



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 39 WINDMILL ROAD, NORTH CASTLE NY 10504

Section III- DESCRIPTION OF WORK:

Single-story (double-height) addition to existing 2-story house. Interior renovation of select spaces on first floor of existing house. New HVAC system on both floors.

Section III- CONTACT INFORMATION:

APPLICANT: Jane and Vlad Rav

ADDRESS: 2580 Ocean Parkway Apt 4L, Brooklyn NY 11235

PHONE: 917-254-9510 MOBILE: 917-254-9510 EMAIL: vladlr@gmail.com

PROPERTY OWNER:

Same as applicant

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL.: Christina Griffin

ADDRESS: Christina Griffin Architect, PC - 12 Spring Street. Hastings-on-Hudson NY 10706

PHONE: 914-688-1132 MOBILE: 914-688-1132

EMAIL: kc@cgastudio.com / cg@cgastudio.com

Section IV- PROPERTY INFORMATION:

Zone: R1-A Tax ID (lot designation) 101.04-3-1



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT
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Director of Planning

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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 39 WINDMILL ROAD, NORTH CASTLE NY 10504 Date: 08-20-21

Tax Map Designation or Proposed Lot No.: 101.04-3-1

WORKSHEET DIMENSIONAL
 REFERENCE PLAN: REFER TO SITE
 PLAN ON S-1

Gross Lot Coverage

- | | | |
|-----|--|------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>76,807 SF</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>12,353 SF</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)):

Distance principal home is beyond minimum front yard setback
<u> </u> x 10 = <u> </u> | |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>12,353 SF</u> |
| 5. | Amount of lot area covered by principal building :
<u>2,446 SF</u> existing + <u>508 SF</u> proposed = | <u>2,954 SF</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>721 SF</u> existing + <u>0 SF</u> proposed = | <u>721 SF</u> |
| 7. | Amount of lot area covered by decks :
<u>0 SF</u> existing + <u>0 SF</u> proposed = | <u>0 SF</u> |
| 8. | Amount of lot area covered by porches :
<u>0 SF</u> existing + <u>0 SF</u> proposed = | <u>0 SF</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u>5,817 SF</u> existing + <u>(-120) SF</u> proposed = Exist. walkway removed & replaced with shorter walkway | <u>5,697 SF</u> |
| 10. | Amount of lot area covered by terraces :
<u>995 SF</u> existing + <u>508 SF</u> proposed = | <u>1,503 SF</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u>50 SF</u> existing + <u>(-40) SF</u> proposed = Smaller mech equip. being installed | <u>10 SF</u> |
| 12. | Amount of lot area covered by all other structures :
<u>0 SF</u> existing + <u>0 SF</u> proposed = | <u>0 SF</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>10,885 SF</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

 Signature and Seal of Professional Preparing Worksheet

08-20-21
 Date





TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

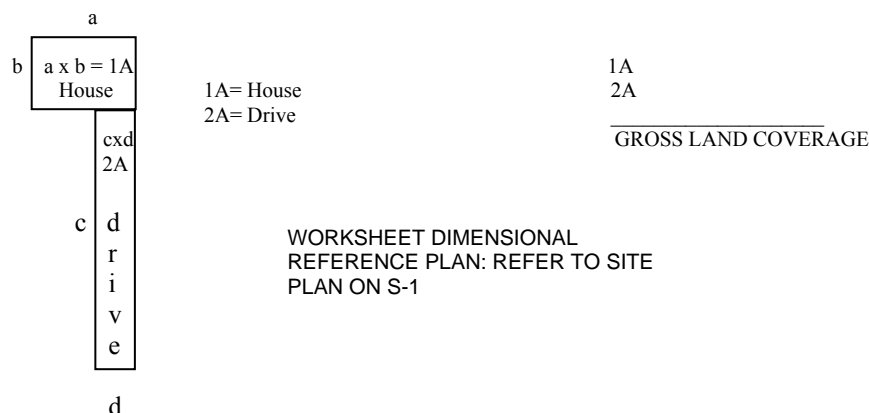
PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



TOWN OF NORTH CASTLE
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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
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FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 39 WINDMILL ROAD, NORTH CASTLE NY 10504 Date: 08-20-21

Tax Map Designation or Proposed Lot No.: 101.04-3-1

WORKSHEET DIMENSIONAL
 REFERENCE PLAN: REFER TO
 HOUSE DIMENSIONS ON SITE PLAN
 ON S-1 & 2ND PLAN OVERALL
 DIMENSIONS ON A-2

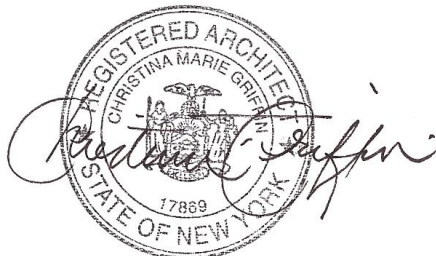
Floor Area

- | | | |
|---------|---|------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>76,807 SF</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>9,613 SF</u> |
| 3. | Amount of floor area contained within first floor:
<u>2,446 SF</u> existing + <u>508 SF</u> proposed = | <u>2,954 SF</u> |
| 4. | Amount of floor area contained within second floor:
<u>1,880 SF</u> existing + <u>0 SF</u> proposed = | <u>1,880 SF</u> |
| 5. | Amount of floor area contained within garage:
<u>0 SF</u> existing + <u>0 SF</u> proposed = | <u>0 SF</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>0 SF</u> existing + <u>0 SF</u> proposed = | <u>0 SF</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>0 SF</u> existing + <u>0 SF</u> proposed = | <u>0 SF</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>0 SF</u> existing + <u>0 SF</u> proposed = | <u>0 SF</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>721 SF</u> existing + <u>0 SF</u> proposed = | <u>721 SF</u> |
| 10. Pro | posed floor area: Total of Lines 3 – 9 = | <u>5,555 SF</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

 Signature and Seal of Professional Preparing Worksheet

08-20-21
 Date





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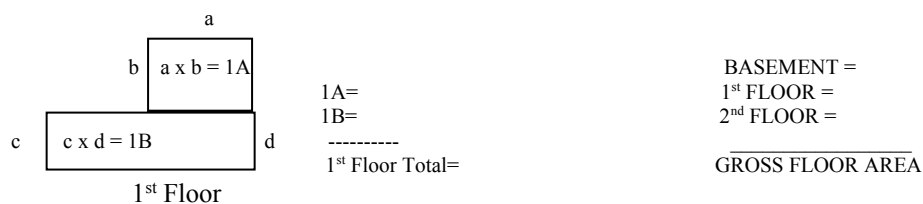
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GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



WORKSHEET DIMENSIONAL REFERENCE PLAN:
REFER TO HOUSE DIMENSIONS ON SITE PLAN ON
S-1 & 2ND PLAN OVERALL DIMENSIONS ON A-2

LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings ¹ (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

RENOVATIONS & EXTENSIONS TO THE RAV RESIDENCE

39 WINDMILL ROAD, NORTH CASTLE, NY 10504

CHRISTINA GRIFFIN ARCHITECT

12 Spring Street, Hastings-on-Hudson, NY 10706



RPRC SUBMISSION 8-20-21

GENERAL NOTES

- These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.
- All construction shall comply fully with the 2020 Residential code of NYS, local building code, fire department regulations, and all other agencies having jurisdiction over project.
- Approved stamped set of building plans must be present on site for all inspections.
- A current Westchester County licensed and insured contractor must be on file with current building permit until Certificate of Occupancy is issued. If contractor of record has been removed from the project, a stop work order will be issued until a new Westchester County licensed and insured contractor is retained.
- General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as Owner requires.
- Licensed electrician to file separate electrical permit.
- Licensed plumber to file separate plumbing permit.
- All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.
- The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.
- The contractor shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.
- The contractor shall be responsible for providing all labor and materials to complete the project, in accordance with the construction documents, tested and ready for owner's use.
- All indicated Survey material is for general reference only. The Architect assumes no responsibility for the accuracy or the correctness of any of the indicated material.
- Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.
- All construction sites shall conform to the 2020 New York State Property Maintenance Code. All rubbish garbage and construction debris shall be disposed of in an onsite dumpster or removed off site immediately. Materials shall be stacked in orderly fashion as to not create a blight on the community. The village right of way must be kept clear and maintained at all times.
- General contractor shall be responsible for the removal of construction debris, rubbish and offsite disposal in a responsible manner.
- The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical & HVAC, except for the building permit, which shall be obtained by the Architect. The contractor shall obtain the certificate of occupancy for the project when construction is complete.
- Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.
- Drawings may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shown shall govern over measurements scaled from plans. Wall dimensions are given to finished surfaces. Contractor to consult with the Architect for questions regarding final dimensions and locations.
- All dimensions and conditions shown and assumed on the drawings must be verified at the site by contractor before ordering any material or doing any work.
- Contractor is to design and install adequate and code approved shoring and bracing where needed to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.
- The Architect is not responsible for workmanship, construction methods, or any omissions or derivations from the drawings during construction.
- Materials and products indicated on drawings shall be installed in accordance with manufacturer's requirements.
- The drawings and notes are intended to be complete. Should anything be omitted from the drawings necessary to the proper construction of the work herein described, it shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of any discrepancies of field conditions that may interfere with the total completion of all work included within the contract and verify all conditions prior to the ordering of materials and the start of construction.
- Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation or operation of any part of the work shall be included in the work the same as specified or indicated.
- The contractor shall supervise and direct the work using his best skill and attention, he shall be solely responsible for all construction means, methods, sequences and procedures and for coordination of all portions of the work.
- The use of the words "provide" or "provided" in connection with any item specified is intended to mean that such item be furnished and installed and connected where required.
- Contractor shall maintain a sealed enclosure between work area and other areas of the residence. In addition,

- the contractor shall be responsible to (a) protect all interior spaces from the area of renovation, and (b) broom sweep all areas at end of each work day.
- The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or receive, or be received by the work of others, as shown, or as reasonably implied on the drawings.
- New and existing work shall come together in a seamless fashion. All new or modified surfaces shall be finished including, but not limited to taping, spackling and priming.
- All insulation to comply with the Energy Efficiency Certificate required by 401.3 2020 Energy Conservation Construction Code of New York, prepared by the Architect.
- If blown or sprayed insulation used, installer of insulation to submit insulation certification to include the installed thickness of the area covered and R-value of the installed thickness shall be listed on the certificate. The insulation installer shall sign, date and post the certificate in a conspicuous location on the job site per N1101.5 of the 2020 Residential Code of New York State and submit an original signed copy for the Building Departments records.
- All work shall be guaranteed for one year after final payment. The general contractor is to furnish written guarantees on his work and all subcontractors work against defects resulting from the use of inferior materials, equipment, or workmanship as determined solely by the Architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to owner.
- Substitutions of equipment or materials other than those shown on the drawings or in the specifications shall be made only upon approval of the Architect or owner as noted on the drawings or in these specifications. The contractor shall submit his substitution for approval before releasing any order for fabrication and/or

- The Architect reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal or detailed on the drawings, which requires any redesign of the structure, partitions, piping, redesign, and all new drawings and detailing required therefore shall, with the approval of the Architect, be prepared by the contractor at his own expense.
- All work shall be installed so that all parts required are readily accessible for inspection, operation, maintenance and repair. Minor deviations from the drawings may be made to accomplish this, but changes of magnitude shall not be made without prior written approval from the Architect.
- Upon completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including but not limited to the following:
 - Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by the owner or others doing N.I.C. work.
 - Removal of all labels from glass, fixtures, and equipment, etc. and spray cleaning of glass and mirrors.
 - Removal of stains, and paint from glass, hardware, finished flooring, cabinets, etc.
 - Final cleaning of all chrome and aluminum metal work.
 - Restoration of property by returning shrubs to original locations, filling of all ruts and raked topsoil and repairs to damaged blacktop.
 - Finish materials and paint colors shall be reviewed and approved by the homeowner.
- The Architect assumes no responsibility for the accuracy or correctness of any material or drawings prepared by others and provided to the Architect.

Energy Notes R-Values & U-Factors
2020 Residential code of NYS - Climate Zone 4A

	Required	Proposed
Ceiling	R-49	R-49
Wall	R-20	R-21
Glazing	0.32 U value	0.32 U value
Floor	R-19	R-19

Design Criteria:
5750 Degree Days
15% Maximum Glazing
R402.2.1 CEILING WITH ATTIC SPACES
* Installing R-38 over 100% of the ceiling area requiring insulation shall be deemed to satisfy the requirement for R-49 insulation wherever the full height of uncompressed R-38 insulation extends over the wall top plate at eaves.
Certification
I, Christina Griffin, Architect A.I.A., hereby states that I have prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the 2020 Residential code of NYS.

INSULATION AND FENESTRATION REQUIREMENT BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR ^a	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b,e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE
4A	0.32	0.55	0.40	49	20 or 13+5 ^c
	MASS WALL R-VALUE ¹	FLOOR R-VALUE	BASEMENT ² WALL R-VALUE	SLAB ³ R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
	8/13(g)	19	10/13(c)	10, 2FT(d)	10/13(c)

- R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.
- The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- Reserved.
- "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.
- R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.
- Reserved.
- Reserved.
- Alternatively, insulation sufficient to fill the framing cavity and providing not less than an R-value of R-19.
- The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- Mass walls shall be in accordance with Section R402.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

DESIGN REQUIREMENTS for the 2020 RESIDENTIAL CODE OF NEW YORK STATE CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

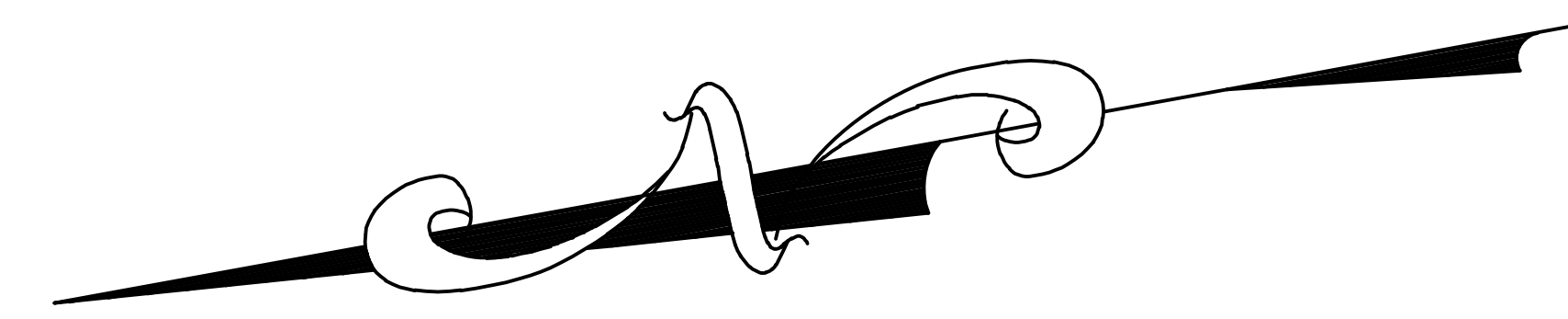
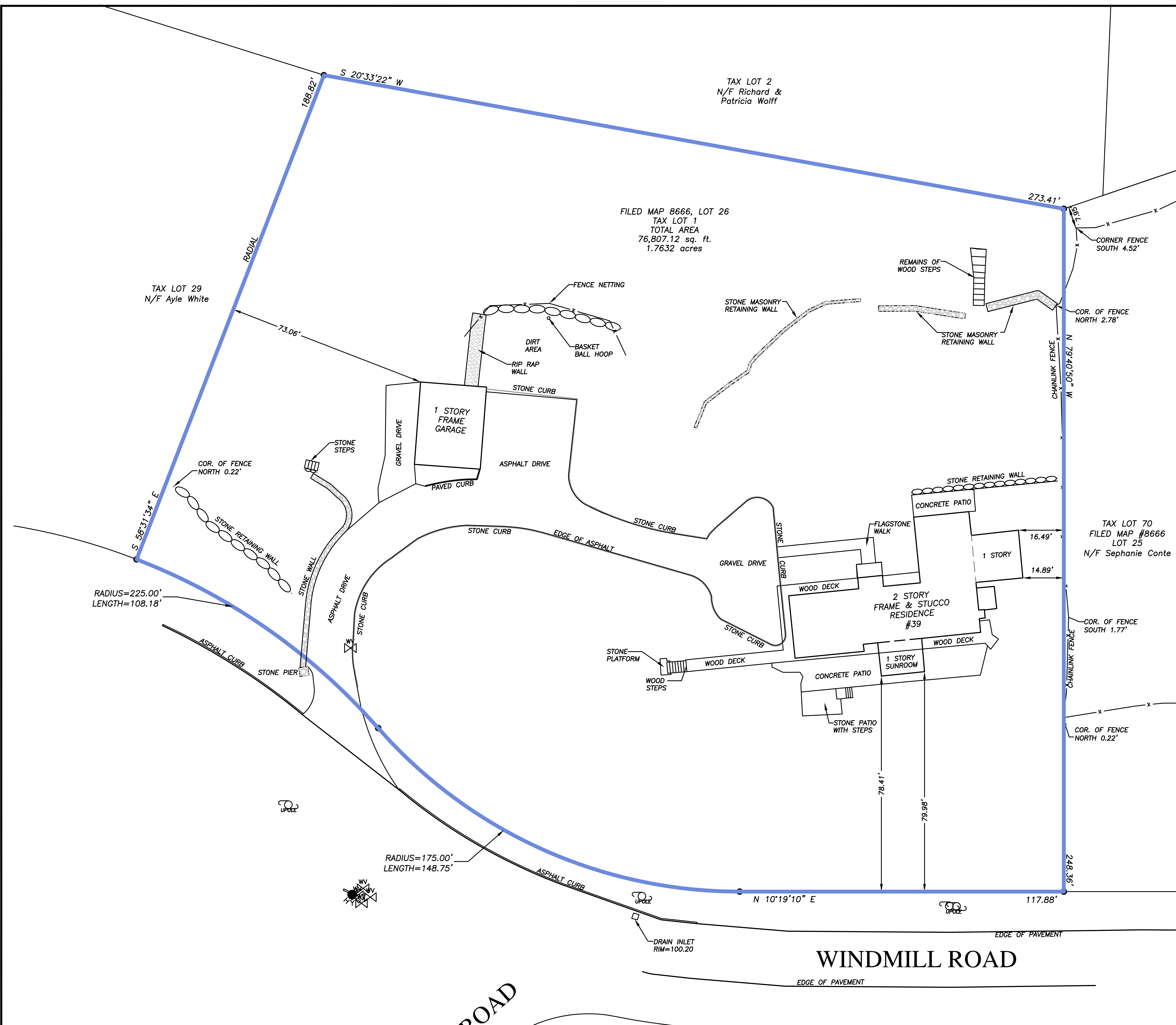
GROUND SNOW LOAD	WIND DESIGN					SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				ICE SHIELD UNDERLAY REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND BORNE DEBRIS ZONE			WEATHERING	FROST LINE DEPTH	TERMITES					
30 PSF	120-130 MPH	NO	YES	NO		B	SEVERE	42"	MODERATE TO HEAVY	YES	N/A	2000	51.6	

DATES

PRELIMINARY PRICING SET 5-25-21
RPRC SUBMISSION 8-20-21

LIST of DRAWINGS

TITLE SHEET	GENERAL NOTES, CLIMATIC & GEOGRAPHIC CRITERIA, DATES, LIST OF DRAWINGS SURVEY
S-1	SITE PLAN, ZONING COMPLIANCE, LOCATION MAP, PHOTOGRAPHS OF EXISTING CONDITIONS
D-1	DEMOLITION PLANS
A-1	FIRST FLOOR PLAN
A-2	SECOND FLOOR & ROOF PLAN
A-3	EXTERIOR ELEVATIONS
A-4	EXTERIOR ELEVATIONS



Only copies from the original of this survey marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Said certifications shall run only to the person for whom this survey is prepared and on his/her behalf to the title company, governmental agency and lending institutions listed hereon. Certifications are not transferable to additional institutions or subsequent owners.

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

Premises hereon being Lot 26 as shown on a certain map entitled, "Subdivision Map Windmill Farm-Section 4." Said map filed in the Westchester County Clerk's Office, Division of Land Records December 14, 1953, as map number 8666.

Surveyed in accordance with Deed Control Number 442780265.

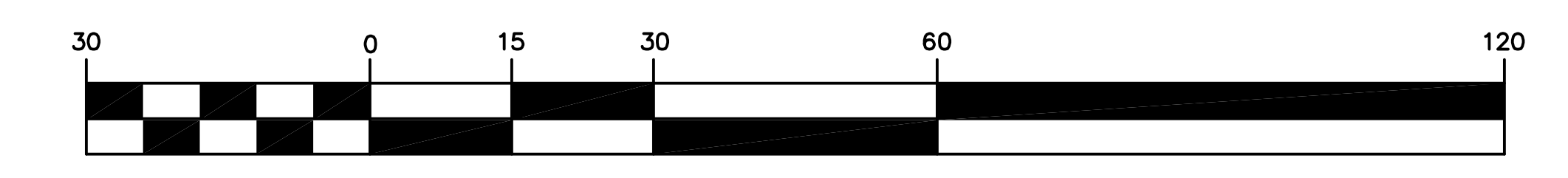
Premises shown hereon designated on the Town of North Castle Tax Maps as: Section 101.04, Block 3, Lot 1.

Property Address: 39 Windmill Road
Armonk, NY 10504

**SURVEY OF PROPERTY
PREPARED FOR
JANE & VLAD RAV**
SITUATE IN THE
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 30'

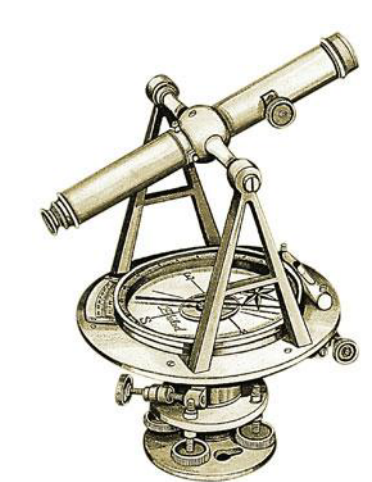
GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

Certified to:
Jane Rav and Vlad Rav
Morgan Stanley Private
Bank, NA ISAOA, ATIMA
First American Title Insurance Company
Register Abstract Company, Inc.
Title# R-14127-W-2021

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ELECTRONIC TRANSMISSION WITHOUT PRIOR PERMISSION
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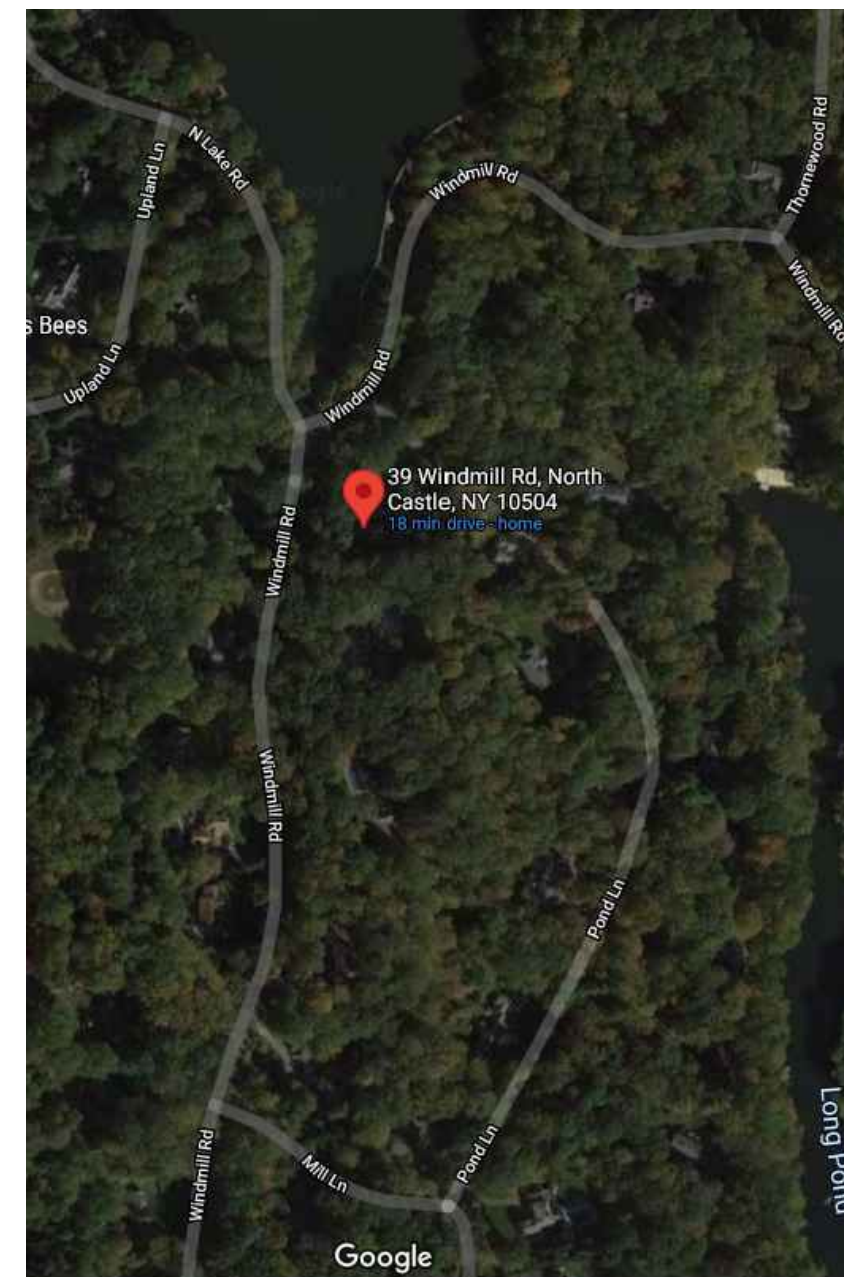
TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899



Surveyed: May 10, 2005
Map Prepared: May 25, 2005
Map Revised: May 13, 2021 to show update and certifications

By: *Daniel T. Merritts*
New York State Licensed Land Surveyor No. 050604

Project: 05-093	Reference: NA
Field Survey By: BC/MC - BFC	Drawn By: SRO - BFC
Project Manager: BFC	Checked By: DM - BFC



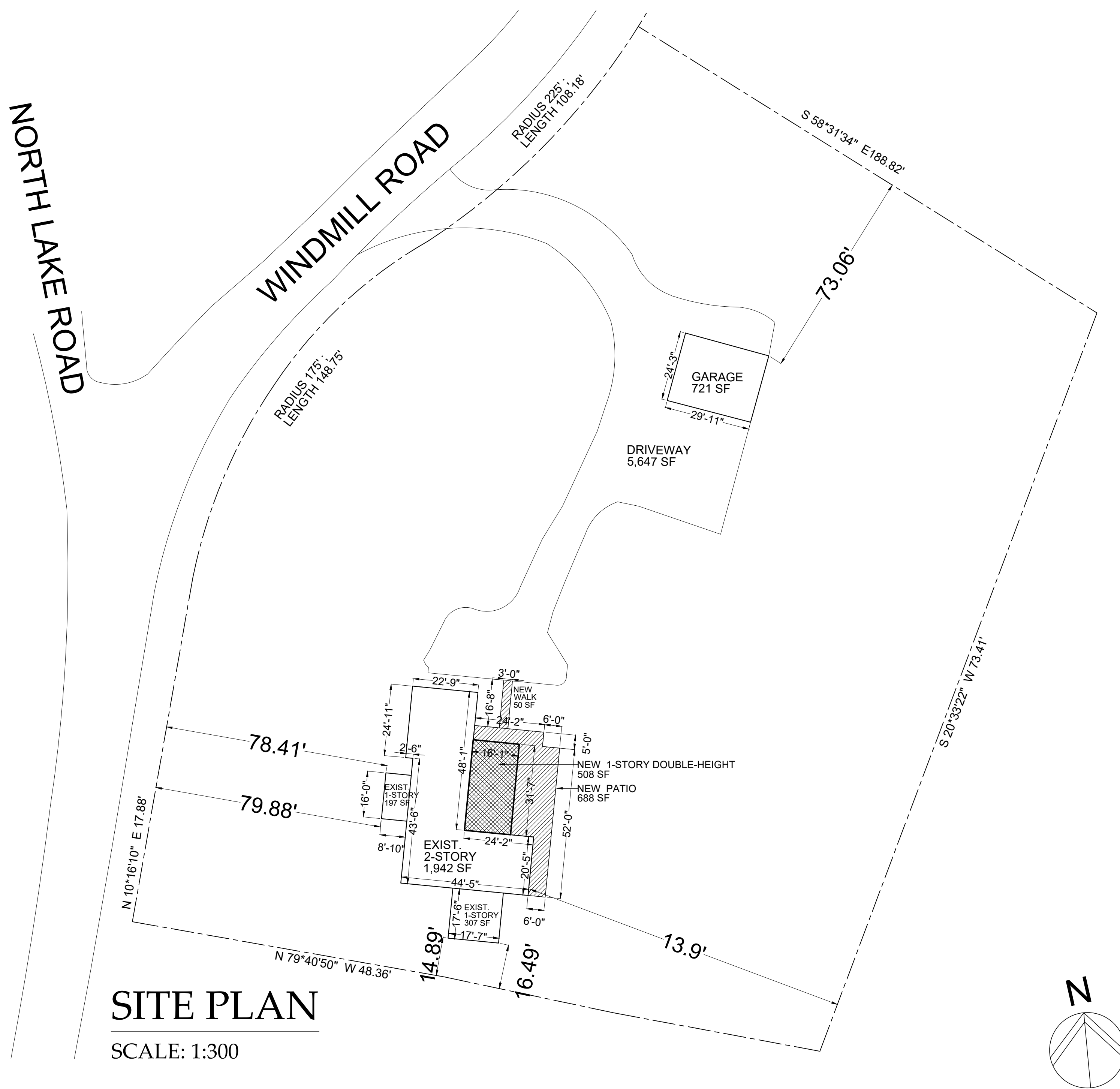
AERIAL LOCATION PHOTO

ZONING CALCULATIONS

39 WINDMILL ROAD, NORTH CASTLE NY: TAX MAP:101.4-3-1		ZONING DISTRICT: R1-A	
	REQUIRED	EXISTING	PROPOSED
PRINCIPAL USE PERMITTED	ONE-FAMILY RESIDENCE	ONE-FAMILY RESIDENCE	ONE-FAMILY RESIDENCE
MIN. LOT SIZE	1 ACRE	76,807 SF (1.7632 Acre)	76,807 SF (1.7632 Acre)
MIN. LOT FRONTAGE	125 FT	[117.88+178+108.18] FT	[117.88+178+108.18] FT
MIN. LOT WIDTH	150 FT	273.41 FT	273.41 FT
MIN. LOT DEPTH	150 FT	188.82 FT / 248.36 FT	188.82 FT / 248.36 FT
MAX. BUILDING COVERAGE (INCLUDES BUILDING, DETACHED GARAGE)	12%	4% (3,167 SF)	5% (3,675 SF)
GROSS LAND COVERAGE (INCLUDES BUILDING, DECK, DRIVEWAY)	9,350 SF + 9% OF LOT AREA IN EXCESS OF 1.0 ACRE = 12,353 SF	10,029 SF (13%)	10,885 SF (14%)
MIN. DWELLING UNIT SIZE	1,200 SF	4,326 SF	4,834 SF
MAX. PERMITTED FLOOR AREA (PER 355-26 B) (INCLUDING DETACHED GARAGE)	9,034 SF + 5% OF LOT AREA IN EXCESS OF 1.5 ACRE = 9,613 SF	5,047 SF	5,555 SF
MIN. FRONT YARD	50 FT	78.41 FT	78.41 FT
MIN. REAR YARD	40 FT	113.9 FT	113.9 FT
MIN. SIDE YARD	25 FT	73.06 FT / 14.89 FT TO EXIST. ADDITION	73.06 FT / 14.89 FT TO EXIST. ADDITION
MAX. BUILDING HEIGHT	30 FT	24 FT	24 FT

SITE PLAN BASED ON SURVEY BY TC MERRITTS LAND SURVEYORS, MAY 10, 2005 & REVISED MAY 13, 2021

<h3 style="margin: 0;">LOCATION MAP</h3> <p style="text-align: right; font-size: small;">SOURCE: NORTH CASTLE TAX MAP</p>	<h3 style="margin: 0;">COVERAGE CALCULATIONS</h3> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>LOT AREA</td> <td colspan="2" style="text-align: center;">76,807 SF</td> </tr> <tr> <td></td> <td style="text-align: center;">EXISTING</td> <td style="text-align: center;">PROPOSED</td> </tr> <tr> <td>PRINCIPAL BUILDING</td> <td style="text-align: center;">2,446 SF</td> <td style="text-align: center;">2,954 SF</td> </tr> <tr> <td>ACCESSORY BUILDINGS (GARAGE)</td> <td style="text-align: center;">721 SF</td> <td style="text-align: center;">721 SF</td> </tr> <tr> <td>DECKS</td> <td style="text-align: center;">N/A</td> <td style="text-align: center;">N/A</td> </tr> <tr> <td>PORCHES</td> <td style="text-align: center;">N/A</td> <td style="text-align: center;">N/A</td> </tr> <tr> <td>DRIVEWAY & WALKWAYS</td> <td style="text-align: center;">5,817 SF</td> <td style="text-align: center;">5,697 SF</td> </tr> <tr> <td>TERRACES & PATIOS</td> <td style="text-align: center;">995 SF</td> <td style="text-align: center;">1,503 SF</td> </tr> <tr> <td>TENNIS COURT, POOL & MECH EQUIP</td> <td style="text-align: center;">50 SF</td> <td style="text-align: center;">10 SF</td> </tr> <tr> <td>ALL OTHER STRUCTURES</td> <td style="text-align: center;">0 SF</td> <td style="text-align: center;">0 SF</td> </tr> <tr> <td>TOTAL IMPERVIOUS COVERAGE</td> <td style="text-align: center;">EXISTING 10,029 SF (13%)</td> <td style="text-align: center;">PROPOSED 10,885 SF (14%)</td> </tr> </table>	LOT AREA	76,807 SF			EXISTING	PROPOSED	PRINCIPAL BUILDING	2,446 SF	2,954 SF	ACCESSORY BUILDINGS (GARAGE)	721 SF	721 SF	DECKS	N/A	N/A	PORCHES	N/A	N/A	DRIVEWAY & WALKWAYS	5,817 SF	5,697 SF	TERRACES & PATIOS	995 SF	1,503 SF	TENNIS COURT, POOL & MECH EQUIP	50 SF	10 SF	ALL OTHER STRUCTURES	0 SF	0 SF	TOTAL IMPERVIOUS COVERAGE	EXISTING 10,029 SF (13%)	PROPOSED 10,885 SF (14%)
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VIEW OF FRONT ELEVATION



VIEW OF NORTH ELEVATION

39 WINDMILL ROAD
PHOTOS OF EXISTING CONDITIONS
 SCALE: N.T.S.

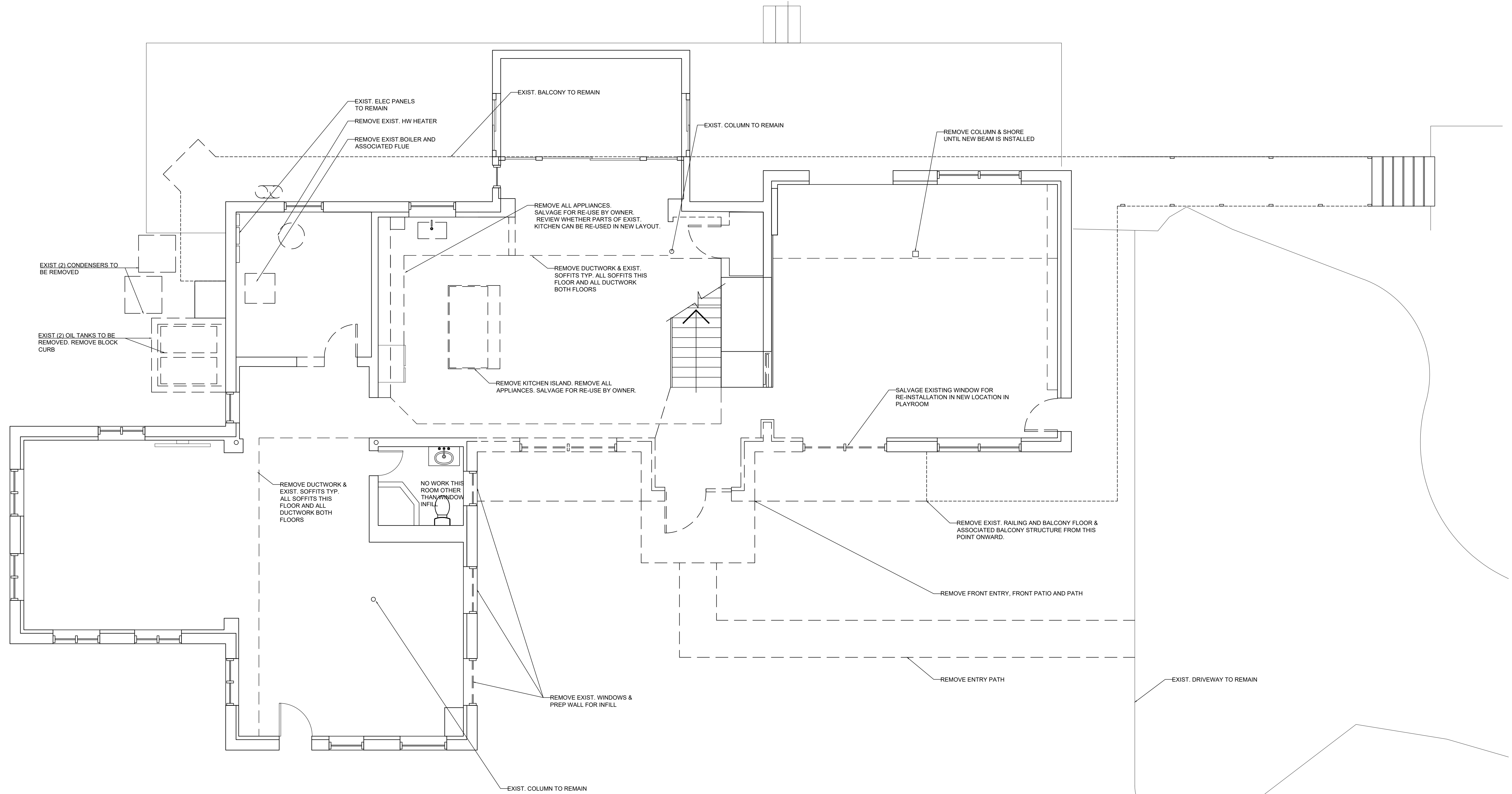


RENOVATIONS & EXTENSIONS TO THE
RAV RESIDENCE
 39 WINDMILL ROAD, NORTH CASTLE, NY 10504

CHRISTINA GRIFFIN ARCHITECT PC
 12 Spring Street
 Hastings-on-Hudson, New York 10706
 914.478.0799
 www.christinagriffinarchitect.com

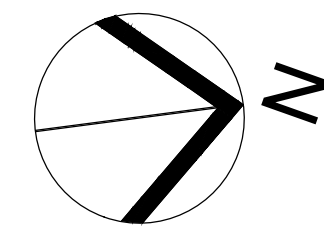
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 RPRC SUBMISSION: 6-20-21
 Drawing Title: FIRST FLOOR DEMOLITION PLAN
 Scale: AS SHOWN

S-1



FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



RENOVATIONS & EXTENSIONS TO THE
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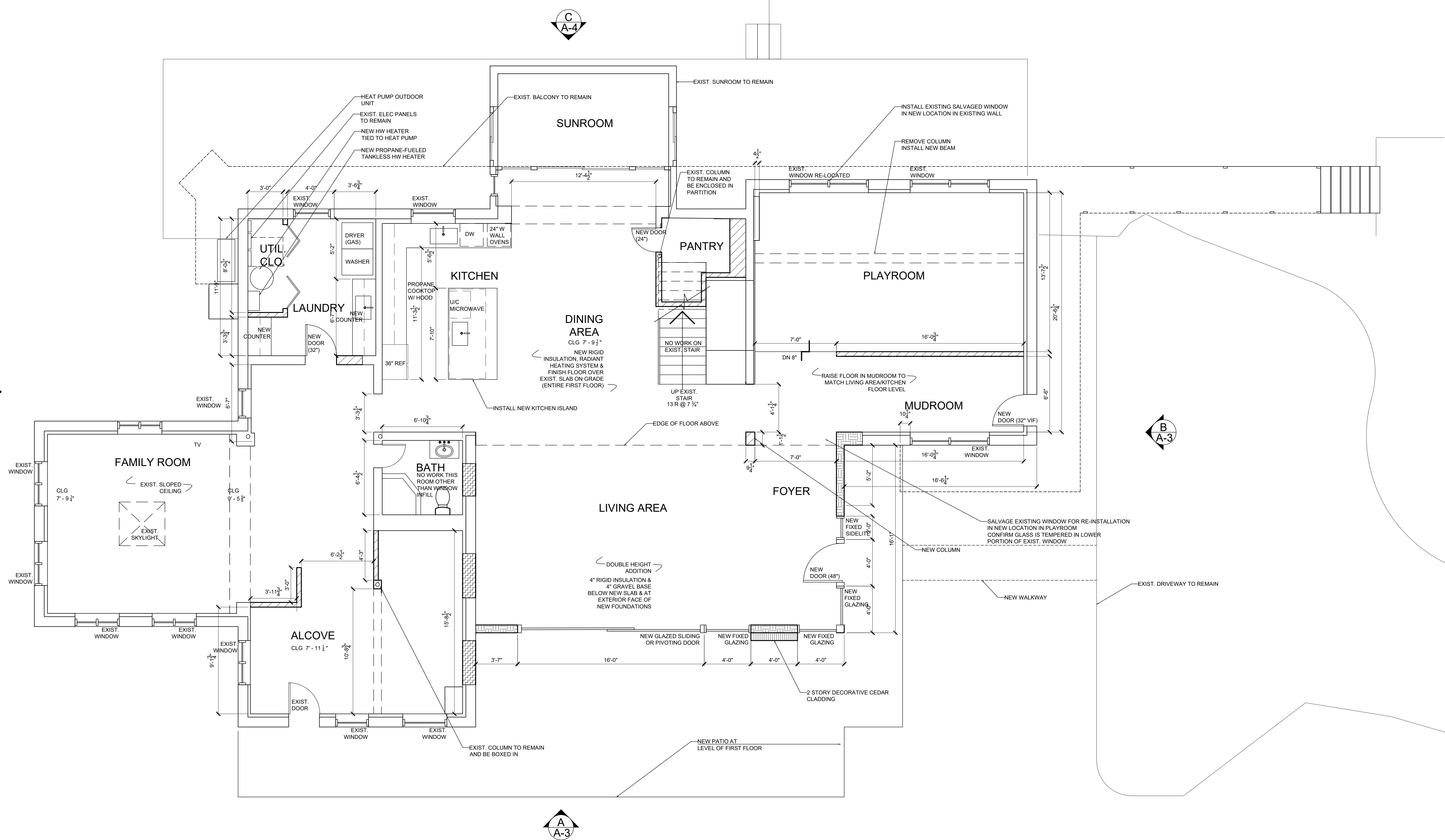
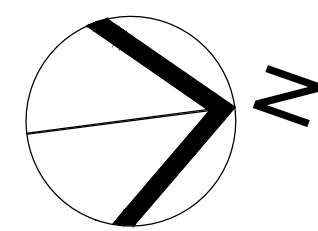
Date: PRELIMINARY PRICING SET 5-25-21
 RPRC SUBMISSION 8-20-21

Drawing Title: FIRST FLOOR DEMOLITION PLAN
 Scale: AS SHOWN

D-1

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



LEGEND			
	NEW INTERIOR WALL: 5/8" gypsum board ea. side of 2x4 studs @ 16" o.c.		ELEVATION NO. / ELEVATION SHEET NO.
	INTERIOR WALL WITH ACOUSTICAL INSULATION: 5/8" gypsum board each side of 2 x 4s @ 16" o.c., 3" Thermal/acoustical insulation		ELEVATION NO. / SECTION DETAIL SHEET NO.
	NEW EXTERIOR WALL: Cementitious siding on wood sheathing 2x6 studs 16" o.c. R-21 Hemp insulation, 5/8" gypsum board.		DOOR TYPE, FOR DESCRIPTION, SEE SPECIFICATIONS - DOOR SCHEDULE
	EXTERIOR WALL INFILL TYPE E2: Cladding to match adjacent exterior wall on plywood sheathing 2x6 studs 16" o.c. (or other size as required to match exist. adjacent wall thickness) R-21 Hemp insulation, 5/8" gypsum board.		WINDOW TYPE, FOR DESCRIPTION, SEE SPECIFICATIONS - WINDOW SCHEDULE
	FOUNDATION WALL: 10" reinforced concrete wall, stucco finish above grade, troweled on waterproofing below grade.		



RENOVATIONS & EXTENSIONS TO THE
RAV RESIDENCE
 39 WINDMILL ROAD, NORTH CASTLE, NY 10504

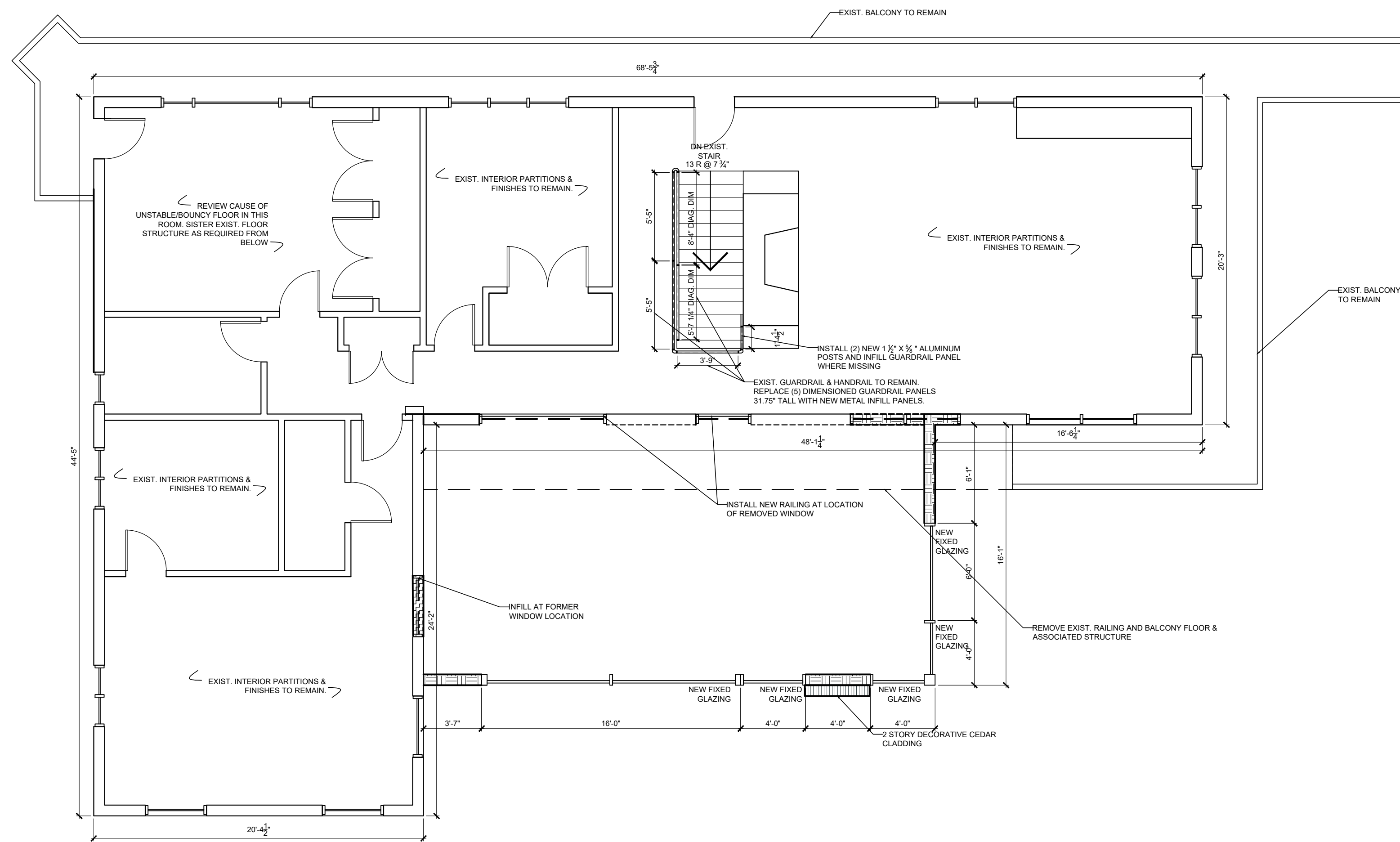
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Date: PRELIMINARY PRICING SET 5-25-21
 RPRC SUBMISSION 8-20-21

Drawn by: FIRST FLOOR PLAN

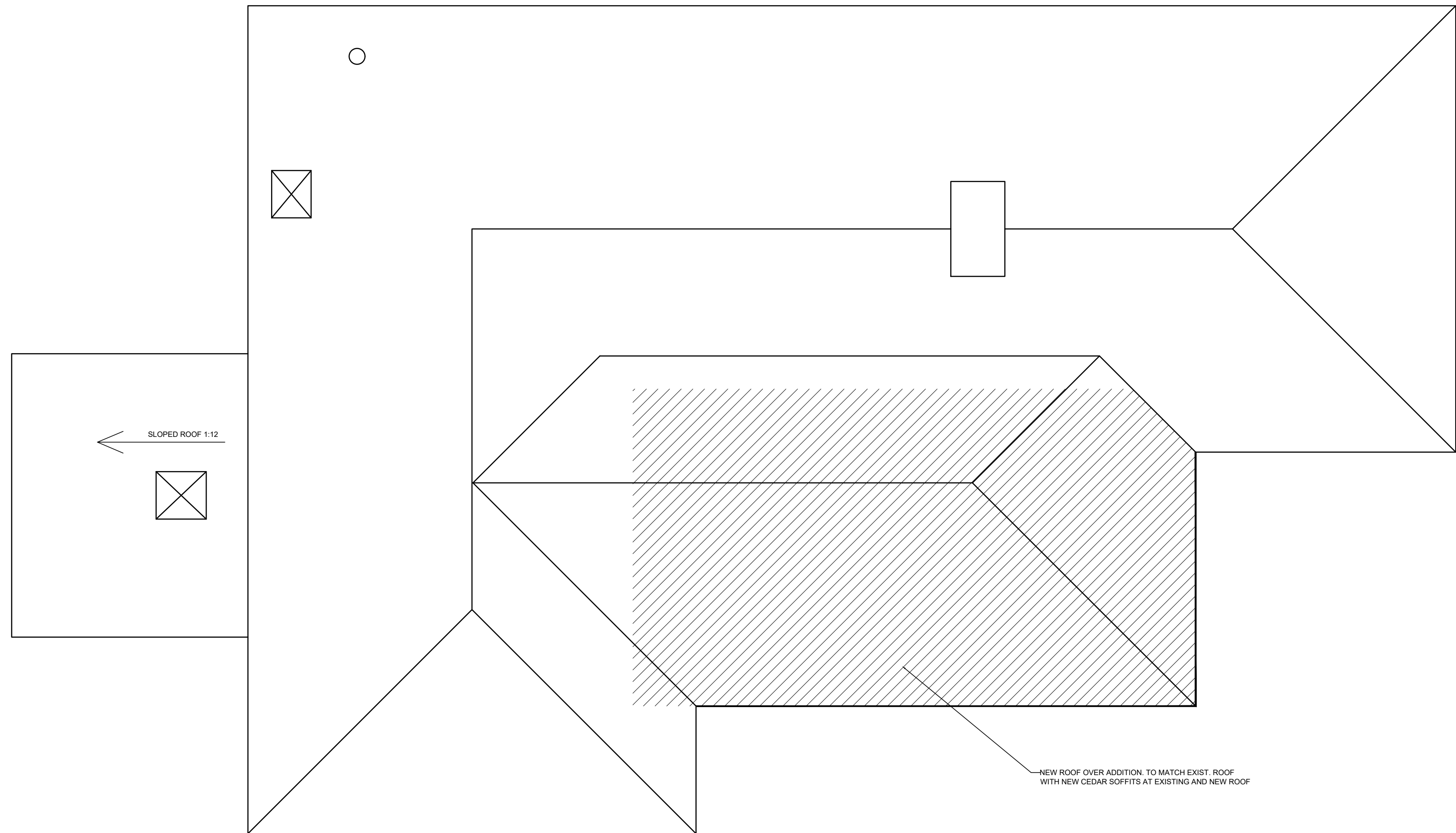
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A-1



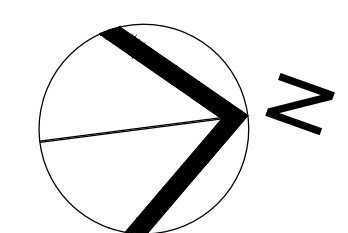
SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"



ROOF PLAN

SCALE: 3/16" = 1'-0"



LEGEND	
	NEW INTERIOR WALL: 5/8" gypsum board ea. side of 2x4 studs @ 16" o.c.
	INTERIOR WALL WITH ACOUSTICAL INSULATION: 5/8" gypsum board each side of 2 x 4s @ 16" o.c., 3" Thermal/acoustical insulation
	NEW EXTERIOR WALL: Cementitious siding on wood sheathing 2x6 studs 16" o.c. R-21 Hemp insulation, 5/8" gypsum board.
	EXTERIOR WALL INFILL TYPE E2: Cladding to match adjacent exterior wall on plywood sheathing 2x6 studs 16" o.c. (or other size as required to match exist. adjacent wall thickness) R-21 Hemp insulation, 5/8" gypsum board.
	FOUNDATION WALL: 10" reinforced concrete wall, stucco finish above grade, troweled on waterproofing below grade.
	ELEVATION NO. ELEVATION SHEET NO.
	ELEVATION NO. SECTION DETAIL SHEET NO.
	DOOR TYPE, FOR DESCRIPTION, SEE SPECIFICATIONS - DOOR SCHEDULE
	WINDOW TYPE, FOR DESCRIPTION, SEE SPECIFICATIONS - WINDOW SCHEDULE

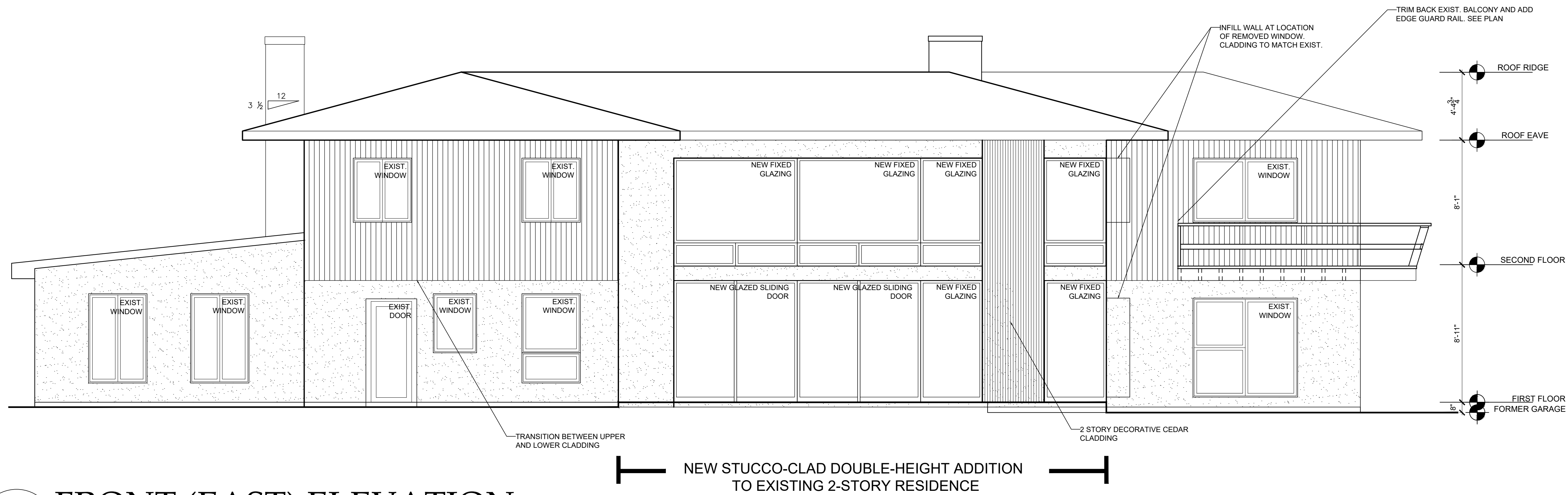


RENOVATIONS & EXTENSIONS TO THE
RAV RESIDENCE
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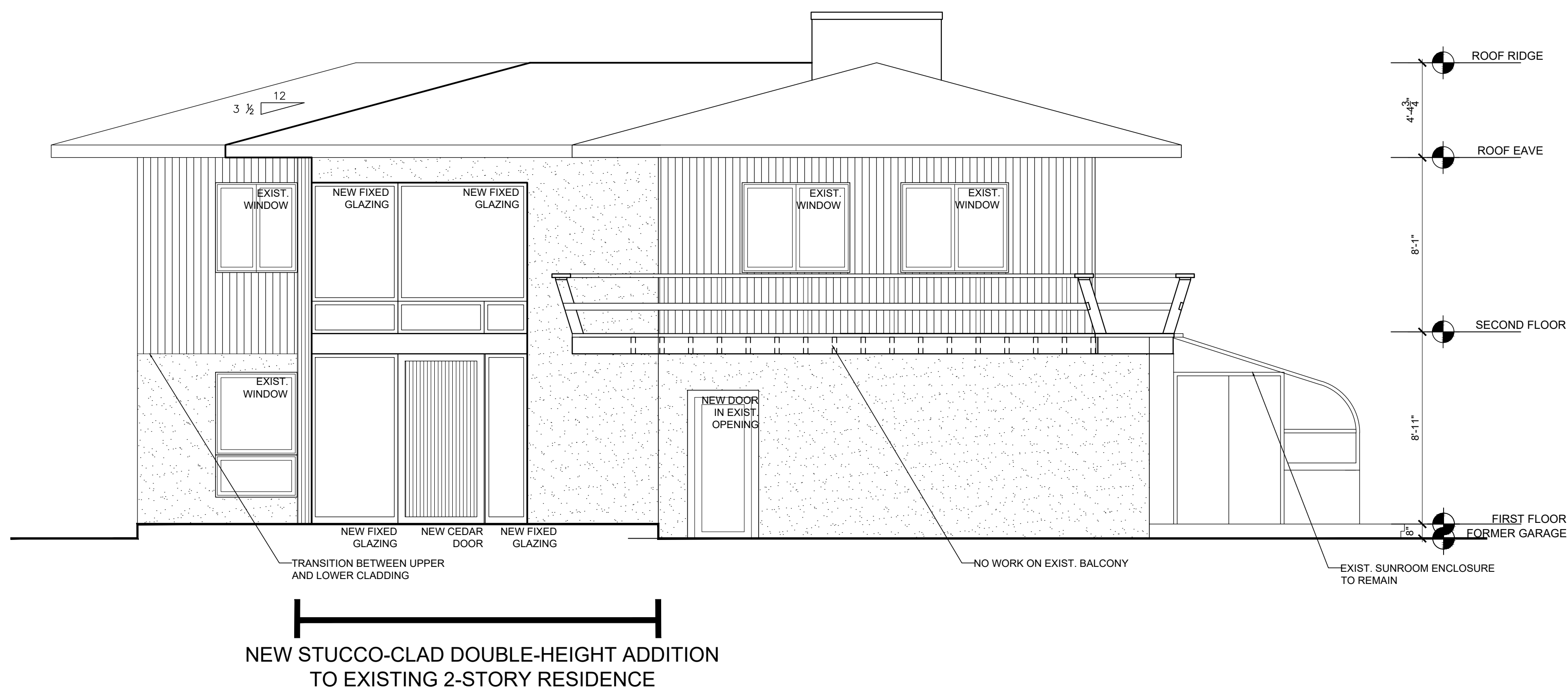
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 914.478.0799
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Date	PRELIMINARY PRICING SET 5-25-21
	RFPC SUBMISSION 8-20-21
Drawings Title	FIRST FLOOR PLAN
Scale:	AS SHOWN

A-2



A FRONT (EAST) ELEVATION
 A-3 SCALE: 1/4" = 1'-0"



B NORTH ELEVATION
 A-3 SCALE: 1/4" = 1'-0"

RENOVATIONS & EXTENSIONS TO THE
RAV RESIDENCE
 39 WINDMILL ROAD, NORTH CASTLE, NY 10504

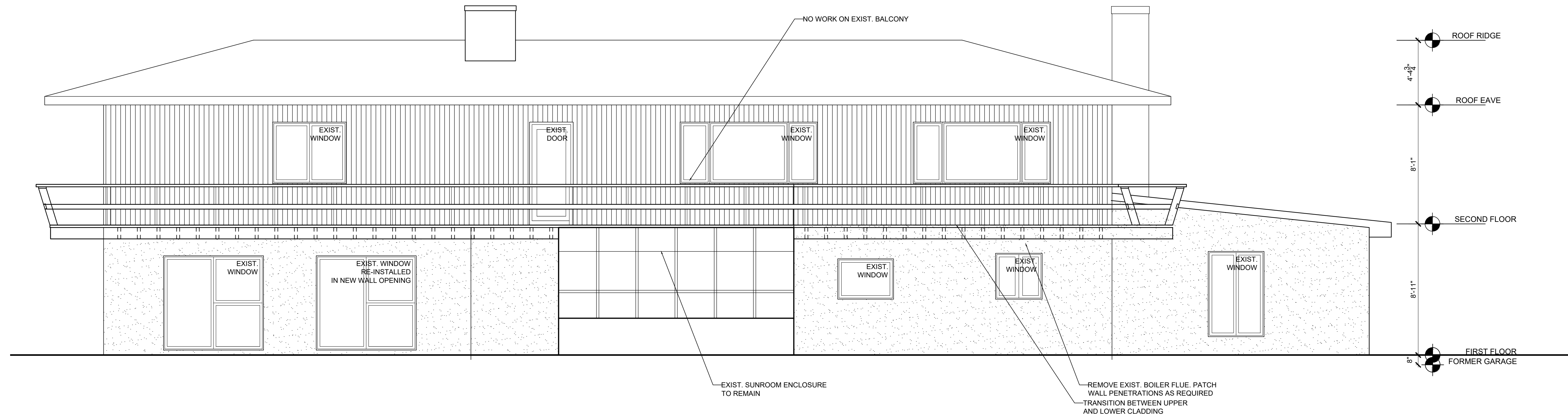
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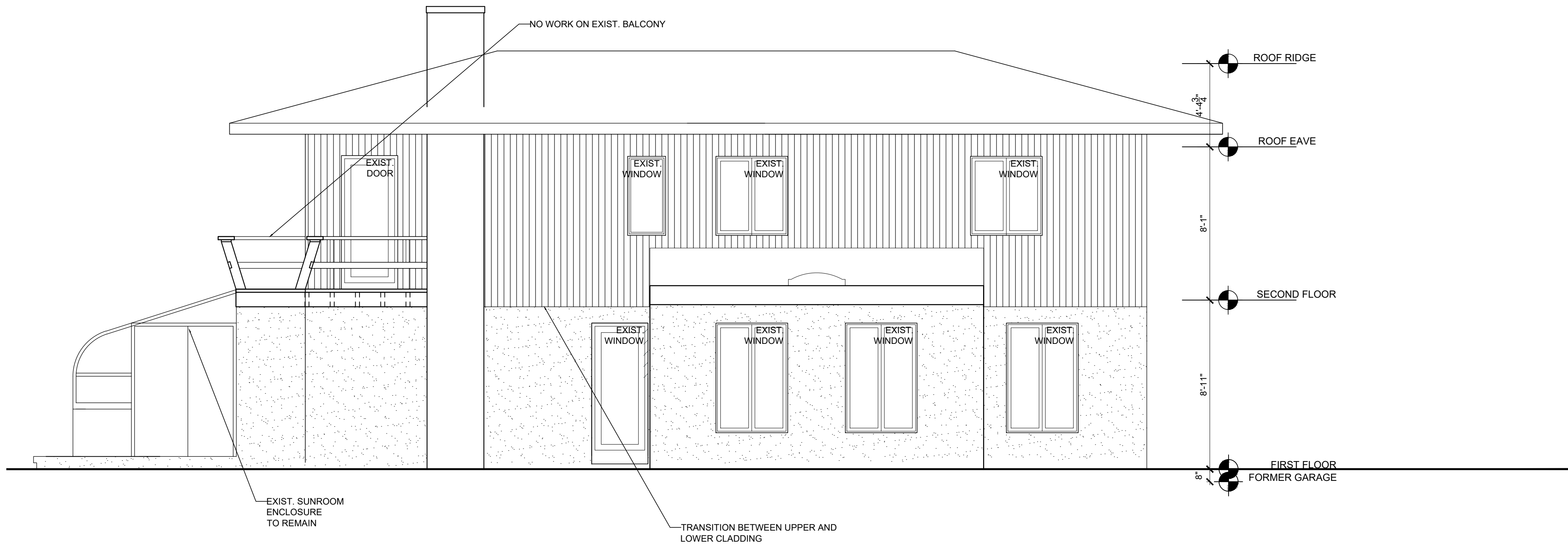
Drawing Title: ELEVATION & SECTION
 Scale: AS SHOWN



A-3



C REAR (WEST) ELEVATION
A-4 SCALE: 1/4" = 1'-0"



D SOUTH ELEVATION
A-4 SCALE: 1/4" = 1'-0"

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Date: PRELIMINARY PRICING SET 5-25-21
 RFP SUBMISSION 8-20-21

Drawing Title: ELEVATION & SECTION
 Scale: AS SHOWN



A-4