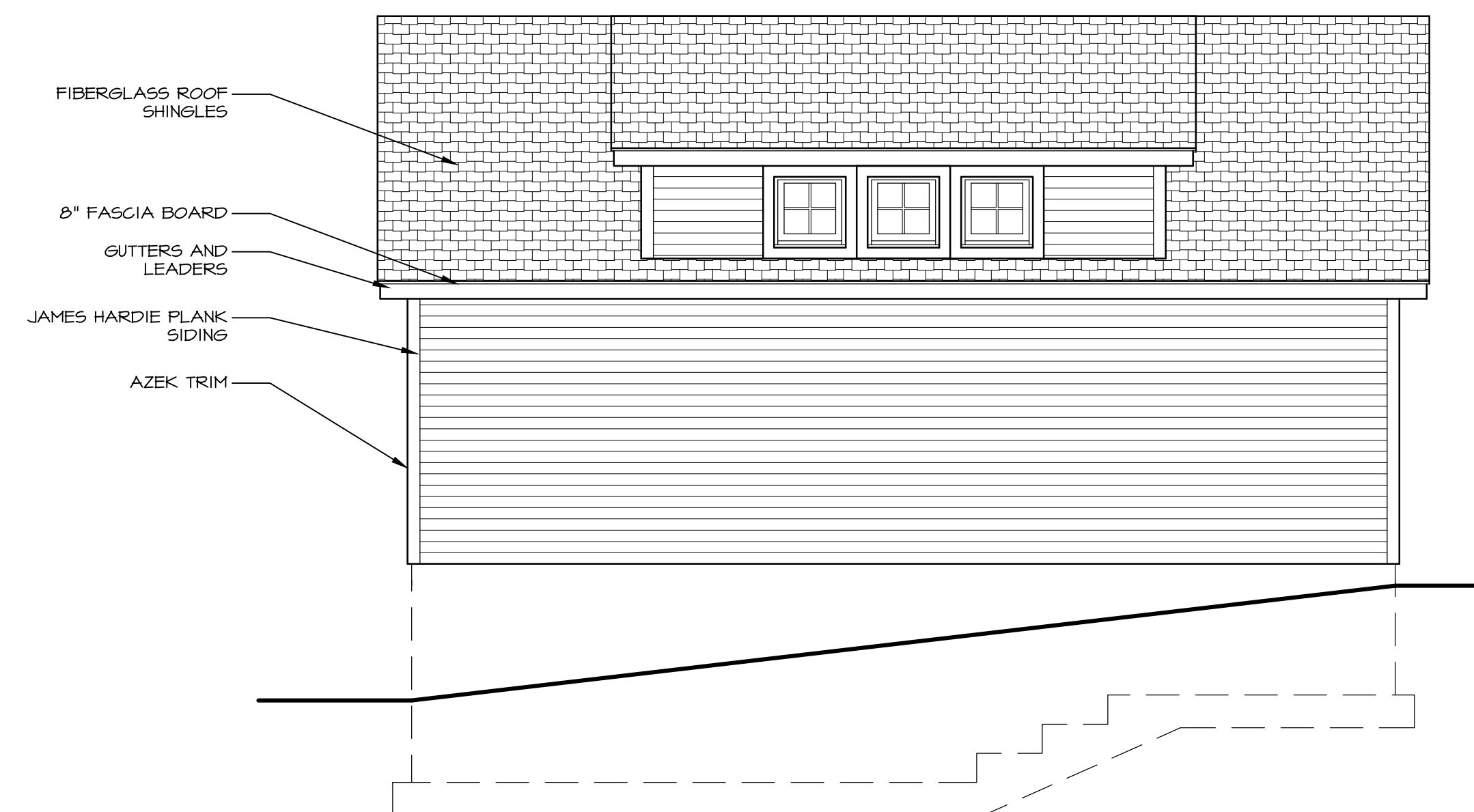
2 PROPOSED FLOOR PLAN
A-1 SCALE: 1/4"=1'-0"



3 PROPOSED ROOF PLAN
A-1 SCALE: 1/4"=1'-0"



4 PROPOSED FRONT ELEVATION
A-1 SCALE: 1/4"=1'-0"



5 PROPOSED LEFT SIDE ELEVATION
A-1 SCALE: 1/4"=1'-0"

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FOR CLIENT REVIEW	12.02.20
FOR CLIENT REVIEW	05.24.20
REVISION	DATE



Joseph R. Crocco architects
 new jersey massachusetts
 4 macedonald avenue, suite 5
 armonk, new york 10504
 (914) 273-2774 fax (914) 273-2776

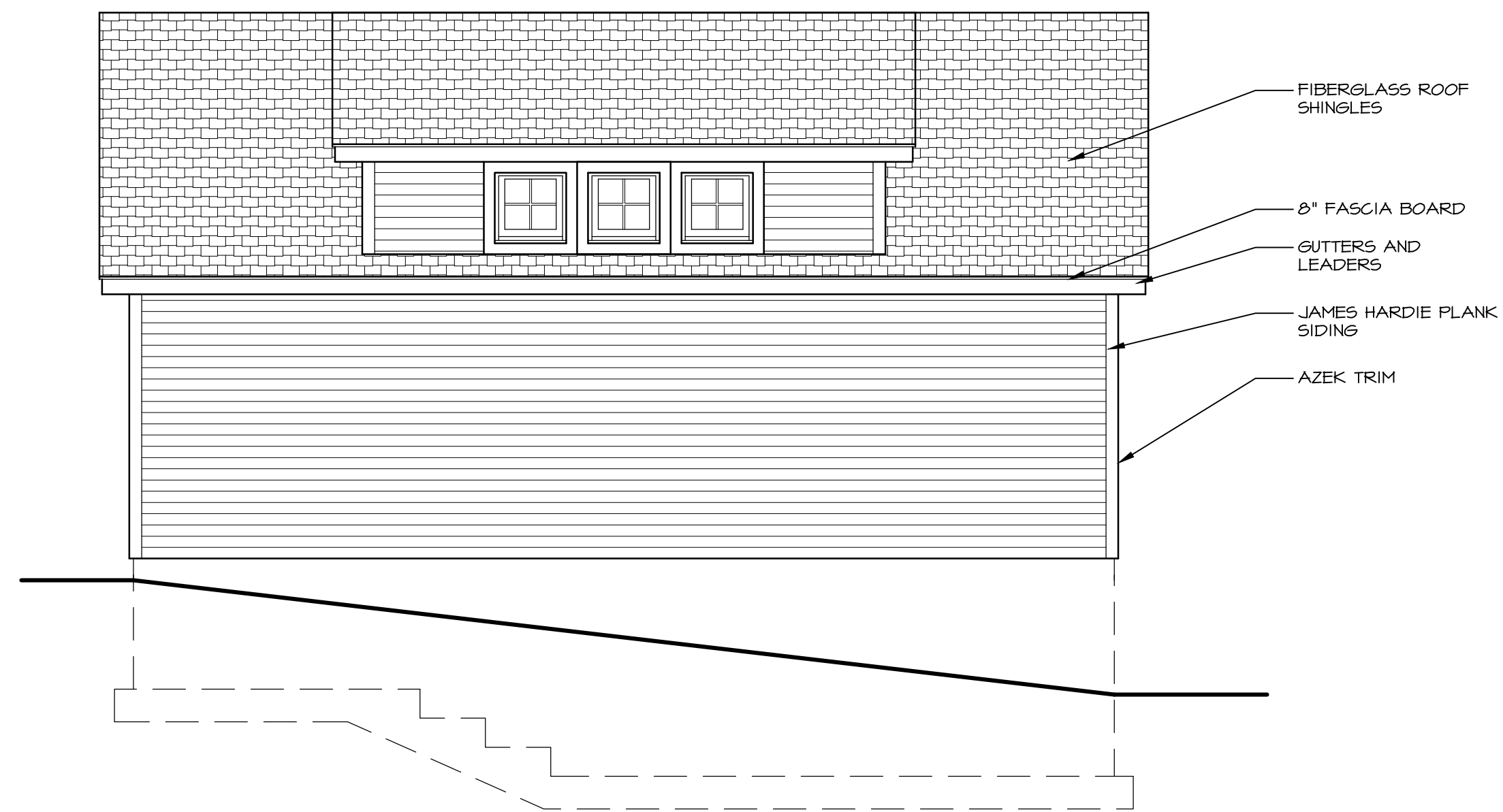
PROPOSED GARAGE FOR:
 11 STERLING ROAD SOUTH
 ARMONK, NY

Dwg. Name:
CONSTRUCTION PLANS & ELEVATIONS

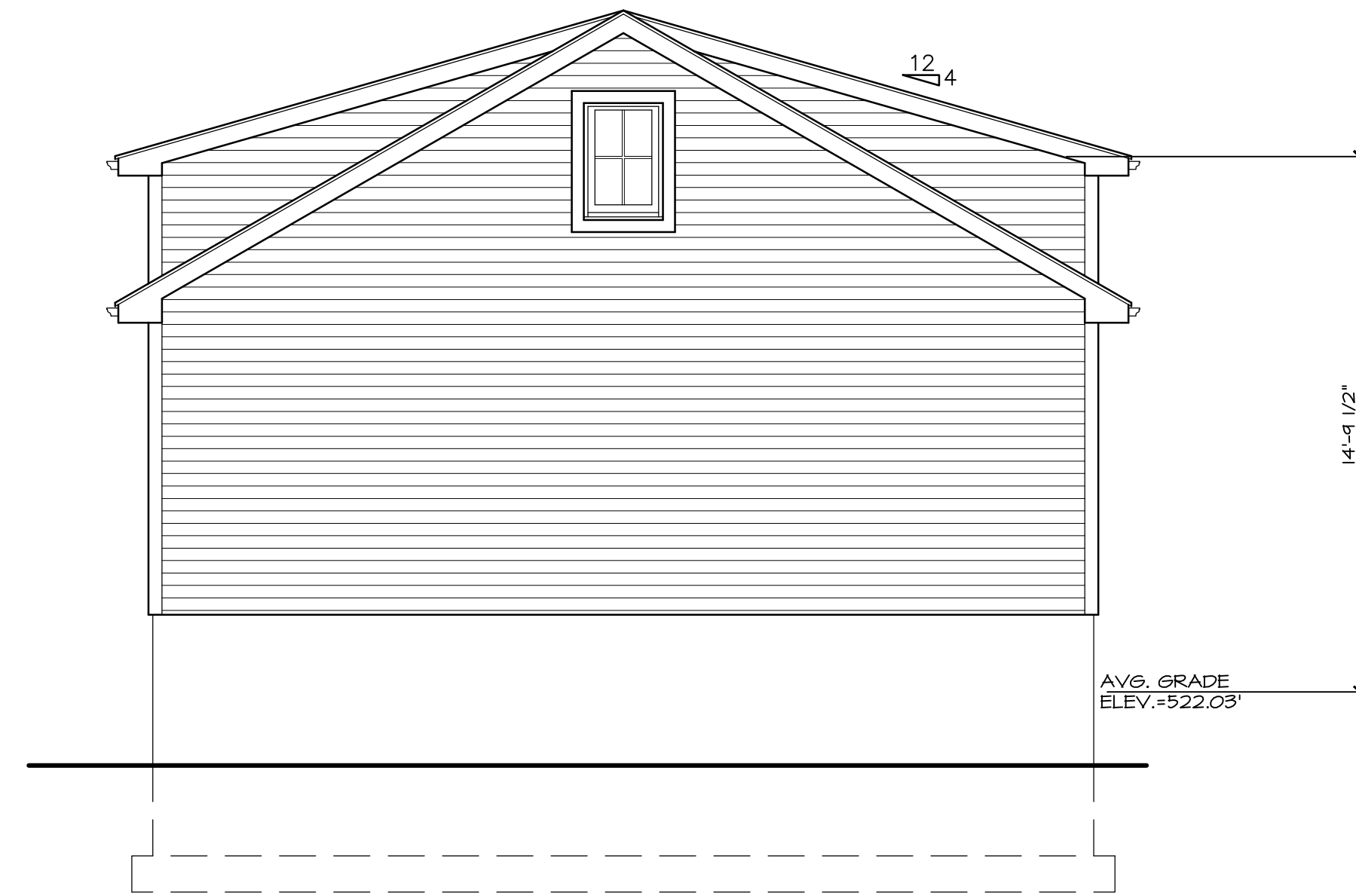
Project No:
 20029

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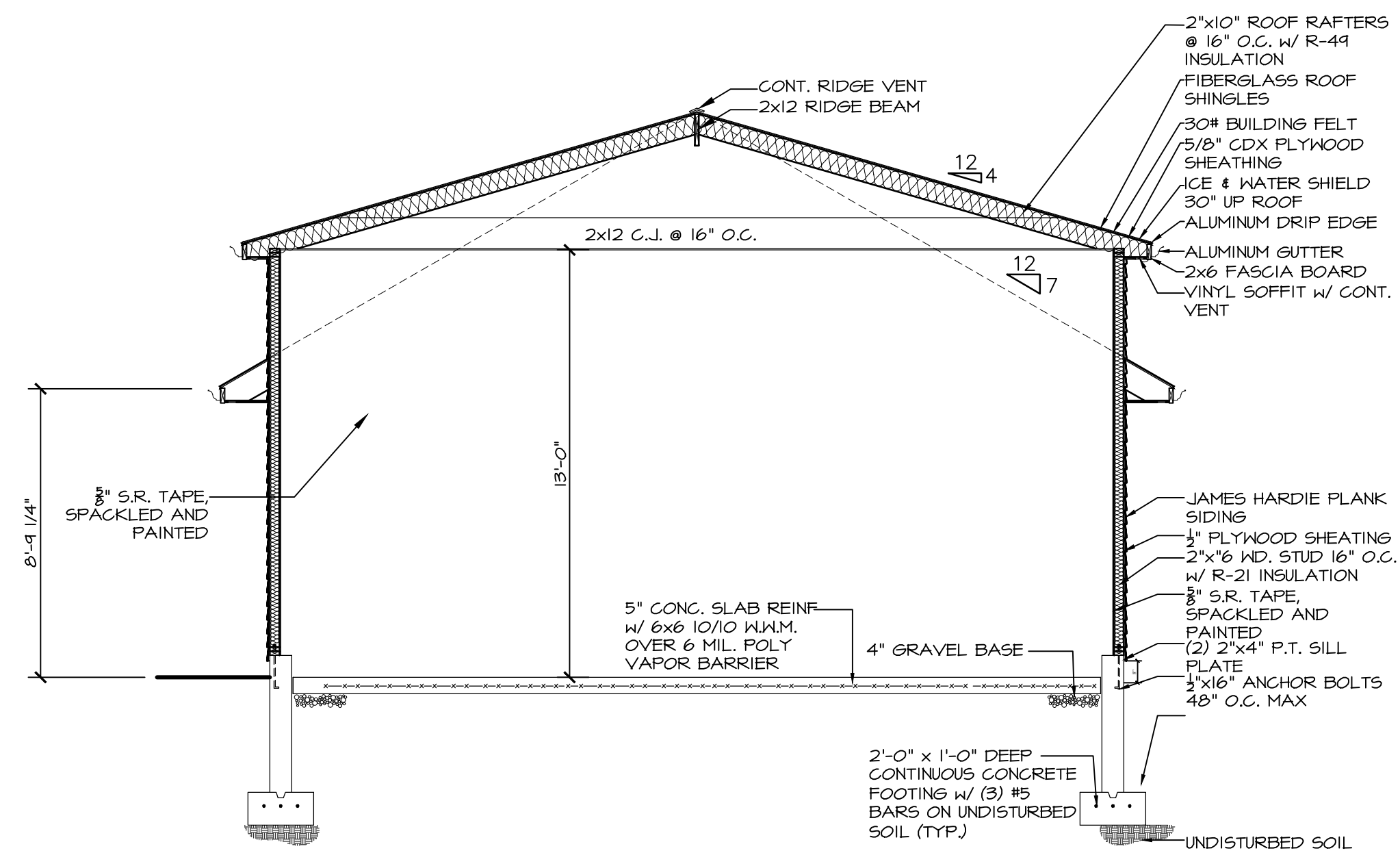
Sheet Number:
A-1



1 PROPOSED RIGHT SIDE ELEVATION
A-2 SCALE: 1/4"=1'-0"



2 PROPOSED REAR ELEVATION
A-2 SCALE: 1/4"=1'-0"



4 SECTION
A-2 SCALE: 1/4"=1'-0"

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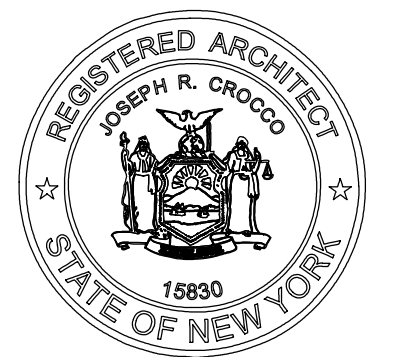
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FOR CLIENT REVIEW	12.02.20
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REVISION	DATE

Seal:



Joseph R. Crocco architects
 new york connecticut new jersey massachusetts
 4 macedonald avenue, suite 5
 armonk, new york 10504
 (914) 273-2774 fax (914) 273-2776

PROPOSED GARAGE FOR:

11 STERLING ROAD SOUTH
ARMONK, NY

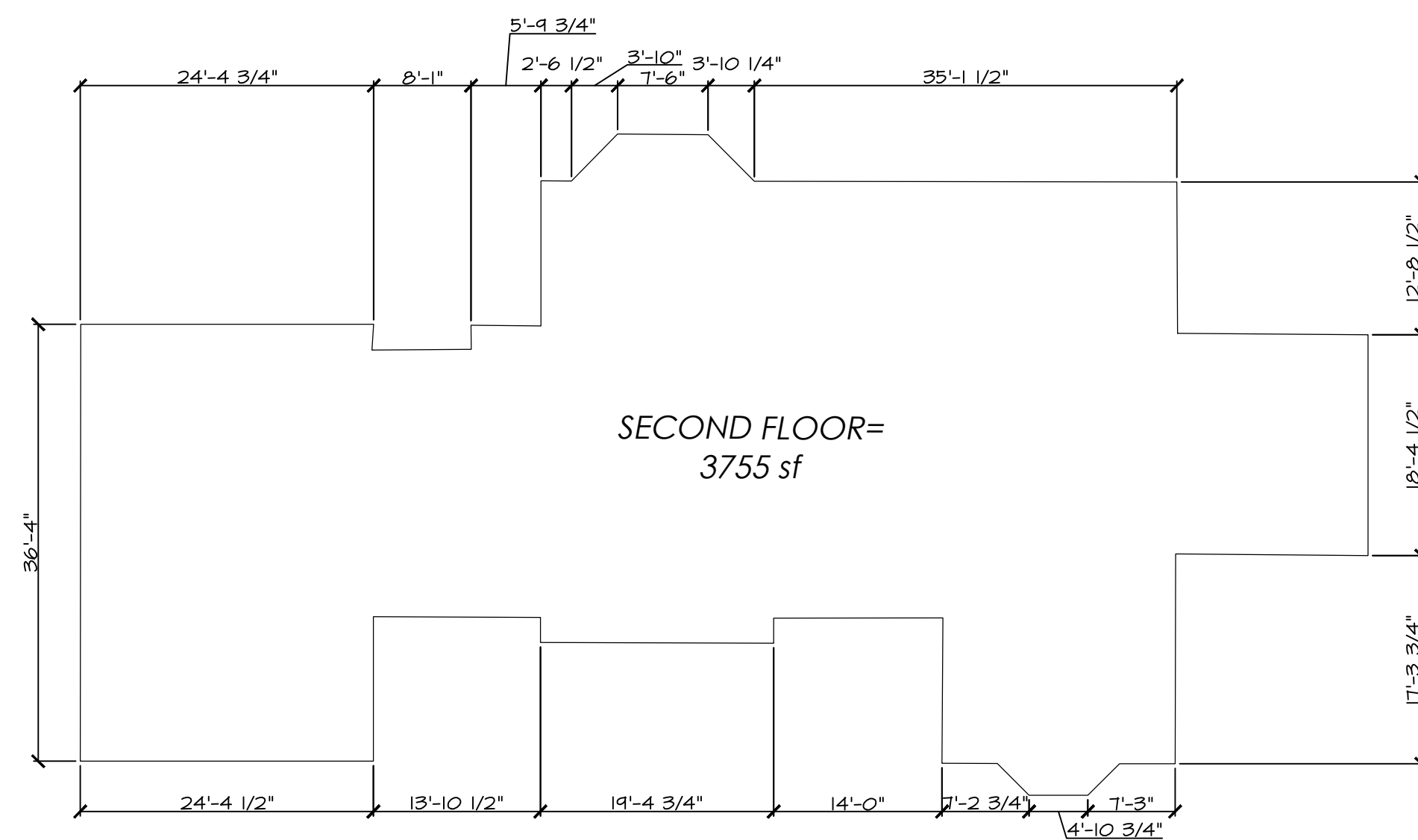
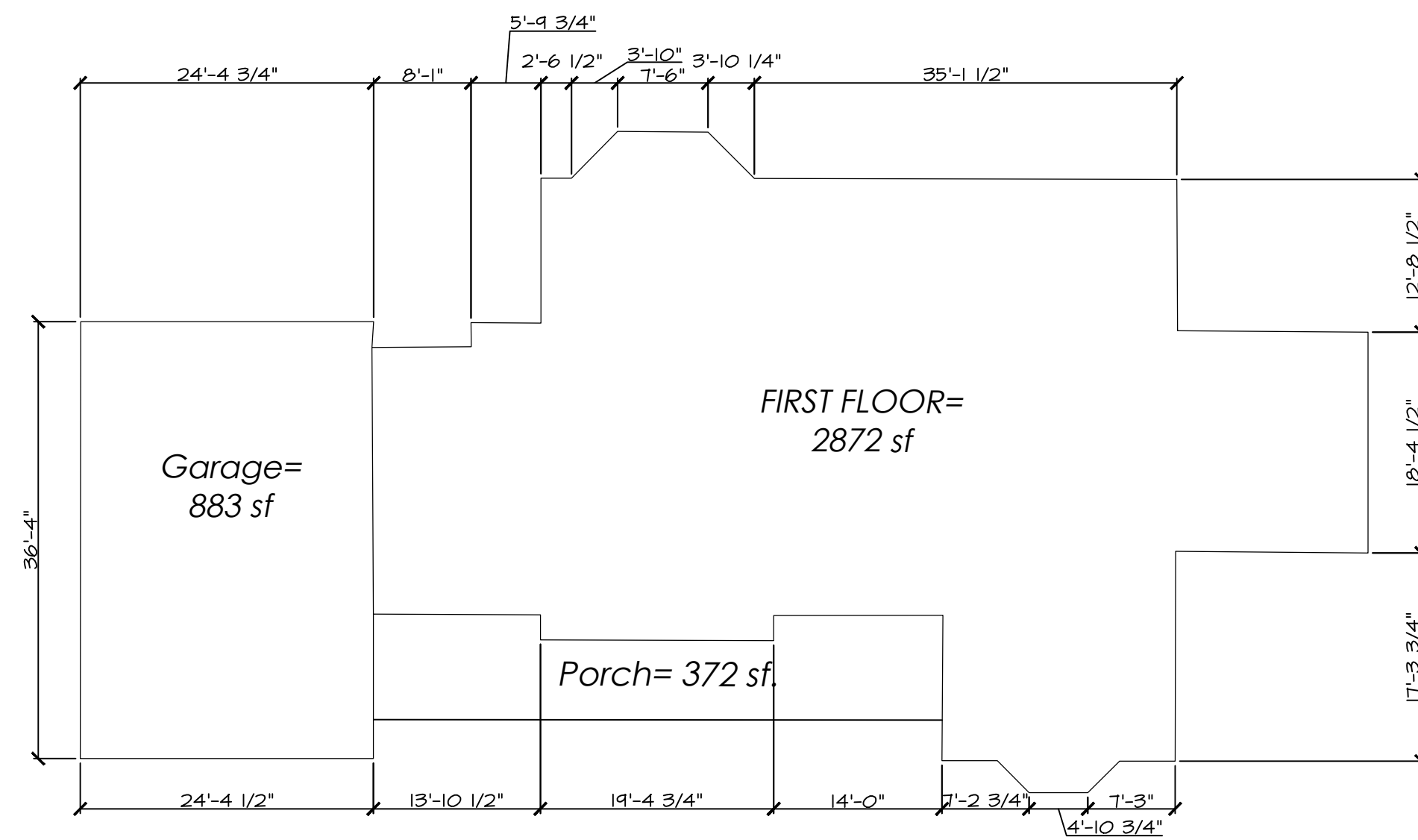
Dwg. Name:
ELEVATIONS & SECTIONS

Project No:
20029

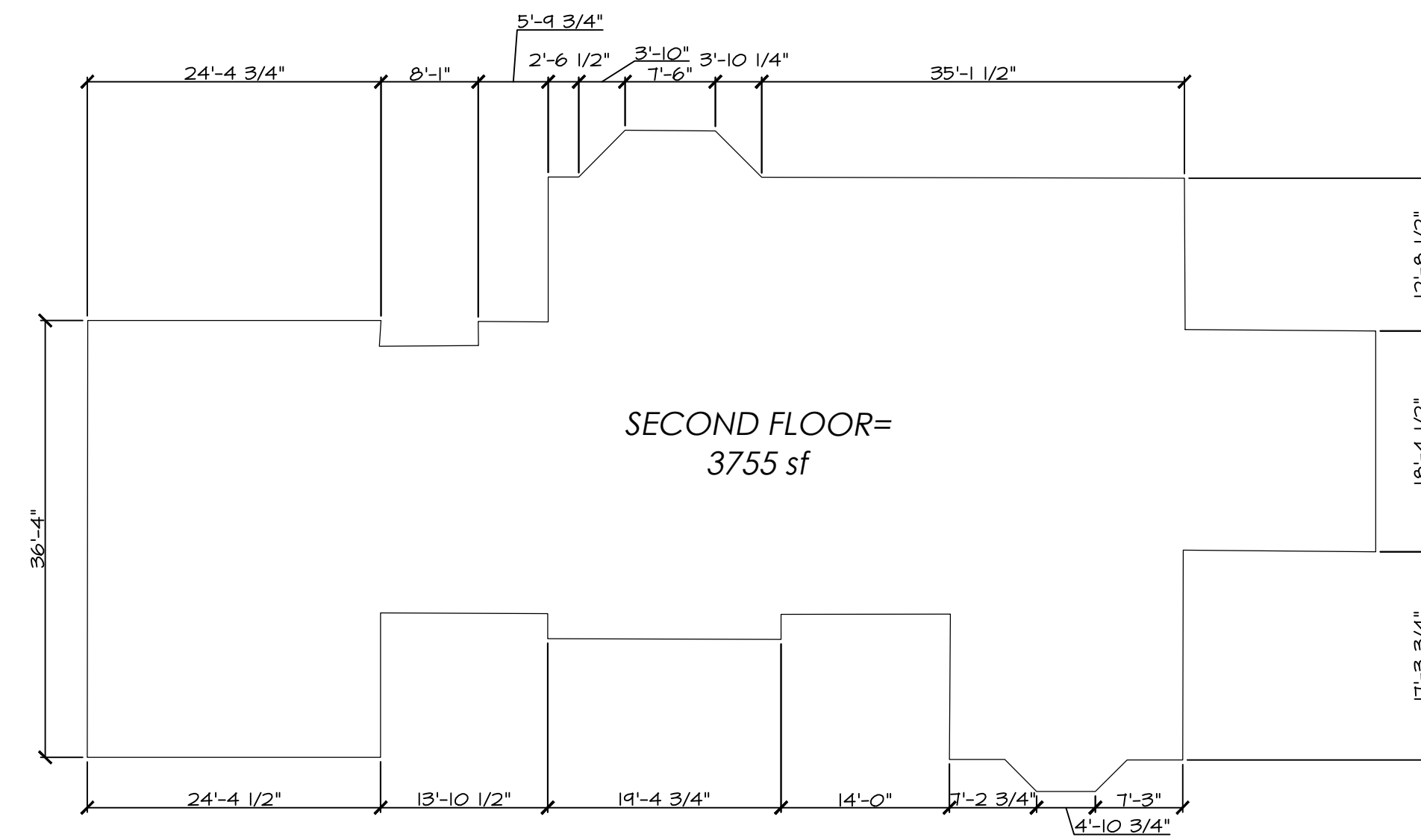
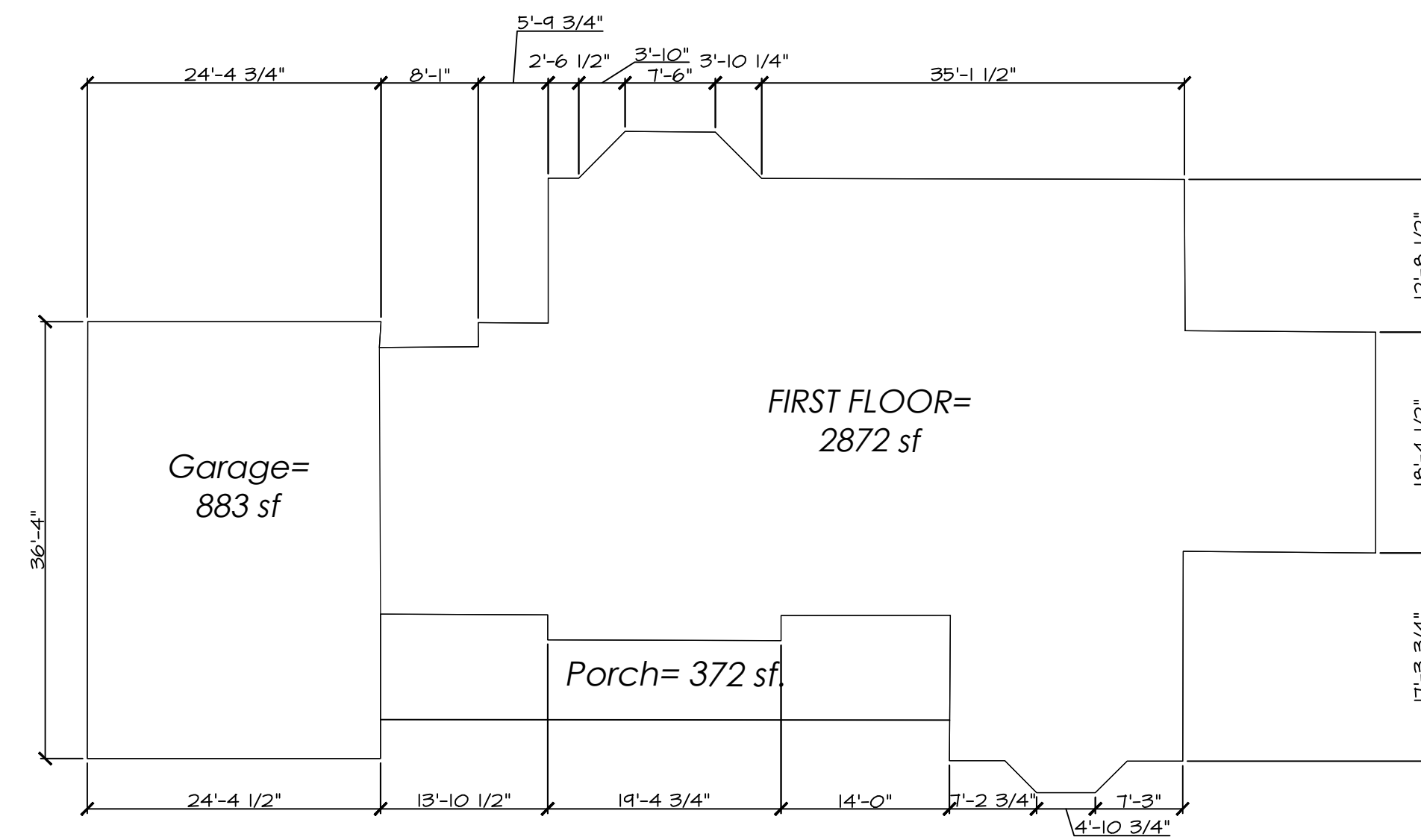
Date:
AUG. 16, 2020

Sheet Number:

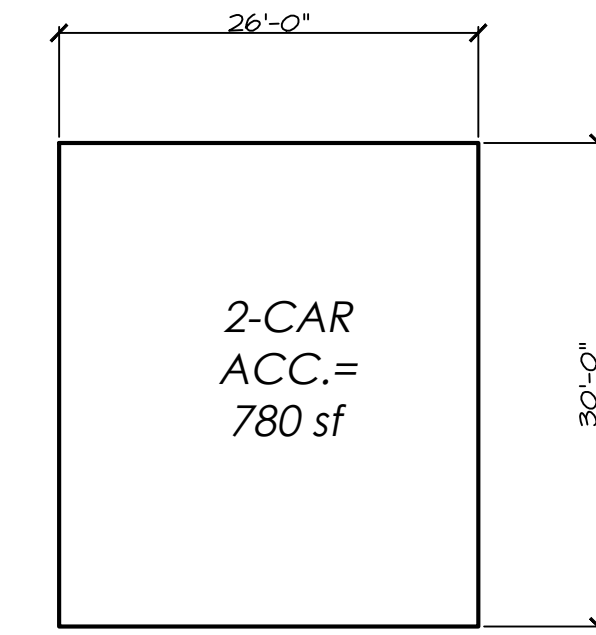
A-2



1 EXISTING FAR
A-3 SCALE: N.T.S.



1 PROPOSED FAR
A-3 SCALE: N.T.S.



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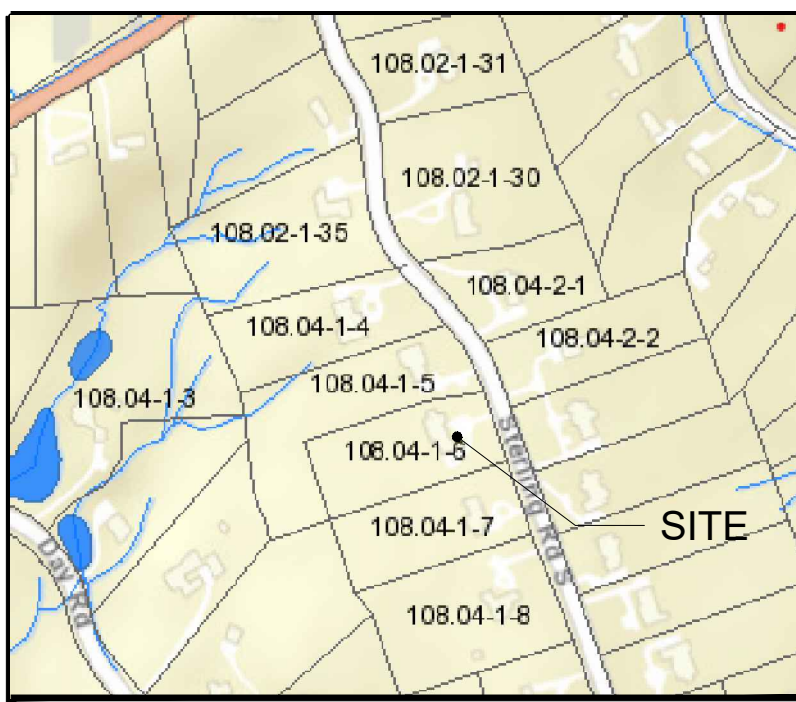
Joseph r. crocco architects
 new york connecticut new jersey massachusetts
 4 macedonald avenue, suite 5
 armonk, new york 10504
 (914) 273-2774 fax (914) 273-2776

PROPOSED GARAGE FOR:
 11 STERLING ROAD SOUTH
 ARMONK, NY

Dwg. Name:
FAR BACKUP

Project No:
 20029
 Sheet Number:
A-3

Date:
 AUG. 16, 2020



VICINITY MAP
1" = 2,000'

PROPERTY DATA

- PROPERTY OWNER: MICHAEL VENTORINO
11 STERLING ROAD S
ARMONK, NEW YORK 10504
- TAX MAP DESIGNATION: 108.04-1-6
2/17/4.C
- ZONING DISTRICT R-2A SINGLE FAMILY RESIDENTIAL 2 ACRE

- GENERAL NOTES
- SITE PLAN BASED UPON A SURVEY PREPARED BY TC MERRITTS
 - TOPOGRAPHY FROM WESTCHESTER COUNTY DEPARTMENT OF PLANNING GIS RECORDS.
 - ARCHITECTURAL PLANS BY JOSEPH CROCCO, RA
 - EROSION CONTROLS MUST BE PROPERLY INSTALLED, MAINTAINED AND INSPECTED AROUND THE WORK SITE.
 - CONSTRUCTION ENTRANCE MUST BE PROPERLY MAINTAINED SO THAT NO DEBRIS OR DIRT IS DEPOSITED ON THE STREET.
 - EXPOSED AREAS MUST BE STABILIZED AS SOON AS LAND ALTERATIONS ARE COMPLETED.
 - ANY UNDERGROUND PIPING OR STRUCTURES MUST BE INSPECTED PRIOR TO BACKFILLING
 - 24 HOUR NOTICE IS REQUIRED FOR ANY INSPECTION.
 - PRIOR TO THE START OF ANY EXCAVATION OPERATIONS THE CONTRACTOR SHALL CALL "DIG SAFELY NEW YORK" AT 1-800-962-7962 OR 811.

SHEET: 1 of 4

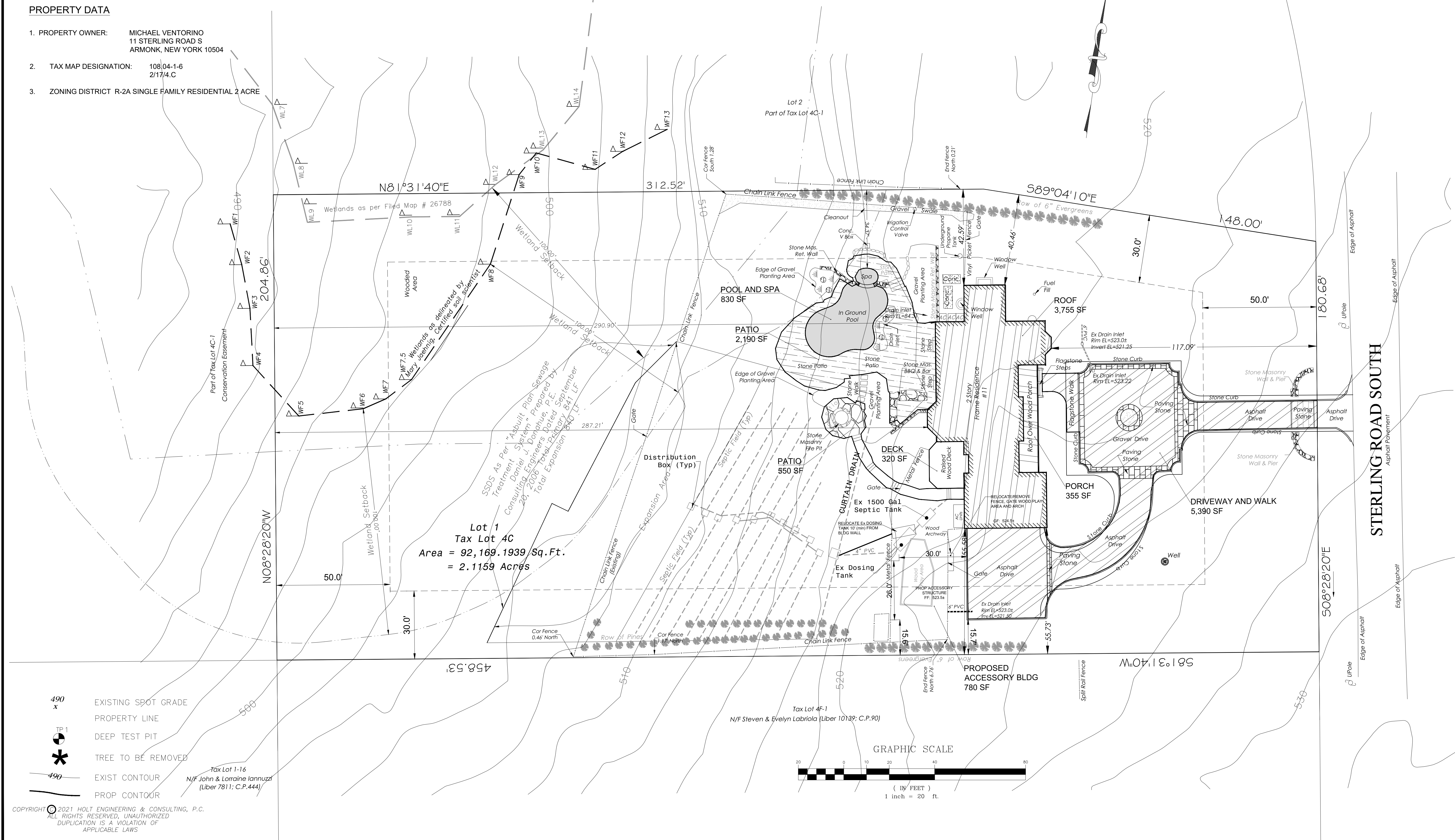
Nathaniel J. Holt, P.E.
Professional Engineer
No. 10223
State of New York

Original Date: March 13, 2021
Project Number: VEN-1

NATHANIEL J. HOLT, P.E.
592 ROUTE 22
PAWLING, NEW YORK 12564
(914) 760-1800

**EXISTING CONDITIONS
PLAN**

PROPOSED ADDITION
for
MICHAEL VENTORINO
11 STERLING ROAD SOUTH, ARMONK, NY

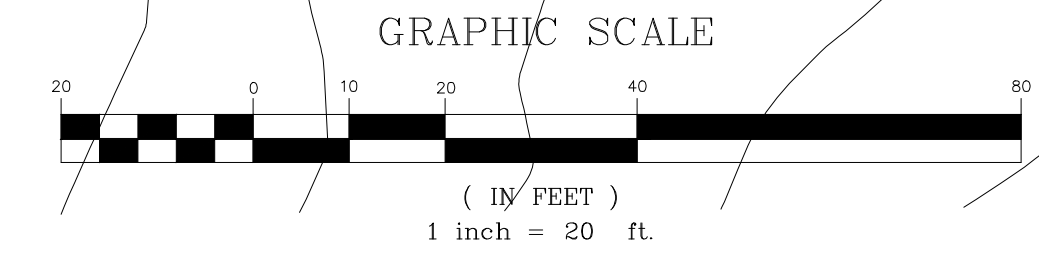


490 x
TP 1
490

EXISTING SPOT GRADE
PROPERTY LINE
DEEP TEST PIT
TREE TO BE REMOVED
EXIST CONTOUR
PROP CONTOUR

Tax Lot 1-16
N/F John & Lorraine Iannuzzi
(Liber 7811; C.P.444)

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DUPLICATION IS A VIOLATION OF
APPLICABLE LAWS



GROSS LAND COVERAGE WORKSHEET

APPLICATION NAME: MICHAEL VENTORINO TAX MAP DESIGNATION: 108.04-1-6		
GROSS LOT COVERAGE	EXISTING	PROPOSED
1. TOTAL LOT AREA	92,165.02 sf	92,165.02 sf
2. MAXIMUM PERMITTED GROSS LAND COVERAGE	13,648 sf	13,648 sf
3. BONUS MAXIMUM GROSS LAND COVER Distance principal home is beyond minimum front yard setback 69.4 ft x 10'	694 sf	694 sf
4. TOTAL MAXIMUM PERMITTED GROSS LAND COVERAGE	14,342 sf	14,342 sf
5. AMOUNT OF LOT AREA COVERED BY PRINCIPAL BUILDING	3,755 sf (EXISTING) + 0 sf (PROPOSED)	3,755 sf
6. AMOUNT OF LOT AREA COVERED BY ACCESSORY BLDGS 0 sf (EXISTING) + 780 sf (PROPOSED)	0 sf	780 sf
7. AMOUNT OF LOT AREA COVERED BY DECKS 320 sf (EXISTING) + 0 sf (PROPOSED)	320 sf	320 sf
8. AMOUNT OF LOT AREA COVERED BY PORCHES 355 sf (EXISTING) + 0 sf (PROPOSED)	355 sf	355 sf
9. AMOUNT OF LOT AREA COVERED BY DRIVEWAY, PARKING AREAS AND WALKWAYS 5,390 sf (EXISTING) + 0 sf (PROPOSED)	5,390 sf	5,390 sf
AMOUNT OF LOT AREA COVERED BY TERRACES/PATIOS 2,740 sf (EXISTING) + 0 sf (PROPOSED)	2,740 sf	2,740 sf
11. AMOUNT OF LOT AREA COVERED BY TENNIS COURT, POOL & MECHANICAL EQUIP 830 sf (EXISTING)	830 sf	830 sf
12. AMOUNT OF LOT AREA COVERED BY ALL OTHER STRUC. 0 sf (EXISTING) + 0 sf (PROPOSED)	0 sf	0 sf
13. PROPOSED GROSS LAND COVERAGE: Total of Lines 5-12:	13,390 sf	14,170 sf

GENERAL NOTES

1. SITE PLAN BASED UPON A SURVEY PREPARED BY TC MERRITTS
2. TOPOGRAPHY FROM WESTCHESTER COUNTY DEPARTMENT OF PLANNING GIS RECORDS.
3. ARCHITECTURAL PLANS BY JOSEPH CROCCO, RA.
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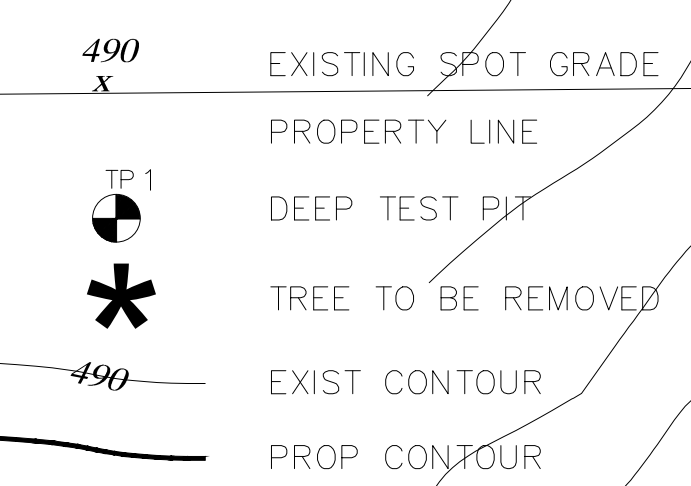
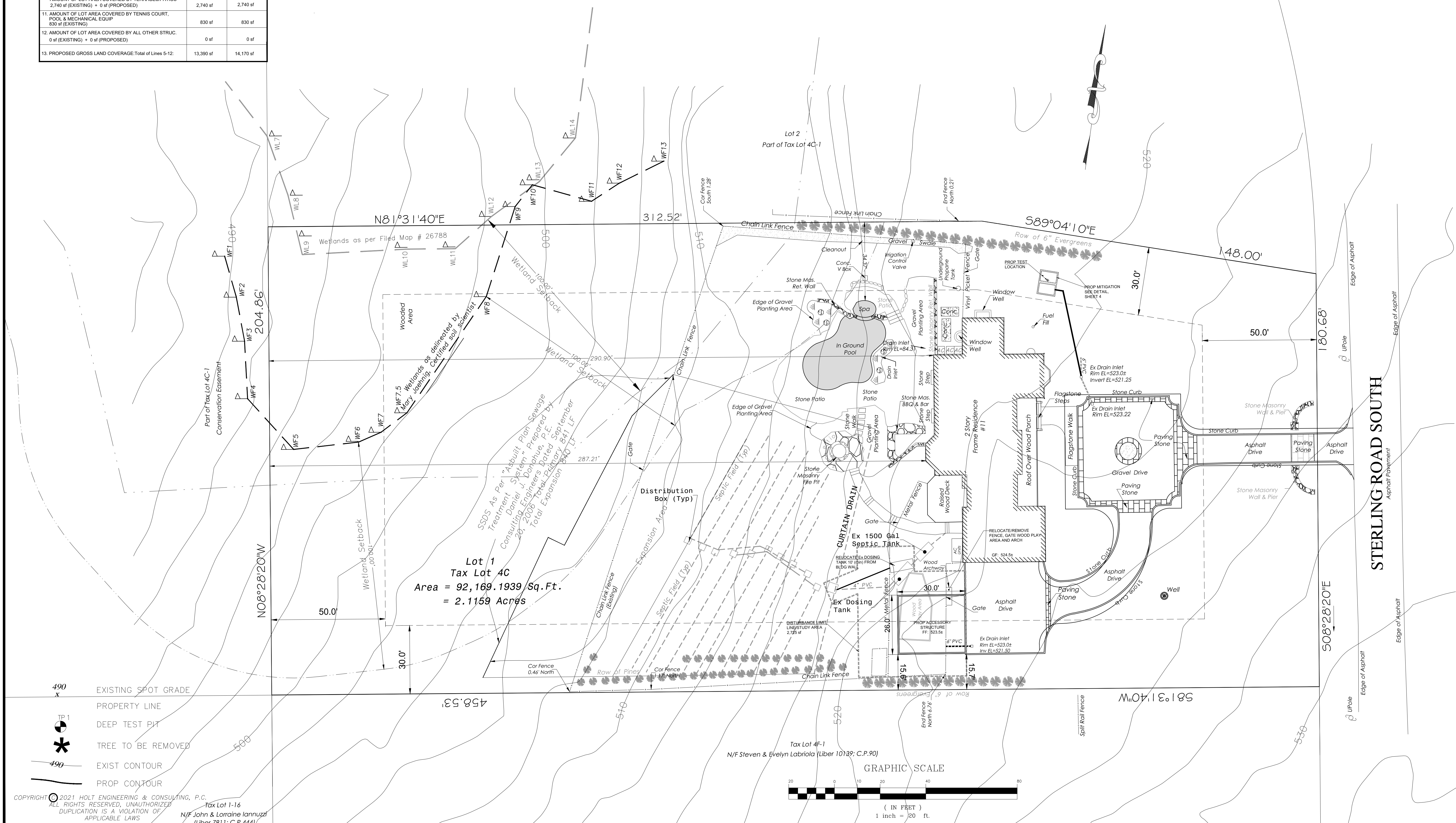
SHEET: 2 of 4

NATHANIEL J. HOLT, P.E.
Professional Engineer
Original Date: March 13, 2021
Project Number: VEN-1

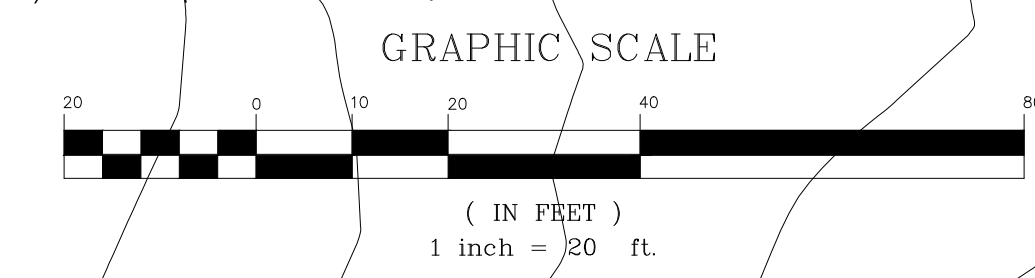
NATHANIEL J. HOLT, P.E.
592 ROUTE 22
PAWLING, NEW YORK 12564
(914) 760-1800

SITE PLAN

PROPOSED ADDITION
for
MICHAEL VENTORINO
11 STERLING ROAD SOUTH, ARMONK, NY



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Tax Lot 1-16
N/F John & Lorraine Iannuzzi
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3. BONUS MAXIMUM GROSS LAND COVER Distance principal home is beyond minimum front yard setback 69.4 ft x 10 =	694 sf	694 sf
4. TOTAL MAXIMUM PERMITTED GROSS LAND COVERAGE	14,342 sf	14,342 sf
5. AMOUNT OF LOT AREA COVERED BY PRINCIPAL BUILDING 3,755 sf (EXISTING) + 0 sf (PROPOSED)	3,755 sf	3,755 sf
6. AMOUNT OF LOT AREA COVERED BY ACCESSORY BLDGS 0 sf (EXISTING) + 780 sf (PROPOSED)	0 sf	780 sf
7. AMOUNT OF LOT AREA COVERED BY DECKS 320 sf (EXISTING)	320 sf	320 sf
8. AMOUNT OF LOT AREA COVERED BY PORCHES 355 sf (EXISTING)	355 sf	355 sf
9. AMOUNT OF LOT AREA COVERED BY DRIVEWAY, PARKING AREAS AND WALKWAYS 5,390 sf (EXISTING)	5,390 sf	5,390 sf
10. AMOUNT OF LOT AREA COVERED BY TERRACES/PATIOS 2,740 sf (EXISTING)	2,740 sf	2,740 sf
11. AMOUNT OF LOT AREA COVERED BY TENNIS COURT, POOL & MECHANICAL EQUIP 830 sf (EXISTING)	830 sf	830 sf
12. AMOUNT OF LOT AREA COVERED BY ALL OTHER STRUC. 0 sf (ORIGINAL)	0 sf	0 sf
13. PROPOSED GROSS LAND COVERAGE: Total of Lines 5-12:	13,390 sf	14,170 sf

- GENERAL NOTES
1. SITE PLAN BASED UPON A SURVEY PREPARED BY TC MERRITTS
 2. TOPOGRAPHY FROM WESTCHESTER COUNTY DEPARTMENT OF PLANNING GIS RECORDS.
 3. ARCHITECTURAL PLANS BY JOSEPH CROCCO, RA.
 4. EROSION CONTROLS MUST BE PROPERLY INSTALLED, MAINTAINED AND INSPECTED AROUND THE WORK SITE.
 5. CONSTRUCTION ENTRANCE MUST BE PROPERLY MAINTAINED SO THAT NO DEBRIS OR DIRT IS DEPOSITED ON THE STREET.
 6. EXPOSED AREAS MUST BE STABILIZED AS SOON AS LAND ALTERATIONS ARE COMPLETED.
 7. ANY UNDERGROUND PIPING OR STRUCTURES MUST BE INSPECTED PRIOR TO BACKFILLING
 8. 24 HOUR NOTICE IS REQUIRED FOR ANY INSPECTION.
 9. PRIOR TO THE START OF ANY EXCAVATION OPERATIONS THE CONTRACTOR SHALL CALL "DIG SAFELY NEW YORK" AT 1-800-962-7962 OR 811.

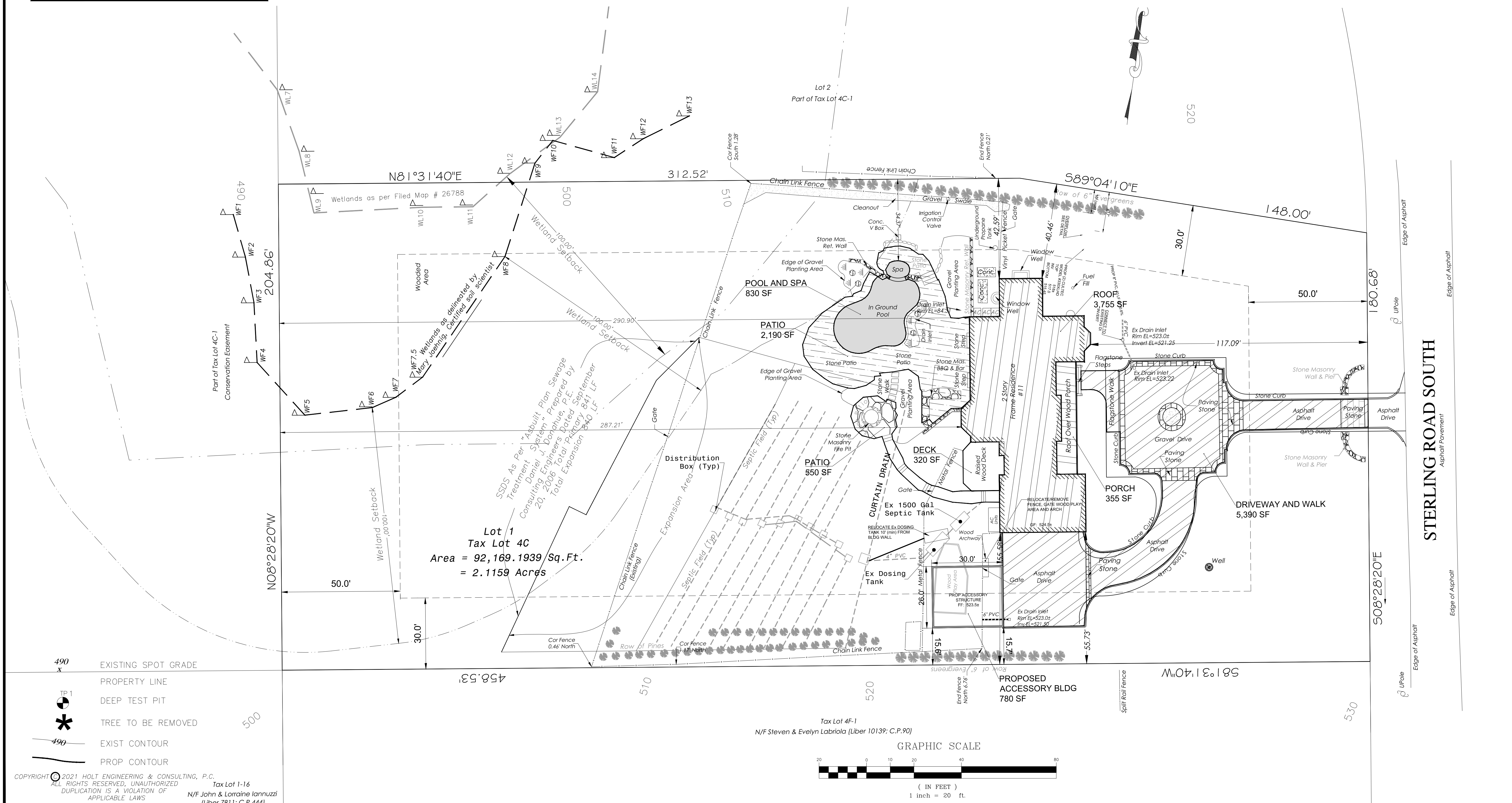
SHEET: **3** of **4**

Nathaniel J. Holt, P.E.
Professional Engineer
No. 102139
Original Date: March 13, 2021
Project Number: VEN-1

NATHANIEL J. HOLT, P.E.
592 ROUTE 22
PAWLING, NEW YORK 12564
(914) 760-1800

GROSS LAND COVERAGE PLAN

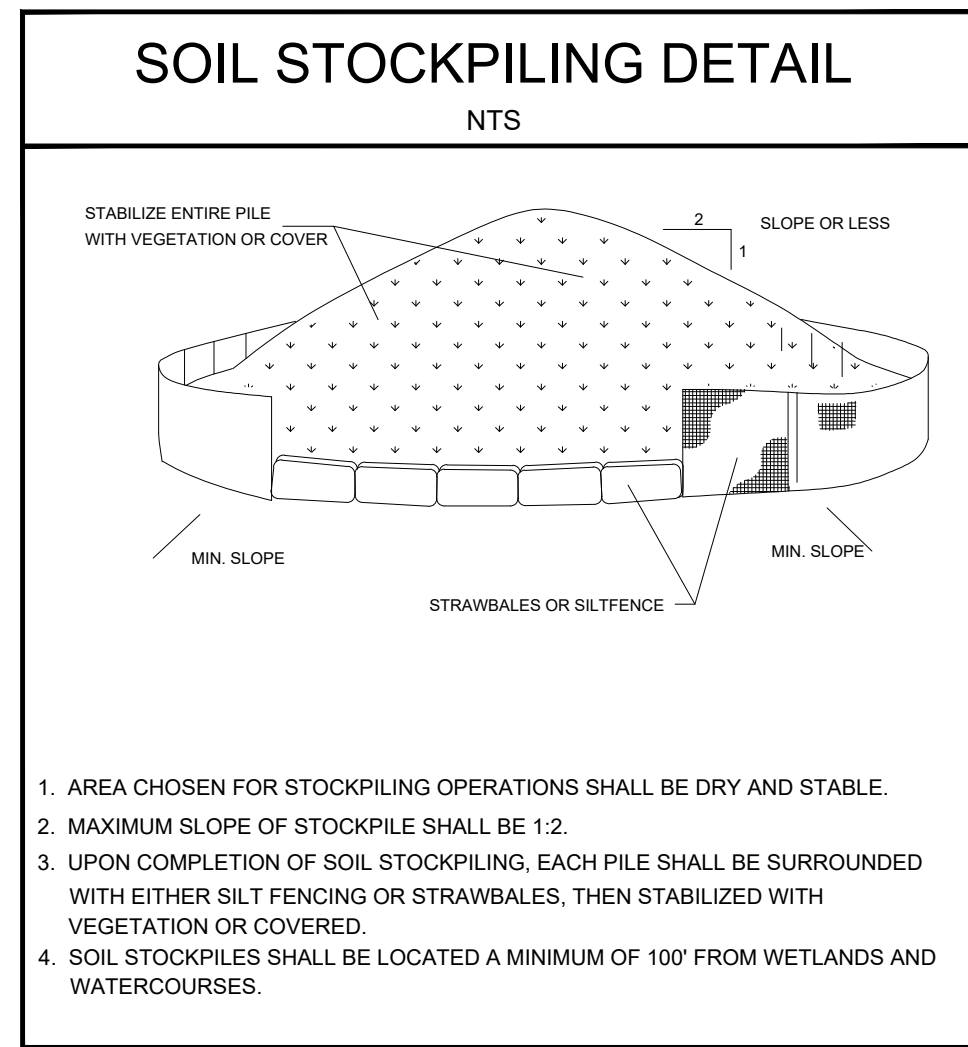
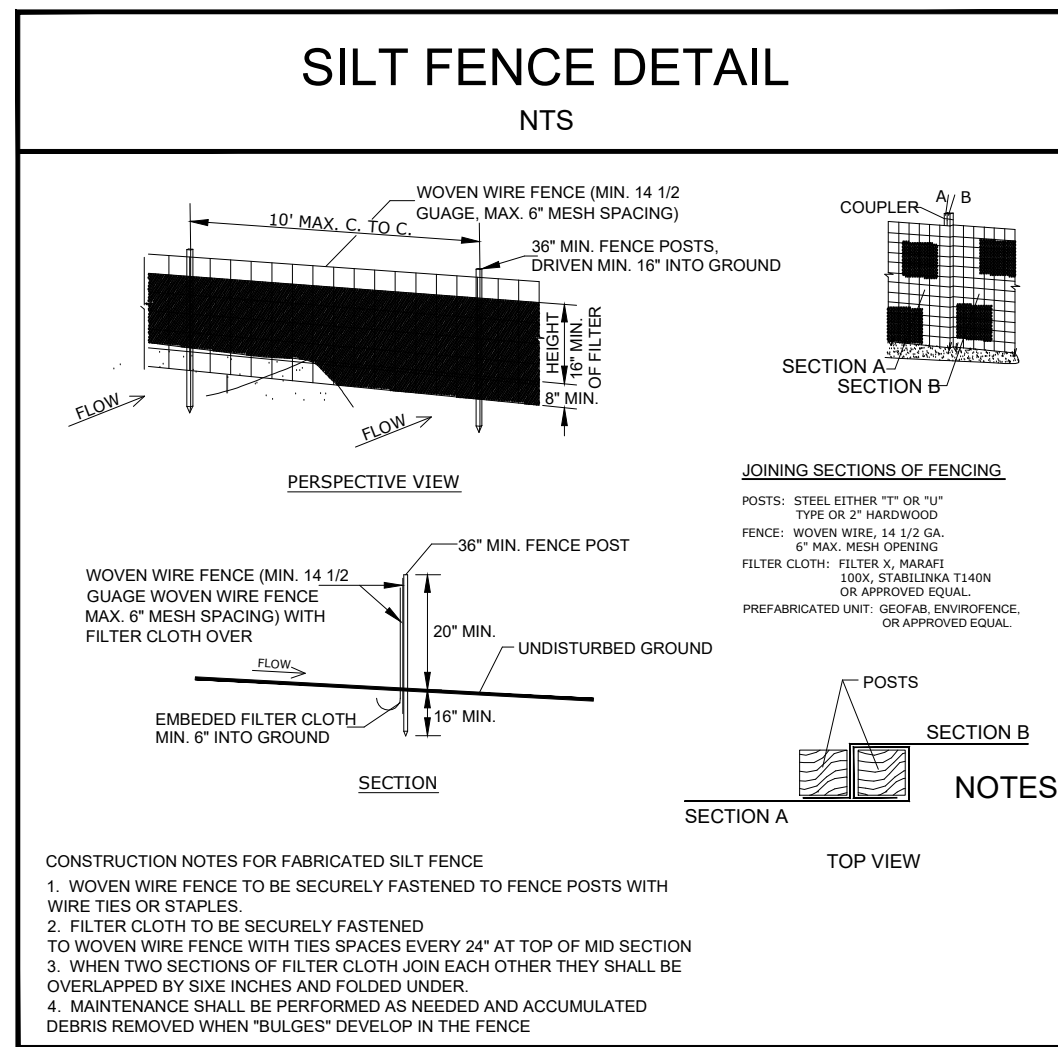
PROPOSED ADDITION
for
MICHAEL VENTORINO
11 STERLING ROAD SOUTH, ARMONK, NY



490 x
EXISTING SPOT GRADE
PROPERTY LINE
DEEP TEST PIT
TREE TO BE REMOVED
490
EXIST CONTOUR
PROP CONTOUR

Tax Lot 1-16
N/F John & Lorraine Iannuzzi
(Liber 7811; C.P.444)

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DUPLICATION IS A VIOLATION OF
APPLICABLE LAWS



REQUIRED: CAPTURE 25 YR STORM EVENT OVER INCREASE IN IMPERVIOUS AREA

RUNOFF VOLUME

THE INCREASE IN RUNOFF VOLUME DUE TO THE INCREASE IN IMPERVIOUS AREA IS:

$(3.61' - 3.09') / 12 \times 2,725 \text{ sf} = 118 \text{ cf. SAY } 120 \text{ cf}$

PROPOSED MITIGATION

ONE CULTEC UNIT (MODEL 330XLHD) HAS THE CAPACITY OF 11.32 cf/ft. THEREFORE:

$120 \text{ cf} / 11.32 \text{ cf/ft} = 10.4 \text{ ft} = 2 \text{ Units; VOLUME PROVIDED: } 158.5 \text{ cf}$

**NO ALLOWANCE TAKEN FOR PERCOLATION. UPON TESTING, THE DESIGN WILL BE MODIFIED AS MAY BE NECESSARY

NOTE: THERE ARE NO PRACTICAL LOCATIONS WITHIN THE IMMEDIATE VICINITY OF THE PROPOSED ACCESSORY GARAGE (EXISTING WELL AND SEPTIC FIELDS). DESIGN HAS BEEN ALTERED TO MITIGATE THE ROOF RUNOFF FROM THE RESIDENCE OF EQUAL VOLUME (min).

EXISTING CONDITIONS

STUDY AREA: 2,725 SF

SOIL TYPE: LAWN (RCN 73)

PROPOSED CONDITIONS

PERVIOUS AREAS (HSG = C)

LAWN (RCN 73) 2,725 sf = 0.063 ac

IMPERVIOUS AREAS (RCN 98)

ROOF (RCN 98) 780 sf = 0.018 ac
 LAW (RCN 73) 1,945 sf = 0.045 ac

RUNOFF DEPTH

EXISTING CONDITIONS:

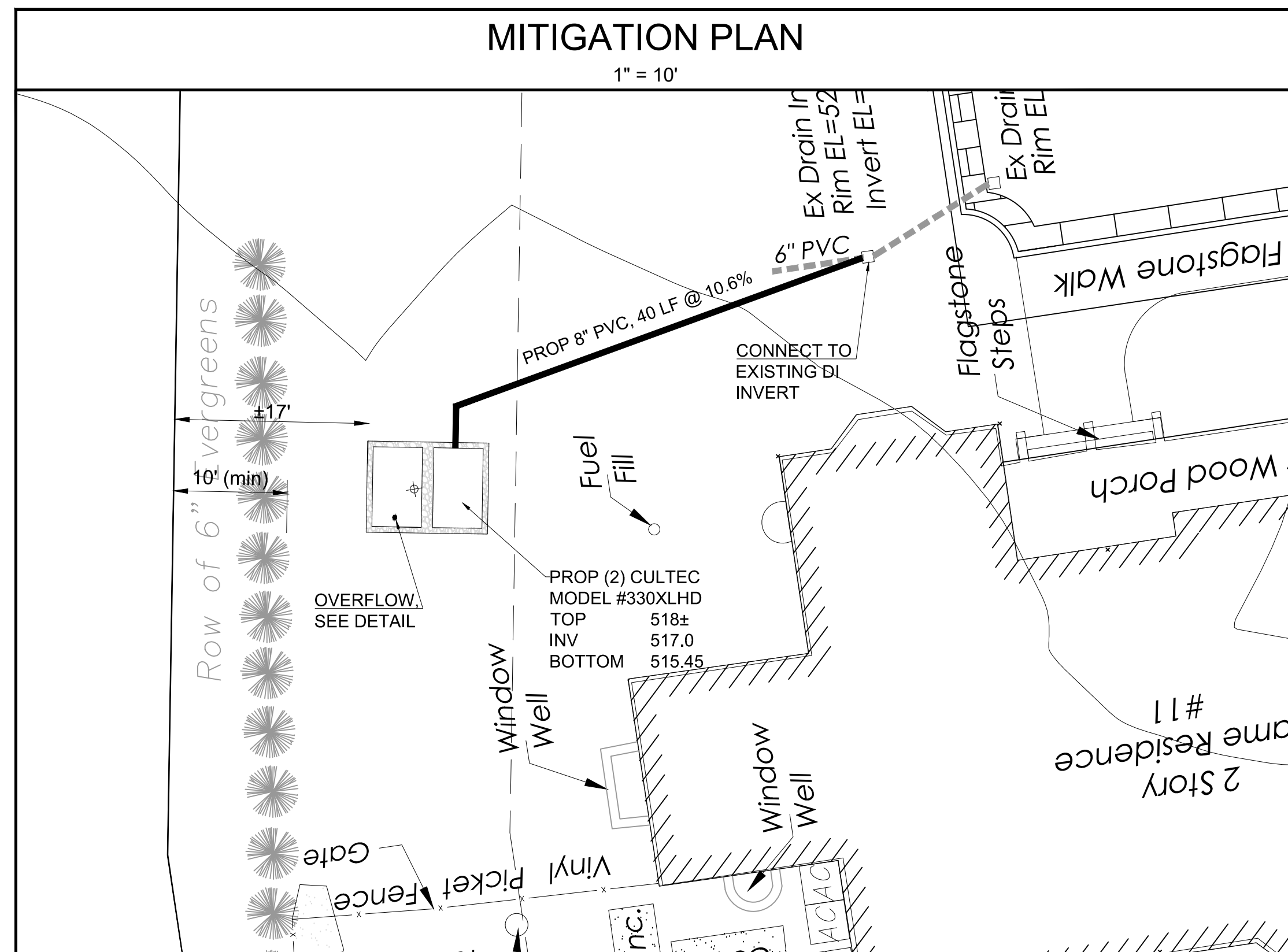
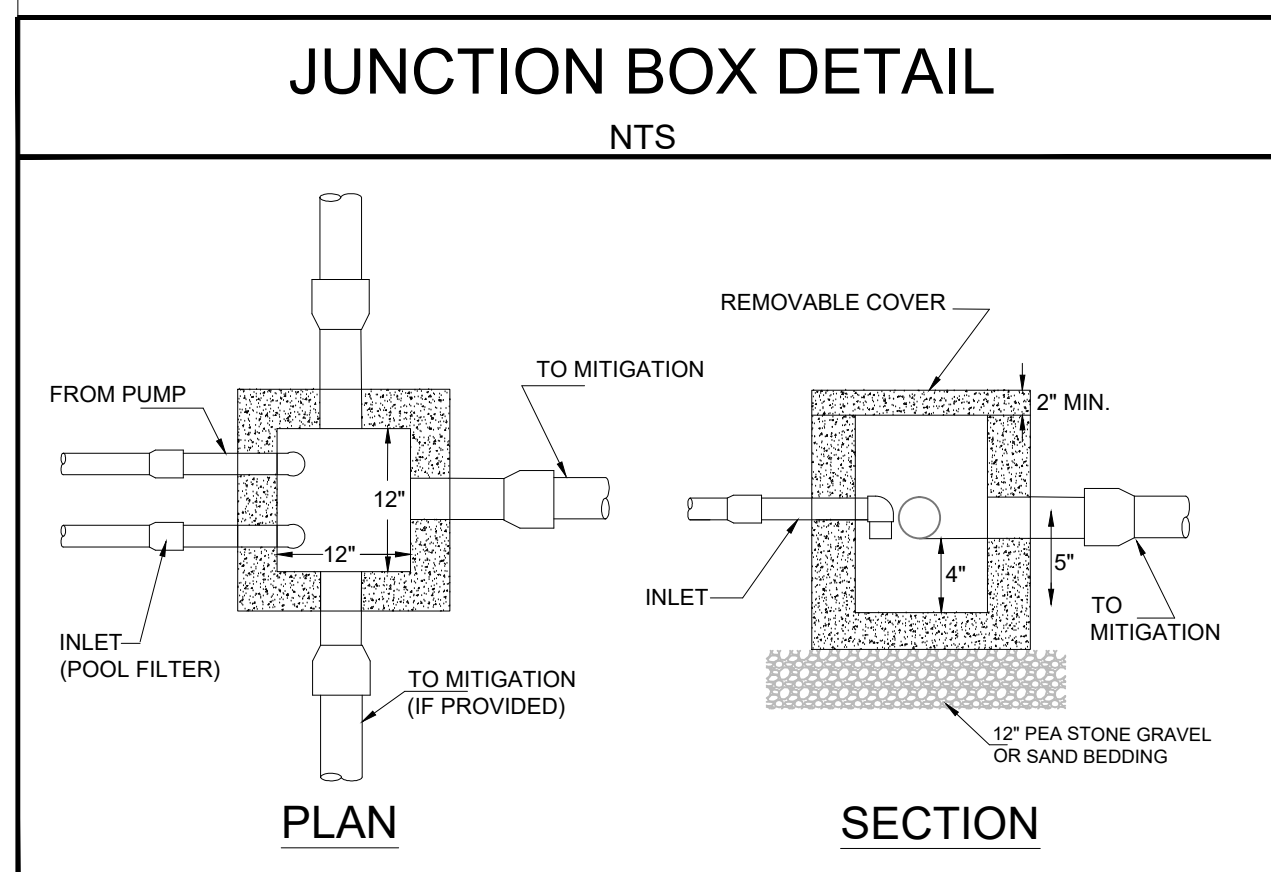
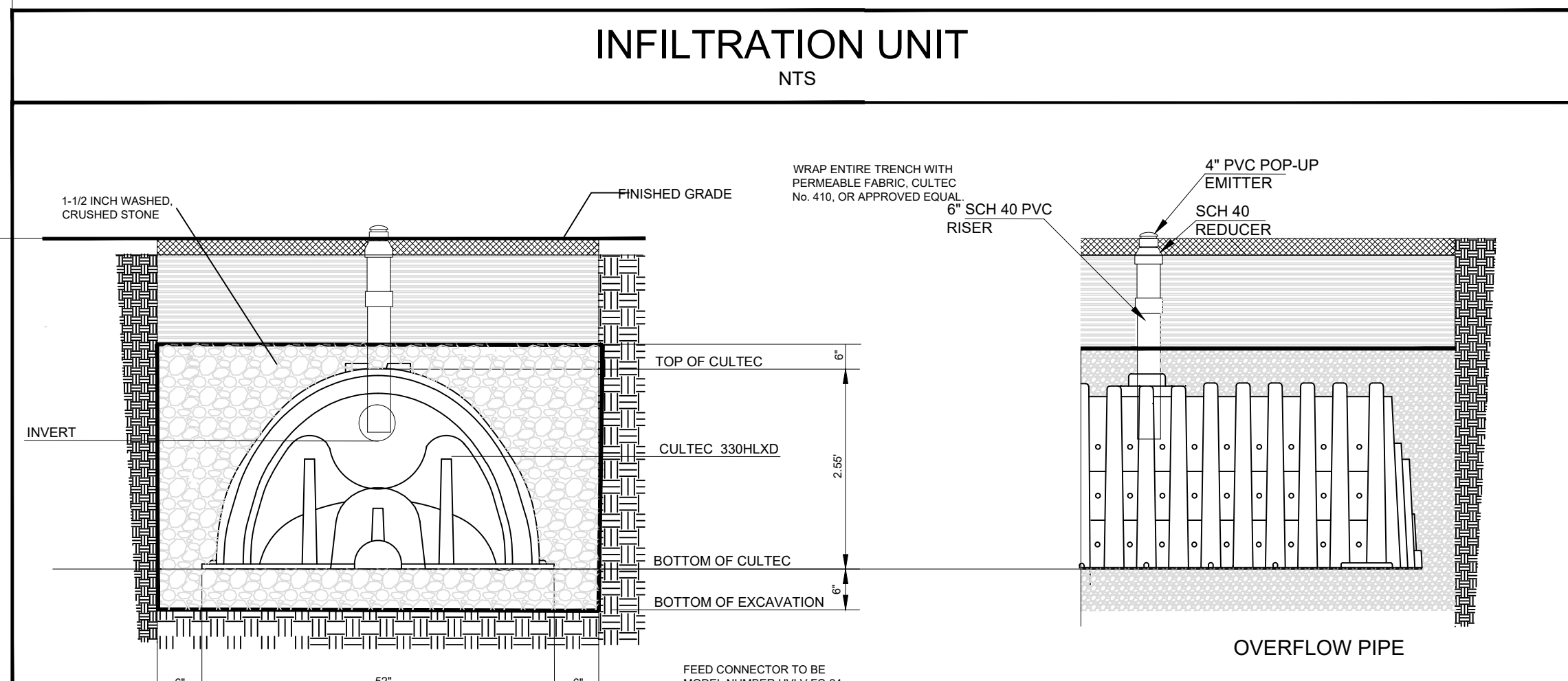
CN = 73; RUNOFF DEPTH = 3.09" *

FUTURE CONDITIONS

0.018 ac x 98 = 1.764
 0.045 ac x 73 = 3.285
 0.063 5.049 = 80.1

PROPOSED CONDITIONS: CN = 80.1; RUNOFF DEPTH = 3.61"

* FROM TABLE 2.1 OF THE SCS HANDBOOK



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DETAILS

PROPOSED ADDITION for MICHAEL VENTORINO
 11 STERLING ROAD SOUTH, ARMONK, NY