



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: _____

Section III- DESCRIPTION OF WORK:

Section III- CONTACT INFORMATION:

APPLICANT: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROPERTY OWNER:

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____

EMAIL: _____

Section IV- PROPERTY INFORMATION:

Zone: _____ Tax ID (lot designation) _____



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

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- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



**TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
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**PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning**

**Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com**

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 3 Patriots Farm Ct Armonk NY 10504 Date: 08.12.21

Tax Map Designation or Proposed Lot No.: 102.03-2-13

Gross Lot Coverage

- | | | |
|-----|--|-----------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>101871.1</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>14376.3</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback
<u>0</u> x 10 = <u>0</u> | <u>0</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>14376.3</u> |
| 5. | Amount of lot area covered by principal building :
<u>4258</u> existing + <u>632</u> proposed = | <u>4890</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of lot area covered by decks :
<u>186</u> existing + <u>0</u> proposed = | <u>186</u> |
| 8. | Amount of lot area covered by porches :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u>4157</u> existing + <u>801</u> proposed = | <u>4948</u> |
| 10. | Amount of lot area covered by terraces :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u>2060</u> existing + <u>0</u> proposed = | <u>2060</u> |
| 12. | Amount of lot area covered by all other structures :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>12084</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4, your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

08.12.21
Date





**TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning**

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 3 Patriots Farm Ct Armonk NY 10504 Date: 08.12.21

Tax Map Designation or Proposed Lot No.: 102.03-2-13

Floor Area

1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>101,871.3</u>
2.	Maximum permitted floor area (per Section 355-26.B(4)):	<u>10,712.0</u>
3.	Amount of floor area contained within first floor: _ <u>3573</u> existing + <u>0</u> proposed =	<u>3573</u> +
4.	Amount of floor area contained within second floor: _ <u>1682</u> existing + <u>0</u> proposed =	<u>1682</u>
5.	Amount of floor area contained within garage: _ <u>815</u> existing + <u>632</u> proposed =	<u>1447</u>
6.	Amount of floor area contained within porches capable of being enclosed: _ <u>0</u> existing + _____ proposed =	<u>0</u>
7.	Amount of floor area contained within basement (if applicable – see definition): _ <u>2300</u> existing + <u>0</u> proposed =	<u>2300</u>
8.	Amount of floor area contained within attic (if applicable – see definition): _ <u>0</u> existing + <u>0</u> proposed =	<u>0</u>
9.	Amount of floor area contained within all accessory buildings: _ <u>0</u> existing + <u>0</u> proposed =	<u>0</u>
10.	Proposed floor area: Total of Lines 3 – 9 =	<u>9002</u>

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



GENERAL NOTES

1. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE TOWN OF NORTH CASTLE NY BUILDING CODE AND ZONING ORDINANCES, THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AS WELL AS ENGINEERING & FIRE DEPARTMENT REGULATIONS AND ALL APPLICABLE LAWS, UTILITY COMPANY REQUIREMENTS, & THE BEST TRADE PRACTICES.

2. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR OR ANY SUBCONTRACTOR(S) DOING ANY WORK UNDER THIS CONTRACT SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH BUILDING DEPARTMENT, AND SHALL BE ENTIRELY RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM ALL AUTHORITIES HAVING JURISDICTION ON THIS MATTER, INCLUDING BUT NOT LIMITED TO ENVIRONMENTAL, ASBESTOS REMOVAL PERMITS, IF SO REQUIRED BY OWNER. THE OWNER SHALL BE RESPONSIBLE FOR PAYING PERMIT FEES REQUIRED BY THE LOCAL BUILDING DEPARTMENT AND FEES REQUIRED BY ALL OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION THEREON.

3. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS ON PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. ALL WRITTEN MEASUREMENTS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

4. CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS BY ALL AUTHORITIES AND/OR GOVERNMENTAL AGENCIES HAVING JURISDICTION ON THIS MATTER, AS MAY BE NECESSARY.

5. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS, AND THE ARCHITECT SHALL BE NOTIFIED IN WRITING PRIOR TO COMMENCEMENT OF WORK.

6. THE CONTRACTOR SHALL COMPLY WITH AND KEEP HIMSELF INFORMED OF ALL FEDERAL, STATE, MUNICIPAL AND DEPARTMENTAL LAWS, ORDINANCES, RULES AND REGULATIONS, NOTICES, ORDERS AND REQUIREMENTS.

7. THE ARCHITECTURAL FIRM HAS NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR SUPERVISION. ARCHITECT'S LIABILITY IS STRICTLY LIMITED TO THE CONTENTS OF WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS ONLY. ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO PLANS & SPECIFICATIONS UNLESS SPECIFICALLY AUTHORIZED BY HIM IN WRITING. ARCHITECT HAS NOT BEEN RETAINED FOR ASBESTOS INVESTIGATION. ARCHITECT IS NOT RESPONSIBLE FOR ANY KIND OF DESIGN & SPECIFICATIONS RELATED TO ASBESTOS PRESENCE.

8. DAMAGED WORK. EACH CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE CAUSED TO ANY WORK ON THIS PROJECT BY HIS OWN FORCES OR BY HIS SUB-CONTRACTORS, OR BY OTHERS CONNECTED WITH HIS OPERATION ON THIS PROJECT IN ANY WAY AND SHALL MAKE ALL NECESSARY REPAIRS AND RESTORE TO THE REASONABLE SATISFACTION OF HIS EMPLOYER THE WORK AND MATERIALS OF THE OWNER. 9. SAFETY REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE NECESSARY BRACINGS AND BARRICADES INCLUDING TEMPORARY WALLS, FENCES AND OTHER PROTECTIVE STRUCTURES TO SAFEGUARD CONSTRUCTION AND PUBLIC SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROTECTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.

10. THE CONTRACTOR SHALL TAKE OUT HIS OWN WORK AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES. ELECTRICAL, PLUMBING ETC. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING REPAIRS AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR & OBTAIN INSPECTIONS AND RECORD SIGN-OFFS.

11. ALL FIRING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

12. JOB MAINTENANCE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SITE IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES. CONTRACTORS WORKING UNDER SEPARATE CONTRACTS WILL COOPERATE IN THIS REQUIREMENT, BUT THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE REQUIRED CLEANING AND MAINTENANCE OF THE SITE.

A. WASTE MATERIALS, RUBBISH, DEBRIS, BROKEN CONCRETE, PACKING CASES, ETC., SHALL BE REMOVED. PRIOR TO TURNING BUILDING OVER TO OWNER REMAINING RUBBISH SHALL BE REMOVED, THE GROUND AREAS RAKED CLEAN AND THE ENTIRE BUILDING CLEANED AS SPECIFIED UNDER "CLEANING".

B. CLEANING. IMMEDIATELY BEFORE TURNING THE PROJECT OR PARTS OF SAME OVER TO THE OWNER, THE GENERAL CONTRACTOR SHALL WASH AND CLEAN THE FOLLOWING:

A. REMOVE TEMPORARY PROTECTION.

B. REMOVE MARKS, STAINS AND OTHER DIRT FROM PAINTED DECORATED AND FINISHED WOODWORK.

C. REMOVE SPOTS, MORTAR, PLASTER, SOIL AND PAINT FROM CERAMIC TILES AND OTHER FINISH MATERIALS AND WASH OR WIFE CLEAN.

D. CLEAN FINISHES, CABINET WORK AND EQUIPMENT AND LEAVE IN UNIMPARED NEAT APPEARING CONDITION.

E. CLEAN ALUMINUM AND OTHER FINISH METALS IN ACCORDANCE WITH MFG. RECOMMENDATIONS.

F. CLEAN RESILIENT FLOORS THOROUGHLY TO REMOVE ANY SURFACE DIRT AND POLISH TO UNIFORM SHEEN.

G. CLEAN BOTH SIDES OF GLASS.

GENERAL SPECIFICATIONS

SITE WORK

1. THE WORK UNDER THIS SECTION SHALL INCLUDE FURNISHING ALL LABOR, MATERIALS, TOOLS, APPLIANCES AND EQUIPMENT AND PERFORMING ALL OPERATIONS NECESSARY FOR COMPLETE EXECUTION OF CLEARING, EXCAVATING, BACKFILLING AND GRADING AS INDICATED HERE AND IN WORKING DRAWINGS.

A. REMOVE ALL BRUSH WITHIN CONTRACT AREA.

B. REMOVE UNNECESSARY WALLS, FOUNDATION CURBS, AS INDICATED ON PLANS.

C. EXCAVATION OF EARTH, ROCK, AND OBSTRUCTIONS BELOW PRESENT GRADES AS NECESSARY FOR NEW FOUNDATIONS, UTILITY TRENCHES AND SITE GRADING.

D. MIN. 6" POROUS FILL UNDER INTERIOR CONCRETE GROUND SLAB.

E. FURNISHING AND PLACING SHORING AND REMOVAL OF SAME FROM SITE.

F. BACKFILLING AGAINST FOUNDATION WALLS, PIERS AND FOOTINGS AND UTILITY TRENCHES WHERE INDICATED. UNDER NO CIRCUMSTANCES SHALL EXCAVATION CONTRACTOR BACKFILL AGAINST FOUNDATION WALLS. DIAGONAL SHORING AT INSIDE OF FOUNDATION WALLS SHALL BE PROVIDED @ 8'-0" O.C. PRIOR TO BACKFILLING.

G. SITE DRAINAGE SHALL BE EXECUTED ACCORDING TO A SEPARATE DRAINAGE PLAN PREPARED BY A CERTIFIED ENGINEER.

2. EXCAVATING. EXCAVATING SHALL INCLUDE REMOVAL OF ALL MATERIALS TO PERMIT PROPER WORKING CLEARANCE AND INSTALLATION OF CONCRETE FOUNDATIONS, WALLS, PIERS, BREAKWAYS, SLABS, PLATFORMS, FILL UNDER SLAB AND ANY BRACING, UNDERPINNING AND WATERPROOFING. ALL ROCK REMOVED SHALL BE DONE BY MEANS OF MECHANICAL HAMMER OR HYDRAULIC SPLITTER. ARCHITECT'S COST ESTIMATE FOR REMOVAL OF UNDERGROUND ROCK FORMATIONS & ROCK BED FOR COMPLETION OF PROJECT SHALL BE FINAL & BINDING. UNDER NO CIRCUMSTANCES SHALL ROCK-BLASTING BE PERMITTED ON THIS JOB SITE.

3. BACKFILLING & GRADING. CONTRACTOR SHALL BACKFILL AS PROMPTLY AS THE WORK SITE PERMITS, COMPLYING WITH GRADES AND ELEVATIONS INDICATED ON WORKING DRAWINGS.

A. EARTH FOR BACKFILL SHALL CONSIST OF CLEAN, EASILY COMPACTED BACKFILL, FREE FROM EXCESS CLAY, DEBRIS OR ORGANIC MATTER.

B. BACKFILL SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS OF NOT MORE THAN 12" DEPTH, RUDDLED AND TAMPED OR ROLLED, SO AS TO PREVENT FUTURE SETTLEMENT.

C. ENTIRE AREAS UNDER INTERIOR CONCRETE SLAB SHALL BE BACKFILLED WITH 4" TO 6" DURABLE CLEAN BRUSHED TRAP ROCK COMPACTED AND LEVELLED TO A REASONABLY EVEN SURFACE OR AS PER SITE PLAN.

4. UTILITY TRENCHES. ALL UTILITY TRENCHES SHALL BE EXCAVATED TO ALLOW UTILITY LINES TO BE PLACED BELOW THE FROST LINE MIN. 3' - 6".

5. SEEDING. LANDSCAPING IS NOT THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. OWNER SHALL PROVIDE A SEPARATE LANDSCAPING CONTRACTOR AT HIS OWN EXPENSE. COST OF ANY DAMAGES TO BUILT STRUCTURES OR SITE STRUCTURES DUE TO LANDSCAPING CONTRACTOR'S NEGLIGENCE ARE SOLELY THE RESPONSIBILITY OF THE LANDSCAPING CONTRACTOR.

CONCRETE & MASONRY

1. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR EQUIPMENT AND APPLIANCES REQUIRED FOR THE COMPLETE EXECUTION OF ALL CONCRETE FOUNDATION WORK, CONCRETE SLABS AND PLATFORMS, CONCRETE FOOTINGS AND MASONRY WALLS AS INDICATED IN WORKING DRAWINGS.

2. ALL CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 4000 PSI AFTER 28 DAYS, INCLUDING FOOTINGS, PIERS, SLABS AND PLATFORMS. ALL CONCRETE EXPOSED TO WEATHER MUST BE AIR ENTRAINED.

3. CONCRETE SLAB, PIER AND FOOTINGS SHALL BE OF THE SIZE AND THICKNESS INDICATED ON PLANS. INTERIOR CONCRETE SLAB SHALL BE PROVIDED WITH COMBINATION EXPANSION JOINTS WATER STOP WHERE INDICATED ON PLANS. PERIMETER OF SLAB ADJOINING WALLS SHALL HAVE 12" EXPANSION JOINT WITH BITUMINOUS FILLER.

4. CONCRETE SLAB SHALL BE PROVIDED WITH #6@10"X10" WELDED WIRE MESH REINFORCING THROUGHOUT. PERIMETER OF SLAB AREA ON BACKFILL SHALL RECEIVE #4 RE-BARS 24" O.C. TIED INTO FOUNDATION WALL OR AS INDICATED ON PLANS.

5. VAPOR BARRIER UNDER INTERIOR SLAB SHALL BE (2) @ MILS. THICK, UNLESS OTHERWISE INDICATED ON DRAWINGS.

6. TOP OF CONCRETE SLAB TO RECEIVE CERAMIC TILE OR CARPETING AND SHALL BE SCREENED TO AN EVEN, TRUE LEVEL PLANE, FLOATED AND TROWELED TO A HARD SMOOTH AND EVEN FINISH.

7. ALL MASONRY UNITS SHALL BE OF THE SIZE INDICATED ON THE PLANS. NON-CORROSIVE DURO-WALL TIES TO BE PROVIDED EVERY OTHER COURSE BETWEEN MASONRY JOINTS & #4 VERTICAL REBARS @ 32" O.C. OR AS INDICATED ON PLANS. SEE SPECIFICATIONS ON DRAWINGS FOR POURED CONCRETE WALLS REINFORCING.

8. CEMENT FOR MASONRY SHALL BE PORTLAND CEMENT CONFORMING TO ASTM DESIGNATION C144 PASSING NO. 80 SIEVE, HYDRATED LIME SHALL CONFORM TO ASTM DESIGNATION C-6.

9. MORTAR FOR THE ENTIRE WORK EXCEPT OTHERWISE SPECIFIED SHALL BE PROPORTIONED BY VOLUME 1 PART PORTLAND CEMENT, 1/4 PART HYDRATE LIME, AND 3 PARTS SAND. WATER / CEMENT RATIO SHALL BE 0.35 - 0.40 MAXIMUM.

METALS

1. STRUCTURAL STEEL - ALL STRUCTURAL STEEL SHALL CONFORM TO REQUIREMENTS OF ASTM - A 36 LATEST EDITION. SIZE AND LOCATION OF ALL STRUCTURAL STEEL IS INDICATED ON WORKING DRAWINGS. THIS INCLUDES STEEL BEAMS, STEEL PIPE COLUMNS, STEEL ANGLES, AND STEEL BRACING USED AS HEADERS OVER DOORS AND WINDOWS.

WOOD & PLASTICS

1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR NO. 1 AND 2 COMMON HAVING A MIN. ALLOWABLE BENDING STRENGTH OF 4000 PSI.

2. LUMBER SIZE AND SPACINGS AS INDICATED ON WORKING DRAWINGS.

3. ALL PLYWOOD SHALL BE MIN. 1/2" "CDX" EXTERIOR GRADE FOR SIDING AND MIN. 5/8" "CDX" FOR ROOF DECKING, OR AS INDICATED ON PLANS.

4. ALL FRAMING LUMBER SHALL BE KILN DRIED.

5. ROOF TRUSSES WIDER THAN 24" O.C. SHALL HAVE 2" X 4" WOOD BLOCKING UNDER ALL PLYWOOD JOINTS (IF APPLICABLE).

6. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL WITH FLOOR SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE RAFTERS & CEILING JOISTS AROUND ALL SKYLIGHT OPENINGS (IF APPLICABLE).

THERMAL & MOISTURE PROTECTION

1. INSULATION - ALL EXTERIOR WALLS, CEILING AND ROOFS, AS INDICATED ON WORKING DRAWINGS AND PER NY STATE ENERGY CODE - LATEST EDITION.

2. EXTERIOR DOOR FRAMES AND WINDOWS AND WINDOW FRAMES AND WINDOW WALLS SHALL BE CALKED WITH NON-BITUMINOUS, NON-STAINING "MONO" MANUFACTURED BY TREMCO OR EQUAL AND PACKED WITH INSULATION AT EDGES TO PREVENT DIRECT AIR INFILTRATION.

DOORS & WINDOWS

1. ALL DOORS AND WINDOWS SHALL BE SIZE, TYPE AND FIRE RATING INDICATED ON PLANS AND SCHEDULES. ALL GLAZING SHALL BE REGULAR INSULATED FRAME INSULATED GLASS BY ANDERSEN WINDOWS & DOORS MFG. OR APPROVED EQUIVALENT. SEE PLANS FOR ADDL INFO.

2. EXTERIOR DOORS SHALL HAVE INSULATING CORES WITH AN ALUMINUM SADDLE OR EQUIVALENT INDICATED ON PLANS. ALL DOORS TO GARAGES AND MECHANICAL ROOMS SHALL BE EQUIPPED WITH SELF-CLOSING HINGES. ALL DOOR FIRE RATINGS SHALL BE AS INDICATED ON PLANS.

FINISHES

1. CONCRETE SLAB - CONCRETE FLOOR SLABS SHALL BE CLEANED AND TREATED WITH SEALER TO HELP SLAB RESIST ABRASION WEAR, IMPACT AND CRACKING AND CONCRETE DUST. SEALER TO PREVENT PENETRATION OF WATER, OILS, GREASES AND SOLVENTS.

2. MASONRY WALLS - SPLIT-RIB BLOCK TO BE TREATED WITH WATERPROOFING AGENT UPON COMPLETION.

3. FRAME WALLS - FRAME WALLS SHALL RECEIVE GYPSUM BOARD PANELS (THICKNESS - INDICATED ON PLANS) WHICH SHALL RECEIVE 2 COATS OF PAINT PROVIDING A WASHABLE FINISHED SURFACE. BATHROOMS SHALL RECEIVE STANDARD GRADE CRYSTALLINE CERAMIC TILE, OR PER OWNER'S INSTRUCTIONS OVER CEMENT BOARD AS REQUIRED. ALL BATH GYPSUM BOARD SHALL BE MOISTURE RESISTANT TYPE.

ELECTRICAL

1. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A NY STATE WESTCHESTER COUNTY LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM WITH ALL PROVISIONS OF THE NYS BUILDING CODE, NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL CODES.

PLUMBING

1. ALL PLUMBING WORK SHALL BE APPROVED BY THE LOCAL BOARD OF HEALTH OR BLDG. DEPARTMENT, AND SHALL BE PERFORMED BY A NY STATE WESTCHESTER COUNTY LICENSED PLUMBING CONTRACTOR.

2. HOSE DRAIN AND SEWER LINE WILL BE CAST IRON PIPE OR AS REQUIRED BY LOCAL PLUMBING CODES. ALL BELOW GRADE WASTE PIPING TO BE EXTRA HEAVY CAST IRON WITH LEAD AND OAKUM JOINTS.

3. ALL HOT AND COLD WATER LINES TO BE TYPE L COPPER, W/MS SOLDERED JOINTS, COPPER FITTINGS AND BRASS VALVES AND PROPER SIZE. PROVIDE (1) 3/4" HOSE BID AS INDICATED ON PLANS. PROVIDE CHECK RELATED SHUT-OFF VALVES UNDER ALL FIXTURES. HOSE CONNECTIONS TO BE ANTI-FREEZE.

4. PROVIDE HOT AND COLD WATER LINES TO DISHWASHER, CLOTHES WASHER AND TO ALL OTHER FIXTURES. ALL PLUMBING FIXTURES ARE TO BE MFG. BY AMERICAN STANDARD, KOHLER OR EQUIVALENT, MODEL # TO BE SELECTED BY OWNER.

HEATING

1. HEATING CONTRACTOR SHALL GUARANTEE THAT THE HEATING SYSTEM SHALL BE PROPERLY DESIGNED, INSTALLED AND ADJUSTED TO MAINTAIN A CONSTANT 70° F INDOOR TEMPERATURE WHEN OUTDOOR TEMPERATURE IS 0° F WITH A 15 MPH WIND.

2. HEATING SYSTEM SHALL BE GAS FIRED (OIL IF GAS NOT AVAILABLE). HEATING SYSTEM SHALL HAVE A MIN. COMBUSTION EFFICIENCY OF 78% AT MAX. RATED OUTPUT. ALL HOT WATER PIPING SHALL RECEIVE MIN. 1" OF PIPE INSULATION WHEN IN UNHEATED SPACES. IN ADDITION TO REGULAR BUILDING INSULATION.

3. EXTERIOR JOINTS AROUND WINDOWS AND WINDOW FRAMES, UTILITY SERVICES AND OTHER SUCH OPENINGS IN BLDG. ENVELOPE SHALL BE CALKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED.

4. HVAC CONTRACTOR SHALL SIZE SYSTEMS, DETERMINE MAKE & MODEL #S OF HEATING AND COOLING SYSTEMS, AND SHALL PROVIDE THIS INFORMATION TO LOCAL BUILDING DEPARTMENT IN CONFORMANCE WITH THE ENERGY CODES.

STEEL & CONCRETE DESIGN DATA

STEEL DESIGN DATA

STRUCTURAL STEEL: A36

ASTM A992 GR 50

TUBE COLUMNS: ASTM - A500, GRADE B

HIGH STRENGTH BOLTS: ASTM - A325

SHAPES & PLATES: ASTM - A36

WELDING ELECTRODES - SERIES: E70

ANCHOR BOLTS: F1554 (NY-36KSI)

CONCRETE DESIGN DATA

1. ALL CONCRETE WORK (BOTH MATERIALS & CONSTRUCTION PROCEDURES) SHALL BE IN ACCORDANCE WITH AC308-2005.

2. CONCRETE SHALL BE CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.

3. REINFORCING BARS SHALL BE DEFORMED BILLET STEEL BARS IN ACCORDANCE WITH ASTM A615, GRADE 60. ALL DETAILING OF REINFORCING SHALL BE IN ACCORDANCE WITH ACI STANDARD 315.

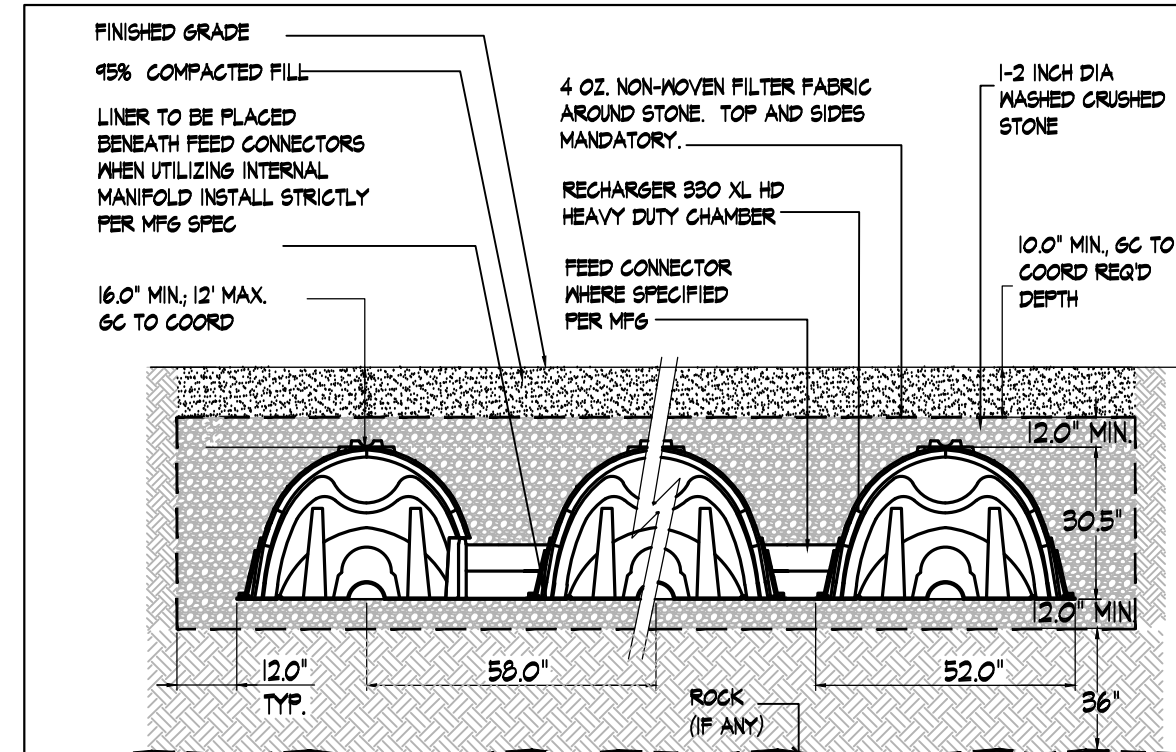
4. CALCIUM CHLORIDE OR SOLUTIONS CONTAINING CHLORIDE WILL NOT BE PERMITTED AS ADMIXTURES IN ANY CONCRETE.

5. CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

BEAMS AND COLUMN TIES: 1/2" FOR #5 OR SMALLER, 2" FOR #6 OR LARGER SLABS: 3/4"

6. DETAILING AND FABRICATION OF REINFORCING UNLESS OTHERWISE NOTED, SHALL BE IN ACCORDANCE WITH ACI 318, LATEST EDITION.

7. PLACING AND SUPPORTS OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS" AND ACI-318.



STORM DRAINAGE CALCULATIONS

THIS PROJECT RESULTS IN THE CREATION OF IMPERVIOUS SURFACE AREAS OF 1363 SF IMPERVIOUS SURFACES CREATED 1363 SF X 0.625 (50 YEAR RAIN EVENT 15") = 851.8 CU FT. PROPOSED (1) NEW CULTEC 330 XL HD RECHARGER UNITS WITH 12" GRAVEL ABOVE & 12" BELOW CHAMBER AS WELL AS 12" GRAVEL BORDER. PROPOSED CHAMBER CAPACITY SHALL THEREFORE BE 884 CU FT.

CULTEC RECHARGER GENERAL NOTES: RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.82 CU/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS. ALL RECHARGER 330XL HD HEAVY DUTY UNITS SHALL BE MARKED WITH 12" COB STRIKE FORCES TO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

R) SWM RECHARGER DETAIL

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD (psf)	WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM		WINTER DESIGN REQUIRED	ICE BARRIER UNDERLAYMENT	FLOOD HAZARDS	AIR FREEZING INDEX (TEMP)	MEAN ANNUAL TEMP			
	Speed (mph)	Special wind region		Weathering	Frost line						TEMPERATURE		
20 psf	315	NO	YES	NO	NO	SEVERE	3'-6"	TO HEAVY	15deg F	YES	See Below	1500	52deg F

(a) first code date of adoption July 9, 1980 (b) date of Flood Insurance Study Jan. 21, 1998 (c) map panel numbers 36119C0307 through 36119C0338F effective Sept. 28, 2007

CLIMATE ZONE	INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT									
	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT R-VALUE	SLAB R-VALUE/DEPTH	CRAWL SPACE/WALL R-VALUE
4	0.32	0.85	0.4	49	20 or 13.5	8/13	19	10/13	10, 2 FT	10/13
TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
4	0.32	0.85	0.026	0.06	0.098	0.047	0.059			0.055

TABLE R402.1.4 EQUIVALENT U-FACTORS

3 PATRIOTS FARM CT

ARMONK NEW YORK

BUILDING INFORMATION

EX BASEMENT.....2300 SF
EX FIRST FLOOR.....3573 SF
EX SECOND FLOOR.....1682 SF
EXISTING TOTAL FLOOR AREA.....7555 SF

EXIST 3 CAR GARAGE.....815 SF
NEW 3 CAR GARAGE ADDITION.....632 SF

DESIGN LOADS

ROOF: LIVE LOAD SNOW 40 PSF
DEAD LOAD 10 PSF

ATTIC: LIVE LOAD (4.5' HEADRM) 30 PSF
LIVE LOAD (4.5' HEADRM) 20 PSF
DEAD LOAD 10 PSF

1ST / 2ND FLR: LIVE LOAD 40 PSF
DEAD LOAD 10 PSF

IMPERVIOUS SURFACE TABULATION

EXISTING ASPHALT DRIVEWAY 4151 SF
EXISTING FRONT WALK 217 SF
EXISTING FRONT MALK 109 SF
EX. POOL #1 PATIO 185 SF
EX. REAR DECK & STEPS 122 SF
EX. POOL EQUIPMENT 4258 SF
EXISTING PRINCIPAL BUILDING FOOTPRINT 4258 SF

TOTAL EXISTING IMPERVIOUS SURFACES 10921 SF

PROPOSED ASPHALT DRIVEWAY 4448 SF
PROPOSED FRONT MALK 266 SF
EX. POOL #2 PATIO 185 SF
EX. REAR DECK & STEPS 122 SF
EX. POOL EQUIPMENT 4258 SF
EXISTING PRINCIPAL BUILDING FOOTPRINT 4258 SF
NEW GARAGE ADDITION 632 SF

TOTAL NEW IMPERVIOUS SURFACE 12350 SF

NET CHANGE IN IMPERVIOUS SURFACES +1363 SF

NYS ENERGY CODE COMPLIANCE STATEMENT

THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE PROPOSED WORK WHICH IS SHOWN IN THE PLANS OR SPECIFICATIONS IS IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE

ZONING INFORMATION SCHEDULE

GENERAL CODE	TOWN OF NORTH CASTLE	EX ZONE	R-2A DISTRICT 102.03-2-B
ITEM	REQ/ALLOWED	EXISTING	PROPOSED
LOT AREA (SQUARE FT)	2 ACRES	18164.84 SF (18.01 ACRES)	NO CHANGE
LOT AREA NET (MINUS 7% WETLANDS: 940761) 97015-243525)		101871.51 SF (23 ACRES)	NO CHANGE
FRONTAGE (FT)	150.00	278.72	NO CHANGE
LOT WIDTH	150.00	226	NO CHANGE
LOT DEPTH	150.00	354.21	NO CHANGE
FRONT YARD SETBACK (FT)	50.00	65.4	50.0
REAR YARD SETBACK (FT)	50.00	46.5	NO CHANGE
SIDE YARD 1ST/2ND (FT)	30.00	31.00	NO CHANGE
MAX. FLOOR AREA	10712	8510	9002
MAX BUILDING COVERAGE	8%	4.3%	4.8%
MAX GROSS LAND COVERAGE	14876.34 SF	10491 SF	12350 SF
BUILDING HEIGHT FEET	30	--	NO CHANGE

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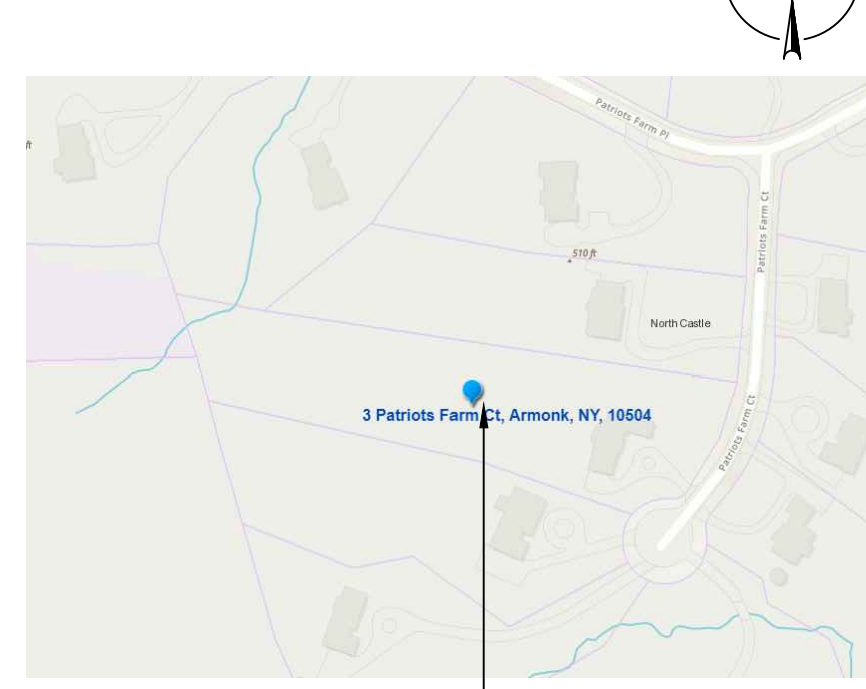
Greenburgh: 6 Burns Street, Hartsdale, NY 10530
Yonkers: 77 Remsen Road, Yonkers, NY 10710

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LOCATION MAP



AREA OF WORK

NOTE:
Drawings may be printed at reduced scale

TAX MAP ID#: 102.03-2-B ZONE: R-2A

LIST OF DRAWINGS

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T-2	DETAILS
T-3	MAPS & GOOGLE EARTH AERIAL VIEW
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A-1	EXIST PARTIAL FLOOR PLAN & EX. EXT ELEVATIONS
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A-4	PROPOSED EXTERIOR ELEVATIONS
A-5	PROPOSED SECTIONS AND DETAILS

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NO.	DATE	ISSUE/REV.

CLIENT
JONATHAN & JENNIFER CLARK
3 PATRIOTS FARM CT
ARMONK NY 10504

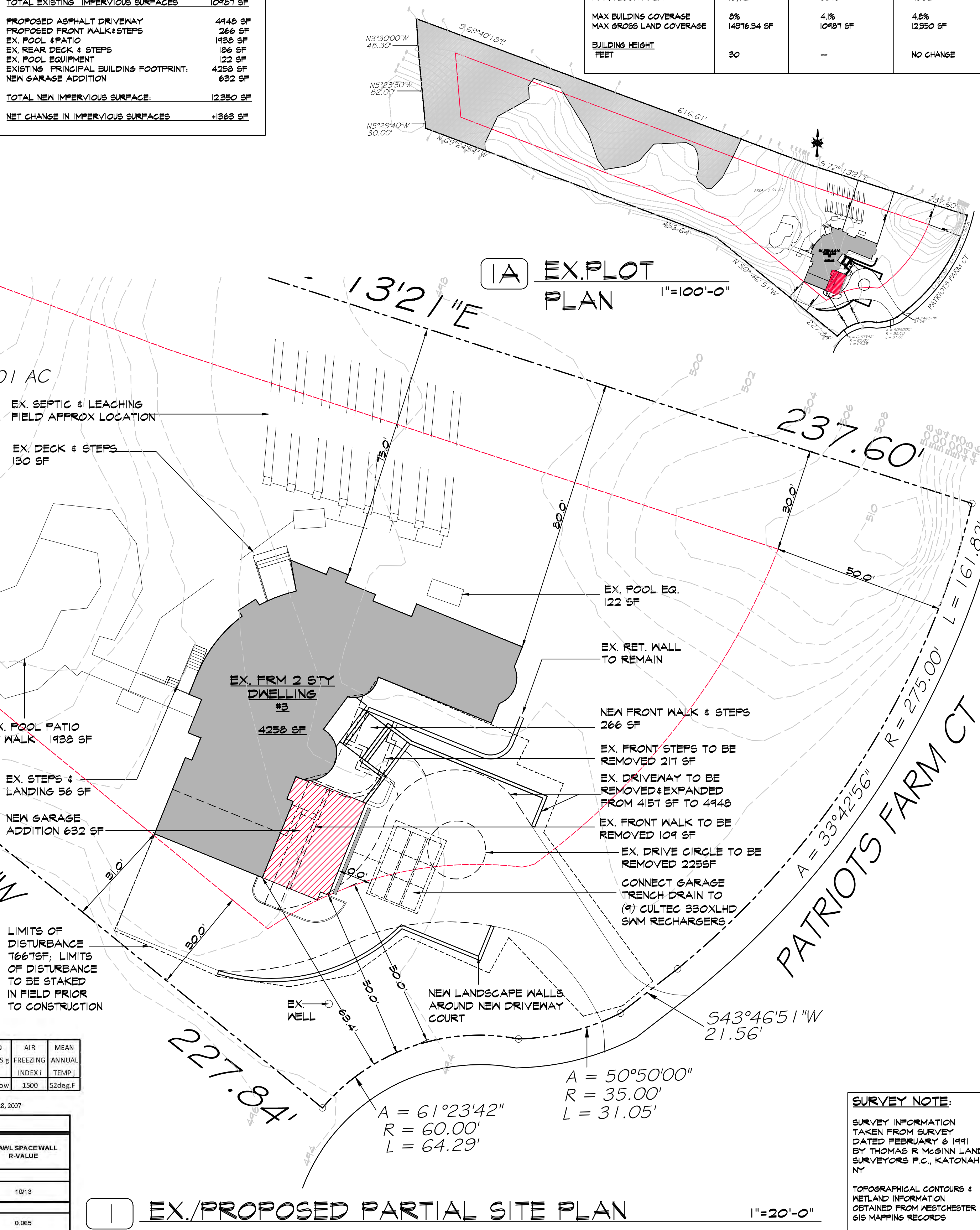
PROJECT
PROPOSED THREE-CAR GARAGE ADDITION AND RECONFIGURATION OF FRONT WALK, STEPS AND DRIVEWAY COURT :

3 PATRIOTS FARM CT, ARMONK NY 10504

DRAWINGS TITLE
TITLE SHEET, SITE PLAN, & NOTES

DRAWN BY	CHECKED BY	PROJECT NO.
SI	NF	210405

DATE	05.14.21
DRAWING NO.	

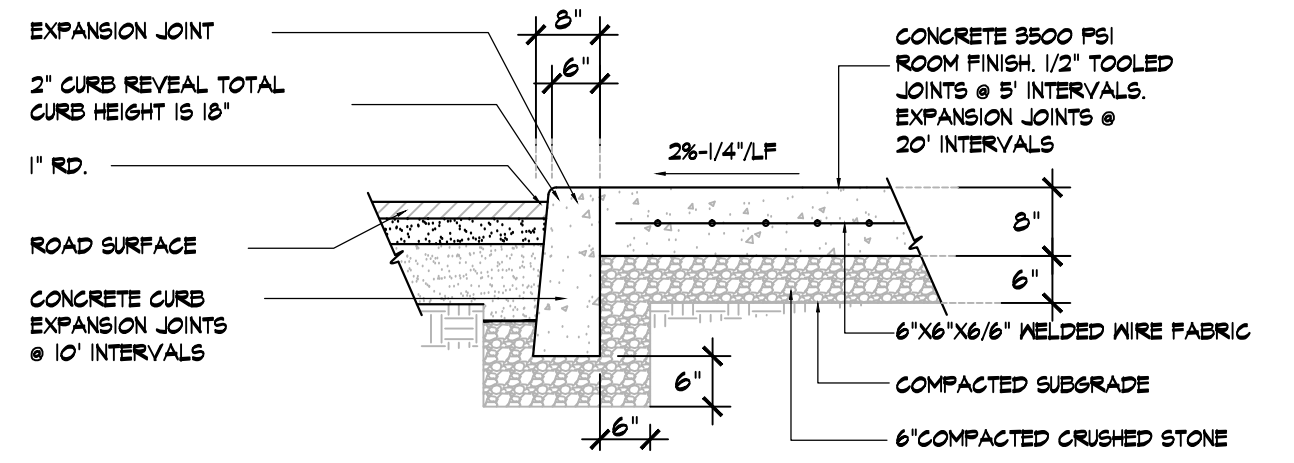


EX. PROPOSED PARTIAL SITE PLAN

1"=20'-0"

CONSTRUCTION SEQUENCE

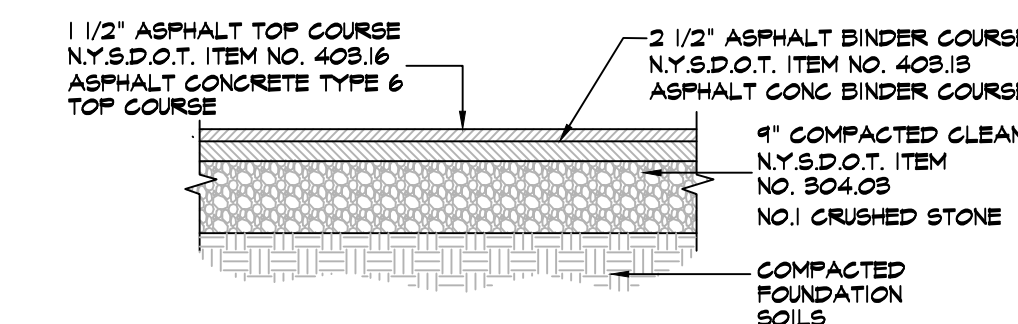
1. INSTALL SILT FENCE IN GENERAL LOCATIONS INDICATED ON PLAN.
2. BEGIN EXCAVATION FOR FOUNDATION OF NEW GARAGE STRUCTURE ADDITION & FRONT STEPS
3. INSTALL NEW FOUNDATION WALLS AS SHOWN ON PLANS
4. INSTALL DRAINAGE STRUCTURES AND PIPES
5. INSTALL SUB-BASE OF PROPOSED DRIVEWAY ADDITION WHERE REQUIRED
6. UPON COMPLETION OF GRADING OPERATIONS, INSTALL FINISHED DRIVEWAY SURFACE
7. TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS AS SOON AS PRACTICAL IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL NOTES CONTAINED ON THIS PAGE.



- GENERAL NOTES:**
1. CONTRACTOR MUST HAVE INSPECTION PRIOR TO PLACING GRAVEL OR POURING CONCRETE
 2. NO WORK TO BE DONE ON WEEKENDS OR HOLIDAYS UNLESS INSPECTOR IS NOTIFIED AND ARRANGEMENTS HAVE BEEN MADE WHERE AN INSPECTOR CAN BE PRESENT AT THE CONTRACTOR'S EXPENSE
 3. ENTIRE WORK AREA TO BE KEPT CLEAN AND PROPERLY BARRICADED. A MINIMUM OF 4 FEET OF PEDESTRIAN RIGHT OF WAY IS TO BE PROVIDED AND MAINTAINED AROUND THE CONSTRUCTION AREA. ALL DWELLINGS, UNITS & BUSINESSES MUST HAVE PROPER ACCESS.
 4. NO ASH IS ALLOWED IN PLACE OF GRAVEL.
 5. ALL UTILITY CASTINGS MUST BE FLUSH WITH SIDEWALK SURFACE. NO TRIPPING HAZARDS OR ENCROACHMENTS ARE PERMITTED.
 6. NO TREE ROOTS ARE TO BE DAMAGED, CUT OR REMOVED WITHOUT CITY ARBORIST APPROVAL.

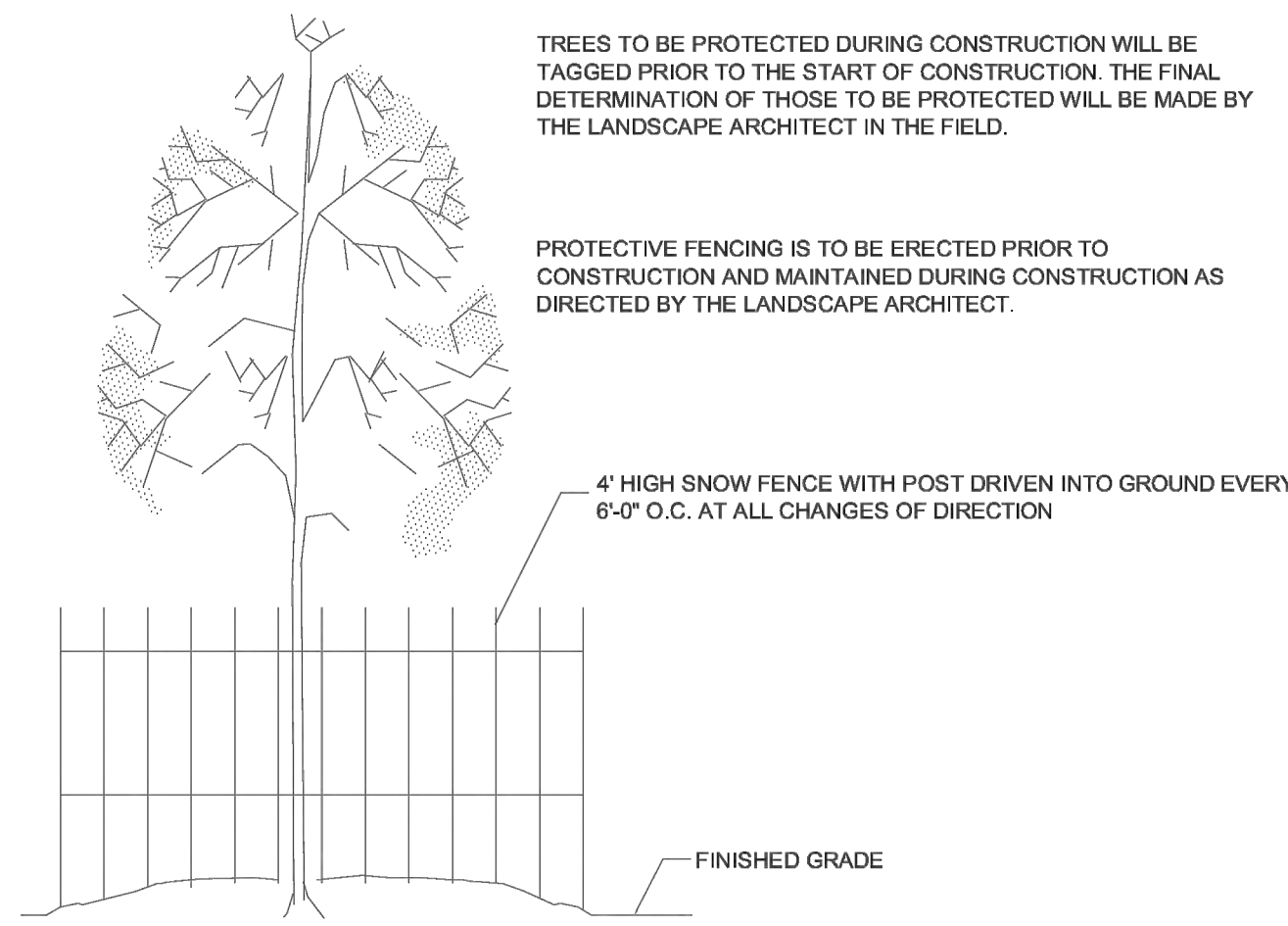
C1: DROP CURB DETAIL

Scale: N.T.S.



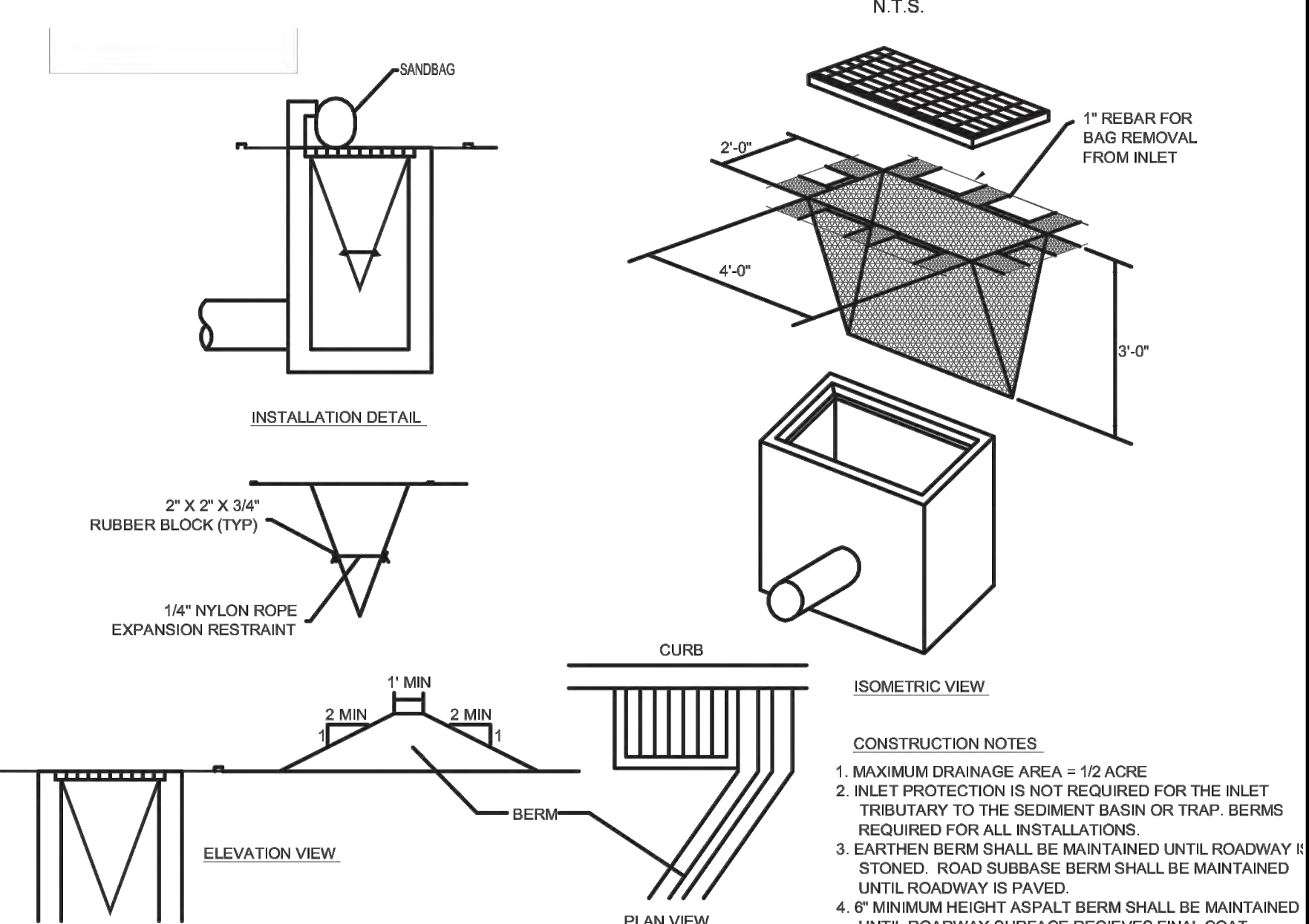
D2: DRIVEWAY DETAIL

Scale: N.T.S.



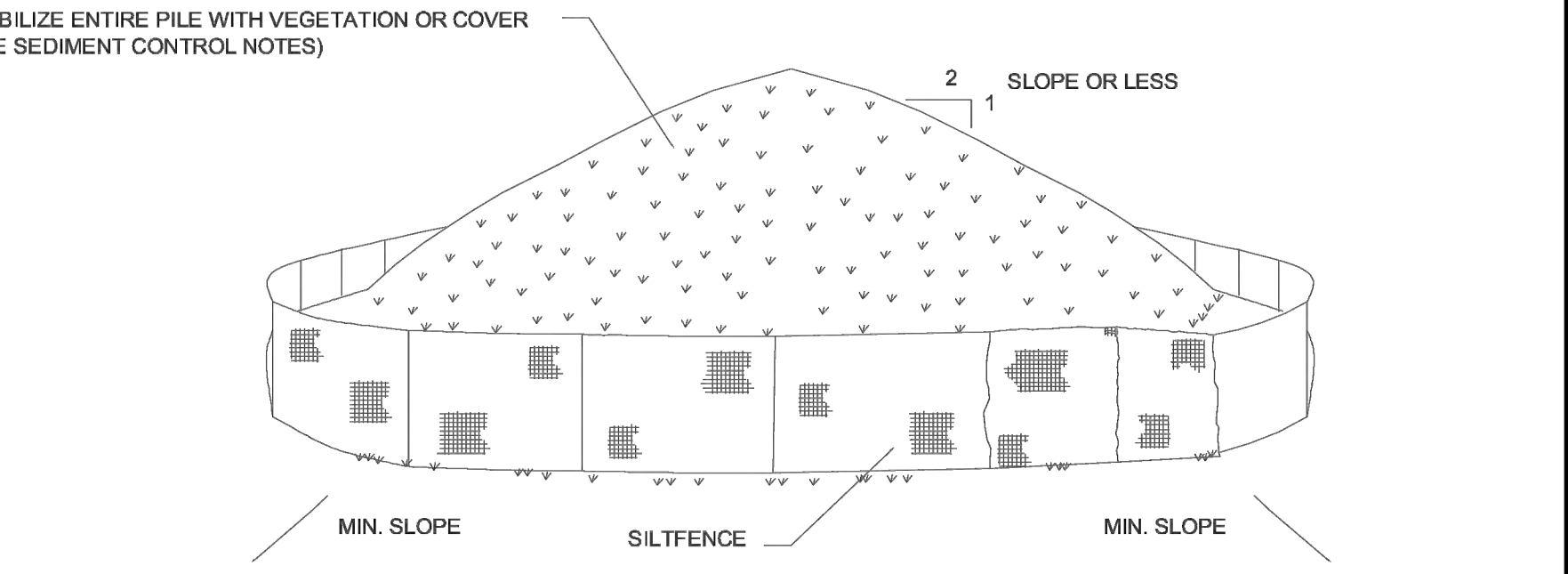
- CONSTRUCTION SPECIFICATIONS:**
1. NO CONSTRUCTION ACTIVITY IS PERMITTED WITHIN THE PROTECTIVE FENCING.
 2. AS CONSTRUCTION NEARS COMPLETION THE FENCING WILL BE REMOVED AS DIRECTED BY THE LANDSCAPE ARCHITECT.
 3. AT THE COMPLETION OF CONSTRUCTION ALL TREES WILL BE PRUNED AS NECESSARY TO CORRECT ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY.

Temporary Tree Protection



Inlet Silt Sac Protection

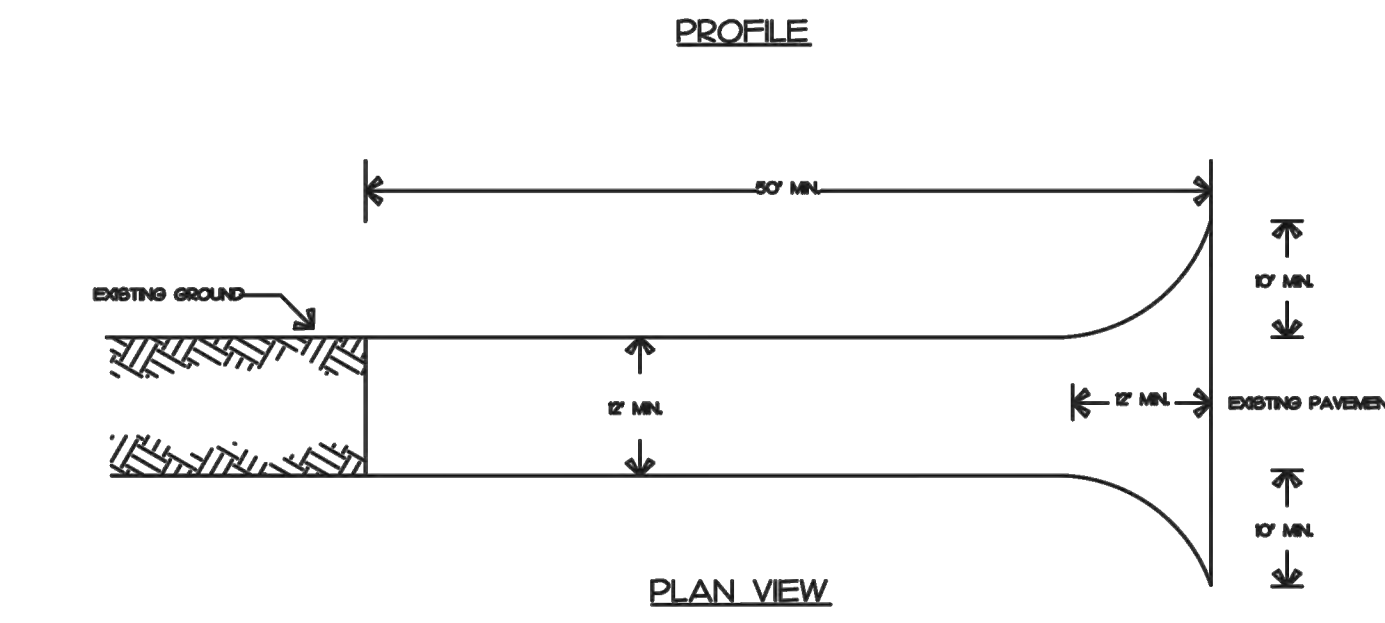
Not to Scale



- INSTALLATION NOTES:**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 4. SEE DETAIL ON THIS DRAWING FOR INSTALLATION OF SILT FENCE.

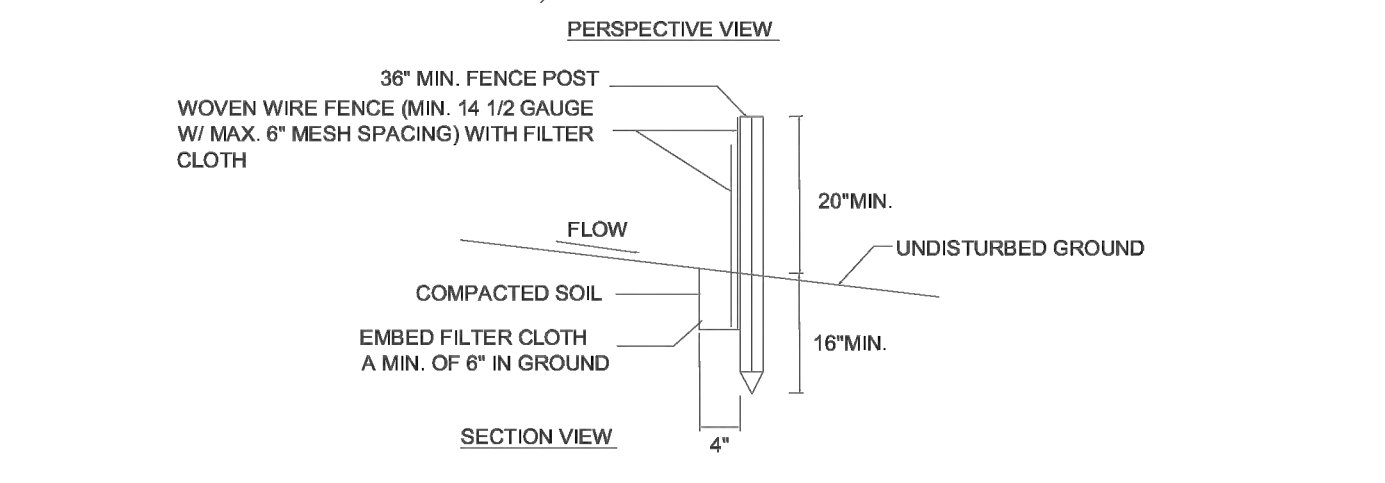
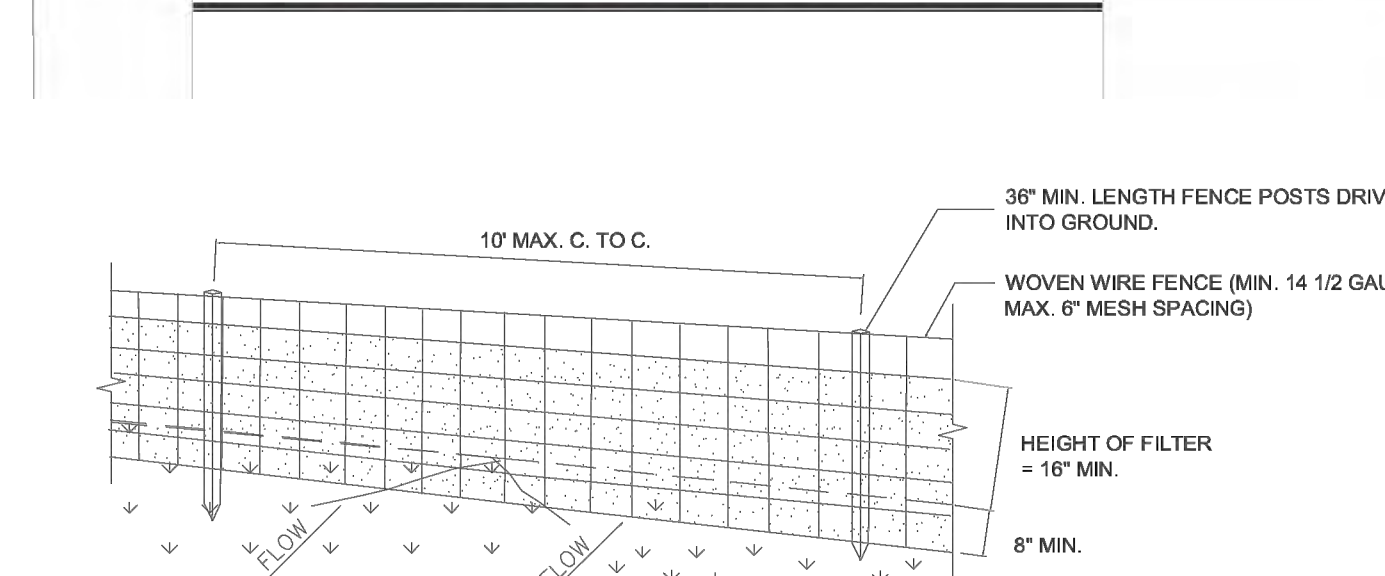
Soil Stockpiling

Not to Scale



- CONSTRUCTION SPECIFICATIONS:**
1. STONE SIZE - USE 1 1/2 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 1:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

ANTI-TRACKING PAD



- CONSTRUCTION SPECIFICATIONS:**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 4. PREFABRICATED UNITS SHALL BE GEOTAB, ENVROFENCE, OR APPROVED EQUIVALENT
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

Silt Fence

Not to Scale

- SOIL EROSION AND SEDIMENT CONTROL NOTES:**
1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (NYSDEC, DIVISION OF WATER, AUGUST 2008) AND SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (PERMIT NO. GP-0-10-001).
 2. CONSTRUCTION SHALL BE SEQUENCED IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE NOTES.
 3. ANY DISTURBED AREAS THAT ARE LEFT EXPOSED MORE THAN 14 DAYS, AND ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF TOTAL SITE DISTURBANCE EXCEEDS 5 ACRES, THE 14 DAY PERIOD SHALL BE REDUCED TO 7 DAYS. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL. THE SEEDING WILL BE DONE IN ACCORDANCE WITH STANDARDS, AS FOLLOWS:
 - A. FERTILIZER: FERTILIZER SHALL BE APPLIED AT THE RATE OF 14 LBS/1000 S.F. OR 800 LBS/ACRE, USING 5-10-10 OR EQUIVALENT.
 - B. SEED: ANNUAL RYEGRASS APPLIED AT THE RATE OF 30 LBS/ACRE, OR OTHER SELECT MIXTURE DESCRIBED IN THE STANDARDS, ACCORDING TO THE STANDARDS.
 - C. MULCH: SMALL GRAIN STRAW MULCH APPLIED AT A RATE OF 90 LBS/1000 S.F. OR 2 TONS/ACRE, TO BE APPLIED AND ANCHORED ACCORDING TO THE STANDARDS.
 4. ANY GRADED AREAS NOT SUBJECT TO FURTHER DISTURBANCE OR CONSTRUCTION TRAFFIC SHALL, WITHIN 10 DAYS OF FINAL GRADING, RECEIVE PERMANENT VEGETATIVE COVER IN ACCORDANCE WITH THE LANDSCAPE PLANS.
 5. CUT OR FILL SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
 6. PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
 7. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
 8. ALL STORM DRAINAGE OUTLETS SHALL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
 9. CONSTRUCTION FENCING SHALL BE USED TO PROTECT EXISTING TREES TO REMAIN, WETLANDS AND OTHER SENSITIVE AREAS.
 10. IF FOR ANY REASON THE CONSTRUCTION IS HALTED FOR PROTRACTED PERIODS, THE CONTRACTOR SHALL STABILIZE THE SELECT MATERIAL BY HYDRO-SEED OR OTHER MEANS, TO THE SATISFACTION OF THE ENGINEER FOR ALL AREAS BEYONDE OF VEGETATION.
 11. STORMWATER FROM DISTURBED AREAS MUST BE PASSED THROUGH A CONTROL DEVICE BEFORE BEING DISCHARGED BEYOND DISTURBED AREAS OR DISCHARGED INTO INLETS OR OTHER DRAINAGE SYSTEMS.
 12. DUST CONTROL - WATER SHALL BE APPLIED BY SPRINKLER OR WATER TRUCK DURING GRADING OPERATIONS TO MINIMIZE SEDIMENT TRANSPORT AND MAINTAIN ACCEPTABLE AIR QUALITY CONDITIONS. REPETITIVE TREATMENTS SHALL BE DONE AS NEEDED UNTIL GRADES ARE STABILIZED.
 13. THE CONTRACTOR SHALL INSPECT THE EFFECTIVENESS AND CONDITION OF EROSION CONTROL DEVICES DURING STORM EVENTS, AFTER EACH RAINFALL OF ONE-HALF (1/2) INCH MAGNITUDE OR GREATER, PRIOR TO WEEKENDS AND PRIOR TO FORECASTED STORM.
 14. THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED EROSION CONTROL DEVICES IMMEDIATELY, AND IN NO CASE, MORE THAN TWENTY FOUR (24) HOURS AFTER OBSERVING SUCH DEFICIENCIES.
 15. THE CONTRACTOR SHALL BE PREPARED TO IMPLEMENT INTERIM DRAINAGE CONTROLS AND EROSION CONTROL MEASURES AS MAY BE NECESSARY DURING THE COURSE OF CONSTRUCTION.
 16. THE CONTRACTOR SHALL MAKE AVAILABLE ON-SITE ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO EFFECT EMERGENCY EROSION CONTROL AND DRAINAGE IMPROVEMENTS WITHIN TWENTY FOUR (24) HOURS OF ANY PENDING EMERGENCY SITUATION.
 17. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE OF THE SITE WORK BY THE OWNER. UPON CERTIFICATION OF FINAL ACCEPTANCE, THE OWNER WILL ASSUME RESPONSIBILITY FOR THE CONTINUED MAINTENANCE OF PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
 18. THE CITY, OR THE NYSDEC OR THE SITE ENGINEER MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE THE POTENTIAL FOR ON-SITE OR OFF-SITE EROSION PROBLEMS THAT MAY OCCUR DURING CONSTRUCTION.
 19. ALL STOCKPILE AREAS TO REMAIN MORE THAN 14 DAYS SHALL BE STABILIZED PER NOTE THREE ABOVE, JUTE MATTING OR SPRAY EMULSIONS ARE ACCEPTABLE SUBJECT TO APPROVAL OF THE ENGINEER.
 20. THE CONTRACTOR SHALL ADHERE TO THE SWPPP REQUIREMENTS WHICH LIMIT DISTURBANCE TO 5 ACRES OR LESS. IF THE CONTRACTOR IS TO DISTURB OVER 5 ACRES, THE TOWN AND OWNER MUST BE NOTIFIED PRIOR TO THE INCREASED DISTURBANCE AND A PLAN MUST BE SUBMITTED FOR APPROVAL SHOWING SCHEDULING AND STABILIZATION MEASURES TO BE PERFORMED.
 21. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A PHASING PLAN, TO BE CONTROL FOR APPROVAL, PRIOR TO CONTRACT.

Soil Erosion and Sediment Control Notes

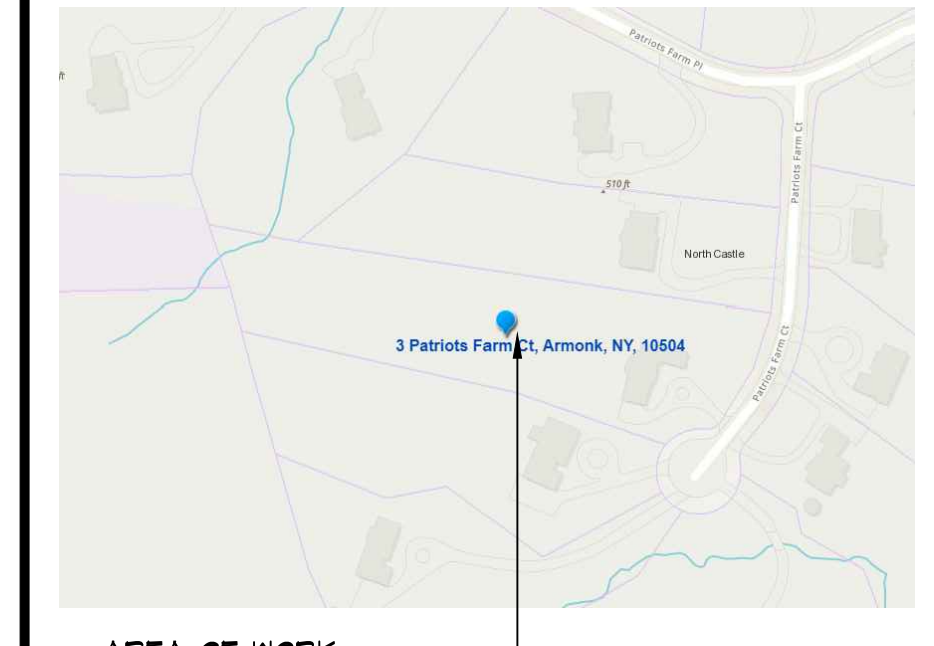
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LOCATION MAP



NOTE:
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TAX MAP ID#: 102.03-2-13 ZONE: R-2A

LIST OF DRAWINGS

- T-1 PLOT PLAN & ZONING INFO SCHEDULE
- T-2 DETAILS
- T-3 MAPS & GOOGLE EARTH AERIAL VIEW
- T-4 EXISTING FLOOR PLANS
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- A-4 PROPOSED EXTERIOR ELEVATIONS
- A-5 PROPOSED SECTIONS AND DETAILS

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 NO. DATE ISSUE/REV.

CLIENT
 JONATHAN & JENNIFER CLARK
 3 PATRIOTS FARM CT
 ARMONK NY 10504

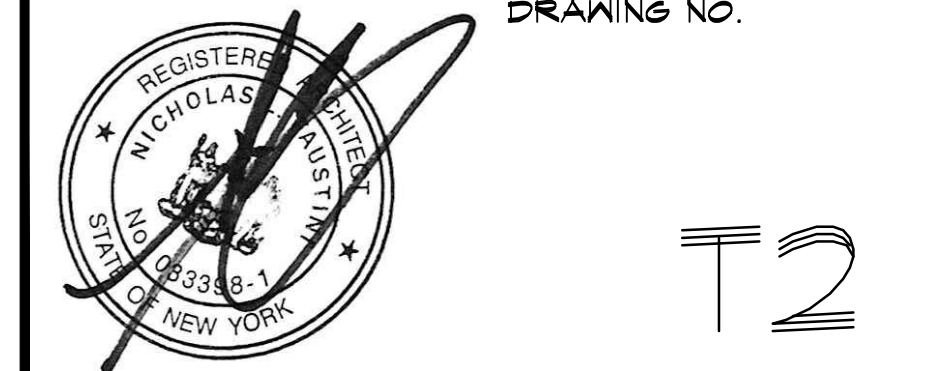
PROJECT
 PROPOSED THREE-CAR GARAGE ADDITION AND RECONFIGURATION OF FRONT WALK, STEPS AND DRIVEWAY COURT

3 PATRIOTS FARM CT, ARMONK NY 10504

DRAWINGS TITLE

DETAILS

DRAWN BY	CHECKED BY	PROJECT NO.
SI	NF	21.0405
	DATE	05.14.21
	DRAWING NO.	



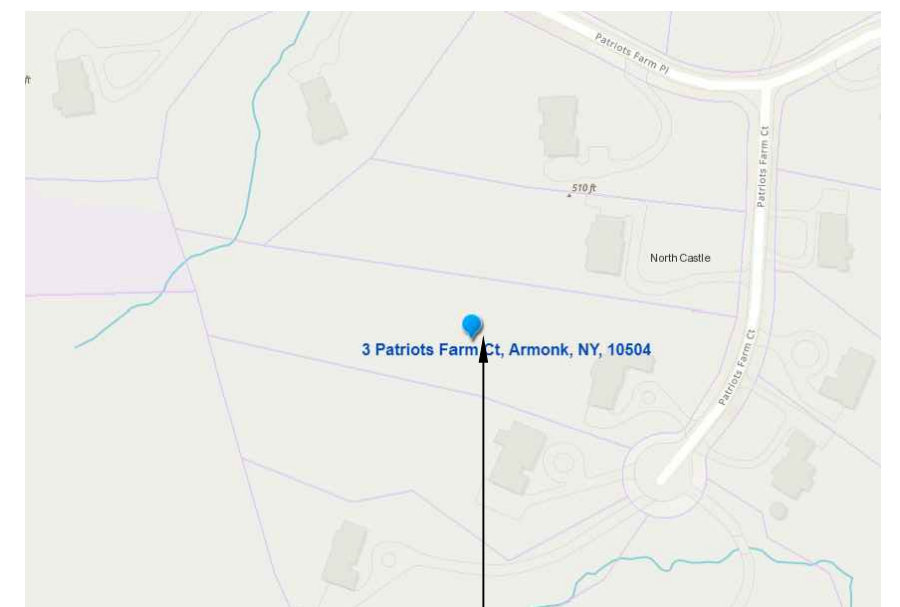
T2

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CLIENT

JONATHAN & JENNIFER CLARK
3 PATRIOTS FARM CT
ARMONK NY 10504

PROJECT

PROPOSED THREE-CAR GARAGE ADDITION AND RECONFIGURATION OF FRONT WALK, STEPS AND DRIVEWAY COURT.

3 PATRIOTS FARM CT, ARMONK NY 10504

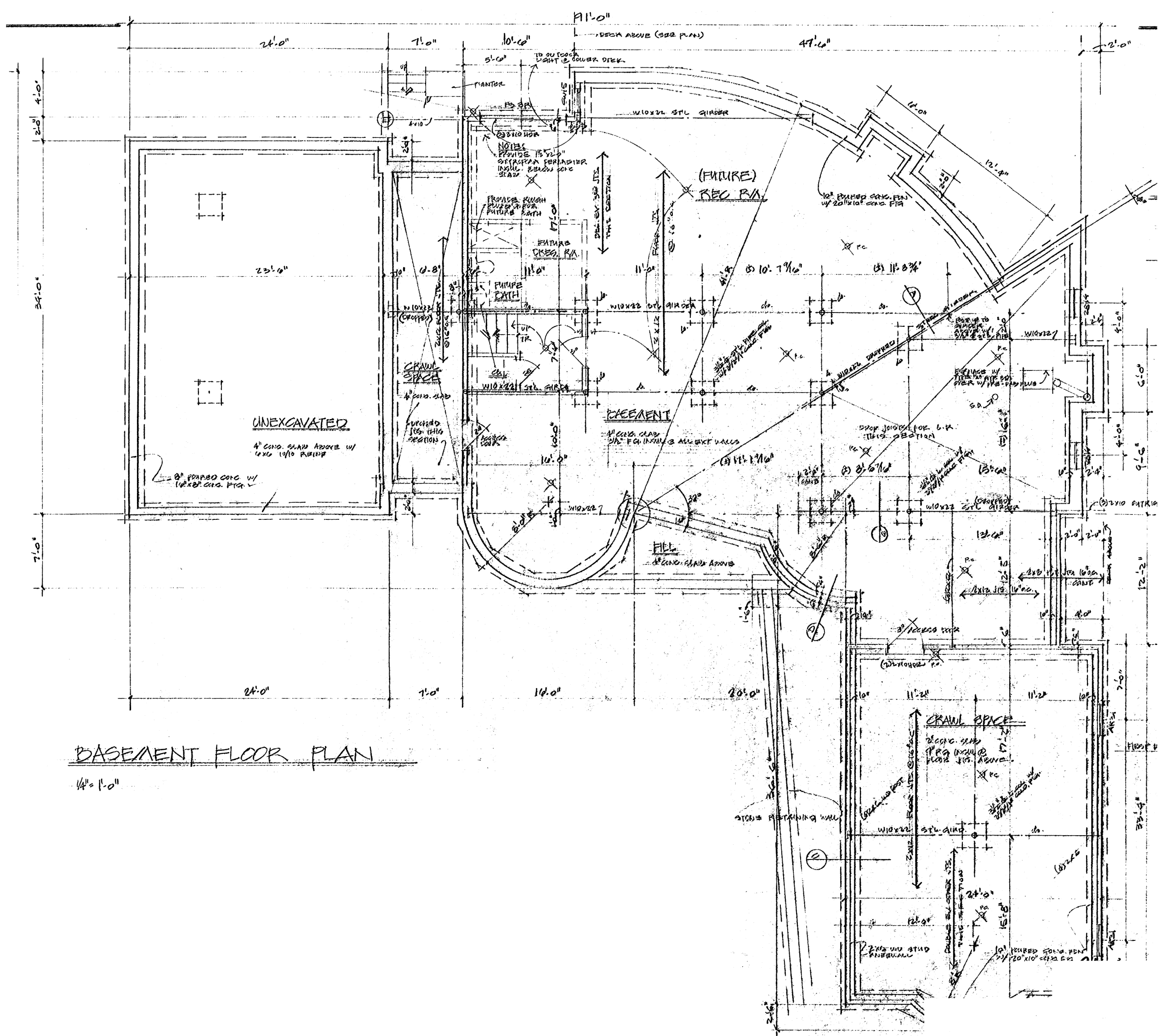
DRAWINGS TITLE

EXIST PLANS

DRAWN BY: SI CHECKED BY: NF PROJECT NO.: 21.0405

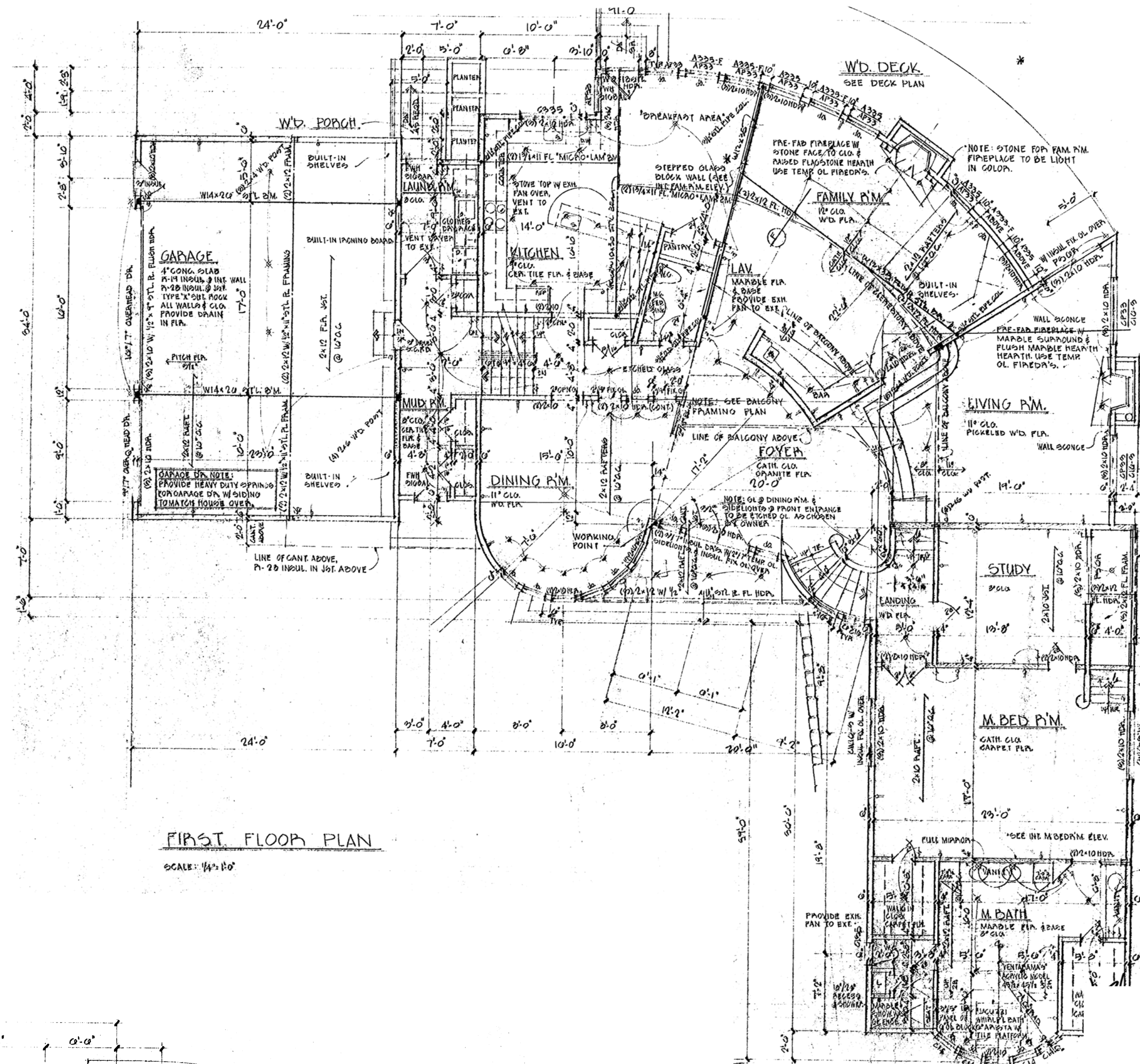
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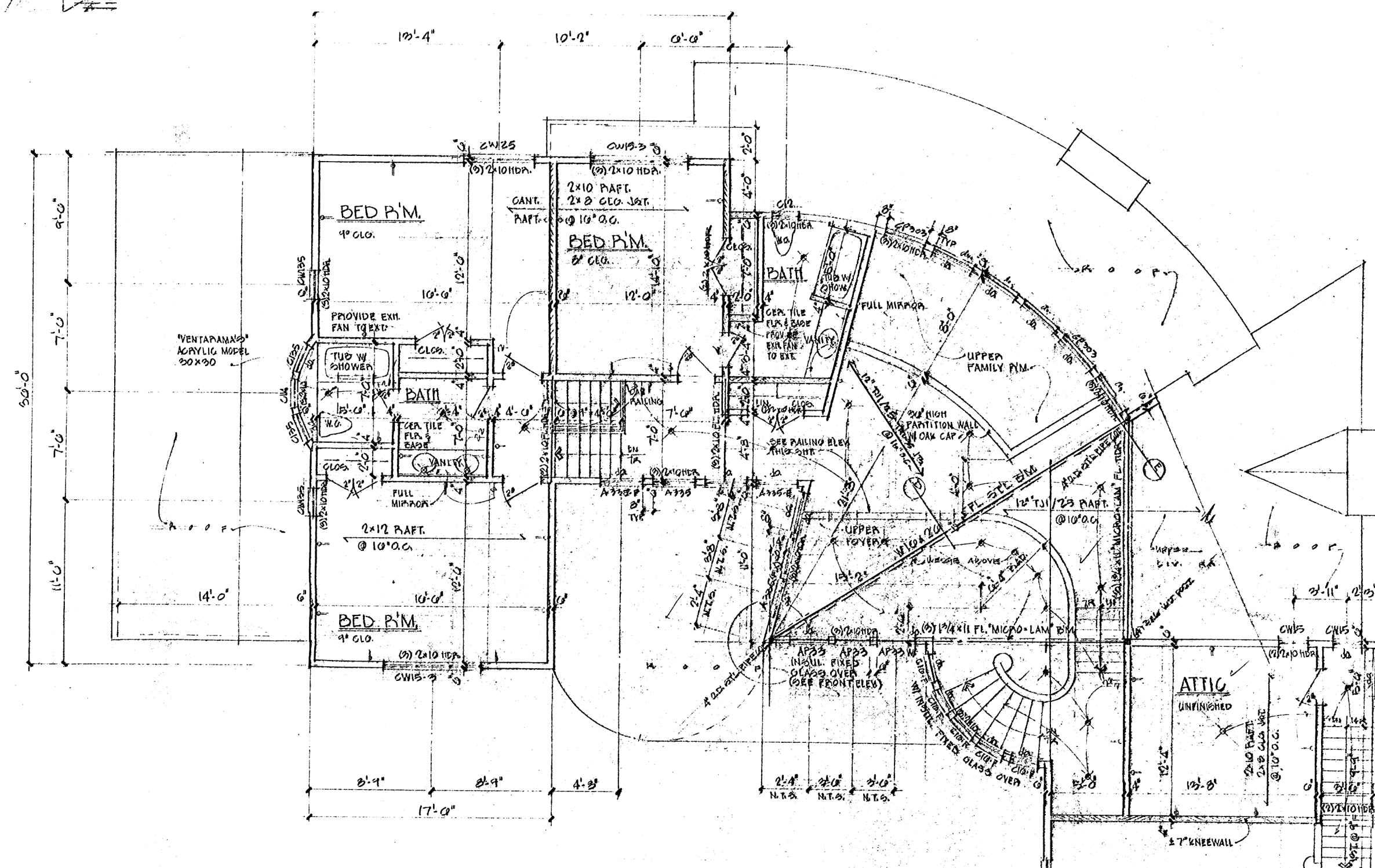
BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

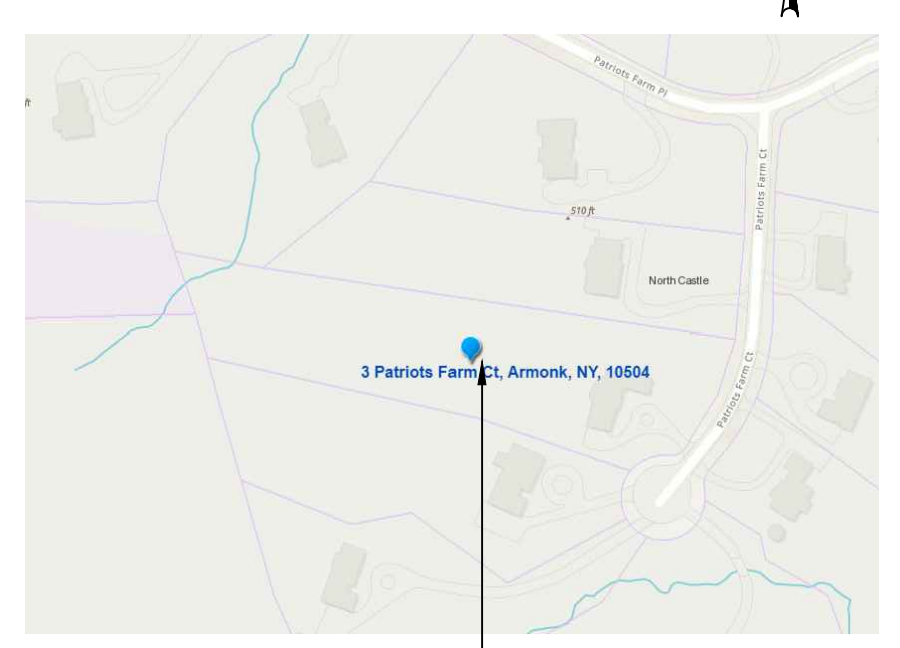
RECORD PLANS PROVIDED HERE OBTAINED FROM TOWN OF NORTH CASTLE ARCHIVES

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- A-1 EXIST PARTIAL FLOOR PLAN & EX EXT ELEVATIONS
- A-2 PROPOSED FIRST FLOOR PLANS
- A-3 PROPOSED PART. FOUNDATION PLAN & ROOF PLAN
- A-4 PROPOSED EXTERIOR ELEVATIONS
- A-5 PROPOSED SECTIONS AND DETAILS

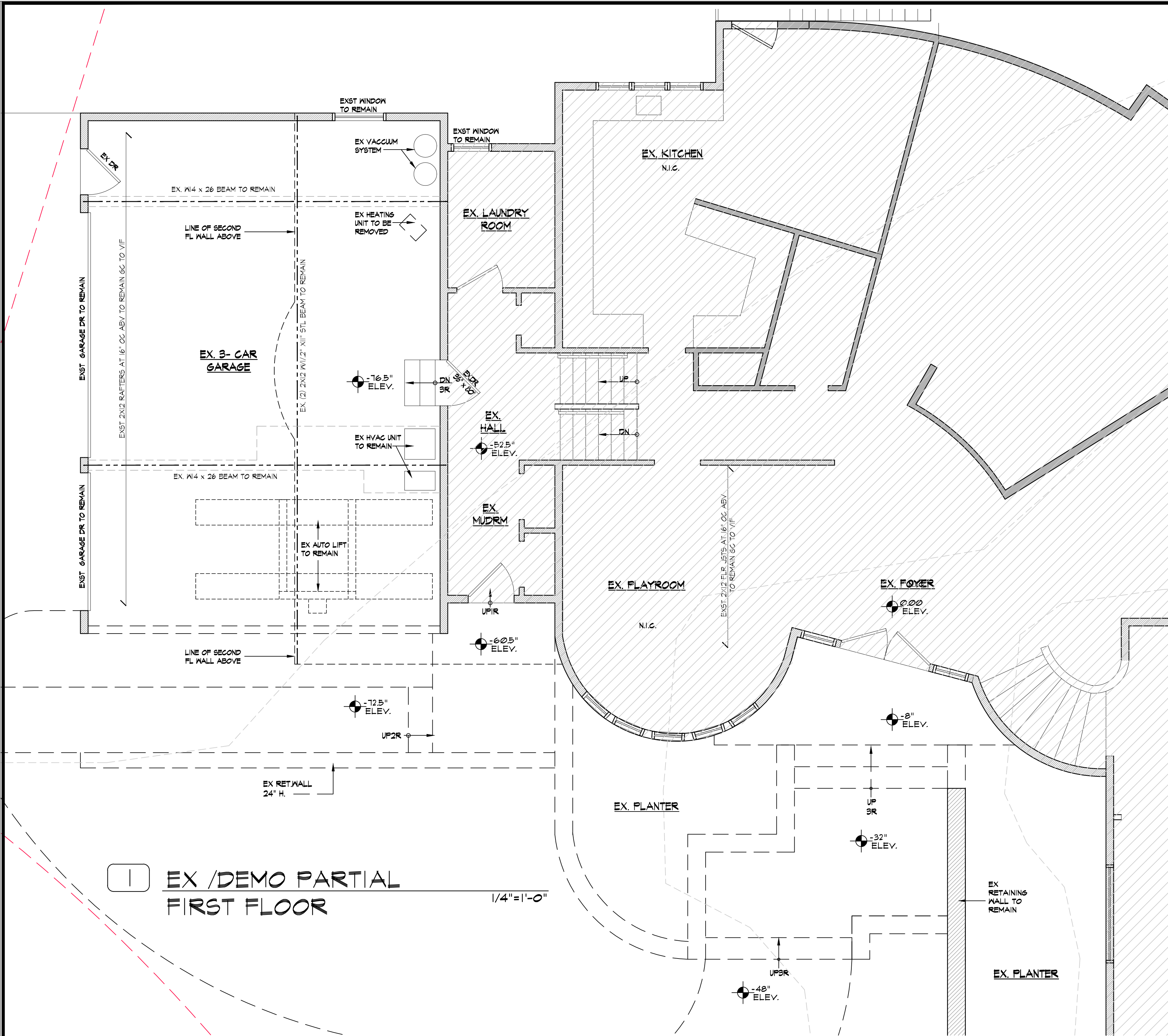
-- 08.24.21 ISSUED FOR RPRC FILING
NO. DATE ISSUE/REV.

CLIENT
JONATHAN & JENNIFER CLARK
3 PATRIOTS FARM CT
ARMONK NY 10504

PROJECT
PROPOSED THREE-CAR GARAGE ADDITION AND RECONFIGURATION OF FRONT WALK, STEPS AND DRIVEWAY COURT
3 PATRIOTS FARM CT, ARMONK NY 10504

DRAWINGS TITLE
EXIST PARTIAL PLANS & EXTERIOR ELEVATIONS

DRAWN BY	CHECKED BY	PROJECT NO.
SI	NF	210405
DATE		05.14.21
DRAWING NO.		



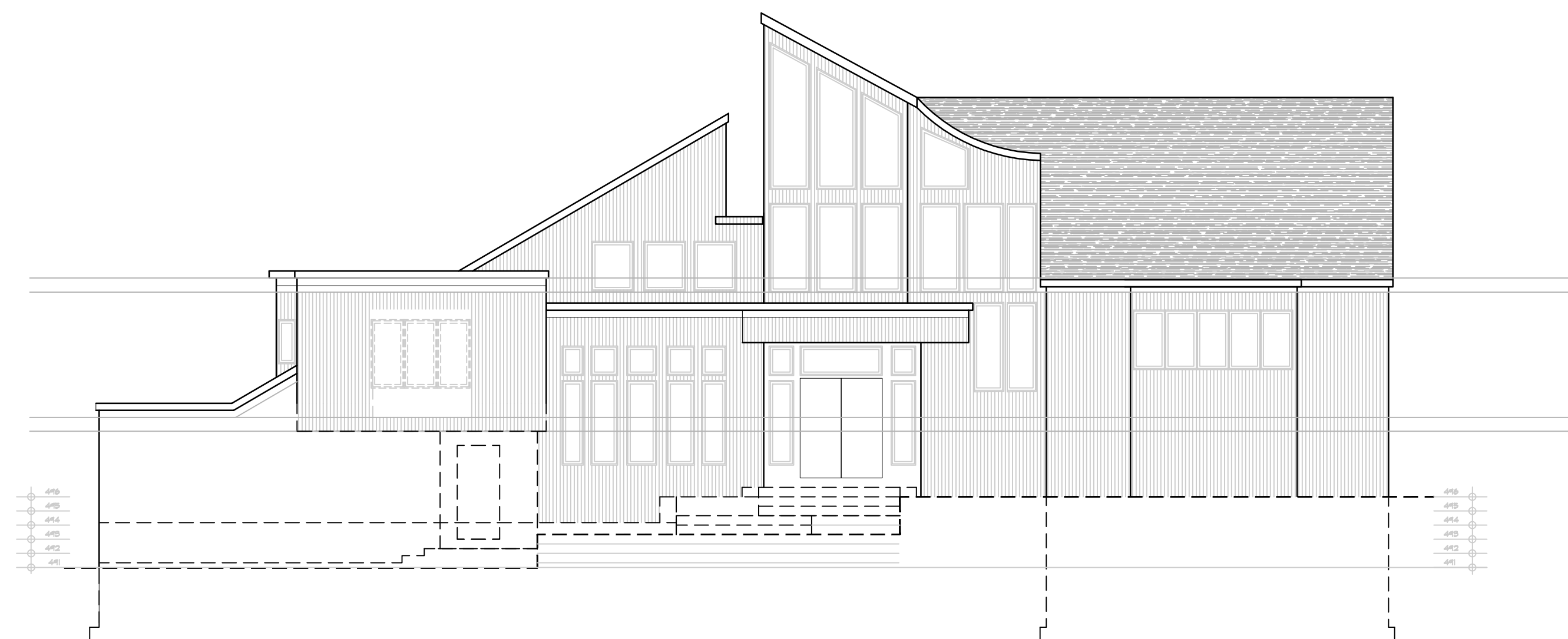
1 EX / DEMO PARTIAL FIRST FLOOR
1/4" = 1'-0"

2 EX / DEMO PARTIAL SECOND FLOOR
1/4" = 1'-0"

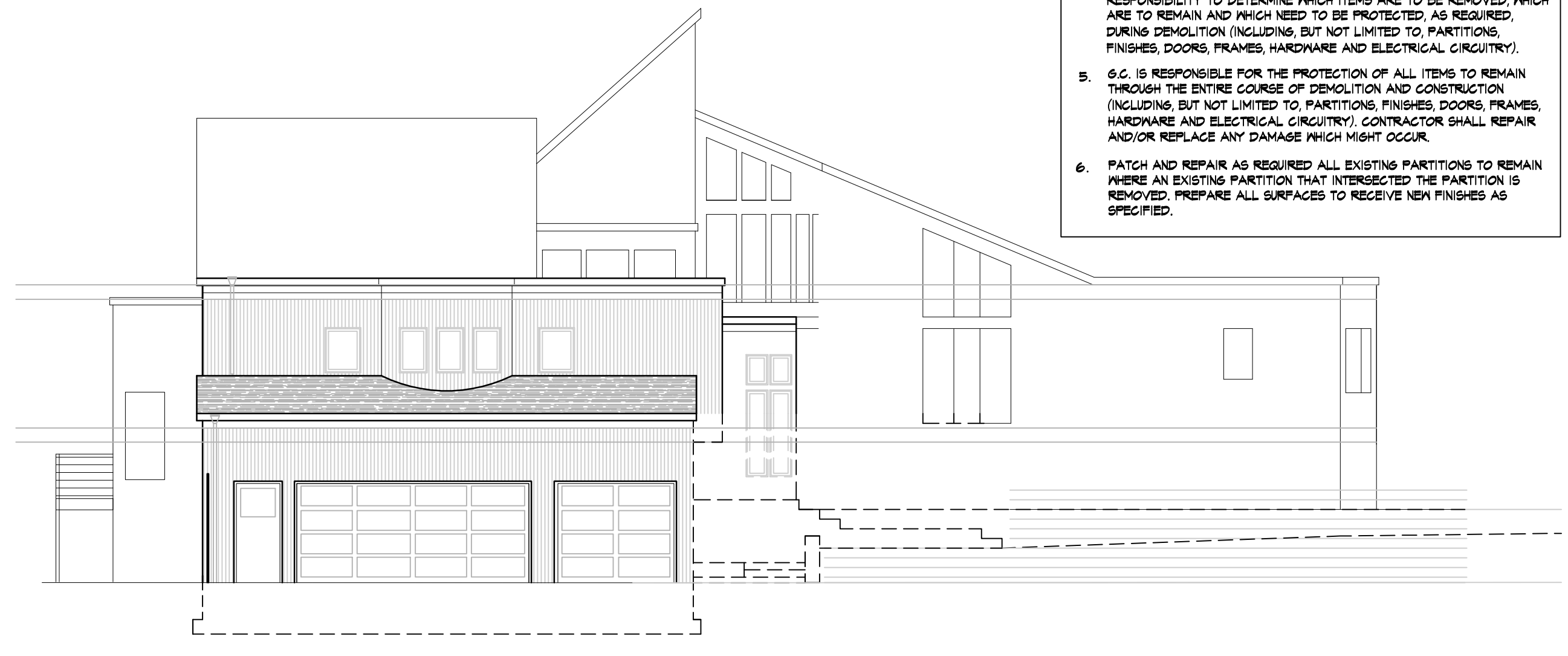
WALL LEGEND

ITEM	DESCRIPTION
	EXISTING WALL TO REMAIN
	EX WALL OR ELEMENT TO BE REMOVED

- DEMOLITION GENERAL NOTES:**
- DEMOLITION CONTRACTOR TO COORDINATE ALL PHASES OF DEMOLITION FOR THE PROJECT AND NOTIFY ARCHITECT AND/OR THE CLIENT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF CONSTRUCTION.
 - DEMOLITION SHALL BE DONE IN NEAT WORKMANLIKE MANNER WITHIN THE LIMITS INDICATED IN THE DRAWINGS AND IN ALL CASES TO THE EXTENT NEEDED TO PRODUCE THE INTERESTED WORK.
 - A) GENERAL CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL DEBRIS AND DISCARDED MATERIALS &/OR EQUIPMENT AS INDICATED AIN THE SPACE.
 - B) GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF MATERIALS FROM RESIDENCE PREMISES ON A DAILY BASIS. DO NOT MIX CONSTRUCTION DEBRIS WITH THAT OF THE RESIDENTS.
 - C) IMMEDIATELY CLEAN AND REMOVE ALL DEBRIS FROM HALLWAYS & ROOMS AFTER DEMOLITION OPERATION AND BEFORE COMMENCEMENT OF THE NORMAL WORK DAY.
 - ALL UNUSED PLUMBING, SHEET METAL DUCTS, AND EQUIPMENT LINES MUST BE REMOVED & GAPPED AT THE MAIN RISER OR BRANCH CONNECTION. PATCH ALL EXISTING CONSTRUCTION TO REMAIN AS REQUIRED (I.F.) TO ACCOMMODATE DEMOLITION & SCOPE OF ALL NEW WORK.
 - G.C. TO COORDINATE DEMOLITION WITH ALL TRADES. IT IS THE G.C.'S RESPONSIBILITY TO DETERMINE WHICH ITEMS ARE TO BE REMOVED, WHICH ARE TO REMAIN AND WHICH NEED TO BE PROTECTED AS REQUIRED, DURING DEMOLITION (INCLUDING, BUT NOT LIMITED TO, PARTITIONS, FINISHES, DOORS, FRAMES, HARDWARE AND ELECTRICAL CIRCUITRY).
 - G.C. IS RESPONSIBLE FOR THE PROTECTION OF ALL ITEMS TO REMAIN THROUGH THE ENTIRE COURSE OF DEMOLITION AND CONSTRUCTION (INCLUDING BUT NOT LIMITED TO, PARTITIONS, FINISHES, DOORS, FRAMES, HARDWARE AND ELECTRICAL CIRCUITRY). CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DAMAGE WHICH MIGHT OCCUR.
 - PATCH AND REPAIR AS REQUIRED ALL EXISTING PARTITIONS TO REMAIN WHERE AN EXISTING PARTITION THAT INTERSECTED THE PARTITION IS REMOVED. PREPARE ALL SURFACES TO RECEIVE NEW FINISHES AS SPECIFIED.



E1 EXISTING FRONT ELEVATION
1/8" = 1'-0"



E2 EXISTING LEFT SIDE ELEVATION
1/8" = 1'-0"

General Notes

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LOCATION MAP



AREA OF WORK

NOTE:

Drawings may be printed at reduced scale

TAX MAP ID#: 102.03-2-13 ZONE: R-2A

LIST OF DRAWINGS

- T-1 PLOT PLAN & ZONING INFO SCHEDULE
- T-2 DETAILS
- T-3 MAPS & GOOGLE EARTH AERIAL VIEW
- T-4 EXISTING FLOOR PLANS
- A-1 EXIST PARTIAL FLOOR PLAN & EX EXT ELEVATIONS
- A-2 PROPOSED FIRST FLOOR PLANS
- A-3 PROPOSED PART. FOUNDATION PLAN & ROOF PLAN
- A-4 PROPOSED EXTERIOR ELEVATIONS
- A-5 PROPOSED SECTIONS AND DETAILS

-- 08.24.21 ISSUED FOR RPRC FILING

NO. DATE ISSUE/REV.

CLIENT
JONATHAN & JENNIFER CLARK
3 PATRIOTS FARM CT
ARMONK NY 10504

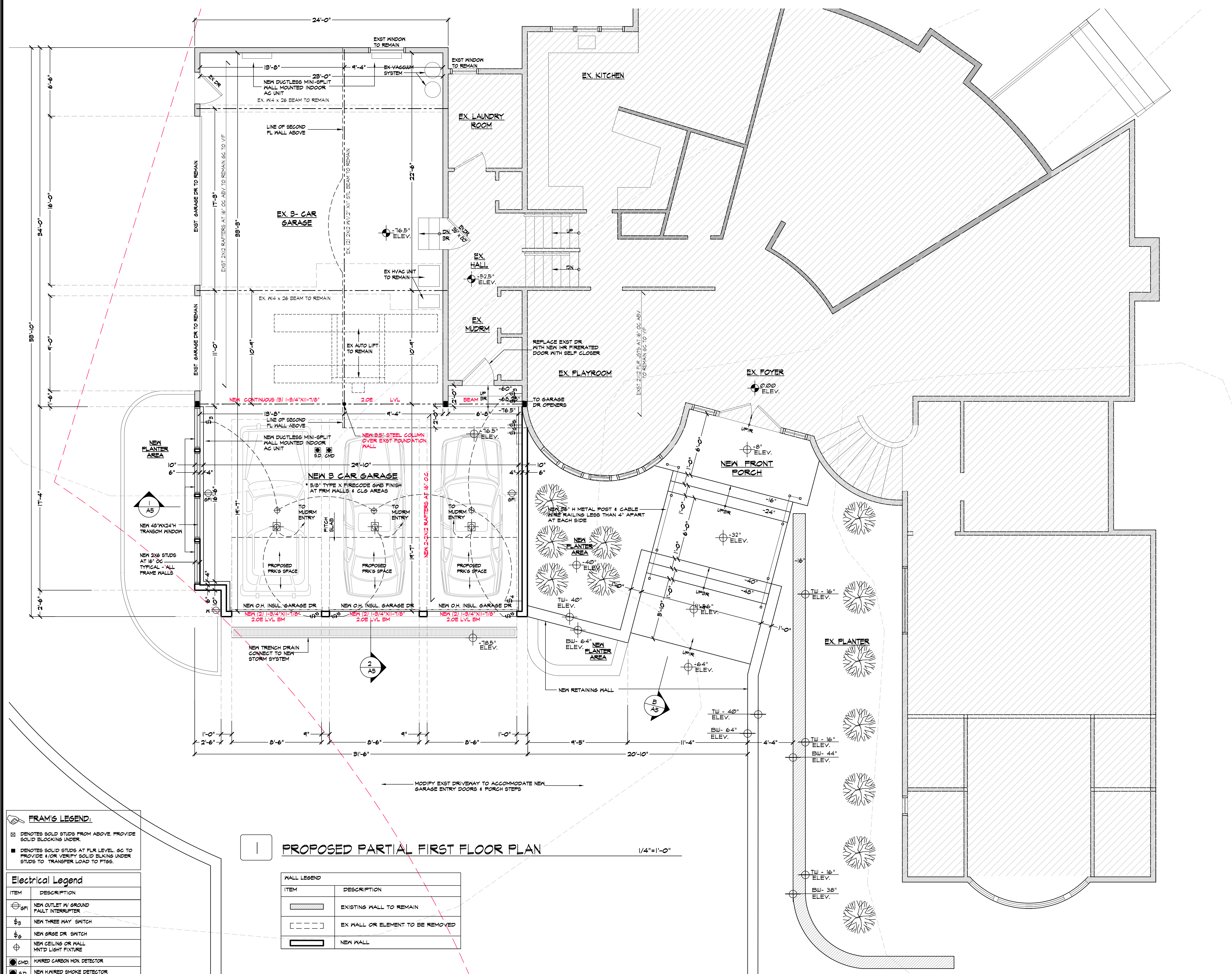
PROJECT
PROPOSED THREE-CAR GARAGE ADDITION AND RECONFIGURATION OF FRONT WALK, STEPS AND DRIVEWAY COURT
3 PATRIOTS FARM CT, ARMONK NY 10504

DRAWINGS TITLE
PROPOSED PLANS

DRAWN BY	CHECKED BY	PROJECT NO.
SI	NF	21.0405
DATE		05.14.21
DRAWING NO.		



A2



FRAM'S LEGEND:

- ☐ DENOTES SOLID STUDS FROM ABOVE. PROVIDE SOLID BLOCKING UNDER.
- DENOTES SOLID STUDS AT FLR LEVEL. GC TO PROVIDE &/OR VERIFY SOLID BLKING UNDER STUDS TO TRANSFER LOAD TO FTGS.

Electrical Legend

ITEM	DESCRIPTION
⊕	NEW OUTLET W/ GROUND FAULT INTERRUPTER
⊕	NEW THREE WAY SWITCH
⊕	NEW GRSE DR. SWITCH
⊕	NEW CEILING OR WALL MNT'D LIGHT FIXTURE
⊕	HAIRED CARBON MON. DETECTOR
⊕	NEW HAIRED SMOKE DETECTOR

PROPOSED PARTIAL FIRST FLOOR PLAN 1/4"=1'-0"

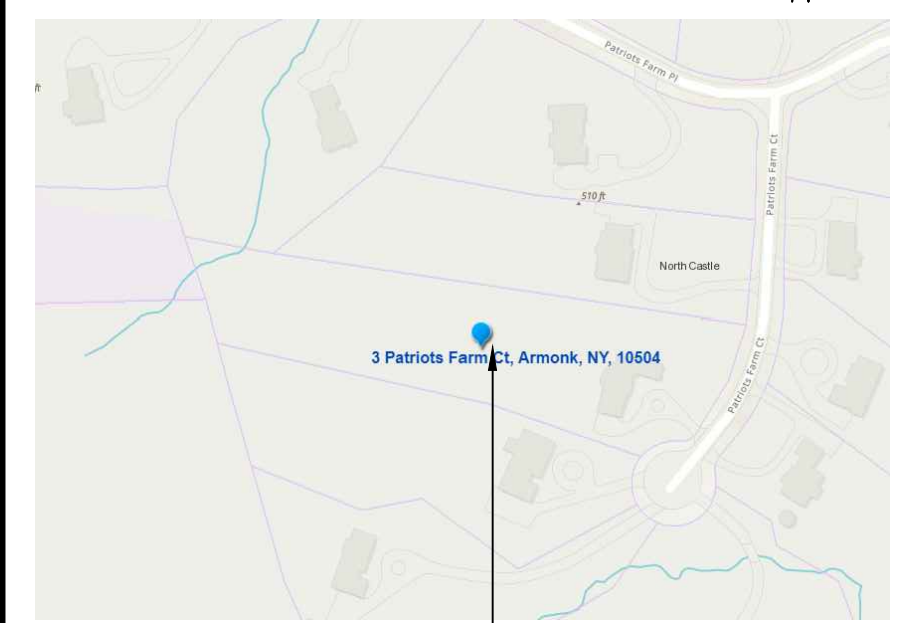
WALL LEGEND

ITEM	DESCRIPTION
▬	EXISTING WALL TO REMAIN
- - - -	EX WALL OR ELEMENT TO BE REMOVED
▬	NEW WALL

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LOCATION MAP



AREA OF WORK

NOTE:
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TAX MAP ID#: 102.03-2-13 ZONE: R-2A

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- A-5 PROPOSED SECTIONS AND DETAILS

-- 08.24.21 ISSUED FOR RPRC FILING
 NO. DATE ISSUE/REV.

CLIENT
 JONATHAN & JENNIFER CLARK
 3 PATRIOTS FARM CT
 ARMONK NY 10804

PROJECT
 PROPOSED THREE-CAR GARAGE ADDITION AND RECONFIGURATION OF FRONT WALK, STEPS AND DRIVEWAY COURT
 3 PATRIOTS FARM CT, ARMONK NY 10804

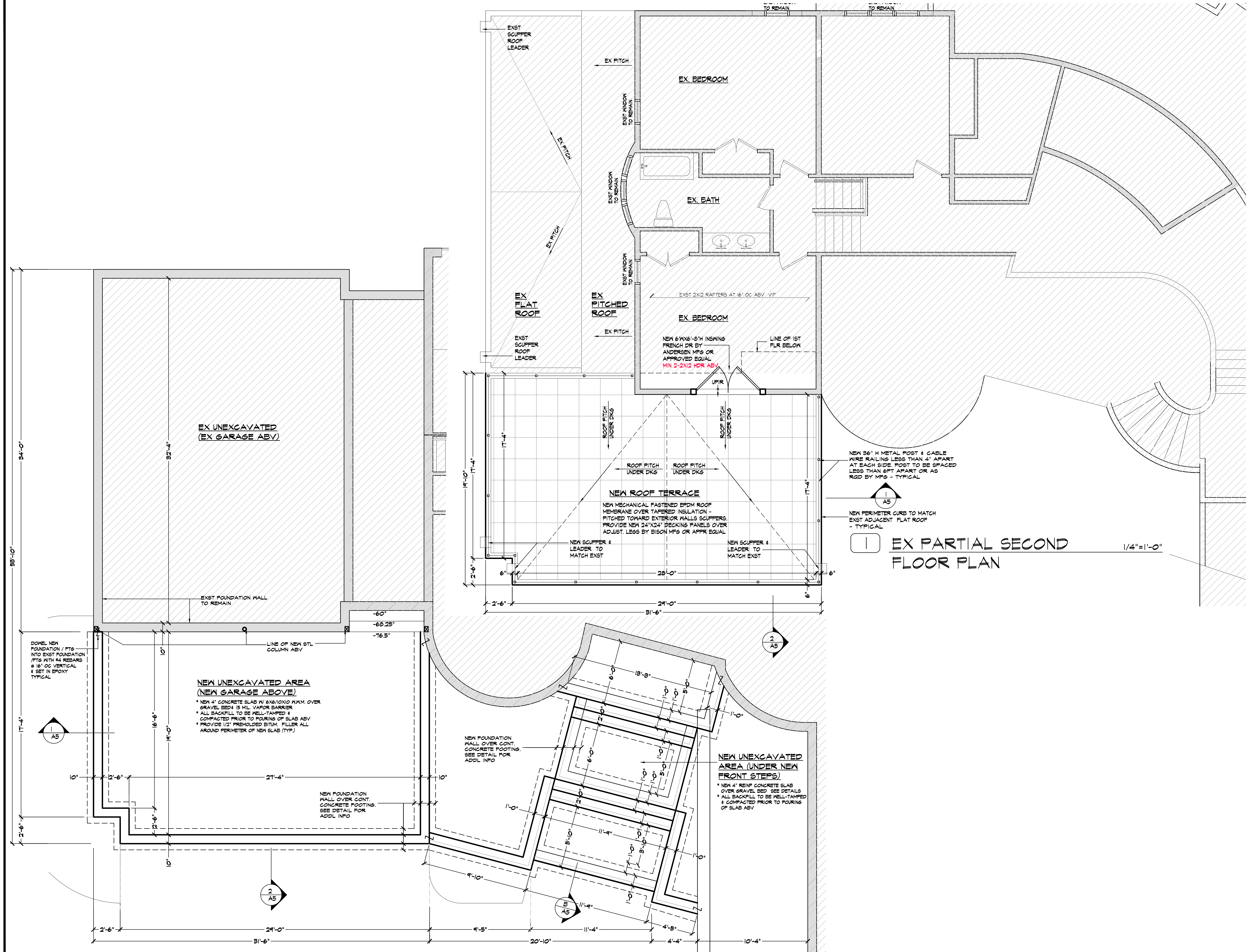
DRAWINGS TITLE
 PROPOSED ELEVATIONS

DRAWN BY: SI CHECKED BY: NF PROJECT NO.: 21.0405

DATE: 08.14.21
 DRAWING NO.:



A3



1 EX PARTIAL SECOND FLOOR PLAN 1/4"=1'-0"

1 EX PARTIAL FOUNDATION PLAN 1/4"=1'-0"

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LOCATION MAP



AREA OF WORK

NOTE:

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TAX MAP ID#: 102.03-2-13 ZONE: R-2A

LIST OF DRAWINGS

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- A-4 PROPOSED EXTERIOR ELEVATIONS
- A-5 PROPOSED SECTIONS AND DETAILS

-- 08.24.21 ISSUED FOR RPRC FILING

NO.	DATE	ISSUE/REV.

CLIENT

JONATHAN & JENNIFER CLARK
3 PATRIOTS FARM CT
ARMONK NY 10504

PROJECT

PROPOSED THREE-CAR GARAGE ADDITION AND RECONFIGURATION OF FRONT WALK, STEPS AND DRIVEWAY COURT :

3 PATRIOTS FARM CT, ARMONK NY 10504

DRAWINGS TITLE

PROPOSED EXTERIOR ELEVATIONS

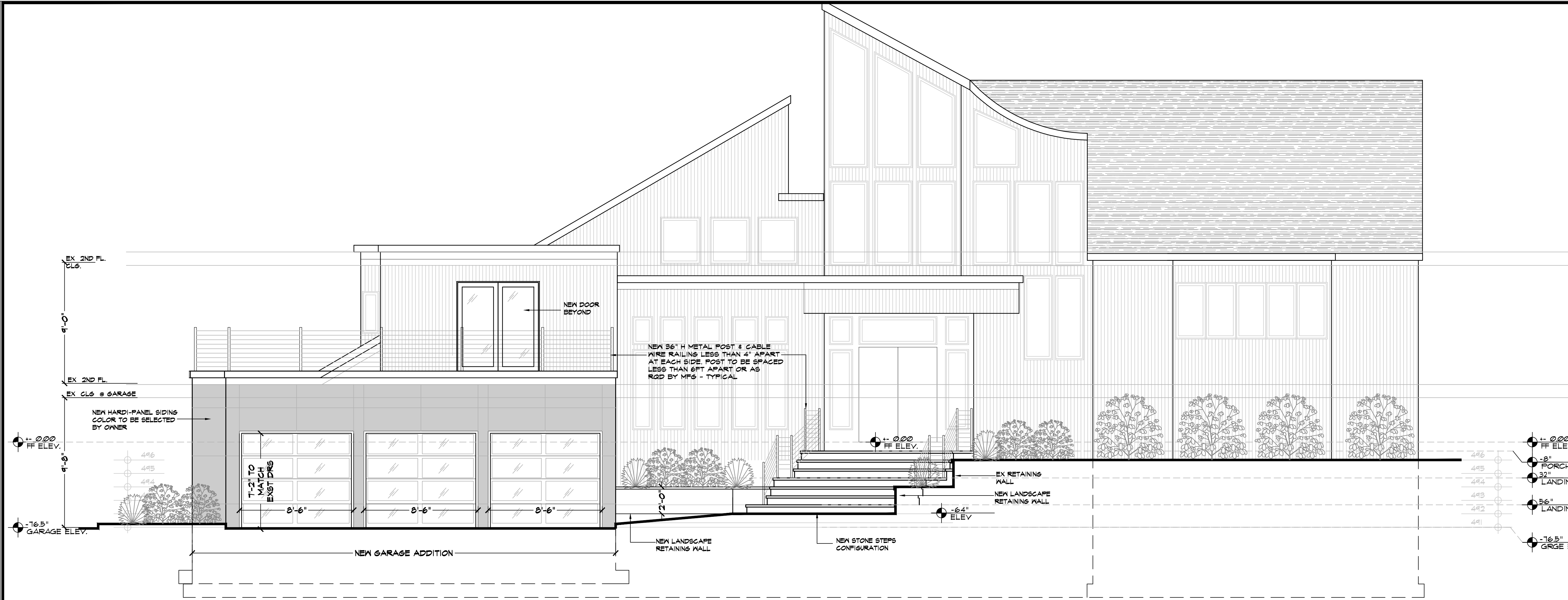
DRAWN BY	CHECKED BY	PROJECT NO.
SI	NF	21.0405

DATE 05.14.21

DRAWING NO.



A4



E1 PROPOSED FRONT ELEVATION 1/4"=1'-0"



E2 PROPOSED LEFT SIDE ELEVATION 1/4"=1'-0"

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LOCATION MAP



AREA OF WORK

NOTE:
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TAX MAP ID#: 102.03-2-13 ZONE: R-2A

LIST OF DRAWINGS

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CLIENT
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 3 PATRIOTS FARM CT
 ARMONK NY 10504

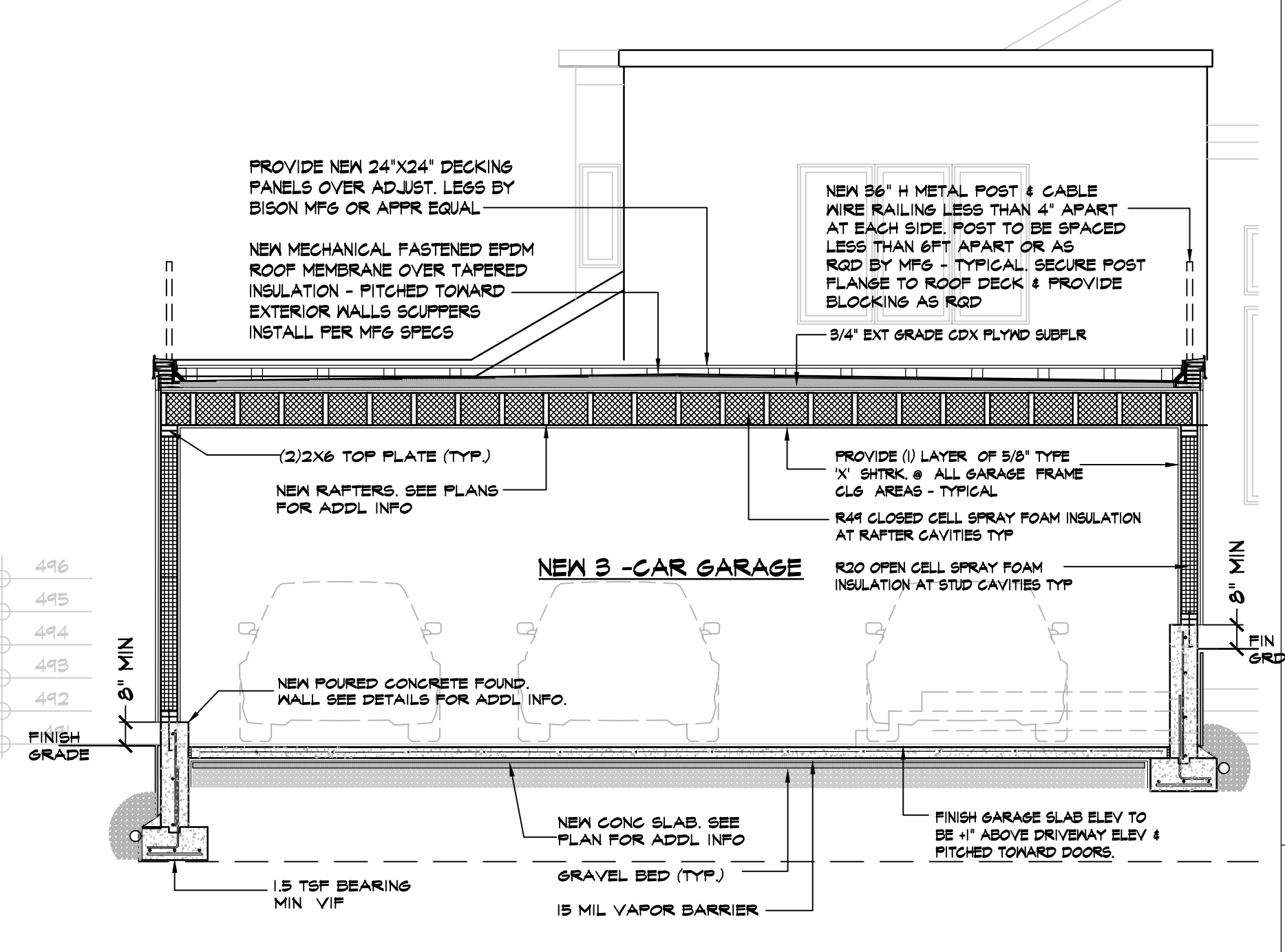
PROJECT
 PROPOSED THREE-CAR GARAGE ADDITION AND RECONFIGURATION OF FRONT WALK, STEPS AND DRIVEWAY COURT

3 PATRIOTS FARM CT, ARMONK NY 10504

DRAWINGS TITLE

PROPOSED SECTION DETAILS

DRAWN BY	CHECKED BY	PROJECT NO.
SI	NF	21.0405
		DATE
		05.14.21
		DRAWING NO.
		A5



1 CROSS SECTION 1/4"=1'-0"

